



STARBUCKS - HAYWARD, CA



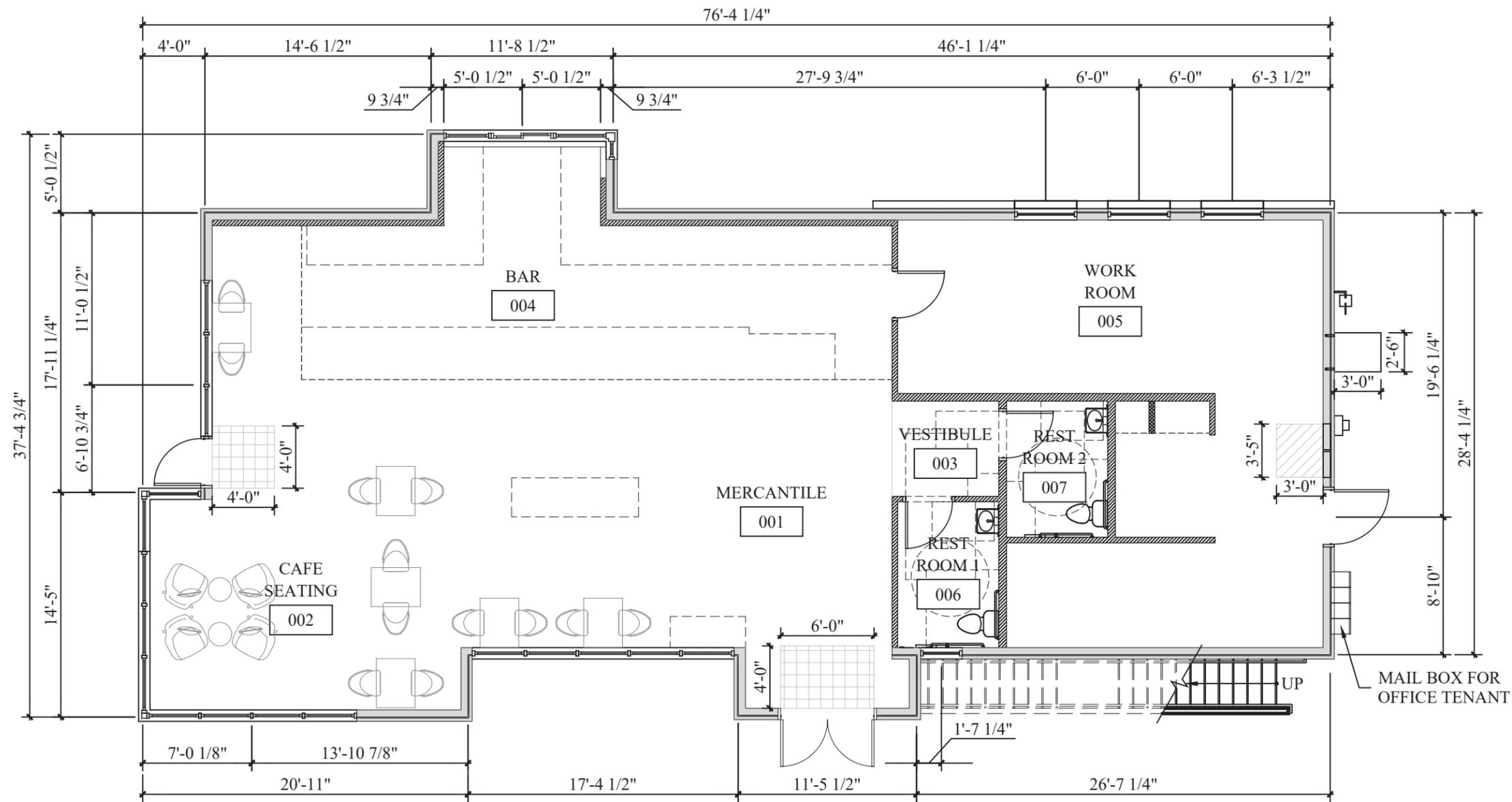
STARBUCKS - HAYWARD, CA



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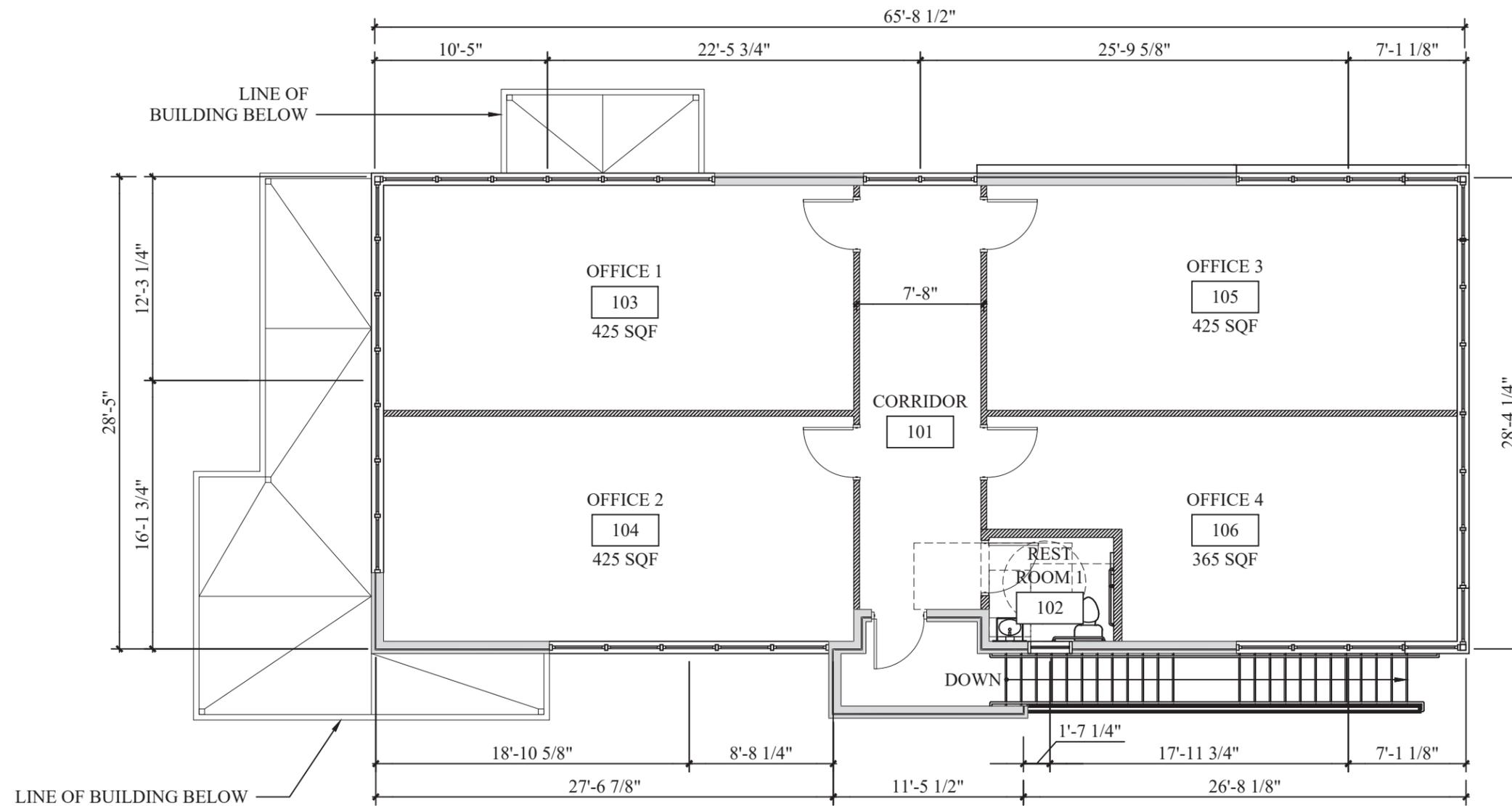
1 CONCEPTUAL 1ST FLOOR PLAN
 1/8" = 1'-0" TOTAL AREA: 2,345 SF

STARBUCKS
 HAYWARD, CA
 2 1 - 0 5 4



This is conceptual site plan only. Do not purchase site until reviewed by local planner & civil engineer. Your civil engineer must verify the zoning, setbacks, utility location and sizes, green space requirements parking requirements, landscape requirements and grading for ADA accessibility with the city/county/state prior to getting started with engineering.

1/15/2025



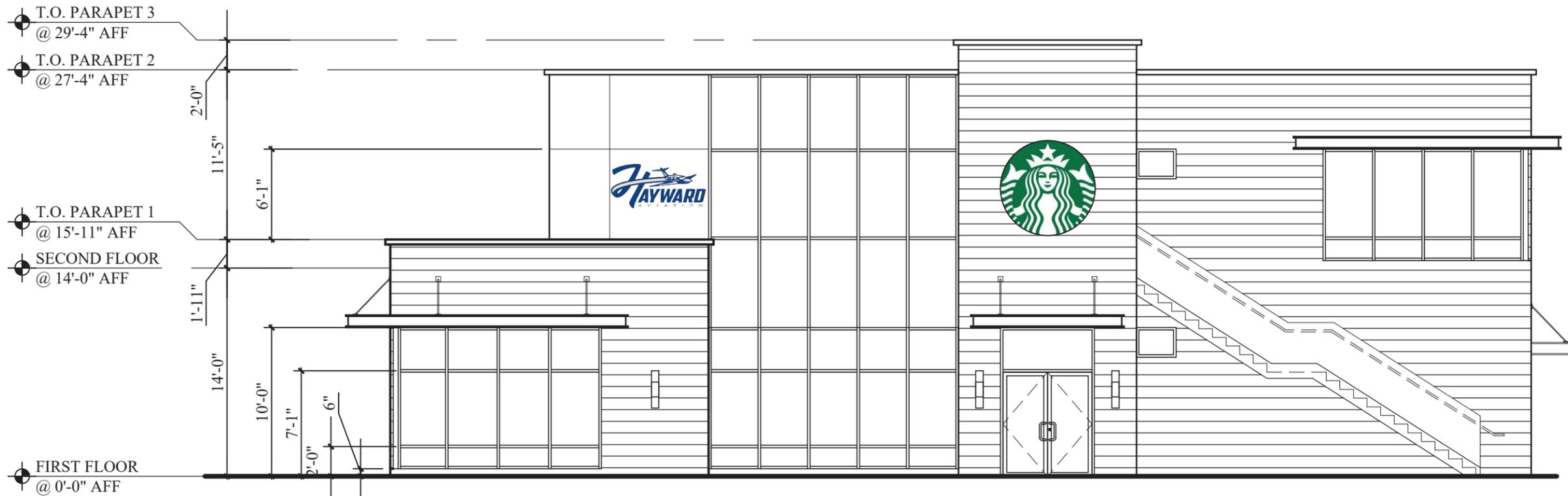
1 CONCEPTUAL 2ND FLOOR PLAN
 1/8" = 1'-0" TOTAL AREA: 1,912 SF

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 2 1 - 0 5 4



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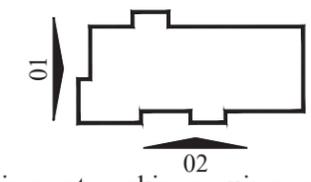
1/15/2025



2 **CONCEPTUAL ELEVATION**
1/8" = 1'-0"



1 **CONCEPTUAL ELEVATION**
1/8" = 1'-0"

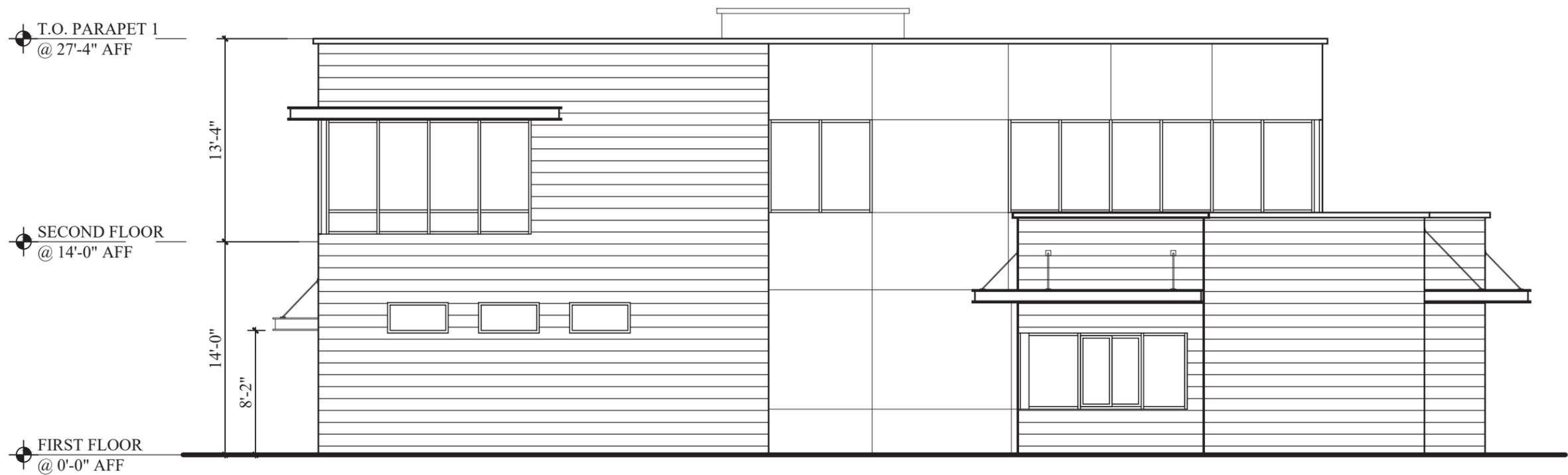


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HAYWARD, CA
2 1 - 0 5 4

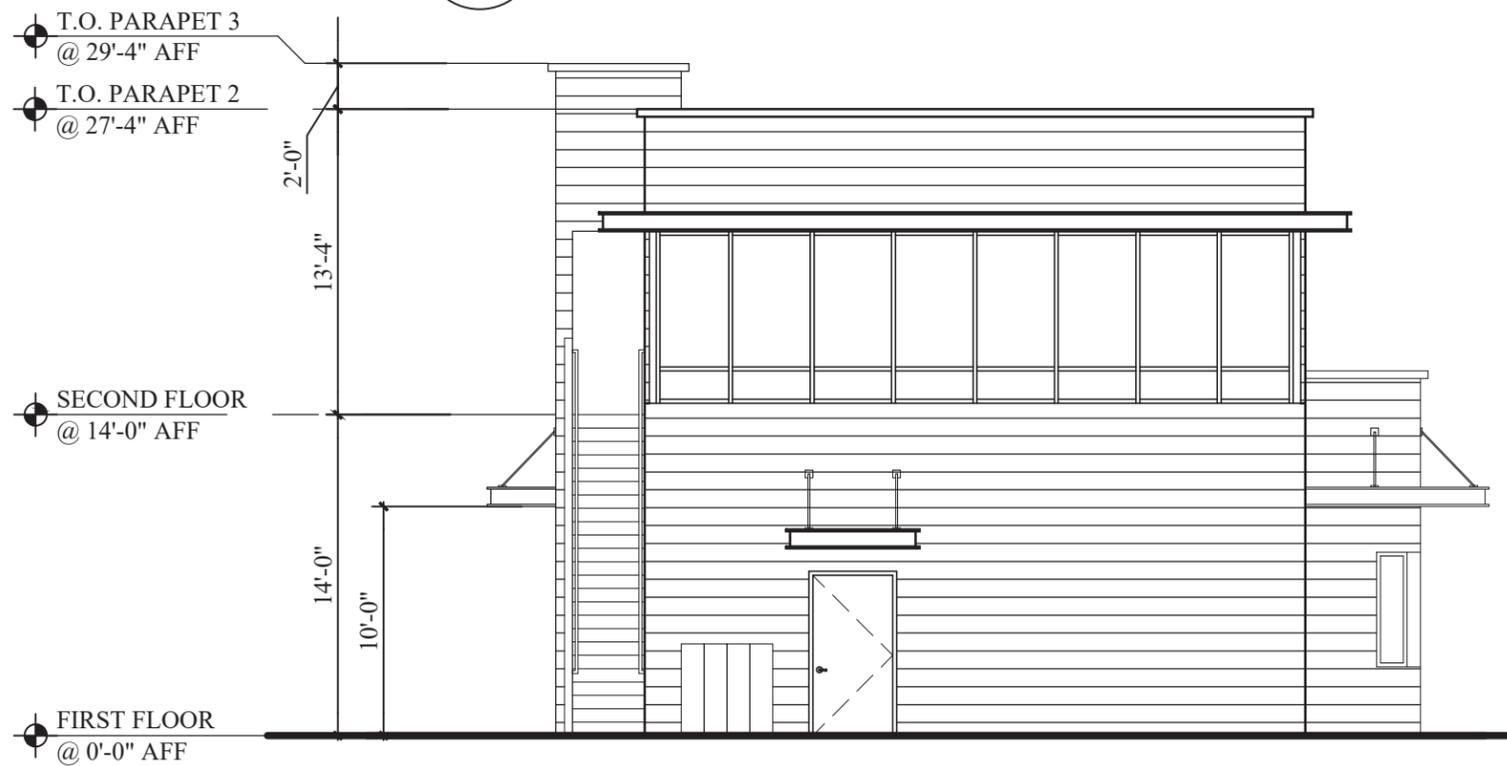


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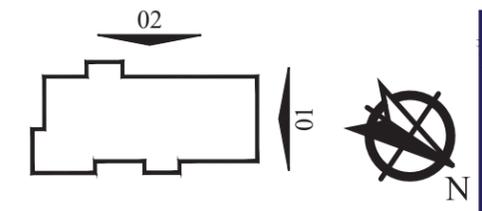
1/15/2025



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HAYWARD, CA
2 1 - 0 5 4



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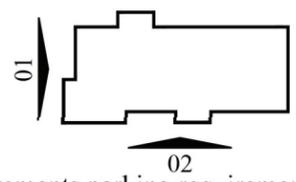
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2 **CONCEPTUAL ELEVATION**
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HAYWARD, CA
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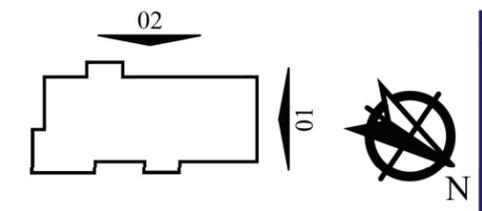
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1 CONCEPTUAL ELEVATION
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HAYWARD, CA
2 1 - 0 5 4



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1/15/2025

T.O. PARAPET 3
 @ 29'-4" AFF
 T.O. PARAPET 2
 @ 27'-4" AFF
 2'-0"
 11'-5"
 6'-1"
 T.O. PARAPET 1
 @ 15'-11" AFF
 SECOND FLOOR
 @ 14'-0" AFF
 1'-11"
 14'-0"
 10'-0"
 7'-1"
 6'-1"
 2'-0"
 FIRST FLOOR
 @ 0'-0" AFF

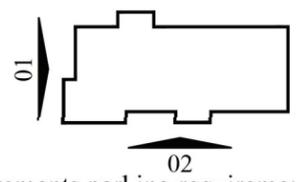


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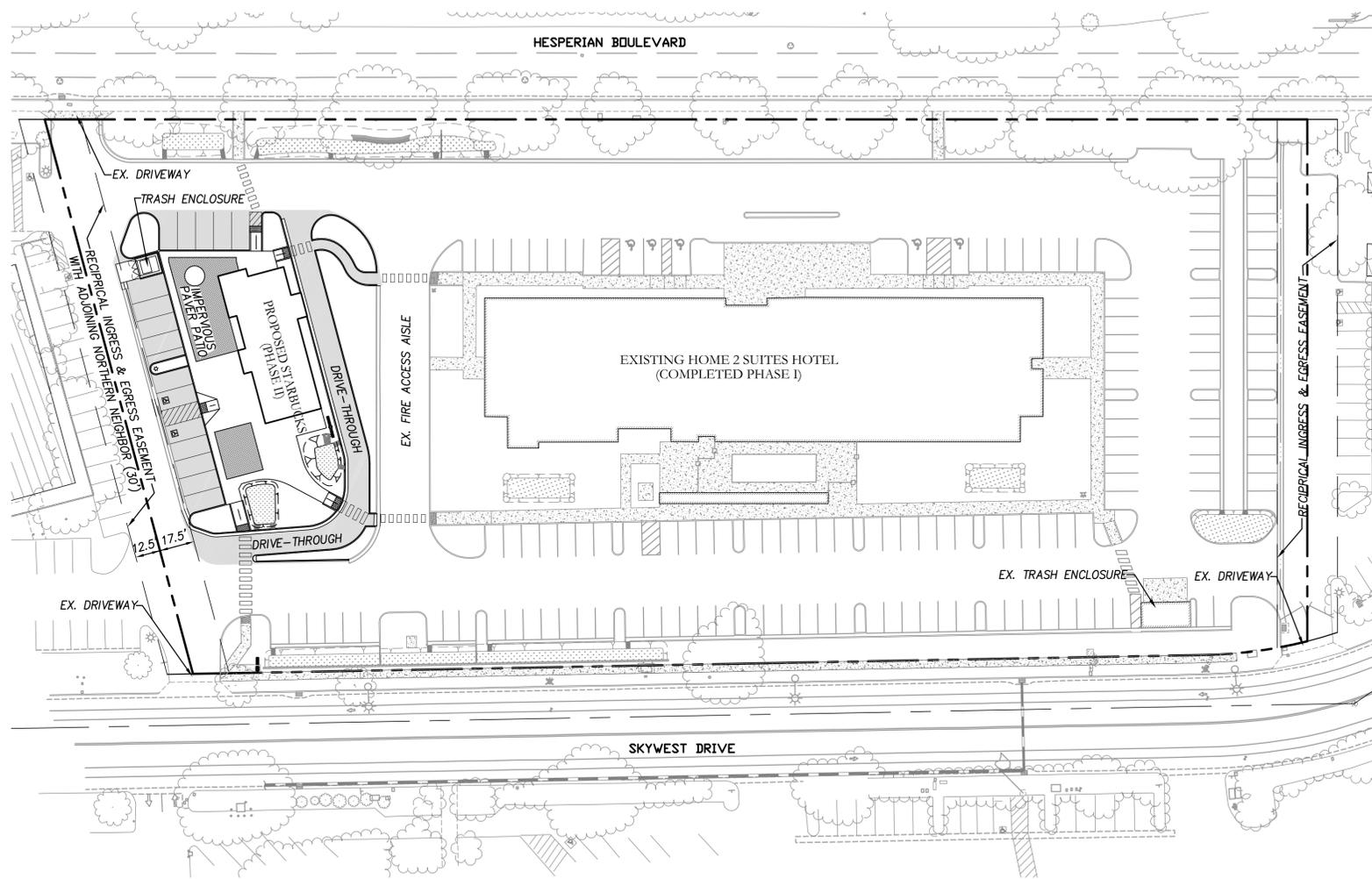
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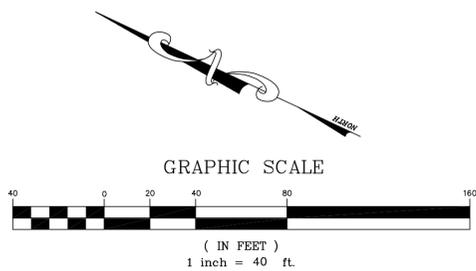
SITE PLAN REVIEW

FOR

HOME 2 SUITES PHASE II - STARBUCKS

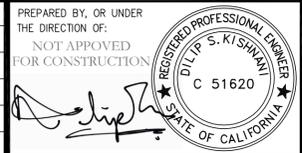


PROPOSED SITE PLAN
SCALE: 1" = 40'



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SCALE: AS NOTED					
DRAWN: KT/PV					
DESIGNED: KT					
ENGINEER: DSK/KT					
MANAGER: DSK	NO.	BY	DATE	REVISIONS	CITY APPR



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PREPARED BY:
STERLING CONSULTANTS
46560 FREMONT BOULEVARD, UNIT NO. 205
FREMONT, CA 94538
sterlingconsultants@gmail.com PHONE: 510.344.8955 x100

PREPARED FOR:
RAMESTA HOSPITALITY, LLC
1445 HOTEL CIRCLE SOUTH
SAN DIEGO, CA 92108

APNs: 432-108-008 & 007
SITE PLAN REVIEW
HOME 2 SUITES PHASE II - STARBUCKS
TITLE SHEET, PRELIMINARY SITE PLAN & NOTES
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SHEET NO.
C1
1 OF 7 SHEETS
JOB NO.
2018-323-A

LEGEND

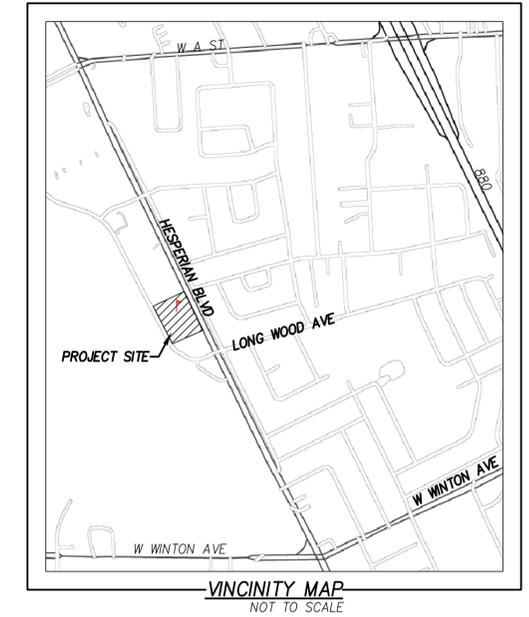
SYMBOL		DESCRIPTION
EXISTING	PROPOSED	
		HINGE LINE/TOP/TOE
		CONCRETE V-DITCH
		GRADED SWALE
		CONTOUR LINES
		DAYLIGHT LINE/LIMIT OF GRADING
		PROPERTY LINE/ BOUNDARY / RIGHT-OF-WAY
		EASEMENT LINE
		CENTERLINE (C)
		FENCE (CHAIN LINK)
		DRIVEWAY
		CURB, GUTTER & SIDEWALK
		RETAINING WALL (AS DESCRIBED) w/ SUB-DRAIN
		CITY STANDARD BARRICADE
		WATER LINE AND VALVE
		SANITARY SEWER LINE AND MANHOLE OR CLEANOUT
		STORM DRAIN LINE AND MANHOLE
		4" PERF/SOLID SUBDRAIN WITH CLEANOUTS
		WATER LATERAL / METER
		SANITARY SEWER CLEANOUT (SSCO)
		AREA DRAIN WITH SUMP BOTTOM (NDS 1212 OR APPROVED EQUAL)
		FLAT DRAIN INLET AS SPECIFIED
		FIRE HYDRANT
		STREETLIGHT STANDARD WITH MAST ARM AND LUMINAIRE (ELECTROLIER)
		PULL BOX (AS NOTED)
		ELECTRICAL CONDUIT
		GAS MAIN
		TELEPHONE CONDUIT
		STREET MONUMENT
		BOLLARD
		JOINT POLE w/ GUY ANCHOR
		PERCENT GRADE
		VERTICAL GRADE BREAK (PROFILE)
		ACCESSIBLE ROUTE

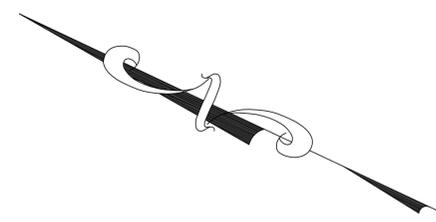
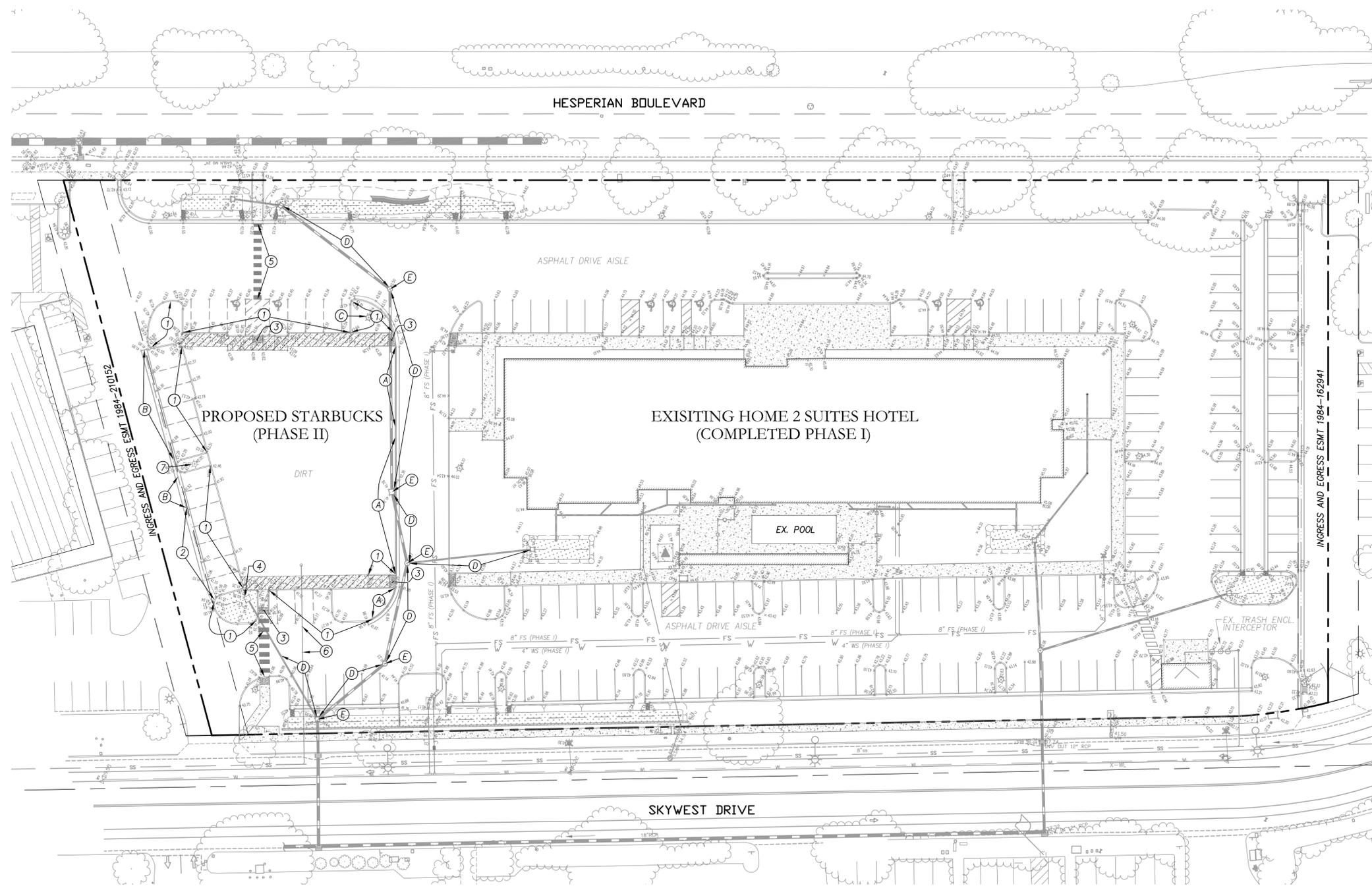
ABBREVIATIONS

AB	AGGREGATE BASE	N/B	NORTH BOUND
AC	ASPHALT CONCRETE	P	PAD
AD	AREA DRAIN	PA	PLANTER AREA
BC	BEGIN CURVE	PL, P/L	PROPERTY LINE
BM	BENCHMARK	PCC	POINT OF COMPOUND CURVATURE
BMP	BEST MANAGEMENT PRACTICE	PERF.	PERFORATED
BOT.	BOTTOM	PIEE	PRIVATE INGRESS & EGRESS EASEMENT
BSW	BACK OF SIDEWALK	PRC	POINT OF REVERSE CURVATURE
BVC	BEGIN VERTICAL CURVE	PROJ.	PROJECTED
BW	BOTTOM OF WALL (EXPOSED)	PSDE	PRIVATE STORM DRAIN EASEMENT
CL	CENTER LINE	PUE	PUBLIC UTILITY EASEMENT
CB	CATCH BASIN	PV	PAVEMENT/ASPHALT GRADE
CO	CLEAN OUT	PVI	POINT OF VERTICAL INTERSECTION
CR	CURB RETURN	R=	RADIUS OF CURVE
DI	DRAIN INLET	Δ=	INCLUDED ANGLE OF CURVE
DS	ROOF DOWN SPOUT	L=	ARC LENGTH OF CURVE
EC	END CURVE	RCP	REINFORCED CONCRETE PIPE
EL	ELEVATION	RIM	RIM ELEVATION
EP	EDGE OF PAVEMENT	R/W	RIGHT OF WAY
EVC	END VERTICAL CURVE	S	SLOPE
EX	EXISTING	S/B	SOUTH BOUND
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SD	STORM DRAIN
F/C	FACE OF CURB	SDCO	STORM DRAIN CLEANOUT
FDC	FIRE DEPARTMENT CONNECTION	SDE	STORM DRAIN EASEMENT
FF	FINISHED FLOOR	SDMH	STORM DRAIN MANHOLE
FG	FINISHED GRADE	SE	SIDEWALK EASEMENT
FH	FIRE HYDRANT	SF	SQUARE FEET
FL	FLOW LINE	S.O.	SIDE OPENING
FOGLN	FOG LINE (WHITE STRIPE)	SS	SANITARY SEWER
GB	GRADE BREAK	SSE	SANITARY SEWER EASEMENT
GI	GREASE INTERCEPTOR	SSCO	SANITARY SEWER CLEANOUT
GM	GAS METER	SSMH	SANITARY SEWER MANHOLE
GR	GRATE ELEVATION	STD	STANDARD
HP	HIGH POINT	TB	TOP OF BERM
IRR	IRRIGATION	TC	TOP OF CURB
JT	JOINT TRENCH	TCM	TREATMENT CONTROL MEASURE
LF	LINEAL FEET	TW	TOP OF WALL
LIP	LIP OF GUTTER	TYP	TYPICAL
LP	LOW POINT	VC	VERTICAL CURVE
MAX	MAXIMUM	W	WATER LINE
MH	MANHOLE	WM	WATER METER

PROJECT GENERAL NOTES:

- OWNER(S): RAMESTA HOSPITALITY, LLC
1445 HOTEL CIRCLE SOUTH
SAN DIEGO, CA 92108
CONTACT: JAYWANT SHAH
- DEVELOPER: RAMESTA HOSPITALITY, LLC
1445 HOTEL CIRCLE SOUTH
SAN DIEGO, CA 92108
CONTACT: JAYWANT SHAH
- CIVIL ENGINEER: STERLING CONSULTANTS
46560 FREMONT BLVD, SUITE 205
FREMONT, CA 94538
CONTACT: DILIP S. KISHNANI, P.E., QSD
TEL: 925-705-3633
- SOIL ENGINEER: TBD
- APNs: 432-108-008 & 432-108-007
- EXISTING LAND USE: VACANT
- PROPOSED LAND USE: RETAIL AND COMMERCIAL
- SITE AREA (GROSS): 159,430 SF (3.66 ACRES)
- PROPOSED BLDG. FLOOR AREA: 18,365 SQ.FT. (1ST FLOOR ONLY)
- GENERAL PLAN 2040: RETAIL OFFICE AND COMMERCIAL
- EXISTING ZONING: AT-C
- WATER SYSTEM: CITY OF HAYWARD
- SEWER SYSTEM: CITY OF HAYWARD
- STORM DRAIN SYSTEM: CITY OF HAYWARD
- GAS & ELECTRIC: PACIFIC GAS & ELECTRIC (P.G.&E.)
- TELEPHONE: AT&T
- TOPOGRAPHY: EXISTING TOPOGRAPHY AS SHOWN IS PER FIELD SURVEY DONE BY STERLING CONSULTANTS IN FEBRUARY 2107.
- BOUNDARY: BOUNDARY AS SHOWN IS BASED ON A SURVEY DONE BY STERLING CONSULTANTS IN FEBRUARY 2017
- FLOOD ZONE: ZONE X (UNSHADED)
- GRADING: GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.
- DIMENSIONS: DIMENSIONS (SHOWN TO NEAREST TENTH OF A FOOT) AND SUBJECT TO MINOR CHANGES DURING FINAL DESIGN.
- UTILITIES: ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND. ALL STORM DRAINS, SANITARY SEWERS AND WATER MAINS SHALL ADHERE TO MINIMUM SIZES & SLOPES PER THE GOVERNING AGENCIES.
- C3 COMPLIANCE: STORMWATER TREATMENT WILL BE ACHIEVED THROUGH MULTIPLE AT-GRADE STORM WATER PLANTERS AS SHOWN ON THE STORM WATER CONTROL PLAN SHEET





DEMOLITION LEGEND

	PL SAWCUT
	EXISTING GRADE ELEVATION
	EXISTING CONTOUR w/ ELEVATION
	EXISTING BIO-RETENTION

ABBREVIATIONS

ASPH.	ASPHALT
CONC.	CONCRETE
EP	EDGE OF PAVEMENT
EX	EXISTING
GM	GAS METER
MB	MAIL BOX
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN-OUT
WM	WATER METER
WV	WATER VALVE
JP	JOINT POLE
TPZ	TREE PROTECTION ZONE

DEMOLITION NOTES:

CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE CITY OF HAYWARD BUILDING DEPARTMENT PRIOR TO START OF DEMOLITION.

THE PROPERTY LINE SHALL BE THE LIMITS OF DEMOLITION UNDER THE GRADING PERMIT. DEMOLITION WITHIN CITY RIGHT-OF-WAY SHALL BE DONE UNDER AN ENCROACHMENT PERMIT WITH THE CITY OF HAYWARD.

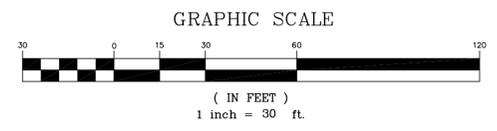
CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS WITH THE RESPECTIVE UTILITY AGENCIES PRIOR TO START OF DEMOLITION ON THE SITE.

UTILITIES TO BE ABANDONED WITHIN THE AREAS OF PROPOSED IMPROVEMENTS SHALL BE REMOVED IN THEIR ENTIRETY OR ABANDONED IN PLACE PER RECOMMENDATIONS IN THE PROJECT SOILS REPORT.

- PROTECTION NOTES**
- (A) — PROTECT EXISTING CURB & GUTTER
 - (B) — PROTECT EXISTING VALLEY GUTTER
 - (C) — PROTECT EXISTING AREA LIGHT
 - (D) — PROTECT EXISTING STORM DRAIN PIPE
 - (E) — PROTECT EXISTING STORM DRAIN STRUCTURE

- REMOVAL NOTES**
- REMOVE EXISTING CONCRETE SIDEWALK
 - REMOVE EXISTING ASPHALT PAVEMENT
 - REMOVE EXISTING STRIPING
 - (1) — REMOVE EXISTING CURB AND GUTTER
 - (2) — REMOVE EXISTING VALLEY GUTTER
 - (3) — REMOVE EXISTING TRUNCATED DOMES
 - (4) — REMOVE EXISTING DRAIN INLET
 - (5) — REMOVE EXISTING PEDESTRIAN CROSSING STRIPING
 - (6) — REMOVE PORTION OF EX. 6" SS (FOR GREASE INTERCEPTOR)
 - (7) — REMOVE EXISTING AREA LIGHT

EXISTING CONDITIONS MAP & PRELIMINARY DEMOLITION PLAN
SCALE: 1" = 30'



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DESIGNED: KT					
ENGINEER: DSK/KT					
MANAGER: DSK	NO.	BY	DATE	REVISIONS	CITY APPR

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STERLING CONSULTANTS

46560 FREMONT BOULEVARD, UNIT NO. 205
FREMONT, CA 94538
sterlingconsultants@gmail.com PHONE: 510.344.8955 x100

PREPARED FOR:

RAME STA HOSPITALITY, LLC
1445 HOTEL CIRCLE SOUTH
SAN DIEGO, CA 92108

APNs: 432-108-008 & 007

SITE PLAN REVIEW

22101 HESPERIAN BOULEVARD

HOME 2 SUITES PHASE II - STARBUCKS

EXISTING CONDITIONS MAP & PRELIMINARY DEMO PLAN

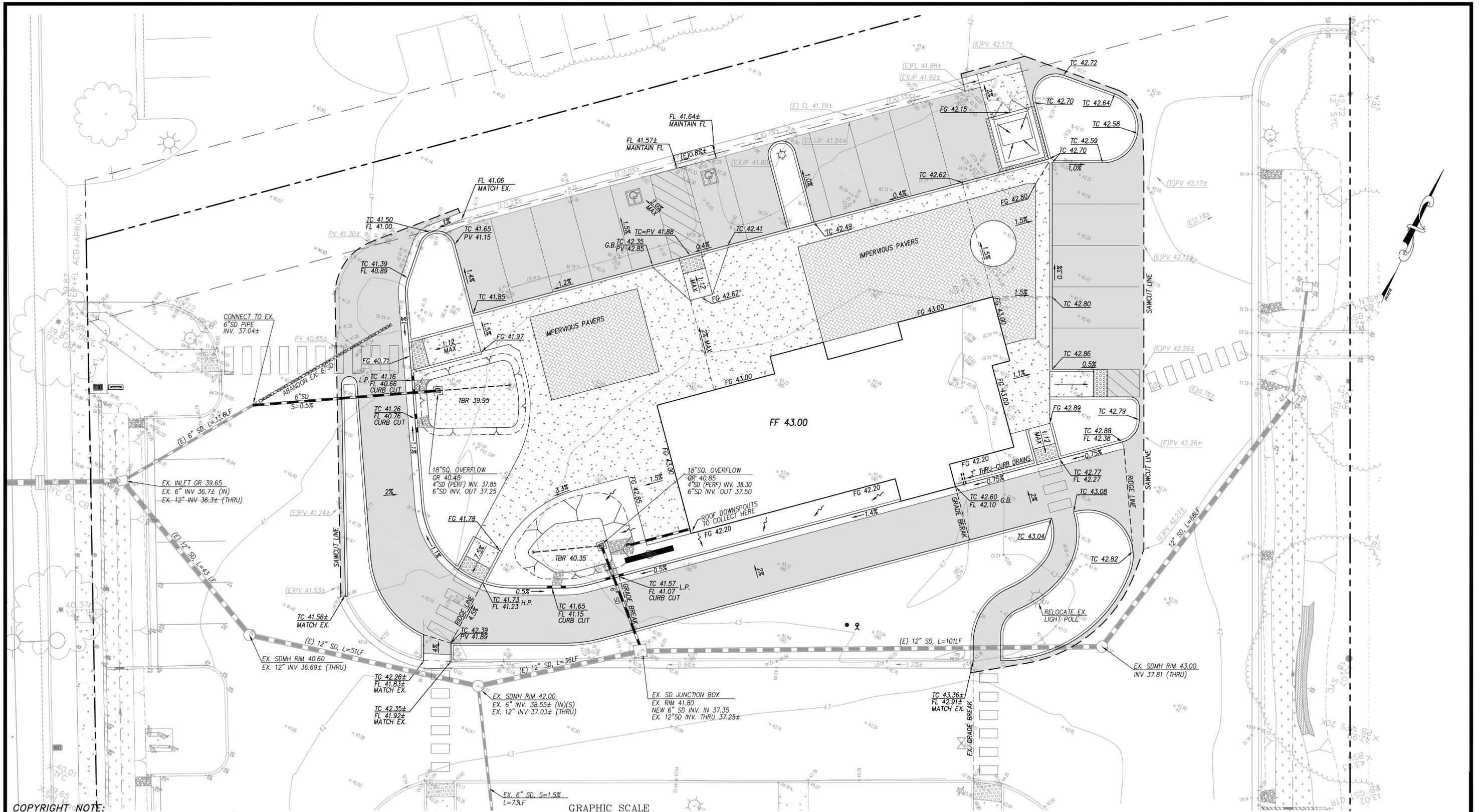
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SHEET NO.

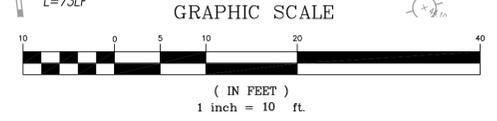
C2

2 OF 7 SHEETS

JOB NO. 2018-323-A



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PRELIMINARY GRADING PLAN
 SCALE: 1" = 10'

DATE: DECEMBER 10, 2024					
SCALE: AS NOTED					
DRAWN: KT/PV					
DESIGNED: KT					
ENGINEER: DSK/KT					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR

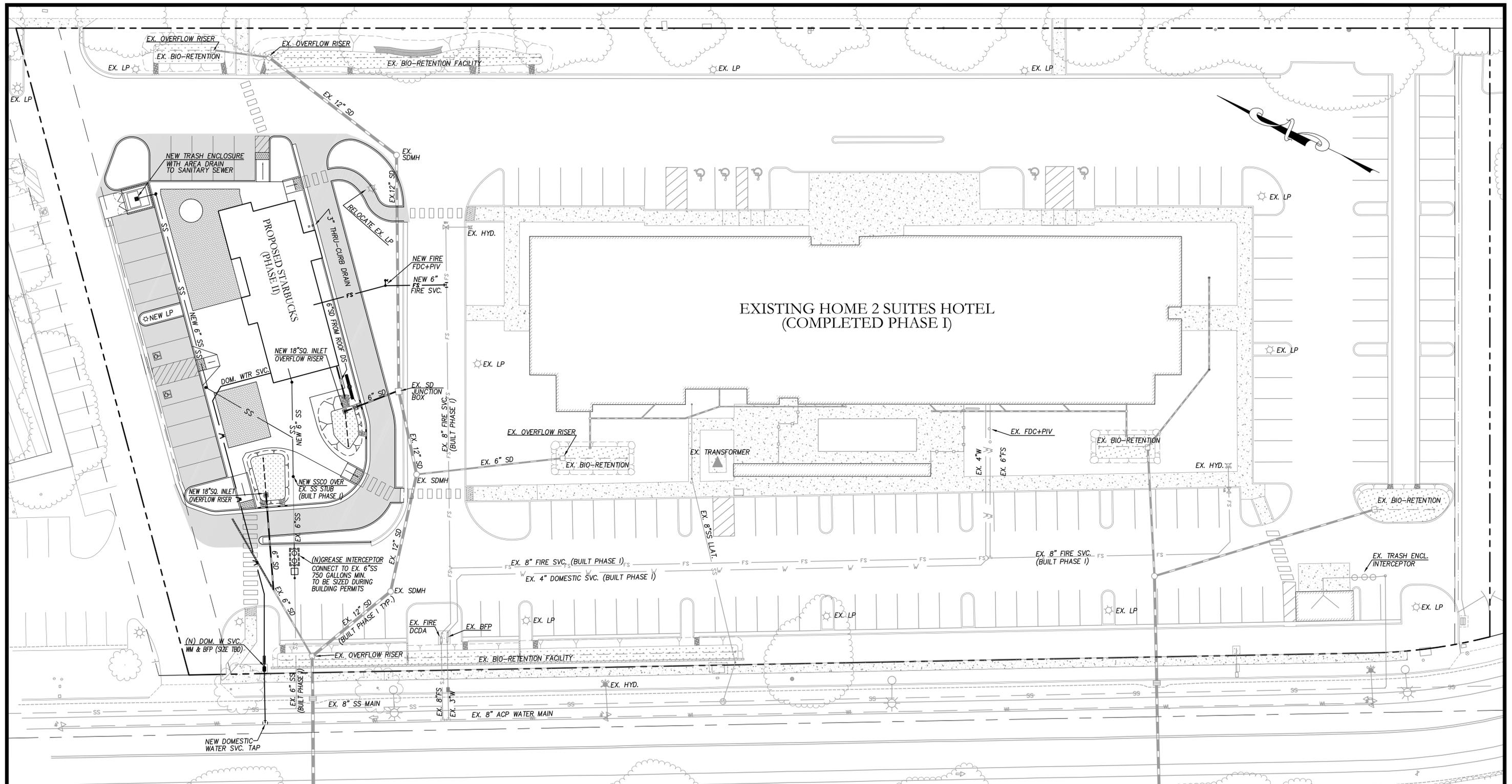
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 46560 FREMONT BOULEVARD, UNIT NO. 205
 FREMONT, CA 94538
 lsterlingconsultants@gmail.com PHONE: 510.344.8955 x100

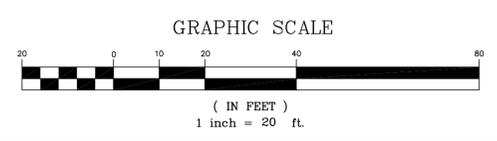
PREPARED FOR:
 RAME STA HOPIALITY, LLC
 1445 HOTEL CIRCLE SOUTH
 SAN DIEGO, CA 92108

APNs: 432-108-008 & 007
 SITE PLAN REVIEW
 22101 HESPERIAN BOULEVARD
HOME 2 SUITES PHASE II - STARBUCKS
PRELIMINARY GRADING AND DRAINAGE PLAN
 CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SHEET NO.
C3
 3 OF 7 SHEETS
 JOB NO.
 2018-323-A



PRELIMINARY UTILITY PLAN
SCALE: 1" = 20'



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 FREMONT, CA 94538
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SITE PLAN REVIEW

HOME 2 SUITES PHASE II - STARBUCKS

PRELIMINARY UTILITY PLAN

CITY OF HAYWARD

ALAMEDA COUNTY

22101 HESPERIAN BOULEVARD

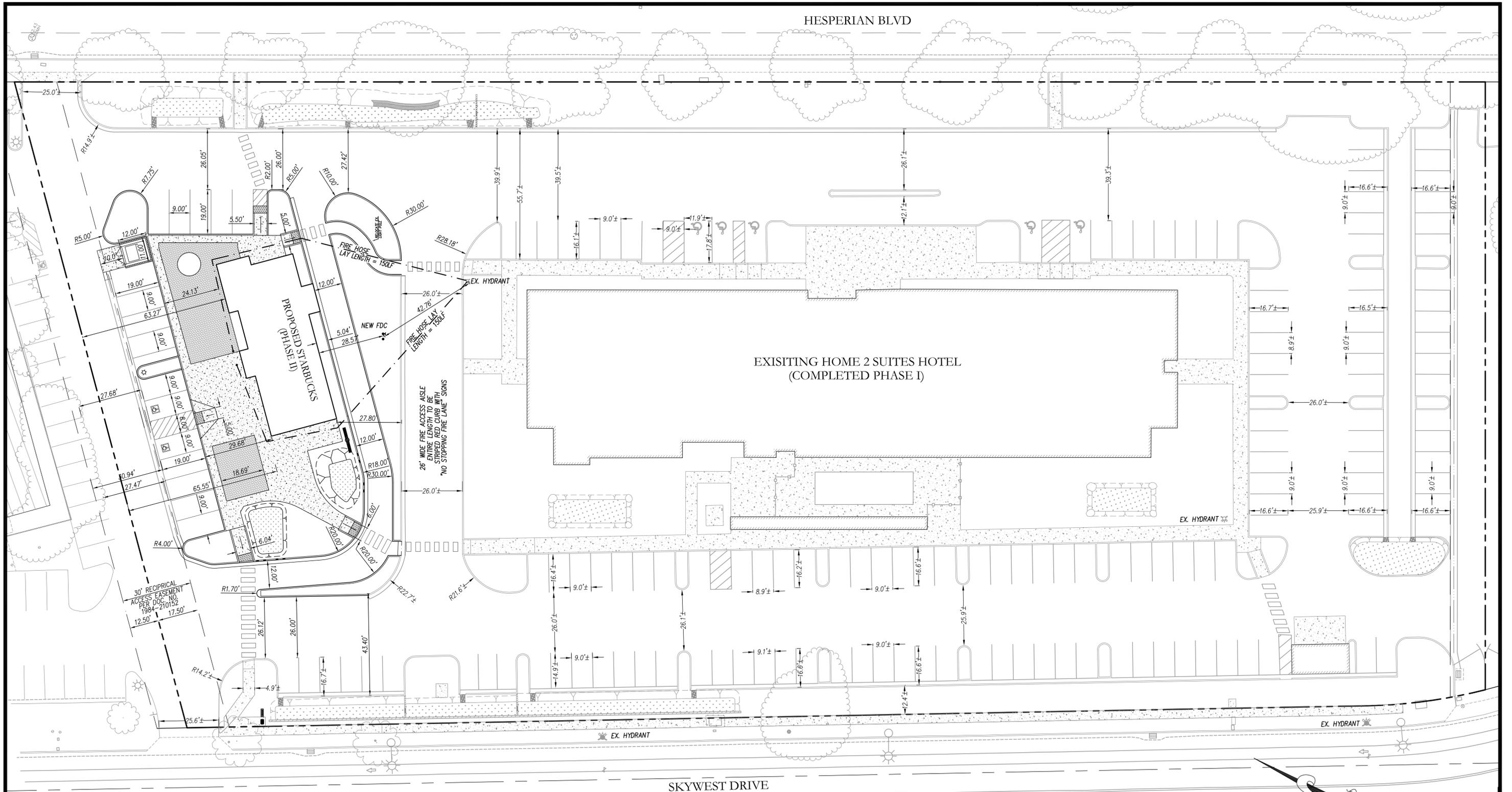
CALIFORNIA

SHEET NO.

C-4

4 OF 7 SHEETS

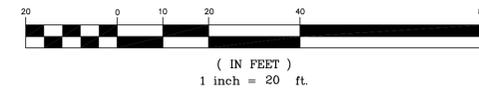
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PRELIMINARY HORIZONTAL CONTROL, SIGNING & STRIPING, AND FIRE ACCESS PLAN

SCALE: 1" = 20'

GRAPHIC SCALE



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46560 FREMONT BOULEVARD, UNIT NO. 205
FREMONT, CA 94538
sterlingconsultants@gmail.com PHONE: 510.344.8955 x100

PREPARED FOR:

RAME STA HOPIALITY, LLC
1445 HOTEL CIRCLE SOUTH
SAN DIEGO, CA 92108

APNs: 432-108-008 & 007

SITE PLAN REVIEW

22101 HESPERIAN BOULEVARD

HOME 2 SUITES PHASE II - STARBUCKS

PRELIMINARY HORIZONTAL CONTROL, STRIPING & FIRE ACCESS PLAN

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

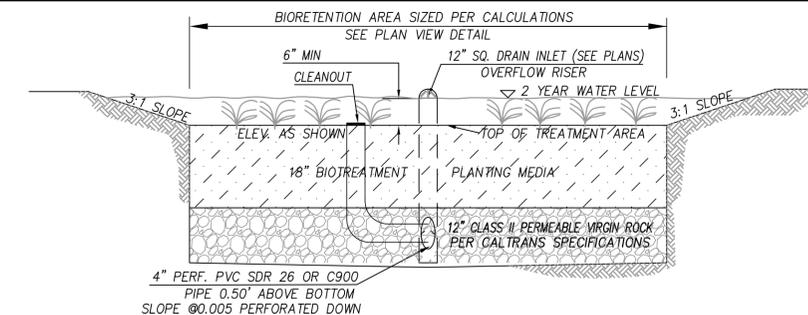
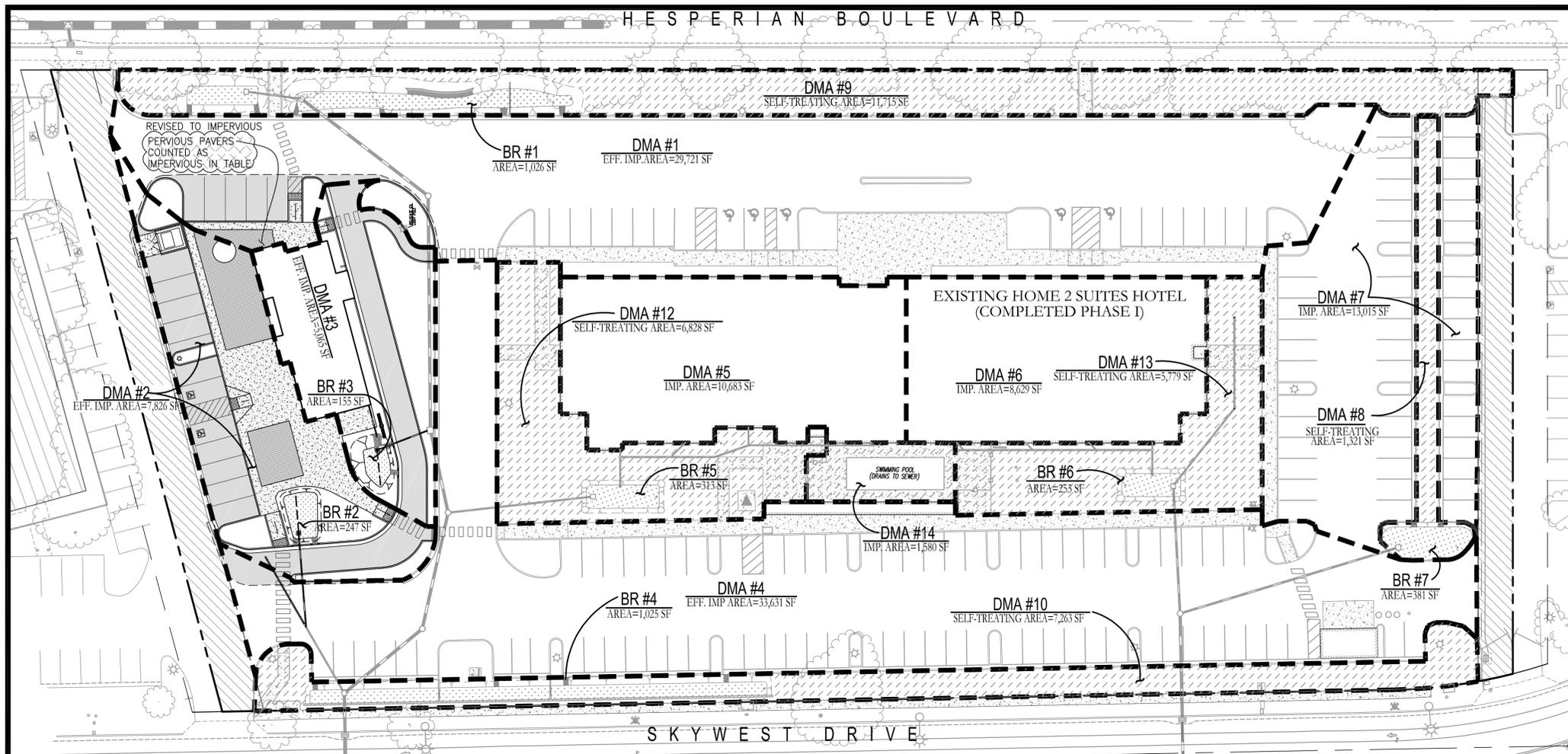
SHEET NO.

C-5

5 OF 7 SHEETS

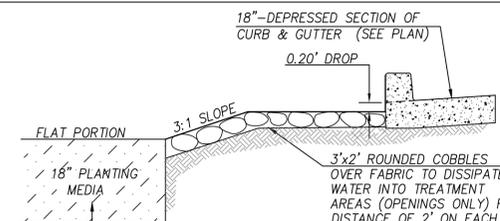
JOB NO.

2018-323-A



TYPICAL BIO-RETENTION PLANTER
NOT TO SCALE

NOTE: THE BIO-TREATMENT SOIL MIX (BSM) USED IN THE DESIGN OF THE PROPOSED BIO-TREATMENT AREA SHALL BE PER ATTACHMENT L OF THE C.3 STORMWATER TREATMENT TECHNICAL GUIDANCE DATED JANUARY 1, 2016 WITH A MINIMUM INFILTRATION RATE OF 5" PER HOUR.



PER BIO-RETENTION TECHNICAL SPECIFICATION (POST CONSTRUCTION STORM WATER STD. MANUAL)
TYPICAL BIO-RETENTION PLANTER (@ OPENING)
NOT TO SCALE

STORMWATER TREATMENT MEASURES SUMMARY TABLE (FROM PHASE I)

DMA#	TREATMENT CONTROL MEASURES	a	b	c	d	e	f	TREATMENT AREA PROVIDED (SF)	PONDING DEPTH (INCHES)	TREATMENT TYPE	SIZING METHOD
		TOTAL DRAINAGE AREA(SF)	PERVIOUS AREA(SF)	IMPERVIOUS AREA(SF)	EFFECTIVE PERVIOUS AREA(SF)	EFFECTIVE IMPERVIOUS AREA(SF)	TREATMENT AREA REQUIRED (SF)				
1	BR#1	34,684	523	34,161	-	34,213	1,026	1,026	8"	BIO-RETENTION	COMBINATION FLOW AND VOLUME METHOD
2	BR#2	3,482	191	3,291	19	3,310	97	97	6"	BIO-RETENTION	COMBINATION FLOW AND VOLUME METHOD
3	BR#3	6,684	596	6,088	-	6,148	184	184	6"	BIO-RETENTION	COMBINATION FLOW AND VOLUME METHOD
4	BR#4	36,598	1,746	34,852	175	35,027	1,025	1,025	6"	BIO-RETENTION	COMBINATION FLOW AND VOLUME METHOD
5	BR#5	10,683	-	10,683	-	-	313	313	6"	BIO-RETENTION	COMBINATION FLOW AND VOLUME METHOD
6	BR#6	8,629	-	8,629	-	-	283	283	6"	BIO-RETENTION	COMBINATION FLOW AND VOLUME METHOD
7	BR#7	13,015	-	13,015	-	-	381	381	6"	BIO-RETENTION	COMBINATION FLOW AND VOLUME METHOD
8	NA	1,321	1,321	-	-	-	-	-	-	SELF-TREATING	-
9*	NA	11,715	11,520	195	-	-	-	-	-	SELF-TREATING	-
10*	NA	7,263	6,987	276	-	-	-	-	-	SELF-TREATING	-
11*	NA	2,987	2,513	384	-	-	-	-	-	SELF-TREATING	-
12*	NA	6,828	6,188	640	-	-	-	-	-	SELF-TREATING	-
13*	NA	5,779	5,368	411	-	-	-	-	-	SELF-TREATING	-
14	NA	1,580	-	1,580	-	-	-	-	-	SELF-TREATING (DRAINS TO SEWER)	-

PHASE I NOTE: TABLE ABOVE IS PER HOME 2 SUITES PHASE I GRADING PLANS PREPARED BY STERLING CONSULTANTS DATED 08/29/2023 AS DELTA REVISION 4. *IMPERVIOUS AREAS TREATED BY TREE CREDIT PER AC COUNTY C.3 STORMWATER MANUAL TABLE 4-1. SEE LANDSCAPE PLANS.

STORMWATER TREATMENT MEASURES SUMMARY TABLE (PHASE II)

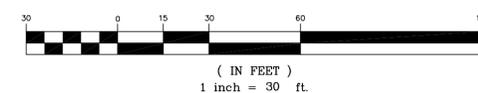
DMA#	TREATMENT CONTROL MEASURES	a	b	c	d	e	f	TREATMENT AREA PROVIDED (SF)	PONDING DEPTH (INCHES)	TREATMENT TYPE	SIZING METHOD
		TOTAL DRAINAGE AREA(SF)	PERVIOUS AREA(SF)	IMPERVIOUS AREA(SF)	EFFECTIVE PERVIOUS AREA(SF)	EFFECTIVE IMPERVIOUS AREA(SF)	TREATMENT AREA REQUIRED (SF)				
1	BR#1	32,611	3,211 ¹	29,400	321	29,721	871 (892) ²	1,026	6"	BIO-RETENTION	COMBINATION FLOW AND VOLUME METHOD
2	BR#2	9,303	1,641	7,662	164	7,826	229 (235) ²	247	6"	BIO-RETENTION	COMBINATION FLOW AND VOLUME METHOD
3	BR#3	7,281	2,462	4,819	246	5,065	149 (152) ²	155	6"	BIO-RETENTION	COMBINATION FLOW AND VOLUME METHOD
4	BR#4	35,067	1,596	33,471	160	33,631	986 (1,009) ²	1,025	6"	BIO-RETENTION	COMBINATION FLOW AND VOLUME METHOD

PHASE II NOTE: TABLE ABOVE QUANTIFIES PROPOSED CHANGES TO PHASE I DMAs AND TREATMENT CONTROL MEASURES.
1) PHASE I DMA #1 PERVIOUS AREA WAS INCORRECT. PHASE II DMA #1 PERVIOUS AREA CORRECTS ERROR IN UNTOUCHED PHASE I AREAS IN ADDITION TO BEING REVISED WITH PROPOSED PHASE II CHANGES.
2) DENOTES TREATMENT AREA REQUIRED PER 3% OF TOTAL IMPERVIOUS AREA
3) PERVIOUS PAVERS IN DMA #2 ARE COUNTED AS IMPERVIOUS SURFACES IN SUMMARY TABLE FOR THE SAKE OF TREATMENT SIZING

LEGEND

- DRAINAGE MANAGEMENT AREA (DMA)
- BIORETENTION PLANTERS (BR #1 - BR #7) SEE TYPICAL DETAIL THIS SHEET
- SELF-TREATING AREAS
- EXISTING PAVEMENT / DRAINS TO EXISTING DRAINAGE PATTERN

GRAPHIC SCALE



DATE: DECEMBER 10, 2024					
SCALE: AS NOTED					
DRAWN: KT/PV					
DESIGNED: KT					
ENGINEER: DSK/KT					
MANAGER: DSK					
NO.	BY	DATE	REVISIONS	CITY APPR	

PREPARED BY, OR UNDER THE DIRECTION OF:
NOT APPROVED FOR CONSTRUCTION

PREPARED BY:
STERLING CONSULTANTS
46560 FREMONT BOULEVARD, UNIT NO. 205
FREMONT, CA 94538
sterlingconsultants@gmail.com PHONE: 510.344.8955 x100

PREPARED FOR:
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APNs: 432-108-008 & 007
SITE PLAN REVIEW
22101 HESPERIAN BOULEVARD
HOME 2 SUITES PHASE II - STARBUCKS
PRELIMINARY HORIZONTAL CONTROL PLAN
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SHEET NO.
C6
6 OF 7 SHEETS
JOB NO.
2018-323-A

Worksheet for Calculating the Combination Flow and Volume Method

Instructions: After completing Section 1, make a copy of this Excel file for each Drainage Management Area within the project. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

1.0 Project Information

1-1 Project Name: HOME 2 SUITES
 1-2 City application ID: Site Plan Review (SPR)
 1-3 Site Address or APN: 432-108-008 & 007
 1-4 Tract or Parcel Map No:
 1-5 Site Mean Annual Precip. (MAP)¹: 18.0 Inches
 Refer to the Mean Annual Precipitation Map in Appendix D of the C.3 Technical Guidance to determine the MAP, in inches, for the site. [Click here for map](#)
 1-6 Applicable Rain Gauge²: Oakland
 Enter "Oakland Airport" if the site MAP is 16.4 inches or greater. Enter "San Jose" if the site MAP is less than 16.4 inches.
 MAP adjustment factor is automatically calculated as: 0.98
 (The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain gauge, shown in Table 5.2, below.)

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2-1 Name of DMA: BR#1
 For Items 2-2 and 2-3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft)	Adjust Pervious Surface	Effective Impervious Area
2-2 Impervious surface	29,400	1.0	29,400
2-3 Pervious service	3,211	0.1	321
Total DMA Area (square feet) =			32,611
Total Effective Impervious Area (EIA)			29,721 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5-2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns			
Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients	Coefficient of 1.00
Oakland Airport	18.35		0.67
San Jose	14.4		0.56

3-1 Unit basin storage volume from Table 5.2: 0.67 Inches
 (The coefficient for this method is 1.00, due to the conversion of any landscaping to effective impervious area.)
 3-2 Adjusted unit basin storage volume: 0.66 Inches
 (The unit basin storage volume is adjusted by applying the MAP adjustment factor.)
 3-3 Required Capture Volume (in cubic feet): 1,628 Cubic feet
 (The adjusted unit basin sizing volume [inches] is multiplied by the size of the DMA and converted to feet)

4.0 Calculate the Duration of the Rain Event

4-1 Rainfall intensity: 0.2 Inches per hour
 4-2 Divide Item 3-2 by Item 4-1: 3.29 Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5-1 4% of DMA impervious surface: 1,189 Square feet
 5-2 Area 25% smaller than Item 5-1: 892 Square feet
 5-3 Volume of treated runoff for area in Item 5-2: 1,221 Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6-1 Subtract Item 5-3 from Item 3-3: 407 Cubic feet (Amount of runoff to be stored in ponding area)
 6-2 Divide Item 6-1 by Item 5-2: 0.5 Feet (Depth of stored runoff in surface ponding area)
 6-3 Convert Item 6-2 from ft to inches: 5.5 Inches (Depth of stored runoff in surface ponding area)
 6-4 If ponding depth in Item 6-3 meets your target depth, skip to Item 8-1. If not, continue to Step 7-1.

7.0 Optimize Size of Treatment Measure

7-1 Enter an area larger or smaller than Item 5-2: 871 Sq.ft. (enter larger area if you need less ponding depth; smaller for more depth.)
 7-2 Volume of treated runoff for area in Item 7-1: 1,193 Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)
 7-3 Subtract Item 7-2 from Item 3-3: 435 Cubic feet (Amount of runoff to be stored in ponding area)
 7-4 Divide Item 7-3 by Item 7-1: 0.50 Feet (Depth of stored runoff in surface ponding area)
 7-5 Convert Item 7-4 from feet to inches: 6.00 Inches (Depth of stored runoff in surface ponding area)
 7-6 If the ponding depth in Item 7-5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth.

8.0 Surface Area of Treatment Measure for DMA

8-1 Final surface area of treatment*: 871 Square feet (Either Item 5-2 or final amount in Item 7-1)
 *Note: Check with the local jurisdiction as to its policy regarding the minimum biotreatment surface area allowed.

Worksheet for Calculating the Combination Flow and Volume Method

Instructions: After completing Section 1, make a copy of this Excel file for each Drainage Management Area within the project. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

1.0 Project Information

1-1 Project Name: HOME 2 SUITES
 1-2 City application ID: 432-108-008 & 007
 1-3 Site Address or APN:
 1-4 Tract or Parcel Map No:
 1-5 Site Mean Annual Precip. (MAP)¹: 18.0 Inches
 Refer to the Mean Annual Precipitation Map in Appendix D of the C.3 Technical Guidance to determine the MAP, in inches, for the site. [Click here for map](#)
 1-6 Applicable Rain Gauge²: Oakland
 Enter "Oakland Airport" if the site MAP is 16.4 inches or greater. Enter "San Jose" if the site MAP is less than 16.4 inches.
 MAP adjustment factor is automatically calculated as: 0.98
 (The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain gauge, shown in Table 5.2, below.)

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2-1 Name of DMA: DMA #2
 For Items 2-2 and 2-3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft)	Adjust Pervious Surface	Effective Impervious Area
2-2 Impervious surface	7,662	1.0	7,662
2-3 Pervious service	1,641	0.1	164
Total DMA Area (square feet) =			9,303
Total Effective Impervious Area (EIA)			7,826 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5-2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns			
Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients	Coefficient of 1.00
Oakland Airport	18.35		0.67
San Jose	14.4		0.56

3-1 Unit basin storage volume from Table 5.2: 0.67 Inches
 (The coefficient for this method is 1.00, due to the conversion of any landscaping to effective impervious area.)
 3-2 Adjusted unit basin storage volume: 0.66 Inches
 (The unit basin storage volume is adjusted by applying the MAP adjustment factor.)
 3-3 Required Capture Volume (in cubic feet): 429 Cubic feet
 (The adjusted unit basin sizing volume [inches] is multiplied by the size of the DMA and converted to feet)

4.0 Calculate the Duration of the Rain Event

4-1 Rainfall intensity: 0.2 Inches per hour
 4-2 Divide Item 3-2 by Item 4-1: 3.29 Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5-1 4% of DMA impervious surface: 313 Square feet
 5-2 Area 25% smaller than Item 5-1: 235 Square feet
 5-3 Volume of treated runoff for area in Item 5-2: 321 Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6-1 Subtract Item 5-3 from Item 3-3: 107 Cubic feet (Amount of runoff to be stored in ponding area)
 6-2 Divide Item 6-1 by Item 5-2: 0.5 Feet (Depth of stored runoff in surface ponding area)
 6-3 Convert Item 6-2 from ft to inches: 5.5 Inches (Depth of stored runoff in surface ponding area)
 6-4 If ponding depth in Item 6-3 meets your target depth, skip to Item 8-1. If not, continue to Step 7-1.

7.0 Optimize Size of Treatment Measure

7-1 Enter an area larger or smaller than Item 5-2: 229 Sq.ft. (enter larger area if you need less ponding depth; smaller for more depth.)
 7-2 Volume of treated runoff for area in Item 7-1: 314 Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)
 7-3 Subtract Item 7-2 from Item 3-3: 115 Cubic feet (Amount of runoff to be stored in ponding area)
 7-4 Divide Item 7-3 by Item 7-1: 0.50 Feet (Depth of stored runoff in surface ponding area)
 7-5 Convert Item 7-4 from feet to inches: 6.03 Inches (Depth of stored runoff in surface ponding area)
 7-6 If the ponding depth in Item 7-5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth.

8.0 Surface Area of Treatment Measure for DMA

8-1 Final surface area of treatment*: 229 Square feet (Either Item 5-2 or final amount in Item 7-1)
 *Note: Check with the local jurisdiction as to its policy regarding the minimum biotreatment surface area allowed.

Worksheet for Calculating the Combination Flow and Volume Method

Instructions: After completing Section 1, make a copy of this Excel file for each Drainage Management Area within the project. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

1.0 Project Information

1-1 Project Name: HOME 2 SUITES
 1-2 City application ID: Site Plan Review (SPR)
 1-3 Site Address or APN: 432-108-008 & 007
 1-4 Tract or Parcel Map No:
 1-5 Site Mean Annual Precip. (MAP)¹: 18.0 Inches
 Refer to the Mean Annual Precipitation Map in Appendix D of the C.3 Technical Guidance to determine the MAP, in inches, for the site. [Click here for map](#)
 1-6 Applicable Rain Gauge²: Oakland
 Enter "Oakland Airport" if the site MAP is 16.4 inches or greater. Enter "San Jose" if the site MAP is less than 16.4 inches.
 MAP adjustment factor is automatically calculated as: 0.98
 (The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain gauge, shown in Table 5.2, below.)

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2-1 Name of DMA: BR#3
 For Items 2-2 and 2-3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft)	Adjust Pervious Surface	Effective Impervious Area
2-2 Impervious surface	4,819	1.0	4,819
2-3 Pervious service	2,462	0.1	246
Total DMA Area (square feet) =			7,281
Total Effective Impervious Area (EIA)			5,065 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5-2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns			
Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients	Coefficient of 1.00
Oakland Airport	18.35		0.67
San Jose	14.4		0.56

3-1 Unit basin storage volume from Table 5.2: 0.67 Inches
 (The coefficient for this method is 1.00, due to the conversion of any landscaping to effective impervious area.)
 3-2 Adjusted unit basin storage volume: 0.66 Inches
 (The unit basin storage volume is adjusted by applying the MAP adjustment factor.)
 3-3 Required Capture Volume (in cubic feet): 277 Cubic feet
 (The adjusted unit basin sizing volume [inches] is multiplied by the size of the DMA and converted to feet)

4.0 Calculate the Duration of the Rain Event

4-1 Rainfall intensity: 0.2 Inches per hour
 4-2 Divide Item 3-2 by Item 4-1: 3.29 Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5-1 4% of DMA impervious surface: 203 Square feet
 5-2 Area 25% smaller than Item 5-1: 152 Square feet
 5-3 Volume of treated runoff for area in Item 5-2: 208 Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6-1 Subtract Item 5-3 from Item 3-3: 69 Cubic feet (Amount of runoff to be stored in ponding area)
 6-2 Divide Item 6-1 by Item 5-2: 0.5 Feet (Depth of stored runoff in surface ponding area)
 6-3 Convert Item 6-2 from ft to inches: 5.5 Inches (Depth of stored runoff in surface ponding area)
 6-4 If ponding depth in Item 6-3 meets your target depth, skip to Item 8-1. If not, continue to Step 7-1.

7.0 Optimize Size of Treatment Measure

7-1 Enter an area larger or smaller than Item 5-2: 149 Sq.ft. (enter larger area if you need less ponding depth; smaller for more depth.)
 7-2 Volume of treated runoff for area in Item 7-1: 204 Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)
 7-3 Subtract Item 7-2 from Item 3-3: 73 Cubic feet (Amount of runoff to be stored in ponding area)
 7-4 Divide Item 7-3 by Item 7-1: 0.49 Feet (Depth of stored runoff in surface ponding area)
 7-5 Convert Item 7-4 from feet to inches: 5.91 Inches (Depth of stored runoff in surface ponding area)
 7-6 If the ponding depth in Item 7-5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth.

8.0 Surface Area of Treatment Measure for DMA

8-1 Final surface area of treatment*: 149 Square feet (Either Item 5-2 or final amount in Item 7-1)
 *Note: Check with the local jurisdiction as to its policy regarding the minimum biotreatment surface area allowed.

Worksheet for Calculating the Combination Flow and Volume Method

Instructions: After completing Section 1, make a copy of this Excel file for each Drainage Management Area within the project. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

1.0 Project Information

1-1 Project Name: HOME 2 SUITES
 1-2 City application ID:
 1-3 Site Address or APN: 432-108-008 & 007
 1-4 Tract or Parcel Map No:
 1-5 Site Mean Annual Precip. (MAP)¹: 18.0 Inches
 Refer to the Mean Annual Precipitation Map in Appendix D of the C.3 Technical Guidance to determine the MAP, in inches, for the site. [Click here for map](#)
 1-6 Applicable Rain Gauge²: Oakland
 Enter "Oakland Airport" if the site MAP is 16.4 inches or greater. Enter "San Jose" if the site MAP is less than 16.4 inches.
 MAP adjustment factor is automatically calculated as: 0.98
 (The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain gauge, shown in Table 5.2, below.)

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2-1 Name of DMA: DMA #4
 For Items 2-2 and 2-3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft)	Adjust Pervious Surface	Effective Impervious Area
2-2 Impervious surface	33,471	1.0	33,471
2-3 Pervious service	1,596	0.1	160
Total DMA Area (square feet) =			35,067
Total Effective Impervious Area (EIA)			33,631 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5-2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns			
Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients	Coefficient of 1.00
Oakland Airport	18.35		0.67
San Jose	14.4		0.56

3-1 Unit basin storage volume from Table 5.2: 0.67 Inches
 (The coefficient for this method is 1.00, due to the conversion of any landscaping to effective impervious area.)
 3-2 Adjusted unit basin storage volume: 0.66 Inches
 (The unit basin storage volume is adjusted by applying the MAP adjustment factor.)
 3-3 Required Capture Volume (in cubic feet): 1,842 Cubic feet
 (The adjusted unit basin sizing volume [inches] is multiplied by the size of the DMA and converted to feet)

4.0 Calculate the Duration of the Rain Event

4-1 Rainfall intensity: 0.2 Inches per hour
 4-2 Divide Item 3-2 by Item 4-1: 3.29 Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5-1 4% of DMA impervious surface: 1,345 Square feet
 5-2 Area 25% smaller than Item 5-1: 1,009 Square feet
 5-3 Volume of treated runoff for area in Item 5-2: 1,381 Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6-1 Subtract Item 5-3 from Item 3-3: 460 Cubic feet (Amount of runoff to be stored in ponding area)
 6-2 Divide Item 6-1 by Item 5-2: 0.5 Feet (Depth of stored runoff in surface ponding area)
 6-3 Convert Item 6-2 from ft to inches: 5.5 Inches (Depth of stored runoff in surface ponding area)
 6-4 If ponding depth in Item 6-3 meets your target depth, skip to Item 8-1. If not, continue to Step 7-1.

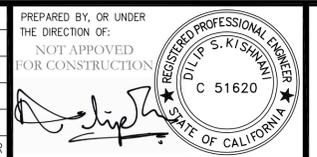
7.0 Optimize Size of Treatment Measure

7-1 Enter an area larger or smaller than Item 5-2: 986 Sq.ft. (enter larger area if you need less ponding depth; smaller for more depth.)
 7-2 Volume of treated runoff for area in Item 7-1: 1,350 Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)
 7-3 Subtract Item 7-2 from Item 3-3: 492 Cubic feet (Amount of runoff to be stored in ponding area)
 7-4 Divide Item 7-3 by Item 7-1: 0.50 Feet (Depth of stored runoff in surface ponding area)
 7-5 Convert Item 7-4 from feet to inches: 5.99 Inches (Depth of stored runoff in surface ponding area)
 7-6 If the ponding depth in Item 7-5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth.

8.0 Surface Area of Treatment Measure for DMA

8-1 Final surface area of treatment*: 986 Square feet (Either Item 5-2 or final amount in Item 7-1)
 *Note: Check with the local jurisdiction as to its policy regarding the minimum biotreatment surface area allowed.

DATE: DECEMBER 10, 2024					
SCALE: AS NOTED					
DRAWN: KT/PV					
DESIGNED: KT					
ENGINEER: DSK/KT					
MANAGER: DSK	NO.	BY	DATE	REVISIONS	CITY APPR

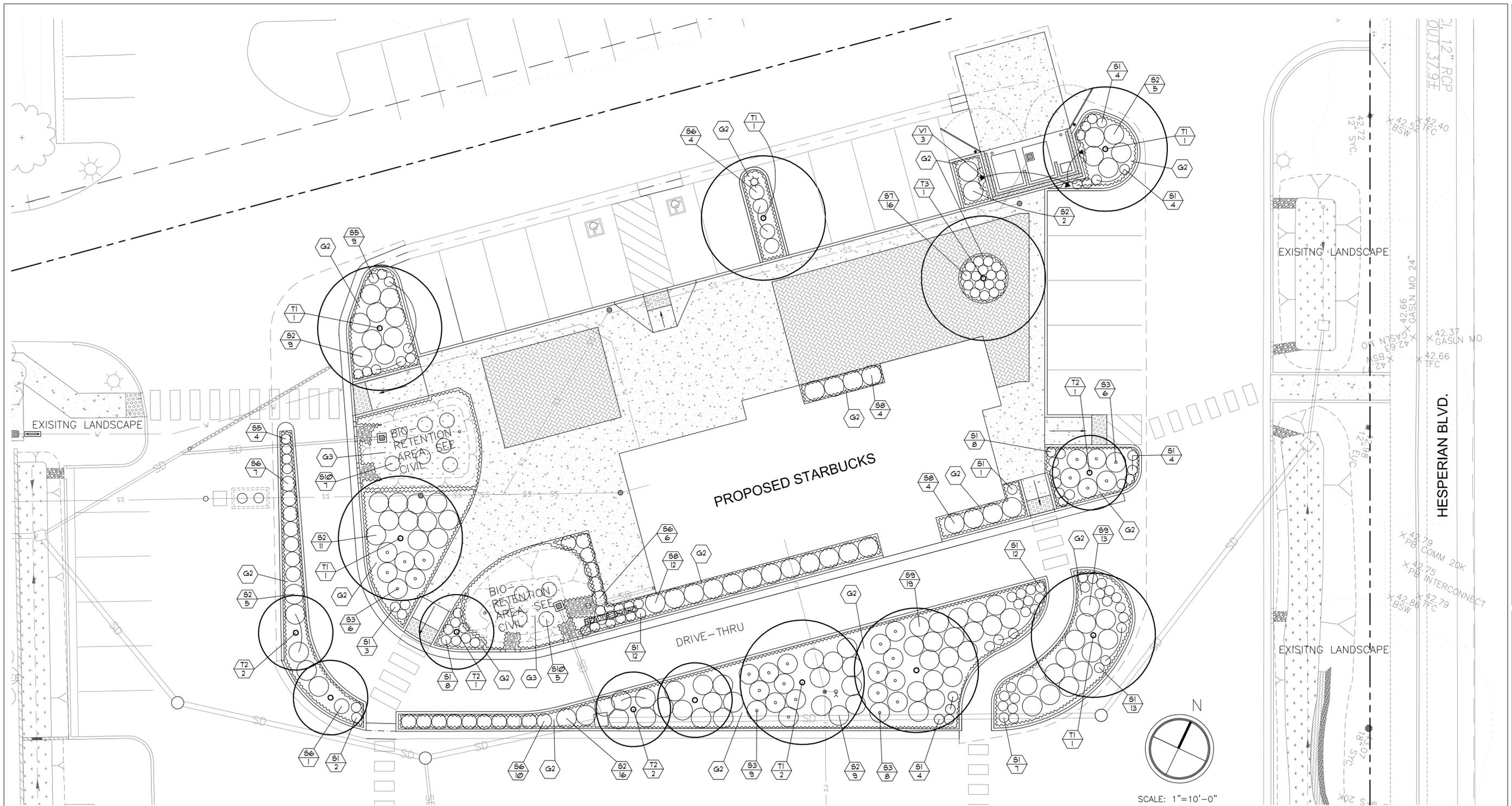


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STERLING CONSULTANTS
 46560 FREMONT BOULEVARD, UNIT NO. 205
 FREMONT, CA 94538
 1sterlingconsultants@gmail.com PHONE: 510.344.8955 x100

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APNs: 432-108-008 & 007
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 22101 HESPERIAN BOULEVARD
HOME 2 SUITES PHASE II - STARBUCKS
 PRELIMINARY BIO-RETENTION SIZING WORKSHEETS
 CITY OF HAYWARD
 ALAMEDA COUNTY
 CALIFORNIA

SHEET NO.
C7
 7 OF 7 SHEETS
 JOB NO.
 2018-323-A



PLANT LEGEND

WUCOLS	KEY	BOTANICAL/COMMON NAME	SIZE	QTY.	REMARKS	APPROX. HT. & WIDTH
TREES						
L	T1	PISTACHIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE	24" BOX	1	30'-60', 30'-50'
M	T2	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	6	25'-30', 20'
M	T3	PLATANUS ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE	24" BOX	1	40'-80', 30'-40'
SHRUBS AND PERENNIALS						
L	S1	LOMANDRA LONGIFOLIA 'LIME TUFF'	DWARF MAT RUSH	1 G.C.	-	3'-4', 2'-3'
L	S2	RAPHIOLEPIS I. 'DANCER'	INDIA HAWTHORN	15 G.C.	-	4', 5'
M	S3	ROSAMARINUS O. 'GLORIZIA'	ROSEMARY	5 G.C.	-	4'-5'-4'-5'
L	S4	NANDINA DOMESTICA	HEAVENLY BAMBOO	5 G.C.	-	6'-8', 3'-4'
L	S5	DIETES BICOLOR	FORTNIGHT LILY	5 G.C.	-	2'-3', 2'
L	S6	LAVANDULA A.'HIDCOTE SUPERIOR'	ENGLISH LAVENDER	5 G.C.	-	15', 15'
L	S7	ALSTROEMERIA HYBRIDS	PERUVIAN LILY	5 G.C.	-	3'-4', 1'
L	S8	MYRTUS COMMUNIS	MYRTLE	5 G.C.	-	5'-6', 4'-5'
L	S9	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	5 G.C.	-	5'-6', 4'-5'
L	S10	LEYMUS CONDENSATUS 'CANYON PRINCE'	LYME GRASS	5 G.C.	-	4', 3'

S1 INDICATES PLANT KEY
3 INDICATES PLANT QUANTITY

PLANT LEGEND (CONT'D.)

-	G1	GROUNDCOVERS, BIO-FILTRATION, AND VINES	-	-	-
-	G2	DELETED	-	-	-
-	G3	BARK MULCH, MEDIUM GRIND 'WALK-ON' BARK	MED. PLUGS	AS REQ.	3' DEPTH
L	G3	CAREX PRAEGRACILIS	CLUSTERED FIELD SEDGE	AS REQ.	SPACE TRI. @ 12" O.C.
L	VI	PARTHENOISSUS TRICUSPIDATA	BOSTON IVY	5 G.C.	TRAIN TO WALL

NOTES

1. AN AUTOMATIC IRRIGATION SYSTEM CONFORMING TO ALL STATE AND LOCAL WATER CONSERVATION AND 'WEO' STANDARDS WILL BE PROVIDED IN ALL LANDSCAPE AREAS.
2. 'WUCOLS' REFERS TO 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' PUBLISHED DATA, L-LOW, M-MEDIUM, H-HIGH.
3. HORTICULTURAL SOIL TESTING AND SOIL AMENDMENTS SHALL BE REQUIRED AS PER CITY RECOMMENDATIONS AND WILL BE DETAILED IN THE LANDSCAPE CONSTRUCTION DOCUMENTS.

21.12" RCP
OUT-379F

HESPERIAN BLVD.

STARBUCKS
HAYWARD, CALIFORNIA

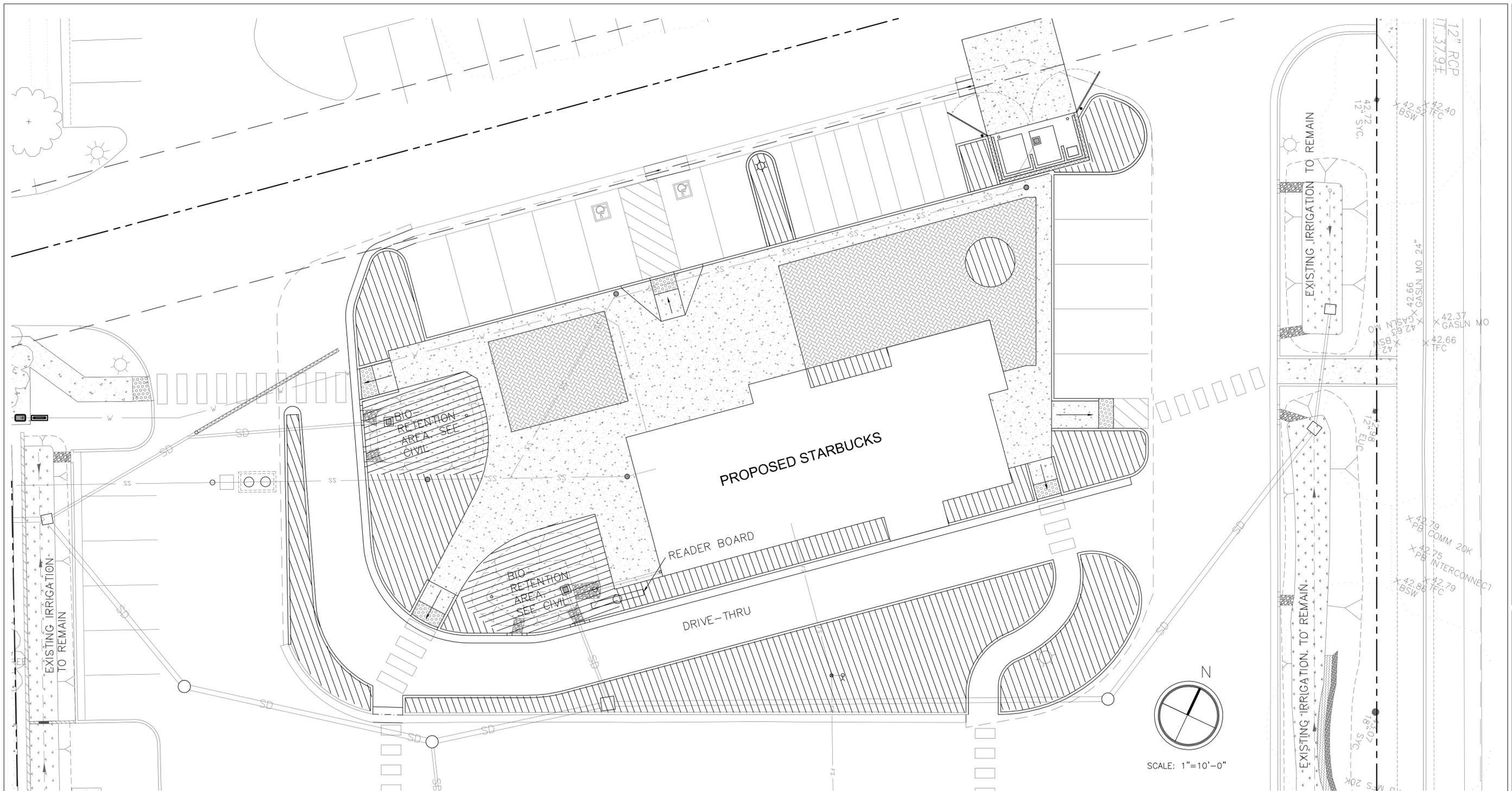
WILSON & ASSOCIATES
LANDSCAPE ARCHITECTURE
815 SAN DIEGO ROAD • BERKELEY, CA 94707
PH: 510-644-9602 • E: cwilson815@gmail.com

PRELIMINARY
LANDSCAPE
PLAN

BY: CW
JOB:
DATE: 07.23.24

L-1.0
SHEET NO. 1 OF 1





NO.	DATE	CITY COMMENTS AND COORDINATION	REVISIONS

STARBUCKS
HAYWARD, CALIFORNIA

WILSON & ASSOCIATES
LANDSCAPE ARCHITECTURE
815 SAN DIEGO ROAD • BERKELEY, CA 94707
PH: 510-644-9602 • E: cwilson815@gmail.com

CONCEPTUAL IRRIGATION PLAN

BY: CW
JOB: _____
DATE: 12.11.24

L-2.0

SHT. ___ OF ___

REVISIONS

LEGEND

- HYDROZONE 1 - BIO-FILTRATION PLANTERS, MP OVERHEAD ROTOR SPRAY IRRIGATION, 955 SQ. FT.
- HYDROZONE 2 - MIXED LANDSCAPE, TREES, SHRUBS, DRIP IRRIGATION, 3,825 SQ. FT.

TOTAL SQ. FT. OF LANDSCAPE = 4,780

NOTES

1. I HAVE COMPLIED WITH THE CRITERIA OF CITY OF HAYWARD BAY-FRIENDLY WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.
2. DRIP IRRIGATION TO USE IN-LINE EMITTERS AT 18" SPACING AT Ø5 GPM.
3. THE IRRIGATION CONTROLLER WILL BE WEATHER BASED AND A RAIN SENSOR WILL BE PROVIDED.

WELO WORKSHEET

Appendix B - Water Efficient Landscape Worksheet.

WATER EFFICIENT LANDSCAPE WORKSHEET S.F.P.R.D. 2015 - 2020, 04-04-20
This worksheet is filed by the project applicant and it is a required element of the Landscape Documentation Package.

City of Berkeley Reference Documentation (L-10-14)

Hydrozone #	Plant Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (P/IE)	Landscaping Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETAWU)
Regular Landscape Areas								
1	Bio-Filtration Planters	0.5	MP Overhead Rotor Spray	0.7	0.35	955	334.25	1,104.45
2	Mixed Landscape, Trees, Shrubs	0.5	Drip	0.8	0.4	3,825	1,530.00	3,991.34
Totals (A)							(B)	5,135.79
Special Landscape Areas								
Totals (C)							(D)	
Maximum Allowed Water Allowance (MAWA)							1,000.00	
ETAWU Total							5,135.79	

ETAF Calculations

All Landscape Areas		Regular Landscape Areas	
Total ETAF x Area	(B)(D)	Total ETAF x Area	(B)
Total Area	(A)(C)	Total Area	(A)
Sitewide ETAF	(B)(D) ÷ (A)(C)	Sitewide ETAF	B ÷ A

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas and 0.45 or below for non-residential areas.

