

**CITY COUNCIL MEETING
TUESDAY, APRIL 3, 2018**

PRESENTATIONS

ITEM 10 – WS 18-013

**FY 2019 COMMUNITY AGENCY
FUNDING RECOMMENDATIONS**

Council Work Session on FY 2019 Community Agency Funding Recommendations



Dana Bailey, Community Services Manager

April 3, 2018

PRESENTATION OUTLINE

2

- ▶ FY 2019 Application Review & Funding Process
- ▶ Overview of Selection Criteria
- ▶ Summary of FY 2019 Funding Recommendations
- ▶ Overview of FY 2019 Funding Recommendations by Category
- ▶ Review of FY 2019 Applications Not Recommended for Funding
- ▶ Council Discussion/Q & A
- ▶ Next Steps

FY 2019 APPLICATION REVIEW AND FUNDING PROCESS

3

▶ NOTIFICATIONS:

- ▶ NOFA → September 22, 2017
- ▶ Bidding Conference → Oct. 2, 2017
- ▶ 32 Applications received by Dec. 8, 2017

▶ ESTABLISHMENT OF 3 APPLICATION REVIEW COMMITTEES (ARCS):

- ▶ Infrastructure & Economic Development Category
- ▶ Services Category
- ▶ Arts and Music Category

▶ INTERVIEWS:

- ▶ "Infrastructure & ED" *and* "Arts & Music" ARC's
 - ▶ Sat., Jan. 27, 2018
- ▶ "Services" ARC
 - ▶ Sat. February 3, 2018

▶ CSC REVIEW/FINAL RECOMMENDATIONS TO COUNCIL

- ▶ February, 22, 2018, and
- ▶ March 22, 2018

FY 2019 APPLICATION REVIEW AND FUNDING PROCESS

4

COMMISSIONERS

- Antonio Isais (Chair)
- Julie Roche (Vice Chair)
- Arzo Mehdavi (Parliamentarian)
- Michael Francisco
- Lisa Glover-Gardin
- Saira Guzman
- Janet Kassouf
- Arvindra Reddy
- Ernesto Sarmiento, Jr.
- David Tsao
- Rachel Zargar

ARC CHAIRS

INFRASTRUCTURE & ARTS & MUSIC FUNDING CATEGORIES:

- ❖ Julie Roche

SERVICES FUNDING CATEGORY

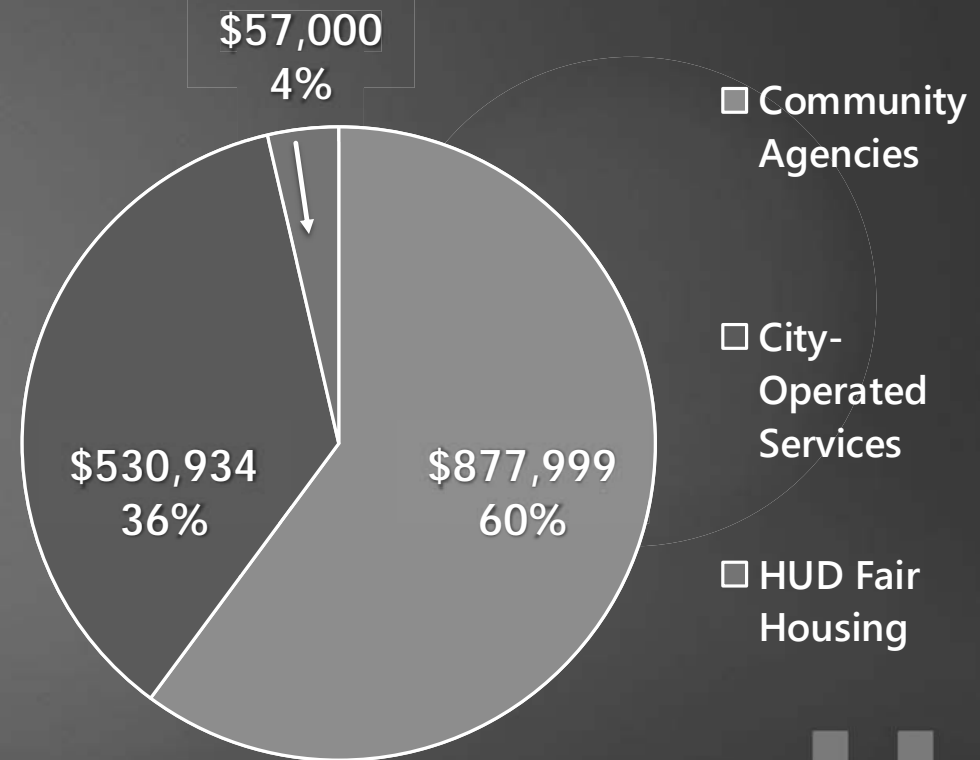
- ❖ Lisa Glover-Gardin

SELECTION CRITERIA

- ❖ Support reduction of homelessness and housing security;
- ❖ Align with Council Strategic Initiatives;
- ❖ Document a community need and the applicants ability to meet the need; and
- ❖ Deliver maximum impact through results-based accountability.

FY 2019 RECOMMENDED FUNDING SUMMARY

FUNDING SOURCE BY CATEGORY	AMOUNT
Jobs, Infrastructure & ED (CDBG)	\$345,999
Social Services (General Fund)	\$450,000
Arts & Music (General Fund)	\$ 82,000
SUBTOTAL	<u>\$877,999</u>
City-Operated Programs (CDBG)	\$530,934
HUD required fair housing activities (CDBG)	\$ 57,000
SUBTOTAL	<u>\$587,934</u>
TOTAL	\$1,465,933



BREAKDOWN OF FY 2019 FUNDING RECOMMENDATIONS BY CATEGORY

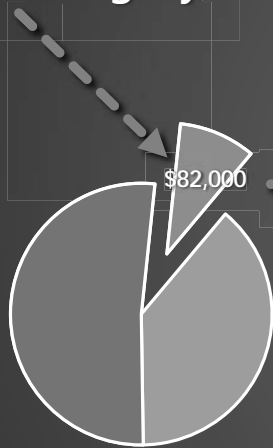
- Arts and Music Category
- Infrastructure & Economic Development Category
- Services Category

CITY-OPERATED PROGRAMS CATEGORY

AGENCIES NOT RECOMMENDED FOR FUNDING

RECOMMENDATIONS FY 2019: ARTS & MUSIC

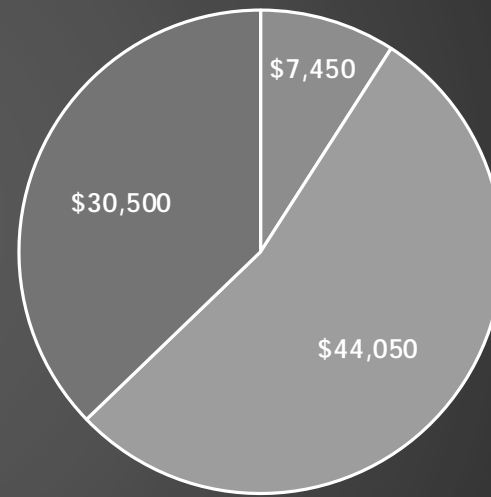
Arts & Music
by Sub-category



REQUESTED:
\$105,752



RECOMMENDED:
\$82,000



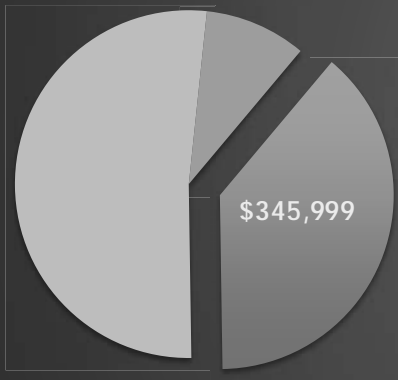
□ HAHS □ Visual Arts □ Music Performance

Arts and Music Category

AGENCY NAME	PROJECT	FY 2019 REQUESTS	FY 2019 RECOMMENDED
Hayward Area Historical Society	Fiscal Sponsor: grant administrator	\$9,614	\$ 7,450
Hayward Arts Council	Operation of five Hayward art galleries	\$27,000	\$16,500
Hayward Arts Council	Partnership with HUSD to provide school site orchestral music festival	\$7,550	\$7,550
Hayward Municipal Band	Five free Sunday concerts in Hayward Memorial Park	\$15,688	\$9,600
Pacific Chamber Symphony	"Music is Fun" elementary school assembly program	\$8,800	\$8,800
Sun Gallery	Visual and performance art exhibitions	\$33,000	\$28,000
Youth Orchestra of So. Alameda County	Youth orchestra scholarship program	\$4,100	\$4,100
TOTAL:		<u>\$105,752</u>	<u>\$82,000</u>

RECOMMENDATIONS FY 2019: JOBS, INFRASTRUCTURE & ECONOMIC DEVELOPMENT

Jobs, Infrastructure, Economic Development by Sub-category



REQUESTED:
\$387,999



RECOMMENDED:
\$345,999

- Facility Improvements/Acquisition
- Economic Development

JOBS, INFRASTRUCTURE & ECONOMIC DEVELOPMENT CATEGORY

11

AGENCY NAME	PROJECT	FY 2019 REQUESTS	FY 2019 RECOMMENDED
Community Child Care Council (4C's)	Family child care provider business development	\$30,000	\$30,000
Downtown Streets Team (DTS)	Homeless employment training and job placement	\$149,999	\$149,999
Elevating Soulciety	Computer repair training and job placement for youth	\$50,000	\$45,000
Eastbay Community Recovery	Facility rehabilitation: replacement of heating and cooling system	\$37,000	\$0
HARD Foundation – Mia's Dream project	Site preparation for fully ADA compliant playground at Tennyson Park	\$96,000	\$96,000
Magnolia Women's Recovery	Bathroom Renovation at Shelter	\$25,000	\$25,000
TOTAL:		\$387,999	\$345,999

RECOMMENDATIONS FY 2019: SERVICES

12

REQUESTED:
\$791,019



RECOMMENDED:
\$450,000

Services by Sub-category



- Food Security 12%
- Health Services 3%
- Homelessness and Anti-displacement 60%
- Legal Services 7%
- Youth and Family Services 18%

SERVICE CATEGORY

13

AGENCY NAME	PROJECT	FY 2019 REQUESTS	FY 2019 RECOMMENDED
Abode Services	Permanent supportive housing for chronically homeless Hayward residents	\$51,822	\$40,000
Family Emergency Shelter Coalition (FESCO)	22-bed emergency shelter for homeless families	\$50,000	\$30,000
Ruby's Place	Shelter for victims of domestic violence	\$40,000	\$30,000
SAVE / COPS	Domestic violence counseling and housing services homeless women & children	\$10,000	\$10,000
South Hayward Parish	Homeless services case manager	\$38,000	\$38,000
Eden Information & Referral	2-1-1 free, multi-lingual call line for housing, health and human services	\$50,000	\$50,000

SERVICE CATEGORY

14

AGENCY NAME	PROJECT	FY 2019 REQUESTS	FY 2019 RECOMMENDED
Family Violence Law Center (FVLC)	Free legal services to victims of domestic violence facing homelessness	\$50,000	\$30,000
Legal Assistance for Seniors (LAS)	Legal services related to housing, Medicare and elder abuse for Hayward seniors	\$22,000	\$17,000
Centro Legal de la Raza	Free legal services in defense of low-income tenants facing eviction	\$135,000	\$54,000
International Institute of the Bay Area	Legal services and know-your-rights workshops for Hayward immigrants	\$20,000	\$15,000
Spectrum Community Services	Congregate meals program for food insecure seniors	\$30,000	\$15,000
Alameda County Food Bank	Food scholarships for seven Hayward food pantries • Bridge of Faith Church • Building Opportunity for Self Sufficiency • Christ Center Missionary • Magnolia Women • Salvation Army • South Hayward Parish • United Smith Memorial	\$40,000	\$40,000

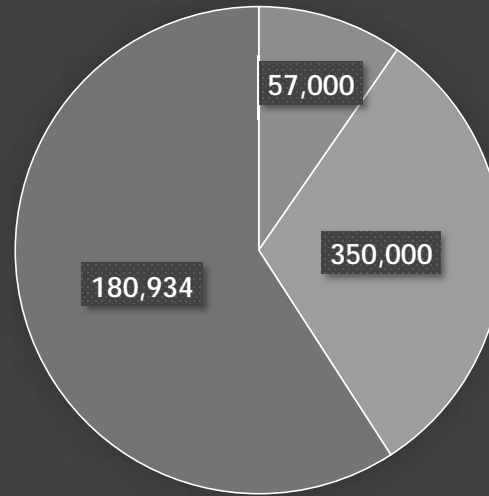
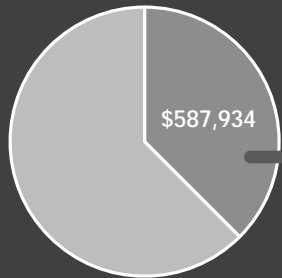
SERVICE CATEGORY

15

AGENCY NAME	PROJECT	FY 2019 REQUESTS	FY 2019 RECOMMENDED
St. Rose Hospital Foundation	Hands-on training and internships in the health field for Hayward youth	\$29,000	\$18,000
Tri- City Health Center	Early intervention services to HIV positive Hayward residents	\$20,000	\$10,000
Child Abuse, Listening, Interviewing, and Coordination Center (CALICO)	Partnership with Hayward PD to interview victims of child abuse	\$35,000	\$18,000
East Bay Agency for Children (EBAC)	Supportive services to families accessing the HUSD HUB	\$55,197	\$0
Horizon Services	Counseling and crisis intervention services to LGBTQ Hayward youth	\$65,000	\$15,000
Eden Youth and Family Center	Partnership with Hayward PD to provide gang prevention services	\$50,000	\$20,000
TOTAL:		\$791,019	\$450,000

RECOMMENDATIONS FY 2019: CITY OF HAYWARD – CITY PROGRAMS

City-based by sub-category



**REQUESTED:
\$592,000**

**RECOMMENDED:
\$587,934**

- Fair Housing
- Housing Rehabilitation
- Family Education



CITY OF HAYWARD – CITY-OPERATED PROGRAMS CATEGORY

AGENCY NAME	PROJECT	FY 2019 RECOMMENDED
Eden Council for Hope and Opportunity (ECHO)	HUD-mandated Fair Housing programs including tenant/landlord mediation	\$57,000
Hayward-operated Housing Rehabilitation Program	Owner -occupied property rehab assistance to low-income seniors and people with disabilities	\$350,000
Library Services Family Education Program	Afterschool homework support and adult literacy programs	\$180,934
TOTAL:		\$587,934

TWO AGENCIES NOT RECOMMENDED:

18

1 EAST BAY COMMUNITY RECOVERY PROJECT (EBCRP)

▶ Request:

- ▶ Funds for heating and cooling system replacement at Hayward service locations

▶ Concerns:

- ▶ Costs of continued maintenance over life of building;
- ▶ Request for Capital Improvement Plan in prior funding cycles not developed/produced.

TWO AGENCIES NOT RECOMMENDED:

19

2 EAST BAY AGENCY FOR CHILDREN – HUB COORDINATION

▶ Request:

- ▶ Funds for a Services Coordinator Position at HUSD HUB;

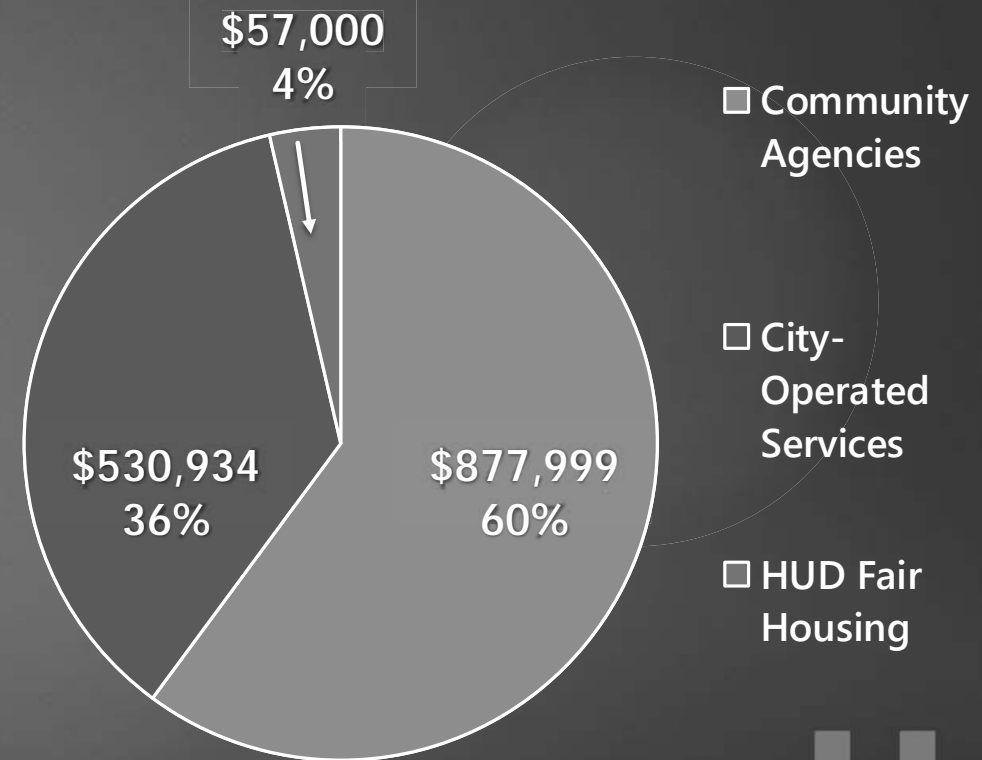
▶ Concerns:

- ▶ Parameters of program needed more development
- ▶ Due to upcoming hiring of HUB Director, agency may want to reapply after Director comes on board

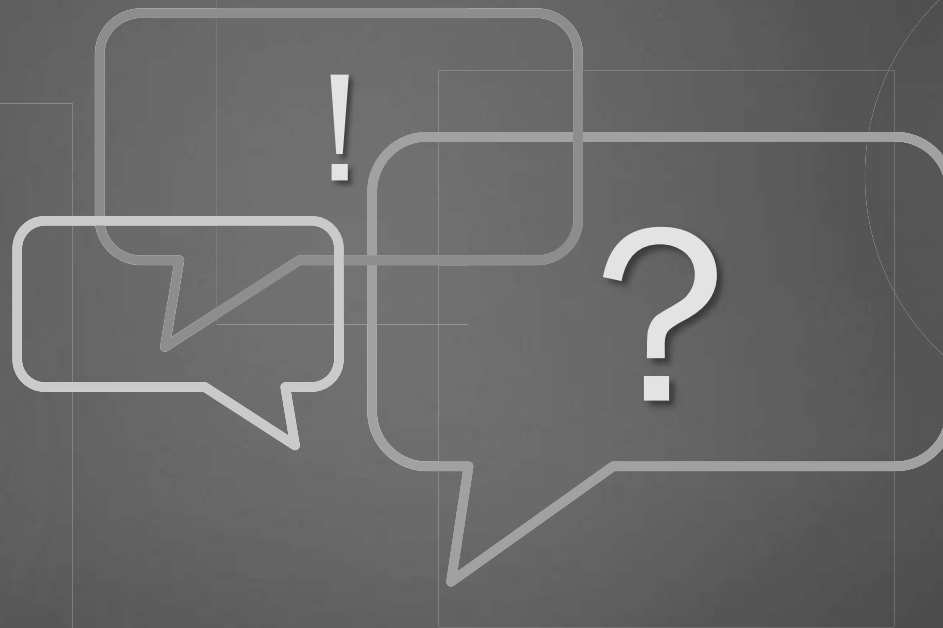
FY 2019 RECOMMENDED FUNDING SUMMARY

20

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COUNCIL DISCUSSION



NEXT STEPS

17

- April 17, 2018: Public hearing; Adoption of FY 2019 Community Agency Funding Recommendations
- Contract negotiations begin immediately following Adoption
- May 2018: Monitoring of FY 18 programs
- July 2018: FY 2019 Funded Programs operational
- September 2018: FY 2020 Community Agency Funding process begins



ITEM 11 – PH 18-028

**ADOPTION OF A REOLUTION ASSOCIATED
WITH A PROPOSED SINGLE-FAMILY RESIDENT
ON A VACANT 0.13-ACRE HILLSIDE LOT
LOCATED AT 2398 RAINBOW COURT**



DEVELOPMENT SERVICES

2398 Rainbow Court Single-Family Residence

Maria Langbauer, Assistant Planner

City Council
April 3, 2018

Requested Action



Staff requesting the City Council consider the following:

- ▶ **Site Plan Review with Grading Permit**
 - Hillside lot that exceeds 20% slope
- ▶ **Variance Request**
 - Rear Yard Setback
- ▶ **Mitigated Negative Declaration with Mitigation and Monitoring Plan**

Project Site



Location:

2398 Rainbow Court

Zoning:

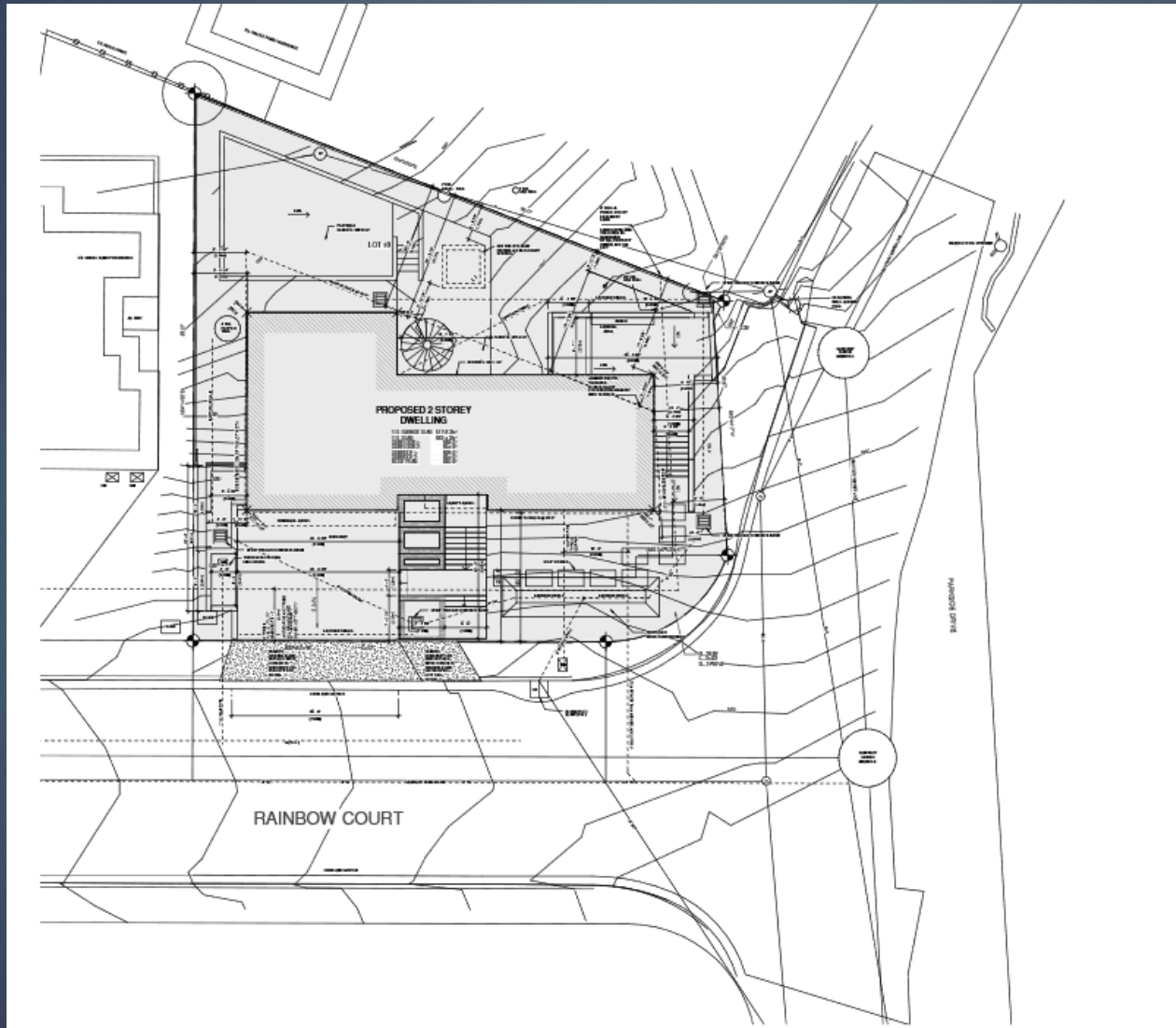
RS, Single Family Residential

General Plan

Designation:

Suburban Density Residential (SDR)

Site Plan



- Corner Lot
- Slope 26%

Project Summary



✓ Site Plan Review



- In 1978, Final Map Tract 3992 was recorded for the subdivision with a height limit 28' 3"
- Two-story "Eichler- Type contemporary home
- 2,672 Sq. Foot Single-Family Residence
- Constructed using metal-framing, finished stucco, and aluminum panels
- New house will be environmentally-friendly & use sustainable materials

Project Summary



✓ Variance

- Encroach 5' 3" into the required rear yard setback
- Variances may be granted where there are special circumstances related to the lot size, shape, topography and physical constraints that create unique hardship



- Slope 26%
- Properties in the area have rectangular shape lot depth of 80 feet
- The northeast corner has a lot depth of 56 feet

Project Summary



✓ Grading Permit

- Grading Permit from the City Council required for site grading on sites that contain an average slope exceeding 20%. This site contains 26% average slope.

✓ Landscaping & Tree Removals

- Remove one protected tree
- Plant ten new trees as mitigation around project site
- Adding Drought-Tolerant Landscaping

✓ Site Improvements

- On and Off-Site Drainage Improvements

Environmental Review



- ✓ Initial Study and Mitigated Negative Declaration (IS/MND) were prepared for the proposed project.
- ✓ Impacts identified are related to ***Geology & Soils***.
- ✓ Mitigated Negative Declaration was circulated for a 20 day comment period. **No comments were received.**
- ✓ Mitigation Monitoring and Reporting Program requires applicant incorporate measures as a condition of project approval
- ✓ Mitigation measures would minimize any potential impact to a level of ***less than significant***.

Policy Context & Code Compliance



- Consistent with the goals and policies of the *Hayward 2040 General Plan*
- Consistent with the design standards of the *Hillside and Urban Wildlife Interface Guidelines*
- Supports Complete Communities Strategic Initiative by adding new housing

Zoning Development Standards



- Consistent with majority of RS, Single-Family District development standards

Criteria	Proposed	Required or Max. Allowed
Lot Coverage	28.5%	40%
Front Setback	20'	20'
Side Yard	8' 4"	6' 4"
Side Street Yard	10'	10'
Rear Yard	15' (Northeaster corner of the lot) 20' (Northwestern corner of the lot)	20'
Parking	Two-car garage	Two-car garage
Driveway Length	20'	20'
Height	28' 3"	28' 3"

Public Outreach



- On March 5, 2018, staff received one letter of support from an adjacent property owner for the proposed variance

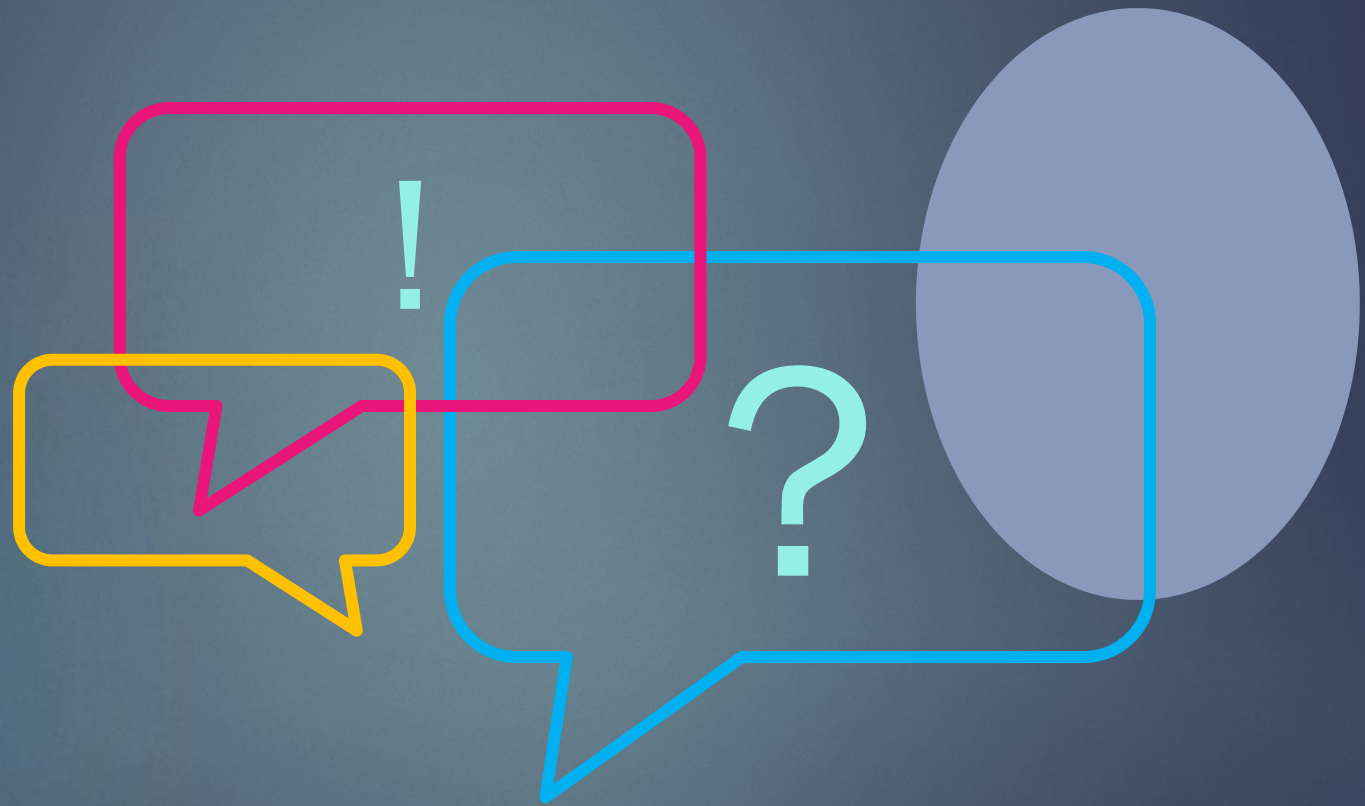


Recommended Action



- ▶ On March 22nd, the Planning Commission reviewed the application and voted 5-0 to Recommend Approval of Project & Mitigated Negative Declaration
- ▶ Staff recommends the City Council:
 - ✓ **Approve** the Site Plan Review with Grading Permit and Variance request based on the required Findings and subject to the Conditions of Approval; and
 - ✓ **Adopt** the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the proposed project.

Questions





Proposed Plans





17-802 MIAKHAIL

PLANNING APPROVAL SET

- A 04 Site location
 - A 05 Compaction
 - A 06 Plat plan
 - A 100 Site plan
 - A 101 Foundation plan
 - A 104 Main floor plan
 - A 105 First floor plan
 - A 106 Roof plan
 - A 108 Wall elevation
 - A 109 North elevation
 - A 110 East elevation
 - A 111 South elevation
 - A 112 West elevation
 - A 113 Cross section 1
 - A 114 Cross section 2
 - A 115 Unapproved building
 - A 116 Proposed
- NOTES: SEE DRAWING SHEETS FOR ALL DETAILS AND SPECIFICATIONS. ALL DIMENSIONS ARE IN FEET AND INCHES. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. SEE PLAN FOR ALL DIMENSIONS.



**THESE PLANS ARE NOT FOR CONSTRUCTION

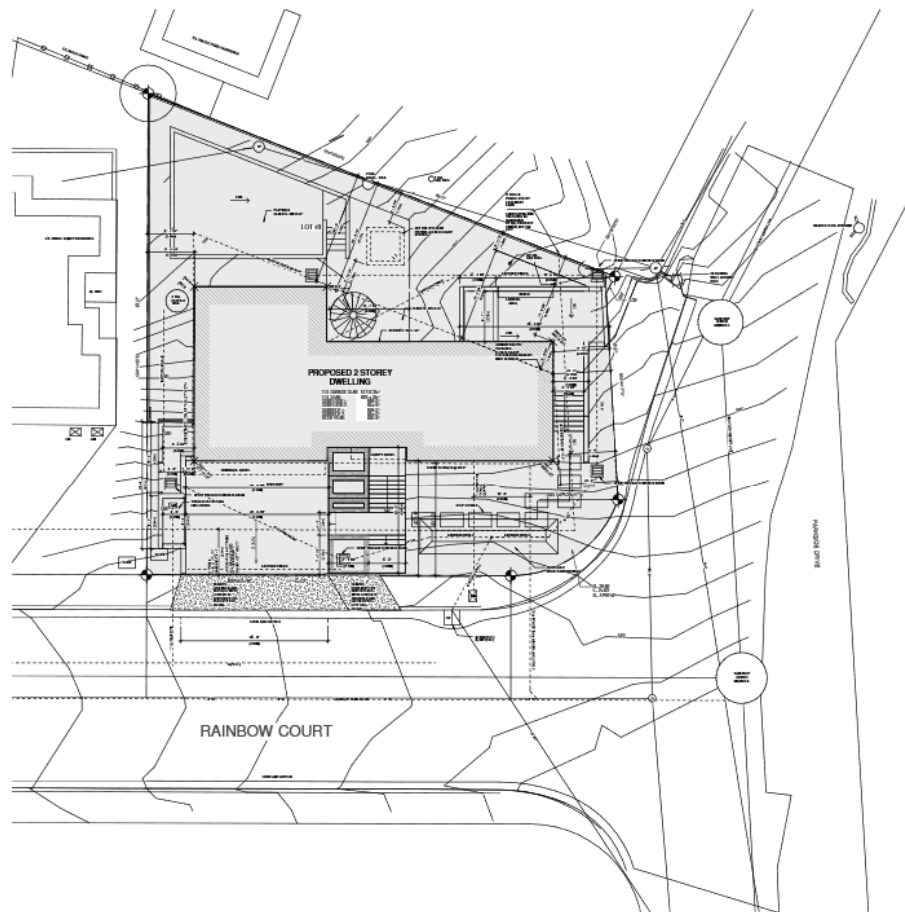


THE FOLLOWING PLANS, PROVIDED BY BONE STRUCTURE, ARE FOR INFORMATION REGARDING THE CONSTRUCTION OF THE PROJECT BY A LICENSED ARCHITECT. BONE STRUCTURE IS THE SUPPLIER OF A STRUCTURAL SYSTEM THAT INCLUDES THE ANCHORS NECESSARY FOR THE EXISTING AND PROPOSED FOUNDATION. ALL OTHER SYSTEMS ARE SHOWN ONLY FOR UNDERSTANDING AND ARE UNDER THE RESPONSIBILITY OF THE BUILDER.

DATE : 2017/09/19



BONE STRUCTURE IS AN EQUAL OPPORTUNITY EMPLOYER AND PROVIDES REASONABLE ACCOMMODATIONS FOR ALL EMPLOYEES AND APPLICANTS.



Zoning and Use Restrictions Note

Lot Area	3,500 sq. ft.
Front Setback	10 ft.
Side Setback	5 ft.
Front Yard Coverage	15%
Max. Height	20 ft.
Max. Floor Area	7,000 sq. ft.
Max. Density	10 units/acre

THESE PLANS ARE NOT FOR CONSTRUCTION.

Simple Concept
 2817 JOSEPH S. BERMAN BL. LEAN, CA. CA 94702
 T. 415.836.7433 FAX. 415.350.4517

THESE PLANS HAVE BEEN PREPARED BY BONE STRUCTURE, ARCHITECTS, AND FOR THE CONSTRUCTION OF THE DOWNTOWN SAN FRANCISCO OFFICE BUILDING. THE PROJECT IS AN INDUSTRIAL AND COMMERCIAL ZONED PROJECT. THE STAFF HAS A COMPLETE UNDERSTANDING AND KNOWLEDGE OF THE APPLICABLE REGULATIONS AND STANDARDS FOR THE PROJECT AND HAS BEEN ADVISED BY THE CLIENT THAT THE INFORMATION PROVIDED HEREON IS TRUE AND CORRECT. BONE STRUCTURE AND ITS ARCHITECTS ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND ARE NOT RESPONSIBLE FOR THE NUMBER OF ACCESSORIES.

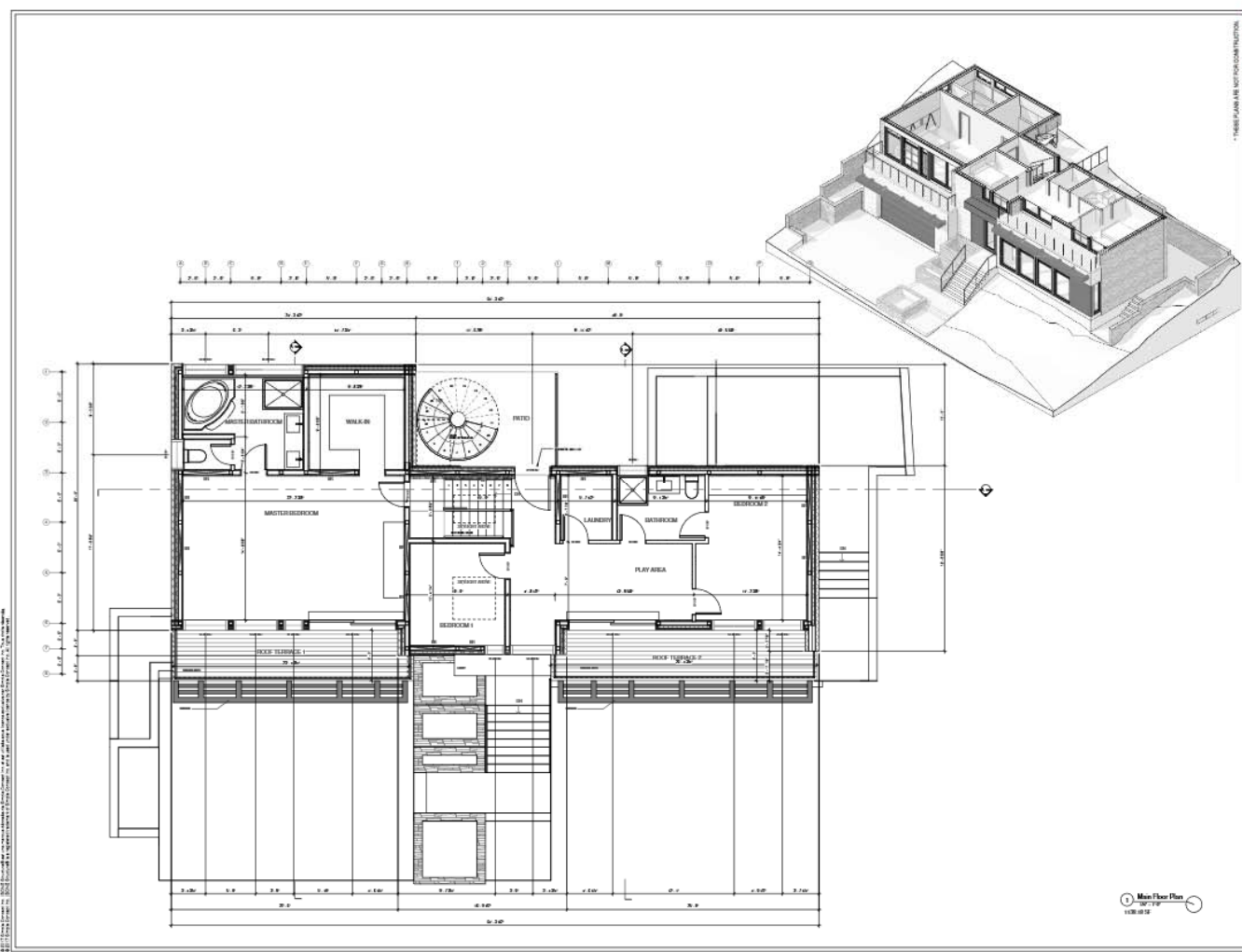
NO.	DATE	BY	NO.

PROJECT: **MIKHAIL**
 17-882
 2358 RAINBOW COURT
 HAYWARD, CA 94542, APN 425-0410-031

DRAWING TITLE	CHECKED BY
Site plan	Author
	CHECKER
	Checker
DATE	DATE
2017/08/16	
SCALE	SCALE
As indicated	
REVISION	
PAGE	PAGE



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BONE STRUCTURE

- SYMBOLS LEGEND & NOTES**
1. THIS PLAN IS FOR NOT FOR CONSTRUCTION.
11. CONSTRUCTION
- 1. FOUNDATION WALLS: 8" CMU WALLS WITH REINFORCING BARS AND 4" SAND FILL AT BASE. WALLS TO BE CONCRETE ON GRADE.
 - 2. FLOORING: 1/2" CLEAR Gypsum Board over 5/8" OSB Sheathing on 2x12 Joists with 1/4" acoustic insulation in cavities.
 - 3. WALLS: 8" CMU WALLS WITH REINFORCING BARS AND 4" SAND FILL AT BASE.
 - 4. ROOFING: 2" POLYISOCYANURATE RIGID INSULATION ON 2x12 JOISTS WITH 1/2" OSB SHEATHING ON GRADE.
 - 5. CEILING: 1/2" CLEAR Gypsum Board over 5/8" OSB Sheathing on 2x12 Joists.
 - 6. DOORS: 1 1/2" Solid Core Doors with 2" Weatherstripping and 1" Kick Plates.
 - 7. WINDOWS: 1/2" Insulating Glass Units (IGU) with 2" Weatherstripping.
12. FINISHES
- 1. FLOORING: 3/4" Hardwood Plank over 1/2" OSB Sheathing on 2x12 Joists.
 - 2. WALLS: 1/2" Drywall with Joint Compound and Tape.
 - 3. CEILING: 1/2" Drywall with Joint Compound and Tape.
 - 4. DOORS: 1 1/2" Solid Core Doors with 2" Weatherstripping and 1" Kick Plates.
 - 5. WINDOWS: 1/2" Insulating Glass Units (IGU) with 2" Weatherstripping.

Simple Concept
 2887 BROADWAY, SUITE 100, LOS ANGELES, CA 90012
 P: (213) 475-2000

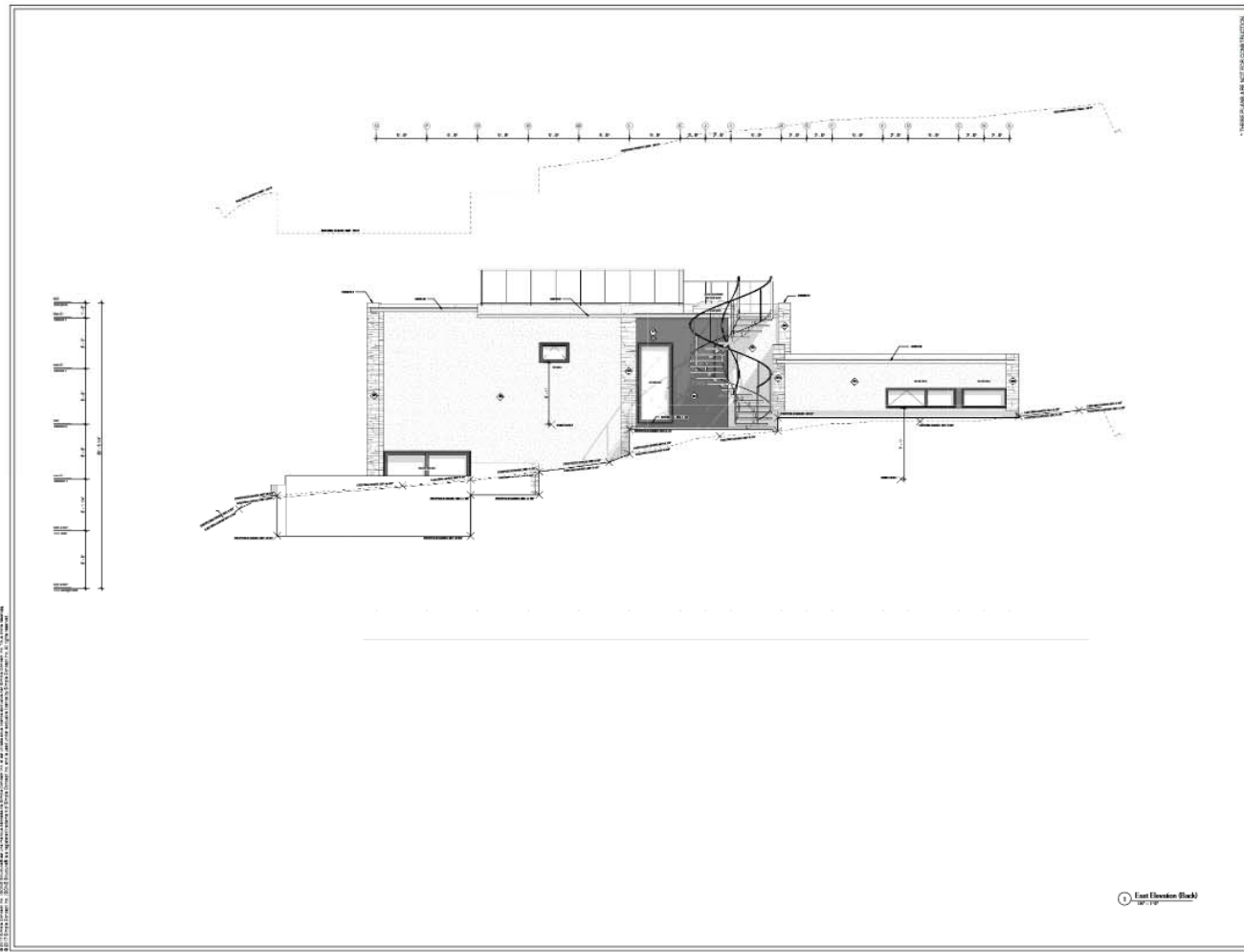
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DATE	REVISION	BY	NO.

PROJECT: **MIKHAIL**
 17-202
 2887 BROADWAY, SUITE 100
 HAYWARD, CA 94542, PH: 415-410-0311

DRAWING TITLE:	DESIGNED BY:	Author
First Floor Plan	CHK'D BY:	Checker
	DATE:	20170616
	SCALE:	As indicated
	REVIEW:	
	PAGE:	A. 105

1. Main Floor Plan
 10.16.17



* THESE PLANS ARE NOT FOR CONSTRUCTION

BONE

STRUCTURE

SYMBOLS LEGEND

- 12 MASONRY (SEE MASONRY SCHEDULE) (SEE PLAN) (SEE MASONRY SCHEDULE)
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Simple Concept

7007 JEFFERSON AVE. BERKELEY, CA 94704
 TEL: 415.849.1000

NO.	DESCRIPTION	DATE	BY	CHKD.

PROJECT: MIAKI-HAIL

17-802

2005 BAINBRIDGE COURT
 BAYVIEW, CA 94624, 415-849-1000

DATE: 10/17/08

SCALE: AS INDICATED

PRICE: \$

A. 202

ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE IN METERS. DIMENSIONS IN METERS ARE FOR INFORMATION ONLY. DIMENSIONS IN FEET AND INCHES SHALL CONTROL. ALL DIMENSIONS SHALL BE TO FINISH UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF EXISTING CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ERECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FOUNDATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ROOFING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INTERIORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EXTERIORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LANDSCAPING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SIGNAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FURNITURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SUPPLIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ERECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FOUNDATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ROOFING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INTERIORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EXTERIORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LANDSCAPING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SIGNAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FURNITURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SUPPLIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES.

1 East Eleventh Street
 94612



- CONCRETE WALL
- CONCRETE FLOOR
- CONCRETE ROOF
- CONCRETE COLUMN
- CONCRETE SLAB
- CONCRETE BEAM
- CONCRETE WALL
- CONCRETE FLOOR
- CONCRETE ROOF
- CONCRETE COLUMN
- CONCRETE BEAM
- CONCRETE WALL
- CONCRETE FLOOR
- CONCRETE ROOF
- CONCRETE COLUMN
- CONCRETE BEAM

Simple Concept

2017 JACOBI & SCHWARTZ LLP, INC. (JAS) 10/11/17
T. SCHWARTZ (T.SCHWARTZ@JAS.COM)

THIS DOCUMENT IS PREPARED BY THE ARCHITECT AND THE ENGINEER FOR THE ARCHITECT'S USE ONLY. IT IS THE ARCHITECT'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY THAT ALL REGULATIONS, ORDINANCES, AND CODES ARE COMPLIED WITH. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.

NO.	REVISION	DATE

PROJECT: MIKHAIL

17-802

2016 FAIRVIEW COURT
TAYMOR, CA 94542, (916) 255-5415

DRAWING TITLE: Longitudinal section

SCALE: As indicated

DATE: 10/11/17

PRICE: A. 302

1 Longitudinal section
of 17

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MIKHAIL RESIDENCE

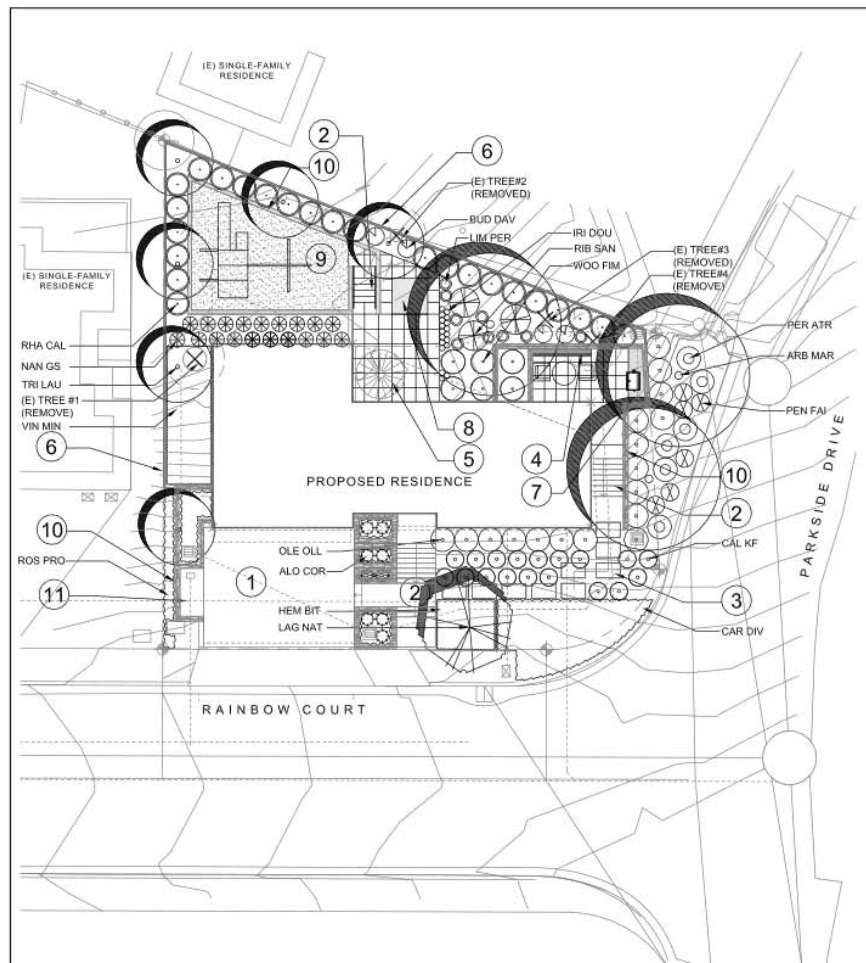
2306 Rainbow Court
Hayward, CA
94542

Taniguchi Landscape Architecture
1013 South Claremont St., Ste 1
San Mateo, CA 94402
V 650.638.9985 | F 650.638.9986
CLA #2942

Scale: 1/8" = 1'-0"

Sheet: 1/10
Project Number: PLAN 19-030

Sheet Title: SCHEMATIC



KEY NOTES

- 1 DRIVEWAY
- 2 STEPS/STAIRS
- 3 CONCRETE STEP PADS
- 4 SEATING BUILT INTO RETAINING WALL
- 5 STAIRS FROM ROOF DECK
- 6 WOOD FENCE AT PROPERTY LINE-6 FT HIGH
- 7 OUTDOOR KITCHEN
- 8 SPA
- 9 PLAY AREA-BARK SURFACE
- 10 RETAINING WALL
- 11 TRASH/RECYCLING BIN STORAGE

LEGEND



LANDSCAPE STATEMENT

THE PROJECT LANDSCAPE IS PROPOSED ON A SITE THAT SLOPES PREDOMINANTLY TO THE WEST. THE PROPOSED RESIDENCE IS MULTI-LEVELLED AND ALSO STEPS WITH THE SLOPE TO ADDRESS THE EXISTING SITE CONDITIONS. THE PROPOSED LANDSCAPE IS INTENDED TO BE BOTH WATER CONSERVING AND LOW-MAINTENANCE. PLANT MATERIALS ARE ZONED TO ADDRESS BOTH EXPOSURES AND SITE CONCERNS. THE PERIMETERS ARE PLANTED WITH TREES AND SHRUBS TO PROVIDE BOTH THE OCCUPANTS AND NEIGHBORS WITH PRIVACY. BRACKLEAV EXVERGREEN TREES ARE PROPOSED IN LOCATIONS WHERE PRIVACY IS OF GREATEST CONCERN. THE TREES LOCATED TO MAINTAIN VIEWS FROM THE TERRACES ON THE WEST ELEVATION OF THE PROPOSED RESIDENCE. RETAINING WALLS ARE SCREENED WITH PLANT MATERIALS. THE PLANT MATERIAL SELECTION AND ORGANIZATION ARE INTENDED TO ENHANCE THE SIMPLE CONTEMPORARY ARCHITECTURE OF THE RESIDENCE. THE PLANT SPECIES SELECTION VARIED TO PROVIDE DIFFERENT TEXTURES AND FORM WITH OPPORTUNITIES FOR SEASONAL FLOWERING AND COLOR. AS SITE GRADING IS INITIATED, TOPSOIL WILL BE STOCKPILED FOR USE IN THE PROJECT LANDSCAPE TO THE EXTENT POSSIBLE. ON SLOPES STEEPER THAN 3:1 A JUTE MESH WILL BE USED FOR EROSION CONTROL PURPOSES. FOR INSTALLATION AND LONG-TERM MAINTENANCE OF THE LANDSCAPE, SUSTAINABLE AND "BIY-FRIENDLY" PRACTICES ARE GOALS OF THE OWNER. THE INTENT IS TO RECYCLE A MINIMUM OF 50% OF THE LANDSCAPE CONSTRUCTION AND GREEN WASTE.

PLANT LIST	SCIENTIFIC NAME	COMMON NAME	DBP	WIND MIRROR ENDUSEMENT	MATURE HEIGHT	FRUIT	WIND MIRROR
TREES							
01-001	Platanus occidentalis	American Sycamore	12-15'		20-30'	Green	1
01-002	Quercus agrifolia	Live Oak	12-15'		20-30'	Green	1
01-003	Quercus laevis	Swamp White Oak	12-15'		20-30'	Green	1
01-004	Quercus macrocarpa	Big Leaf Oak	12-15'		20-30'	Green	1
01-005	Quercus lobata	California Live Oak	12-15'		20-30'	Green	1
01-006	Quercus agrifolia	Live Oak	12-15'		20-30'	Green	1
01-007	Quercus agrifolia	Live Oak	12-15'		20-30'	Green	1
01-008	Quercus agrifolia	Live Oak	12-15'		20-30'	Green	1
01-009	Quercus agrifolia	Live Oak	12-15'		20-30'	Green	1
01-010	Quercus agrifolia	Live Oak	12-15'		20-30'	Green	1
01-011	Quercus agrifolia	Live Oak	12-15'		20-30'	Green	1
01-012	Quercus agrifolia	Live Oak	12-15'		20-30'	Green	1
01-013	Quercus agrifolia	Live Oak	12-15'		20-30'	Green	1
01-014	Quercus agrifolia	Live Oak	12-15'		20-30'	Green	1
01-015	Quercus agrifolia	Live Oak	12-15'		20-30'	Green	1
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01-019	Quercus agrifolia	Live Oak	12-15'		20-30'	Green	1
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MIKHAIL
RESIDENCE

2396 Rainbow Court
Hayward, CA
94542

Taniguchi Landscape Architecture
1013 South Cleveland St., Ste 1
San Mateo, CA 94402
v 650.836.9966 | f 650.836.9966
C.A. #2542



DATE: 08/10/2017 TIME: 11:00 AM

SCALE: AS SHOWN

DESIGN NUMBER: 2017-0006

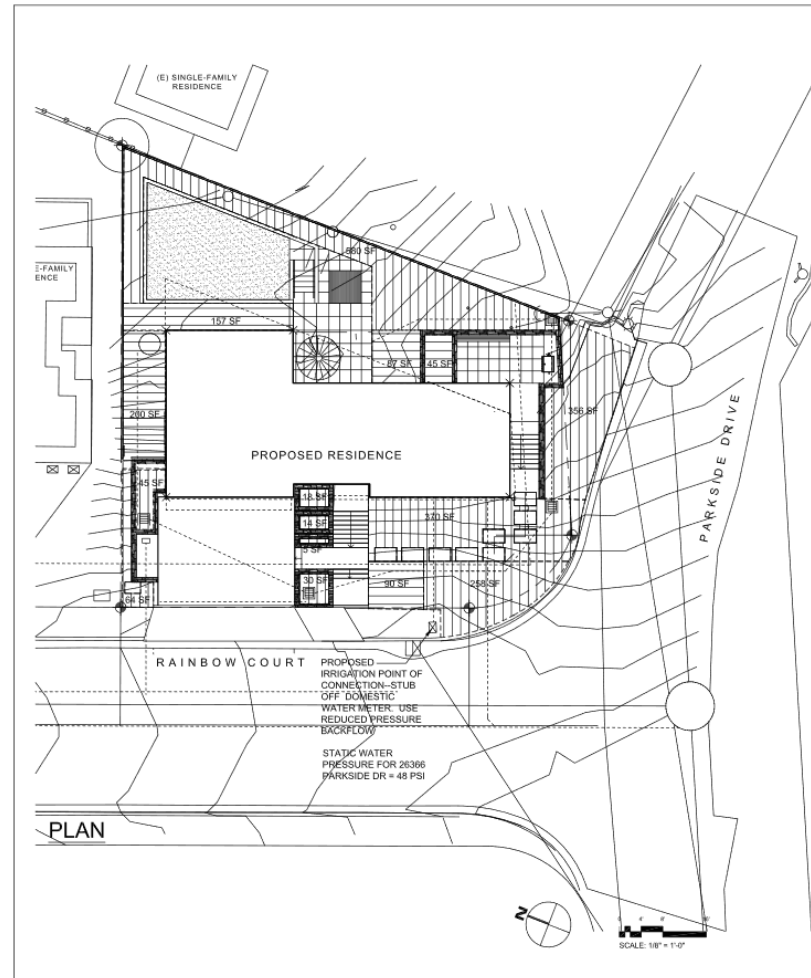
PROJECT NO:

DATE:

IRRIGATION
HYDROZONE
PLAN

DATE:

L-2



CONCEPTUAL IRRIGATION STATEMENT

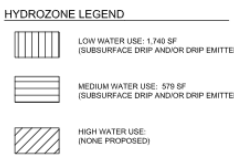
1. IRRIGATION DESIGN SHALL BE ZONED FOR 1) TURF AND ANNUALS AND OTHER MODERATE TO HIGH WATER USE PLANT MATERIALS, 2) UNDERCOVERS, AND 3) NATIVE AND WATER CONSERVING PLANT MATERIALS.
2. IRRIGATION DESIGN SHALL ALSO BE ZONED FOR MICRO CLIMATES INCLUDING COOL, SHADED AND PROTECTED AREAS, AS WELL AS HOT, SUNNY AND WINDY AREAS.
3. PART SHADE AREAS INCLUDE MODERATE WATER USE AREAS HAVING MORNING AND/OR AFTERNOON SHADE.
4. COOL AND FULL SHADE AREAS INCLUDE LOW WATER USE AREAS FOR PLANTS REQUIRING LITTLE OR NO IRRIGATION WATER AND/OR LOCATIONS THAT WILL PROVIDE MORE CONDITIONS.
5. LAYOUT SHALL BE DESIGNED FOR MINIMUM RUNOFF AND OVERSPRAY ONTO NON-LANDSCAPED AREAS.
6. LOW VOLUME SPRINKLERS SHALL BE USED WHEREVER POSSIBLE WITH HEAD TO HEAD COVERAGE.
7. DRIP EMITTER OR BUBBLER IRRIGATION SHALL BE UTILIZED AT TREES TO PROMOTE DEEP WATERING WHENEVER POSSIBLE.
8. DRIP IRRIGATION SHALL BE UTILIZED AT NON-TRAFFIC OR ISOLATED PLANTING AREAS TO DECREASE THE POSSIBILITY OF VANDALISM TO THE MICROCLIMATE.
9. THE IRRIGATION CONTROLLER SHALL HAVE WAFLE CAPACITY IN TERMS OF PROGRAMS AND CYCLES THAT WILL MATCH THE COMPLEXITY OF THE LANDSCAPE PLAN FOR MORE EFFICIENT WATERING. FOR EXAMPLE, THE CONTROLLER SHALL HAVE THE ABILITY TO HAVE WAFLE CYCLES TO RUN A NUMBER OF SHORT DURATION WATERINGS THAT WILL ALLOW WATER TO SOAK INTO THE SOIL, EITHER THAN RUN OFF.
10. NEWEVALM, BUBBLERS OR DRIP EMITTERS SHALL BE UTILIZED TO ISOLATE WATER FOR PLANT MATERIALS AND ELIMINATE WATERING OF "BARRE GROUND."

NOTES:









1. A MINIMUM 3-INCH LAYER OF 1/2" TO 1" DIAMETER FIR OR PINE BARK MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS.
2. I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.
3. IRRIGATED PLANTED AREA = 2319 SF TURF IS 5% OF THAT PLANTED AREA.
4. PLANT MATERIAL SPECIES ARE DROUGHT TOLERANT NATIVE OR NON-INVASIVE PLANT SPECIES AS DEFINED BY THE CALIFORNIA INVASIVE PLANT COUNCIL. DROUGHT TOLERANCE IS AS DEFINED IN PLANTS AND LANDSCAPES FOR SUMMER DRY CLIMATES OF THE SAN FRANCISCO BAY REGION BY THE EAST BAY MUNICIPAL UTILITY DISTRICT.
5. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT THE RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
6. AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.
7. IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
8. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
9. MANUAL SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
10. AREAS LESS THAN 10 FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.

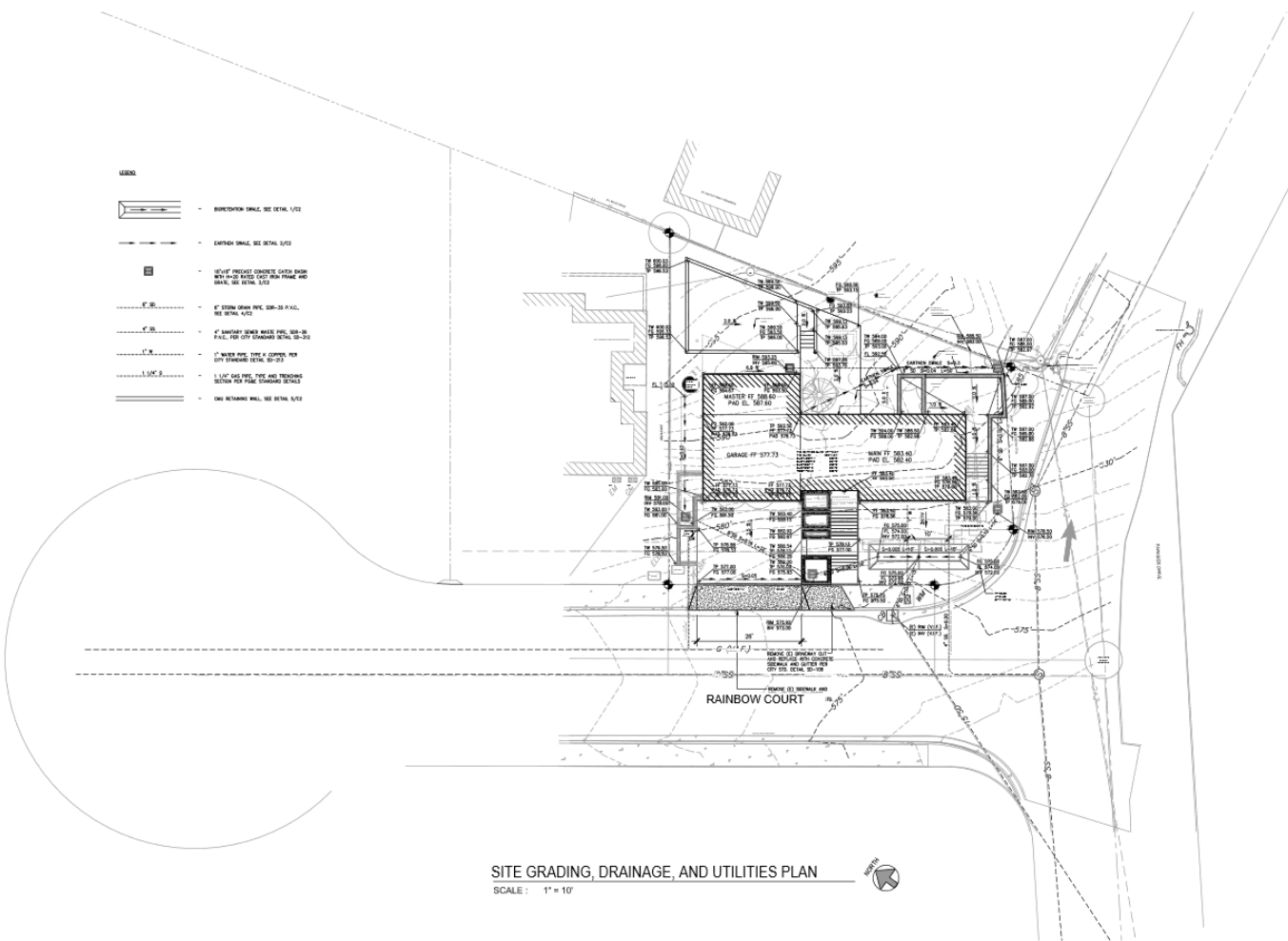
IRRIGATION WATER USE CALCULATIONS:

		RESIDENTIAL WATER USE ESTIMATION												
		POOL	SPRINKLER	IRRIGATED TURF	IRRIGATED PLANTING	NON-IRRIGATED PLANTING	BATH	SHOWER	SINK	TOILET	CLOSET	LAUNDRY	DISHWASHER	REFRIG
AREA (SF)	1740			1740	1740	1740								
PLANTING AREA (SF)	2319			2319	2319	2319								
TURF (SF)	115			115	115	115								
NON-TURF PLANTING (SF)	2204			2204	2204	2204								
APPLICABLE WATER USE PER SQUARE FOOT				0.013	0.013	0.013	0.013	0.013	0.013	0.013	0.013	0.013	0.013	0.013
TOTAL WATER USE (GPD)				22.6	22.6	22.6	22.6	22.6	22.6	22.6	22.6	22.6	22.6	22.6
TOTAL WATER USE (MGD)				0.000257	0.000257	0.000257	0.000257	0.000257	0.000257	0.000257	0.000257	0.000257	0.000257	0.000257





- LEGEND**
-  RIPRAP DRAIN, SEE DETAIL 5/12
 -  CATCHMENT DRAIN, SEE DETAIL 5/12
 -  PRECAST CONCRETE CATCH BASIN WITH 18" DIA. ROUND TOP, 18" HIGH, AND 18" DIA. SEE DETAIL 5/12
 -  4" STORM DRAIN PIPE, 30'-0" P.I.C., SEE DETAIL 5/12
 -  4" SANITARY SEWER MAIN PIPE, 30'-0" P.I.C., FOR CITY STANDARD DETAIL 50-313
 -  4" WATER MAIN PIPE, 4" COPPER, PER CITY STANDARD DETAIL 50-313
 -  1.5" GAS PIPE, TYPE AND TYPING NOTED BELOW FOR EACH UTILITY SERVICE
 -  18" RETAINING WALL, SEE DETAIL 5/12



SITE GRADING, DRAINAGE, AND UTILITIES PLAN
 SCALE: 1" = 10'

REVISIONS	BY



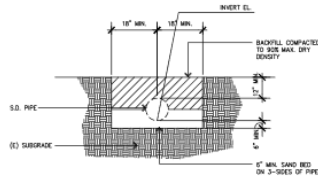
JAIME P. ARAFILES, PE
 STATE OF CALIFORNIA
 LICENSE NO. 50874
 CIVIL ENGINEER

**SITE GRADING,
 DRAINAGE,
 AND UTILITIES PLAN**

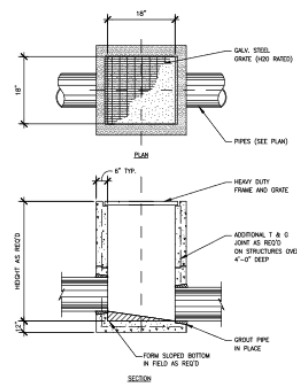
NEW RESIDENCE
 2398 RAINBOW COURT
 HAYWARD, CA 94542

DESIGNED BY	JA
CHECKED BY	JA
DATE	AUGUST 18, 2017
SCALE	AS NOTED
JOB NUMBER	E178050
DATE	

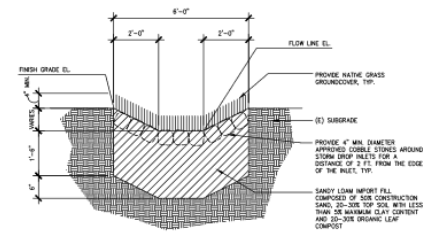
C1



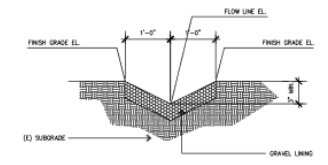
4 TYPICAL STORM DRAIN SECTION
NOT TO SCALE



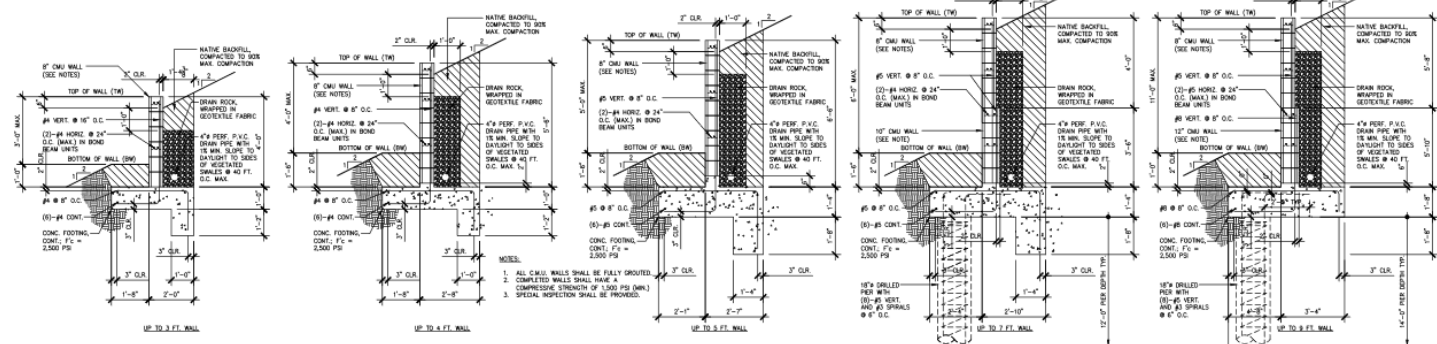
3 TYPICAL CATCH BASIN DETAIL
NOT TO SCALE



1 TYPICAL BIOSWALE DETAIL
NOT TO SCALE



2 TYPICAL EARTHEN SWALE
NOT TO SCALE



5 TYP. C.M.U. RETAINING WALL DETAIL
NOT TO SCALE

REVISIONS	BY



JAIME P. ARAFILES, PE
2398 RAINBOW COURT
HAYWARD, CA 94542

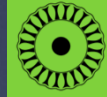
SITE DETAILS

NEW RESIDENCE
2398 RAINBOW COURT
HAYWARD, CA 94542

PROJECT NO.	JA
DATE	JPA
ISSUE	AUGUST 18, 2017
DESCRIPTION	AS NOTED
SCALE	E172000

C2

Road Surrounding the Development



- Rainbow Court is a public street
- Parkside is a private street
 - The City of Hayward and the community are working on an agreement for street improvements

ITEM 11 – PH 18-028

APPLICANT PRESENTATION



2398 RAINBOW COURT

Miakhail Residence

Background

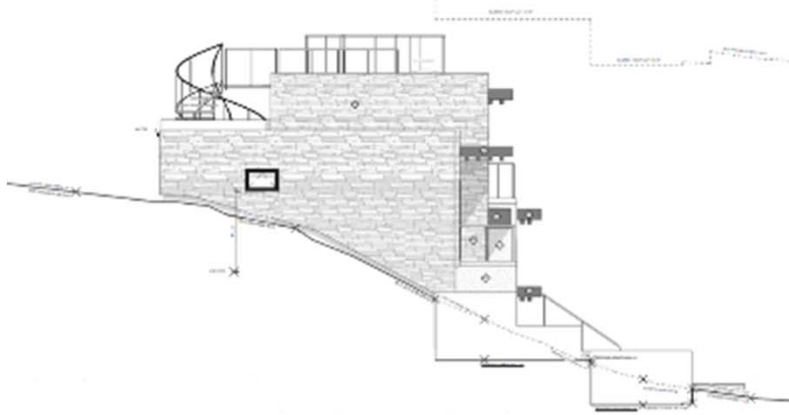
- The project owners Siddiq and Khatera Miakhail, are local, long time Hayward residents and are building their first home – a single family residence for them and their daughter – to live in, not to resell for investment
- The project is a fully sustainable, smart, and efficient 2,246 sq/ft (2,672 gross) two-story, split level home with a modern Mediterranean-inspired aesthetic. The home is designed to adapt to the unique site conditions of the lot, as well as the visual language of the neighborhood.
- The project is being constructed with the BONE Structure building system, a steel construction system leading the way towards high performance, energy efficient homes, designed and built using an integrated process inspired by the aerospace industry. It is made from 88% recycled steel which in turn is 100% recyclable.

Home Design

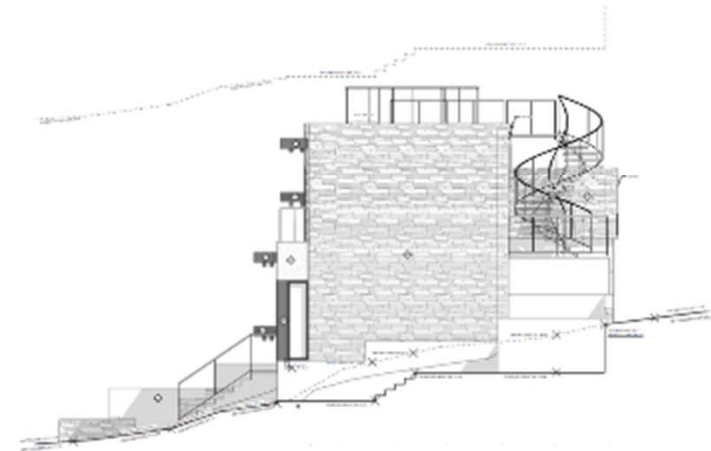


Home Design

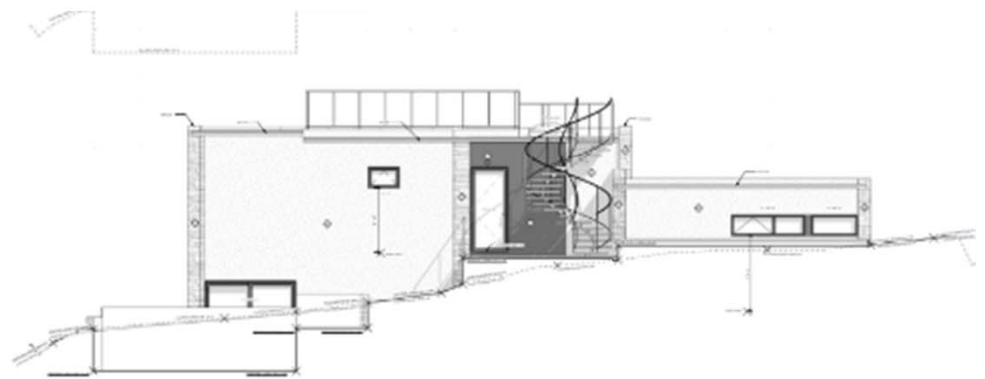
Facing Parkside



Front



Facing from Parkside into Rainbow



Rear

With solar power installed, this home can achieve a Zero Energy Building (ZEB) rating - *An energy-efficient building where, on a source energy basis, the actual annual delivered energy is less than or equal to the on-site renewable exported energy.*

ENERGY USE

Target Energy Use Intensity:	15 to 20	kBtu/sf/yr
Simulated Energy Use Intensity:	11	kBtu/sf/yr
Total Heating Intensity:	1	kBtu/sf/yr
Total Cooling Intensity:	<1	kBtu/sf/yr

Wall Insulation:	R-28.5
Roof Insulation:	R-53
Visible Transmittance:	0.40
Infiltration Rate:	0.2 cfm / sq.ft.
Equipment:	0.5 W / sq.ft.
Floor Insulation:	R-15
Glazing U-Factor:	U-0.30
Solar Heat Gain Coefficient:	0.25
Ventilation Rate:	20 cfm / person
Lighting:	0.5 W / sq.ft.

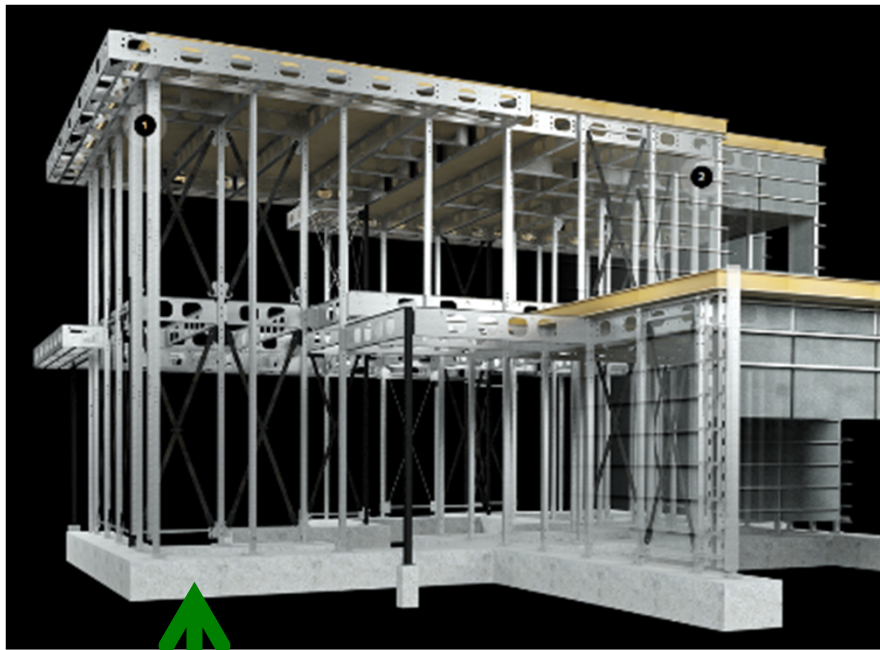
Ideal energy usage for ZEB home (15 – 20 kBtu/sf/yr)

This project – 11 kBtu/sf/yr the lower the number the more energy efficient

Solar Panels – up to 6 kW generation will include battery backup



In addition to being energy efficient, this home reduces waste during the production and construction process, and greatly improves the construction conditions for the neighbors. BONE Structure homes can be framed in a matter of days (20-30 days on average versus 2-3 months with traditional stick-built framing), all the while reducing noise, dust, and waste on site.



THIS vs. THIS

