

SHEET INDEX

<u>NO.</u>		<u>NO.</u>	<u>LANDSCAPE PLANS</u>	<u>NO.</u>	<u>ARCHITECTURAL PLANS</u>
1	COVER SHEET - SHEET INDEX	9	L.1 PRECISE PRELIMINARY LANDSCAPE PLAN	22	A1.0 PLAN 1 FRONT ELEVATIONS
	<u>CIVIL PLANS</u>	10	L.2 PRECISE PRELIMINARY LANDSCAPE DETAILS	23	A1.1 FLOOR PLAN 1
2	TM.1 EXISTING CONDITIONS	11	L.3 PRECISE PRELIMINARY LANDSCAPE DETAILS	24	A1.1.1 FLOOR PLAN 1 ADDENDA
3	TM.2 SITE PLAN	12	L.4 PRECISE PRELIMINARY LANDSCAPE ENLARGEMENT PLAN	25	A1.2 PLAN 1A - EXTERIOR ELEVATIONS
4	TM.3 PRELIMINARY GRADING PLAN	13	L.5 PRECISE PRELIMINARY TREE MITIGATION MEASURES PLAN	26	A1.3 PLAN 1B - EXTERIOR ELEVATIONS
5	TM.4 PRELIMINARY UTILITY PLAN	14	L.6 PRECISE PRELIMINARY HYDROZONE PLAN	27	A1.4 PLAN 1C - EXTERIOR ELEVATIONS
6	TM.5 FIRE TRUCK CIRCULATION PLAN	15	L.7 PRECISE PRELIMINARY IRRIGATION PLAN	28	A2.0 PLAN 2 FRONT ELEVATIONS
7	TM.6 PRELIMINARY STORMWATER CONTROL PLAN	16	L.8 PRECISE PRELIMINARY IRRIGATION PLAN	29	A2.1 FLOOR PLAN 2
8	C.1 PLANNED DEVELOPMENT SITE PLAN	17	L.9 IRRIGATION DETAILS	30	A2.1.1 FLOOR PLAN 2 ADDENDA
		18	L.10 IRRIGATION DETAILS	31	A2.2 PLAN 2A - EXTERIOR ELEVATIONS
		19	L.11 LANDSCAPE NOTES	32	A2.3 PLAN 2B - EXTERIOR ELEVATIONS
		20	L.12 PRECISE PRELIMINARY PLANTING PLAN	33	A2.4 PLAN 2C - EXTERIOR ELEVATIONS
		21	L.13 PRECISE PRELIMINARY PLANTING PLAN	34	DIGITAL COLOR BOARD

DEVELOPER

NUVERA HOMES
 7041 KOLL CENTER PARKWAY, SUITE 170
 PLEASANTON, CA 94566
 (925) 309-8888
 CONTACT: JEFFREY LAWRENCE

CIVIL ENGINEER

CARLSON, BARBEE & GIBSON INC.
 2633 CAMINO RAMON, SUITE 350
 SAN RAMON, CA 94582
 (925) 866-0322
 CONTACT: LEE ROSENBLATT

LANDSCAPE ARCHITECT

RIPLEY DESIGN GROUP
 1615 BONANZA STREET
 WALNUT CREEK, CA 94596
 (925) 938-7377
 CONTACT: ANNIKA CARPENTER

ARCHITECT

KTGY GROUP INC.
 580 SECOND STREET, SUITE 200
 OAKLAND, CA 94607
 (510) 272-2910
 CONTACT: JILL D. WILLIAMS



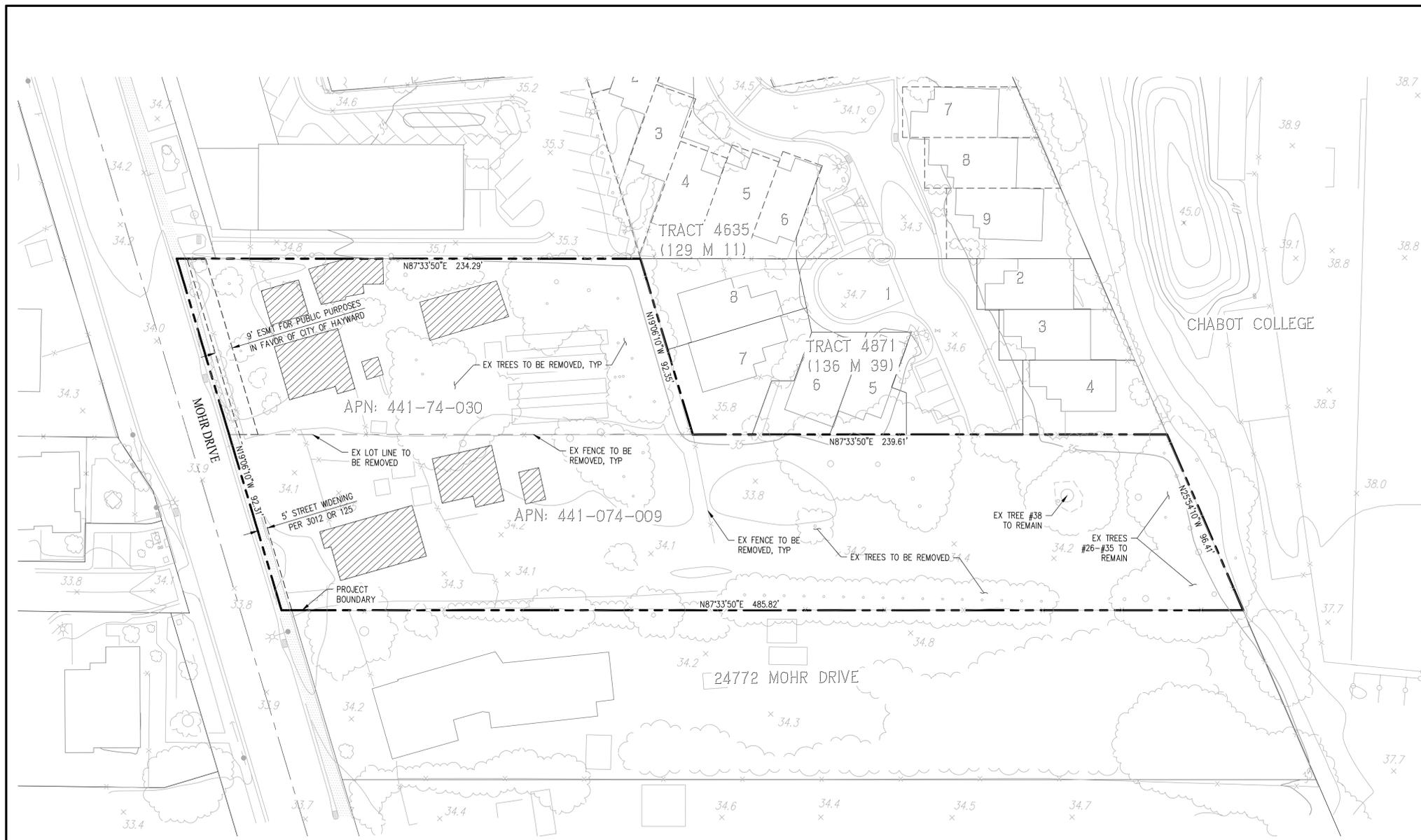
NOVEMBER 2023



MOHR DRIVE
TRACT 8670

PLANNED DEVELOPMENT & VESTING TENTATIVE MAP
 HAYWARD, CALIFORNIA





CONTACTS

- 1. DEVELOPER: NUVERA HOMES
7041 KOLL CENTER PARKWAY, SUITE 170
PLEASANTON, CALIFORNIA 94566
(925) 309-8888
JEFFREY LAWRENCE
- 2. ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583
(925) 866-0322
LEE ROSENBLATT, RCE 65469
- 3. SOILS ENGINEER: QUANTUM GEOTECHNICAL, INC.
1110 BURNETT AVENUE, SUITE B
CONCORD, CA 94520
(925) 788-2751
SIMON MAKDESSI

GENERAL NOTES

- 1. ACCESSOR'S PARCEL NO.: 441-074-030, 441-074-009
- 2. SITE ADDRESS: 24656 & 24764 MOHR DRIVE, HAYWARD, CA
- 3. EXISTING SITE AREA (GROSS): 1.45± ACRES (GROSS)
PROPOSED SITE AREA (NET): 1.22± ACRES (NET) (NET AREA = GROSS AREA - DRIVE AISLE - SIDEWALK)
- 4. EXISTING ZONING: RMB3.5, RSD4
PROPOSED ZONING: PD - PLANNED DEVELOPMENT DISTRICT
- 5. EXISTING USE: SINGLE FAMILY RESIDENTIAL; 2 SINGLE FAMILY LOTS
PROPOSED USE: SINGLE FAMILY RESIDENTIAL; 12 SINGLE FAMILY LOTS, 8 WITH JUNIOR ACCESSORY DWELLING UNITS, 5 PARCELS
- 6. BENCHMARK: THE CITY OF HAYWARD BENCHMARK INTERSECTION OF WEST STREET AND MOHR DRIVE
ELEVATION = 32.612 NGVD29
- 7. EXISTING STRUCTURES: ALL EXISTING BUILDINGS AND PAVEMENT WITHIN BOUNDARY TO BE REMOVED
- 8. STREETS: ALL ROADWAYS WITHIN THE SUBDIVISION WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. ALL PRIVATE STREETS WILL BE WITHIN PUE'S. THE MINIMUM LONGITUDINAL SLOPE OF ALL STREETS IS TO BE 0.50%.
- 9. TREES: ALL TREES WITHIN SITE BOUNDARY TO BE REMOVED, UNLESS OTHERWISE NOTED.
- 10. STREET TREES: STREET TREES SHALL BE INSTALLED PER SD-122
- 11. WALLS AND FENCING: ALL WALLS AND FENCING WILL BE PRIVATE FACILITIES AND PRIVATELY MAINTAINED
- 12. STORM DRAIN: PROPOSED ONSITE STORM DRAIN FACILITIES WILL BE PRIVATE FACILITIES AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION
- 13. PUBLIC UTILITIES: PROPOSED ONSITE WATER AND SANITARY SEWER FACILITIES ARE PUBLIC AND WILL BE WITHIN A SANITARY SEWER AND/OR WATER EASEMENT. PROPOSED WATER AND SANITARY SEWER FACILITIES WILL BE CONSTRUCTED PER CITY OF HAYWARD STANDARDS AND DEDICATED TO THE CITY.
- 14. FLOOD ZONE: ZONE X
REFER TO:
FLOOD INSURANCE RATE MAP
PANEL 06001C0289G, AUGUST 3, 2009
- 15. WELLS ONSITE: NONE
- 16. WATER: CITY OF HAYWARD
- 17. SEWER: CITY OF HAYWARD
- 18. GAS & ELECTRIC: PG&E
- 19. TELEPHONE: SBC
- 20. CABLE TV: COMCAST CABLE
- 21. DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP
- 22. FINAL MAP: ONE FINAL MAP SHALL BE FILED FOR THIS SITE
- 23. MAINTENANCE: A HOMEOWNER'S ASSOCIATION SHALL BE CREATED FOR THE DEVELOPMENT TO MAINTAIN ALL PRIVATE FACILITIES

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	SUBDIVISION BOUNDARY
---	---	RIGHT-OF-WAY
---	---	EASEMENT
---	---	ADJACENT LOT LINE
---	---	CURB, GUTTER & SIDEWALK
---	---	FENCE
x 62.0	x 62.0	SPOT ELEVATIONS
---	---	EXISTING STRUCTURE TO BE DEMOLISHED
○	○	EXISTING TREE

ABBREVIATIONS

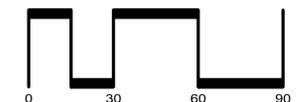
DW	DRIVEWAY
EX	EXISTING
FC	FACE OF CURB
PL	PROPERTY LINE
PUE	PUBLIC UTILITY EASEMENT
RW	RIGHT-OF-WAY
SW	SIDEWALK
TYP	TYPICAL

SHEET INDEX

Sheet Number	Sheet Title
TM.1	EXISTING CONDITIONS
TM.2	SITE PLAN
TM.3	PRELIMINARY GRADING PLAN
TM.4	PRELIMINARY UTILITY PLAN
TM.5	FIRE TRUCK CIRCULATION PLAN
TM.6	PRELIMINARY STORMWATER CONTROL PLAN

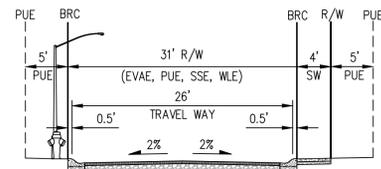
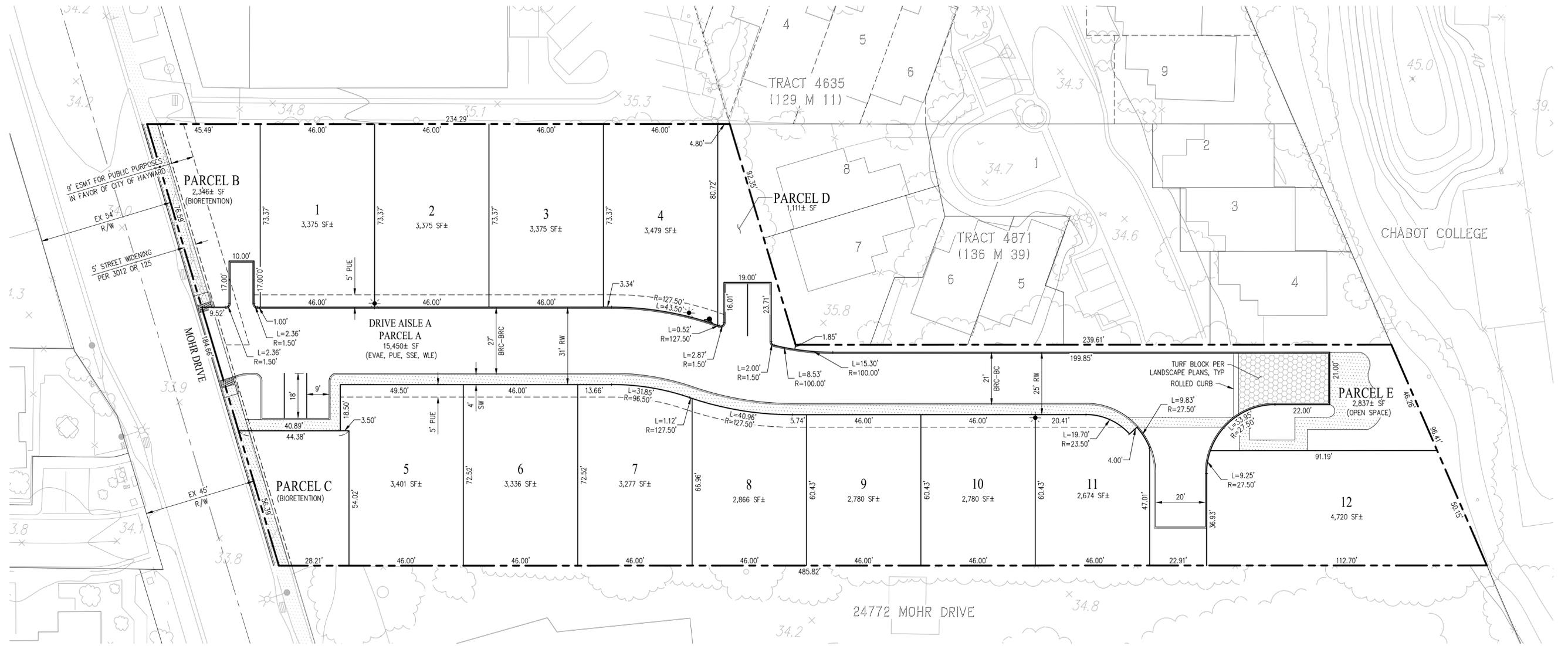
**VESTING TENTATIVE MAP
EXISTING CONDITIONS
MOHR DRIVE - TRACT 8670**

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA
SCALE: 1" = 20' DATE: NOVEMBER 2023

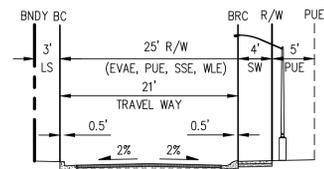


SAN RAMON (925) 866-0322
ROSEVILLE (916) 788-4456
WWW.CBANDG.COM
CIVIL ENGINEERS SURVEYORS PLANNERS

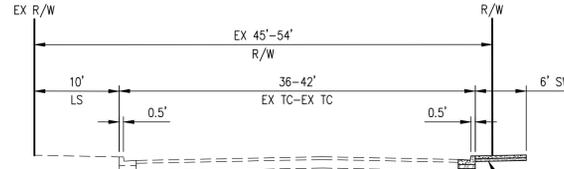
SHEET NO.
TM.1
OF - SHEETS



DRIVE AISLE A
31' R/W
(NOT TO SCALE)
(PRIVATE STREET)



DRIVE AISLE A
25' R/W
(NOT TO SCALE)
(PRIVATE STREET)



MOHR DRIVE
45'-54' R/W
(NOT TO SCALE)
(PUBLIC STREET)

EX CURB, GUTTER & SIDEWALK TO BE REMOVED AND REPLACED PER CITY STANDARD DETAILS.

PARKING SUMMARY		
PARKING TYPE	PARKING PROVIDED	
	RATIO	NUMBER OF SPACES
GARAGE	2 SPACES/DU	24
DRIVEWAY	2 SPACES/DU	24
GUEST	0.5 SPACE/DU	6
TOTAL	4.5 SPACES/DU	54

NOTES:
1. ON-STREET/GUEST PARKING DOES NOT INCLUDE LEGAL PUBLIC PARKING.

ABBREVIATIONS

- BC BACK OF CURB
- BRC BACK OF ROLLED CURB
- CL CENTERLINE
- DW DRIVEWAY
- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- FC FACE OF CURB
- LS LANDSCAPE
- PL PROPERTY LINE
- PUE PUBLIC UTILITY EASEMENT
- R/W RIGHT-OF-WAY
- SSE SANITARY SEWER EASEMENT
- SW SIDEWALK
- TC TOP OF CURB AT FACE
- TYP TYPICAL
- WLE WATER LINE EASEMENT

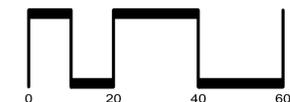
LEGEND

- FIRE HYDRANT
- ELECTROLIER

**VESTING TENTATIVE MAP
SITE PLAN**

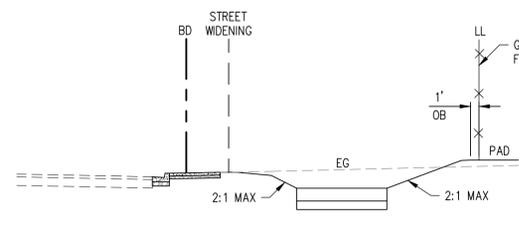
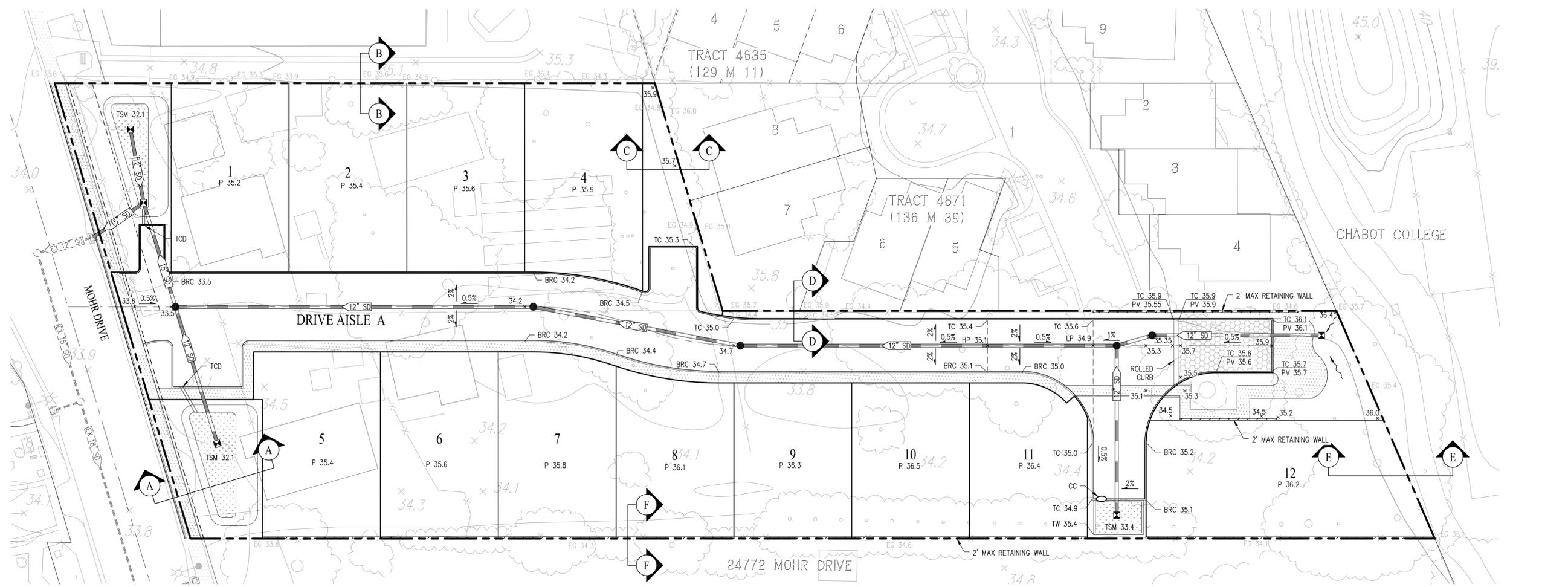
MOHR DRIVE - TRACT 8670

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA
SCALE: 1" = 20' DATE: NOVEMBER 2023

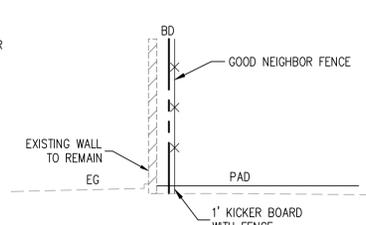


SAN RAMON (925) 866-0322
ROSEVILLE (916) 788-4456
WWW.CBANDG.COM
CIVIL ENGINEERS SURVEYORS PLANNERS

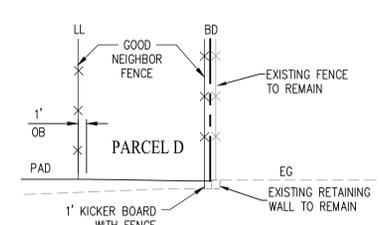
SHEET NO.
TM.2
OF - SHEETS



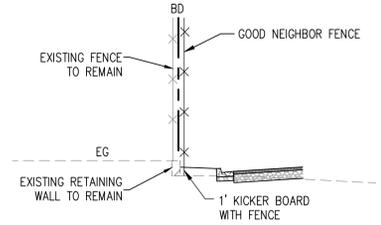
SECTION A-A
NOT TO SCALE



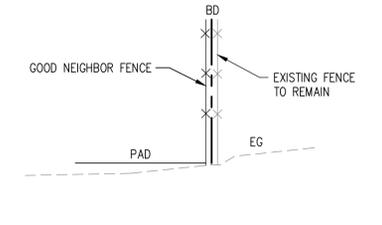
SECTION B-B
NOT TO SCALE



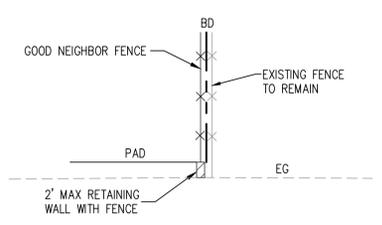
SECTION C-C
NOT TO SCALE



SECTION D-D
NOT TO SCALE



SECTION E-E
NOT TO SCALE



SECTION F-F
NOT TO SCALE

LEGEND

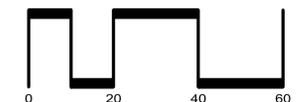
EXISTING	PROPOSED	DESCRIPTION
---	---	SUBDIVISION BOUNDARY
---	---	RETAINING WALL
---	---	PRECAST WALL
---	---	FENCE
---	---	SIDEWALK, PATHWAY
---	---	VALLEY GUTTER
x 100.0	x 100.0	SPOT ELEVATIONS
---	---	DECORATIVE PAVING
---	---	BIORETENTION AREA
o	o	CURB CUT

ABBREVIATIONS

BD	BOUNDARY	P	PAD
BRC	BACK OF ROLLED CURB	PL	PROPERTY LINE
CC	CURB CUT	PUE	PUBLIC UTILITY EASEMENT
DW	DRIVEWAY	RW	RIGHT-OF-WAY
FF	FINISH FLOOR	SD	STORM DRAIN
GB	GRADE BREAK	SD-T	TREATED STORM DRAIN
HP	HIGH POINT	SW	SIDEWALK
LL	LOT LINE	TC	TOP OF CURB
LP	LOW POINT	TCD	THRU CURB DRAIN
LS	LANDSCAPE	TG	TOP OF GRATE
		TSM	TOP OF SOIL MIX

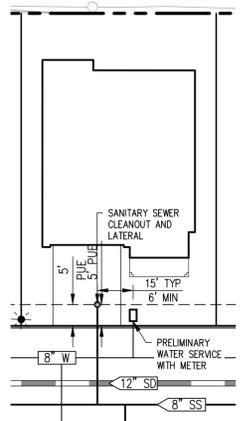
VESTING TENTATIVE MAP
PRELIMINARY GRADING PLAN
MOHR DRIVE - TRACT 8670

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA
SCALE: 1" = 20' DATE: NOVEMBER 2023



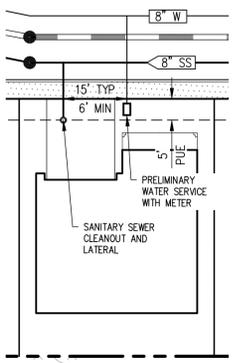
SAN RAMON (925) 866-0322
ROSEVILLE (916) 788-4456
WWW.CBANDG.COM
CIVIL ENGINEERS SURVEYORS PLANNERS

SHEET NO.
TM.3
OF - SHEETS



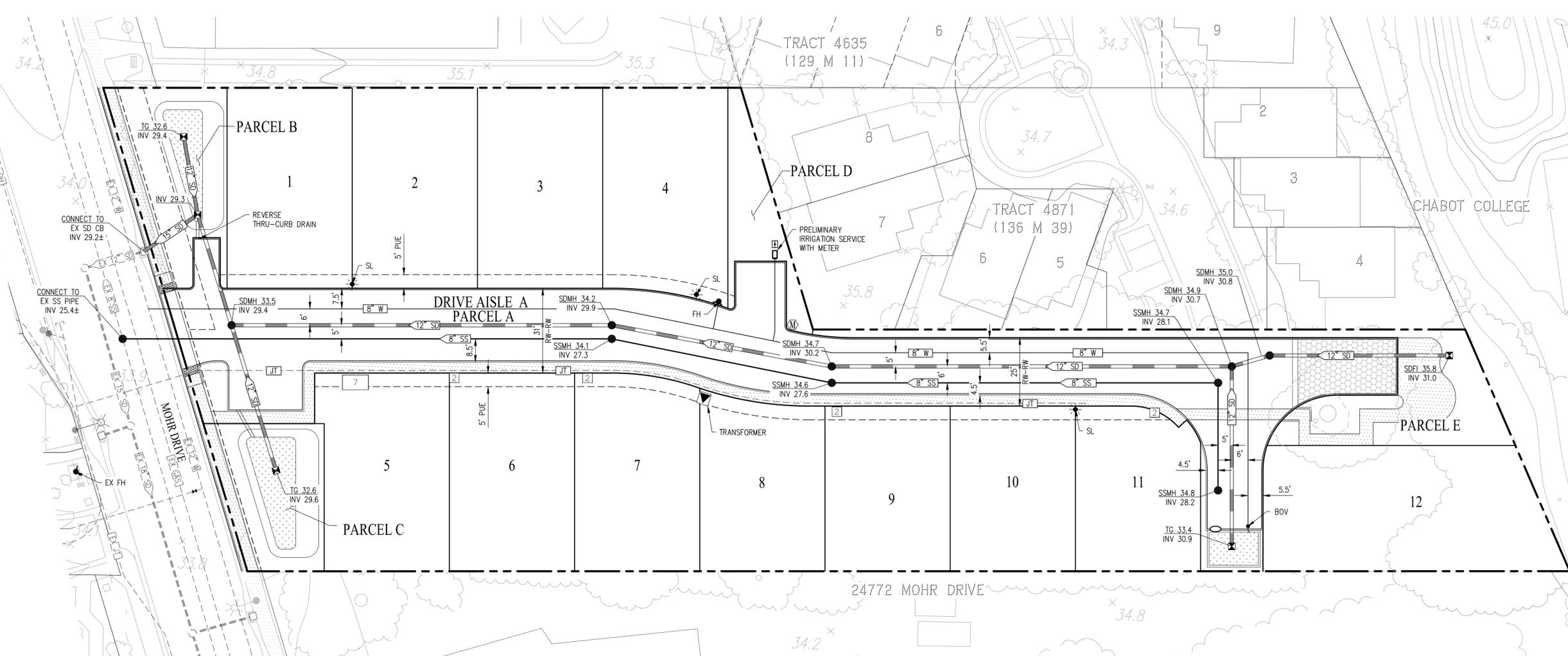
TYPICAL LOT UTILITIES (NORTH)

1" = 20'



TYPICAL LOT UTILITIES (SOUTH)

1" = 20'

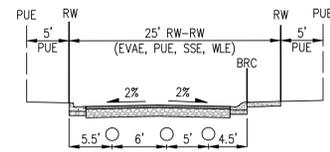


LEGEND

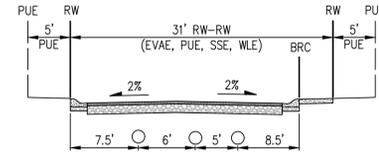
EXISTING	PROPOSED	DESCRIPTION
		SUBDIVISION BOUNDARY
		SIDEWALK
		VALLEY GUTTER
		RIGHT OF WAY
EX INV 59.0	INV 59.0	INVERT ELEVATIONS
		STORM DRAIN LINE
		SANITARY SEWER
		WATER
		JOINT TRENCH
		SANITARY SEWER MANHOLE (SSMH)
		STORM DRAIN MANHOLE (SDMH)
		CATCH BASIN (CB)
		FIELD INLET (FI)
		FIRE HYDRANT
		CURB CUT
		REVERSE THRU-CURB DRAIN
		BIORETENTION AREA
		ELECTROLIER

UTILITY NOTES

- EXISTING UTILITIES: ALL EXISTING UTILITIES SERVING ORIGINAL USE WITHIN THE BOUNDARY TO BE REMOVED. EXISTING STORM DRAIN, SANITARY SEWER AND WATER WITHIN EASEMENTS TO REMAIN.
- PUBLIC UTILITIES: PROPOSED WATER AND SANITARY SEWER FACILITIES WITHIN PRIVATE ROADWAYS ARE PUBLIC AND WILL BE WITHIN A SANITARY AND/OR WATER EASEMENT. PROPOSED WATER AND SANITARY SEWER FACILITIES WILL BE CONSTRUCTED PER CITY OF HAYWARD STANDARDS AND BE DEDICATED TO THE CITY.
- PRIVATE UTILITIES: STORM DRAIN SYSTEM. PROPOSED ONSITE STORM DRAIN FACILITIES WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. MIN SLOPE OF PROPOSED STORM DRAIN PIPE = 0.0035. PUBLIC STORM DRAIN FACILITIES TO BE CONSTRUCTED TO CITY OF HAYWARD STANDARDS. ALL STORM PIPE TO BE RCP OR NDS N-12 PER CITY OF HAYWARD STANDARDS.
- WATER: A. WATER SHALL BE CONSTRUCTED PER CITY OF HAYWARD STANDARDS. B. PROVIDE KEYS/ACCESS CODE/AUTOMATIC GATE OPENER TO UTILITIES FOR ALL METERS ENCLOSED BY A FENCE/GATE AS PER HAYWARD MUNICIPAL CODE 11-2.02.1. ONLY WATER DISTRIBUTION PERSONNEL SHALL PERFORM OPERATION OF VALVES ON THE HAYWARD WATER SYSTEM. C. WATER SERVICE AVAILABLE SUBJECT TO STANDARD CONDITIONS AND FEES IN EFFECT AT TIME OF APPLICATION. D. ALL WATER MAINS OUTSIDE OF ROADWAY OR UNDER DECORATIVE PAVEMENT TO BE DUCTILE IRON PIPE.
- SEWER: CITY OF HAYWARD STANDARD MIN SLOPE OF PROPOSED SEWER PIPE = 0.0035. MIN SIZE OF PROPOSED SEWER MAIN IS 8". SEWER SHALL BE CONSTRUCTED OF PVC PIPE PER CITY OF HAYWARD STANDARDS. SEWER SERVICE AVAILABLE SUBJECT TO STANDARD CONDITIONS AND FEES IN EFFECT AT TIME OF APPLICATION. CONTRACTOR TO INSTALL LATERALS WITH REQUIRED CLEARANCES TO OTHER UTILITIES. SEWER LATERALS TO BE PVC DR14 C900 WHERE CLEARANCE IS VERTICALLY LESS THAN 1' AND HORIZONTALLY LESS THAN 10' FROM A WATER LATERAL (AS NOTED ON PLANS).
- GAS & ELECTRIC: PG&E
- TELEPHONE: SBC
- CABLE TV: COMCAST CABLE
- UTILITIES: UTILITIES SHOWN ARE TO BE USED AS A GUIDE AND MAY CHANGE DURING FINAL DESIGN. DESIGN SHALL ADHERE TO CITY OF HAYWARD STANDARDS.



TYPICAL UTILITIES IN DRIVE AISLE WITH PARKING (NOT TO SCALE)



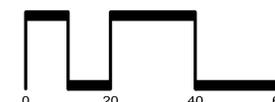
TYPICAL UTILITIES IN DRIVE AISLE NO PARKING (NOT TO SCALE)

ABBREVIATIONS

EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
INV	INVERT
PL	PROPERTY LINE
PUE	PUBLIC UTILITY EASEMENT
S	SLOPE
SD	STORM DRAIN (PRIVATE)
SSE	SANITARY SEWER EASEMENT
WLE	WATER LINE EASEMENT

VESTING TENTATIVE MAP
PRELIMINARY UTILITY PLAN
MOHR DRIVE - TRACT 8670

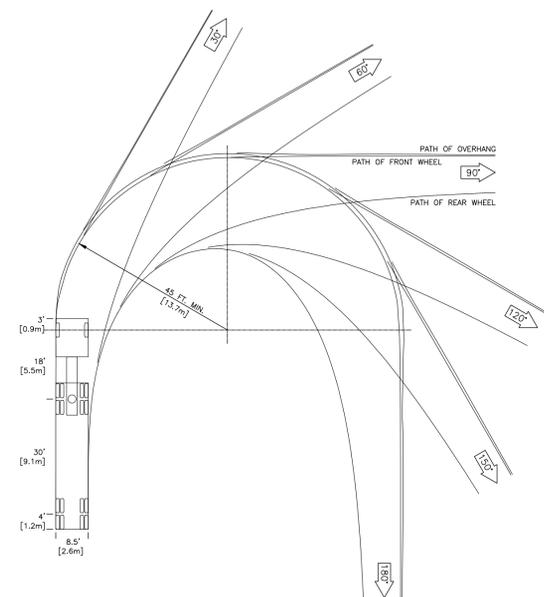
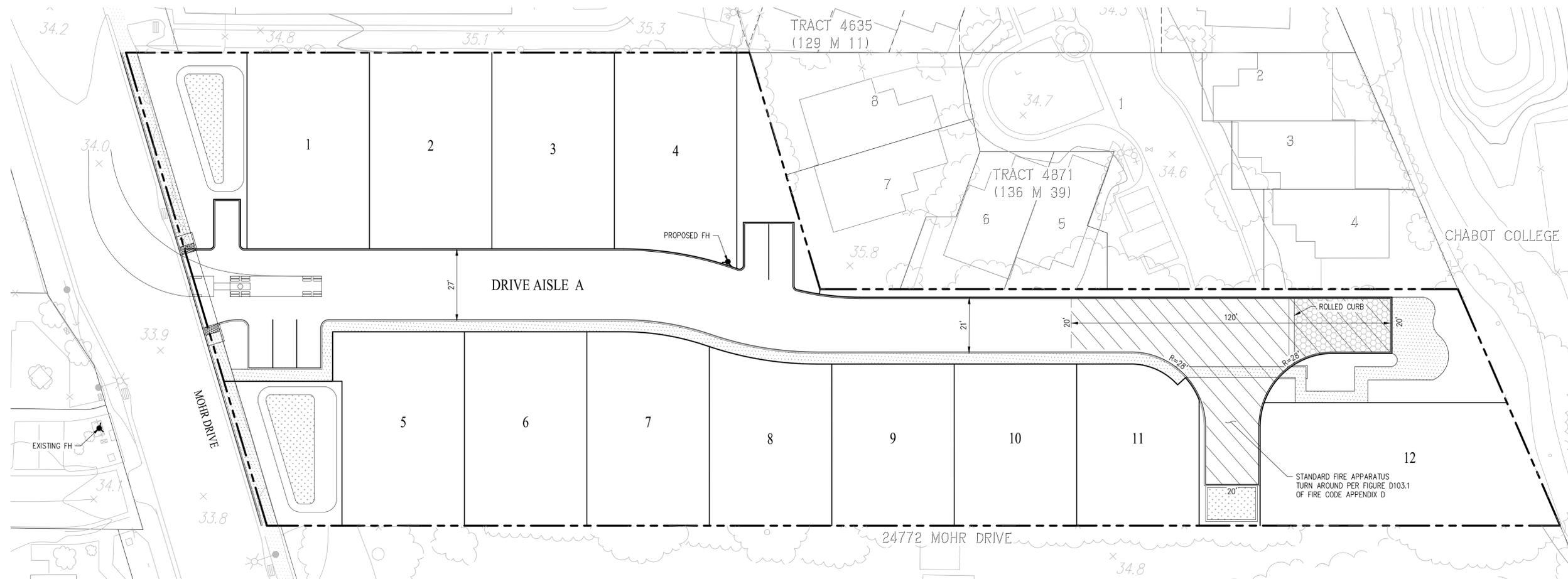
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA
SCALE: 1" = 20' DATE: NOVEMBER 2023



CIVIL ENGINEERS SURVEYORS PLANNERS

SAN RAMON (925) 866-0322
ROSEVILLE (916) 788-4456
WWW.CBANDG.COM

SHEET NO.
TM.4
OF - SHEETS



CITY OF HAYWARD FIRE DEPARTMENT WB-50
TRUCK TURNING TEMPLATE

NOT TO SCALE
NOTE: MOST RESTRICTIVE TURN SHOWN ON PLAN FOR EACH TURNING MOVEMENT

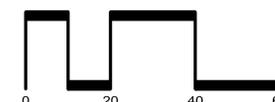
LEGEND

- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT

NOTE:
FIRE FLOW DATA (STATIC PRESSURE, RESIDUAL PRESSURE, PITOT PRESSURE, TEST FLOW, CALCULATED AVAILABLE WATER FLOW AT 20 PSI) SHALL BE SHOWN ON BUILDING PLANS SUBMITTAL. THE APPLICANT SHALL REQUEST FOR A NEW FIRE HYDRANT FLOW TEST IF AVAILABLE DATA IS MORE THAN 5 YEARS OLD. THE FIRE FLOW SHALL NOT BE LESS THAN 1,500 GPM.

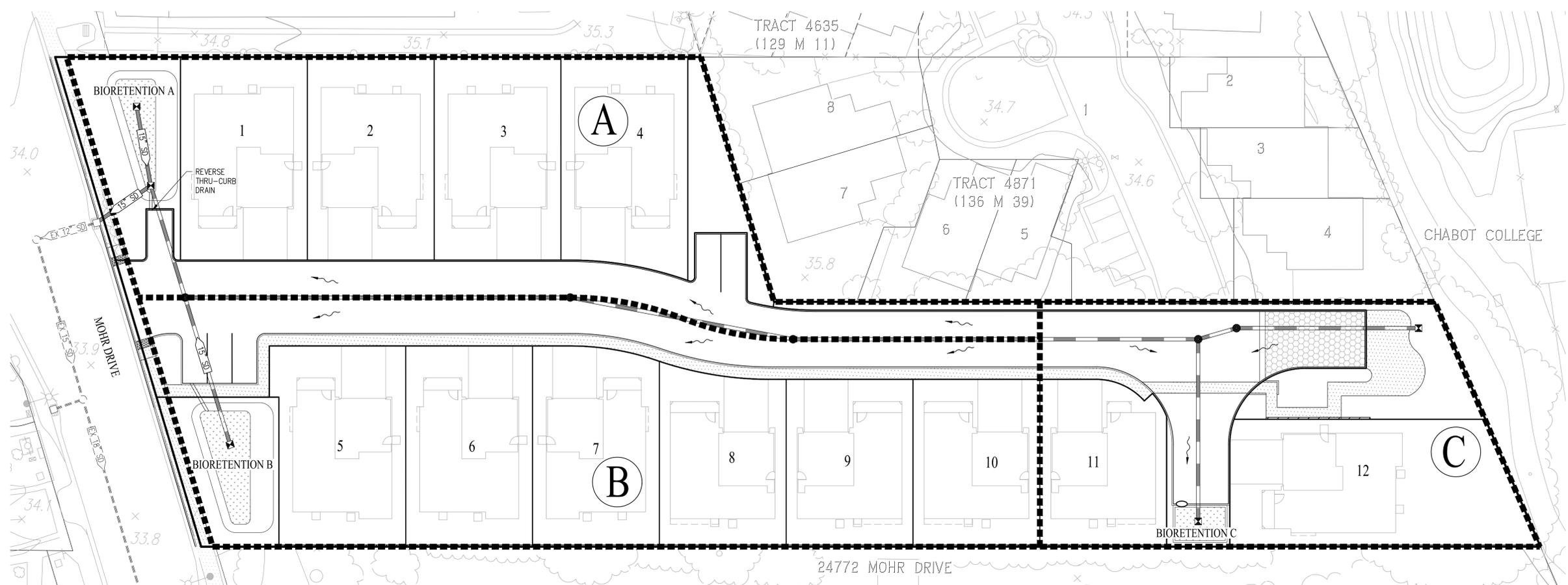
VESTING TENTATIVE MAP
FIRE TRUCK CIRCULATION PLAN
MOHR DRIVE - TRACT 8670

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA
SCALE: 1" = 20' DATE: NOVEMBER 2023



SAN RAMON • (925) 866-0322
ROSEVILLE • (916) 788-4456
WWW.CBANDG.COM
CIVIL ENGINEERS • SURVEYORS • PLANNERS

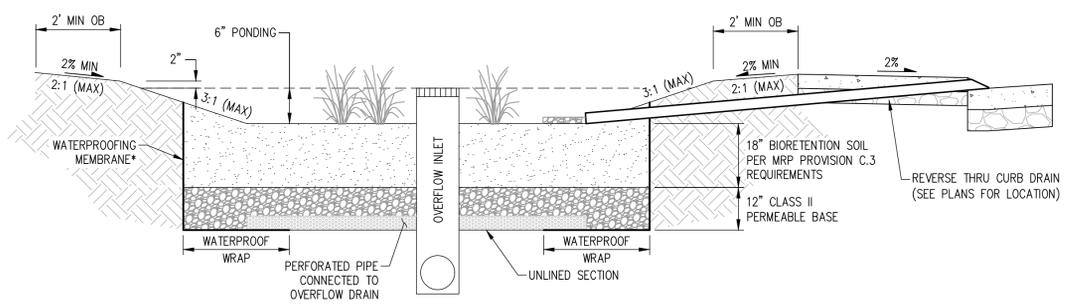
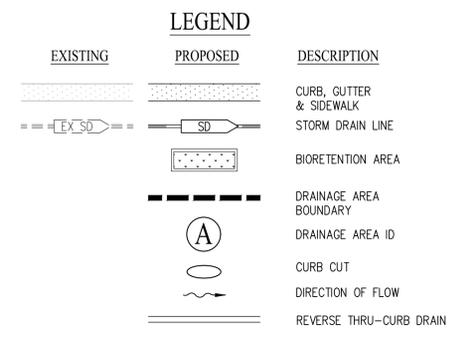
SHEET NO.
TM.5
OF - SHEETS



PRELIMINARY STORM WATER TREATMENT SUMMARY

AREA ID	TREATMENT TYPE	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF)*	TREATMENT AREA PROVIDED (SF)
A	BIORETENTION	9,602	12,203	375	380
B	BIORETENTION	9,689	16,574	499	520
C	BIORETENTION	6,938	7,423	231	235

*BIORETENTION TREATMENT AREA REQUIRED IS CALCULATED USING THE C.3 FLOW-COMBINATION METHOD

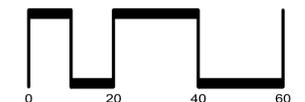


TYPICAL BIORETENTION AREA
NOT TO SCALE

- *NOTE:**
1. INSTALL DEEPENED CURB IN ADDITION TO WATERPROOF BARRIER WHERE NECESSARY PER GEOTECHNICAL RECOMMENDATIONS
 2. INSTALL 3" OF FLOAT-RESISTING MULCH ON EXPOSED SOIL AREAS BETWEEN PLANTINGS PER ALAMEDA COUNTY C.3 STORMWATER TECHNICAL GUIDANCE DATED OCTOBER 31, 2017.
 3. PROPOSED BMPs SHALL USE A BIORETENTION SOIL MIX PER ATTACHMENT L OF THE C.3 STORMWATER CONTROL TECHNICAL GUIDANCE DATED APRIL 11, 2016 WITH A MINIMUM INFILTRATION RATE OF 5" PER HOUR

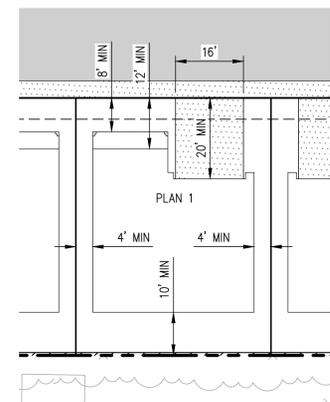
**VESTING TENTATIVE MAP
PRELIMINARY STORMWATER CONTROL PLAN
MOHR DRIVE - TRACT 8670**

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA
SCALE: 1" = 20' DATE: NOVEMBER 2023

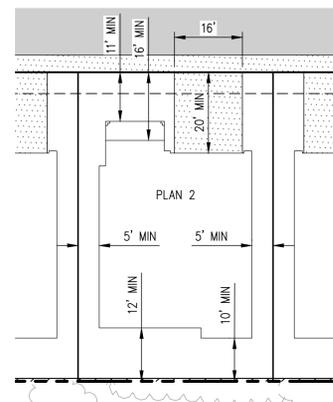


SAN RAMON (925) 866-0322
ROSEVILLE (916) 788-4456
WWW.CBANDG.COM
CIVIL ENGINEERS SURVEYORS PLANNERS

SHEET NO.
TM.6
OF - SHEETS



TYPICAL SETBACKS
PLAN 1
NOT TO SCALE



TYPICAL SETBACKS
PLAN 2
NOT TO SCALE

SETBACK SUMMARY		
SETBACK	DIMENSION (MINIMUM)	DIMENSION (TYPICAL)
FRONT	3'	12'
GARAGE	20'	20'
REAR	10'	12'±
SIDE	4'	PLAN 1-4'/PLAN 2-5'

LOT SUMMARY TABLE				
LOT #	LOT AREA (SF)	GROSS BUILDING AREA (SF)	BUILDING COVERAGE	PRIVATE OPEN SPACE
1	3,375	1,523	45%	574
2	3,375	1,523	45%	574
3	3,375	1,523	45%	574
4	3,479	1,523	44%	574
5	3,336	1,523	46%	534
6	3,336	1,523	46%	534
7	3,277	1,523	46%	534
8	2,866	1,299	45%	464
9	2,780	1,299	47%	464
10	2,780	1,299	47%	464
11	2,758	1,299	47%	464
12	4,720	1,523	32%	1,915

* PROPOSED AVERAGE LOT WIDTH FOR LOTS 1 - 12 IS 46'
 ** PROPOSED AVERAGE LOT DEPTH FOR LOTS 1 - 12 IS 67.5'
 *** PROPOSED DRIVEWAY WIDTH FOR LOTS 1 THROUGH 12 IS 16'

UNIT MIX			
PLAN	SF	TOTAL	%
1	2,124	4	33%
2	2,489	8	67%

LEGEND

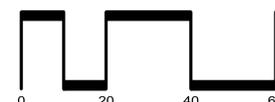
- LANDSCAPING
- PAVED DRIVE AISLE
- TURF BLOCK
- DECORATIVE PAVEMENT
- WALKWAY/DRIVEWAY
- BIORETENTION AREA

SITE DENSITY			
SITE AREA	NET SITE AREA	UNIT COUNT	SITE DENSITY
1.45 AC±	1.22 AC±	12	9.8 DU/AC

* SITE DENSITY IS BASED ON NET SITE AREA (SITE AREA MINUS DRIVE AISLE)

VESTING TENTATIVE MAP PLANNED DEVELOPMENT SITE PLAN 24656 & 24764 MOHR DRIVE

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA
 SCALE: 1" = 20' DATE: NOVEMBER 2023



SAN RAMON (925) 866-0322
 ROSEVILLE (916) 788-4456
 WWW.CBANDG.COM
 CIVIL ENGINEERS SURVEYORS PLANNERS

SHEET NO.
C.1
 OF # SHEETS