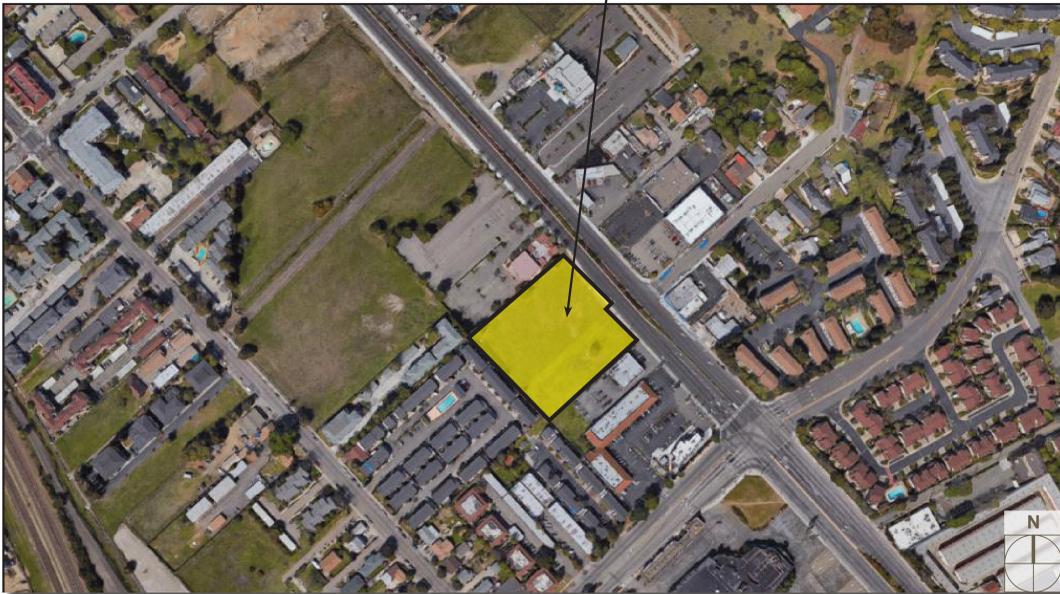


PLANNING PERMIT APPLICATION FOR:
29497 - 29553 MISSION BOULEVARD HAYWARD, CALIFORNIA



VICINITY MAP:



PROJECT LOCATION

NOT TO SCALE

PROJECT TEAM INFO:

Developer
Meta Housing Corporation
 11150 West Olympic Blvd, Suite 620
 Los Angeles, CA 90064
 Tel: (310) 575-3543
 Contact: Ross Ferrera
 rferrera@metahousing.com

Civil Engineer
KPFF
 45 Fremont Street, 28th Floor
 San Francisco, CA 94105
 Tel: (415) 989-1004
 Contact: Ryan Beaton
 ryan.beaton@kpff.com

Architect
Dahlin Group
 5865 Owens Drive
 Pleasanton, CA 94588
 Tel: (925) 251-7200
 Contact: Lauri Moffet-Fehlberg
 lfehlberg@dahlingroup.com

Landscape
Gates + Associates
 2671 Crow Canyon Road
 San Ramon, CA 94583
 Tel: (925) 736-8176
 Contact: Erik Gellerman
 erik@gates.com

PROJECT DESCRIPTION:

The project, located at 29497-29553 Mission Boulevard in Hayward, CA, will be a five-story, fully affordable project with 140 units. The project is designed as family housing, with a mix of one, two, and three bedroom units. The unit mix is approximately 31% one bedroom, 39% two bedroom, and 30% three bedroom. The building is designed to provide vehicular access around the perimeter of the building with tuck under parking along three sides at the ground floor. Along the public Mission Boulevard frontage, the project features an almost 1800 square foot retail space with an approximately 970 square foot exterior courtyard, as well as an approximately 2600 square foot daycare center with its own approximately 1800 square foot exterior play area. The building, designed as U shape, creates an interior courtyard, visible from the Mission Boulevard frontage, that will be a public outdoor amenity for the community residents. The more public functions in the building are located along the Mission Boulevard frontage to increase visual connection to the community. In addition to the play area located in the interior courtyard, residents will be able to walk down the block to the new park, to be constructed as a part of the SoHay development project.

SHEET INDEX:

ARCHITECTURAL:

- A1.1 TITLE SHEET
- A1.2 DEVELOPMENT SUMMARY AND PROJECT DATA
- A1.3 ARCHITECTURAL SITE PLAN

- A2.1 BUILDING PERSPECTIVE
- A2.2 BUILDING PERSPECTIVE
- A2.3 BUILDING PERSPECTIVE
- A2.4 BUILDING PERSPECTIVE

- A3.1 ELEVATIONS - EXTERIOR PERIMETER
- A3.2 ELEVATIONS - EXTERIOR PERIMETER
- A3.3 ELEVATIONS - INTERIOR COURTYARD
- A3.4 ELEVATIONS - INTERIOR COURTYARD
- A3.5 ELEVATIONS - TRASH & UTILITY ENCLOSURE

- A4.1 BUILDING FIRST FLOOR PLAN
- A4.2 BUILDING SECOND FLOOR PLAN
- A4.3 BUILDING THIRD FLOOR PLAN
- A4.4 BUILDING FOURTH FLOOR PLAN
- A4.5 BUILDING FIFTH FLOOR PLAN
- A4.6 BUILDING ROOF PLAN
- A4.7 TYPICAL UNIT FLOOR PLANS

- A5.1 COLORS AND MATERIALS

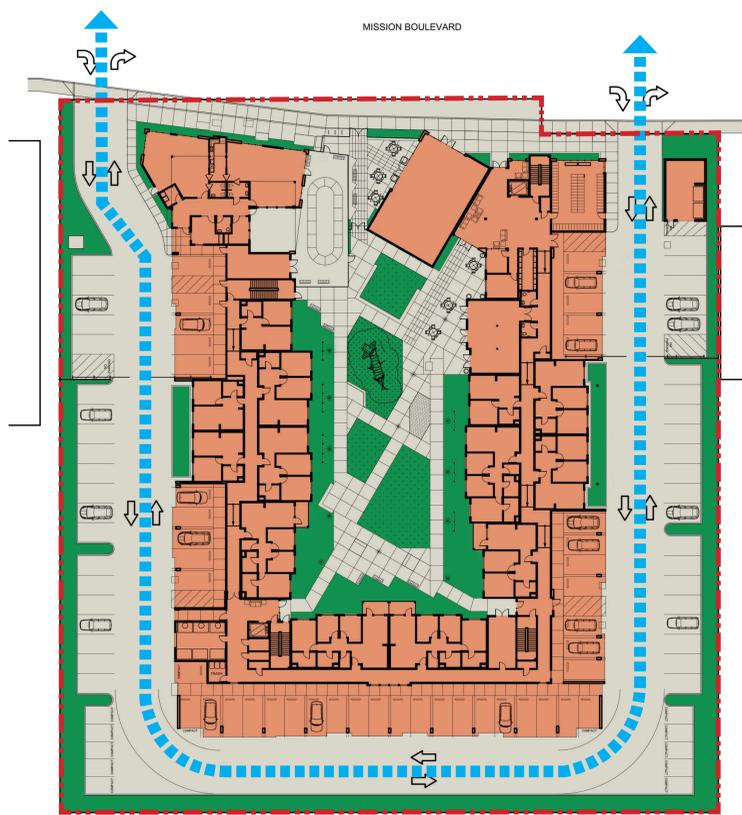
LANDSCAPE:

- L1.1 COVER SHEET
- L1.2 SCHEMATIC PLAN
- L1.3 PLANT PALETTE
- L1.4 PLANTING DETAILS
- L1.5 CONSTRUCTION DETAILS
- L1.6 CONCEPTUAL IRRIGATION PLAN

CIVIL:

- C1.1 CIVIL SITE PLAN
- C1.2 GRADING PLAN
- C1.3 UTILITY PLAN
- C1.4 STORMWATER CONTROL PLAN

TITLE SHEET

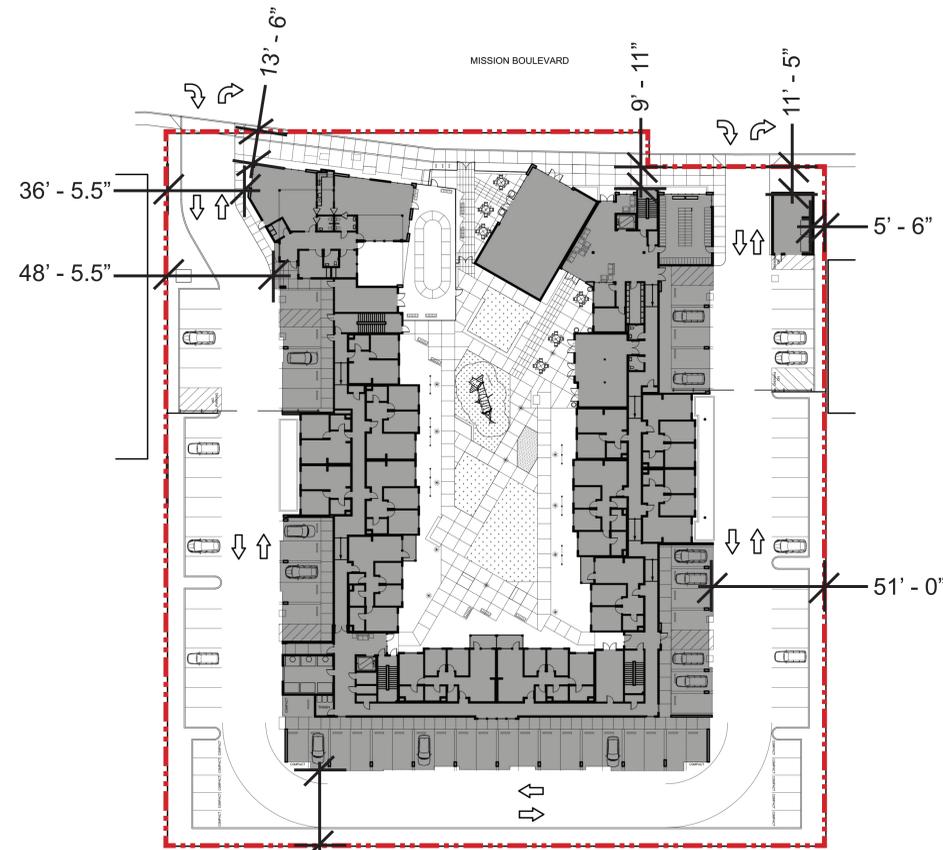


SITE CALCULATIONS

SCALE: 1/32" = 1' - 0"

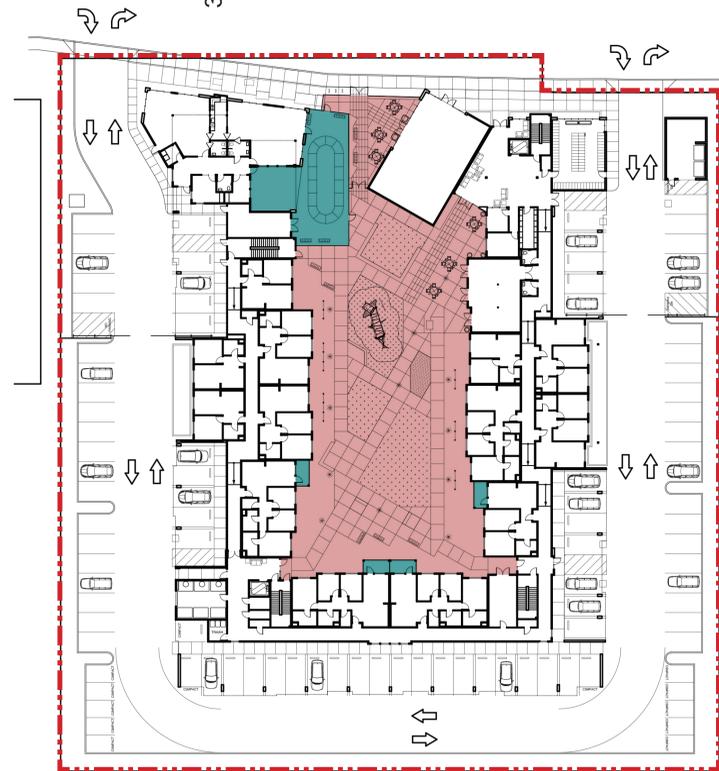
- BUILDING COVERAGE
- LANDSCAPE
- HARDSCAPE
- POTENTIAL FIRE ACCESS

DEVELOPMENT REGULATIONS		
Development Characteristics	Per T-5 Form Based Code	Proposed
Minimum Setback:		(see diagram)
Front (feet) Principal	2' min., 12' max.	13'-6", 9'-11"
Front (feet) Secondary	2' min., 12' max.	N/A
Rear (feet)	3' min.	34'-5 1/2"
Side (feet)	0' min., 24' max.	36'-5 1/2"
Maximum Building Height (stories)	5 stories max. 3 min.	5 stories
Maximum Lot Coverage	90%	38.6%
Common Open Space	10% of Lot Area min.	14.2%



PROPOSED SETBACKS

SCALE: 1/32" = 1' - 0"



OPEN SPACE DIAGRAM

SCALE: 1/32" = 1' - 0"

- PUBLIC OPEN SPACE
- PRIVATE OPEN SPACE

PROJECT DATA SUMMARY		DATE: 12.10.2018
PROJECT NAME:	29497-29553 Mission Boulevard	
LOCATION:	Hayward, CA	
PROJECT NUMBER:	1318.003	
CLIENT:	Meta Housing Corporation	
CONSTRUCTION TYPE:	Type IIIA or Type VA over Type IA: TBD as project develops	
OCCUPANCY TYPE:	R-2	
GENERAL		
APN: PARCEL 1	(29497) 078C-0438-013-06	
PARCEL 2	(29547) 078C-0438-014-00	
PARCEL 3	(29553) 078C-0438-015-02	
GP DESIGNATION:	SMU: Sustainable Mixed Use	
ZONING:	S-T5: T5 Urban Center Zone	
ACREAGE:	Acres	Square Feet
	PARCEL 1 (29497)	0.95 41,382
	PARCEL 2 (29547)	0.69 30,056
	PARCEL 3 (29553)	0.57 24,829
	TOTAL:	2.21 96,268
GROSS SITE AREAS (SF)		
BUILDING COVERAGE:	37,140	
HARDSCAPE:	43,662	
LANDSCAPE:	15,466	
	TOTAL:	96,268
GROSS BUILDING AREA TOTALS (SF)		
RESIDENTIAL:	113,462	
COMMON / AMENITY:	6,113	
PRIVATE OPEN SPACE:	2,438	
CIRCULATION:	27,307	
UTILITY:	4,253	
COMMERCIAL (DAYCARE & RETAIL):	4,504	
	TOTAL:	158,077
GROSS BUILDING AREAS PER FLOOR (SF)		
FIRST FLOOR LEVEL:		
RESIDENTIAL:	10,573	
COMMON / AMENITY:	2,971	
PRIVATE OPEN SPACE:	289	
CIRCULATION:	5,462	
UTILITY:	1,987	
COMMERCIAL (DAYCARE & RETAIL):	4,504	
	TOTAL:	25,766
SECOND FLOOR LEVEL:		
RESIDENTIAL:	25,448	
COMMON / AMENITY:	1,189	
PRIVATE OPEN SPACE:	598	
CIRCULATION:	5,565	
UTILITY:	579	
	TOTAL:	33,379
THIRD FLOOR LEVEL:		
RESIDENTIAL:	25,998	
COMMON / AMENITY:	651	
PRIVATE OPEN SPACE:	517	
CIRCULATION:	5,415	
UTILITY:	549	
	TOTAL:	33,130
FOURTH FLOOR LEVEL:		
RESIDENTIAL:	25,998	
COMMON / AMENITY:	651	
PRIVATE OPEN SPACE:	517	
CIRCULATION:	5,415	
UTILITY:	579	
	TOTAL:	33,160
FIFTH FLOOR LEVEL:		
RESIDENTIAL:	25,445	
COMMON / AMENITY:	651	
PRIVATE OPEN SPACE:	517	
CIRCULATION:	5,450	
UTILITY:	579	
	TOTAL:	32,642
UNIT MIX		
1-BD	43	
2-BD	55	
3-BD	42	
	TOTAL:	140
PARKING PROVIDED (SPACES)		
RESIDENTIAL:	73	
RETAIL:	10	
DAYCARE:	8	
CARSHARE:	2	
	TOTAL:	93
BIKE PARKING PROVIDED		
TEMPORARY:	6	
PERMANENT:	73	
	TOTAL:	79
OPEN SPACE REQUIRED (SF)		
COMMON (10% OF LOT AREA):	9627	
	TOTAL:	9,627
COMMON OPEN SPACE PROVIDED (SF)		
COMMON - INTERIOR COURTYARD:	12,727	
COMMON - RETAIL COURTYARD:	970	
	TOTAL:	13,697
PRIVATE OPEN SPACE PROVIDED (SF)		
PRIVATE - DAYCARE PLAY AREA:	1,818	
PRIVATE - BALCONY:	6,136	
	TOTAL:	7,954

DEVELOPMENT SUMMARY AND PROJECT DATA



ARCHITECTURAL
SITE PLAN

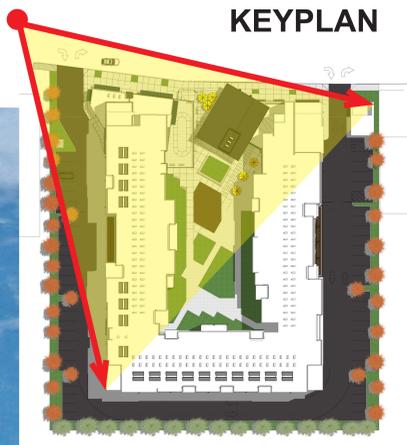
29497-29553 MISSION BOULEVARD | HAYWARD, CA
META HOUSING CORPORATION



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A1.3



**BUILDING
PERSPECTIVE**

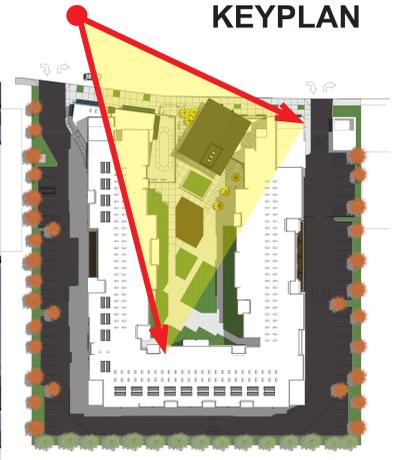
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A2.1



BUILDING PERSPECTIVE

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A2.2

KEYPLAN



BUILDING
PERSPECTIVE

29497-29553 MISSION BOULEVARD | HAYWARD, CA
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KEYPLAN



BUILDING PERSPECTIVE

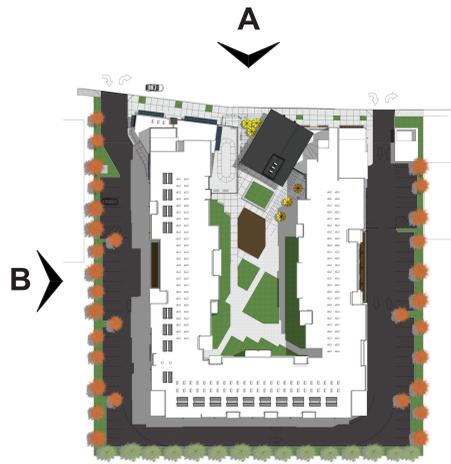
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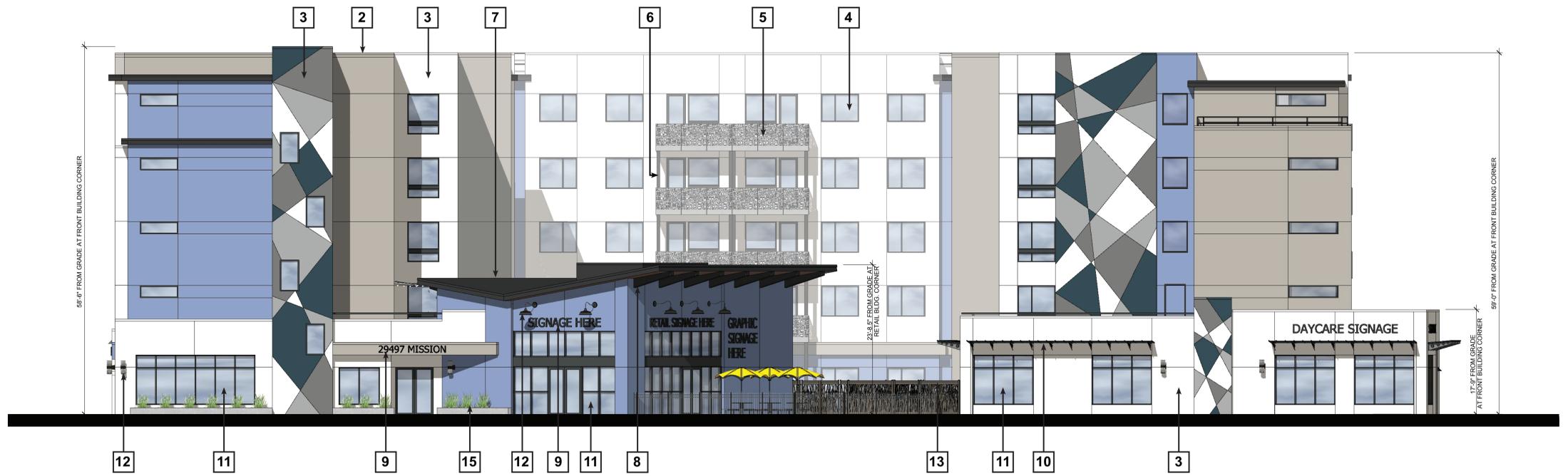
A2.4



KEYPLAN

ELEVATION KEYNOTE LEGEND: #

1. METAL RAILING
2. METAL FLASHING CAP
3. PAINTED STUCCO WITH CONTROL JOINTS TYP.
4. VINYL FRAME WINDOW TYP. (CASEMENT AND FIXED OPERATIONS)
5. METAL GUARD RAIL - FINAL DESIGN T.B.D.
6. PAINTED WOOD POST
7. STANDING SEAM METAL ROOF
8. EXPOSED WOOD BEAM
9. EXTERIOR METAL SIGNAGE TYP.
10. METAL AWNING
11. RECESSED STOREFRONT
12. EXTERIOR BUILDING LIGHT
13. METAL FENCING - FINAL DESIGN T.B.D.
14. METAL ROLL UP DOOR
15. LANDSCAPE PLANTER



A NORTHEAST (MISSION BOULEVARD) ELEVATION



B NORTHWEST ELEVATION

NOTE:
ELEVATION DIMENSIONS TAKE SITE GRADING INTO ACCOUNT.

ELEVATIONS - EXTERIOR PERIMETER

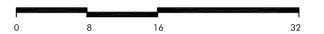
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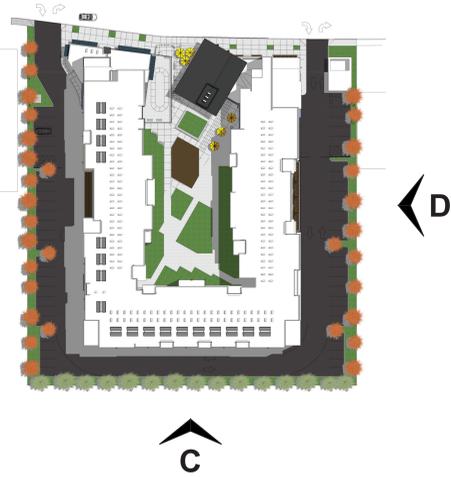
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A3.1



KEYPLAN



ELEVATION KEYNOTE LEGEND: #

- 1. METAL RAILING
- 2. METAL FLASHING CAP
- 3. PAINTED STUCCO WITH CONTROL JOINTS TYP.
- 4. VINYL FRAME WINDOW TYP. (CASEMENT AND FIXED OPERATIONS)
- 5. METAL GUARD RAIL - FINAL DESIGN T.B.D.
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- 14. METAL ROLL UP DOOR
- 15. LANDSCAPE PLANTER



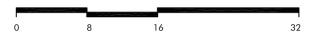
(C) SOUTHWEST ELEVATION

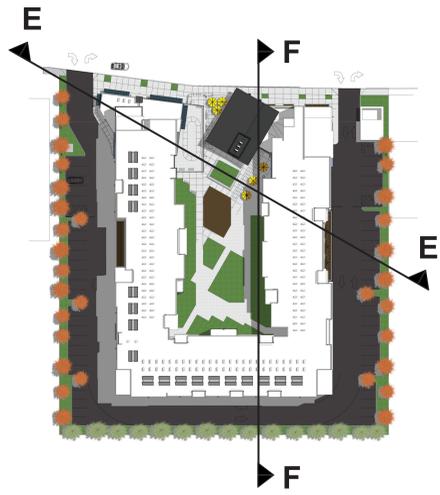


(D) SOUTHEAST ELEVATION

NOTE:
ELEVATION DIMENSIONS TAKE SITE GRADING INTO ACCOUNT.

ELEVATIONS - EXTERIOR PERIMETER

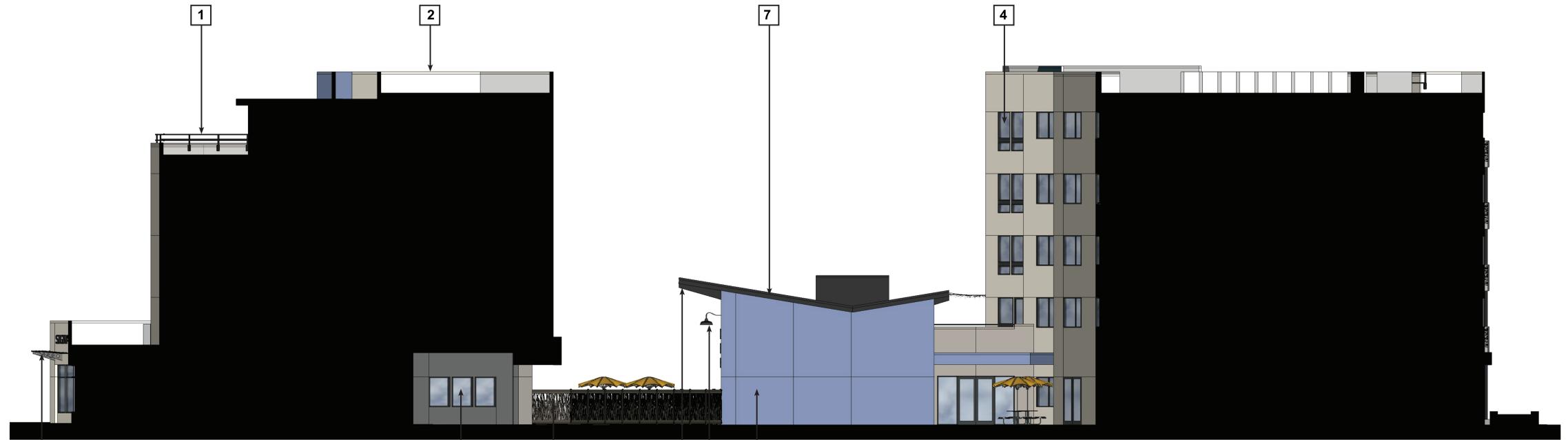




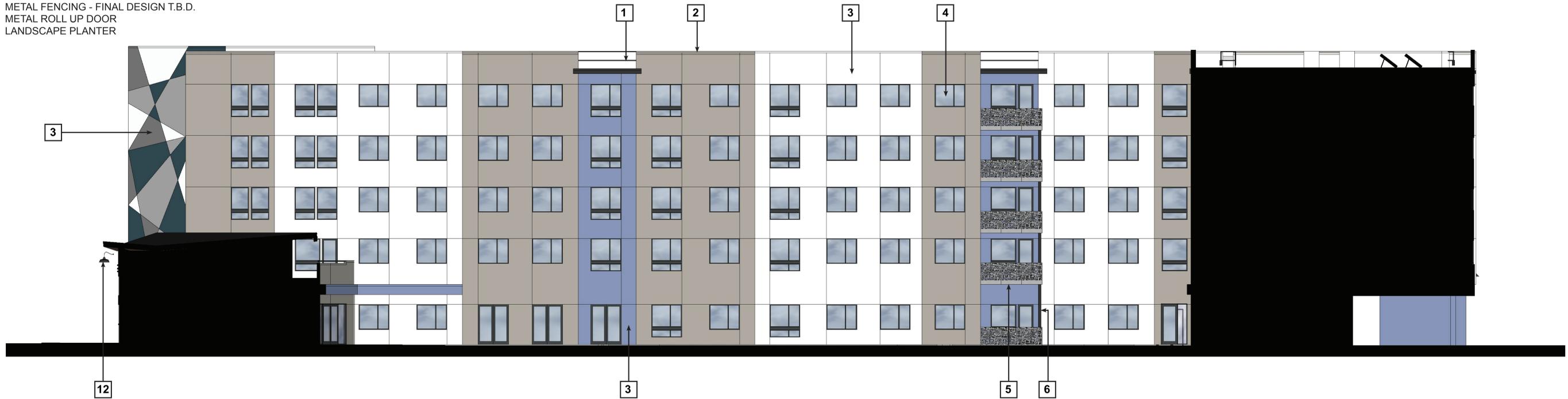
KEYPLAN

ELEVATION KEYNOTE LEGEND: #

- 1. METAL RAILING
- 2. METAL FLASHING CAP
- 3. PAINTED STUCCO WITH CONTROL JOINTS TYP.
- 4. VINYL FRAME WINDOW TYP. (CASEMENT AND FIXED OPERATIONS)
- 5. METAL GUARD RAIL - FINAL DESIGN T.B.D.
- 6. PAINTED WOOD POST
- 7. STANDING SEAM METAL ROOF
- 8. EXPOSED WOOD BEAM
- 9. EXTERIOR METAL SIGNAGE TYP.
- 10. METAL AWNING
- 11. RECESSED STOREFRONT
- 12. EXTERIOR BUILDING LIGHT
- 13. METAL FENCING - FINAL DESIGN T.B.D.
- 14. METAL ROLL UP DOOR
- 15. LANDSCAPE PLANTER

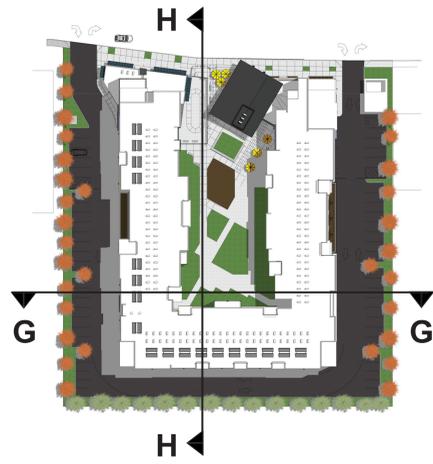


E NORTHEAST COURTYARD ELEVATION



F SOUTHEAST COURTYARD ELEVATION

ELEVATIONS - INTERIOR COURTYARD



KEYPLAN

ELEVATION KEYNOTE LEGEND: #

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- 2. METAL FLASHING CAP
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- 4. VINYL FRAME WINDOW TYP. (CASEMENT AND FIXED OPERATIONS)
- 5. METAL GUARD RAIL - FINAL DESIGN T.B.D.
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- 7. STANDING SEAM METAL ROOF
- 8. EXPOSED WOOD BEAM
- 9. EXTERIOR METAL SIGNAGE TYP.
- 10. METAL AWNING
- 11. RECESSED STOREFRONT
- 12. EXTERIOR BUILDING LIGHT
- 13. METAL FENCING - FINAL DESIGN T.B.D.
- 14. METAL ROLL UP DOOR
- 15. LANDSCAPE PLANTER



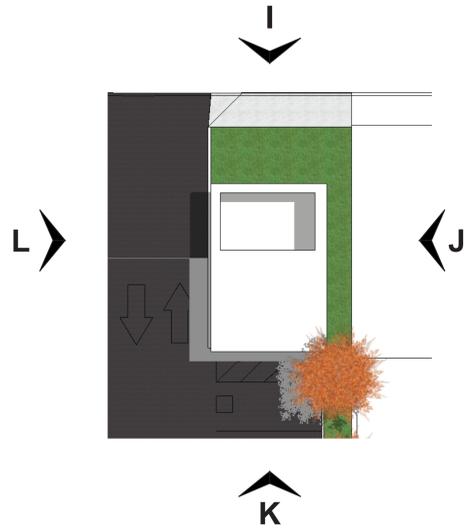
G SOUTHWEST COURTYARD ELEVATION



H NORTHWEST COURTYARD ELEVATION

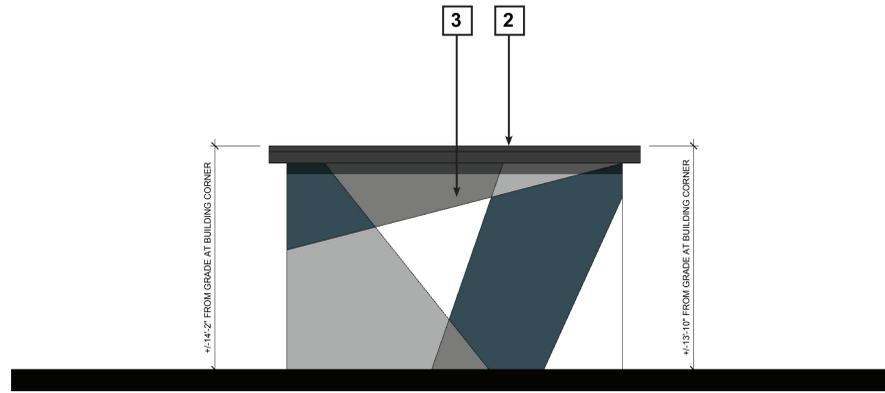
ELEVATIONS - INTERIOR COURTYARD

KEYPLAN

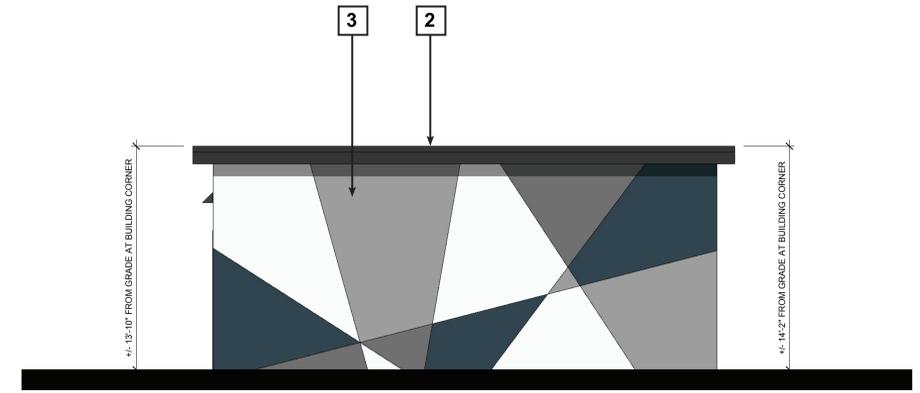


ELEVATION KEYNOTE LEGEND: #

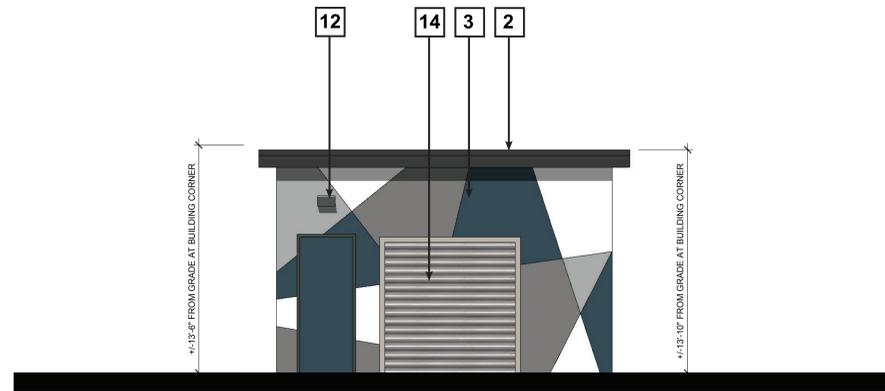
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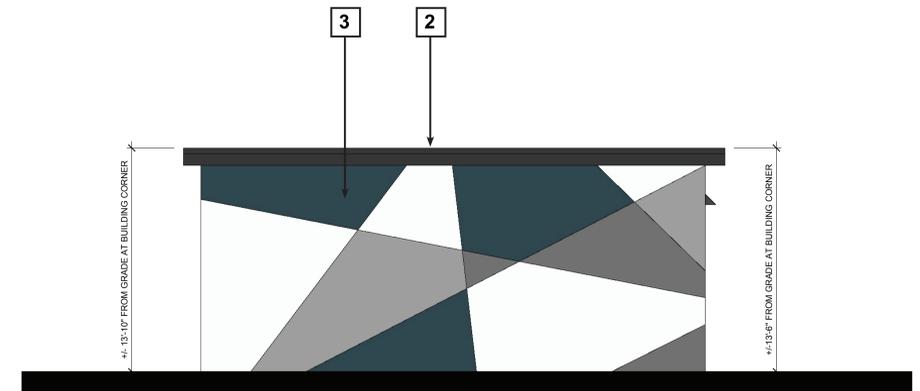
I NORTHEAST ELEVATION



J SOUTHEAST ELEVATION

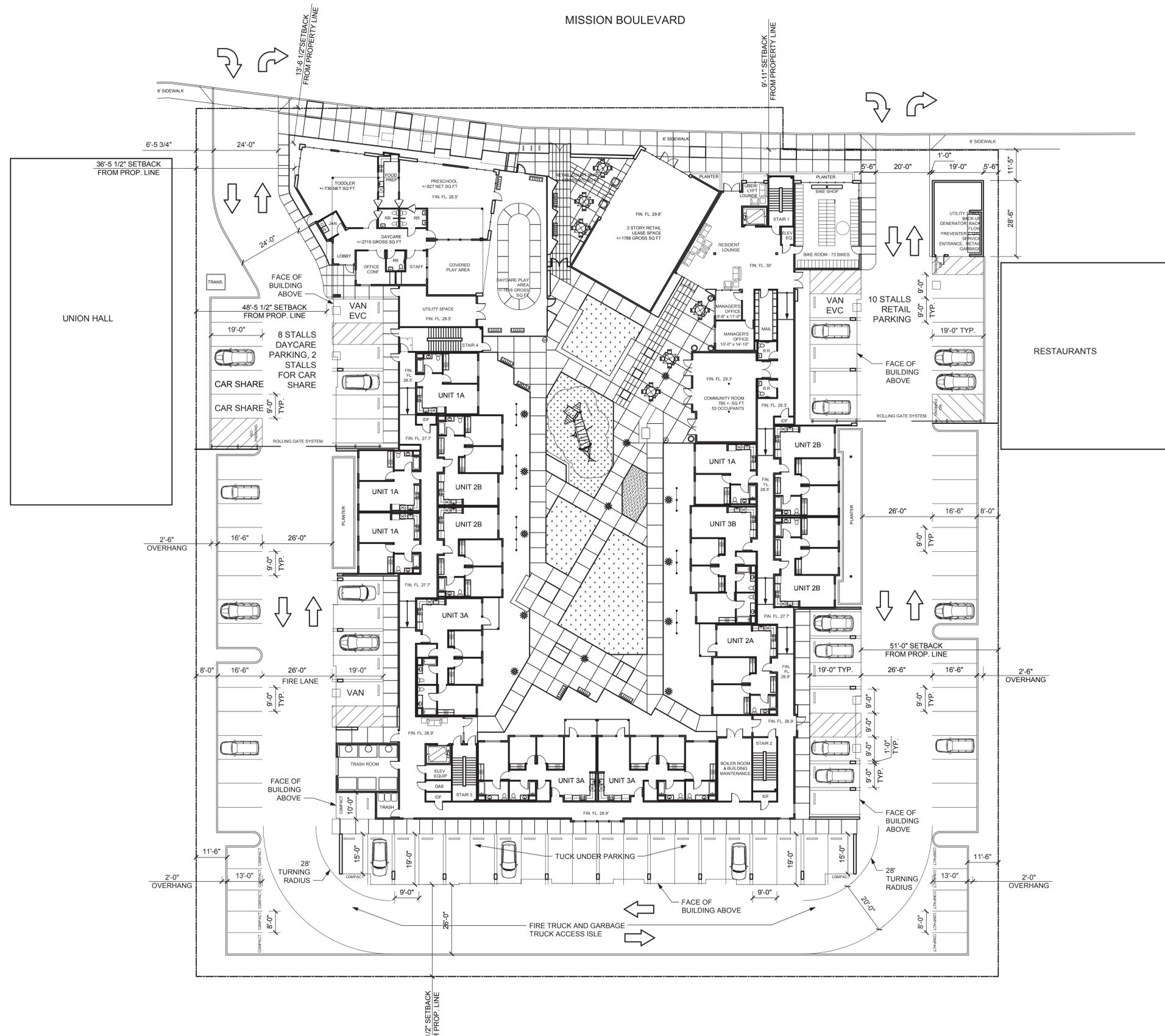


L NORTHWEST ELEVATION



L NORTHWEST ELEVATION

**ELEVATIONS -
TRASH & UTILITY
ENCLOSURE**



BUILDING FIRST FLOOR PLAN

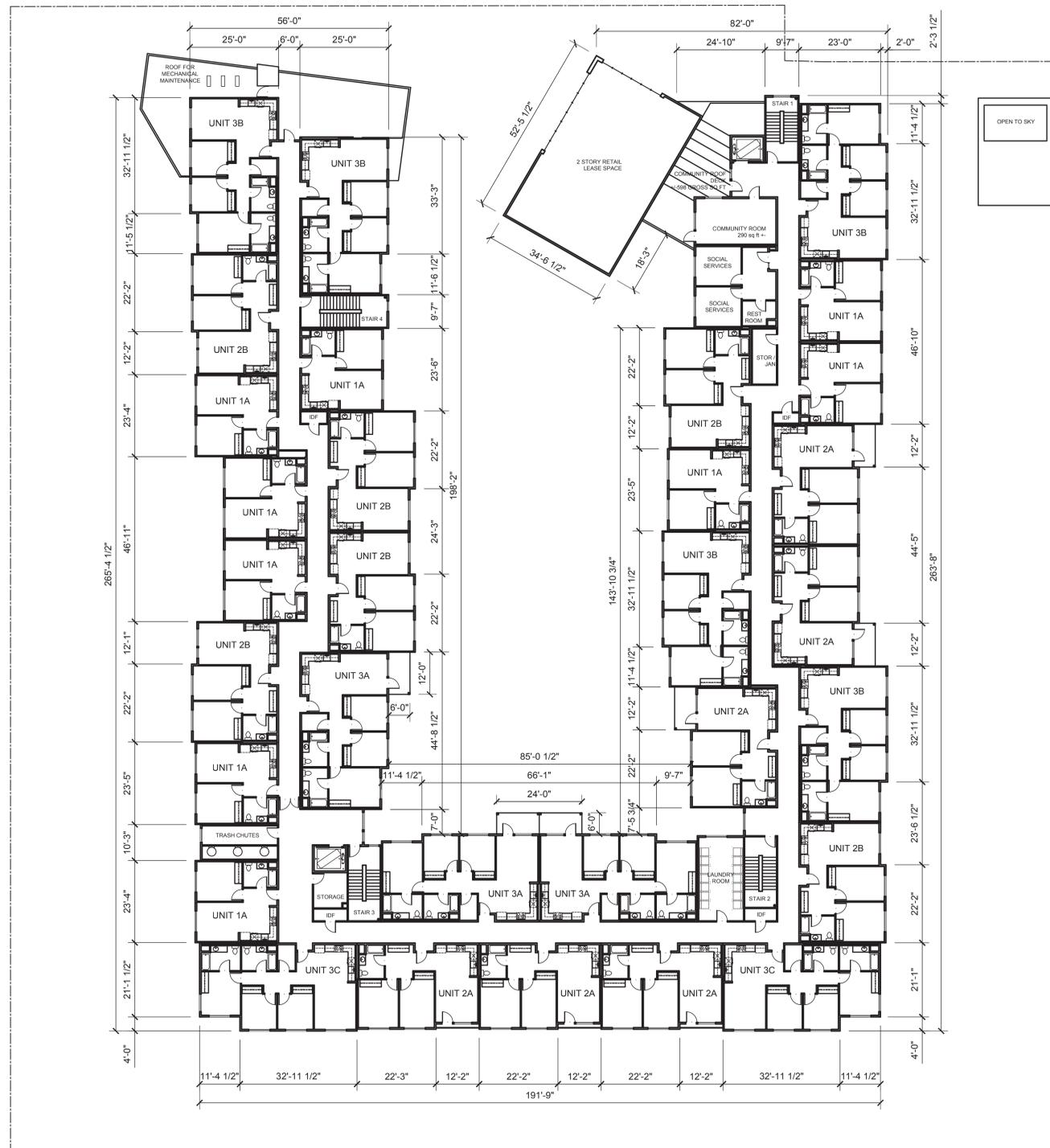


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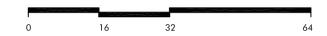
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MISSION BOULEVARD



BUILDING SECOND FLOOR PLAN

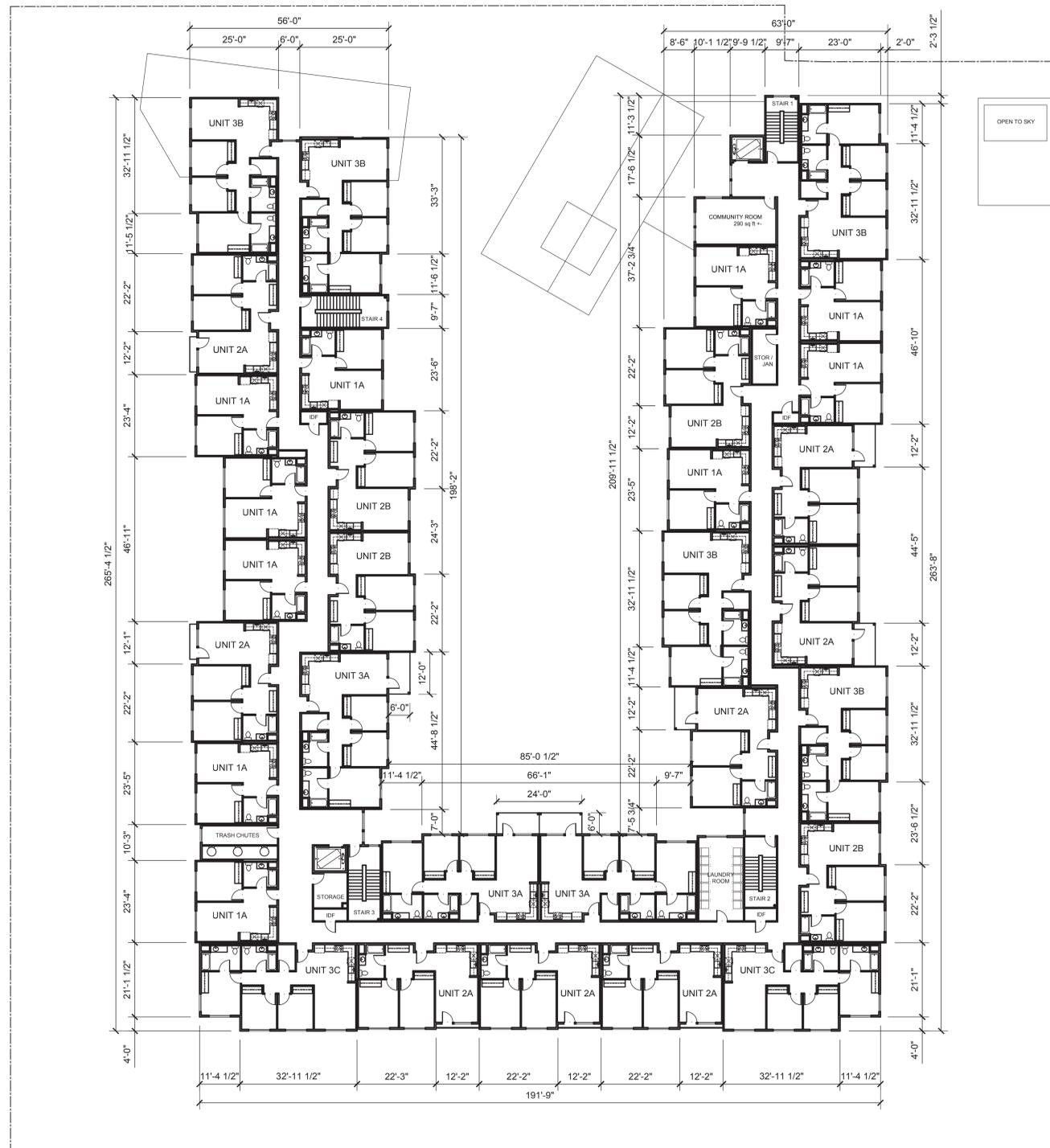
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 META HOUSING CORPORATION



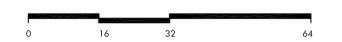
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A4.2



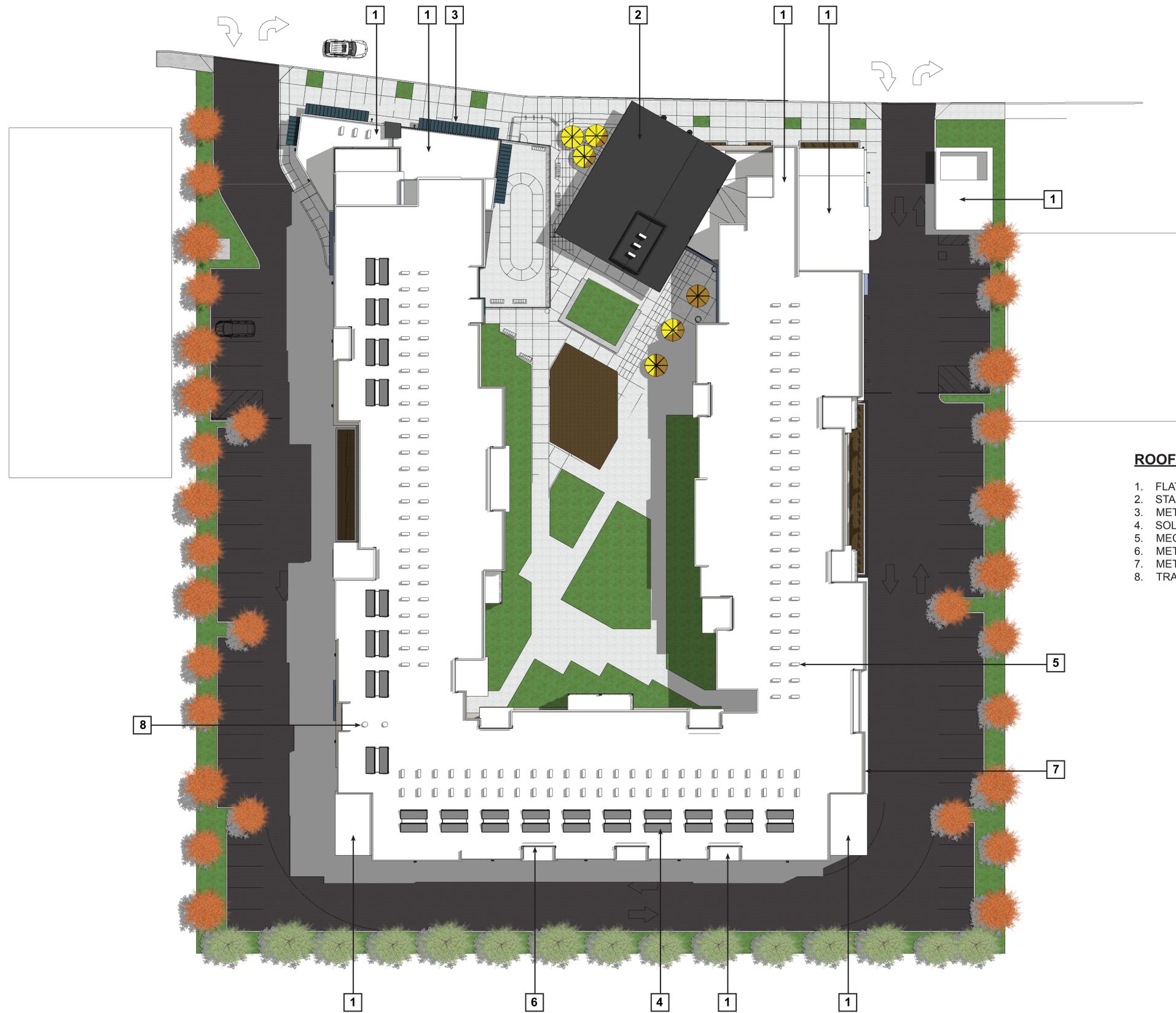
BUILDING FOURTH FLOOR PLAN



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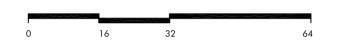


A4.4



- ROOF PLAN KEYNOTE LEGEND:** #
- 1. FLAT ROOF - SLOPE 1/2" PER FOOT MINIMUM TO DRAIN
 - 2. STANDING SEAM METAL ROOF - 2:12 PITCH TYP. U.O.N.
 - 3. METAL AWNING - 1:12 PITCH TYP. U.O.N.
 - 4. SOLAR THERMAL PANEL
 - 5. MECHANICAL UNIT
 - 6. METAL RAILING
 - 7. METAL PARAPET CAP
 - 8. TRASH CHUTE VENT

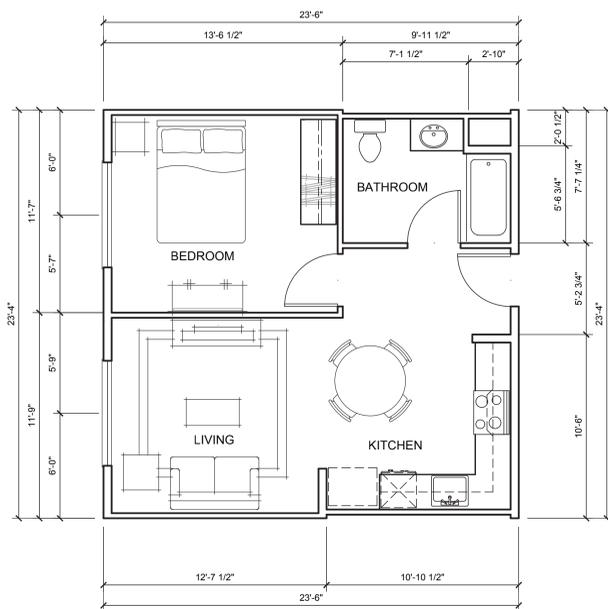
BUILDING ROOF PLAN



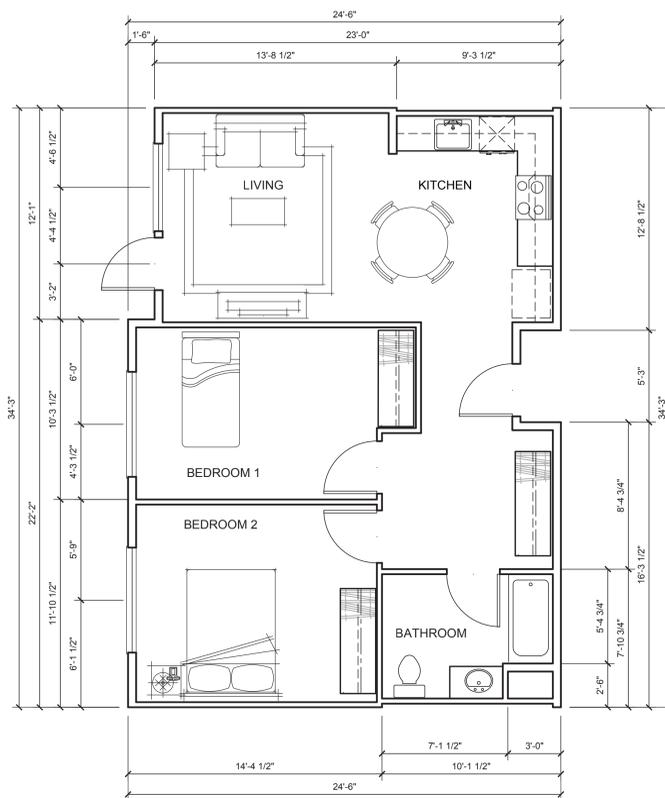
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A4.6

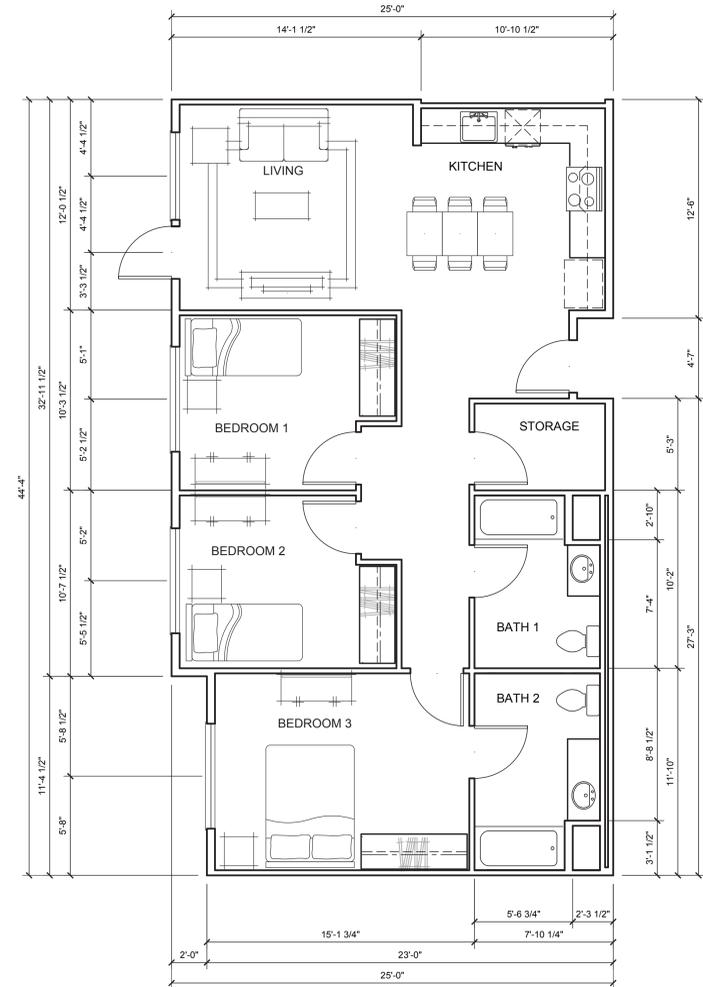


ONE BEDROOM UNIT - UNIT 1A
548 SQ. FT. GROSS



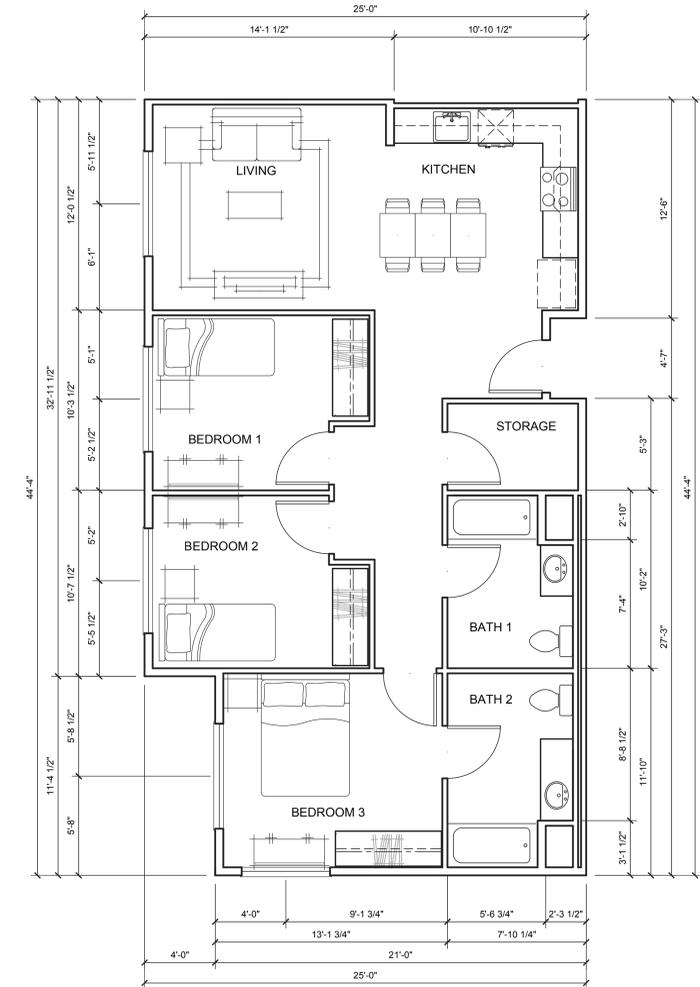
TWO BEDROOM UNIT - UNIT 2A
821 SQ. FT. GROSS

UNIT 2B SIMILAR, BUT WITHOUT BALCONY



THREE BEDROOM UNIT - UNIT 3A
1086 SQ. FT. GROSS

UNIT 3B SIMILAR, BUT WITHOUT BALCONY



THREE BEDROOM UNIT - UNIT 3C
1063 SQ. FT. GROSS

TYPICAL UNIT
FLOOR PLANS



COLOR AND MATERIALS



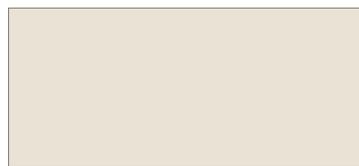
1. TRIM COLOR
TRIM, FASCIA & EAVE DETAILS
BEAMS, POSTS, RAILINGS
Tricorn Black SW 6258 by Sherwin Williams



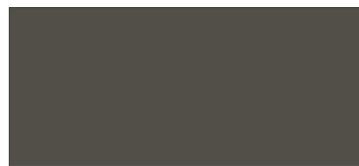
2. BODY COLOR 1
EXTERIOR WALL MATERIAL - STUCCO
Searching Blue SW 6536 by Sherwin Williams



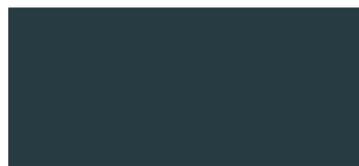
3. BODY COLOR 2
EXTERIOR WALL MATERIAL - STUCCO
Dovetail SW 7018 by Sherwin Williams



4. BODY COLOR 3
EXTERIOR WALL MATERIAL - STUCCO
Panda White SW 6147 by Sherwin Williams



5. ACCENT COLOR
EXTERIOR WALL MATERIAL - STUCCO
Urbane Bronze SW 67048 by Sherwin Williams



6. ACCENT COLOR
EXTERIOR WALL MATERIAL - STUCCO
Dark Night SW 6237 by Sherwin Williams



7. ROOFING MATERIAL
STANDING SEAM METAL ROOF
Zinc Grey or similar by AEP Span



8. METAL GUARD RAIL
FINAL DESIGN TO BE DETERMINED



9. METAL FENCING
FINAL DESIGN TO BE DETERMINED



NOTE: Color Samples may vary from their true color with different printers and computer monitors.

COLORS AND MATERIALS

MISSION BOULEVARD

HAYWARD, CA

GENERAL NOTES

- THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXEMPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ENGINEER.
- EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH, AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING, SHORING AND BRACING OR EQUIVALENT METHOD, FOR THE PROTECTION OF LIFE, OR LIMB, WHICH SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
- ALL APPLICABLE REQUIREMENTS OF THE CALIFORNIA CONSTRUCTION AND GENERAL INDUSTRY SAFETY ERRORS, THE OCCUPATIONAL SAFETY AND HEALTH ACT AND THE CONSTRUCTION SAFETY ACT SHALL BE MET.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES.
- THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR FAILURE TO DO SO.
- THE CONTRACTOR MUST PROVIDE FOR SAFE ACCESSIBLE INGRESS AND EGRESS FOR ADJACENT PROPERTY OWNERS AND EVA THROUGHOUT THE PERIOD OF CONSTRUCTION. TEMPORARY THROUGH ACCESS FOR THE GENERAL PUBLIC DUE TO CONSTRUCTION STAGING OR LIMITATIONS MUST BE FULLY REVIEWED AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. ALL ACCESS MUST BE SAFE, SECURED, FLAGGED, SIGNED, AND ACCESSIBLE PER THE APPROVED SITE ACCESS PLAN SUBMITTED BY THE CONTRACTOR AND REQUIRED BY THE OWNER.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EMERGENCY VEHICLE ACCESS, PUBLIC SAFETY AND SAFETY OF EXISTING STRUCTURES. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, FENCING, BARRICADES, TRAFFIC CONTROLS, FLAGGERS, SHORINGS, BRACING AND GUYS OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY IN ACCORDANCE WITH ALL NATIONAL, STATE SPECS AND LOCAL SAFETY ORDINANCES.
- THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF JOB SITE.
- ALL EXISTING UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST THREE (3) WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 800-227-2600. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.
- ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION MUST BE COMPLETELY RESTORED TO THE SATISFACTION OF THE CITY ENGINEER OR UTILITY AGENCY REPRESENTATIVE, AT THE CONTRACTOR'S SOLE EXPENSE.
- ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY REPRESENTATIVE INCLUDING FEES, BONDS, PERMITS AND WORKING CONDITIONS, ETC. THIS WORK SHALL BE DONE AT NO EXPENSE TO THE UTILITY COMPANY. THE OWNER SHALL PAY THE COST OF ALL SUCH RELOCATION WORK INCLUDING FEES, BONDS, PERMITS, ETC.
- THE CONSTRUCTION OF ALL GRAVITY UNDERGROUND LINES (STORM DRAINS) SHALL BEGIN AT THE MOST DOWNSTREAM END, UNLESS OTHERWISE SPECIFICALLY APPROVED BY ENGINEER OR BY THE OWNER.
- IF ARCHEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 50 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.
- THE USE OR INSTALLATION OF ANY MATERIAL OR EQUIPMENT WHICH IS MADE FROM, OR WHICH CONTAINS ASBESTOS FOR USE IN THE CONSTRUCTION OF THESE IMPROVEMENTS, IS NEITHER SPECIFIED NOR RECOMMENDED. ANY PARTY INSTALLING OR USING ANY PARTY SUCH MATERIALS OR EQUIPMENT SHALL BE SOLELY RESPONSIBLE FOR ALL INJURIES, DAMAGES, OR LIABILITIES OF ANY KIND, CAUSED BY THE USE OF SUCH MATERIALS OR EQUIPMENT.
- THE CONTRACTOR MUST MEET AND IMPLEMENT ALL NPDES, SWPPP, AND EROSION CONTROL REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT GATES & ASSOCIATES AT (925) 736-8176 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL UTILITIES, GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL WRITTEN DIMENSIONS SUPERCEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF THE BUILDING, WALL, BACK OF CURB, EDGE OF WALK, PROPERTY LINE, OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL DIMENSIONS AT BUILDING ARE TO FACE OF BUILDING. ALL DIMENSIONS AT ROADWAY ARE TO FACE OF CURB.
- ALL ANGLES ARE 45 DEGREE, 90 DEGREE, OR 135 DEGREE UNLESS OTHERWISE NOTED.
- ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH.
- ALL RETURN RADI AND CURB DATA ARE TO FACE OF CURB.
- WHENEVER BOTTOM OF WALL (BW) ELEVATION IS GIVEN, IT IS FINISH PAVEMENT OR GRADE ELEVATION AT FACE OF WALL.
- SCORE LINES IN SIDEWALKS SHALL BE SPACED TO EQUAL THE WIDTH OF THE WALKWAY, UNLESS OTHERWISE SHOWN. EXPANSION JOINTS IN SIDEWALKS SHALL BE 20' ON CENTER MAXIMUM.
- EXPANSION JOINTS IN CONCRETE WALLS SHALL BE AT 40' O.C. MAXIMUM.
- BUILDING LAYOUT AND LOCATION, SIDEWALK, CURB AND GUTTER, GRADING AND DRAINAGE IS BASED ON DRAWINGS PREPARED BY THE ARCHITECT AND THE CIVIL ENGINEER.
- STATIONING HEREON IS ALONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE SHOWN OR INDICATED.
- ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO THE CONTRACTOR ON A TIME AND EXPENSES BASIS AND PAID FOR BY THE CONTRACTOR.
- SEE IRRIGATION DRAWINGS FOR GENERAL SYSTEM REQUIREMENTS AND FOR LOCATION OF IRRIGATION MAINLINE PIPING. SLEEVES TO ACCOMMODATE IRRIGATION PIPING, SIZED AS NEEDED, SHALL BE IN PLACE UNDER AND THROUGH SLABS AND WALLS, PRIOR TO POURING.
- PROVIDE CONTINUOUS HEADERS AT THE EDGES OF ALL AC PAVING, SHRUB AREAS, LAWN AREAS, DECOMPOSED GRANITE WHERE IT IS NOT CONSTRAINED BY A CONCRETE PAVING OR MOW BAND.
- ALL CONCRETE PAVEMENTS SHALL BE DOWELED INTO CURBS, SIDEWALKS, AND BUILDING FOUNDATIONS.
- REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION, SECTIONS, REINFORCEMENT, AND PREPARATION. IN CASE OF DISCREPANCY THE GEOTECHNICAL REPORT SHALL GOVERN.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- ANY AND ALL WORK WITHIN CITY RIGHT OF WAY SHALL CONFORM TO ALL CITY STANDARD DETAILS AND SPECIFICATIONS.
- CONCRETE FOOTINGS INSTALLED FOR ALL SITE FURNISHINGS, SPORTS EQUIPMENT, ETC., IN DECORATIVE PAVEMENT, ASPHALT PAVING, DECOMPOSED GRANITE, CONCRETE PAVING, AND PLANTERS SHALL BE HELD BELOW GRADE.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED AS REQUIRED. ANY DAMAGED ITEMS SHALL BE FULLY REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE TO THE FULL SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON HORIZONTAL MEASUREMENTS.
- ALL PATTERNS, LINE TYPES, AND SYMBOLS SHOWN WITHIN THE PLAN SET REFERENCE THE LAYOUT LEGEND AND ARE PART OF THE SCOPE OF WORK. CALLOUTS ARE SHOWN FOR CLARIFICATION OF WORK, BUT DO NOT INDICATE EVERY AND ALL INSTANCES OF SUCH WORK. THE CONTRACTOR SHALL REQUEST CLARIFICATION TO ANY ITEMS (INCLUDING BUT NOT LIMITED TO PAVING, WALLS, FINISHES, COLORS, FENCING, FOUNTAINS, POTS, AND SITE FURNITURE) NOT CLEARLY IDENTIFIED TO BE PART OF THE SCOPE OF WORK PRIOR TO BID.
- THE CONTRACT DRAWINGS MUST BE ACCOMPANIED BY CONTRACT SPECIFICATIONS. THE CONTRACTOR MUST CONTACT THE LANDSCAPE ARCHITECT AT 925-736-8176 FOR SPECIFICATIONS IF NOT RECEIVED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK AND MATERIALS OF THE CONTRACT DOCUMENTS INCLUDING ALL WORK AND MATERIALS PROVIDED BY SUBCONTRACTORS. ALL QUALIFICATIONS OF THE CONTRACT DOCUMENTS INCLUDING ALL SPECIFIC EXCLUSIONS OF ANY WORK, DETAILS, MATERIALS, AND INCIDENTALS SHALL BE CONFIRMED AND ACCEPTED IN WRITING BY THE CONTRACTOR AND OWNER UPON FINALIZATION OF BIDS AND CONTRACT. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ALL QUALIFICATIONS AND NOTIFICATIONS.

LAYOUT LEGEND

	AC PAVING, S.C.D.		DECOMPOSED GRANITE PAVING		WOOD FIBAR SURFACING
	PEDESTRIAN CONCRETE PAVING FINISH: BROOM COLOR: STANDARD GREY		SIMILAR		RADIUS - ALL RADII GIVEN FOR WALLS ARE DIMENSIONED TO OUTSIDE OF WALLS.
	EXPANSION JOINT LOCATE AS SHOWN, AT ALL JOINTS BETWEEN PAVING & WALLS, AND AT ALL CHANGES IN PAVING MATERIAL.		ALIGN		CENTER LINE
	SCORELINE		PROPERTY LINE		EQUAL
	TREAD		PLANTING AREA		LAWN
	TO BE DETERMINED				
	SPACING				
	POINT OF BEGINNING				
	FACE OF BUILDING				
	TYPICAL				
	EQUAL				
	CONTINUOUS				
	SEE CIVIL'S DRAWINGS				
	SEE ARCHITECT'S DRAWINGS				
	SEE STRUCTURAL'S DRAWINGS				

SITE ELEMENTS

	BENCH MFR: MFR: LANDSCAPEFORMS MODEL: NEOCOMBO FINISH: ALUMINUM NOTES: BACKED 59" SURFACE MOUNT		BIKE RACKS MFR: LANDSCAPEFORMS MODEL: EMERSON COLOR: STORMCLOUD		PLAY STRUCTURE MFR: KUMA MODEL: QY903 COLOR: LIME GREEN
	TABELS AND CHAIRS MFR: FORMS+SURFACES MODEL: TANGENT TABLE ENSEMBLE COLOR: ARGENTO TEXTURE NOTES: 4 SEATER W/ ALUMINUM SLAT BACKED SEATS		CONCRETE SEAT WALL		TILTED LAWN
	TRASH RECEPTACLE MFR: DUMOR MODEL: RECEPTACLE 272 FTO COLOR: ARGENTO PH: 800.598.4018 INSTALL PER MFR SPECS		POLE LIGHT MFR: BEGA MODEL: 99407K3 POLE HEIGHT: 16' INSTALL PER DETAIL		GREENSCREEN MFR: GREENSCREEN INSTALL PER DETAIL
	POT A: MFR: QCP MODEL: GESTURE LOW BOWL ROUND 28X30 #QR-GE2623P COLOR: FRENCH GRAY		ORNAMENTAL METAL FENCE AND GATE MFR: AMERISTAR MODEL: MONTAGE PLUS MAJESTIC 3 RAIL SIZE: 4' TALL AT DAYCARE 6' TALL AT PERIMETAR COLOR: BLACK		
	POT B: MFR: QCP MODEL: TWIST 36X18 #QS-TW3618P COLOR: FRENCH GRAY		BUILT IN BBQ		

Sheet List Table	
SHEET NUMBER	SHEET TITLE
L1.1	COVER SHEET
L1.2	SCHEMATIC PLAN
L1.3	PLANT PALETTE
L1.4	PLANTING DETAILS
L1.5	CONSTRUCTION DETAILS
L1.6	CONCEPTUAL IRRIGATION PLAN

COVER SHEET

29494-29553 MISSION BOULEVARD | HAYWARD, CA
META HOUSING CORPORATION

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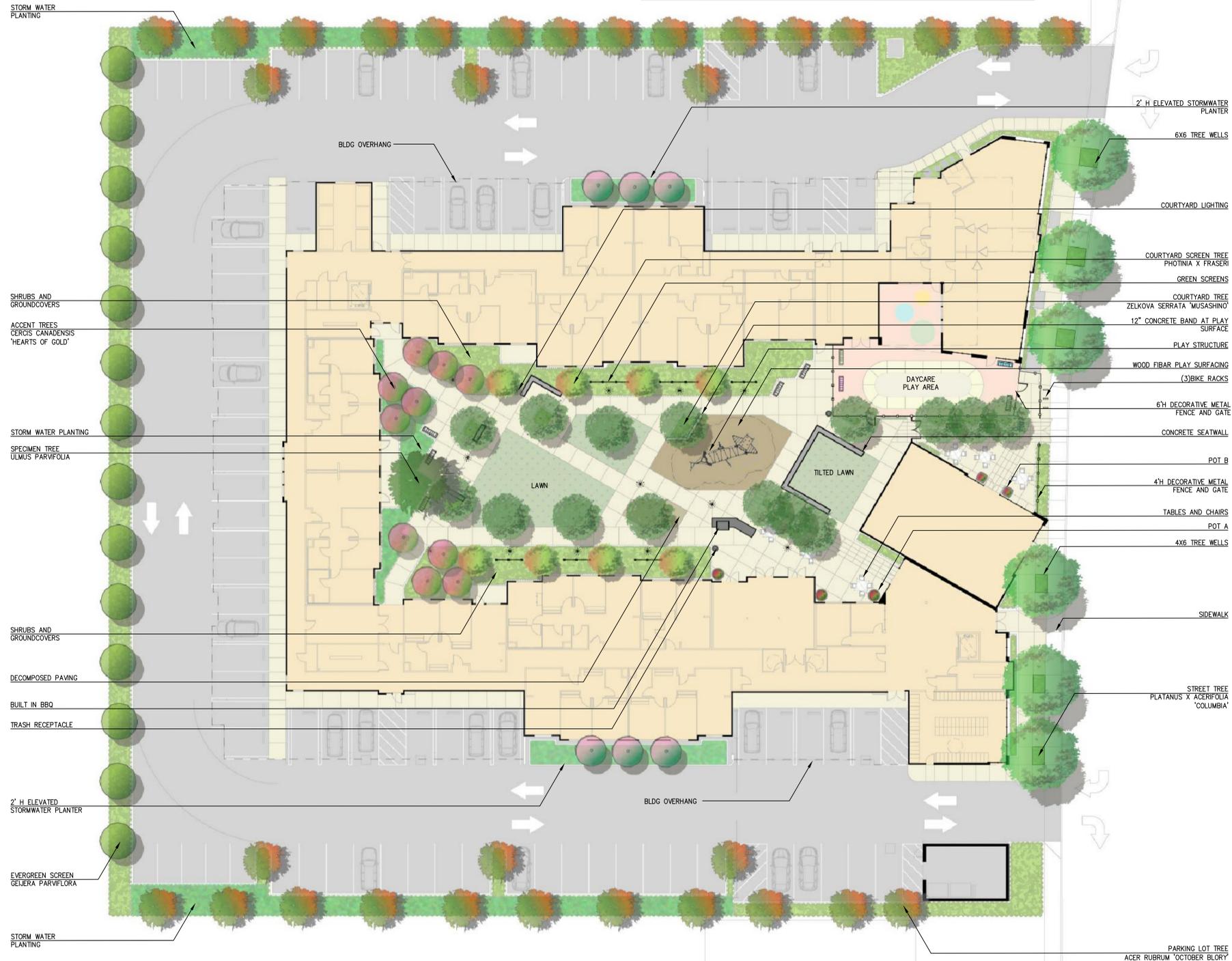
Meta Housing Corporation

DAHLIN

DATE 12-04-2018
JOB NO. 1318.003

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

L1.1



STORM WATER PLANTING

SHRUBS AND GROUNDCOVERS

ACCENT TREES
CERCIS CANADENSIS
'HEARTS OF GOLD'

STORM WATER PLANTING

SPECIMEN TREE
ULMUS PARVIFOLIA

SHRUBS AND GROUNDCOVERS

DECOMPOSED PAVING

BUILT IN BBQ

TRASH RECEPTACLE

2' H ELEVATED STORMWATER PLANTER

EVERGREEN SCREEN
GEJERA PARVIFLORA

STORM WATER PLANTING

2' H ELEVATED STORMWATER PLANTER

6X6 TREE WELLS

COURTYARD LIGHTING

COURTYARD SCREEN TREE
PHOTINIA X FRASERI

GREEN SCREENS

COURTYARD TREE
ZELKOVA SERRATA 'MUSASHINO'

12" CONCRETE BAND AT PLAY SURFACE

PLAY STRUCTURE

WOOD FIBER PLAY SURFACING
(3)BIKE RACKS

6'H DECORATIVE METAL FENCE AND GATE

CONCRETE SEATWALL

POT B

4'H DECORATIVE METAL FENCE AND GATE

TABLES AND CHAIRS

POT A

4X6 TREE WELLS

SIDEWALK

STREET TREE
PLATANUS X ACERIFOLIA
'COLUMBIA'

PARKING LOT TREE
ACER RUBRUM 'OCTOBER BLORY'

STREET TREE LOCATIONS AND QUANTITIES
SUBJECT TO CHANGE BASED ON EXISTING
UNDERGROUND UTILITY LAYOUT

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L1.2

SCHEMATIC PLAN

0 8 16 32

DATE 12-04-2018
JOB NO. 1318.003

FILE: P:\WORK\MISSION_BLDG (META HOUSING) (PSSZ)\LAND SHEETS\LDG-03 MISSION-BLDG.DWG
 PLOT DATE: 12/7/2018 11:52 AM

PLANT PALETTE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
ACE	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	24'BOX	L (WUCOLS IV)
CER	CERCIS CANADENSIS 'HEARTS OF GOLD'	FOREST PANSY REDBUD	24'BOX	M (WUCOLS IV)
CEP	GEBEA PARVIFLORA	AUSTRALIAN WILLOW	24'BOX	L (WUCOLS IV)
POF	PHOTINIA X FRASERI	PHOTINIA	24'BOX	M (WUCOLS IV)
PLC	PLATANUS X ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE	24'BOX	M (WUCOLS IV)
RHM	RHAPHOLEPS INDICA 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORN	24'BOX	L (WUCOLS IV)
ULM	ULMUS PARVIFOLIA	CHINESE ELM	24'BOX	L (WUCOLS IV)
ZEL	ZELKOVA SERRATA 'MUSASHINO'	SAWLEAF ZELKOVA	24'BOX	M (WUCOLS IV)
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
AH	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	5 GAL	L (WUCOLS IV)
CC	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	L (WUCOLS IV)
CT	CHONDROPETALUM TECTORUM	CAPE BUSH	1 GAL	L (WUCOLS IV)
CL	CLYTOSTOMA CALLISTEGIOIDES	VIOLET TRUMPET VINE	1 GAL	M (WUCOLS IV)
DG	DIETES GRANDIFLORA 'VAREGATA'	STRIPED FORTNIGHT LILY	5 GAL	L (WUCOLS IV)
DV	DIETES VEGETA	AFRICAN IRIS	5 GAL	L (WUCOLS IV)
EK	ERIOGONUM UMBELLATUM 'SHASTA SULFUR'	KANNAH CREEK SULPHUR FLOWER	1 GAL	M (WUCOLS IV)
EE	EUONYMUS FORTUNEI 'EMERALD GAITY'	WINTERCREEPER	5 GAL	L (WUCOLS IV)
FM	FRANGULA CALIFORNICA 'MOUND SAN BRUNO'	CALIFORNIA BUCKTHORN	5 GAL	L (WUCOLS IV)
JP	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	L (WUCOLS IV)
LM	LAVATERA MARITIMA	TREE MALLOW	1 GAL	L (WUCOLS IV)
LC	LEYMUS CONDENSATUS 'CANYON PRINCE'	NATIVE BLUE RYE	1 GAL	L (WUCOLS IV)
LS	LIGISTRUM SINENSE 'SUNSHINE'	SUNSHINE LIGISTRUM	1 GAL	L (WUCOLS IV)
LL	LOMANDRA LONGIFOLIA 'BREEZE'	LIME TUFF DWARF MAT RUSH	1 GAL	H (WUCOLS IV)
LP	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	MAT RUSH	1 GAL	L (WUCOLS IV)
MA	MAHONIA AQUIFOLIUM	OREGON GRAPE	5 GAL	M (WUCOLS IV)
MS	MAHONIA EURYBRACTEATA 'SOFT CARESS'	MAHONIA SOFT CARESS	1 GAL	M (WUCOLS IV)
MC	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM	MUHLY	1 GAL	L (WUCOLS IV)
MD	MUHLENBERGIA DUBIA	PINE MUHLY	1 GAL	L (WUCOLS IV)
MR	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	L (WUCOLS IV)
PA	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	1 GAL	L (WUCOLS IV)
RI	RHAPHOLEPS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	1 GAL	M (WUCOLS IV)
RP	RHAPHOLEPS INDICA 'INDIAN PRINCESS' TM	INDIAN PRINCESS INDIAN HAWTHORNE	5 GAL	L
RB	ROSMARINUS OFFICINALIS 'BLUE SPIRES'	ROSEMARY	5 GAL	L (WUCOLS IV)
SL	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	1 GAL	L (WUCOLS IV)
TC	TEUCCRIUM FRUTICANS 'COMPACTA'	BUSH GERMANDER	1 GAL	L (WUCOLS IV)
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	WATER USE
AR	ACACIA REDOLENS	BANK CATCLAW	1 GAL	V (WUCOLS IV)
BG	BOUTELOUA GRACILIS	BLUE GRAMA	4'POT	L (WUCOLS IV)
CP	CISTUS PULVERULENTUS 'SUNSET'	ROCKROSE	1 GAL	L (WUCOLS IV)
CV	COPROSMA KIRKII 'VAREGATA'	CREeping MIRBOR PLANT	1 GAL	L (WUCOLS IV)
E2	EPILOBIUM CANUM LATIFOLIUM 'EVERETT'S CHOICE'	HUMMINGBIRD TRUMPET	1 GAL	L (WUCOLS IV)
EG	ERIOGONUM GRANDE RUBESCENS	RED BUCKWHEAT	4'POT	L (WUCOLS IV)
EC	EUONYMUS FORTUNEI 'COLORATUS'	COLORATUS PURPLE WINTERCREEPER	1 GAL	M (WUCOLS IV)
MP	MYOPORUM PARVIFOLIUM	TRAILING MYOPORUM	1 GAL	L (WUCOLS IV)
RM	ROSA MEIDLAND SERIES 'PEACH DRIFT'	MEIDLAND ROSE	2 GAL	M (WUCOLS IV)
RR	ROSA MEIDLAND SERIES 'RED'	RED MEIDLAND ROSE	2 GAL	M (WUCOLS IV)
TB	TURF SOD	TBD	SOD	M (WUCOLS IV)

PLANT IMAGES

STREET TREE



PLATANUS X ACERIFOLIA 'COLUMBIA'

SPECIMEN TREE



ULMUS PARVIFOLIA

COURTYARD TREES



ZELKOVA SERRATA 'MUSASHINO'



PHOTINIA X FRASERI

ACCENT TREES



CERCIS CANADENSIS 'HEARTS OF GOLD'

PARKING LOT TREES



ACER RUBRUM 'OCTOBER GLORY'



RHAPHOLEPS INDICA 'MAJESTIC BEAUTY'



GEIJERA PARVIFLORA

SHRUBS



ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'



CARPENTERIA CALIFORNICA



DIETES GRANDIFLORA 'VAREGATA'



DIETES VEGETA



ERIOGONUM UMBELLATUM 'SHASTA SULFUR'



EUONYMUS FORTUNEI 'EMERALD GAITY'



FRANGULA CALIFORNICA 'MOUND SAN BRUNO'



LAVATERA MARITIMA



LIGISTRUM SINENSE 'SUNSHINE'



LOMANDRA LONGIFOLIA 'BREEZE'



LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'



MAHONIA AQUIFOLIUM



MAHONIA EURYBRACTEATA 'SOFT CARESS'



MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM



MUHLENBERGIA DUBIA



MUHLENBERGIA RIGENS



PEROVSKIA ATRIPLICIFOLIA



RHAPHOLEPS INDICA 'BALLERINA'



ROSMARINUS OFFICINALIS 'BLUE SPIRES'



SALVIA LEUCANTHA 'SANTA BARBARA'



TEUCCRIUM FRUTICANS 'COMPACTA'

GROUNDCOVERS



ACACIA REDOLENS



BOUTELOUA GRACILIS



CISTUS PULVENULENTUS 'SUNSET'



COPROSMA KIRKII 'VAREGATA'



EPILOBIUM CANUM LATIFOLIUM 'EVERETT'S CHOICE'



ERIOGONUM GRANDE RUBESCENS



EUONYMUS FORTUNEI 'COLORATUS'



MYOPORUM PARVIFOLIUM



ROSA MEIDLAND SERIES 'PEACH DRIFT'



ROSA MEIDLAND SERIES 'RED'

STORM WATER PLANTING



LEYMUS CONDENSATUS 'CANYON PRINCE'



JUNCUS PATENS



CHONDRPETALUM TECTORUM

PLANT PALETTE

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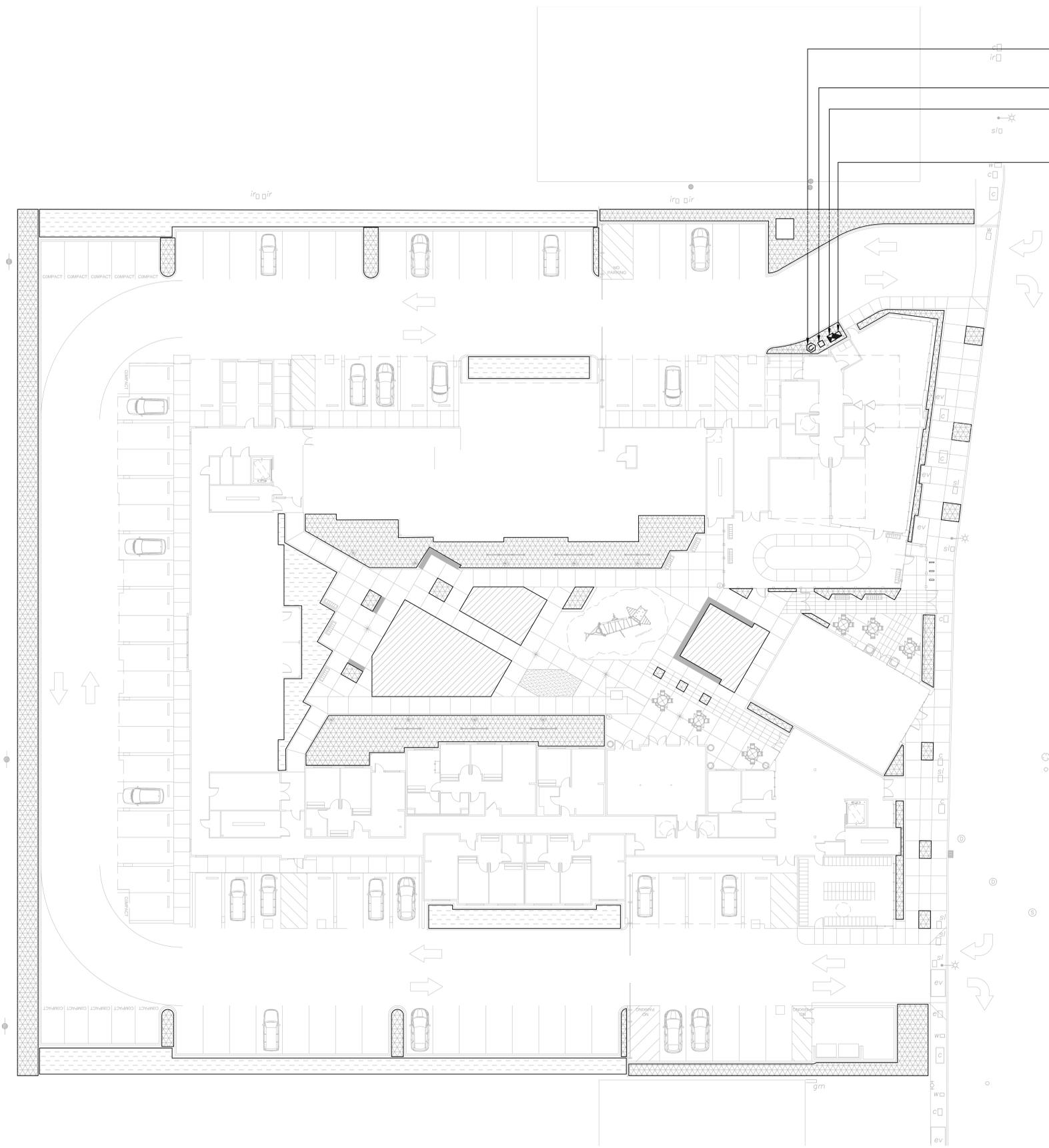
Meta Housing Corporation

DAHLIN

DATE 12-04-2018
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925-251-7200

L1.3



IRRIGATION CONTROLLER "A" FOR IRRIGATION. PEDESTAL MOUNT AS DIRECTED BY ARCHITECT. SERVICE WITH 120 VOLT A.C. ELECTRICAL SERVICE TO THIS LOCATION PROVIDED BY OTHERS.

1" WATER METER FOR IRRIGATION.

1 1/2" REDUCED PRESSURE BACKFLOW ASSEMBLY. LOCATE BACKFLOW DEVICES AWAY FROM EDGE OF PAVING AND CLOSE TO STRUCTURE AND PROVIDE A POLAR BLANKET IN ADDITION TO BE ENCLOSURES.

FLOW SENSOR AND MASTER VALVE WRED TO CONTROLLER

IRRIGATION DEMAND: 45 GPM AT 65 PSI. VERIFY PRESSURE PRIOR TO STARTING ANY WORK IF PRESSURE IS DIFFERENT CONTACT LANDSCAPE ARCHITECT FOR DIRECTION.

WATER EFFICIENT LANDSCAPE STATEMENT

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET CURRENT HAYWARD WATER EFFICIENCY LANDSCAPE ORDINANCE REGULATIONS WHILE ACHIEVING THE GOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF HIGH EFFICIENCY SPRAY IRRIGATION TO THE TURF AND GROUND COVER AREAS AND DRIP IRRIGATION BUBBLERS TO RESTRICTED SHRUB PLANTING AND SHRUB MASS PLANTING AREAS AS APPLICABLE.

A WATER EFFICIENT LANDSCAPE WORKSHEET SHALL BE INCLUDED WITH HYDROZONE INFORMATION TABLE, WATER BUDGET CALCULATIONS AND IRRIGATION OPERATION SCHEDULES. THE EVAPOTRANSPIRATION FACTOR (ETAF) SHALL NOT EXCEED 0.65.

TREE BUBBLERS SHALL BE INCLUDED ON SEPARATE CIRCUITS TO ISOLATE THE IRRIGATION TO THE TREES AND PROVIDE DEEP WATERING TO PROMOTE A DEEPER ROOT STRUCTURE.

SPRAY IRRIGATION SYSTEMS FOR GROUNDCOVER AREAS GREATER THAN 8' WIDE IN ANY DIRECTION SHALL BE DESIGNED WITH COMMERCIAL SERIES SPRAY HEADS WITH HIGH EFFICIENCY NOZZLES THAT INCLUDE INTERNAL CHECK VALVES AND PRESSURE COMPENSATION DEVICES. THE HEADS SHALL BE DESIGNED IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM. THE NOZZLES DELIVER WATER AT MINIMUM 70% EFFICIENCY WITH A LOW PRECIPITATION RATE THAT MATCHES THE INFILTRATION RATE OF THE SOIL.

THE DRIP SYSTEM WILL INCORPORATE PRESSURE COMPENSATING DRIP BUBBLERS WITH 1/2" DRIP TUBES TO EACH PLANT WHICH DELIVERS WATER AT 90% EFFICIENCY AT AN APPLICATION RATE THAT MATCHES THE SOIL TYPE.

-  SPRAY IRRIGATION TURF ZONES
-  DRIP AND BUBBLER IRRIGATION AT STORM WATER ZONES
-  DRIP AND BUBBLER IRRIGATION AT PLANTING ZONES

CONCEPTUAL IRRIGATION PLAN



DATE 12-04-2018
JOB NO. 1318.003

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

L1.6

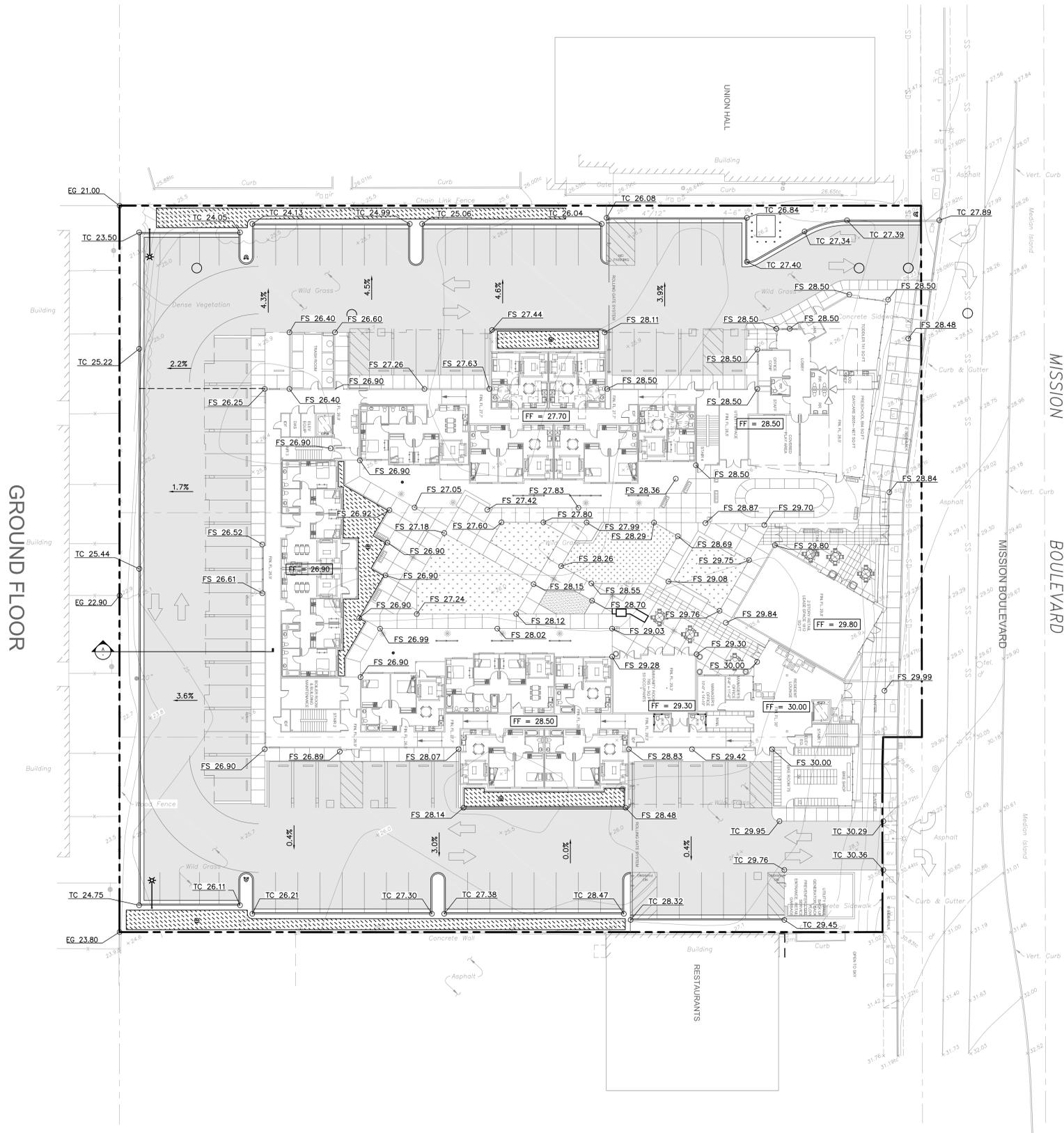
29494-29553 MISSION BOULEVARD | HAYWARD, CA
META HOUSING CORPORATION

GATES + ASSOCIATES
LANDSCAPE ARCHITECTURE
LAND PLANNING • URBAN DESIGN
2871 CROW CANYON RD. SAN RAMON, CA 94583
T 925.734.8174 www.gates.com

Meta Housing Corporation

DAHLIN

FILE: P:\WORK\MISSION_BLDG (META HOUSING) (PSSZ)\A000 (SHEETS)\03-30 MISSION-BUILDING
 PLOT DATE: 12/7/2018 11:53 AM

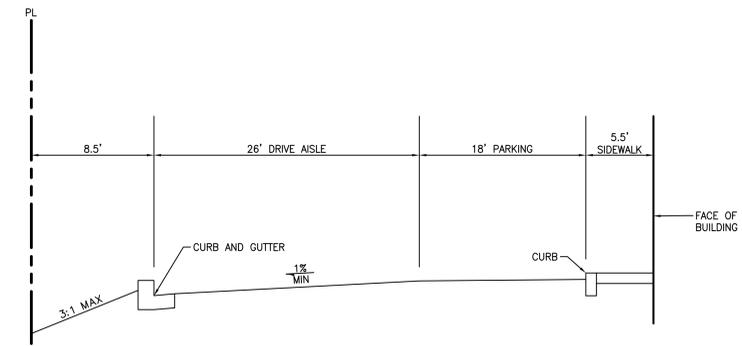


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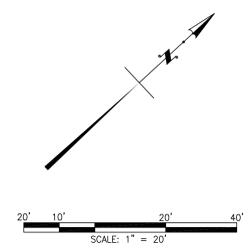
---	PROPERTY LINE
W	WATER PIPE
SD	STORM DRAIN PIPE
SS	SANITARY SEWER PIPE
FW	FIRE WATER PIPE
SD	EXISTING STORM DRAIN
SS	EXISTING SANITARY SEWER
(D)	STORM DRAIN MANHOLE
(S)	SANITARY SEWER MANHOLE
[Hatched Box]	BIORETENTION AREA
[Star]	SITE LIGHTING
[Z]	BACKFLOW PREVENTER
[M]	WATER METER

ABBREVIATION:

FS	FINISHED SURFACE
EG	EXISTING GRADE
FF	FINISHED FLOOR
TC	TOP OF CURB
PL	PROPERTY LINE



SECTION A



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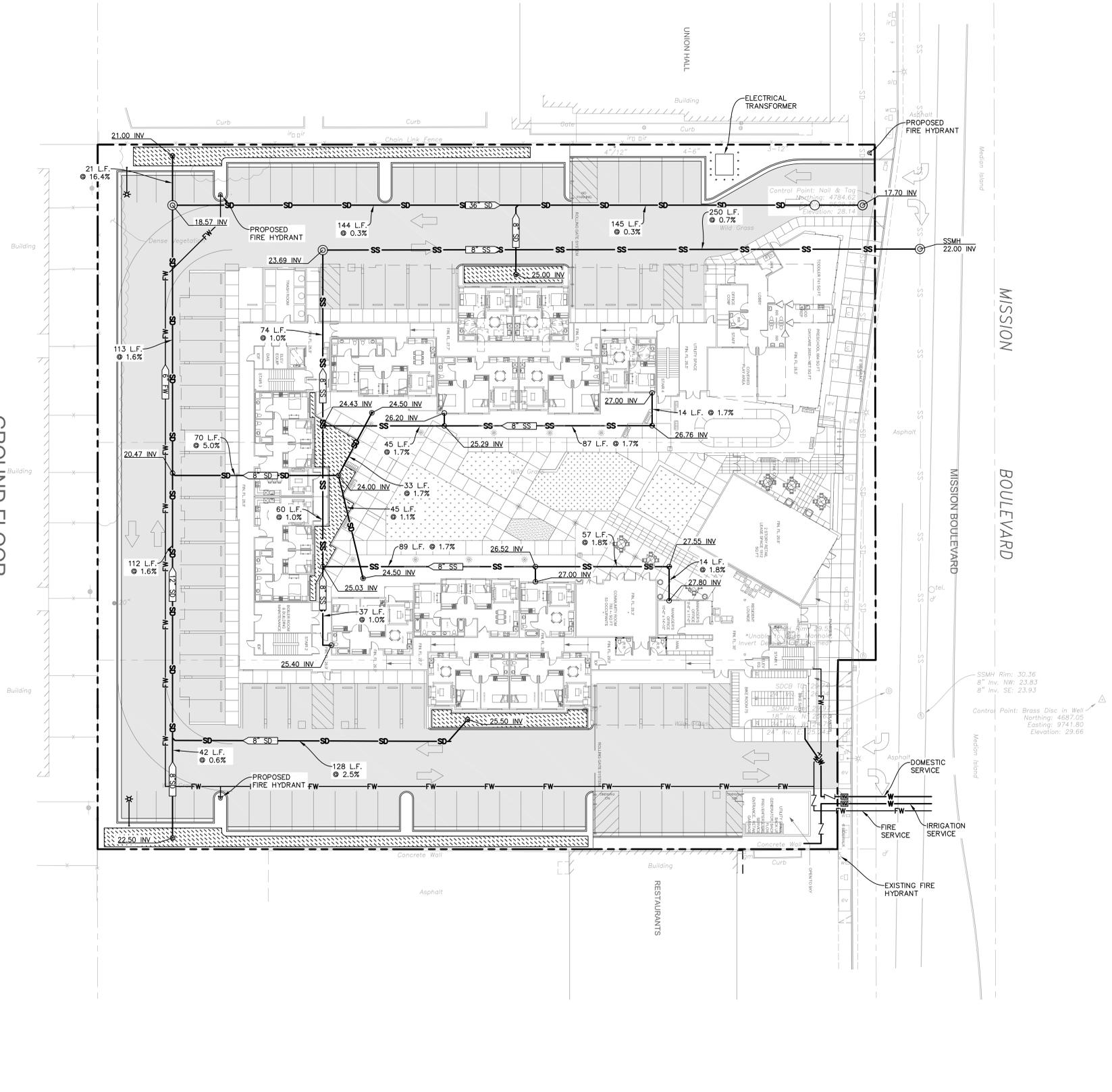
DATE 12-05-2018
 JOB NO. 1800125

5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

C1.2

GRADING PLAN

GROUND FLOOR

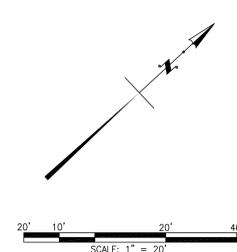


LEGEND:

---	PROPERTY LINE
W	WATER PIPE
SD	STORM DRAIN PIPE
SS	SANITARY SEWER PIPE
FW	FIRE WATER PIPE
SD	EXISTING STORM DRAIN
SS	EXISTING SANITARY SEWER
(S)	STORM DRAIN MANHOLE
(S)	SANITARY SEWER MANHOLE
[Hatched Box]	BIORETENTION AREA
[Star]	SITE LIGHTING
[Z]	BACKFLOW PREVENTER
[W]	WATER METER

ABBREVIATION:

EG	EXISTING GRADE
FF	FINISHED FLOOR
FS	FINISHED SURFACE
FW	FIRE WATER
INV	INVERT
L.F.	LINEAR FEET
PL	PROPERTY LINE
SD	STORM DRAIN
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
W	WATER



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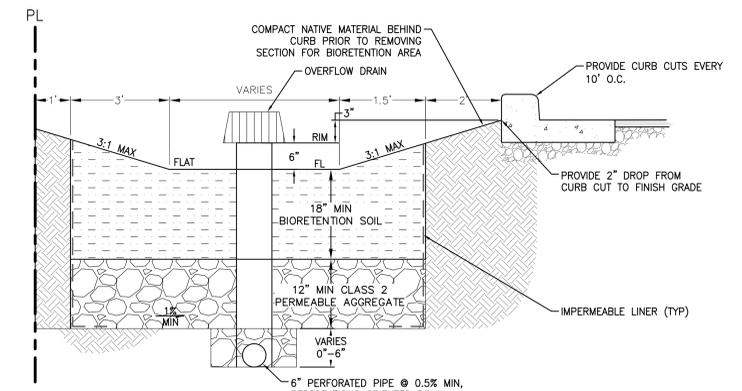
UTILITY PLAN

DATE 12-05-2018
 JOB NO. 1800125

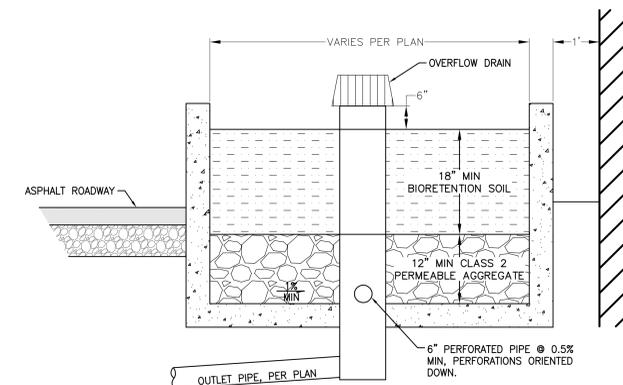
5865 Owens Drive
 Pleasanton, CA 94588
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C1.3

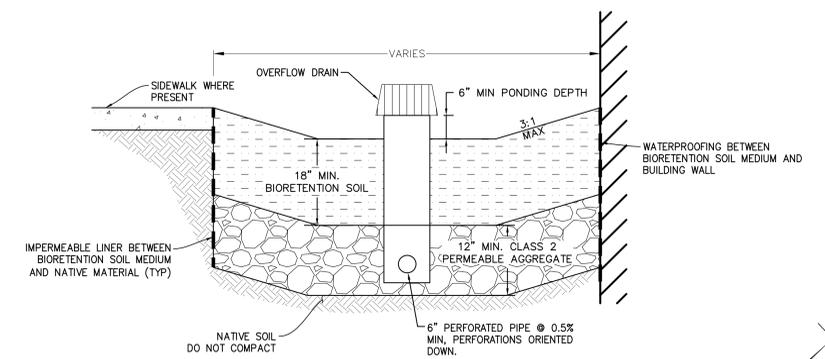
DMA Table						
DMA	Impervious Area (sq. ft.)	Pervious Area (sq. ft.)	Effective Area (sq. ft.)	BMP Required Area (sq. ft.)	BMP	BMP Area (sq. ft.)
1	21,950	0	21,950	878	BR-1	878
2	27,115	0	27,115	1,085	BR-2	1,086
3	7,854	0	7,854	314	BR-3	314
4	10,739	0	10,739	430	BR-4	430
5	13,088	5,319	13,620	545	BR-5	723



1 BIORETENTION AREA
N.T.S.



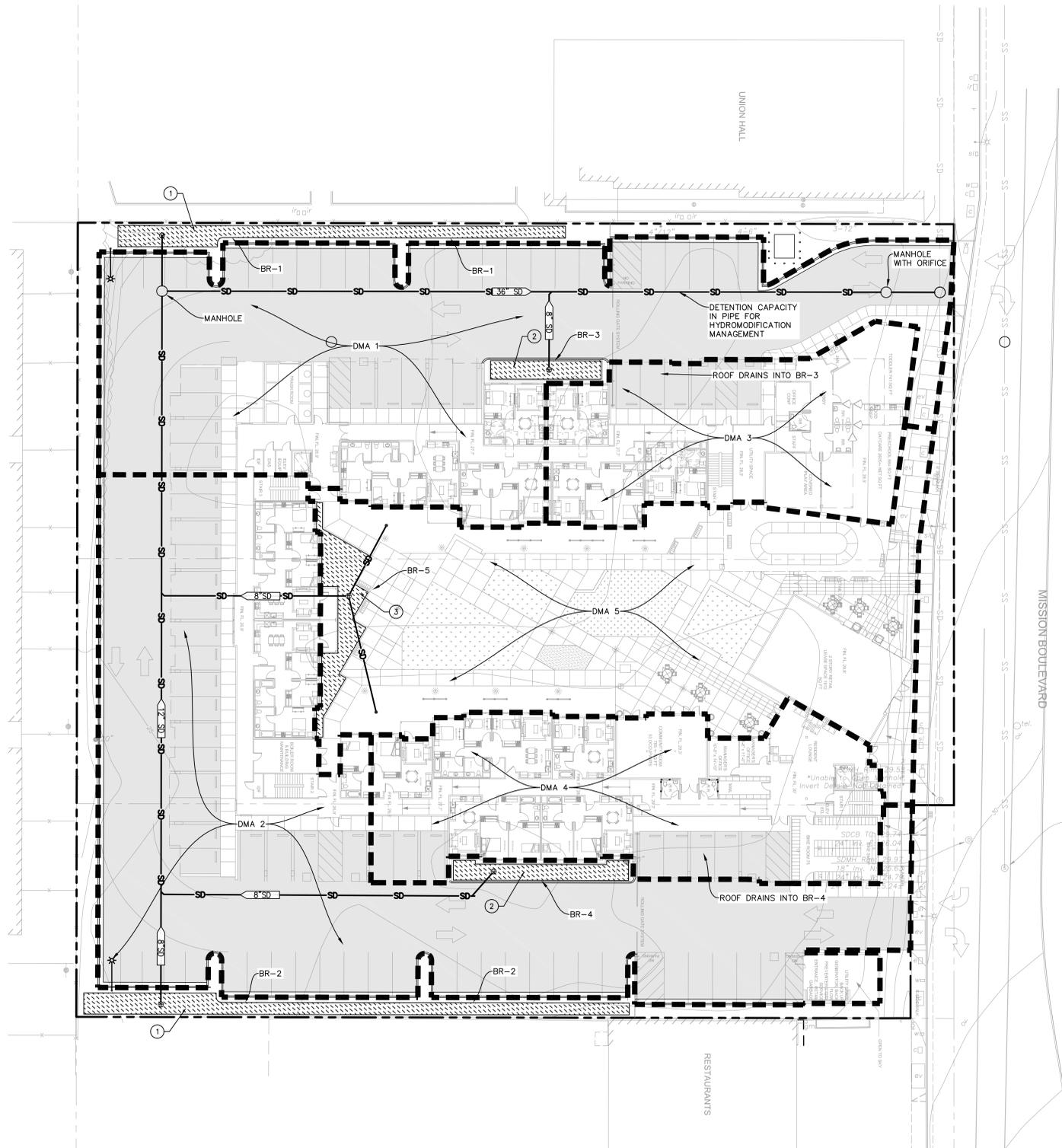
2 BIORETENTION AREA
N.T.S.



3 BIORETENTION AREA
N.T.S.



GROUND FLOOR



SSMH Rim: 30.36
8" Inv. NW: 23.83
8" Inv. SE: 23.93