



CONCEPTUAL RENDERING

PROJECT GENERAL NOTES:

OWNER & DEVELOPER: NAV PAUL DHILLON
 2811 DANWOOD COURT
 SAN JOSE, CA 95418

CIVIL ENGINEER: STERLING CONSULTANTS
 46560 FREMONT BOULEVARD, SUITE 205
 FREMONT, CA 94538
 ATTN: **DILIP S. KISHNANI, P.E., QD**
 PH: 510.344.8956

ARCHITECT: MOLINAR HOME DESIGN
 7133 DUBLIN BOULEVARD
 DUBLIN, CA 94568
 ATTN: **MICHAEL W. SUCHOCKI**
 PH: 925.457.7397
 michael@molinarhomedesign.com

LANDSCAPE ARCHITECT: GATES & ASSOCIATES
 1655 NORTH MAIN STREET, SUITE 365
 WALNUT CREEK, CA 94596
 ATTN: **MELONIE REYNOLDS, PLA**
 PH: 925.736.8176 X-2004
 melonie@dgate.com

ADDRESS & APN: 1434 GROVE WAY
 HAYWARD, CA 94546
 415-0170-027-00

GENERAL PLAN: COMM. / HIGH DENSITY RES. (CDHR)
EXISTING & PROPOSED LAND USE: RESIDENTIAL
EXISTING ZONING: COMMERCIAL OFFICE (CO)

SITE AREA: 15,201 s.f. (GROSS)
 11,050 s.f. (NET - MINUS DEDICATION & PRIVATE STREET
 * ALSO SEE CIVIL DRAWINGS *

NUMBER OF BUILDINGS / LOTS: TWO BLDGS. (ONE 2-PLEX & ONE 3-PLEX)
 5 FOR SALE LOTS; 3 COMMON AREAS; 1 PRIVATE STREET

PARKING: 1 COVERED + AN ADDITIONAL 1.1 PER UNIT = 10.5 SPACES
 SPACES PROVIDED = 12
 DEDICATED VISITOR SPACES = 2

BLDG CODE ANALYSIS: R3 CONDOMINIUM / TYPE VB CONSTRUCTION

OCCUPANCY: UNITS: R-3
 PRIVATE GARAGES: U

LOT COVERAGE: TOTAL NET: 11,050 s.f.
 (INCLUDES GARAGES & PORCHES) **2-PLEX BLDG. FOOTPRINT = 1,854 s.f.**
3-PLEX BLDG. FOOTPRINT = 2,823 s.f.
 LOT COVERAGE: 4,677 / 11,050 = 42%
 LOT COVERAGE MAX = 65%

CONCEPTUAL PERSPECTIVE

TABLE OF CONTENTS:

A.0: COVER SHEET	A.10 DUPLEX ROOF PLAN	A.14 DESIGN CONCEPT AERIALS @ OAK STREET
CIVIL SHEETS -	A.11 TRIPLEX ROOF PLAN	A.15 TRIPLEX PROPOSED ELEVATIONS ~ FRONT & RIGHT
TM-1: TITLE SHEET - PROPOSED SUBDIVISION, NOTES & DETAILS	A.12 DUPLEX PROPOSED ELEVATIONS ~ FRONT & RIGHT	A.16 TRIPLEX PROPOSED ELEVATIONS ~ REAR & LEFT
TM-2: EXISTING CONDITION MAP & DEMOLITION PLAN	A.13 DUPLEX PROPOSED ELEVATIONS ~ REAR & LEFT	A.17 DESIGN CONCEPT AERIALS SECTIONS
TM-3: PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN	A.14 DESIGN CONCEPT AERIALS @ OAK STREET	A.18 COLOR & MATERIALS
TM-4: SITE CROSS SECTIONS	A.15 TRIPLEX PROPOSED ELEVATIONS ~ FRONT & RIGHT	
ARCHITECTURAL SHEETS -	A.16 TRIPLEX PROPOSED ELEVATIONS ~ REAR & LEFT	
A.1 FIRST FLOOR SITE PLAN	A.17 DESIGN CONCEPT AERIALS SECTIONS	
A.2 SECOND FLOOR SITE PLAN	A.18 COLOR & MATERIALS	
A.3 THIRD FLOOR SITE PLAN		
A.4 ROOF DECK SITE PLAN		
A.5 PLAN 1 & 1A FIRST FLOOR PLAN		
A.6 PLAN 1 & 1A SECOND FLOOR PLAN		
A.7 PLAN 1 & 1A THIRD FLOOR PLAN		
A.8 PLAN 2 FIRST & SECOND FLOOR PLAN		
A.9 PLAN 2 THIRD & FOURTH FLOOR PLAN		

CORNER OF GROVE WAY & OAK STREET

LANDSCAPE SHEETS -

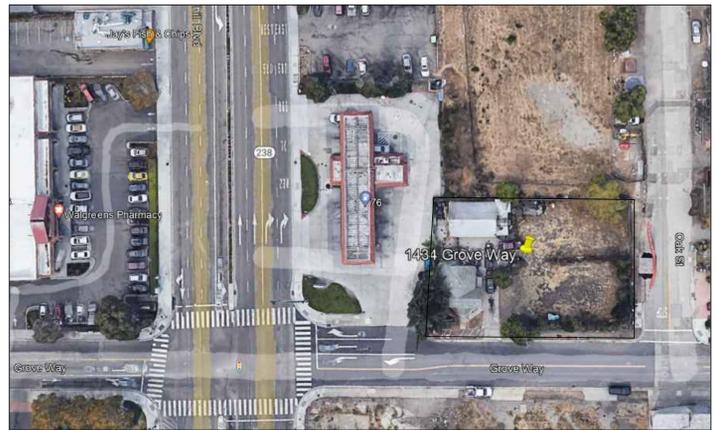
L.0.1 COVER SHEET
L.0.2 TREE MITIGATION PLAN
L.1.1 CONCEPTUAL LANDSCAPE PLAN
L.1.2 FENCING & WALL PLAN
L.2.1 CONCEPTUAL PLANTING PLAN
L.2.2 PLANT PALETTE
L.3.1 HYDROZONE PLAN
L.3.1 IRRIGATION NOTES & CALCULATIONS
L.4.1 CONCEPTUAL LANDSCAPE DETAILS
L.4.2 CONCEPTUAL LANDSCAPE DETAILS

PLAN SQUARE FOOTAGE

PLAN 1 INTERIOR UNIT		4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	679 Sq. Ft.	1st FLR PORCH:	110 Sq. Ft.
THIRD FLOOR:	711 Sq. Ft.	2nd FLR DECK 1:	68 Sq. Ft.
TOTAL:	1,745 Sq. Ft.	2nd FLR DECK 2:	97 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.	3rd FLR DECK:	55 Sq. Ft.
PLAN 1a EXTERIOR UNIT		4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	729 Sq. Ft.	1st FLR PORCH:	110 Sq. Ft.
THIRD FLOOR:	774 Sq. Ft.	2nd FLR DECK 1:	68 Sq. Ft.
TOTAL:	1,858 Sq. Ft.	2nd FLR DECK 2:	97 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.	3rd FLR DECK:	55 Sq. Ft.
PLAN 2		4 BED / 3.5 BATH	
FIRST FLOOR:	400 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	845 Sq. Ft.	1st FLR PORCH:	85 Sq. Ft.
THIRD FLOOR:	865 Sq. Ft.	2nd FLR DECK:	85 Sq. Ft.
ROOF:	140 Sq. Ft.	SUN DECK (RF.):	162 Sq. Ft.
TOTAL:	2,250 Sq. Ft.		
2-CAR GARAGE:	477 Sq. Ft.		

PROJECT NARRATIVE:

THIS PROPOSED TWO BUILDING / FIVE UNIT FOR SALE PROJECT PROPOSED ON THE CORNER OF GROVE WAY AND OAK STREET SEEKS TO ADD VIBRANCE & A PEDESTRIAN-FRIENDLY CHARACTER TO THE NEIGHBORHOOD SERVING AS A TRANSITION FROM THE RESIDENTIAL AREA TO THE NORTH TO THE BUSY INTERSECTION AT FOOTHILL BOULEVARD. A VARIETY OF COLORS, MATERIALS & ARTICULATION PROVIDE A RICH BACKDROP TO THE STREETScape WHILE CARS AND GARAGE DOORS SERVING THE UNITS ARE PLACED ON A PRIVATE DRIVE ALLOWING THE LESS UTILITARIAN ASPECTS OF THE ARCHITECTURE TO BE MORE PROMINENT. AMPLE OPEN SPACE ON THE GROUND LEVEL PROVIDES A PARK-LIKE SETTING WHILE AN ABUNDANCE OF PRIVATE OPEN SPACE IN THE FORM OF PORCHES, BALCONIES & ROOF DECKS ALLOW OWNERS TO ENJOY MORE PERSONALIZED OPEN SPACE AS WELL AS CREATING INTEREST AND ARTICULATION AT THE UPPER LEVELS. THE GROVE WAY PROJECT IS HOPEFUL THAT IT WILL LEAD THE WAY TO OTHER HIGH CALIBER DEVELOPMENTS ON ADJACENT LOTS TO BRING A RENEWED VIBRANCY TO THE NEIGHBORHOOD.



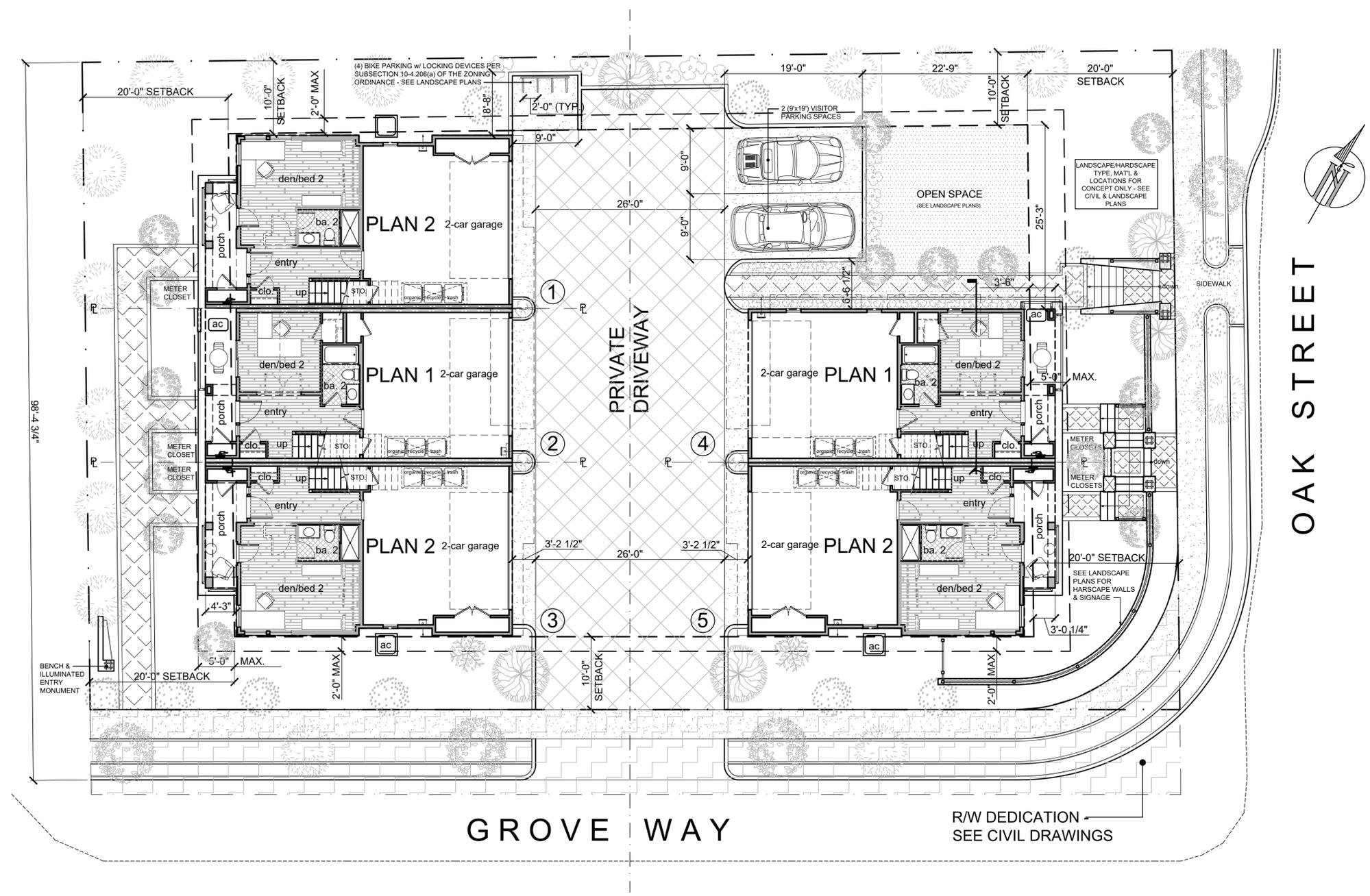
VICINITY MAP

PLANNING DIVISION SUBMITTAL

1434 GROVE WAY
 HAYWARD, CALIFORNIA

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 Molinar Home Design
 7133 Dublin Boulevard
 Dublin, CA 94568
 925-200-2598

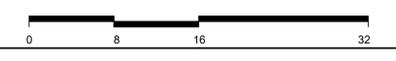
A.0



FIRST FLOOR SITE PLAN

* ARCHITECTURAL SITE PLANS FOR PROPOSED FLOOR PLAN ADJACENCY PURPOSES ONLY - PLEASE SEE CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION

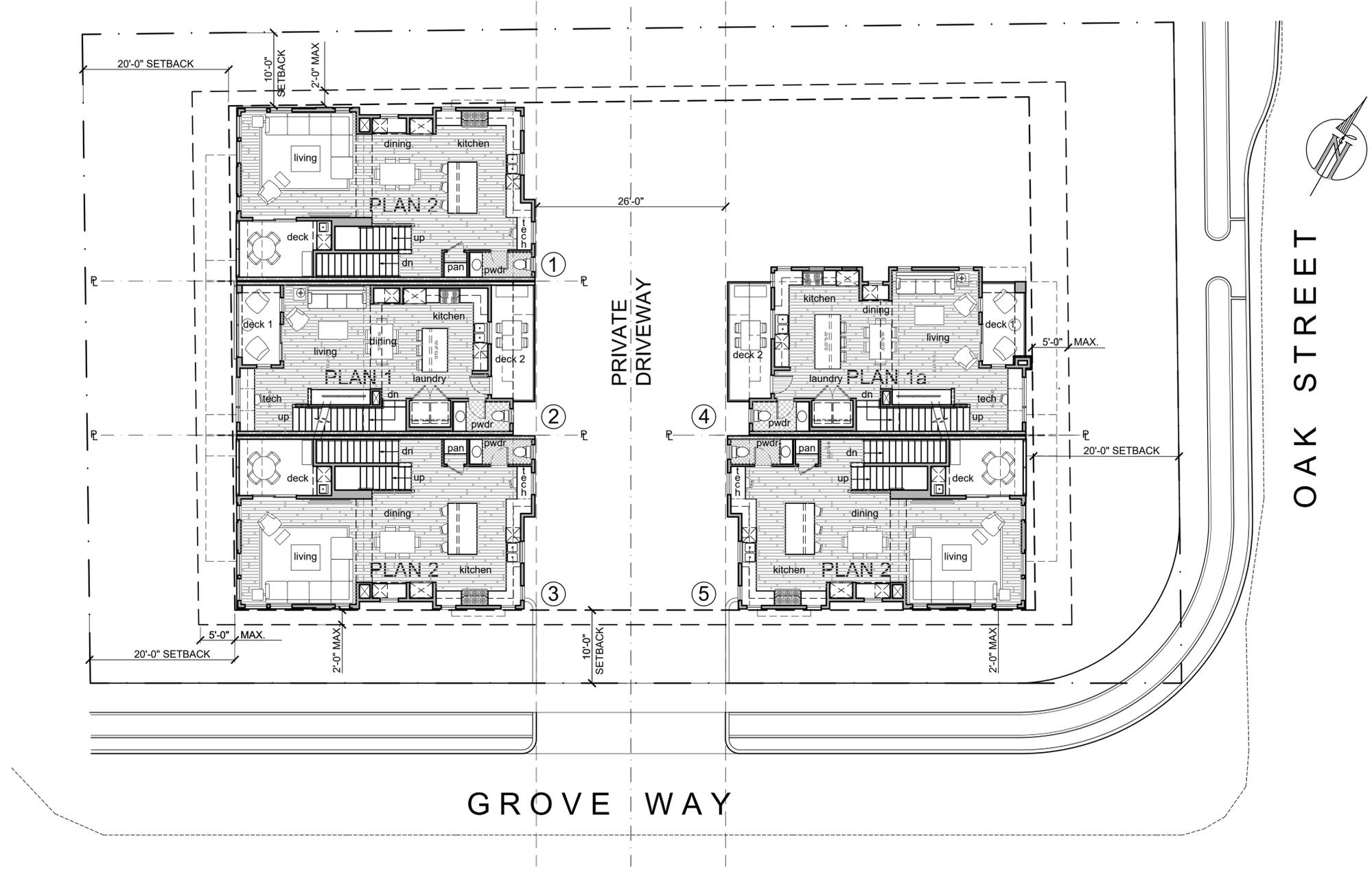
FIRST FLOOR SITE PLAN



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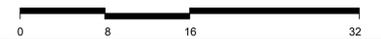
A.1



SECOND FLOOR SITE PLAN

* ARCHITECTURAL SITE PLANS FOR PROPOSED FLOOR PLAN ADJACENCY PURPOSES ONLY - PLEASE SEE CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION

SECOND FLOOR SITE PLAN

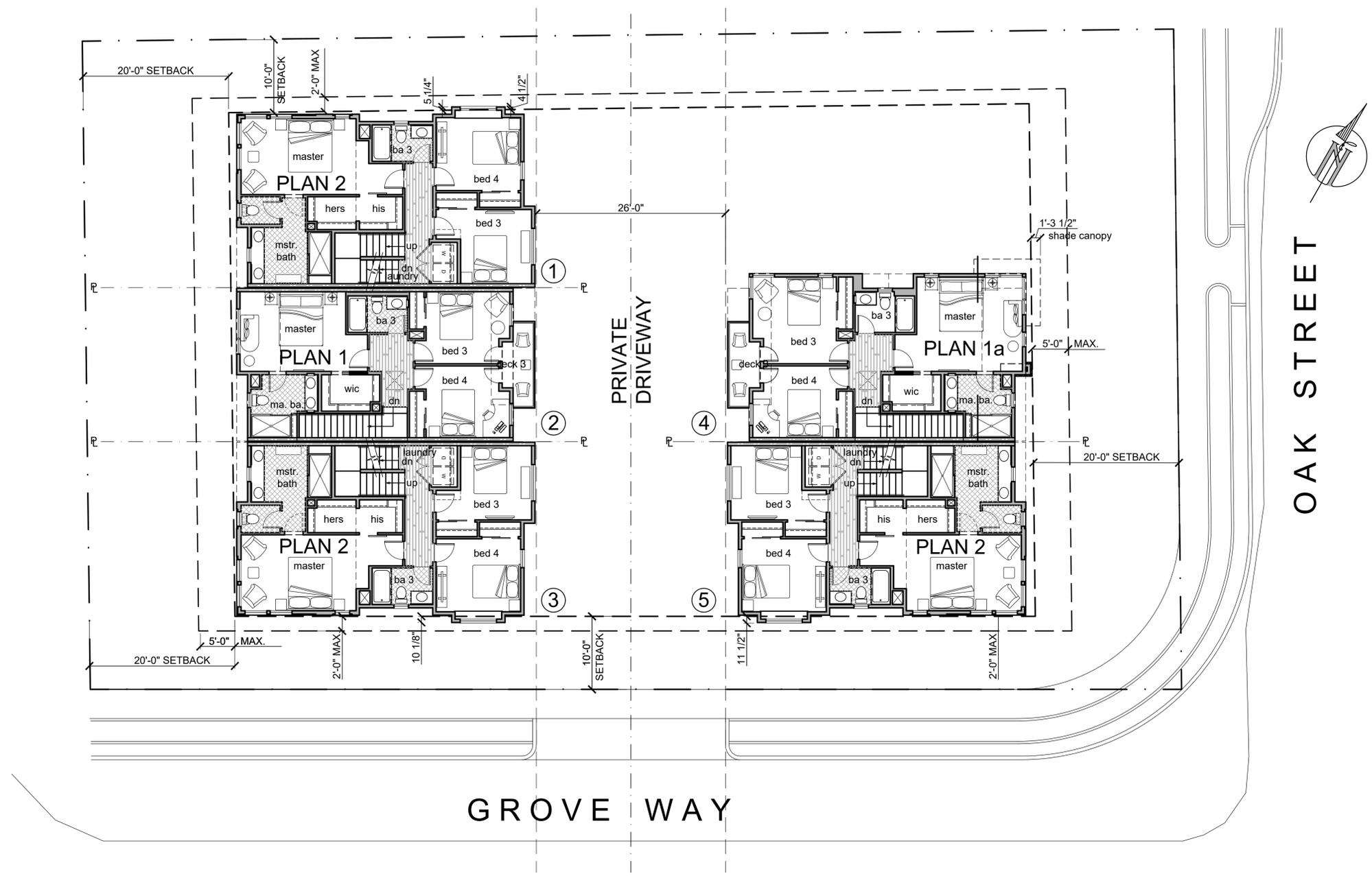


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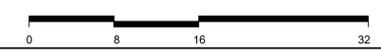
A.2



THIRD FLOOR SITE PLAN

* ARCHITECTURAL SITE PLANS FOR PROPOSED FLOOR PLAN ADJACENCY PURPOSES ONLY - PLEASE SEE CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION

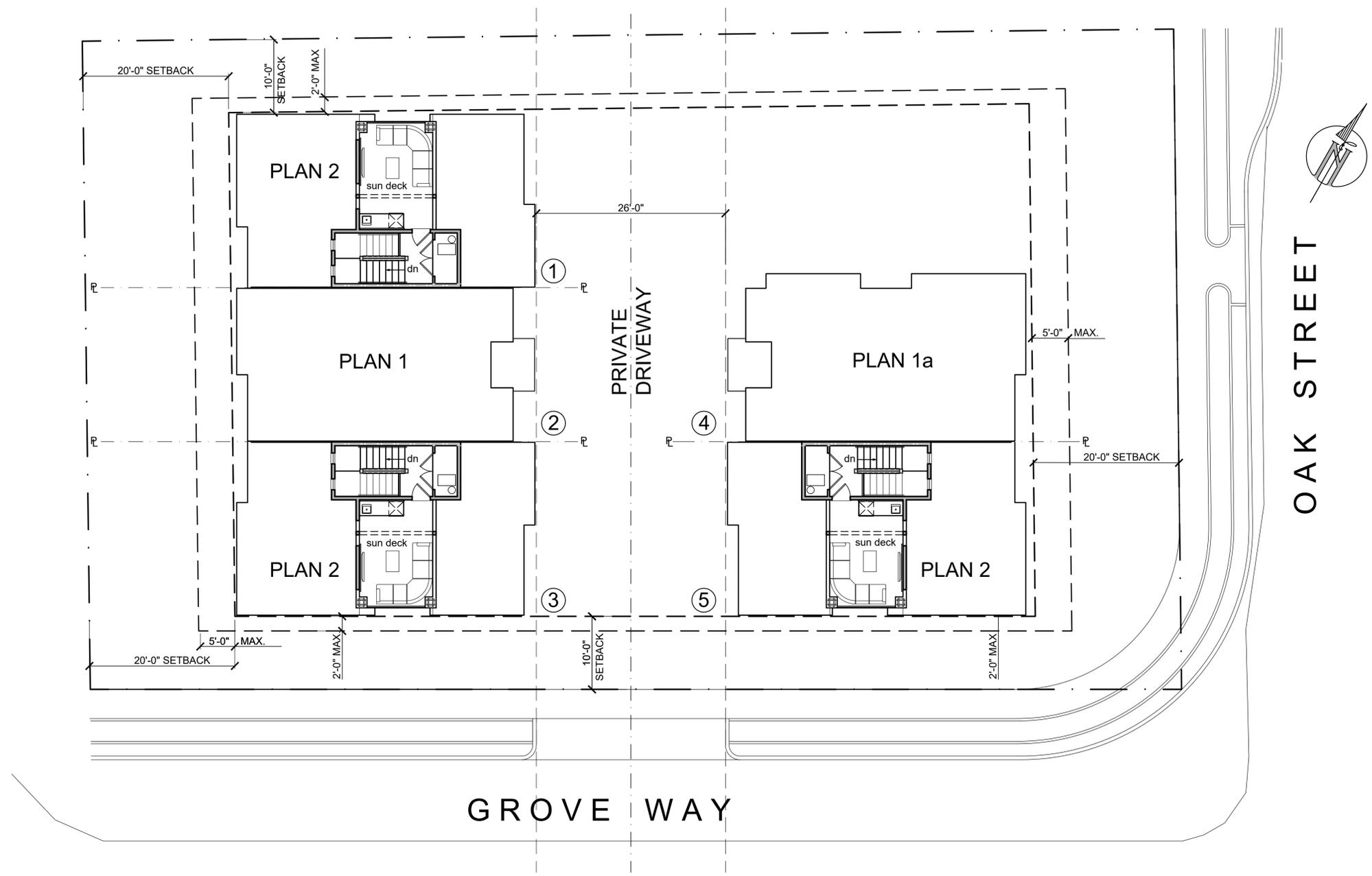
THIRD FLOOR SITE PLAN



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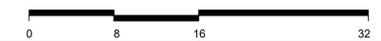
A.3



FOURTH FLOOR SITE PLAN

* ARCHITECTURAL SITE PLANS FOR PROPOSED FLOOR PLAN ADJACENCY PURPOSES ONLY - PLEASE SEE CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION

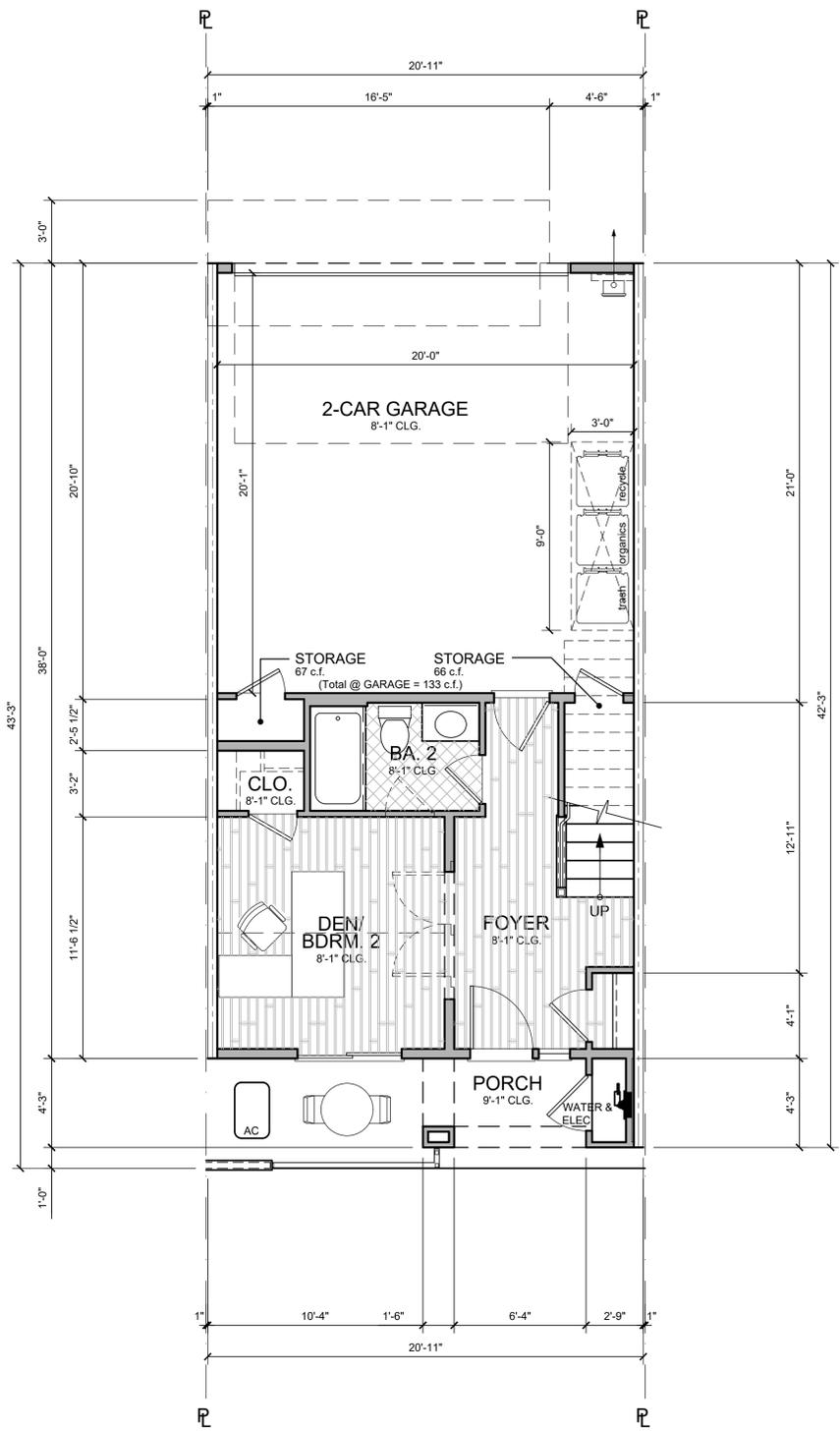
FOURTH FLOOR SITE PLAN



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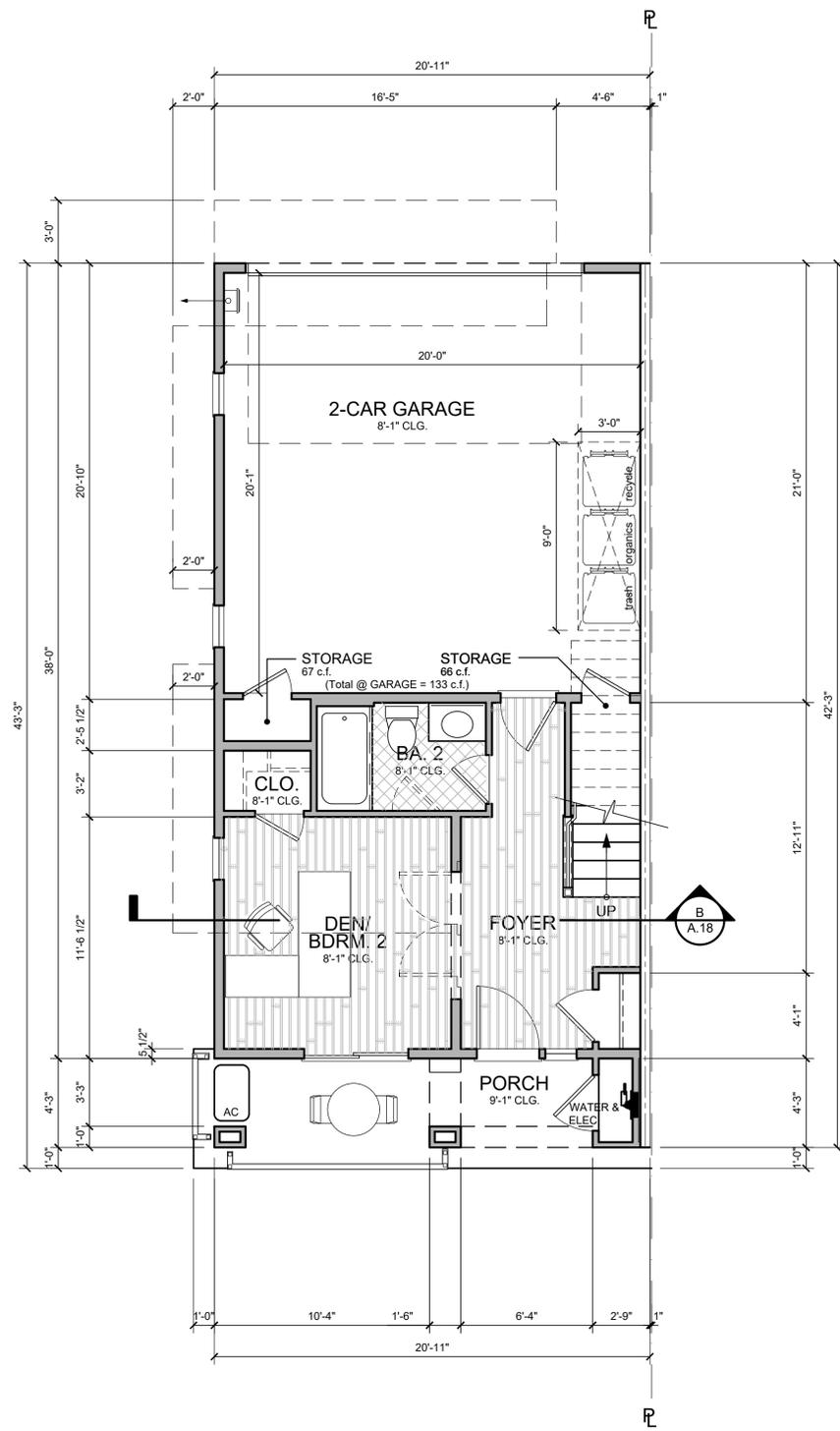
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A.4



PLAN 1 ~ FIRST FLOOR PLAN

LOT 2



PLAN 1A ~ FIRST FLOOR PLAN

LOT 4

PLAN SQUARE FOOTAGE	
PLAN 1 INTERIOR UNIT 4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft. PORCHES & DECKS:
SECOND FLOOR:	679 Sq. Ft. 1st FLR. PORCH: 110 Sq. Ft.
THIRD FLOOR:	711 Sq. Ft. 2nd FLR. DECK 1: 68 Sq. Ft.
TOTAL:	1,745 Sq. Ft. 3rd FLR. DECK: 55 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.
PLAN 1a EXTERIOR UNIT 4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft. PORCHES & DECKS:
SECOND FLOOR:	729 Sq. Ft. 1st FLR. PORCH: 110 Sq. Ft.
THIRD FLOOR:	774 Sq. Ft. 2nd FLR. DECK 1: 68 Sq. Ft.
TOTAL:	1,858 Sq. Ft. 3rd FLR. DECK: 55 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.
PLAN 2 4 BED / 3.5 BATH	
FIRST FLOOR:	400 Sq. Ft. PORCHES & DECKS:
SECOND FLOOR:	845 Sq. Ft. 1st FLR. PORCH: 85 Sq. Ft.
THIRD FLOOR:	865 Sq. Ft. 2nd FLR. DECK: 86 Sq. Ft.
ROOF:	140 Sq. Ft. SUN DECK (RF.): 162 Sq. Ft.
TOTAL:	2,250 Sq. Ft.
2-CAR GARAGE:	477 Sq. Ft.

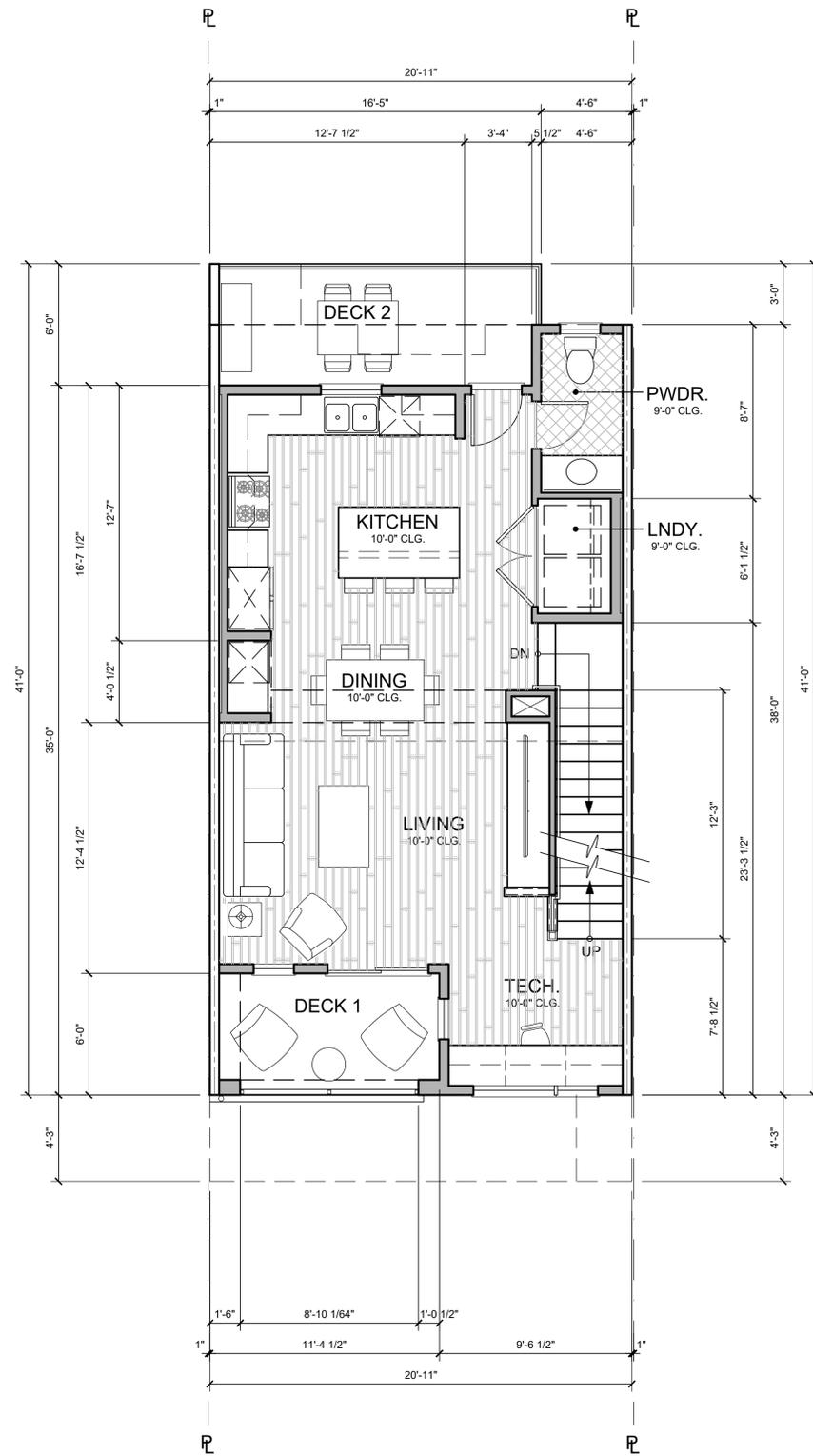
**PLAN 1 & 1A
 FIRST FLOOR
 PLAN**



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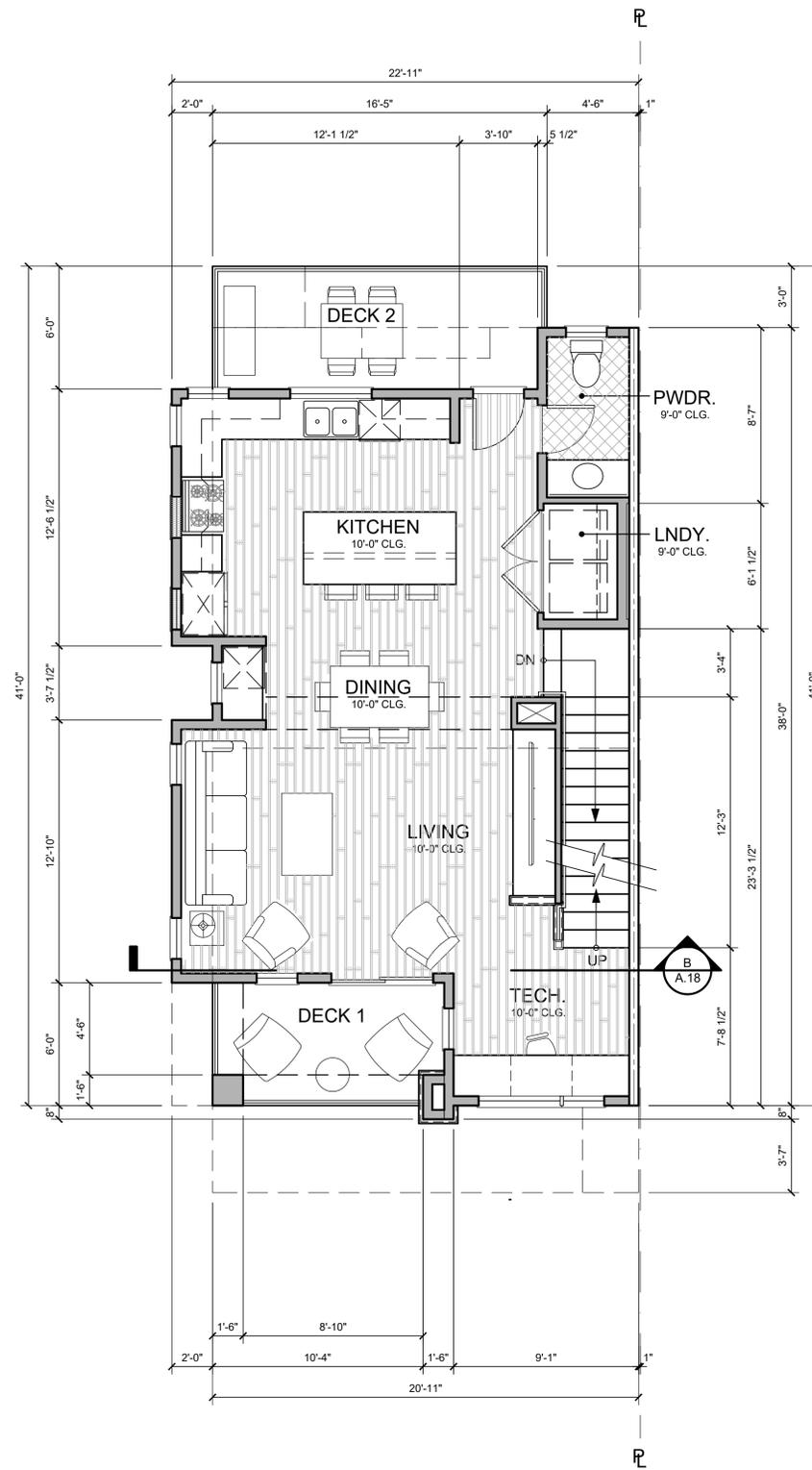
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A.5



PLAN 1 ~ SECOND FLOOR PLAN

LOT 2



PLAN 1a ~ SECOND FLOOR PLAN

LOT 4

PLAN SQUARE FOOTAGE	
PLAN 1 INTERIOR UNIT	4 BED / 3.5 BATH
FIRST FLOOR:	355 Sq. Ft. PORCHES & DECKS:
SECOND FLOOR:	679 Sq. Ft. 1st FLR. PORCH: 110 Sq. Ft.
THIRD FLOOR:	711 Sq. Ft. 2nd FLR. DECK 1: 68 Sq. Ft.
	2nd FLR. DECK 2: 97 Sq. Ft.
	3rd FLR. DECK: 55 Sq. Ft.
TOTAL:	1,745 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.
PLAN 1a EXTERIOR UNIT	4 BED / 3.5 BATH
FIRST FLOOR:	355 Sq. Ft. PORCHES & DECKS:
SECOND FLOOR:	729 Sq. Ft. 1st FLR. PORCH: 110 Sq. Ft.
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	3rd FLR. DECK: 55 Sq. Ft.
TOTAL:	1,858 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.
PLAN 2	4 BED / 3.5 BATH
FIRST FLOOR:	400 Sq. Ft. PORCHES & DECKS:
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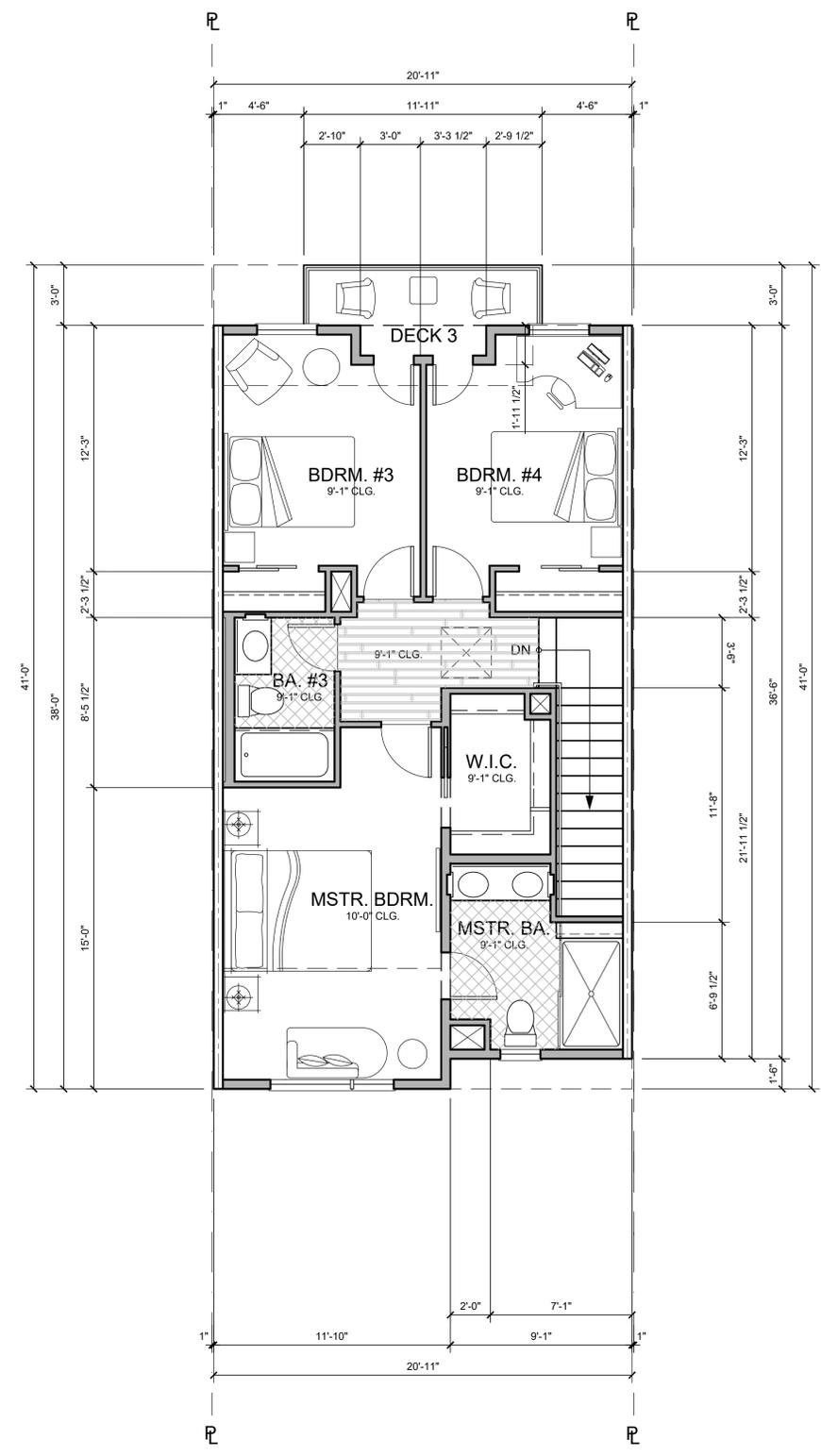
PLAN 1 & 1a
SECOND FLOOR
PLAN



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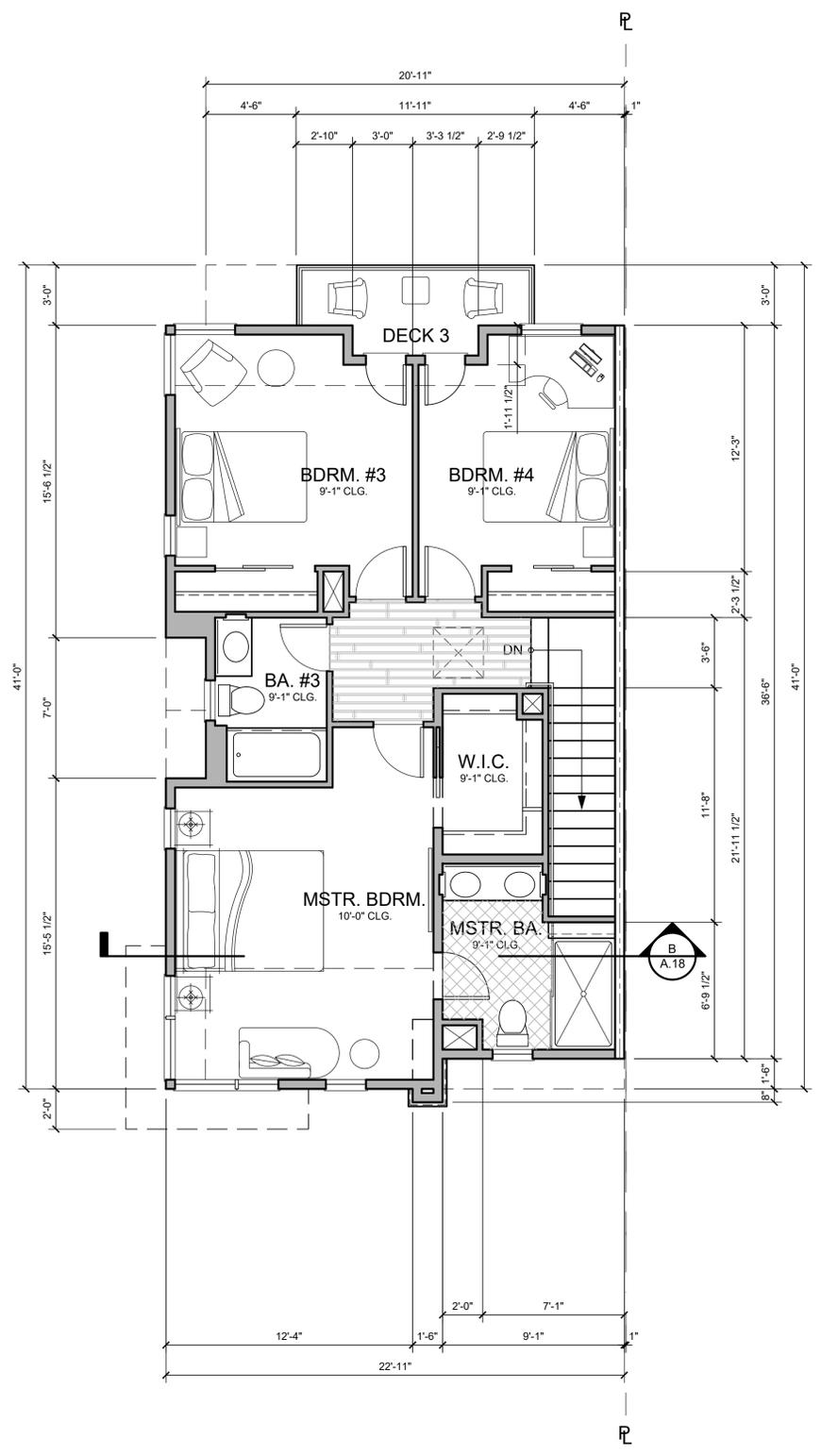
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A.6



PLAN 1 ~ THIRD FLOOR PLAN

LOT 2



PLAN 1A ~ THIRD FLOOR PLAN

LOT 4

PLAN SQUARE FOOTAGE			
PLAN 1 INTERIOR UNIT		4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	679 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	711 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
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		3rd FLR. DECK:	55 Sq. Ft.
TOTAL:	1,745 Sq. Ft.		
2-CAR GARAGE:	440 Sq. Ft.		
PLAN 1a EXTERIOR UNIT		4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	729 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
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FIRST FLOOR:	400 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	845 Sq. Ft.	1st FLR. PORCH:	85 Sq. Ft.
THIRD FLOOR:	865 Sq. Ft.	2nd FLR. DECK:	86 Sq. Ft.
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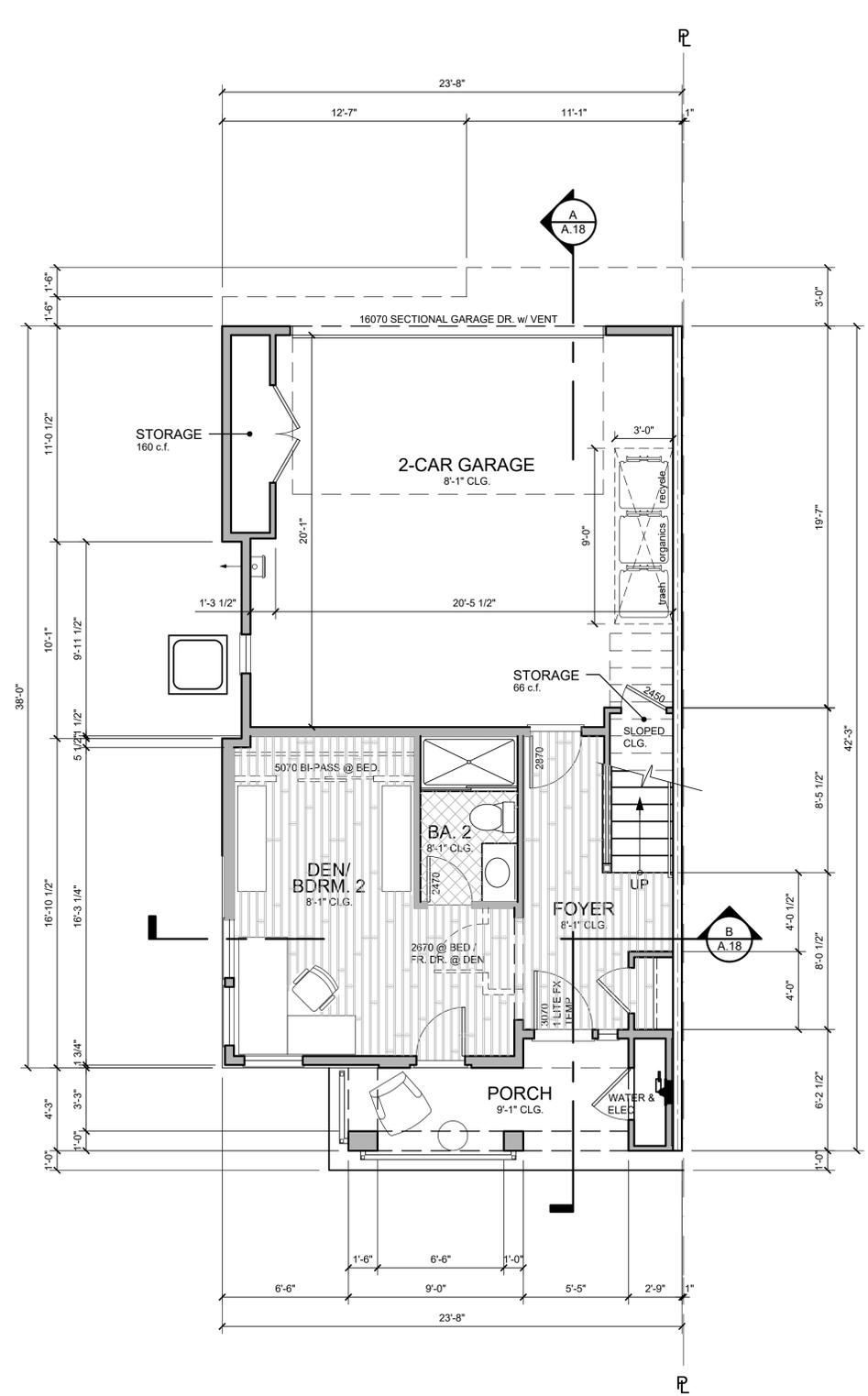
**PLAN 1 & 1A
 THIRD FLOOR
 PLAN**



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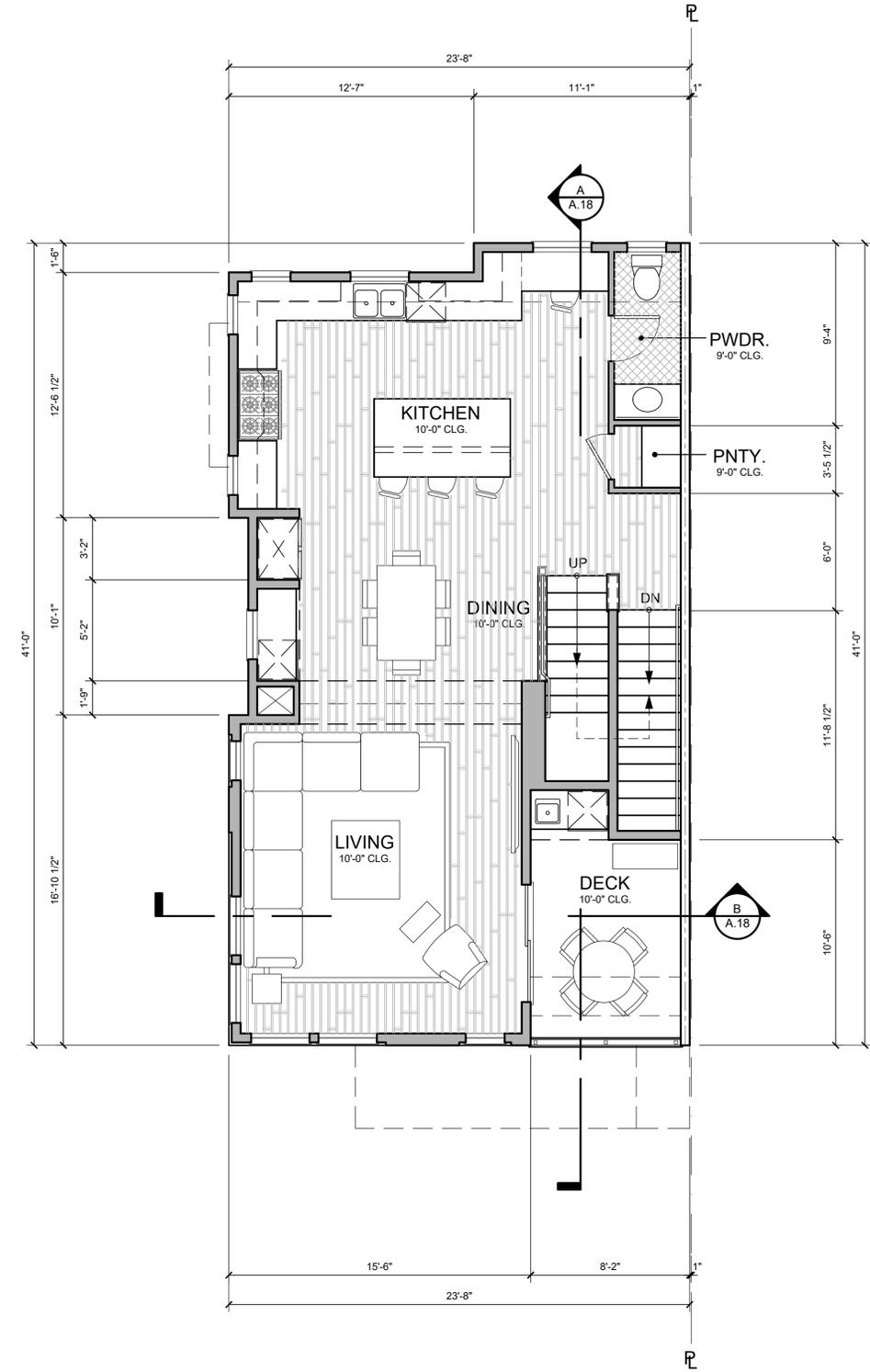
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A.7



PLAN 2 ~ FIRST FLOOR PLAN

LOTS 1,3 & 5



PLAN 2 ~ SECOND FLOOR PLAN

LOTS 1,3 & 5

PLAN SQUARE FOOTAGE	
PLAN 1 INTERIOR UNIT 4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft. PORCHES & DECKS:
SECOND FLOOR:	679 Sq. Ft. 1st FLR. PORCH: 110 Sq. Ft.
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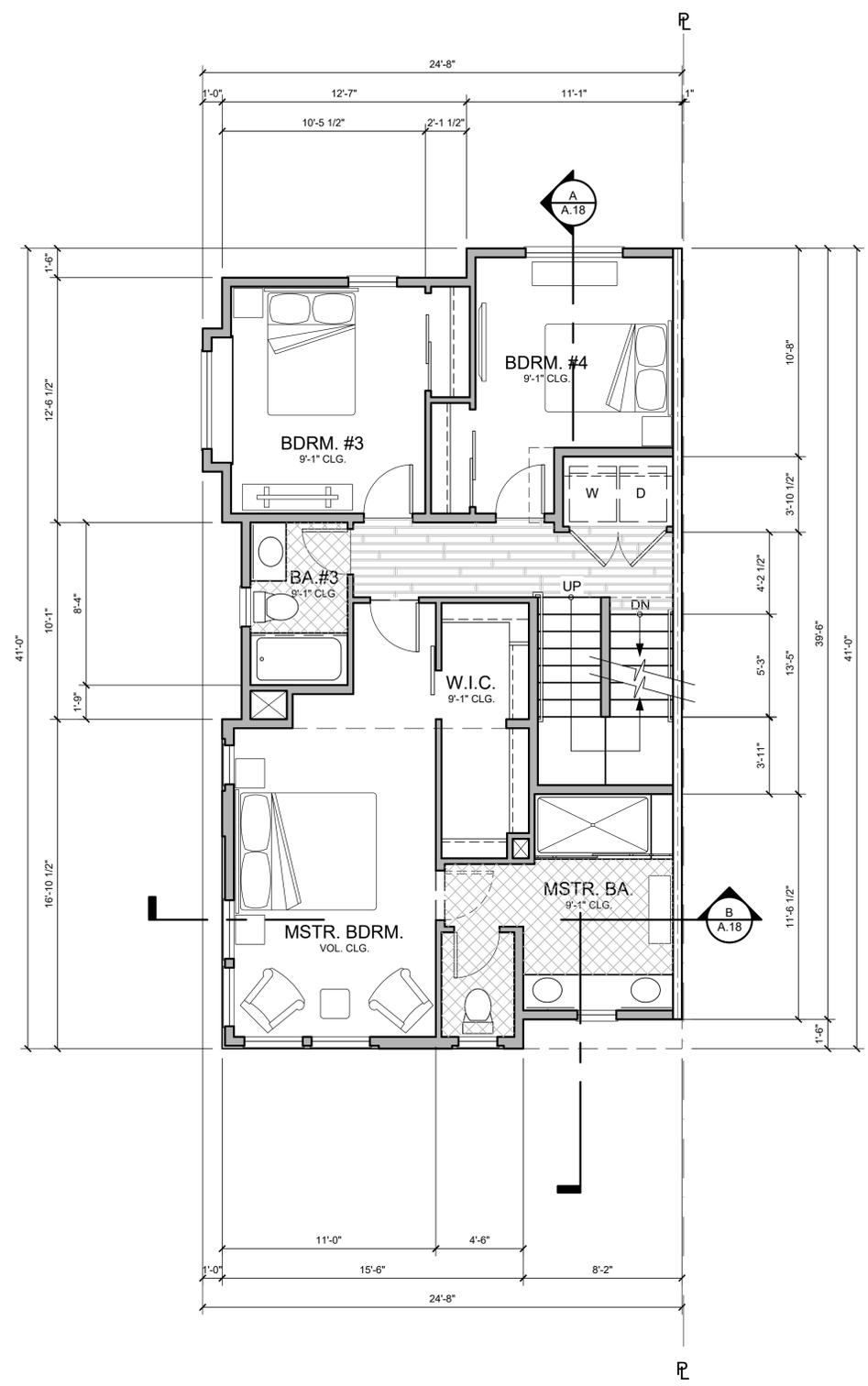
PLAN 2
FIRST & SECOND
FLOOR PLANS



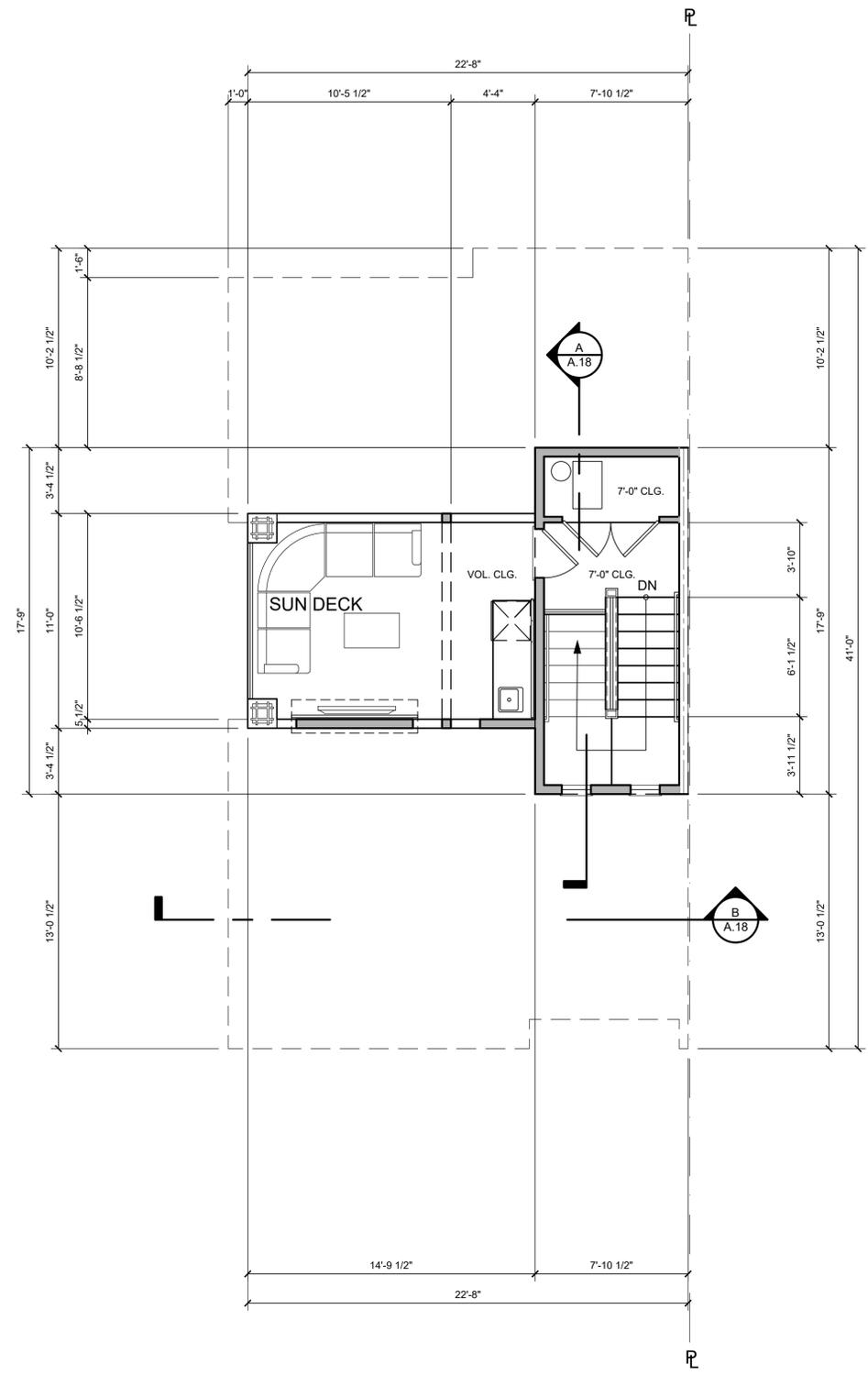
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A.8



PLAN 2 ~ THIRD FLOOR PLAN
 LOTS 1,3 & 5



PLAN 2 ~ FOURTH FLOOR PLAN
 LOTS 1,3 & 5

PLAN SQUARE FOOTAGE	
PLAN 1 INTERIOR UNIT 4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft. PORCHES & DECKS:
SECOND FLOOR:	679 Sq. Ft. 1st FLR. PORCH: 110 Sq. Ft.
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2-CAR GARAGE:	440 Sq. Ft. 3rd FLR. DECK: 55 Sq. Ft.
PLAN 1a EXTERIOR UNIT 4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft. PORCHES & DECKS:
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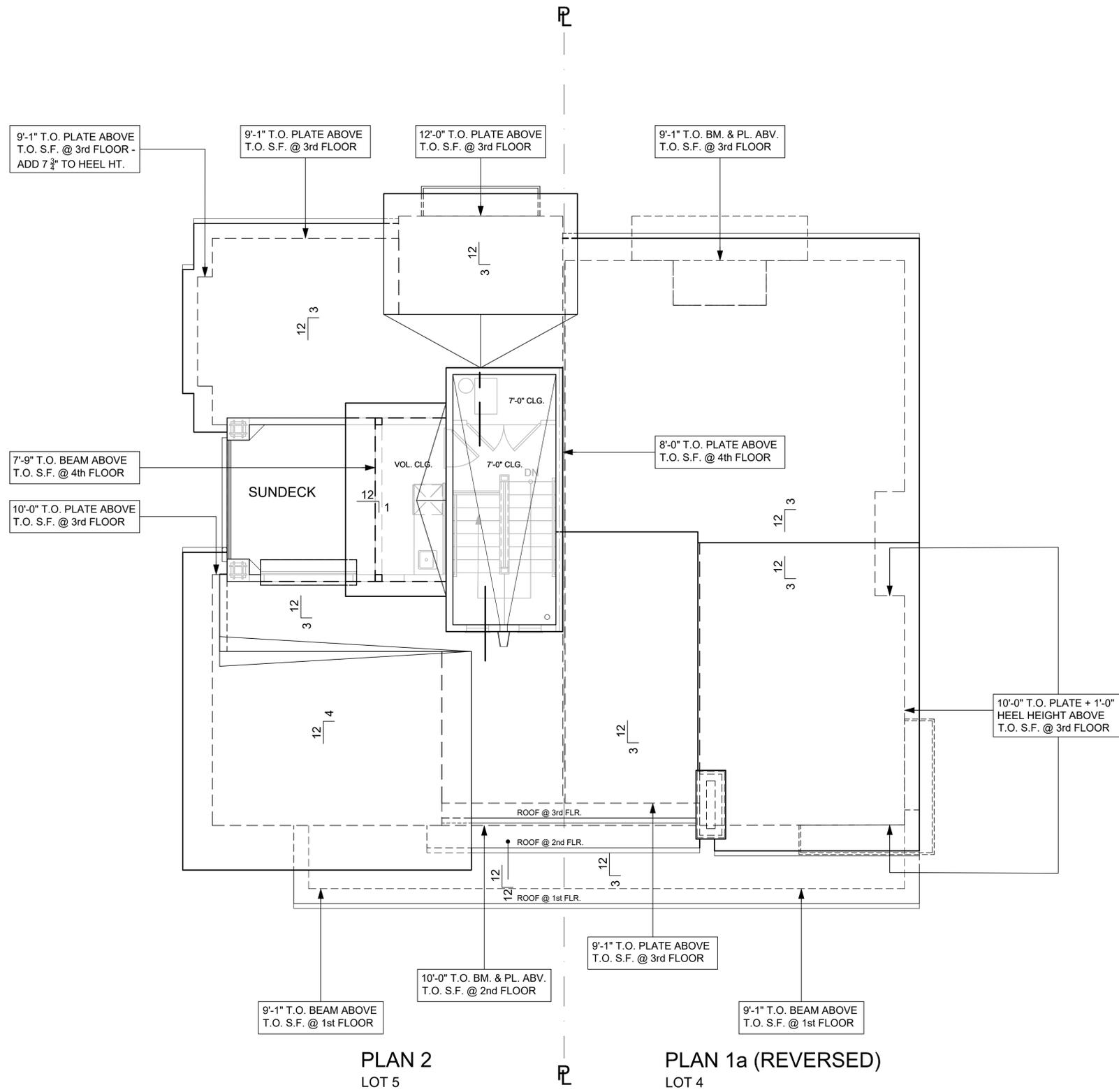
PLAN 2
THIRD & FOURTH
FLOOR PLANS



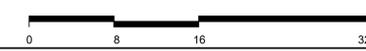
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A.9



DUPLEX: ROOF PLAN

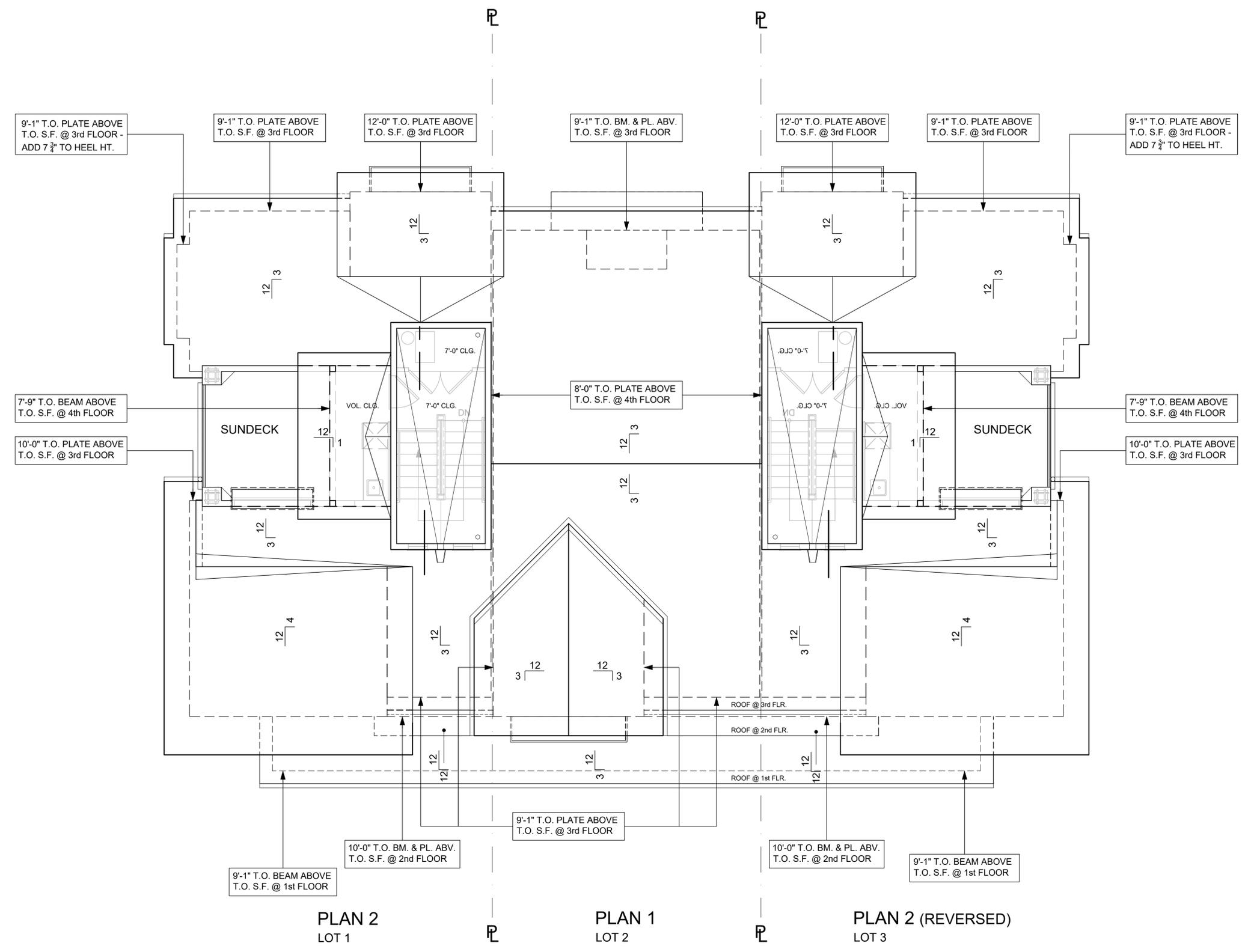


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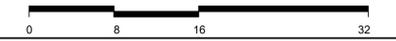
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A.10



TRIPLEX: ROOF PLAN



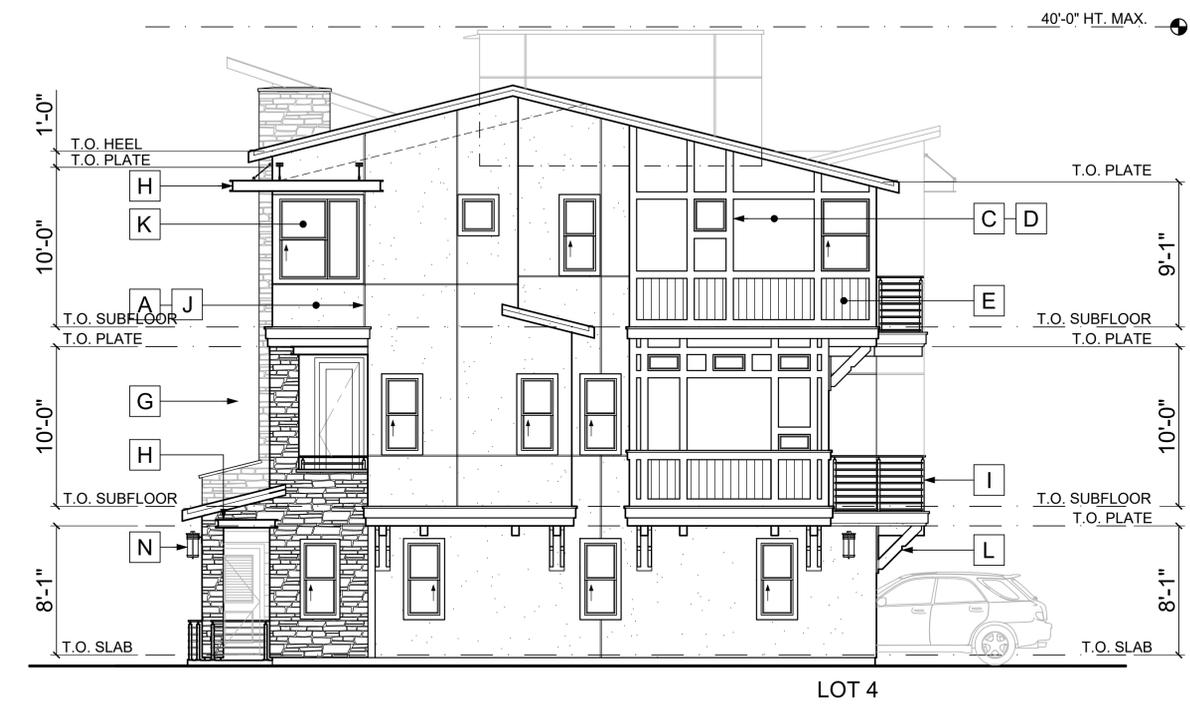
1434 GROVE WAY
 HAYWARD, CALIFORNIA

DATE MAY 4, 2023
 Molinar Home Design
 7133 Dublin Boulevard
 Dublin, CA 94568
 925-200-2598

A.11



DESIGN CONCEPT PERSPECTIVE #1: DUPLEX
 VIEW FROM INTERSECTION OF GROVE WAY & OAK STREET



RIGHT ELEVATION
 VIEW FROM OPEN SPACE

MATERIAL KEY
 ALSO SEE SHEET A.19 FOR COLORS & MATERIALS

- A: 3-COAT STUCCO
- B: CEMENTITIOUS HORIZONTAL LAP SIDING w/ 8' EXPOSURE
- C: CEMENTITIOUS SMOOTH PANEL
- D: 2x CEMENTITIOUS WOOD-GRAIN TRIM
- E: CEMENTITIOUS WD-GRAIN VERTICAL SIDING
- F: CORRUGATED METAL SIDING
- G: "LEDGESTONE" STONE VENEER
- H: METAL, "I-BEAM" HEADER or SUN-SHADE w/ METAL ROD/CABLE SUPPORTS
- I: HORIZONTAL METAL BAR RAILING (TEMPERED GLASS WHERE OCCURS)
- J: EXPANSION JOINT
- K: WOOD-CLAD VINYL WINDOW
- L: WOOD KNEE-BRACE and/or CORBEL
- M: SECTIONAL GARAGE DOOR w/ FROSTED GLASS INSERTS
- N: 'DARK-SKY' COMPLIANT LIGHT FIXTURE
- O: ILLUMINATED ADDRESS LIGHT
- P: 2x4 STAINED WOOD RAIN-SCREEN WALL
- Q: COMPOSITION ROOF SHINGLE
- R: STANDING SEAM METAL ROOF



DESIGN CONCEPT PERSPECTIVE #2: DUPLEX
 VIEW FROM OAK STREET ADJACENT TO OPEN SPACE



FRONT ELEVATION
 VIEW FROM OAK STREET

**DUPLEX:
 PROPOSED
 ELEVATIONS -
 FRONT & RIGHT**

1434 GROVE WAY
 HAYWARD, CALIFORNIA

SCALE: $\frac{3}{16}'' = 1'-0''$
 DATE: MAY 4, 2023
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A.12



DESIGN CONCEPT PERSPECTIVE: DUPLEX

VIEW FROM END of AUTOCOURT

2
6



REAR ELEVATION

VIEW FROM AUTOCOURT



LEFT ELEVATION

VIEW FROM GROVE WAY

MATERIAL KEY
 ALSO SEE SHEET A.19 FOR COLORS & MATERIALS

- A: 3-COAT STUCCO
- B: CEMENTITIOUS HORIZONTAL LAP SIDING w/ 8' EXPOSURE
- C: CEMENTITIOUS SMOOTH PANEL
- D: 2x CEMENTITIOUS WOOD-GRAIN TRIM
- E: CEMENTITIOUS WD-GRAIN VERTICAL SIDING
- F: CORRUGATED METAL SIDING
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- P: 2x4 STAINED WOOD RAIN-SCREEN WALL
- Q: COMPOSITION ROOF SHINGLE
- R: STANDING SEAM METAL ROOF

**DUPLEX:
 PROPOSED
 ELEVATIONS -
 REAR & LEFT**

1434 GROVE WAY
 HAYWARD, CALIFORNIA

SCALE: 3/8" = 1'-0"

DATE MAY 4, 2023

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A.13



DESIGN CONCEPT AERIAL at OAK STREET



DESIGN CONCEPT AERIAL at GROVE WAY & OAK STREET

DESIGN
 CONCEPT
 AERIALS at OAK

1434 GROVE WAY
 HAYWARD, CALIFORNIA

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A.14



DESIGN CONCEPT PERSPECTIVE: TRIPLEX

VIEW FROM NORTHWEST CORNER



RIGHT ELEVATION

VIEW FROM GROVE WAY

MATERIAL KEY
 ALSO SEE SHEET A.19 FOR COLORS & MATERIALS

- A: 3-COAT STUCCO
- B: CEMENTITIOUS HORIZONTAL LAP SIDING w/ 8' EXPOSURE
- C: CEMENTITIOUS SMOOTH PANEL
- D: 2x CEMENTITIOUS WOOD-GRAIN TRIM
- E: CEMENTITIOUS WD-GRAIN VERTICAL SIDING
- F: CORRUGATED METAL SIDING
- G: "LEDGESTONE" STONE VENEER
- H: METAL, "I-BEAM" HEADER or SUN-SHADE w/ METAL ROD/CABLE SUPPORTS
- I: HORIZONTAL METAL BAR RAILING (TEMPERED GLASS WHERE OCCURS)
- J: EXPANSION JOINT
- K: WOOD-CLAD VINYL WINDOW
- L: WOOD KNEE-BRACE and/or CORBEL
- M: SECTIONAL GARAGE DOOR w/ FROSTED GLASS INSERTS
- N: 'DARK-SKY' COMPLIANT LIGHT FIXTURE
- O: ILLUMINATED ADDRESS LIGHT
- P: 2x4 STAINED WOOD RAIN-SCREEN WALL
- Q: COMPOSITION ROOF SHINGLE
- R: STANDING SEAM METAL ROOF



FRONT ELEVATION

VIEW FROM FOOTHILL BOULEVARD

**TRIPLEX:
 PROPOSED
 ELEVATIONS -
 FRONT & RIGHT**

1434 GROVE WAY
 HAYWARD, CALIFORNIA

SCALE: $\frac{3}{16}'' = 1'-0''$
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A.15



6 2

DESIGN CONCEPT PERSPECTIVE: TRIPLEX



LEFT ELEVATION
 VIEW FROM REAR OF LOT

MATERIAL KEY
 ALSO SEE SHEET A.19 FOR COLORS & MATERIALS

- A: 3-COAT STUCCO
- B: CEMENTITIOUS HORIZONTAL LAP SIDING w/ 8' EXPOSURE
- C: CEMENTITIOUS SMOOTH PANEL
- D: 2x CEMENTITIOUS WOOD-GRAIN TRIM
- E: CEMENTITIOUS WD-GRAIN VERTICAL SIDING
- F: CORRUGATED METAL SIDING
- G: "LEDGESTONE" STONE VENEER
- H: METAL, "I-BEAM" HEADER or SUN-SHADE w/ METAL ROD/CABLE SUPPORTS
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- P: 2x4 STAINED WOOD RAIN-SCREEN WALL
- Q: COMPOSITION ROOF SHINGLE
- R: STANDING SEAM METAL ROOF



REAR ELEVATION
 VIEW FROM AUTOCOURT

**TRIPLEX:
 PROPOSED
 ELEVATIONS -
 REAR & LEFT**

1434 GROVE WAY
 HAYWARD, CALIFORNIA

SCALE: $\frac{3}{16}'' = 1'-0''$
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A.16



DESIGN CONCEPT AERIAL at GROVE WAY & FOOTHILL



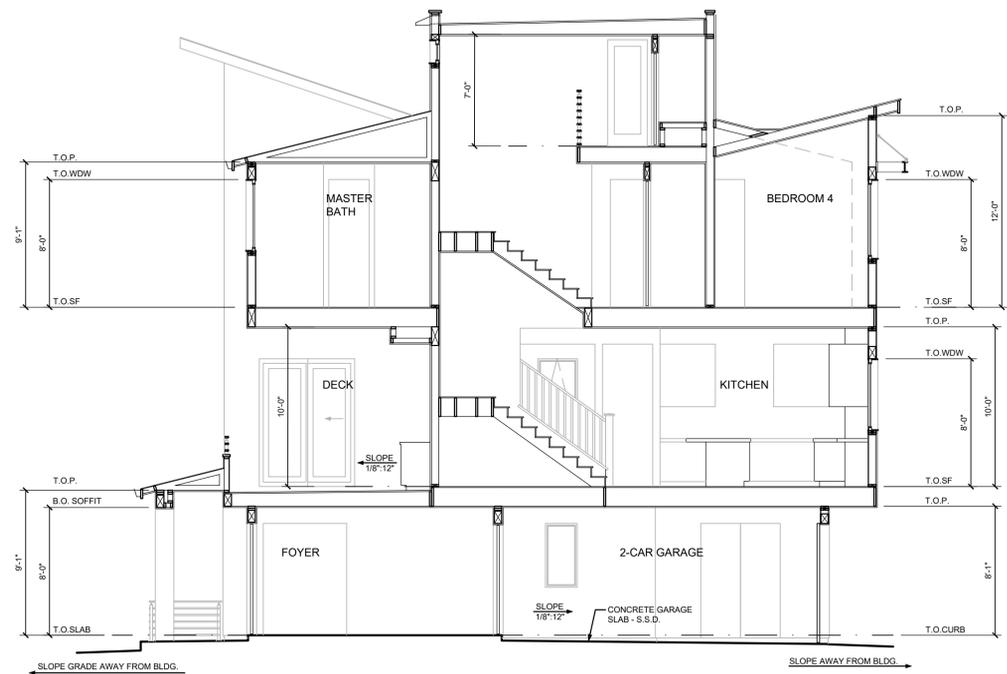
DESIGN CONCEPT AERIAL FROM NORTHWEST CORNER

DESIGN CONCEPT AERIALS

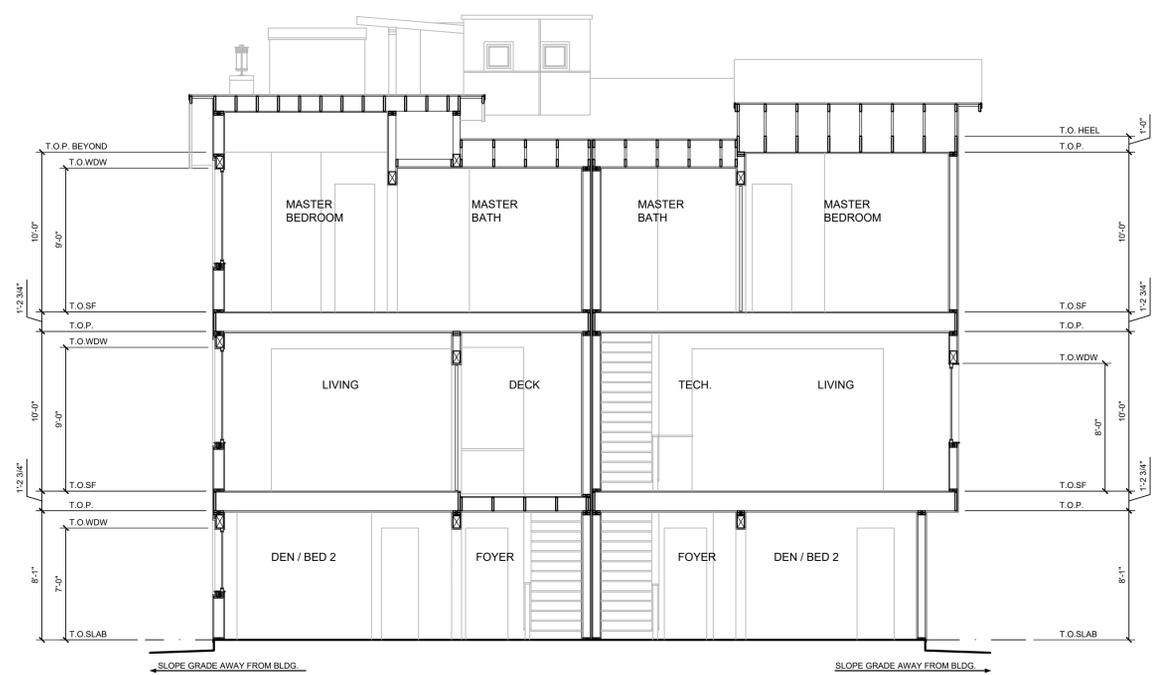
1434 GROVE WAY
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A.17



SECTION "A"



SECTION "B"

BUILDING SECTIONS

1434 GROVE WAY
 HAYWARD, CALIFORNIA

SCALE: $\frac{3}{16}'' = 1'-0''$
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A.18



GAS STATION @ FOOHILL & GROVE



ACROSS THE STREET ON OAK



ACROSS THE STREET ON GROVE



ACROSS THE STREET ON CORNER OF OAK & GROVE



- 1
- 2
- 3
- 4
- 5
- 6
- 7

COLOR KEY	
ALSO SEE ELEVATION SHEETS FOR MATERIALS	
1	"VINTAGEWOOD" CEDAR by NICHIIHA (or equal)
2	"PERFECT PERIWINKLE" (SW 9065) by SHERWIN-WILLIAMS
3	"ZINC METALLIC" WESTERN RIB METAL PANEL by WESTERN STATES METAL SIDING ROOFING (or EQUAL)
4	"WHITE FLOUR" (SW 7102) by SHERWIN-WILLIAMS
5	"CARRIAGE DOOR" (SW 7594) by SHERWIN-WILLIAMS
6	"ANCHORS AWEIGH" (SW 9179) by SHERWIN-WILLIAMS
7	"SLATE BLUE" WESTERN LOCK STANDING SEAM METAL ROOF by WESTERN STATES METAL SIDING ROOFING (or EQUAL)
8	"ANDANTE" FIELDLEDGE by ELDORADO STONE (or EQUAL)
FRONT DOORS:	
PLAN 1	- "PENNYWISE" (SW 6349) by SHERWIN-WILLIAMS
PLAN 2	- "PERFECT PERIWINKLE" (SW 9065) by SHERWIN-WILLIAMS
GARAGE DOORS:	
PLAN 1	- "PERFECT PERIWINKLE" (SW 9065) by SHERWIN-WILLIAMS
PLAN 2	- "ANCHORS AWEIGH" (SW 9179) by SHERWIN-WILLIAMS

- 7
- 8
- 6

GROVE WAY COLORS & MATERIALS

ALSO SEE MATERIAL KEY & CALLOUTS ON PREVIOUS ELEVATION SHEETS

COLORS & MATERIALS

NEIGHBORHOOD CONTEXT

1434 GROVE WAY
 HAYWARD, CALIFORNIA

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A.19