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Bill D. Williams, AIA

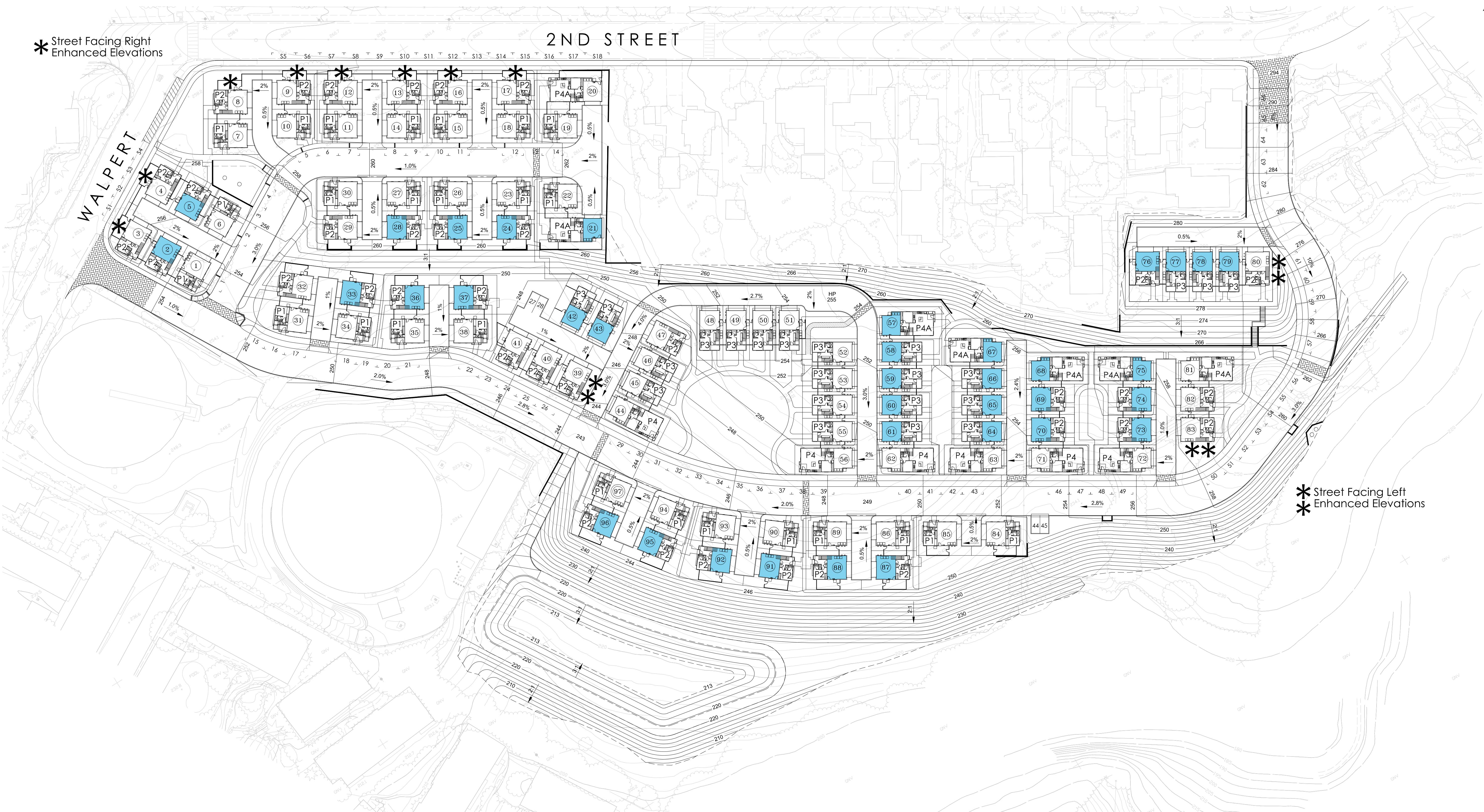
CIVIL:
Carlson, Barbee & Gibson, Inc.
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San Ramon, CA 94583
925.866-0322
Greg Miller, P.E.
Tim Richardson

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Oakland, CA 94608
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ELECTRICAL:
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440 E. Corporate Drive, Suite 103
Meridian, ID. 83642
208.493-0026
Chris Dyer

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HOME TYPE SUMMARY				
Home Type Number Proposed	Number of Stories	Number of Bedroom / Bath	Living Area	Notes
Plan 1 26	3	3 / 3.5	1941	First floor bedroom / full bath
Plan 2 36	3	3 / 3.5	1868	First floor bedroom / full bath
Plan 3 22	3	3 / 3.5	2007	First floor bedroom / full bath
Plan 4 / Plan 4 alt 13	3	5 / 4	2431	Living on first floor with bedroom / full bath
Total 97 Homes				

PARKING SUMMARY				
Home Type	Number of Homes	Minimum Number of on-site parking spaces required	Number of on-site spaces provided	Meets minimum requirement
Single Family with Street Parking	61	2 covered 122 per dwelling unit	122 covered	Yes
Single Family without Street Parking along frontage Indicated by:	36	2 covered 72 plus 2 uncovered 72 spaces not blocking access to required covered parking	72 covered 66 uncovered	Covered - yes Uncovered - no Difference of 6 spaces
Total	97	194 Covered 72 Uncovered	194 Covered 66 on site 18 on street 84	Yes

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SITE PLAN / PARKING PLAN A0.1

Hayward, Ca.

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OPEN SPACE SUMMARY			
Open Space Type	Minimum Amount Required	Total Open Space Provided	Meets Requirement
Private Open Space	None	22,761 SF	Yes, exceeds
Group Open Space	100 SF of usable open space per dwelling unit	21,919 SF <input checked="" type="checkbox"/>	Yes, exceeds
	9,700 SF	21,600 SF Trail	
Total	350 SF per dwelling unit <input checked="" type="checkbox"/>	66,280 SF	Yes, exceeds by 32,330 SF
	33,950 SF		

OPEN SPACE LEGEND

GROUP OPEN SPACE

PRIVATE OPEN SPACE
Designates 2nd Floor Deck Area
6 min. dim. / 60 sf min.

PRIVATE YARDS
Designates Private Yards with less than 10 min. dim. Area not included in Private Open Space

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OPEN SPACE EXHIBIT

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ELEVATION '1A' - NAPA VALLEY COTTAGE

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ELEVATION '1C' REVERSE - CRAFTSMAN

ELEVATION '1B' - COTTAGE

ELEVATION '1A' REVERSE - NAPA VALLEY COTTAGE

StreetScene - I

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SS-1
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ELEVATION '2A' REVERSE
NAPA VALLEY COTTAGE

ELEVATION '2C' REVERSE
CRAFTSMAN

ELEVATION '4B' REVERSE
COTTAGE

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StreetScene - 2

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ELEVATION '1A' - NAPA VALLEY COTTAGE



ELEVATION '1B' - COTTAGE



ELEVATION '1C' - CRAFTSMAN

Plan I Elevations

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ELEVATION '1B' - COTTAGE

1B - Cottage
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Siding/ Shingles
 Shutters
 Decorative Railing & Wood Posts
 Recessed Windows
 Enhanced Sills
 1x Stucco Finish Trim
 Stone Veneer



ELEVATION '1A' - NAPA VALLEY COTTAGE

1A - Napa Valley Cottage
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Board and Batt Siding
 Hurricane Shutters
 Decorative Kicker / Corbel
 Enhanced Sills
 1x Stucco Finish Trim
 Decorative Railing



ELEVATION '1C' - CRAFTSMAN
Plan I Elevations

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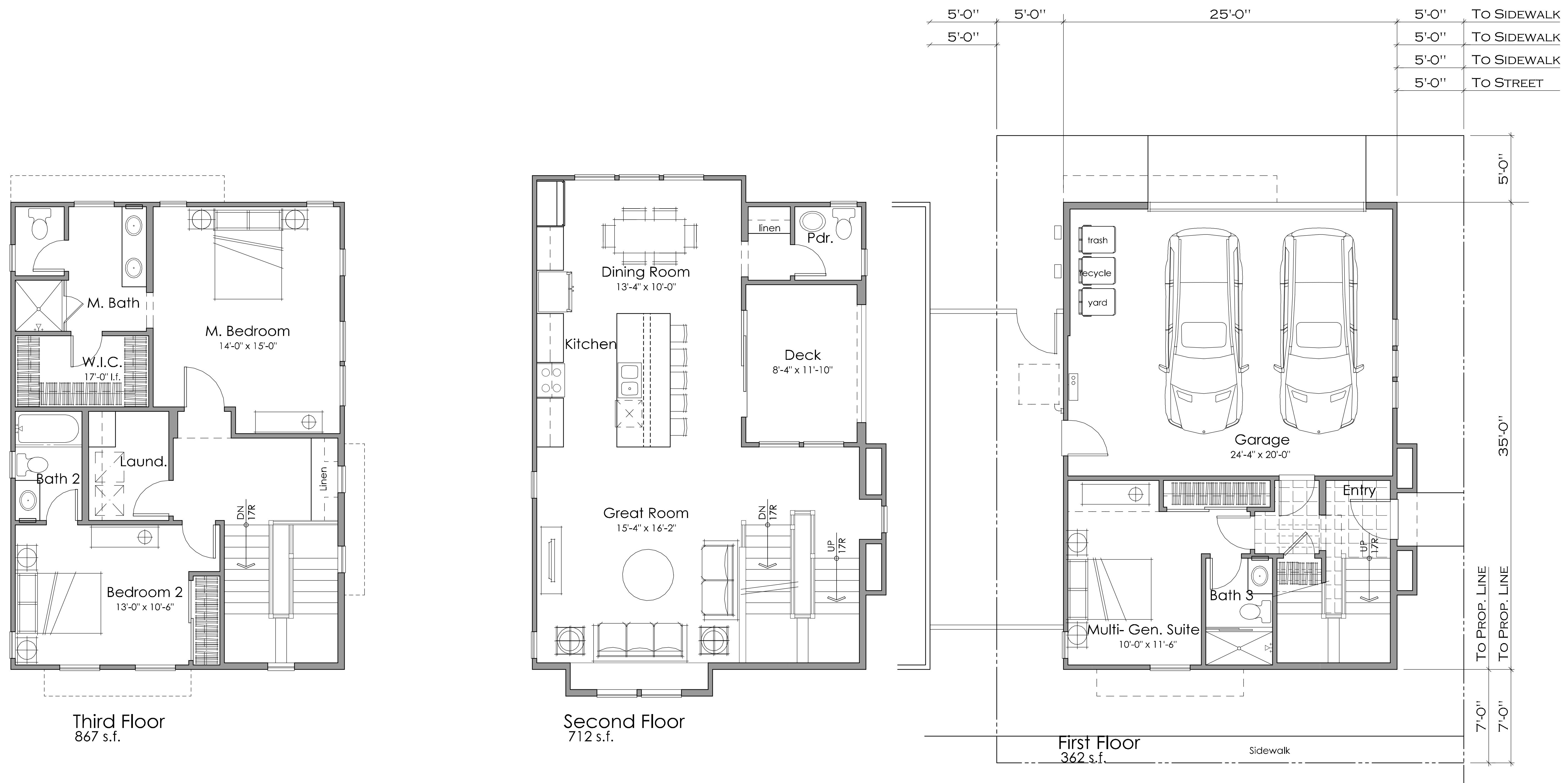
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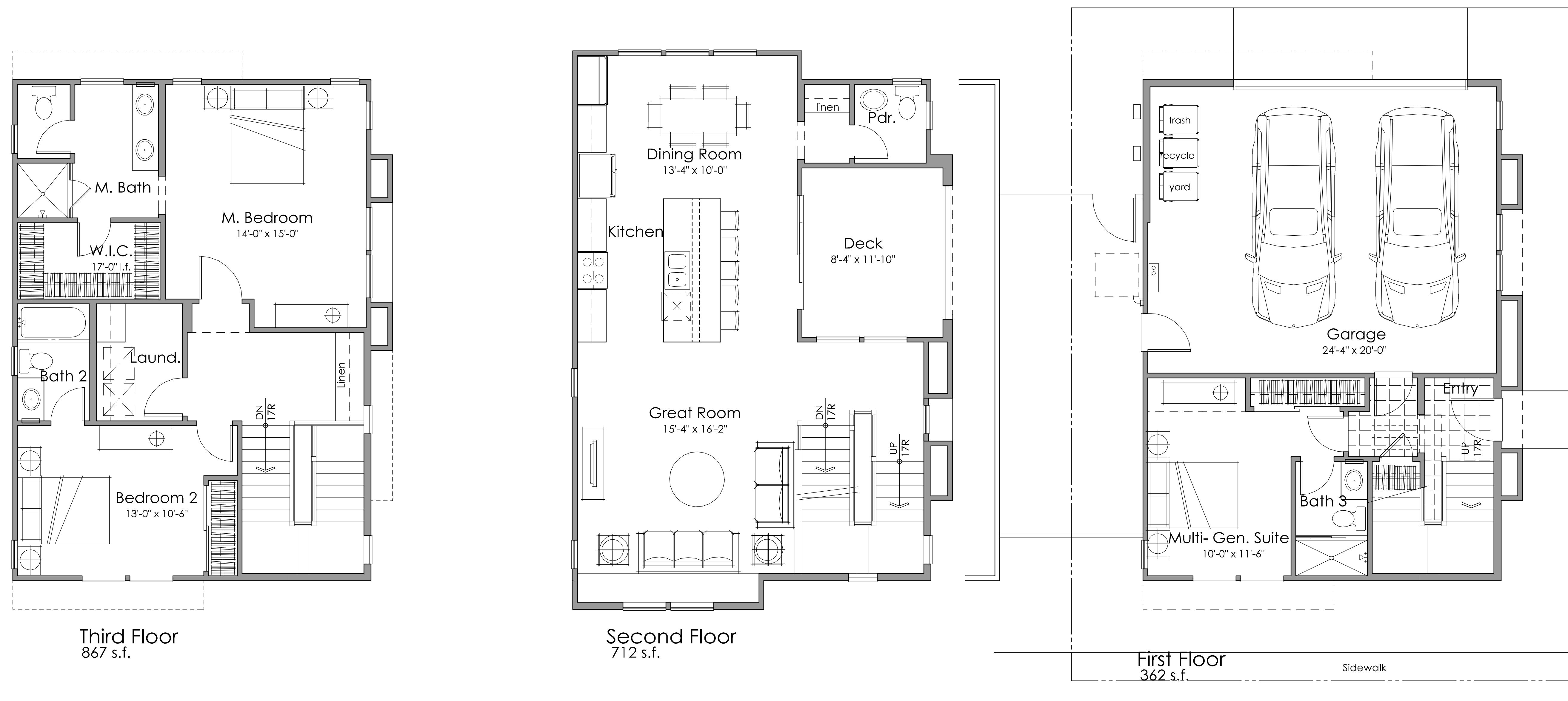
PLAN I - 1,941 SQ. FT.

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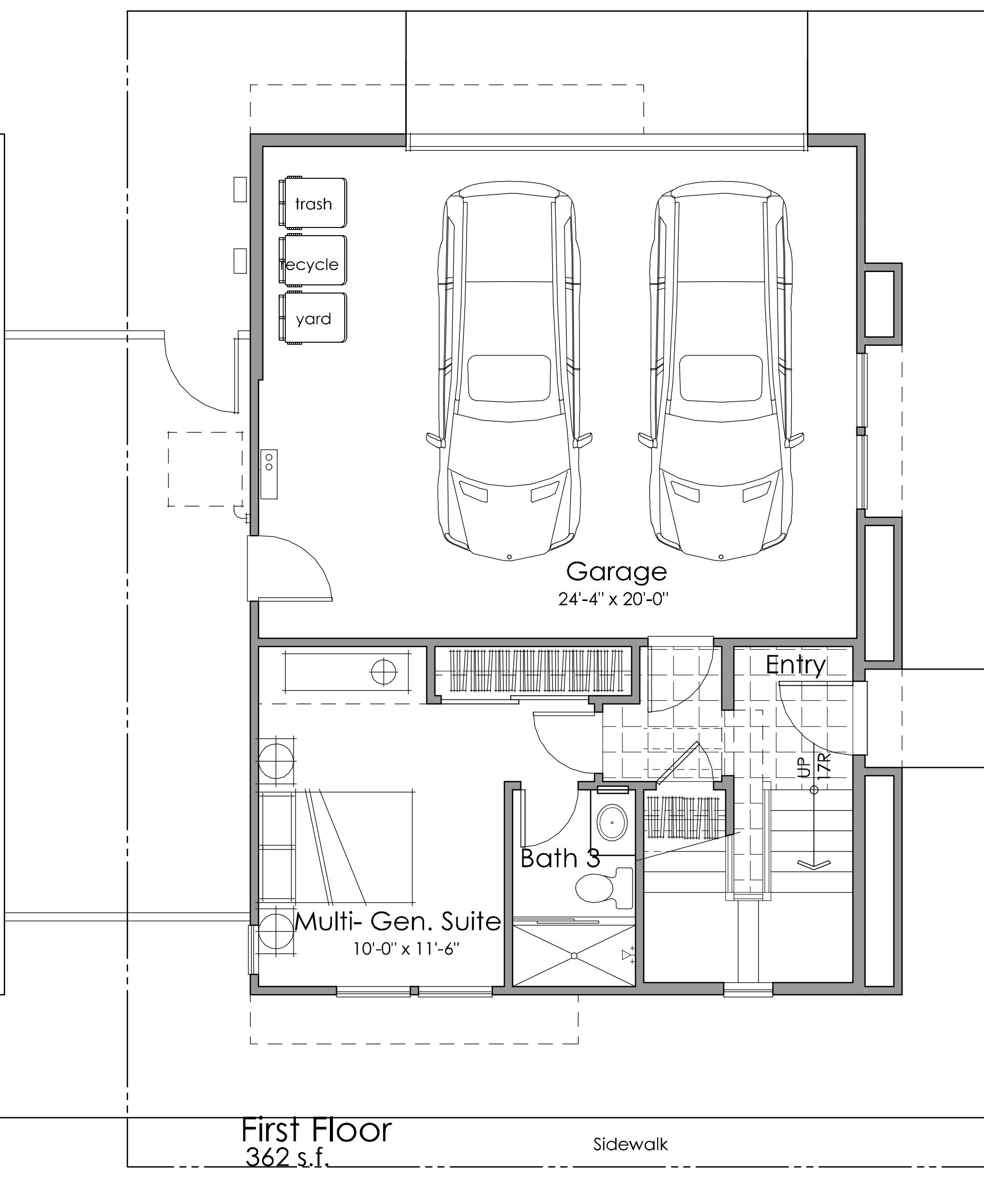
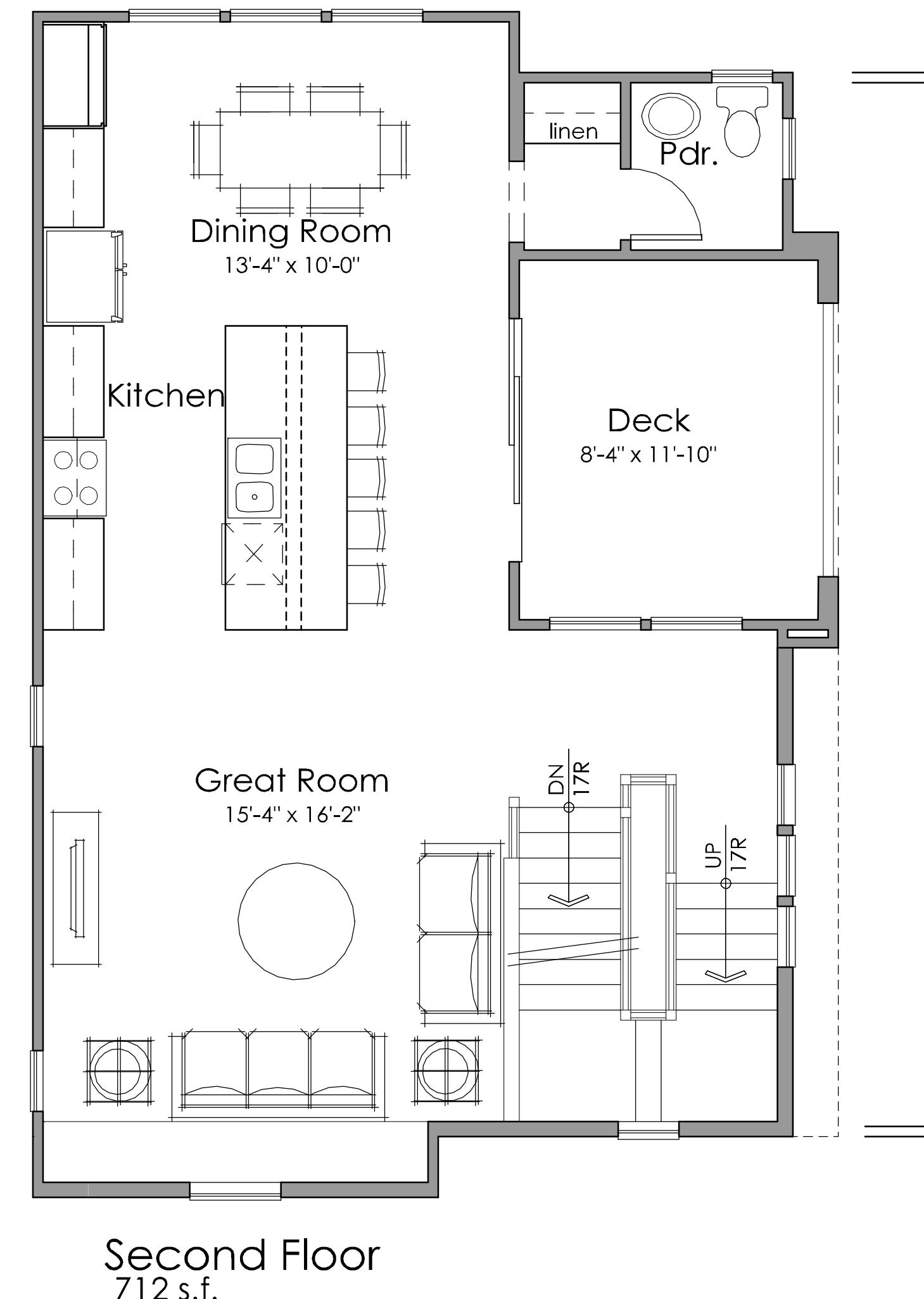
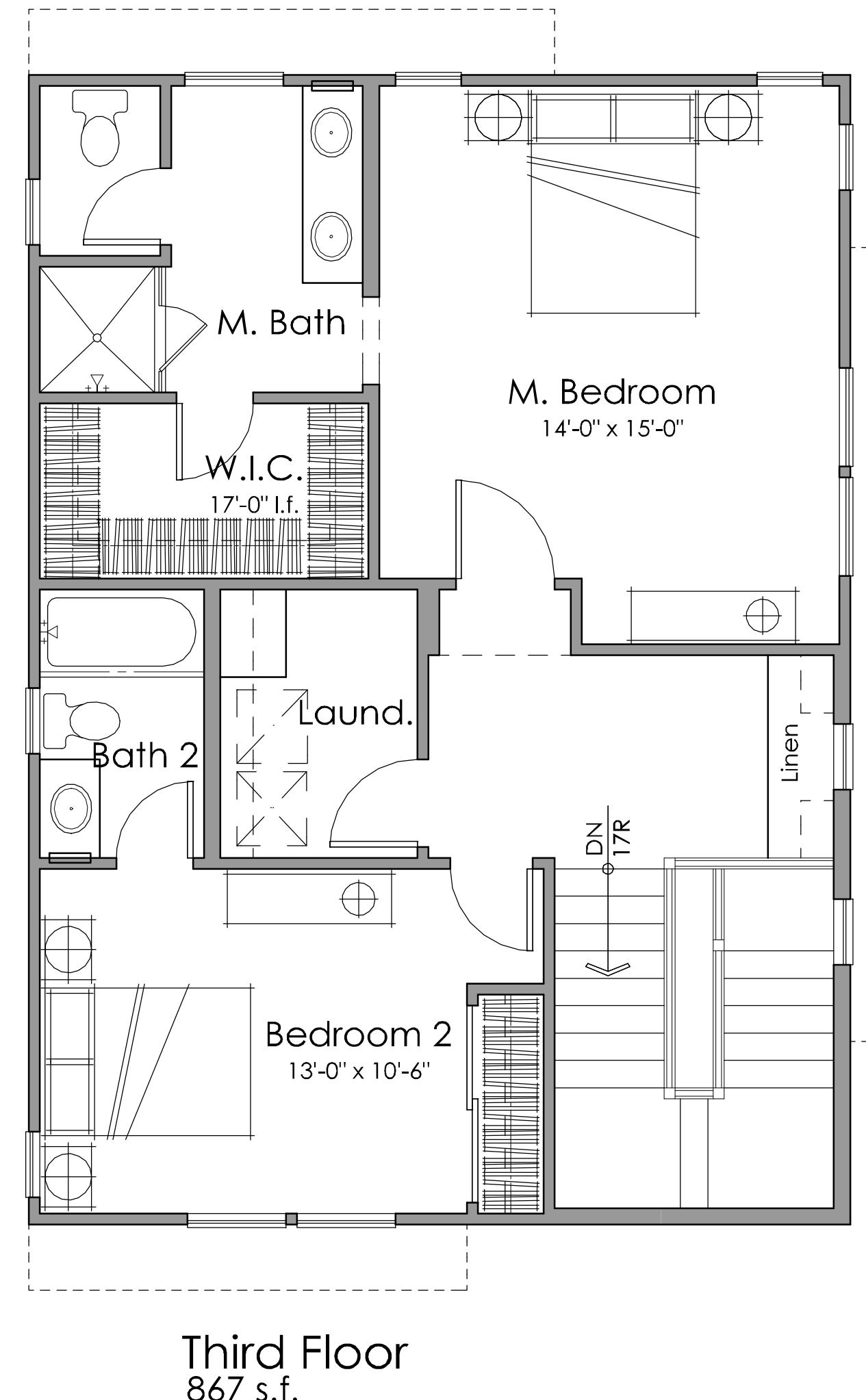
PLAN 1B - ADDENDA

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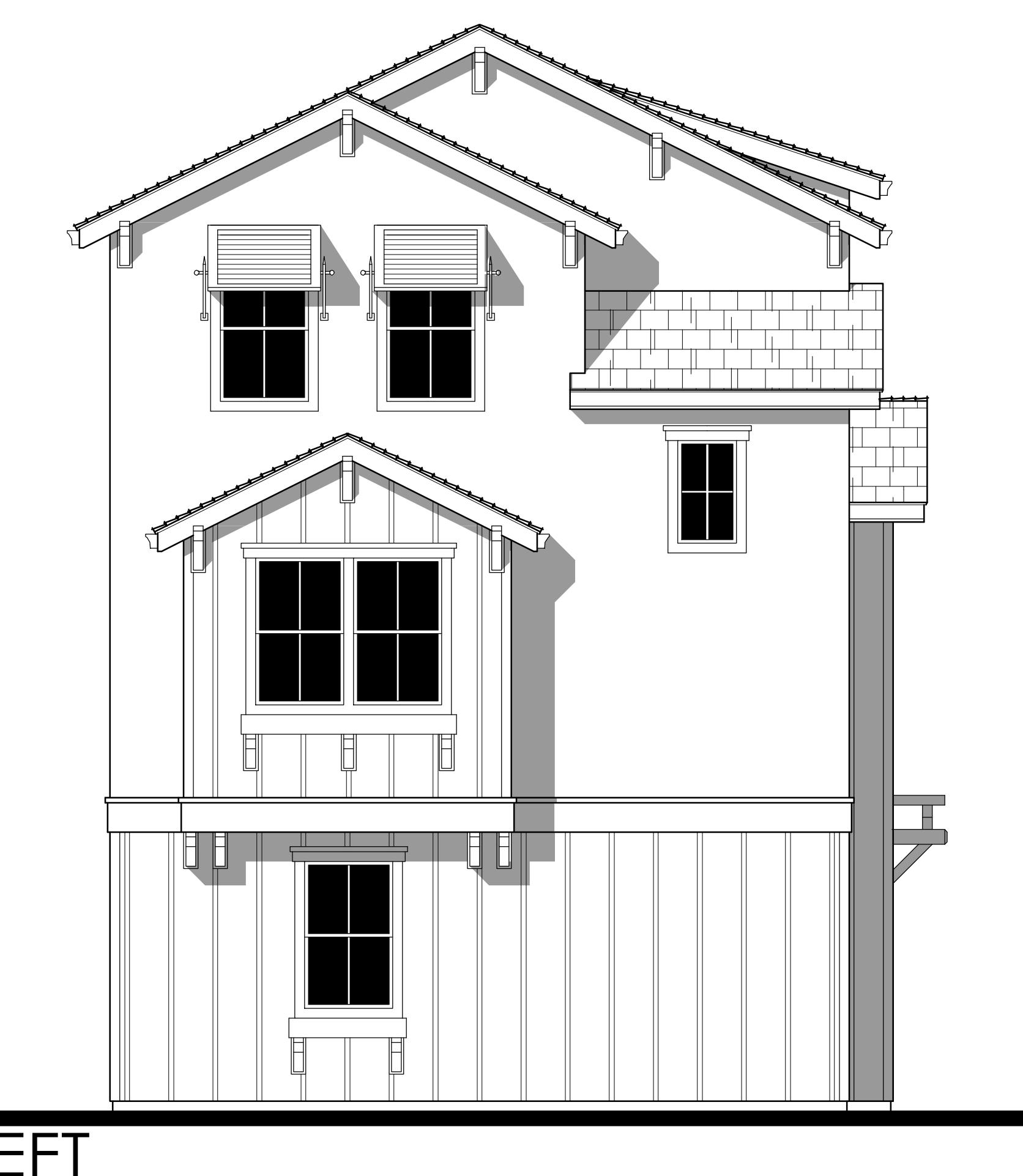
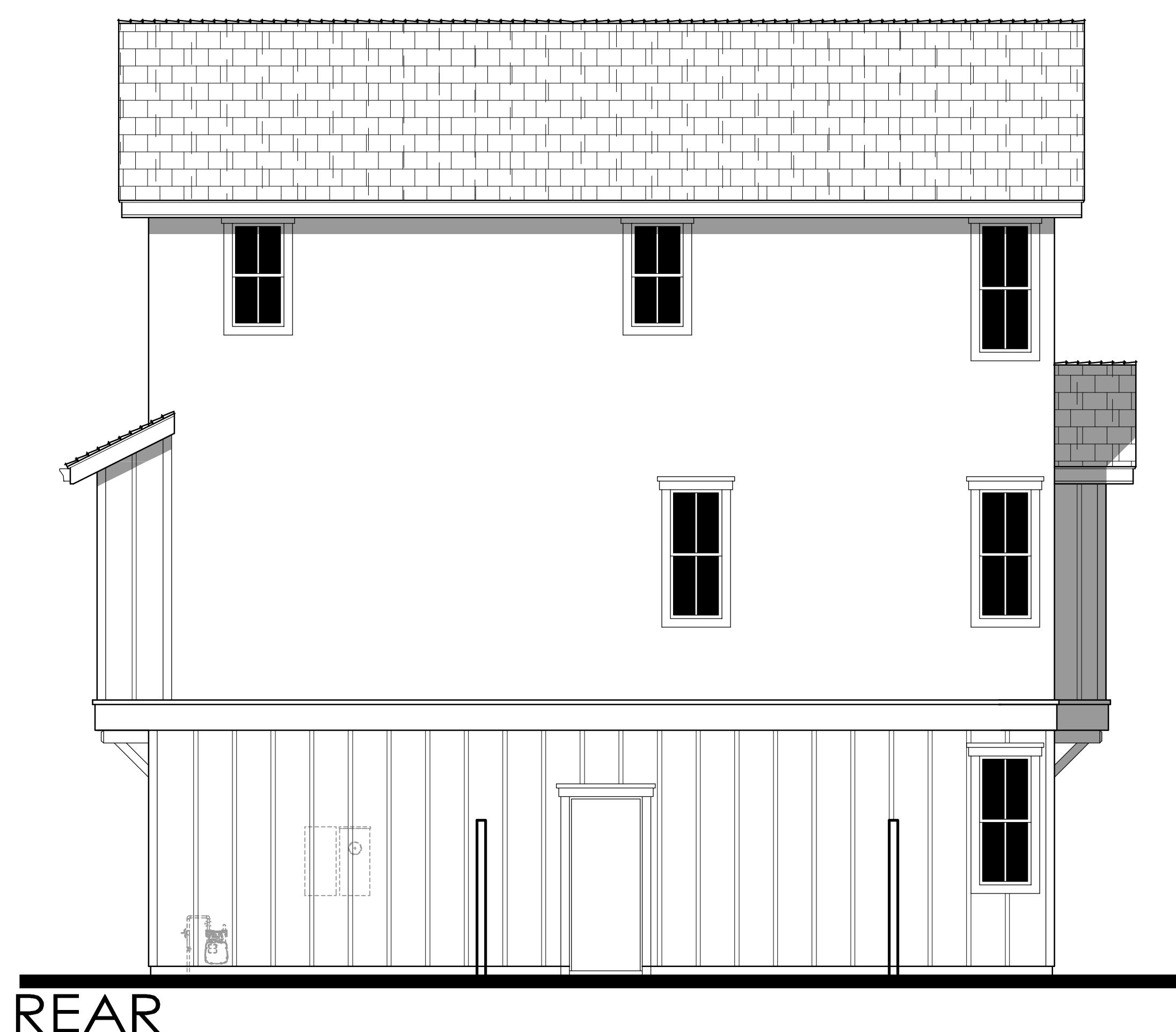
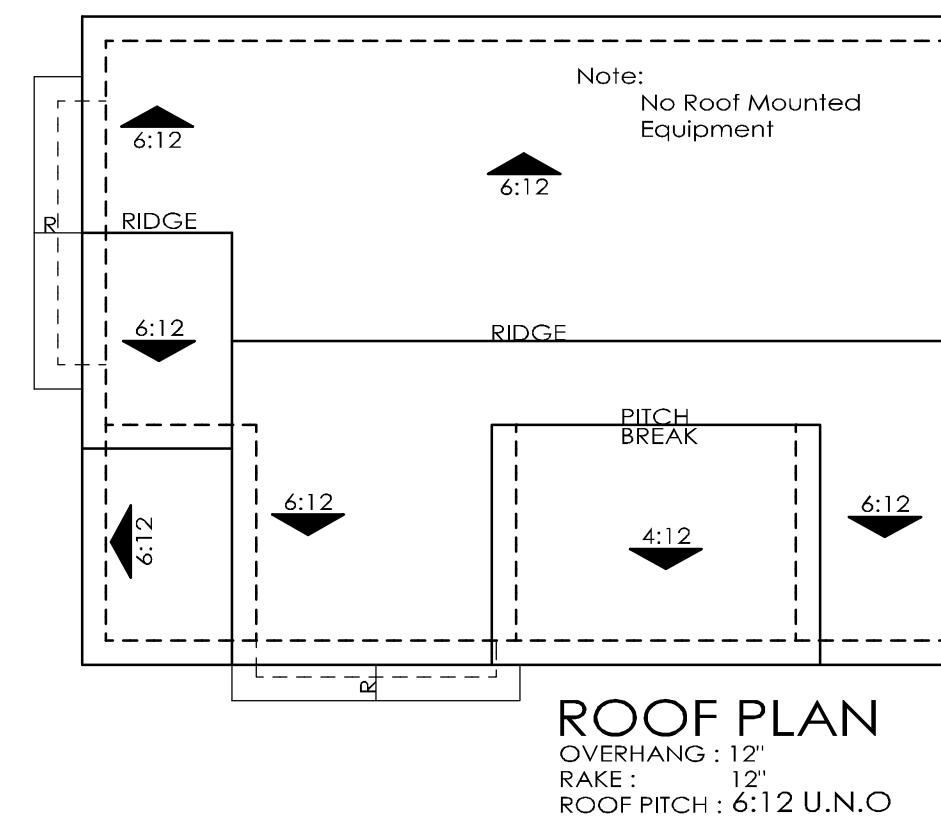
PLAN IC - ADDENDA

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Plan IA Exterior Elevations

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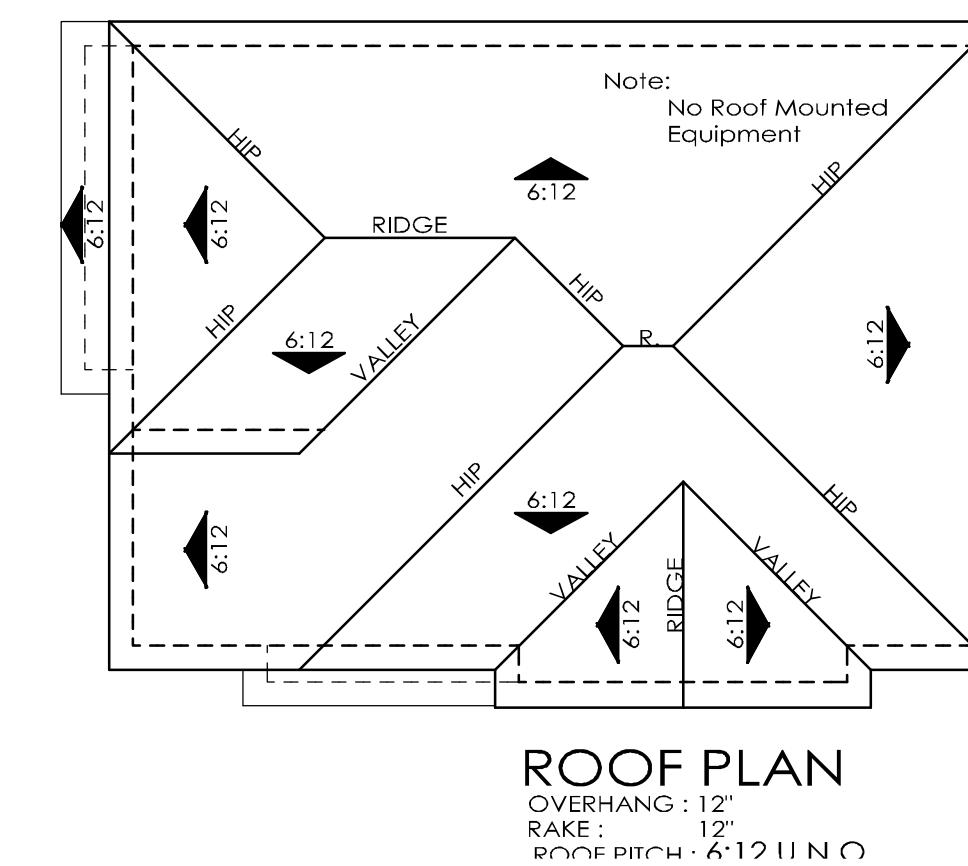
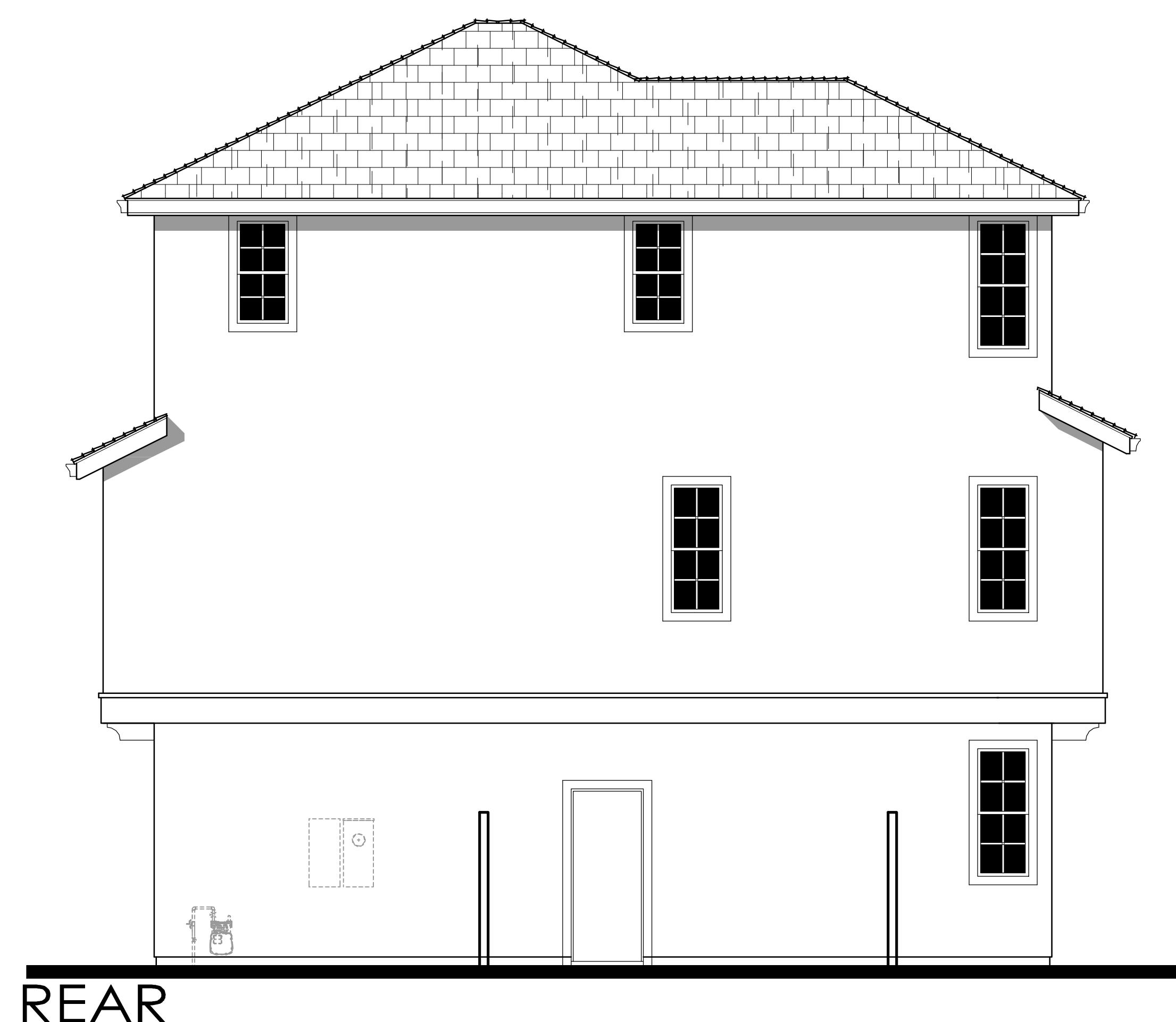
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Plan 1B Exterior Elevations

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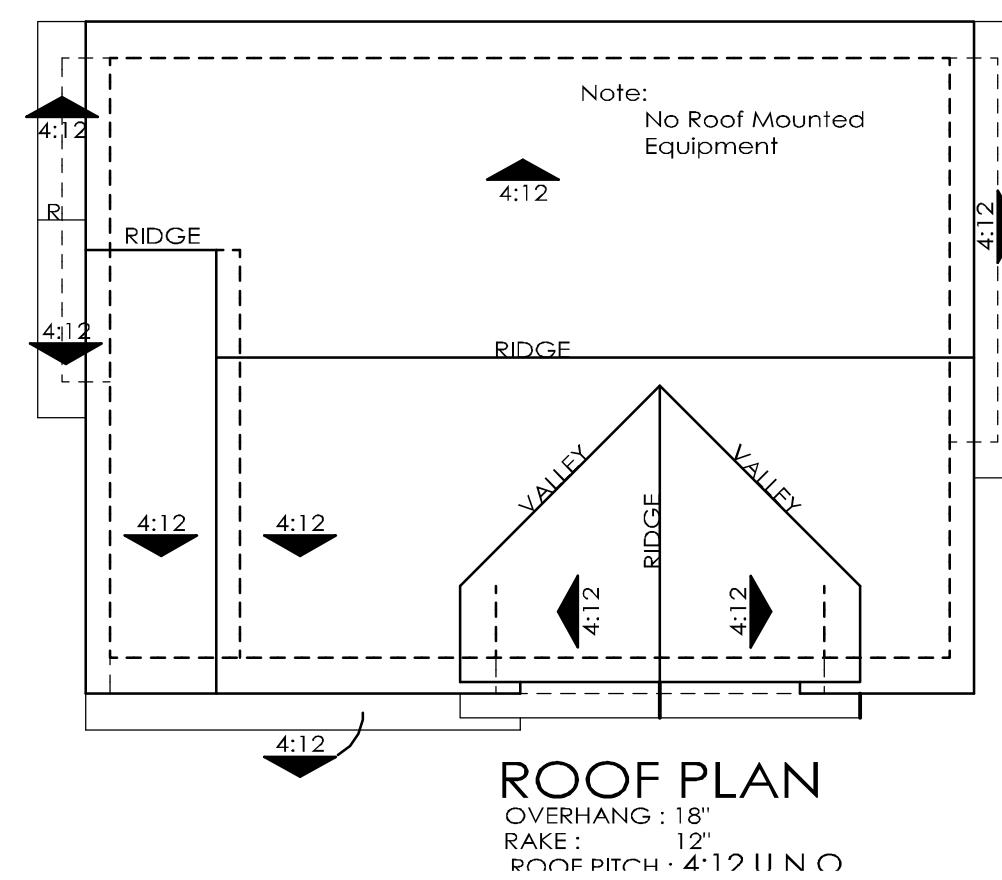
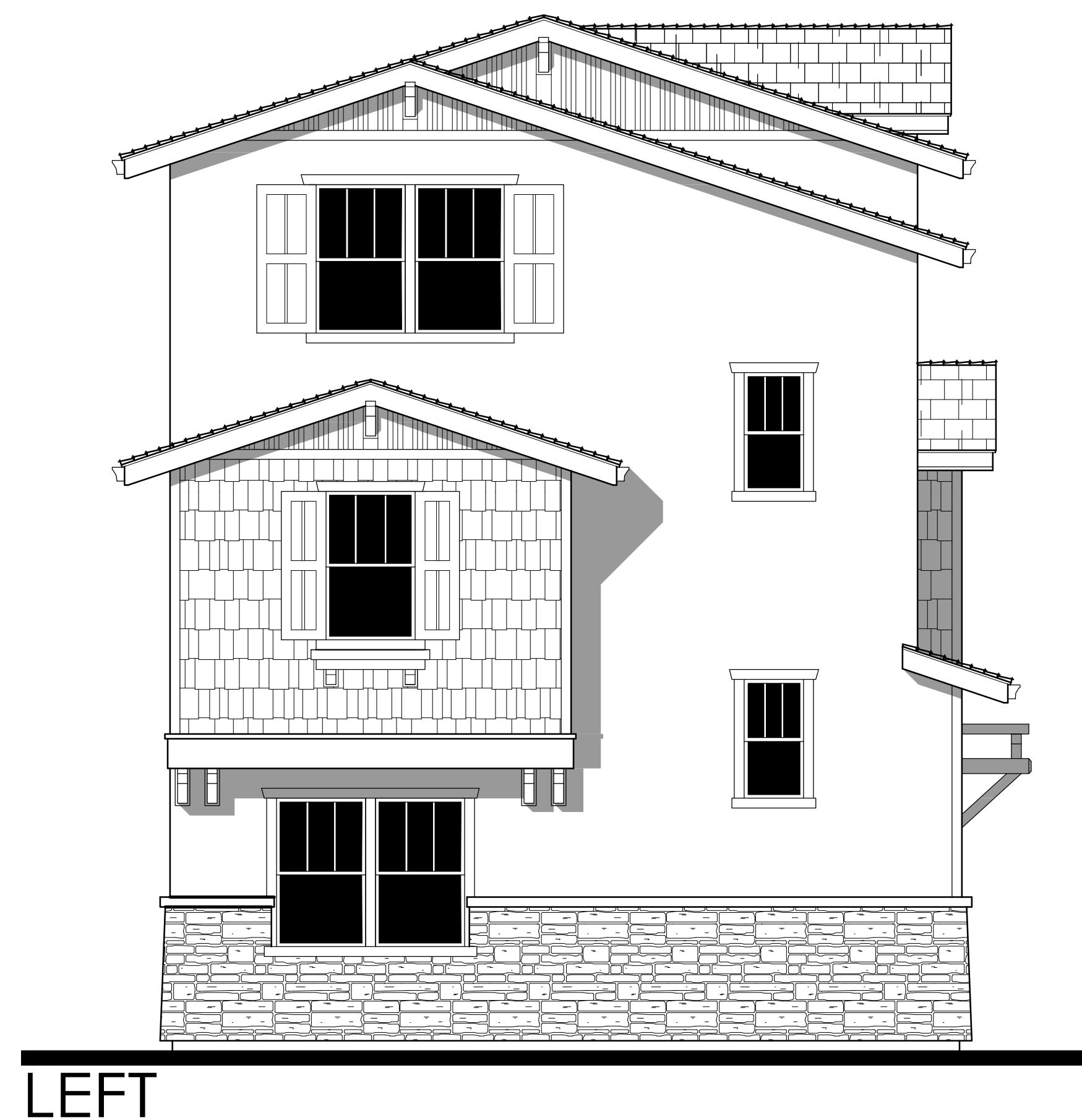
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Plan IC Exterior Elevations

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ELEVATION '2C'
CRAFTSMAN



ELEVATION '2B'
COTTAGE



ELEVATION '2A'
NAPA VALLEY COTTAGE

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Plan 2 Elevations

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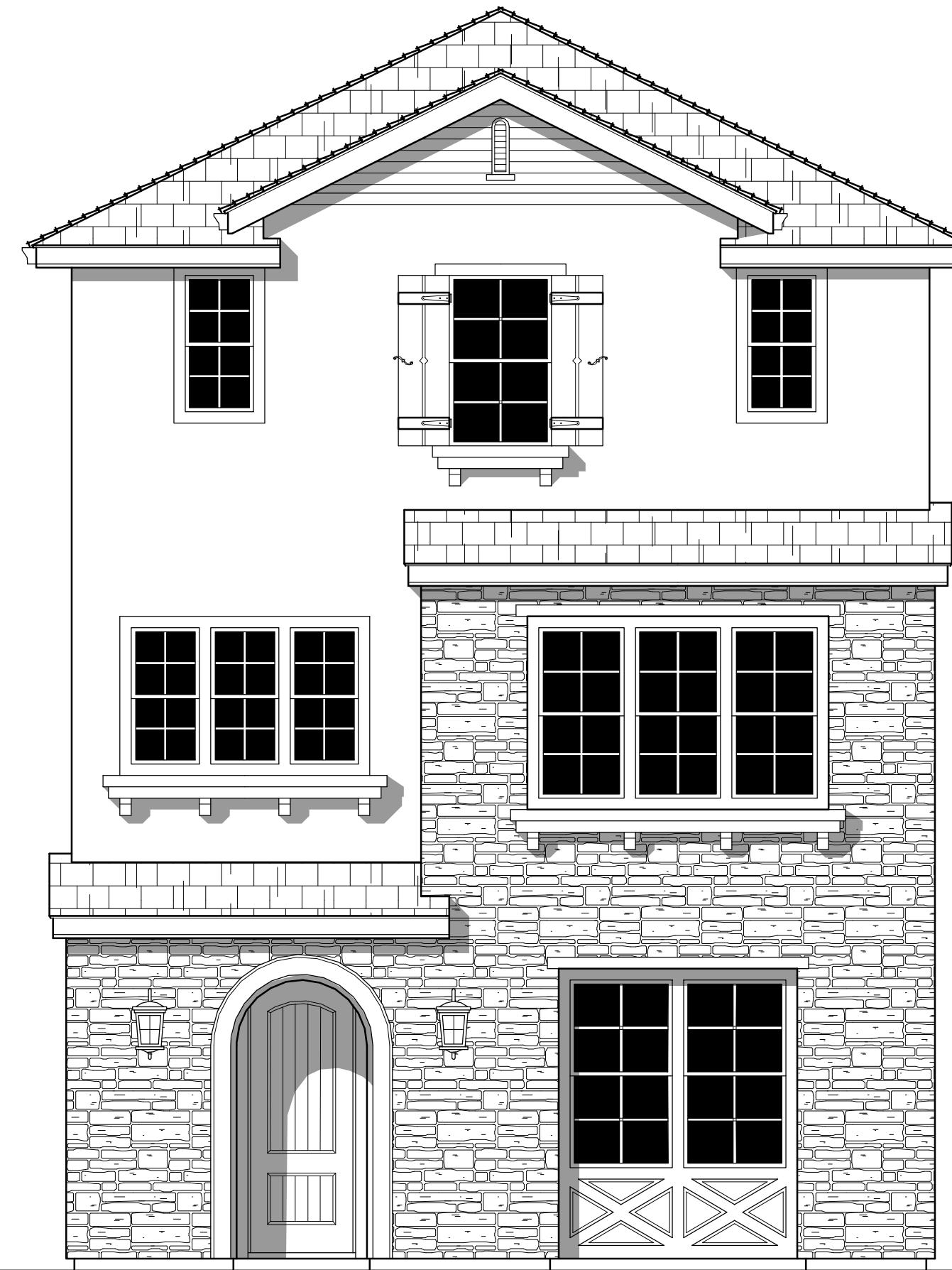
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**ELEVATION '2C'
CRAFTSMAN**

2C - Craftsman
Material Legend:
Flat Concrete Tile Roofing
Decorative Columns
Stucco Finish
Cementitious Siding/ Shingles
Stone Veneer
Enhanced Sills
1x Stucco Finish Trim
Shutters



**ELEVATION '2B'
COTTAGE**

2B - Cottage
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Siding/ Shingles
Shutters
Recessed Windows
Enhanced Sills
1x Stucco Finish Trim
Stone Veneer



**ELEVATION '2A'
NAPA VALLEY COTTAGE**

2A - Napa Valley Cottage
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Board and Batt Siding
Hurricane Shutters
Decorative Kicker / Corbel
Enhanced Sills
1x Stucco Finish Trim

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Plan 2 Elevations

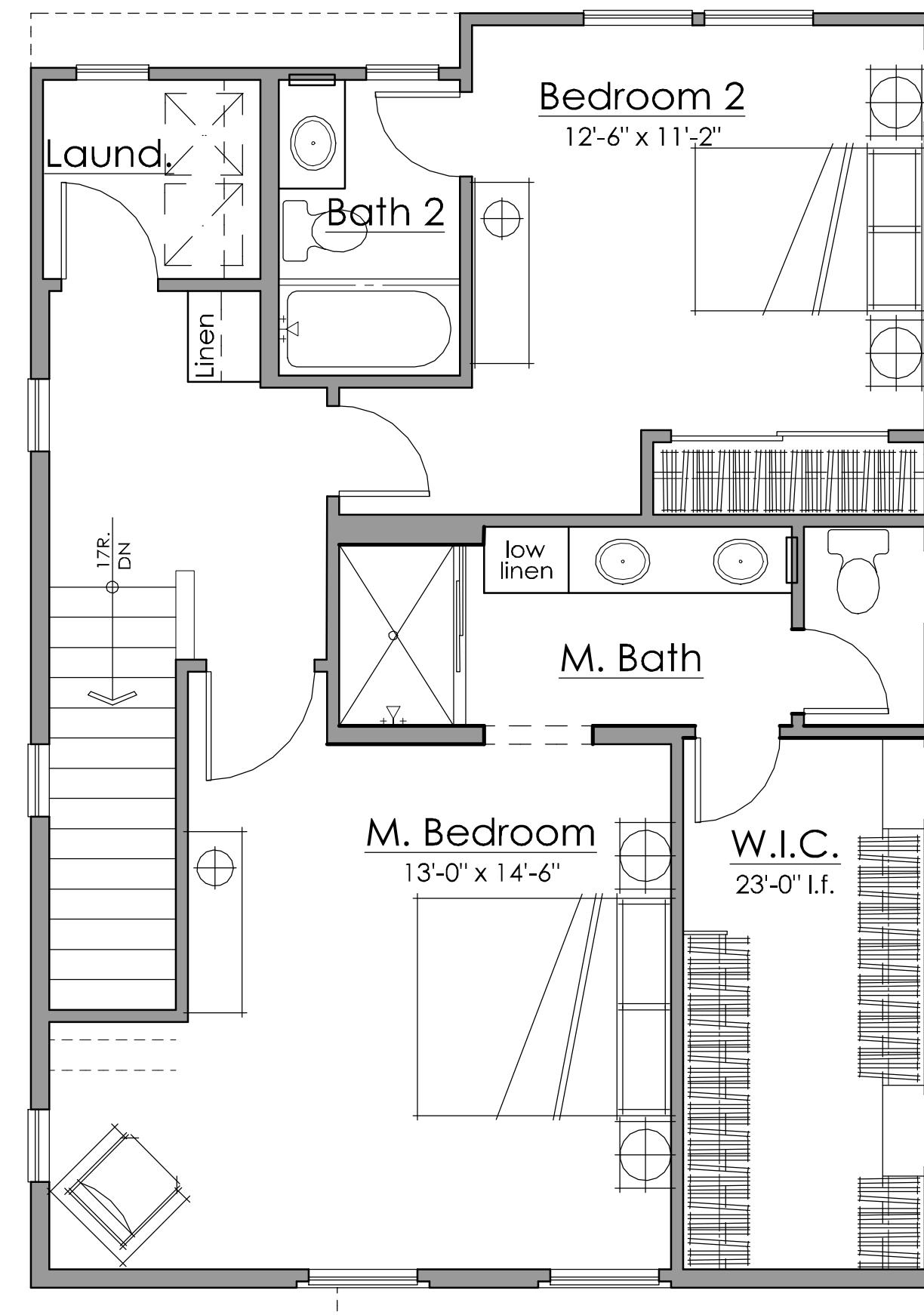
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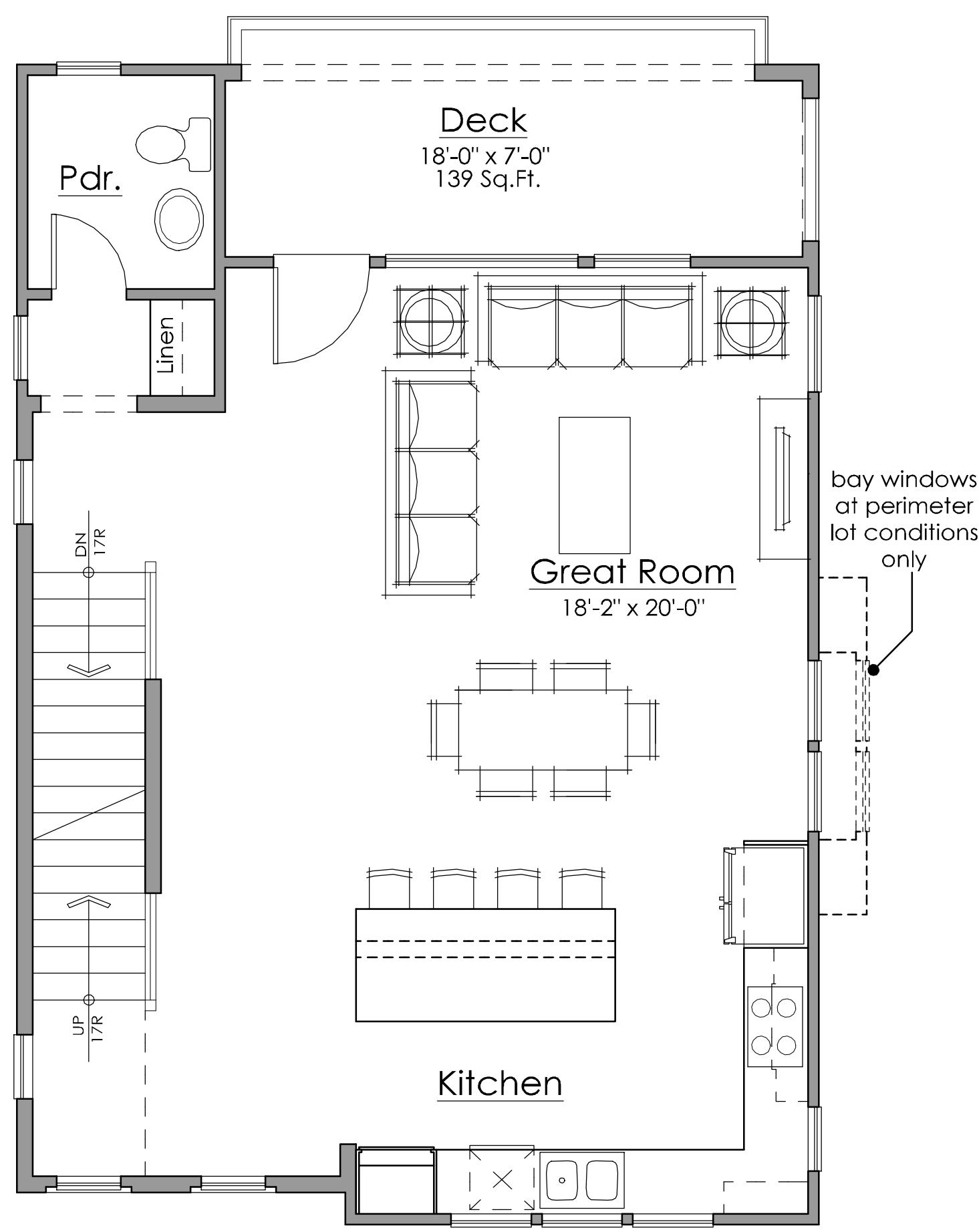
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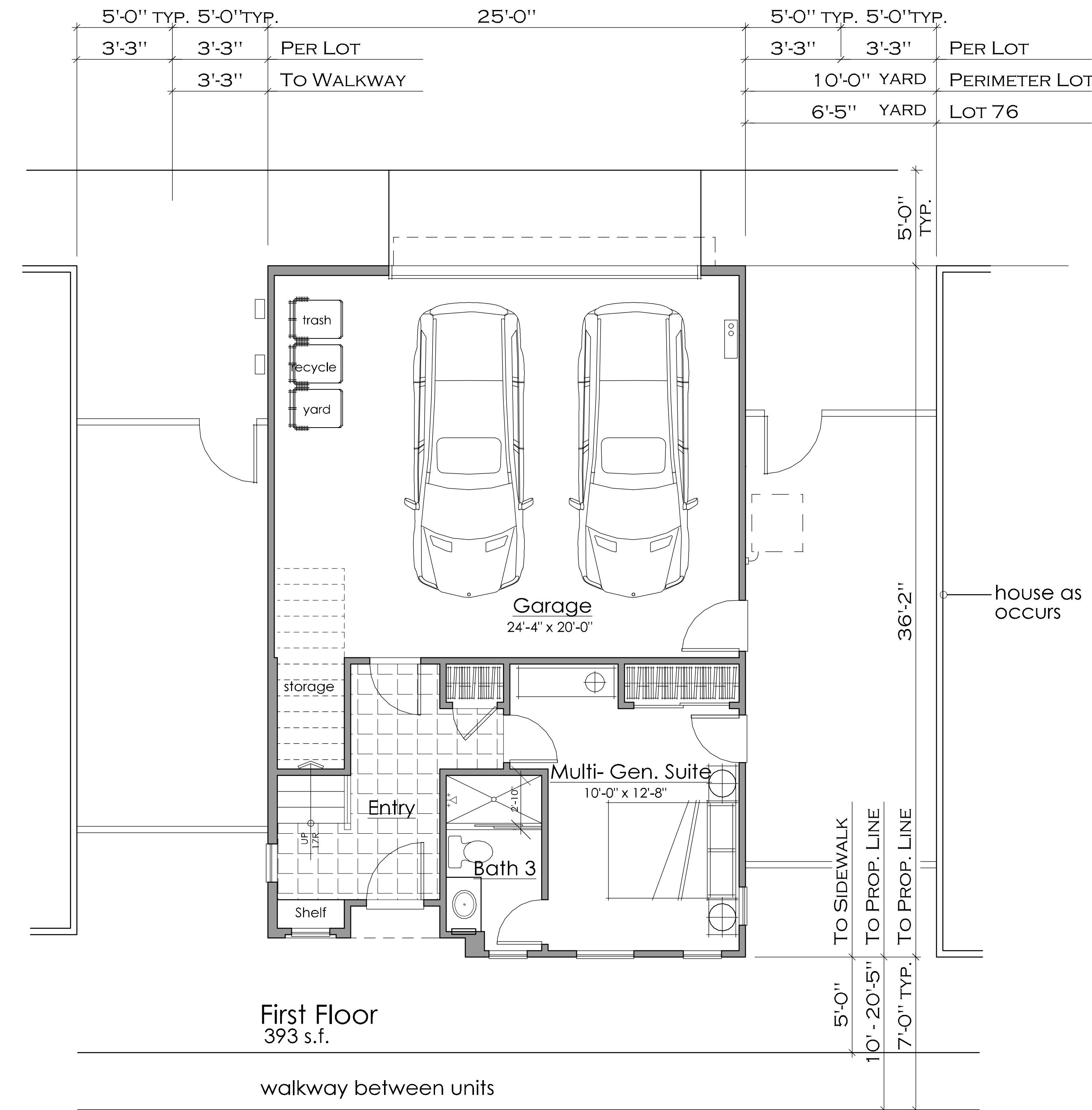
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Third Floor
811 s.f.



Second Floor
728 s.f.



PLAN 2 - 1,932 SQ. FT.

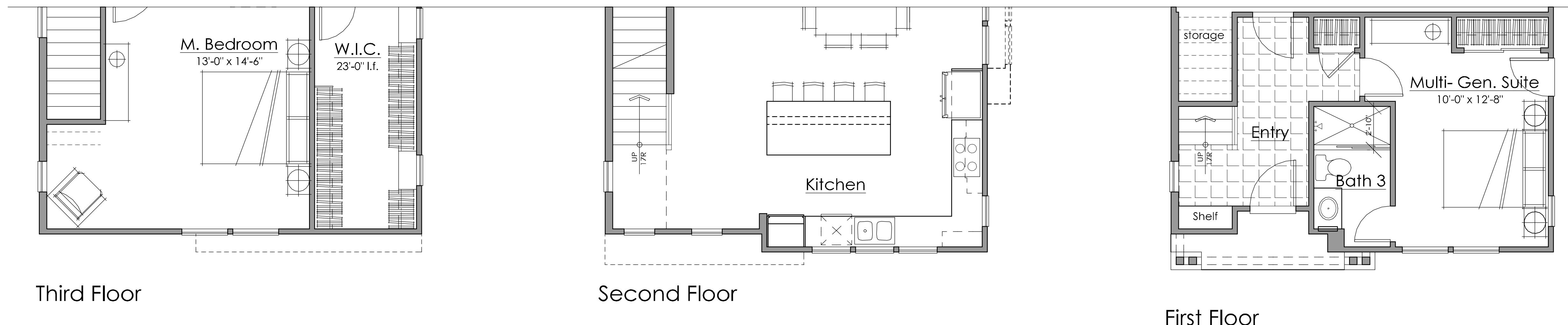
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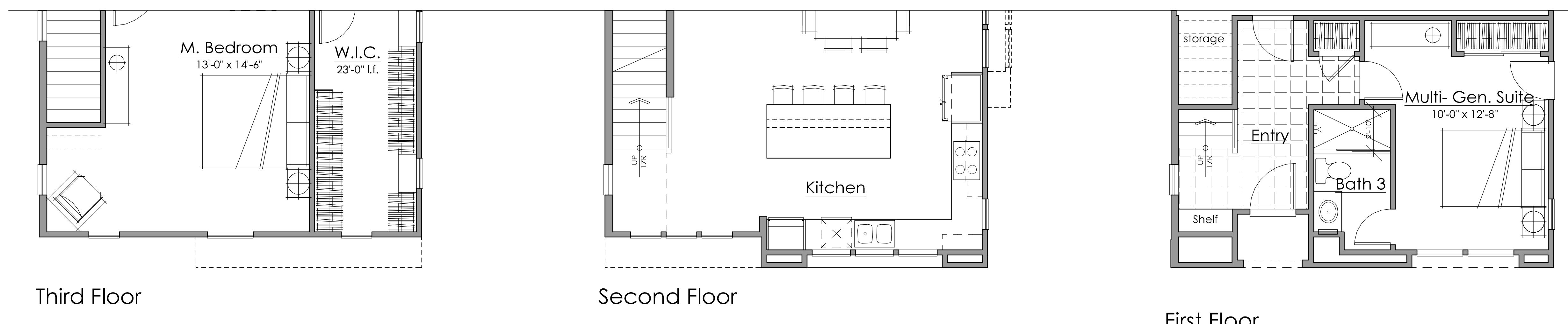
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Plan 2C Addenda



Plan 2B Addenda

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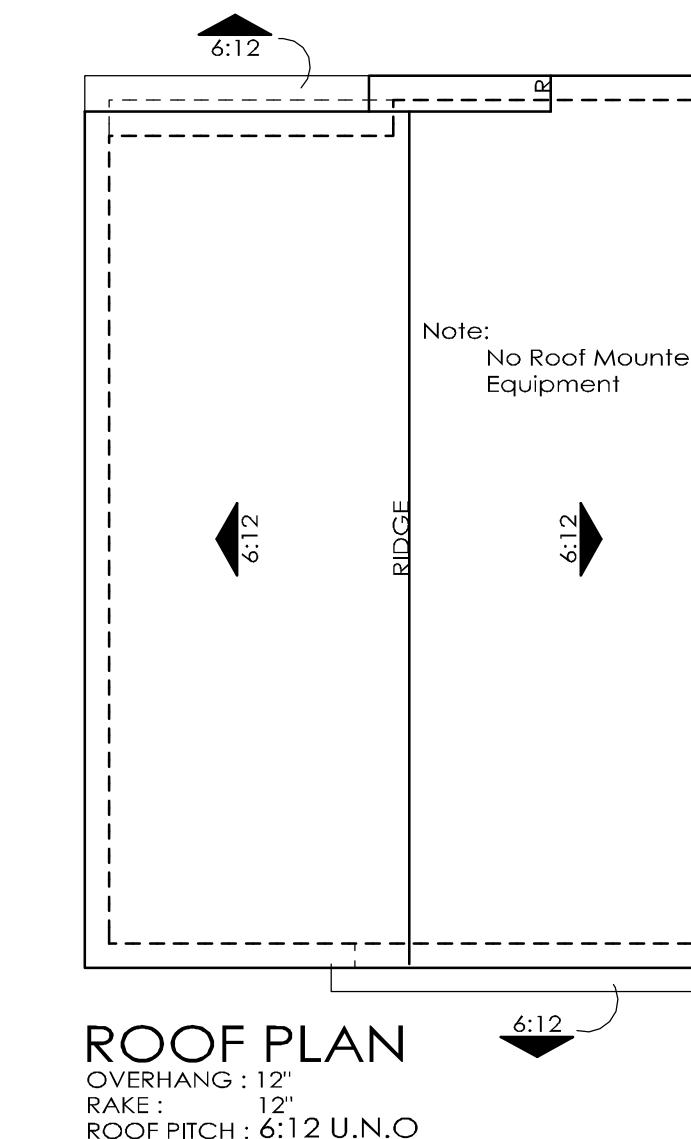
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PLAN 2 - Addenda

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Plan 2A Exterior Elevations

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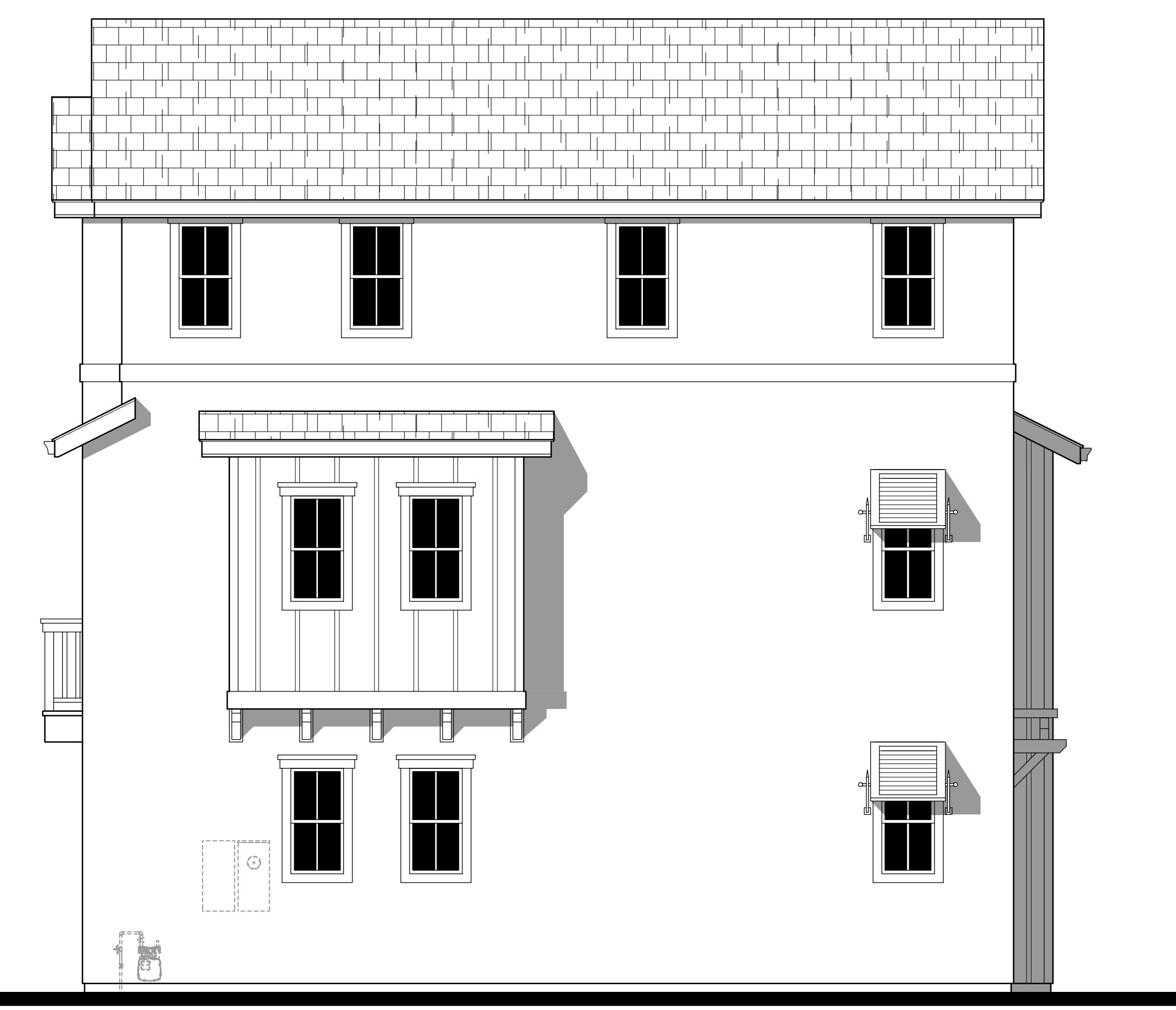
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RIGHT AT ENHANCED LOTS ONLY



LEFT AT ENHANCED LOTS ONLY

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Plan 2A - Enhanced Exterior Elevations

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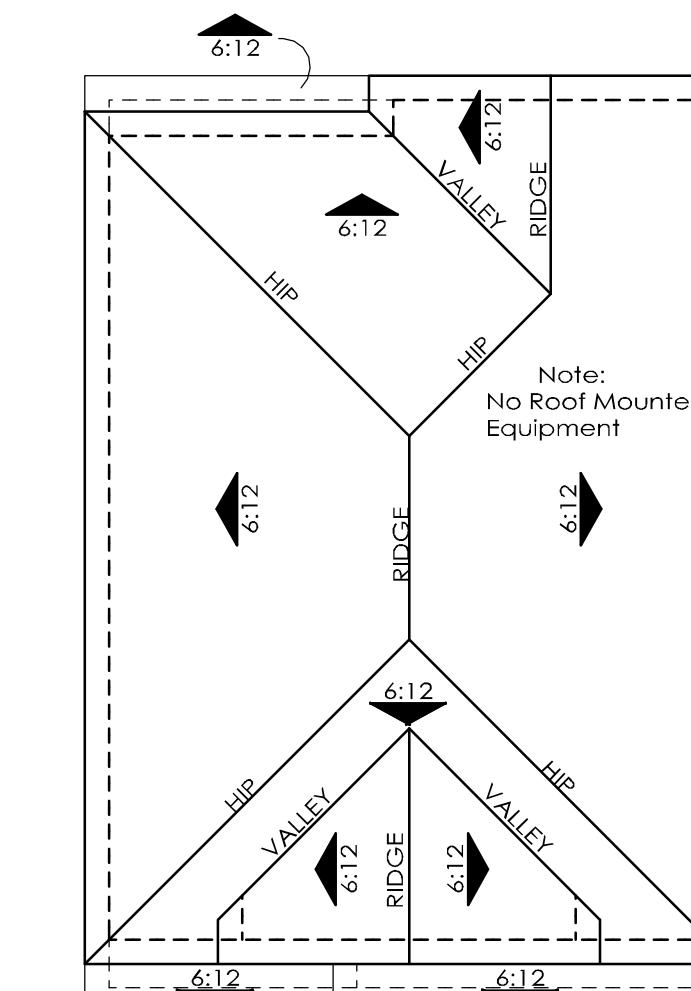
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ROOF PLAN
OVERHANG: 12"
RAKE: 12"
ROOF PITCH: 6:12 U.N.O.



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Plan 2B Exterior Elevations

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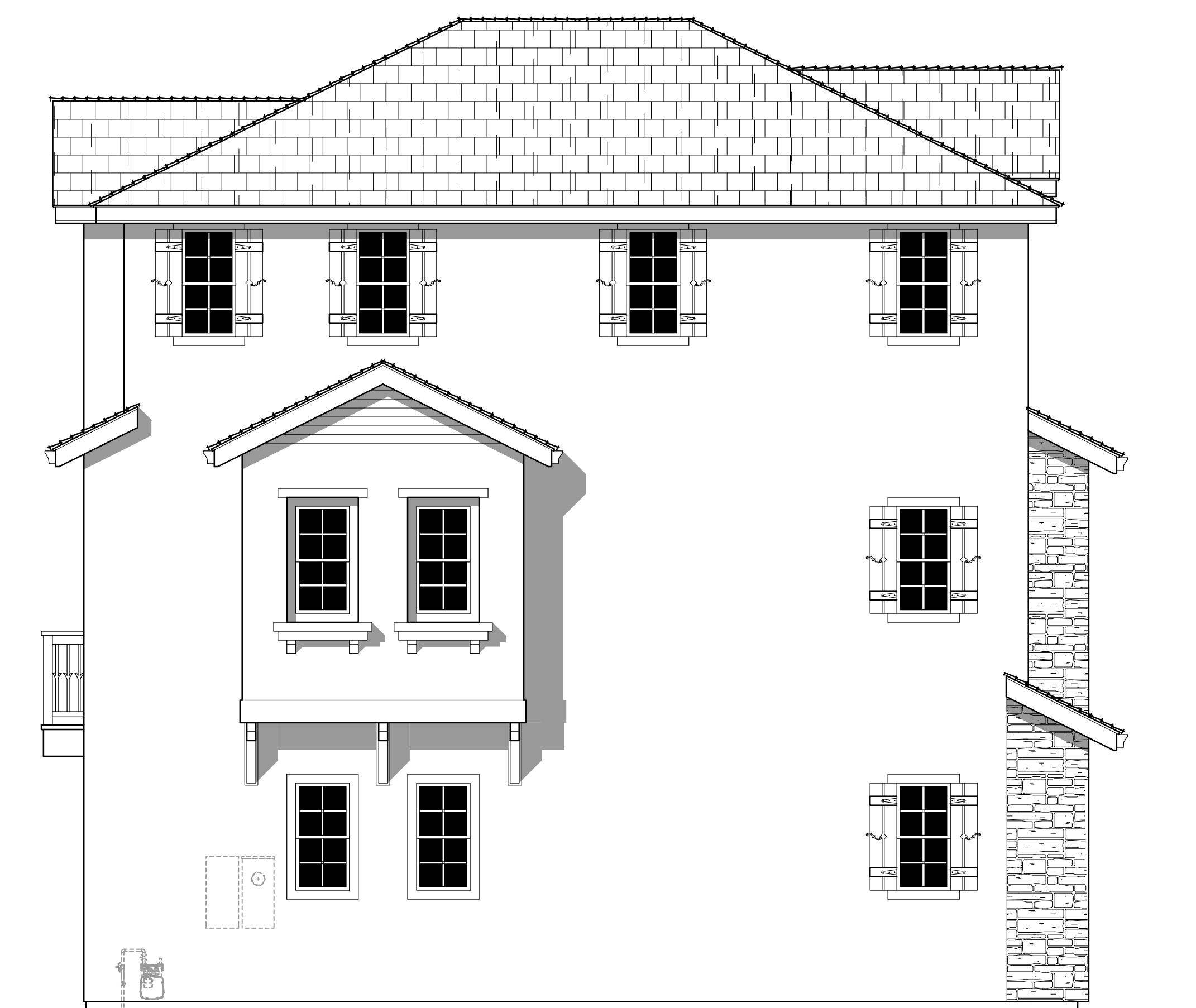
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Plan 2B - Enhanced Exterior Elevations

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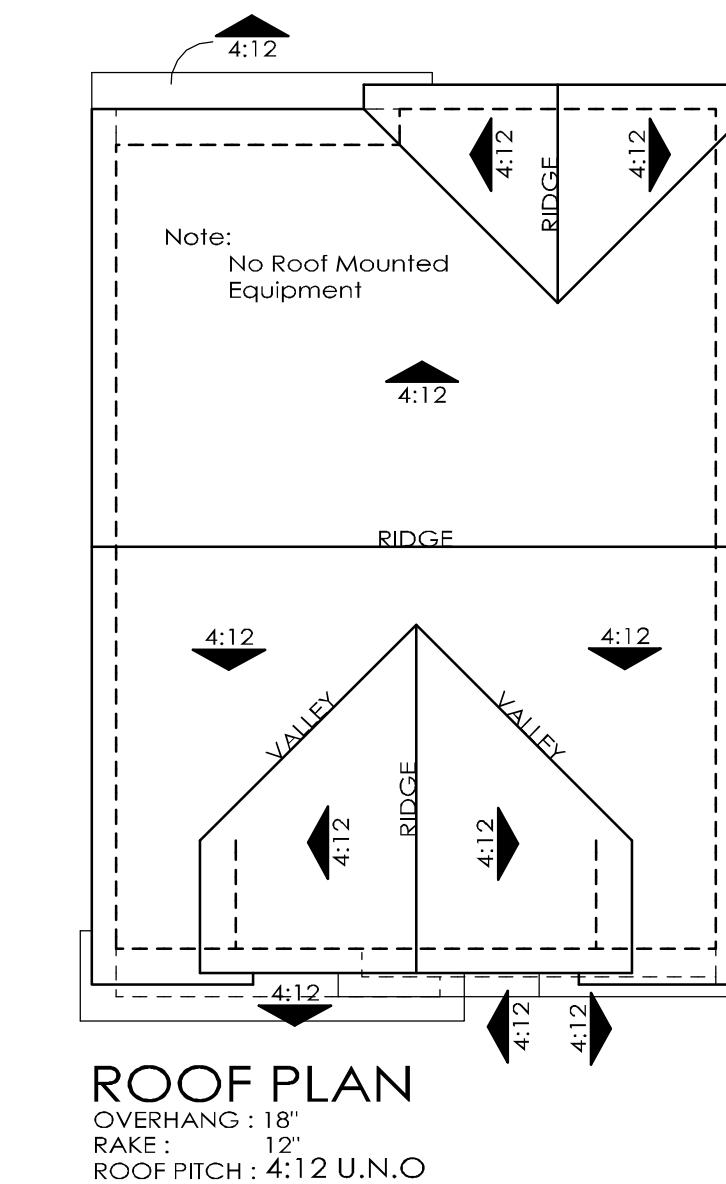
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Plan 2C Exterior Elevations

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Plan 2C - Enhanced Exterior Elevations

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ELEVATION '3A'
NAPA VALLEY COTTAGE



ELEVATION '3B'
COTTAGE



ELEVATION '3C'
CRAFTSMAN

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Plan 3 Elevations

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A3.C

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**ELEVATION '3C'
CRAFTSMAN**

3C - Craftsman
Material Legend:
Flat Concrete Tile Roofing
Decorative Columns
Stucco Finish
Cementitious Siding/ Shingles
Stone Veneer
Enhanced Sills
1x Stucco Finish Trim
Shutters



**ELEVATION '3B'
COTTAGE**

3B - Cottage
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Siding/ Shingles
Shutters
Recessed Windows
Enhanced Sills
1x Stucco Finish Trim
Stone Veneer



**ELEVATION '3A'
NAPA VALLEY COTTAGE**

3A - Napa Valley Cottage
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Board and Batt Siding
Hurricane Shutters
Decorative Kicker / Corbel
Enhanced Sills
1x Stucco Finish Trim

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Plan 3 Elevations

Hayward, Ca.

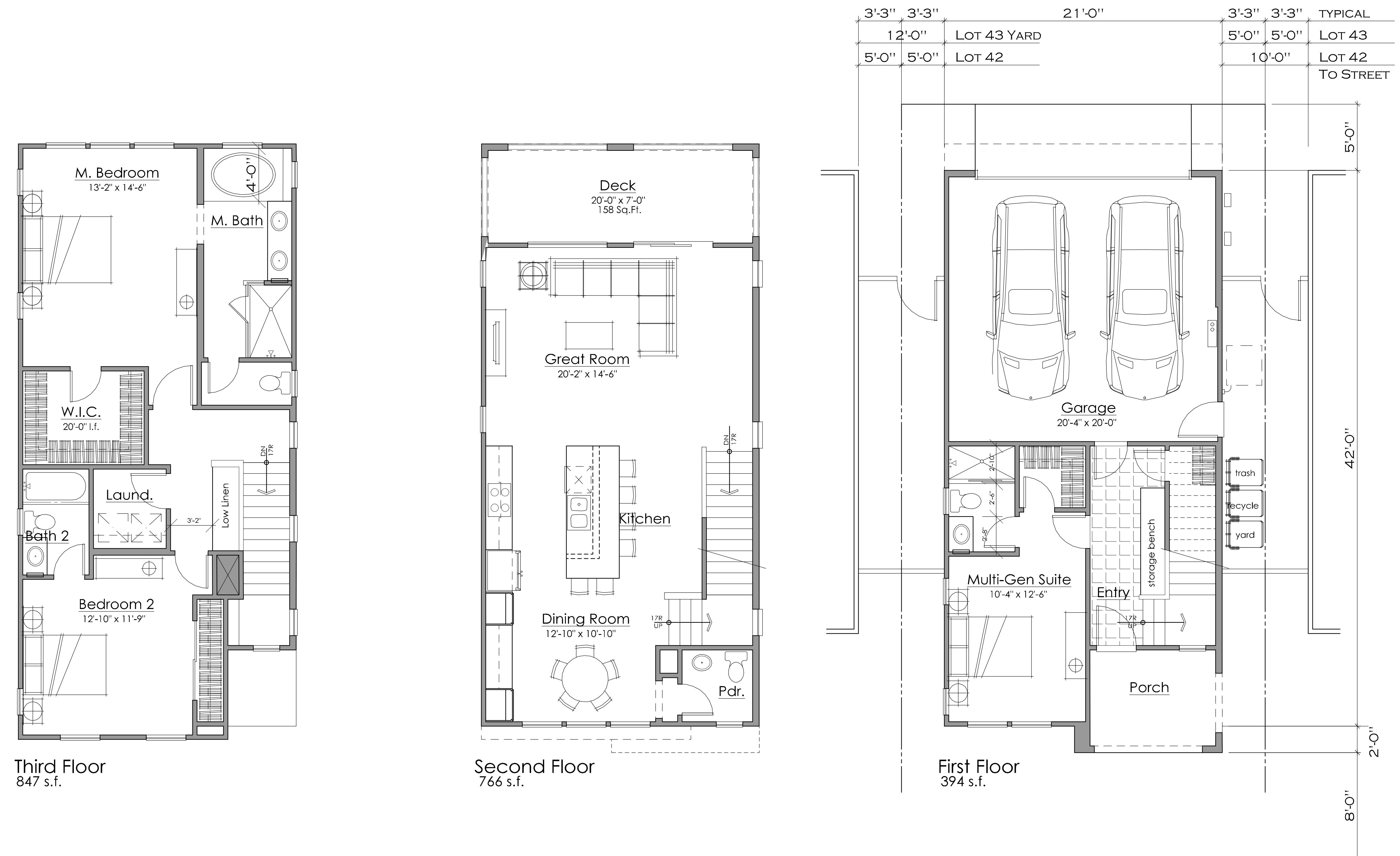
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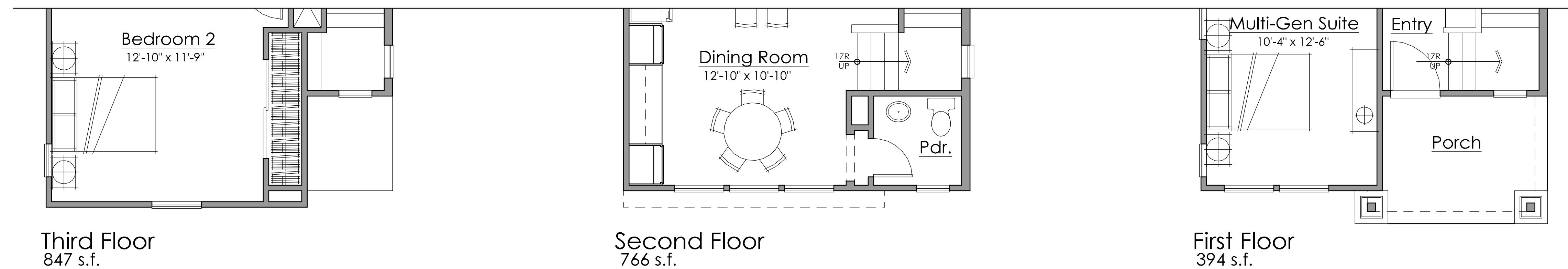
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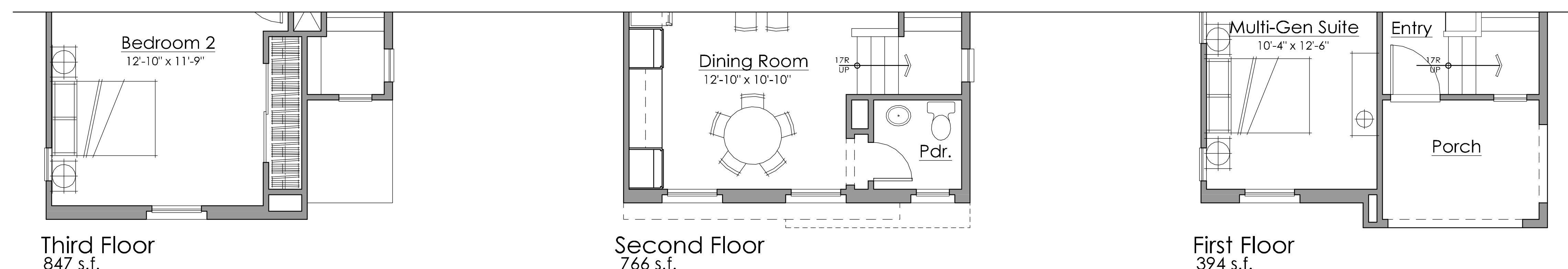
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Plan 3C Addenda



Plan 3B Addenda

WARD CREEK COTTAGES

AMG & Associates. LLC

16633 Ventura Blvd, Suite 1014
Encino CA 91436

PLAN 3 - Addenda

Hayward, Ca.

KTGY # 2014-0321

8.10.2015

KTGY Group Inc.
Architecture+Planning
580 Second Street, Suite 200
Oakland, California 94607
ktgy.com
510 272 2910A3.I-I
ktgy



WARD CREEK COTTAGES

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16633 Ventura Blvd, Suite 1014
Encino CA 91436

Plan 3A Exterior Elevations

Hayward, Ca.
KTGY # 2014-0321

8.10.2015

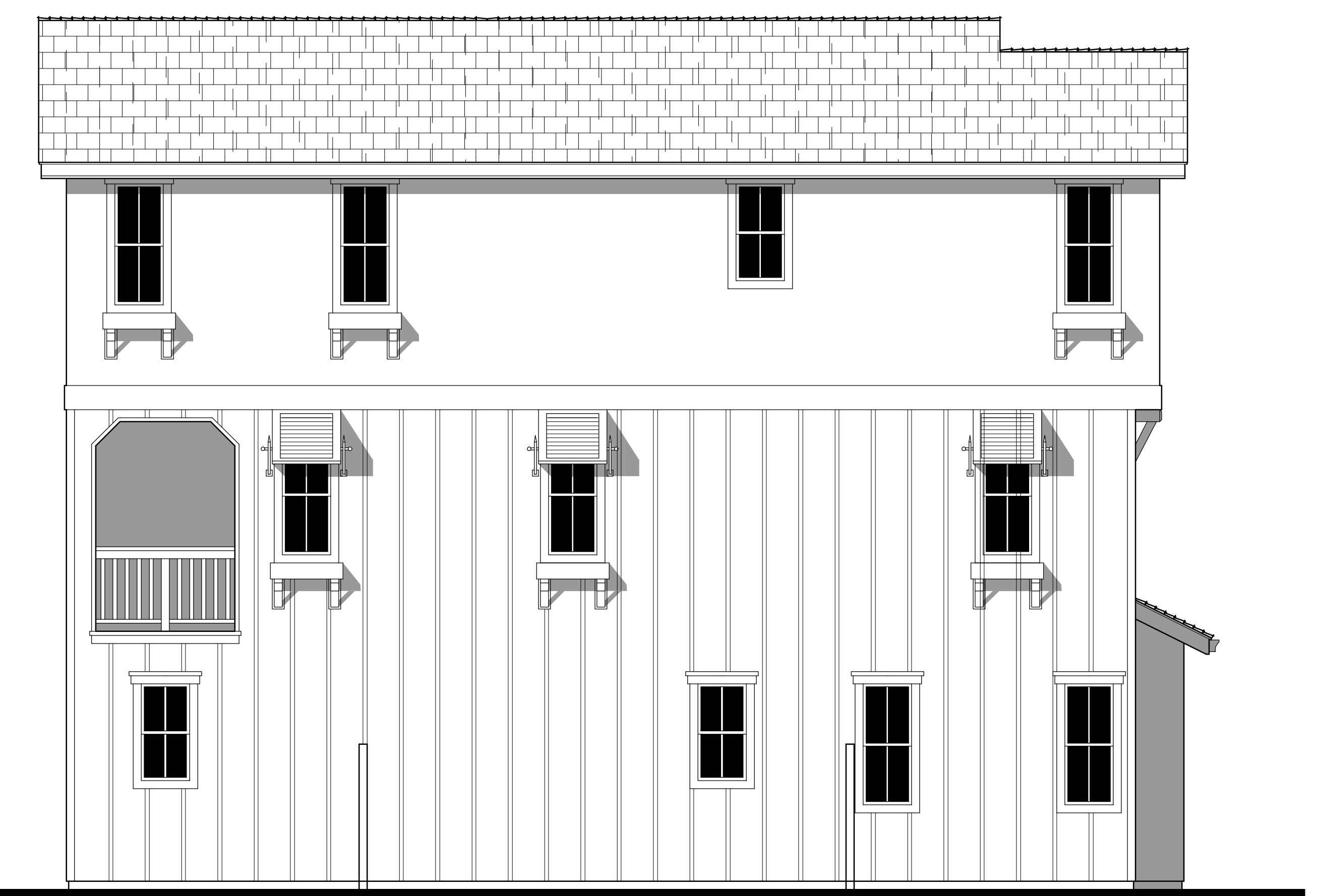
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510 272 2910

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A3.2



RIGHT AT ENHANCED LOTS ONLY



LEFT AT ENHANCED LOTS ONLY

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 Encino CA 91436

Plan 3A - Enhanced Exterior Elevations

Hayward, Ca.

KTGY # 2014-0321

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Hayward, Ca.

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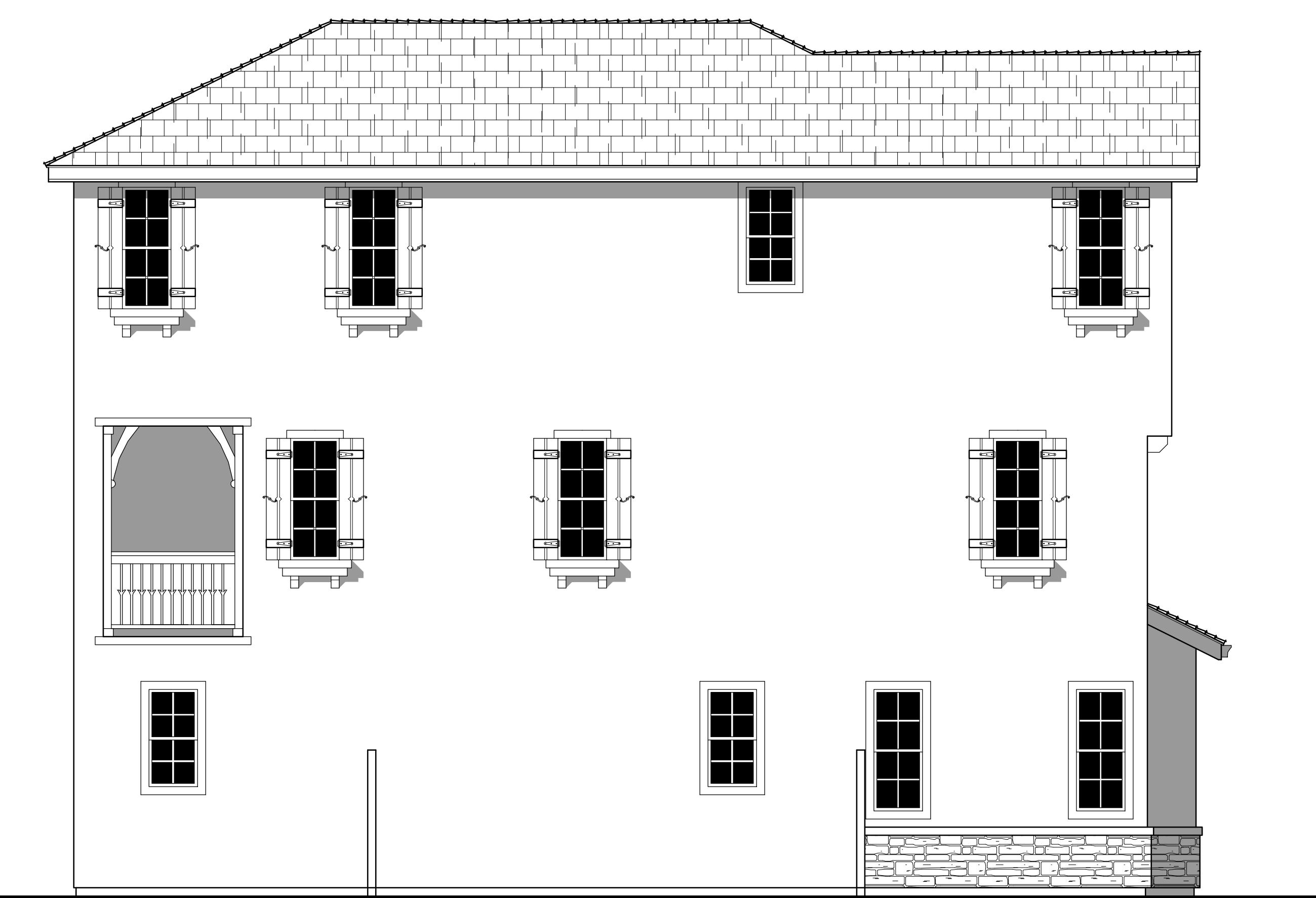
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510 272 2910

A3.4

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RIGHT AT ENHANCED LOTS ONLY



LEFT AT ENHANCED LOTS ONLY

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 Encino CA 91436

Plan 3B - Enhanced Exterior Elevations

Hayward, Ca.

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8.10.2015

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 510 272 2910

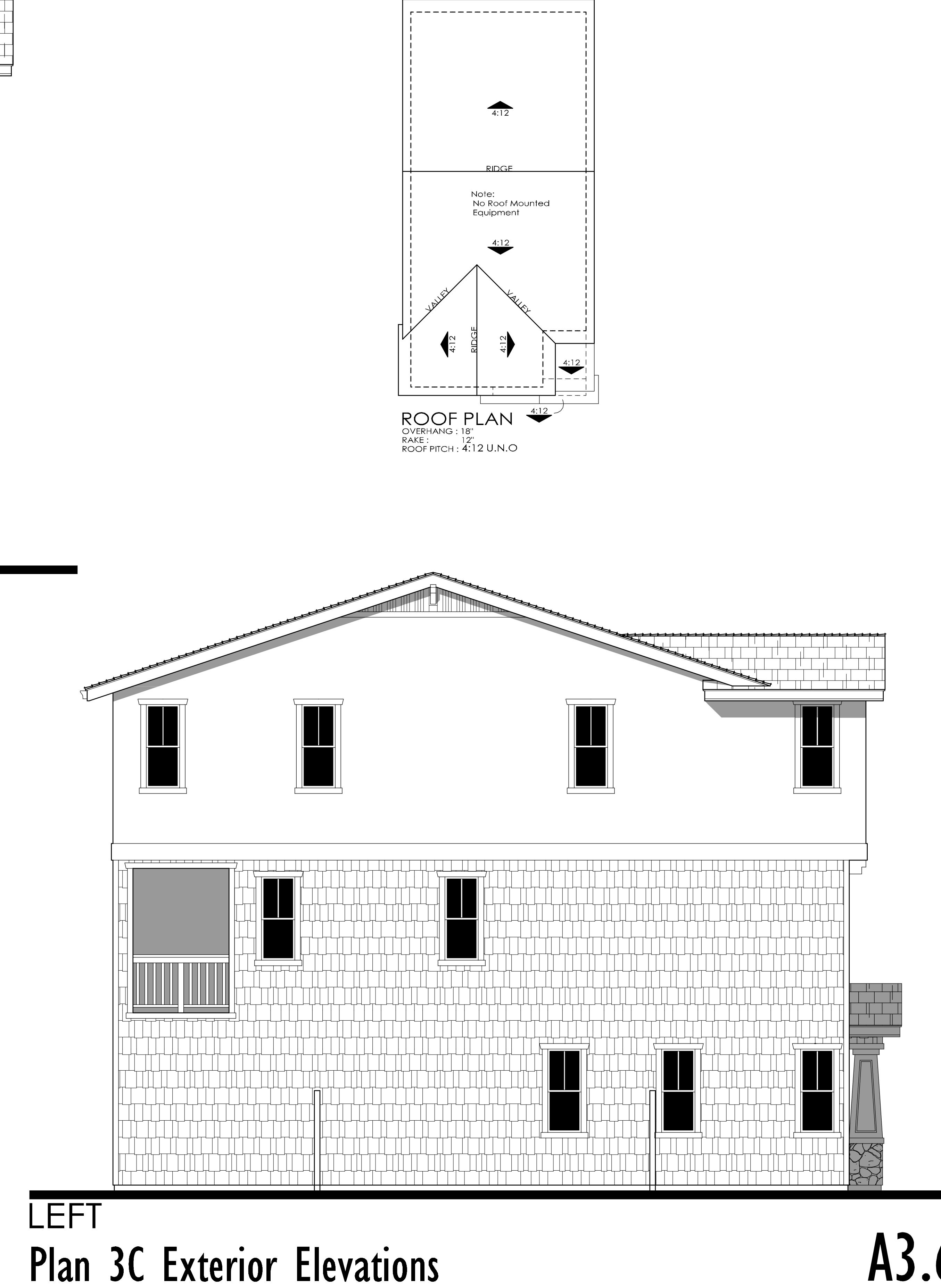
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RIGHT
WARD CREEK COTTAGES

AMG & Associates. LLC
16633 Ventura Blvd, Suite 1014
Encino CA 91436



LEFT
Plan 3C Exterior Elevations

Hayward, Ca.
KTGY # 2014-0321

8.10.2015

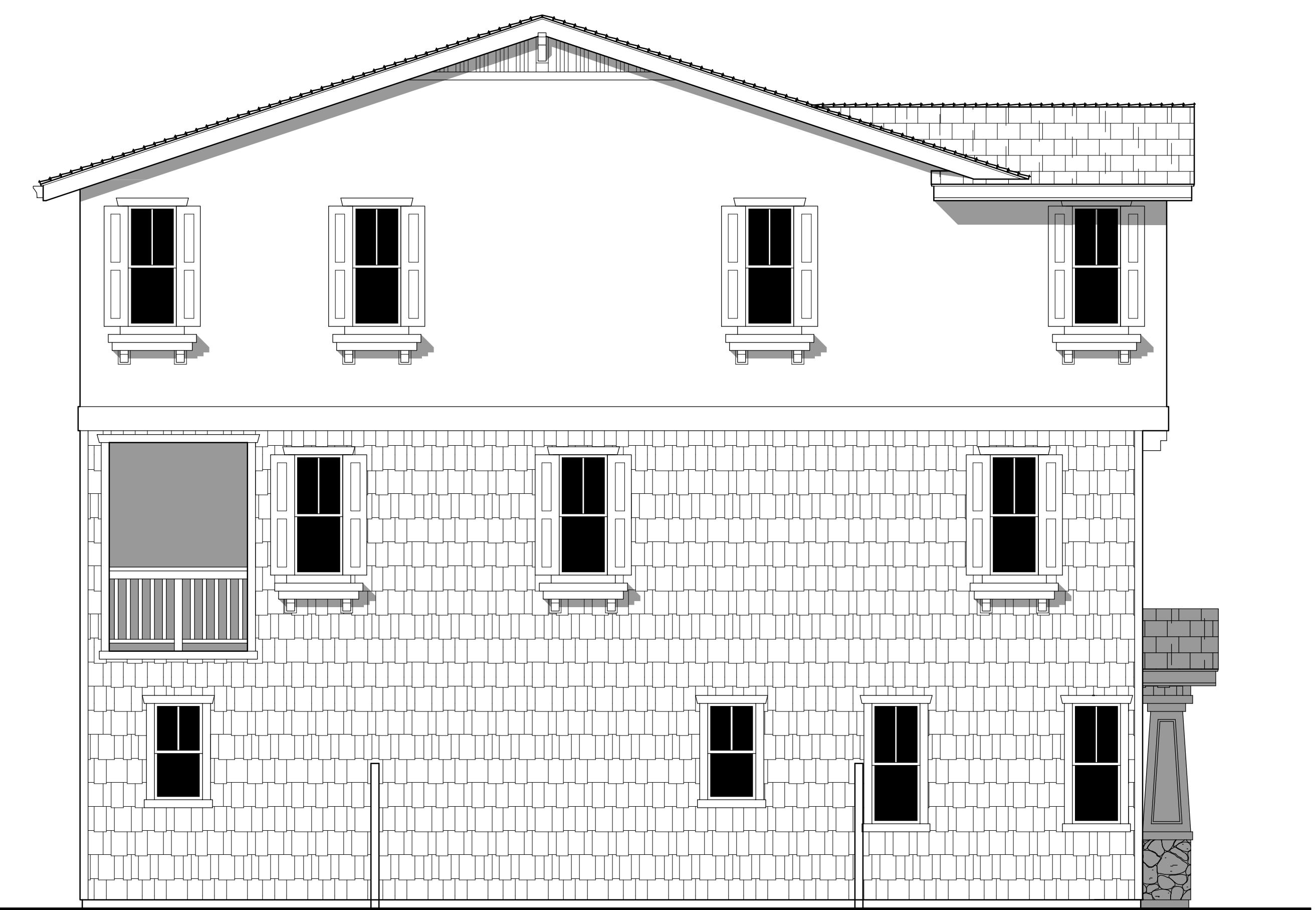
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Architecture+Planning
580 Second Street, Suite 200
Oakland, California 94607
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510 272 2910

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A3.6



RIGHT AT ENHANCED LOTS ONLY



LEFT AT ENHANCED LOTS ONLY

WARD CREEK COTTAGES

AMG & Associates. LLC

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Encino CA 91436

Plan 3C - Enhanced Exterior Elevations

Hayward, Ca.

KTGY # 2014-0321

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ELEVATION '4A' - NAPA VALLEY COTTAGE



ELEVATION '4B' - COTTAGE



ELEVATION '4C' - CRAFTSMAN

WARD CREEK COTTAGES

AMG & Associates. LLC

16633 Ventura Blvd, Suite 1014
Encino CA 91436

Plan 4 Elevations

A4.C

Hayward, Ca.
KTGY # 2014-0321

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ELEVATION '4B' - COTTAGE

4B - Cottage
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Siding/ Shingles
 Shutters
 Decorative Corbels
 Recessed Windows
 Enhanced Sills
 1x Stucco Finish Trim
 Stone Veneer



ELEVATION '4A' - NAPA VALLEY COTTAGE

4A - Napa Valley Cottage
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Board and Batt Siding
 Hurricane Shutters
 Decorative Kicker / Corbel
 Enhanced Sills
 1x Stucco Finish Trim



ELEVATION '4C' - CRAFTSMAN

WARD CREEK COTTAGES

AMG & Associates. LLC

16633 Ventura Blvd, Suite 1014
Encino CA 91436

Plan 4 Elevations

Hayward, Ca.
KTGY # 2014-0321

8.10.2015

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A4.0



WARD CREEK COTTAGES

AMG & Associates, LLC

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Encino CA 91436

PLAN 4 - 2,431 SQ. FT.

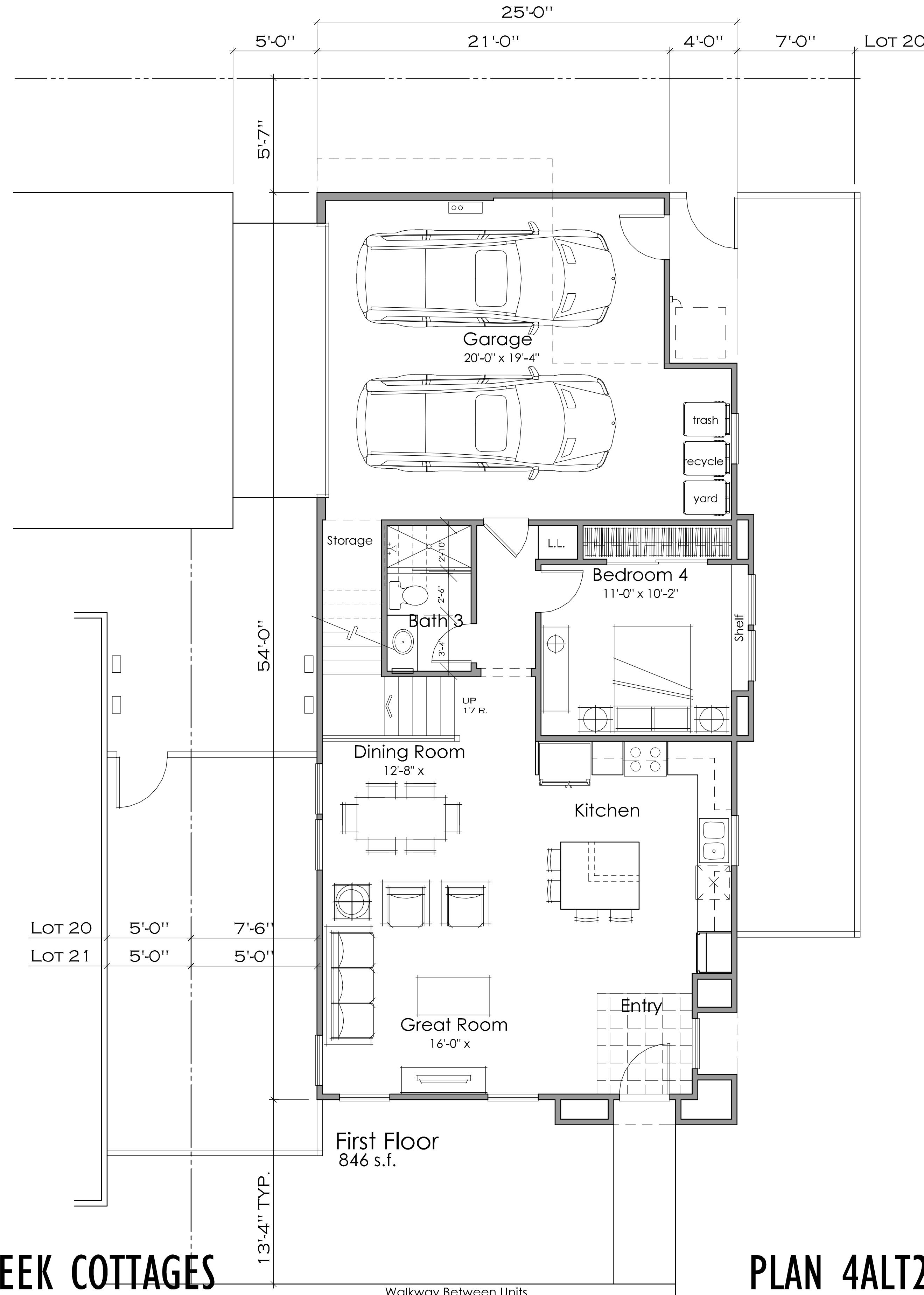
Hayward, Ca.

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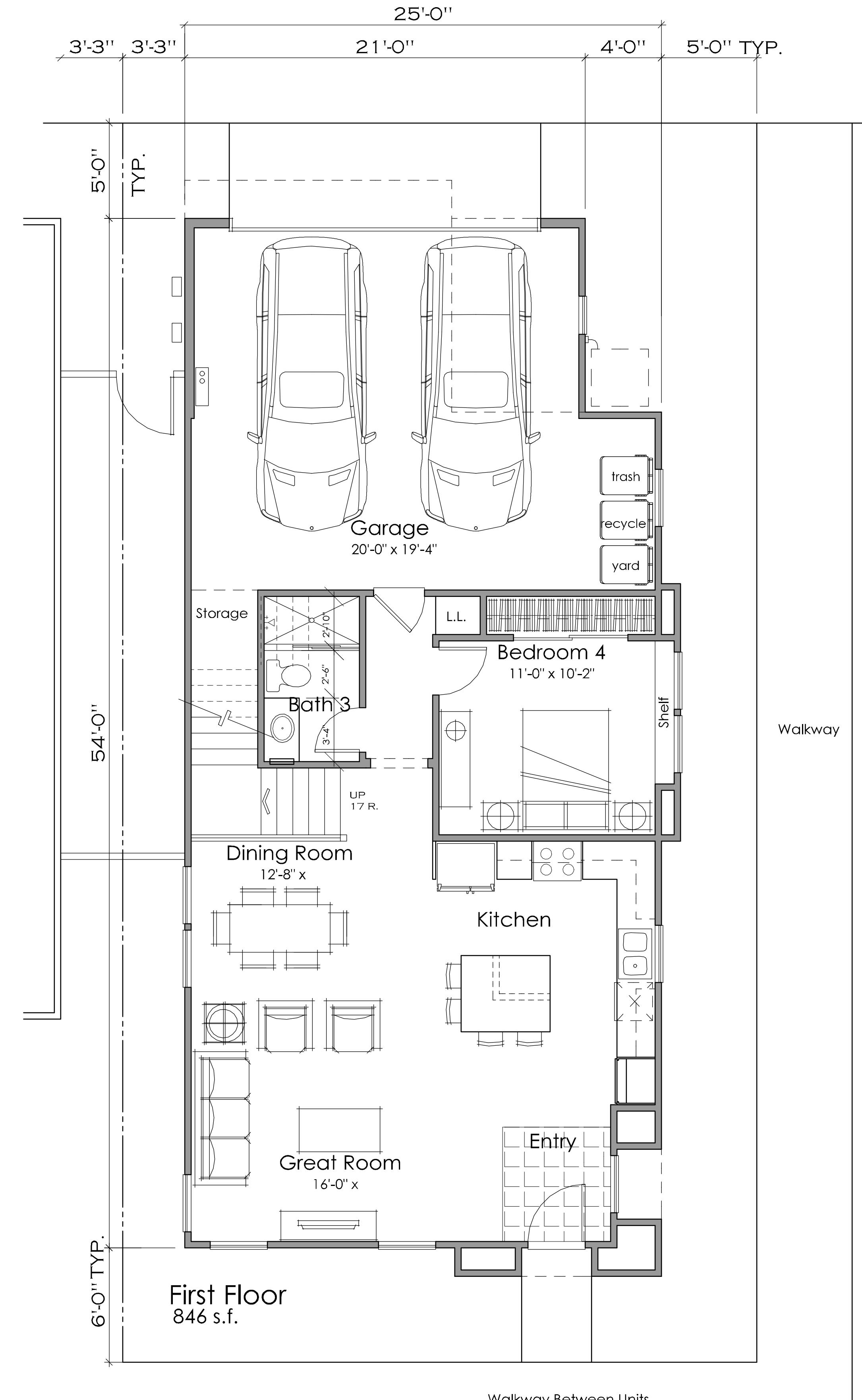
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WARD CREEK COTTAGES

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A4.I.I



WARD CREEK COTTAGES

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PLAN 4B - Addenda

Hayward, Ca.
KTGY # 2014-0321

8.10.2015

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WARD CREEK COTTAGES

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Encino CA 91436

PLAN 4C - Addenda

Hayward, Ca.

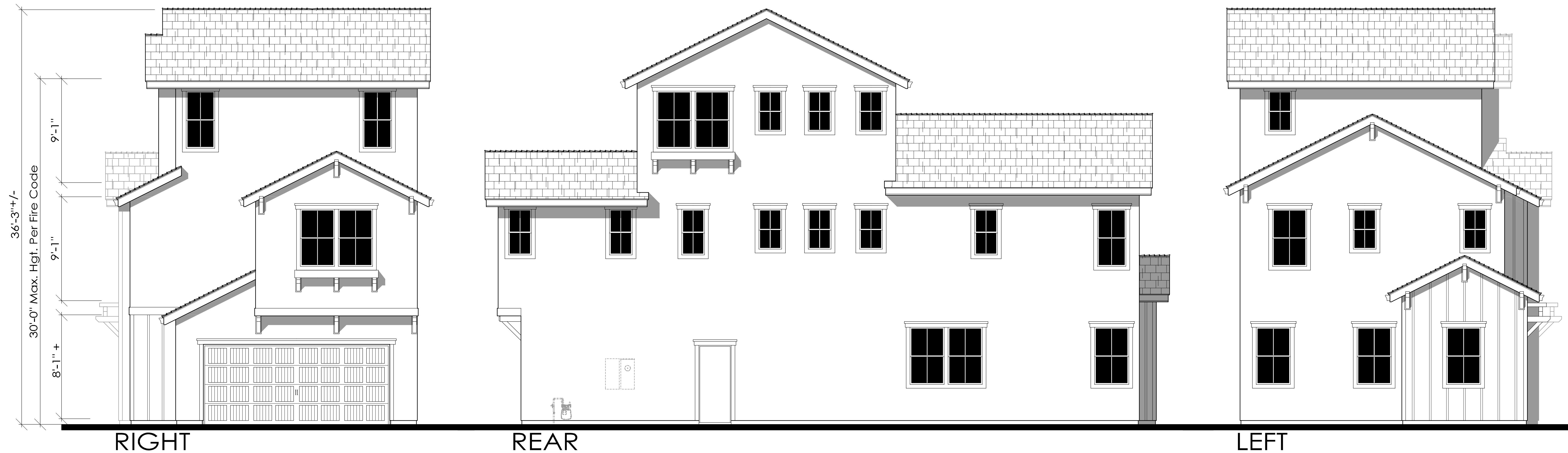
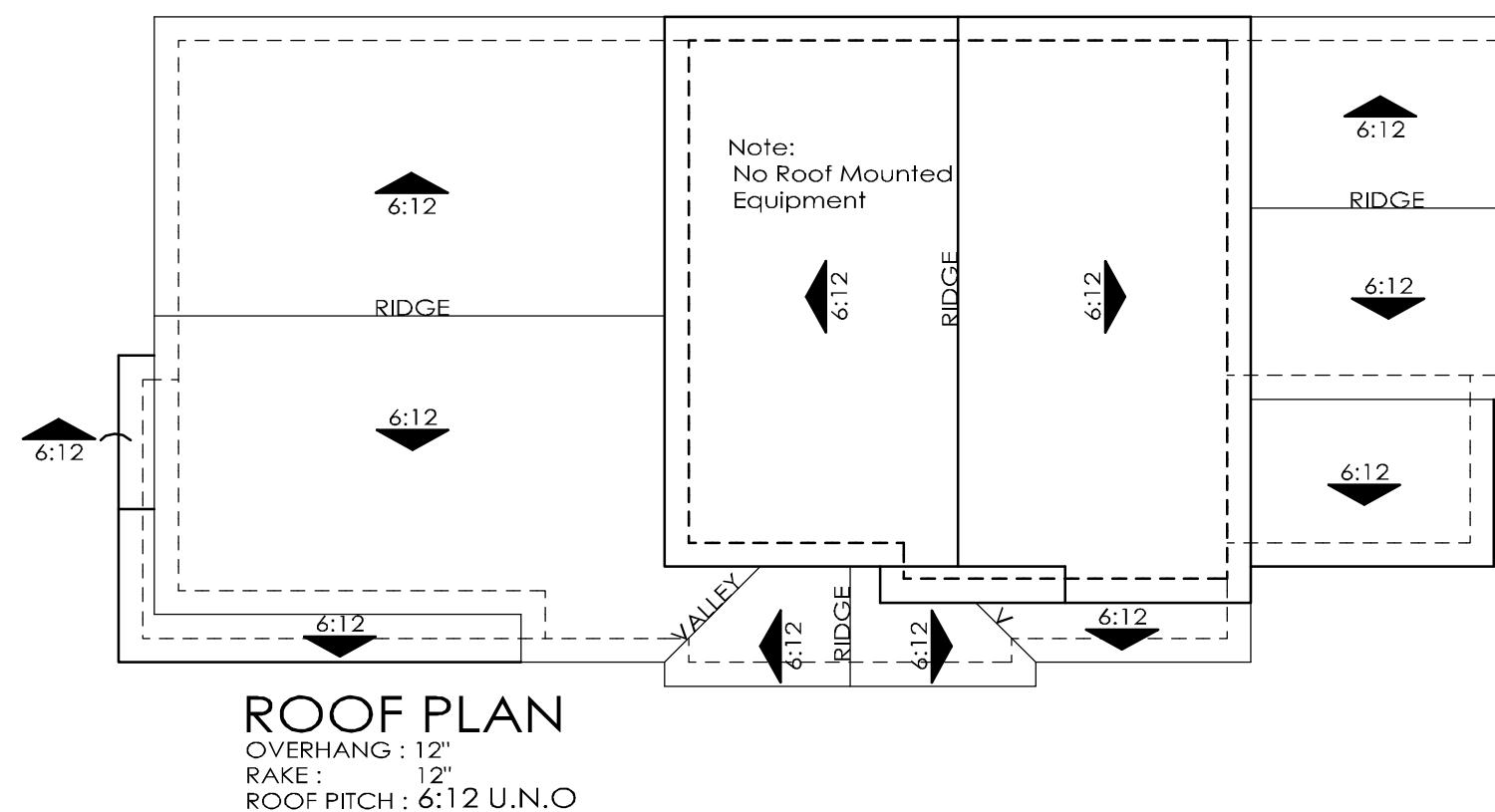
KTGY # 2014-0321

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510 272 2910

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A4.1-2



WARD CREEK COTTAGES

AMG & Associates. LLC

**16633 Ventura Blvd, Suite 1014
Encino CA 91436**

Plan 4A Exterior Elevations

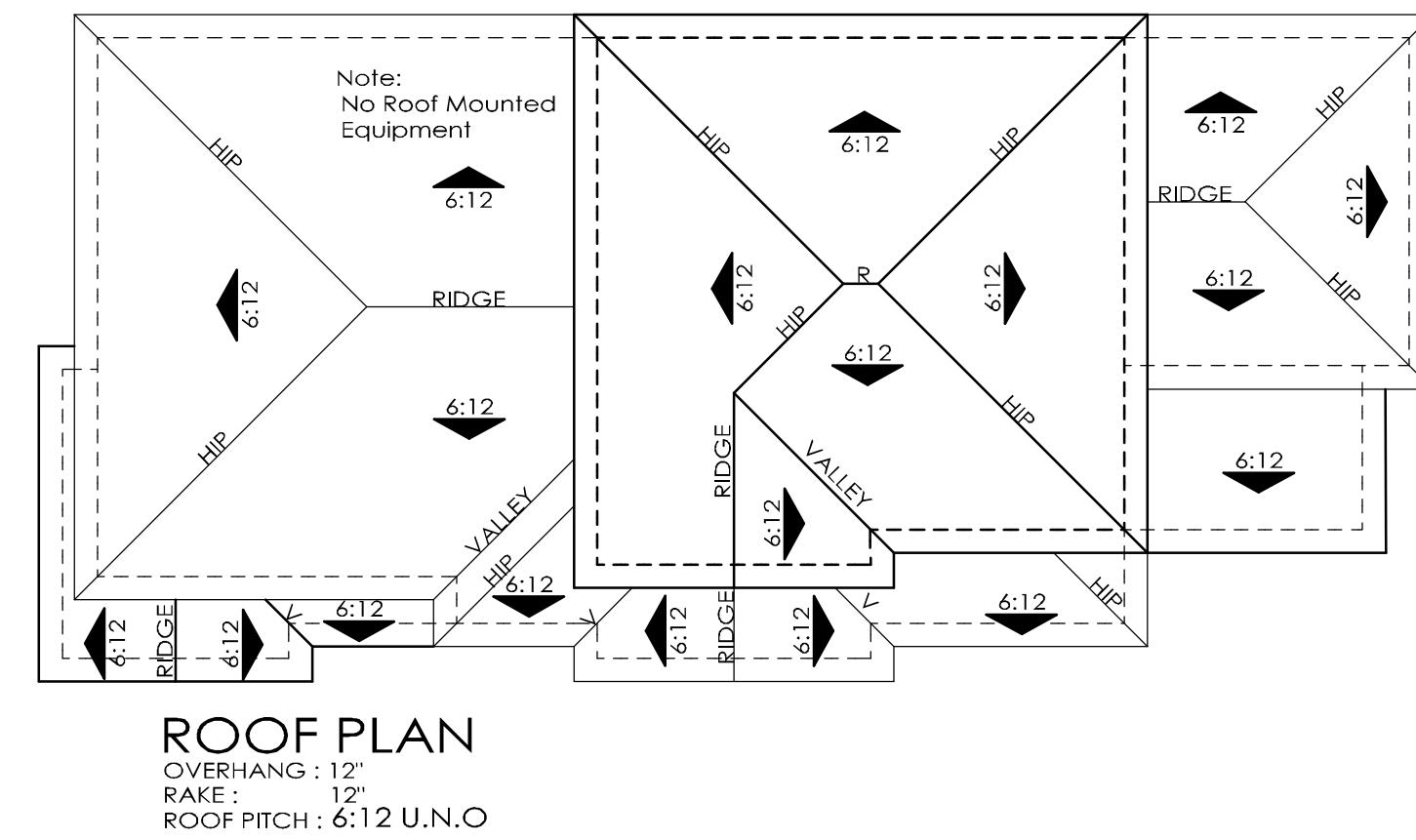
Hayward, Ca.

KTGY # 2014-0321

8 10 2015

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ktgy.com
510 272 2910

ktgy



WARD CREEK COTTAGES

AMG & Associates. LLC

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Encino CA 91436

Plan 4B Exterior Elevations

Hayward , Ca.

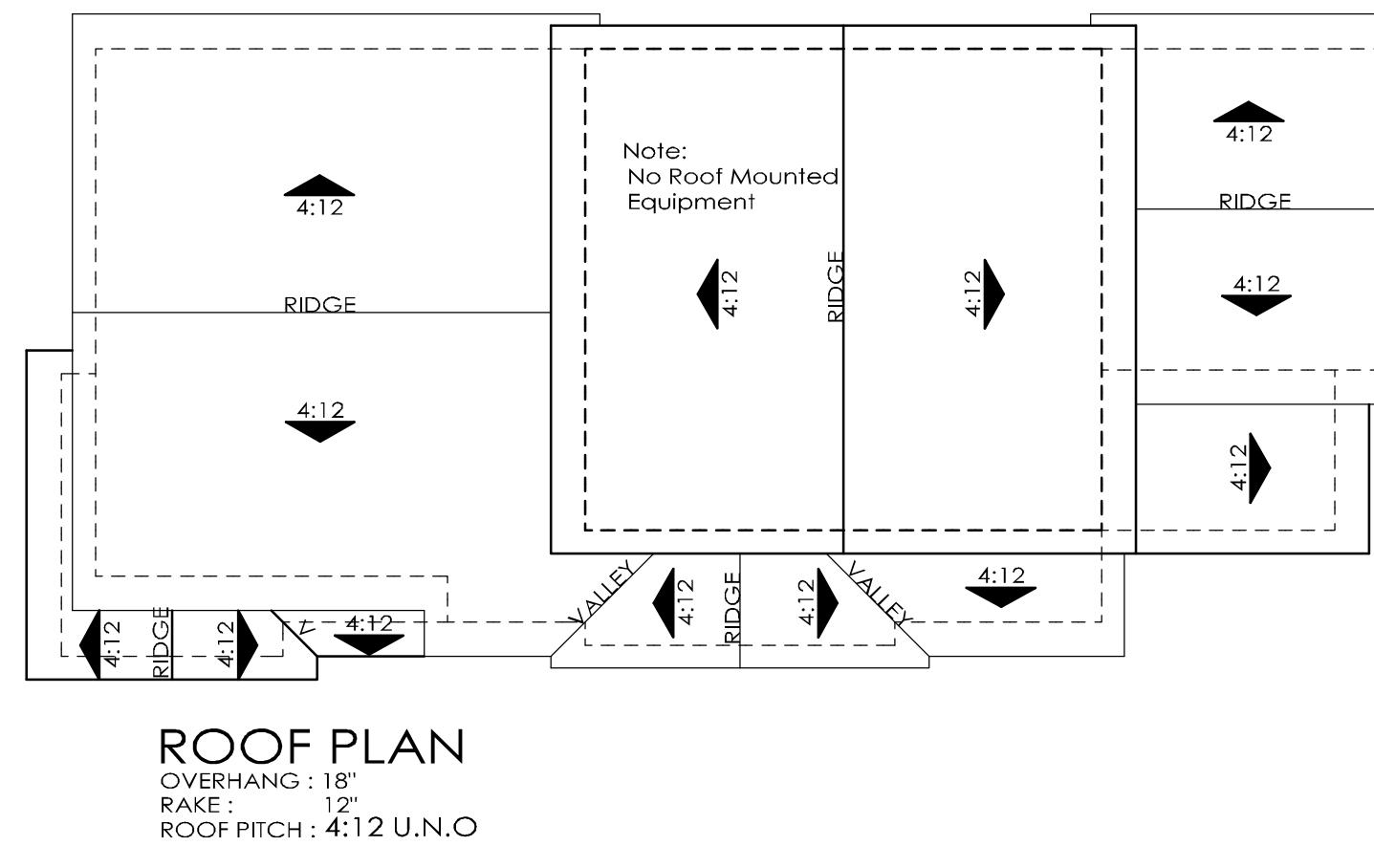
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Oakland, California 94607
ktgy.com
510 272 2910

A4.3

Kitgym



WARD CREEK COTTAGES

AMG & Associates. LLC

**16633 Ventura Blvd, Suite 1014
Encino CA 91436**

Plan 4C Exterior Elevations

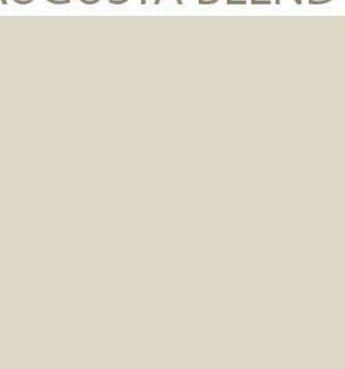
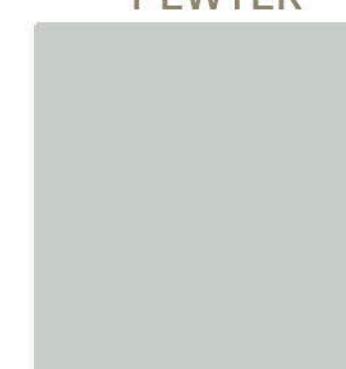
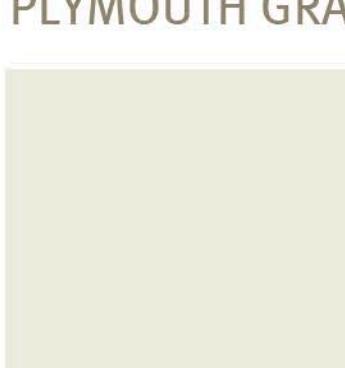
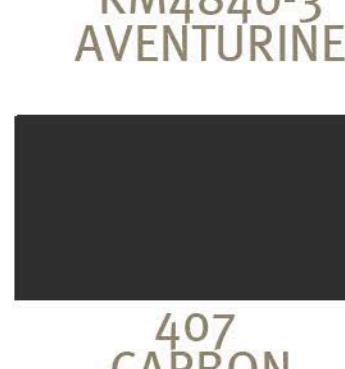
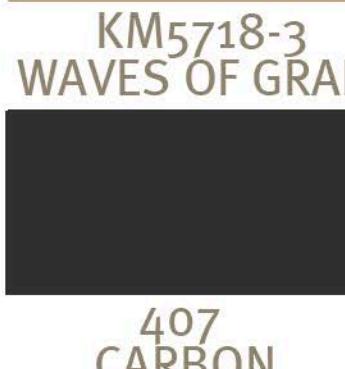
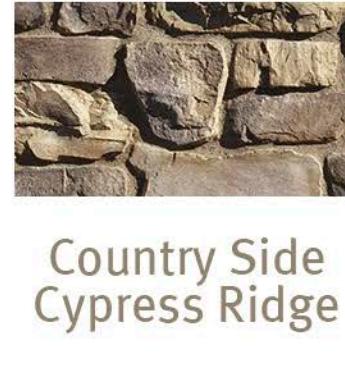
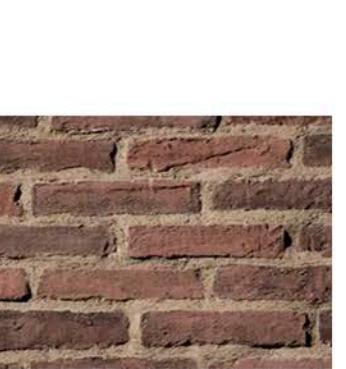
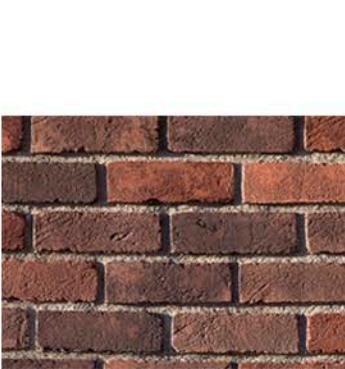
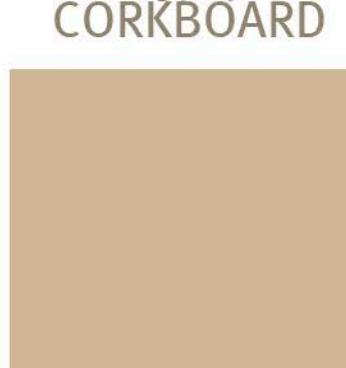
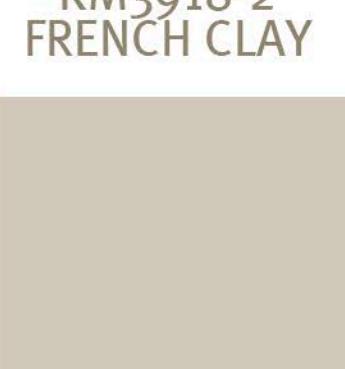
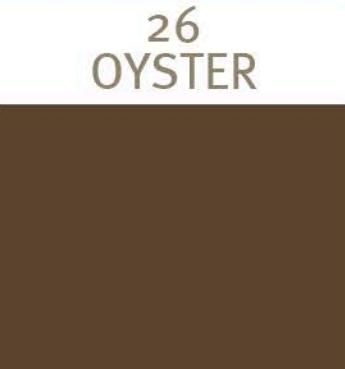
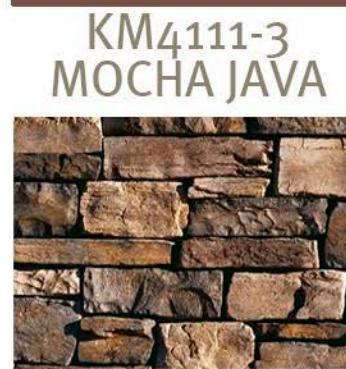
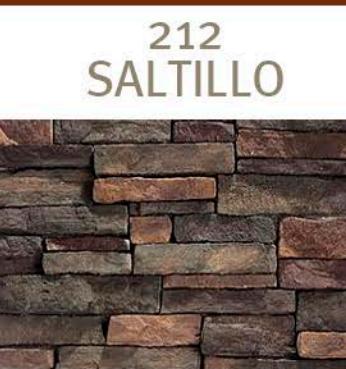
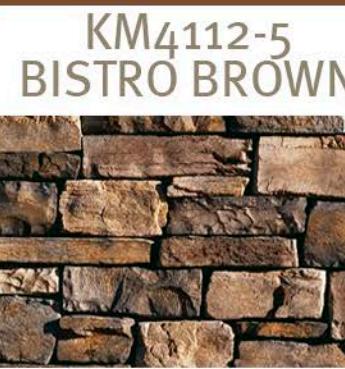
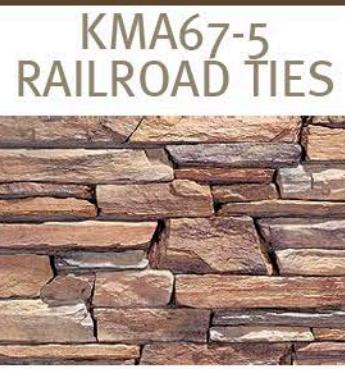
Hayward, Ca.
KTGY # 2014-0321

8 10 2015

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Oakland, California 94607
ktgy.com
510 272 2910

A4.4

1 k t g y

Napa Valley Cottage Elevations			Craftsman Elevations				Cottage Elevations				
Roof Tile: Flat Slate	1	2	3	4	5	6	7	8	9	10	11
											
Stucco Body											
Siding											
Fascia/ Eaves/ Trim / Garage Doors											
Front Doors/ Shutters											
Wrt. Iron / Decorative Metal											
Brick Veneer											
	Bracciano RomaBrick	Castello RomaBrick	Hartford Brick								
Roof Tile: Flat Shake				4	5	6	7				
Stucco Body											
Shingles											
Horizontal Siding/ Gable Siding/ Gable Shingles											
Fascia/ Eaves/ Outlookers / Trim Posts/Columns / Wood Railing / Garage Doors											
Front Doors/ Shutters											
Stone Veneer - Standard Joints											
											

WARD CREEK COTTAGES

AMG & Associates. LLC

16633 Ventura Blvd, Suite 1014
Encino, CA 91436

COLOR & MATERIALS BOARD

Hayward, Ca.

KTGY # 2014-0321

06.15.2015

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A5.C
ktgy
Architecture+Planning

WARD CREEK COTTAGES

VESTING TENTATIVE MAP, TRACT 8233

WALPERT & 2ND STREETS
HAYWARD, CALIFORNIA

PROJECT TEAM :

DEVELOPER

AMG & ASSOCIATES LLC
ALEXIS GEVORGIAN
16633 VENTURA BLVD. - SUITE 1014
ENCINO, CA. 91436
(818) 380-2600, ext. 14

CIVIL ENGINEER

CARLSON, BARBEE & GIBSON, INC.
GREG MILLER
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322

ARCHITECT

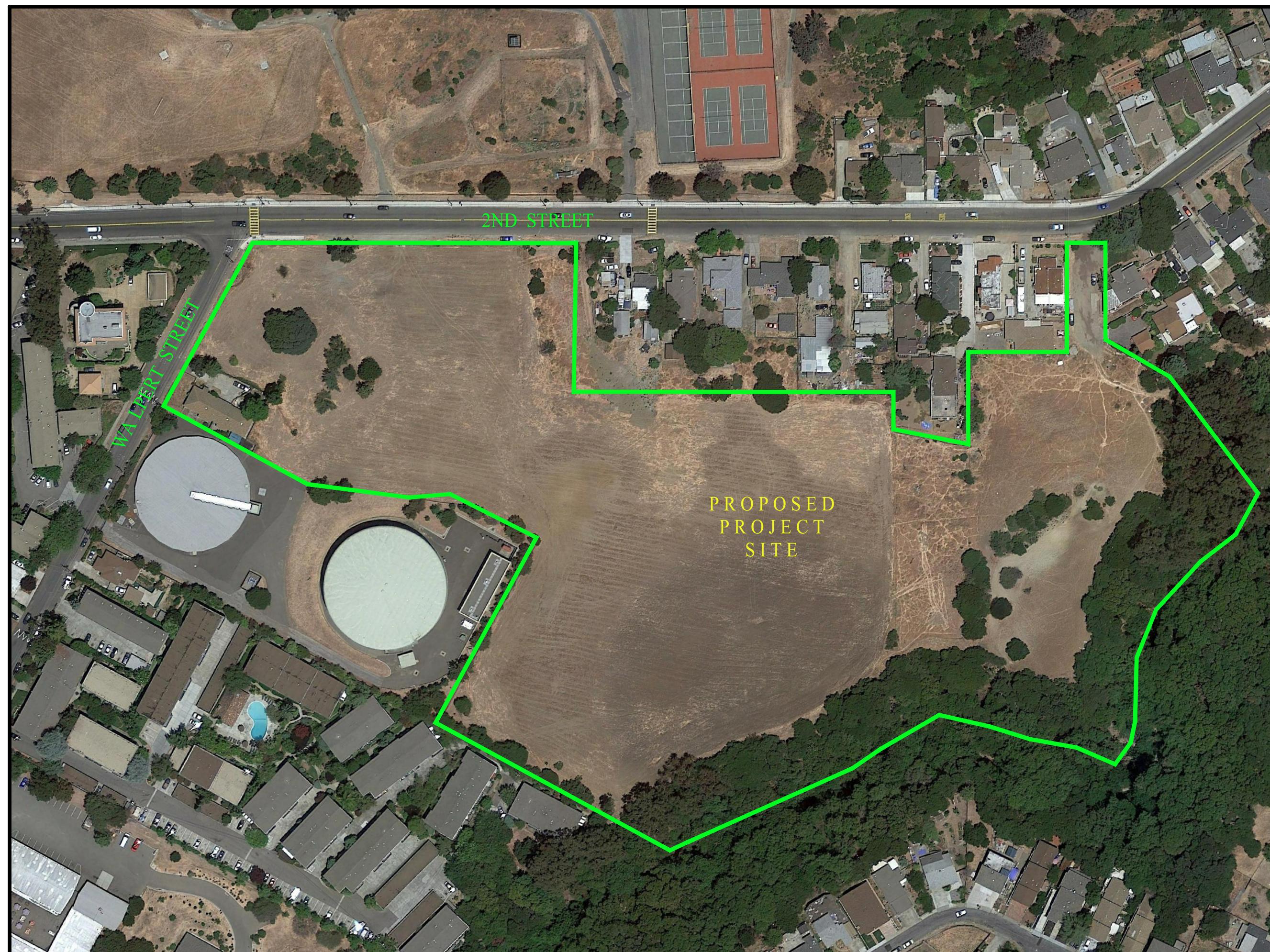
KTGY ARCHITECTURE + PLANNING
JILL WILLIAMS
580 SECOND STREET, SUITE 200
OAKLAND, CA 94607
(510) 272-2910

LANDSCAPE ARCHITECT

GOLDEN ASSOCIATES
LESLIE GOLDEN
4400 MARKET STREET
OAKLAND, CA 94608
(510) 465-4030

SOILS ENGINEER

PRA GROUP
1041 HOOK AVENUE
PLEASANT HILL, CA 94523
(925) 938-2801



PROJECT INFORMATION :

SITE AREA:	14.9 ± ACRES
A.P.N. :	445-0040-011-03, 445-0050-010-01, 445-0050-010-18, 445-0050-010-19 AND A PORTION OF 445-0050-010-09
PROPOSED ZONING:	"PD" - PLANNED DEVELOPMENT
EXISTING ZONING:	"SD7", "RM", "RH", "A" AND "OS"
PROPOSED LAND USE:	97 SINGLE FAMILY DETACHED UNITS

SHEET INDEX:

T1

TITLE SHEET

CIVIL PLANS:

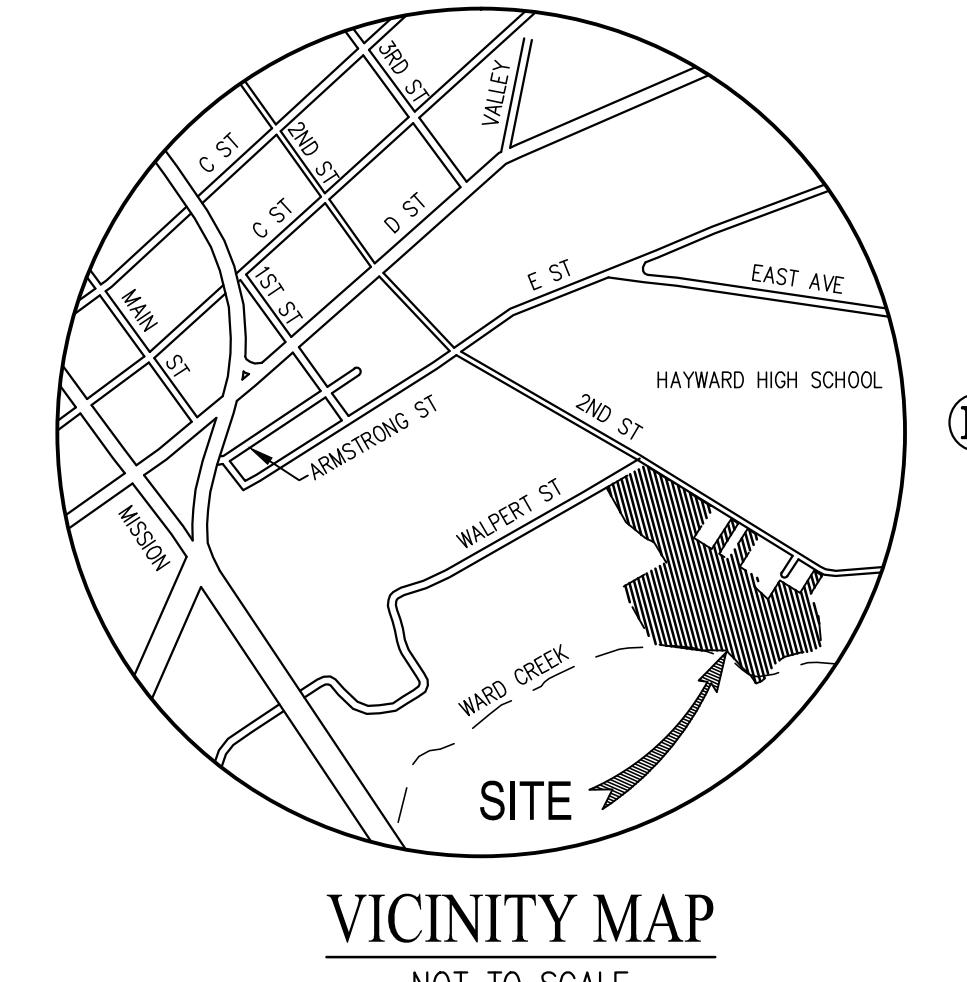
- TM-1 PLANNED DEVELOPMENT - SITE PLAN
- TM-2 EXISTING CONDITIONS
- TM-3 PRELIMINARY LOTTING PLAN
- TM-4 PRELIMINARY GRADING PLAN
- TM-5 PRELIMINARY UTILITY PLAN
- TM-6 PRELIMINARY STORMWATER MANAGEMENT PLAN
- TM-7 FIRE ACCESS AND SERVICE PLAN
- TM-8 GRADING CROSS SECTIONS

ARCHITECTURAL PLANS :

- A0.2 OPEN SPACE EXHIBIT
- A1.0 PLAN 1 ELEVATIONS
- A1.1 PLAN 1 PLANS
- A2.0 PLAN 2 ELEVATIONS
- A2.1 PLAN 2 PLANS
- A3.0 PLAN 3 ELEVATIONS
- A3.1 PLAN 3 ELEVATIONS
- A3.2 PLAN 3 PLANS
- A4.0 PLAN 4 ELEVATIONS
- A4.1 PLAN 4 PLANS

LANDSCAPE PLANS :

- L1.0 TREE MITIGATION PLAN
- L1.1 TREE MITIGATION PLAN
- L1.2 TREE MITIGATION PLAN
- L2.0 PRELIMINARY PAVING & MATERIALS PLAN
- L2.1 PRELIMINARY MATERIALS - PHOTOS AND DETAILS
- L2.2 PRELIMINARY MATERIALS - PHOTOS AND DETAILS
- L3.0 PRELIMINARY PLANTING PLAN
- L3.1 PRELIMINARY HYDROZONE PLAN
- L3.2 PRELIMINARY PLANTING INSPIRATION
- L3.3 PRELIMINARY PLANTING MATERIALS
- L3.4 PRELIMINARY PLANTING MATERIALS



AMG

cbg
Carlson, Barbee
Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
2633 Camino Ramon, Suite 350 • San Ramon, CA 94583
925-866-0322
www.cbgeng.com

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ARCHITECTURE + PLANNING

GOLDEN
associates

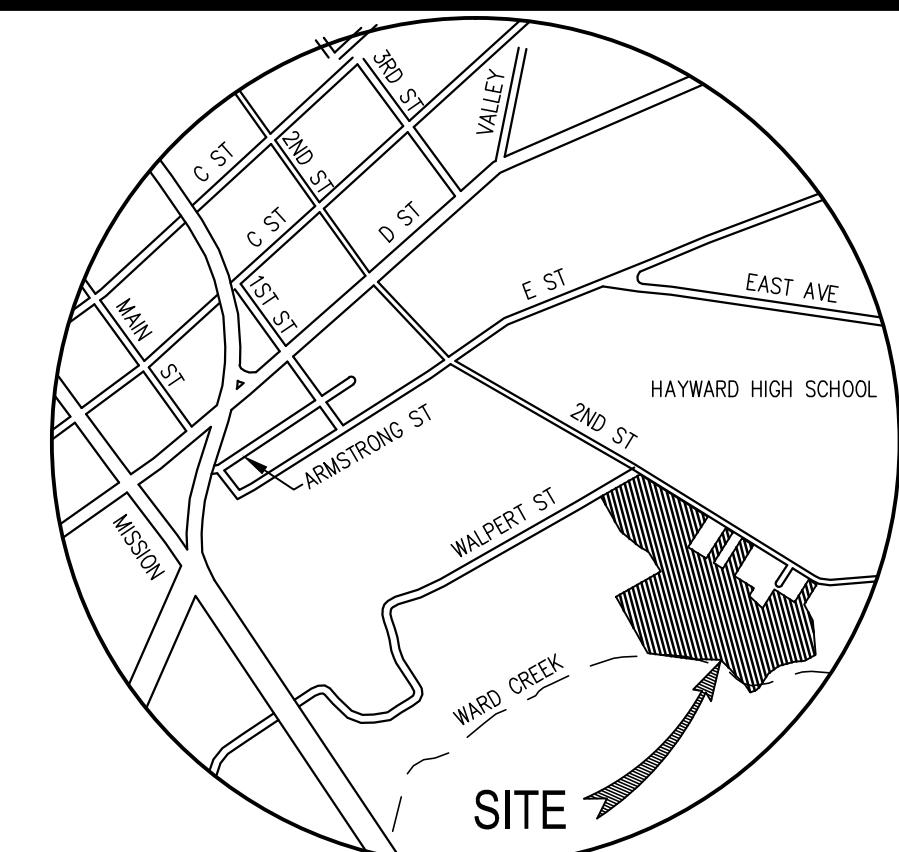
T1

AUGUST 11, 2015

LEGEND:

EXISTING	PROPOSED
+ 500	+ 500
12	12
○	●
□	■
—	—
—	—
— [EX SS]	— [SS]
— [EX SD]	— [SSFM]
— [W]	— [SD]
WATER LINE	WATER LINE
SPOT ELEVATION	R/W RIGHT OF WAY
LOT NUMBER	CB CATCH BASIN
MANHOLE	FI FIELD INLET
SIDWALK	MH MANHOLE
CATCH BASIN	PL PROPERTY LINE
FIELD INLET	SD STORM DRAIN
SUBDIVISION BOUNDARY	SDE STORM DRAIN EASEMENT
RIGHT OF WAY	SS SANITARY SEWER
LOT LINE	P PAD
RETAINING WALL	PAE PEDESTRIAN ACCESS EASEMENT
EASEMENT LINE	PUE PUBLIC UTILITY EASEMENT
PROPOSED TRAIL	
SANITARY SEWER MAIN	
SANITARY SEWER FORCE MAIN	
STORM DRAIN LINE	

ABBREVIATIONS:



CONTACTS:

1. DEVELOPER: AMG & ASSOCIATES LLC, 16633 VENTURA BLVD., SUITE 1014, ENCINO, CA, 91346, ATTN: ALEXIS GEVORGIAN
2. CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC., 2633 CAMINO RAMON, SUITE 350, SAN RAMON, CA 94583, ATTN: GREG MILLER
3. GEOTECHNICAL ENGINEER: PRA GROUP INC., 1041 HOOK AVENUE, PLEASANT HILL, CA 94523
4. ARCHITECT: KTGY ARCHITECTURE + PLANNING, 580 SECOND STREET, SUITE 200, OAKLAND, CA 94607, ATTN: JILL WILLIAMS
5. LANDSCAPE ARCHITECT: GOLDEN ASSOCIATES, 4400 MARKET STREET, OAKLAND, CA 94608, ATTN: LESLIE GOLDEN

1. BENCHMARK: CITY OF HAYWARD BENCHMARK - MONUMENT DISC AT THE INTERSECTION OF WALPERT STREET AND 2ND STREET ELEVATION: 253.34 (NGVD 29)

2. BASIS OR BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS DETERMINED BY FOUND MONUMENTS IN WALPERT STREET, THE BEARING BEING N 60°34'30" W PER 112 M 75.

3. SITE ADDRESS: INTERSECTION OF WALPERT STREET AND 2ND STREET

4. APN: 445-0040-011-03, 445-0050-010-01, 445-0050-010-18, 445-0050-010-19, AND A PORTION OF 445-0050-010-09

5. SITE AREA: 14.9± ACRES

6. EXISTING/PROPOSED ZONING: SD7, RM, RH, A, OS / PD-PLANNED DEVELOPMENT

7. EXISTING LAND USE: OPEN SPACE WITH 1 SINGLE FAMILY HOME

8. PROPOSED LAND USE: SINGLE FAMILY DETACHED UNITS

9. RESIDENTIAL UNITS: SINGLE FAMILY DETACHED: 97 UNITS

10. DENSITY: GROSS: 6.5 DU'S/AC. NET: 12.1 DU'S/AC.

11. STREETS: PRIVATE STREETS ARE TO BE PRIVATELY MAINTAINED.

12. SANITARY SEWER: CITY OF HAYWARD

13. STORM DRAIN: CITY OF HAYWARD

14. WATER: EAST BAY MUNICIPAL UTILITIES DISTRICT

15. GAS & ELECTRIC: PACIFIC GAS & ELECTRIC

16. TELEPHONE: TBD

17. CABLE TV: TBD

18. FLOOD ZONE: THE SITE IS IN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN. COMMUNITY PANEL NO: 06001C 0287 G DATED AUGUST 3, 2009

19. STREET TREES AND LIGHTS: STREET TREES AND LIGHTS ARE TO BE PRIVATELY MAINTAINED.

20. HOME OWNERS ASSOCIATION: A HOMEOWNERS ASSOCIATION WILL BE FORMED TO OWN AND MAINTAIN PRIVATE STREETS, DRIVE AISLES, PRIVATE UTILITIES, STORM DRAINAGE FACILITIES AND LANDSCAPE PARCELS.

21. CONTOURS: EXISTING CONTOUR INTERVAL: 2 FOOT

22. GRADING: PROPOSED GRADING AS SHOWN IS PRELIMINARY, AND IS SUBJECT TO FINAL DESIGN, CORRECTIVE AND TRANSITION GRADING IN ORDER TO DAYLIGHT, BALANCE AND ENSURE PROPER DRAINAGE MAY BE REQUIRED OUTSIDE OF THE PRECISE GRADING LIMITS SHOWN.

23. WALLS: ALL WALLS ARE TO BE PRIVATELY MAINTAINED BY THE HOA.

24. DIMENSIONS: DIMENSIONS AS SHOWN ARE PRELIMINARY AND SUBJECT TO THE FINAL MAP.

GENERAL NOTES:

CITY OF HAYWARD BENCHMARK - MONUMENT DISC AT THE INTERSECTION OF WALPERT STREET AND 2ND STREET ELEVATION: 253.34 (NGVD 29)

THE BASIS OF BEARINGS FOR THIS SURVEY IS DETERMINED BY FOUND MONUMENTS IN WALPERT STREET, THE BEARING BEING N 60°34'30" W PER 112 M 75.

INTERSECTION OF WALPERT STREET AND 2ND STREET

445-0040-011-03, 445-0050-010-01, 445-0050-010-18, 445-0050-010-19, AND A PORTION OF 445-0050-010-09

SD7, RM, RH, A, OS / PD-PLANNED DEVELOPMENT

OPEN SPACE WITH 1 SINGLE FAMILY HOME

SINGLE FAMILY DETACHED UNITS

SINGLE FAMILY DETACHED: 97 UNITS

GROSS: 6.5 DU'S/AC. NET: 12.1 DU'S/AC.

PRIVATE STREETS ARE TO BE PRIVATELY MAINTAINED.

CITY OF HAYWARD

CITY OF HAYWARD

EAST BAY MUNICIPAL UTILITIES DISTRICT

PACIFIC GAS & ELECTRIC

TBD

TBD

STREET TREES AND LIGHTS ARE TO BE PRIVATELY MAINTAINED.

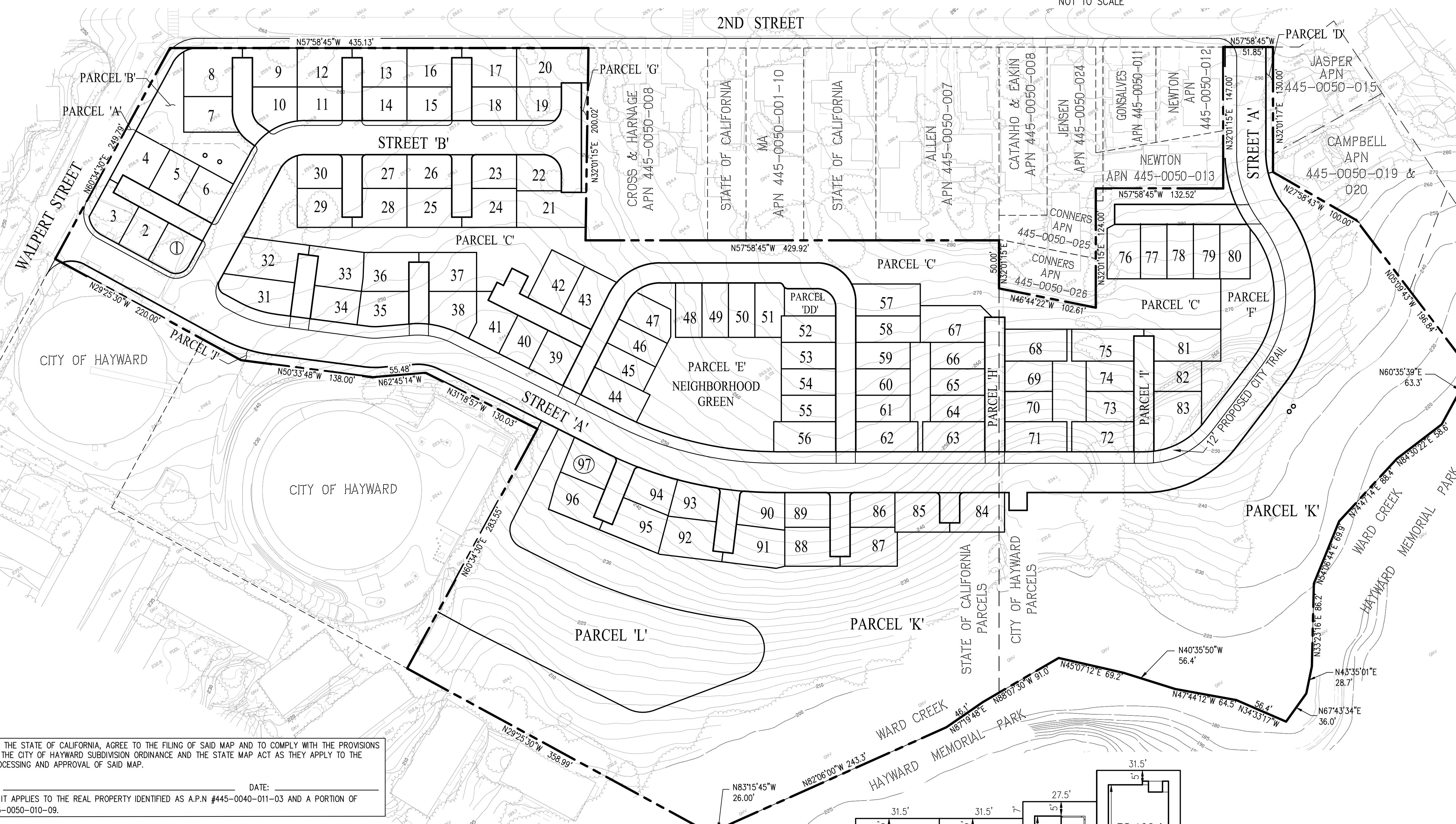
A HOMEOWNERS ASSOCIATION WILL BE FORMED TO OWN AND MAINTAIN PRIVATE STREETS, DRIVE AISLES, PRIVATE UTILITIES, STORM DRAINAGE FACILITIES AND LANDSCAPE PARCELS.

EXISTING CONTOUR INTERVAL: 2 FOOT

PROPOSED GRADING AS SHOWN IS PRELIMINARY, AND IS SUBJECT TO FINAL DESIGN, CORRECTIVE AND TRANSITION GRADING IN ORDER TO DAYLIGHT, BALANCE AND ENSURE PROPER DRAINAGE MAY BE REQUIRED OUTSIDE OF THE PRECISE GRADING LIMITS SHOWN.

ALL WALLS ARE TO BE PRIVATELY MAINTAINED BY THE HOA.

DIMENSIONS AS SHOWN ARE PRELIMINARY AND SUBJECT TO THE FINAL MAP.



WE, THE STATE OF CALIFORNIA, AGREE TO THE FILING OF SAID MAP AND TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.

DATE: _____
AS IT APPLIES TO THE REAL PROPERTY IDENTIFIED AS A.P.N. #445-0040-011-03 AND A PORTION OF 445-0050-010-09.

I, ALEXIS GEVORGIAN, AGREE TO THE FILING OF SAID MAP AND TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.

BY: ALEXIS GEVORGIAN - AMG & ASSOCIATES, LLC DATE: _____

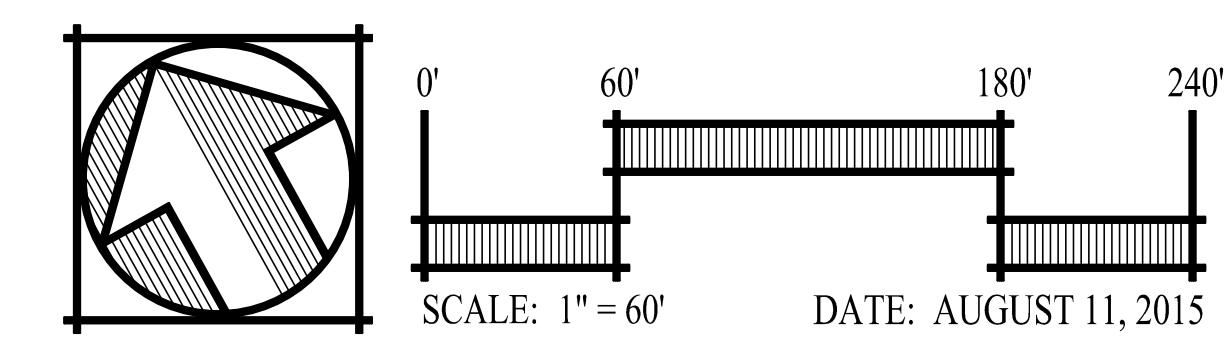
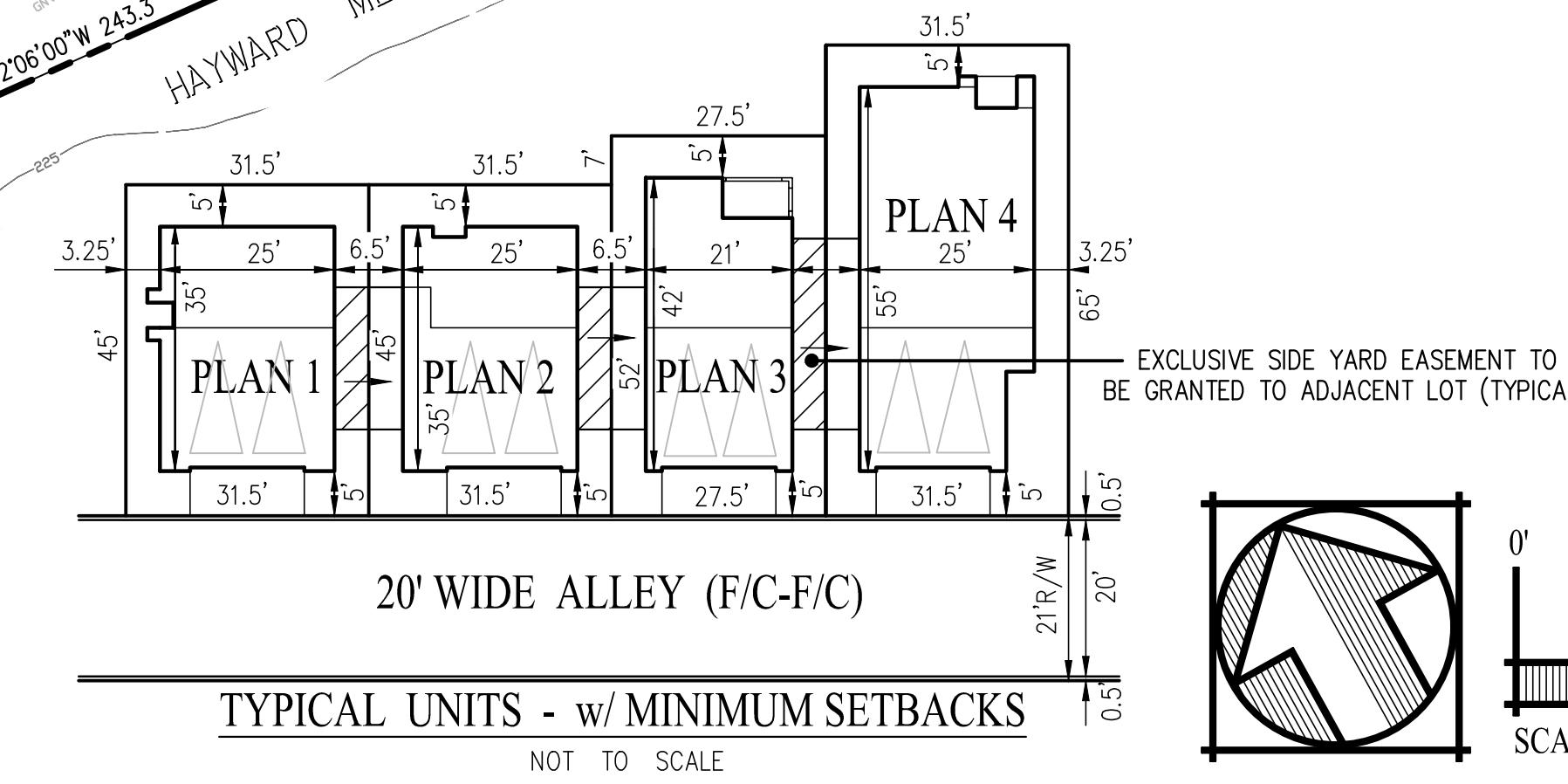
I, FRANCES DAVID, AGREE TO THE FILING OF SAID MAP AND TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.

BY: FRANCES DAVID - CITY OF HAYWARD DATE: _____

AS IT APPLIES TO THE REAL PROPERTY IDENTIFIED AS A.P.N. #445-0050-010-01, 445-0050-018-00 AND 445-0050-019-00

A SOILS REPORT ON THIS PROPERTY HAS BEEN PREPARED BY PRA GROUP, INC. ENTITLED "PRELIMINARY GEOTECHNICAL STUDY - PROPOSED WALPERT STREET CONDOMINIUM PROJECT" DATED JULY 11, 2014, WHICH HAS BEEN FILED WITH THE CITY OF HAYWARD.

BY: DANIEL JAY RHOADES - PRA GROUP, INC. DATE: _____

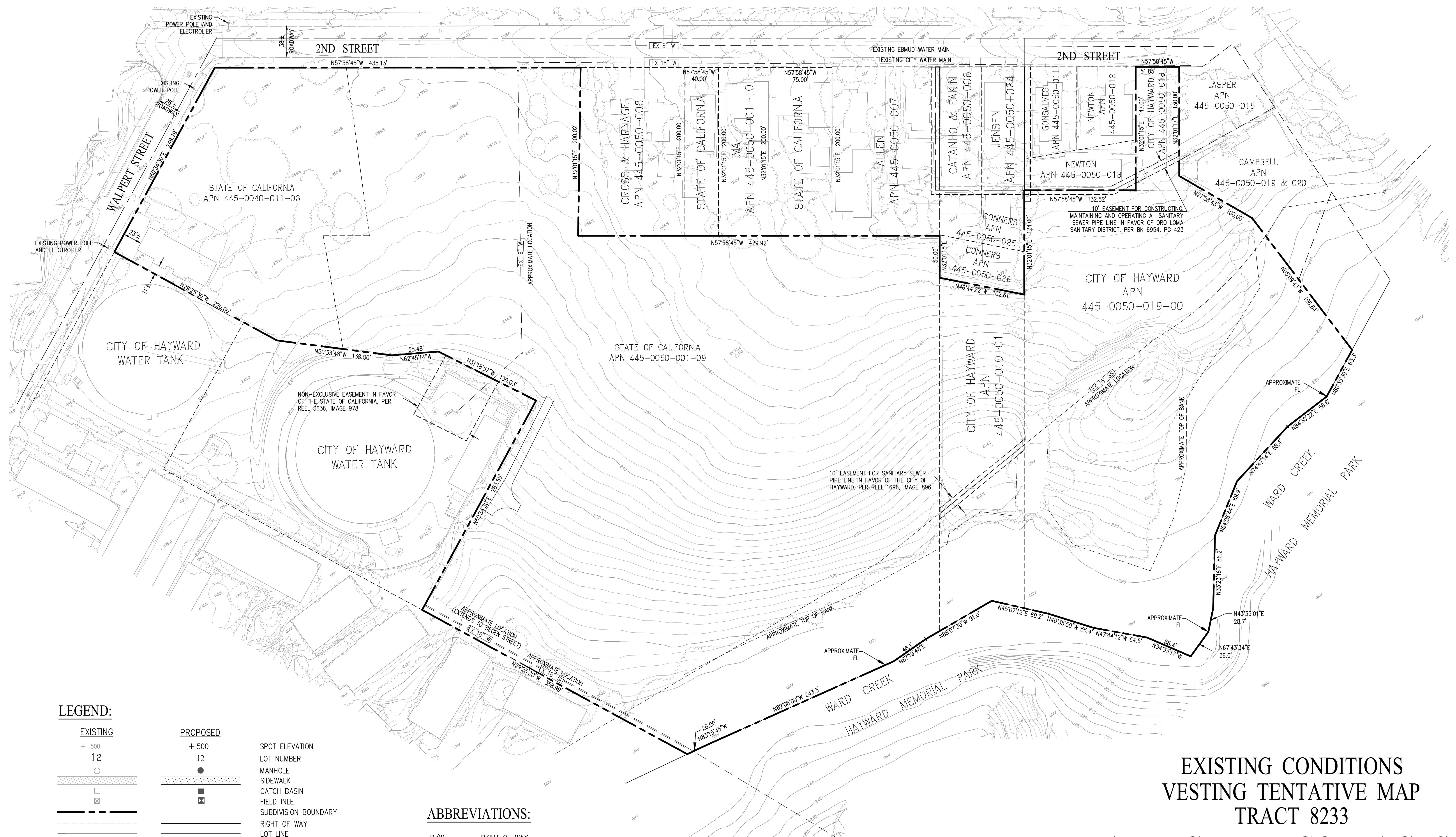


cbg
Carlson, Barbee
Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583
925 866-0322
FAX 925 866-8575

TM-1
SHEET NO.
G-2380-010ACAD1TM1.DWG

PLANNED DEVELOPMENT - AND VESTING TENTATIVE MAP TRACT 8233

WARD CREEK COTTAGES
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



EXISTING CONDITIONS VESTING TENTATIVE MAP TRACT 8233

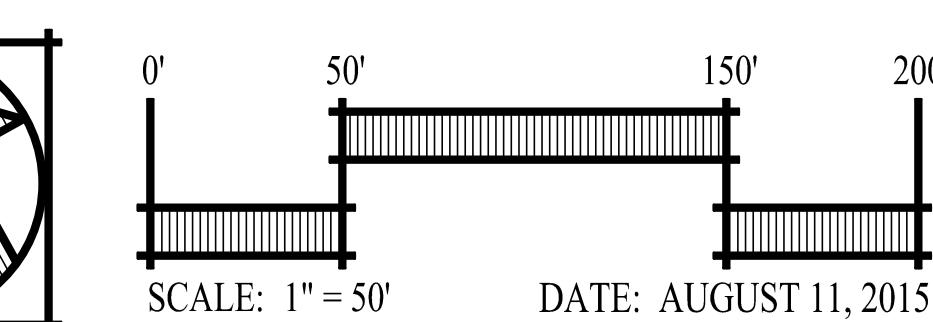
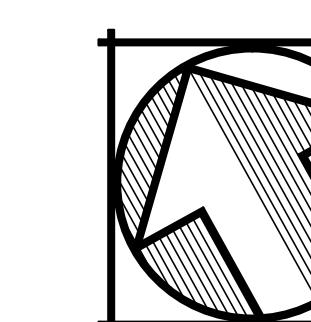
WARD CREEK COTTAGES

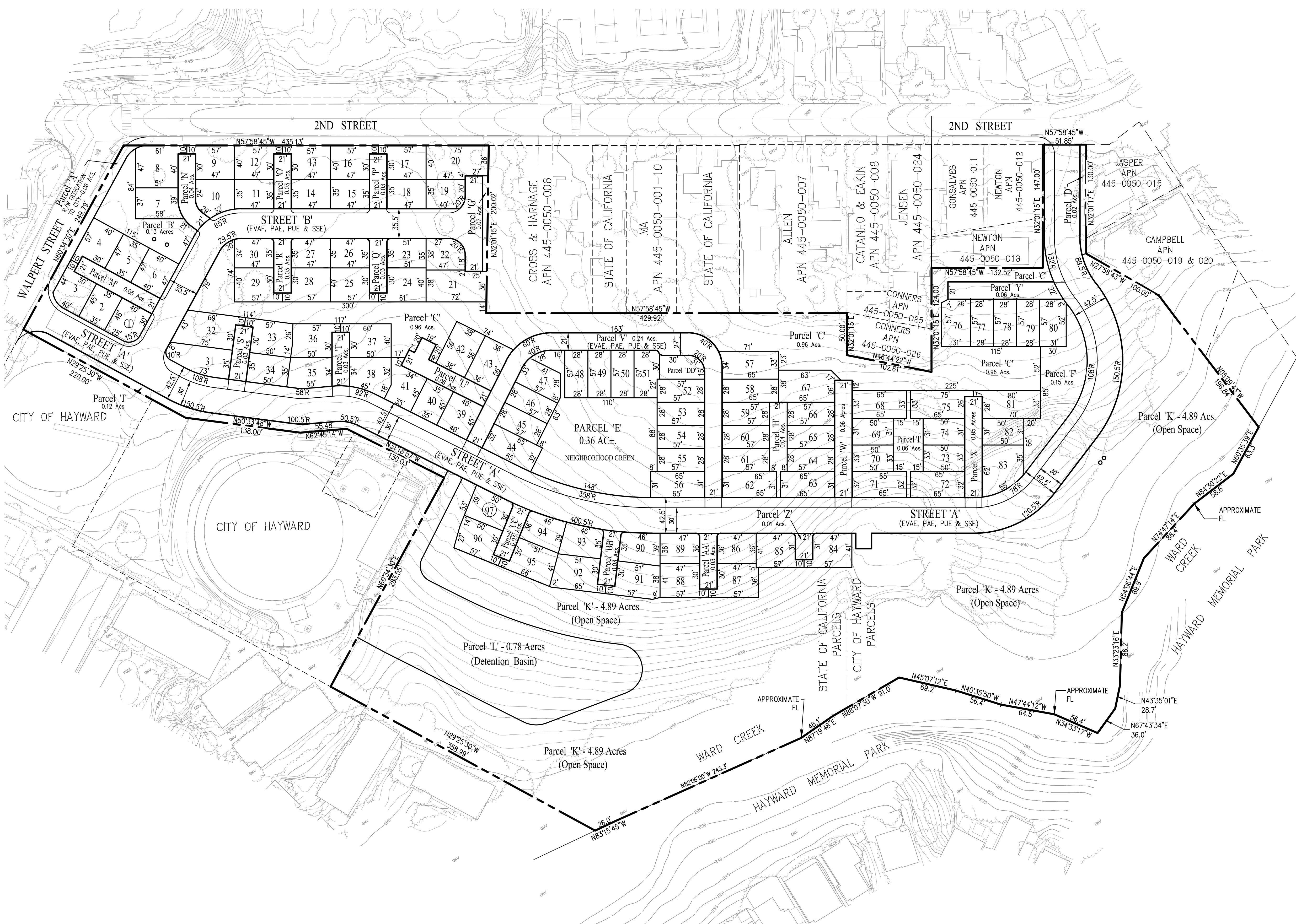
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

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Gibson, Inc.
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2633 CAMINO RAMON, SUITE 350
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SHEET NO.

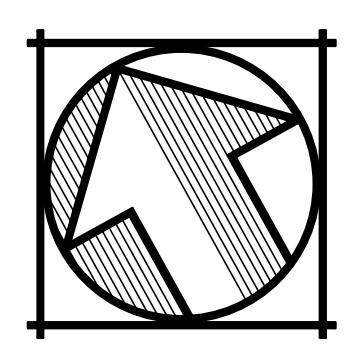
TM-2



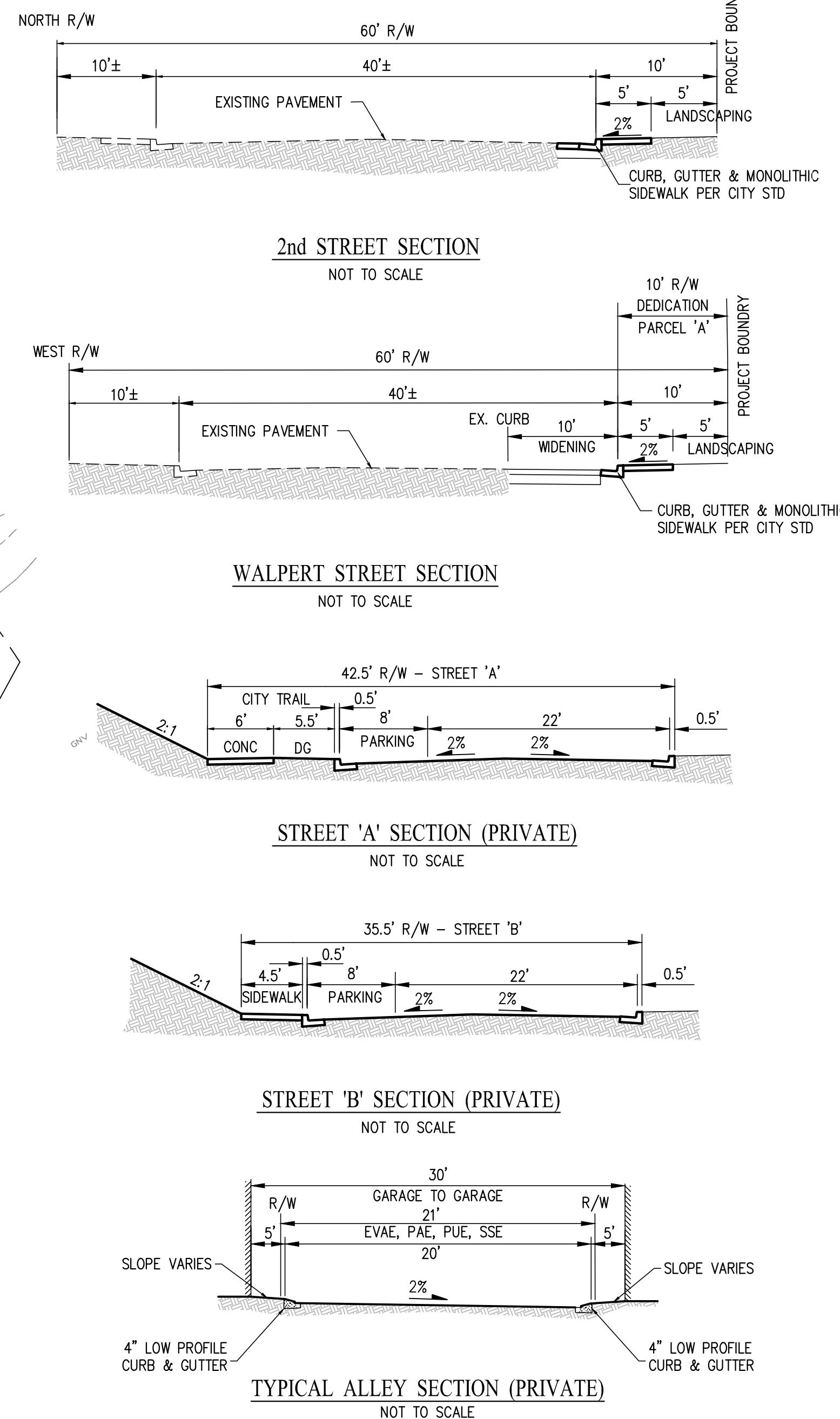


PAVEMENT DESIGN CHART			
TI	R VALUE	AC (IN)	AB (IN)
5	5	4	12

NOTE: FINAL SECTION WILL BE DETERMINED AFTER THE 'R' VALUE OF SUBGRADE IS COMPLETED BY THE SOILS ENGINEER.



0' 60' 180' 240'
SCALE: 1" = 60' DATE: AUGUST 11, 2015



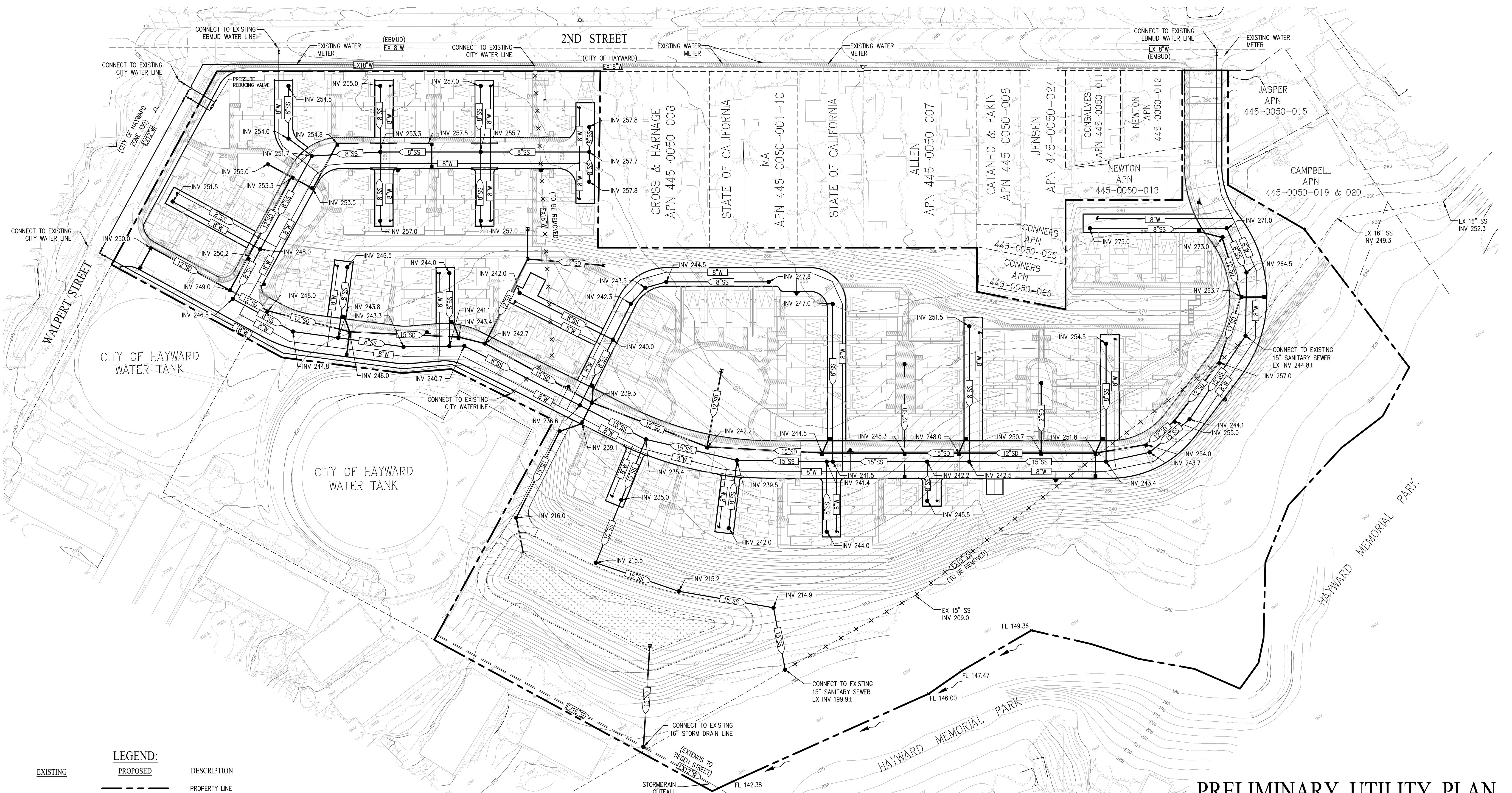
PRELIMINARY LOTTING PLAN VESTING TENTATIVE MAP TRACT 8233

WARD CREEK COTTAGES

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

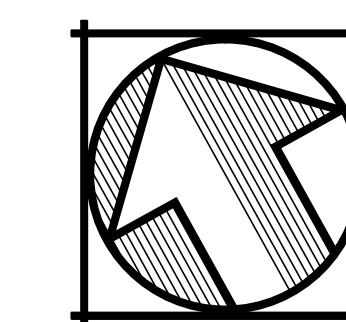
Carlson, Barbee
Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
cbg
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SAN RAMON, CALIFORNIA 94583
925.866.0322
FAX 925.866.8575

SHEET NO.
TM-3



PRELIMINARY UTILITY PLAN VESTING TENTATIVE MAP TRACT 8233 WARD CREEK COTTAGES

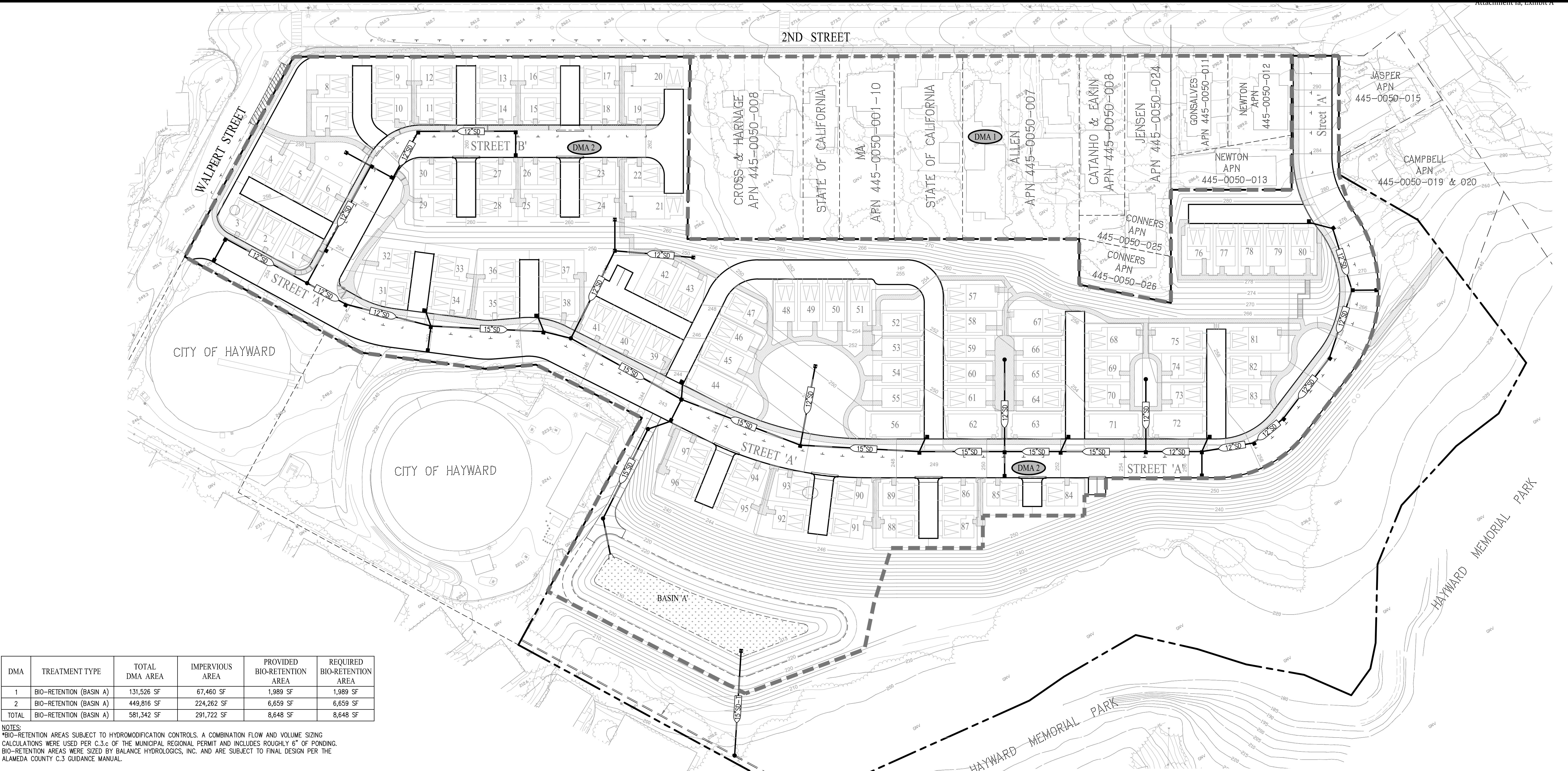
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



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SHEET NO.
TM-5

SCALE: 1" = 50' DATE: AUGUST 11, 2015

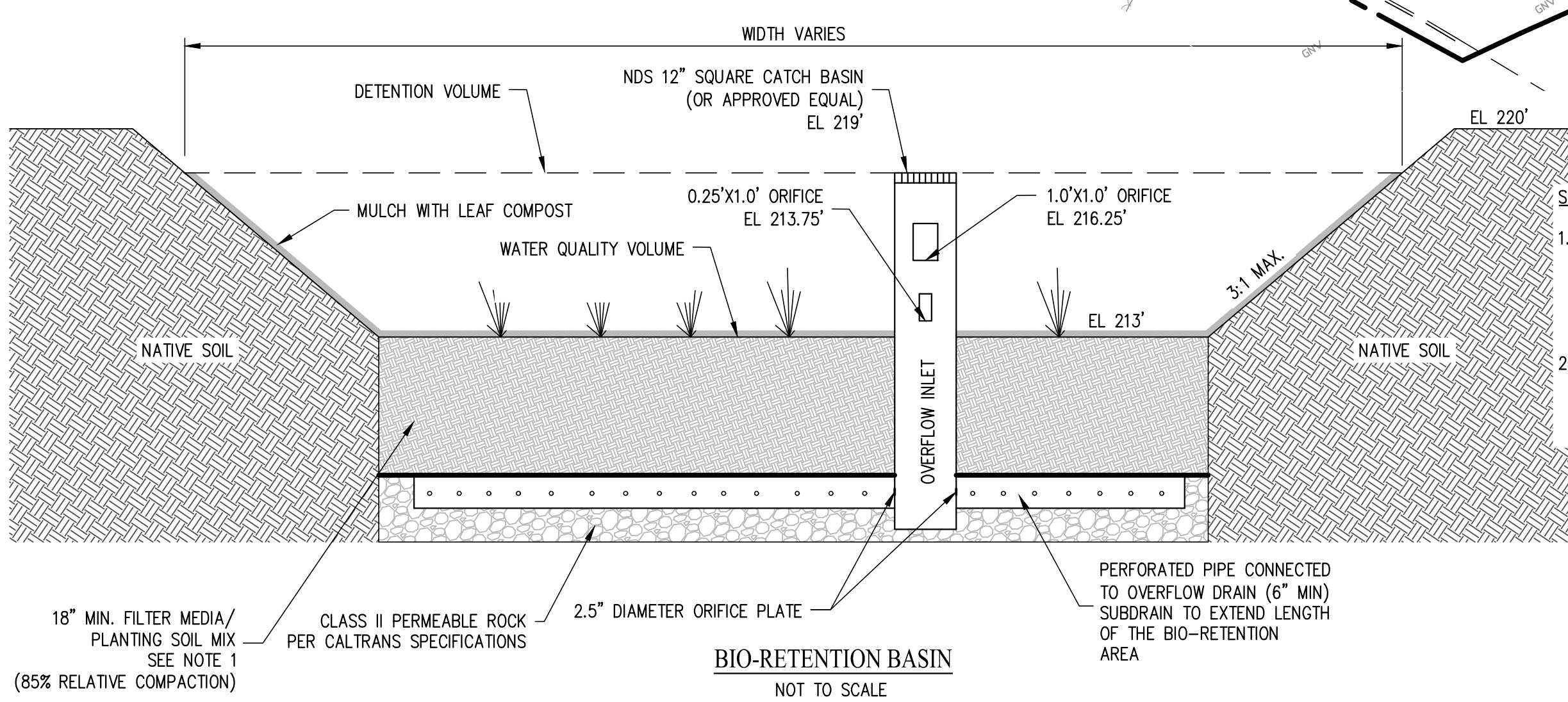


DMA	TREATMENT TYPE	TOTAL DMA AREA	IMPERVIOUS AREA	PROVIDED BIO-RETENTION AREA	REQUIRED BIO-RETENTION AREA
1	BIO-RETENTION (BASIN A)	131,526 SF	67,460 SF	1,989 SF	1,989 SF
2	BIO-RETENTION (BASIN A)	449,816 SF	224,262 SF	6,659 SF	6,659 SF
TOTAL	BIO-RETENTION (BASIN A)	581,342 SF	291,722 SF	8,648 SF	8,648 SF

NOTES:
 *BIO-RETENTION AREAS SUBJECT TO HYDROMODIFICATION CONTROLS. A COMBINATION FLOW AND VOLUME SIZING CALCULATIONS WERE USED PER C.3.c. OF THE MUNICIPAL REGIONAL PERMIT AND INCLUDES ROUGHLY 6" OF PONDING. BIO-RETENTION AREAS WERE SIZED BY BALANCE HYDROLOGICS, INC. AND ARE SUBJECT TO FINAL DESIGN PER THE ALAMEDA COUNTY C.3. GUIDANCE MANUAL.

LEGEND:

EXISTING	PROPOSED	DESCRIPTION
—	—	PROPERTY LINE
— [EX SD] —	—	STORM DRAIN
— [SD] —	—	STORM DRAIN TREATED
■	■	STORM DRAIN CATCH BASIN
■	■	STORM DRAIN FIELD INLET
●	●	STORM DRAIN MANHOLE
→	→	FLOW DIRECTION
■■■■■	■■■■■	BIO RETENTION AREA
DMA 1	DMA 1	DRAINAGE MANAGEMENT AREA
DMA 2	DMA 2	DRAINAGE MANAGEMENT AREA BOUNDARY
—	—	VALLEY GUTTER

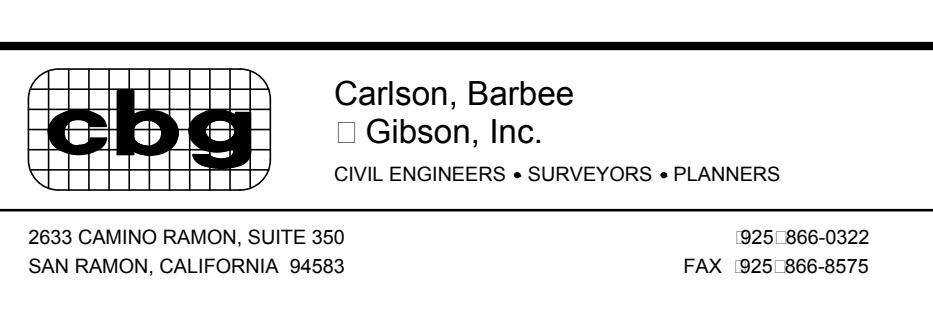
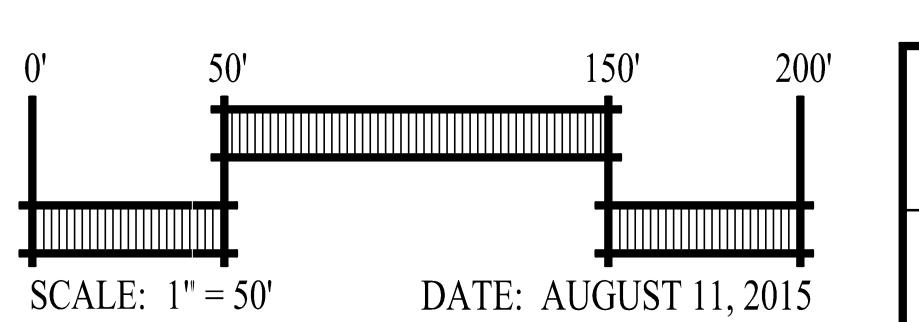
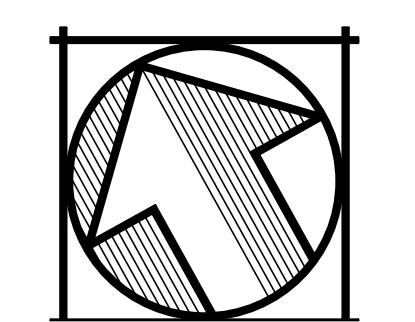


STORMWATER CONTROL PLAN NOTES:

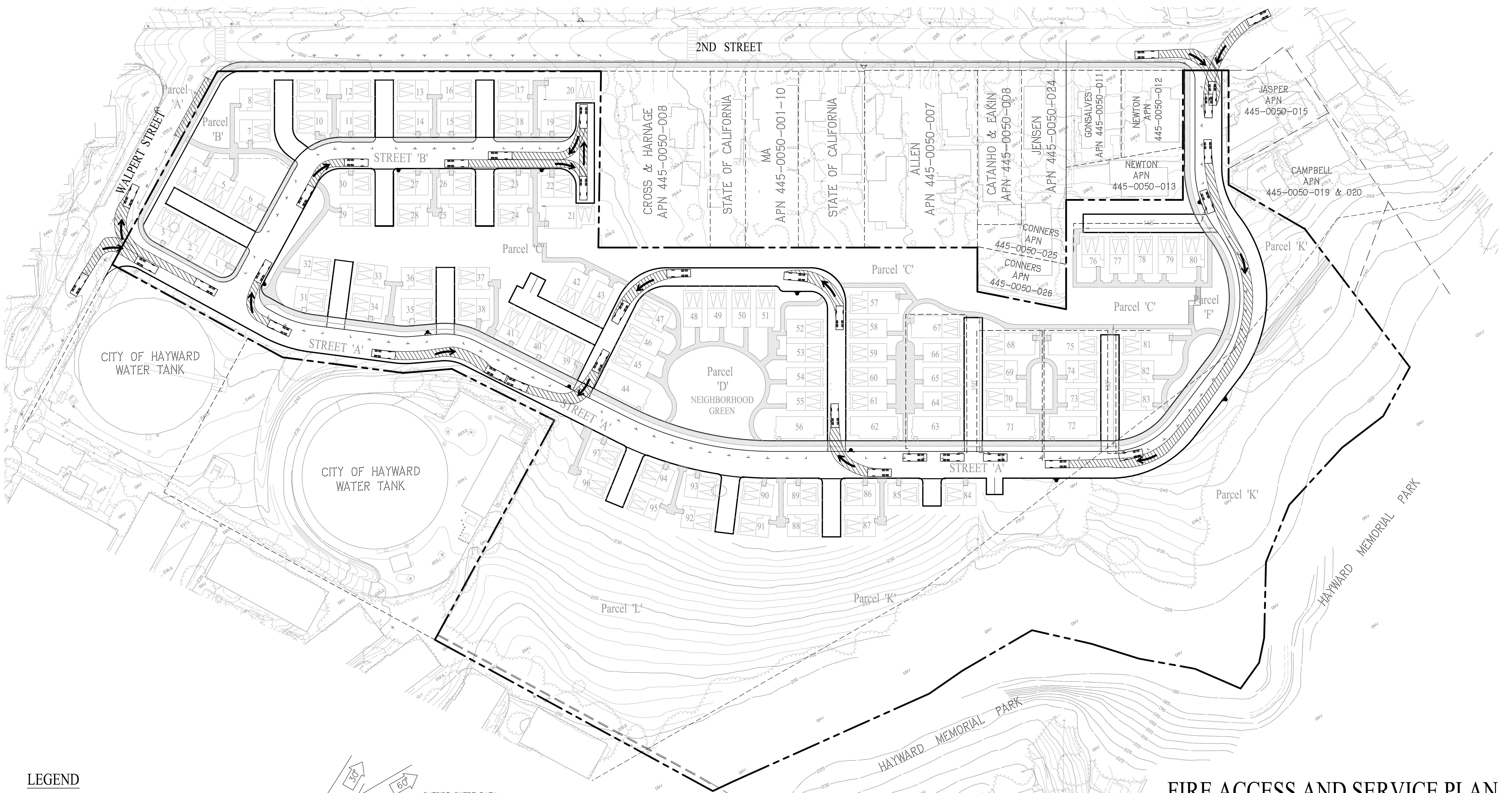
1. SOIL USED IN LANDSCAPE BASED TREATMENT MEASURES SHALL MEET THE SPECIFICATIONS INCLUDED IN THE MOST RECENT VERSION OF APPENDIX L OF THE NIPDES MUNICIPAL REGIONAL STORM WATER PERMIT PROVISION C.3.C.1.(1)(B)(v).
2. THE BIORETENTION AREAS SHOWN ARE PRELIMINARY AND REPRESENT THE APPROXIMATE SURFACE AREA NEEDED TO TREAT EACH DRAINAGE MANAGEMENT AREA. THESE AREAS ARE SUBJECT TO CHANGE BASED ON FINAL ARCHITECTURE. FINAL LOCATIONS OF BUILDING ROOF DRAINS AND REFINEMENT OF THE PROJECT GRADING PLANS.

PRELIMINARY STORMWATER MANAGEMENT PLAN VESTING TENTATIVE MAP TRACT 8233 WARD CREEK COTTAGES

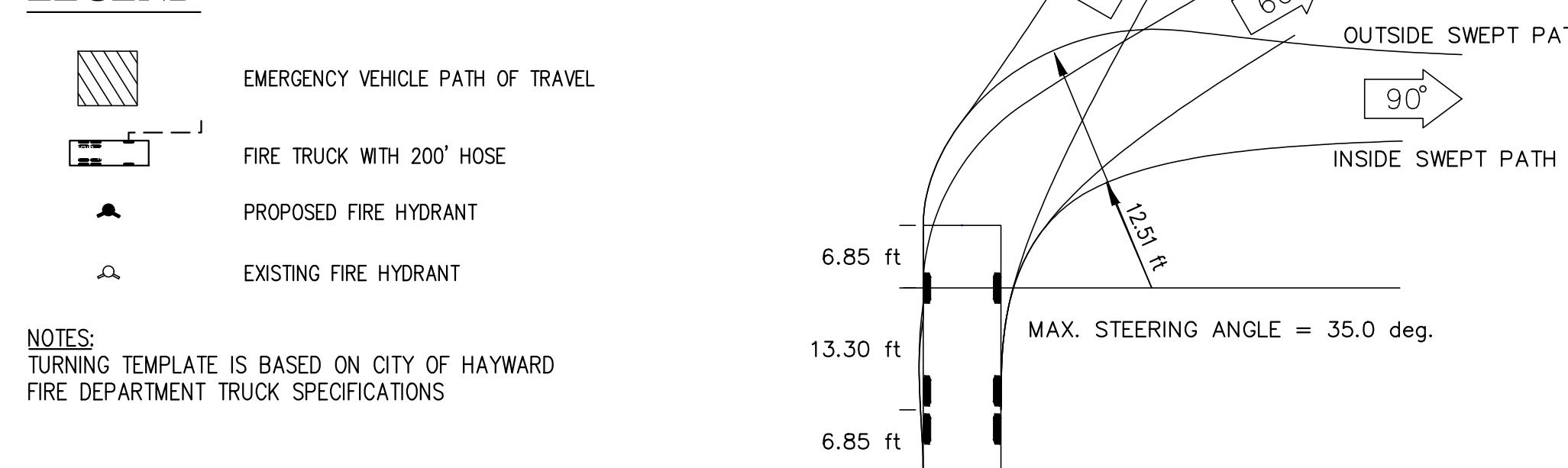
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



SHEET NO.
TM-6



LEGEND

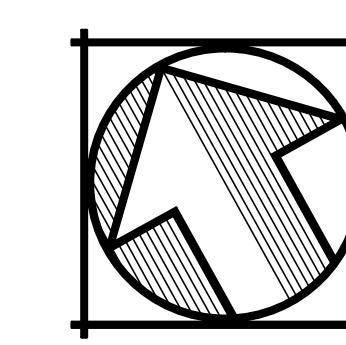


CITY OF HAYWARD
AMERICAN LA FRANCE PUMPER FIRE TRUCK

FIRE ACCESS AND SERVICE PLAN
VESTING TENTATIVE MAP
TRACT 8233

WARD CREEK COTTAGES

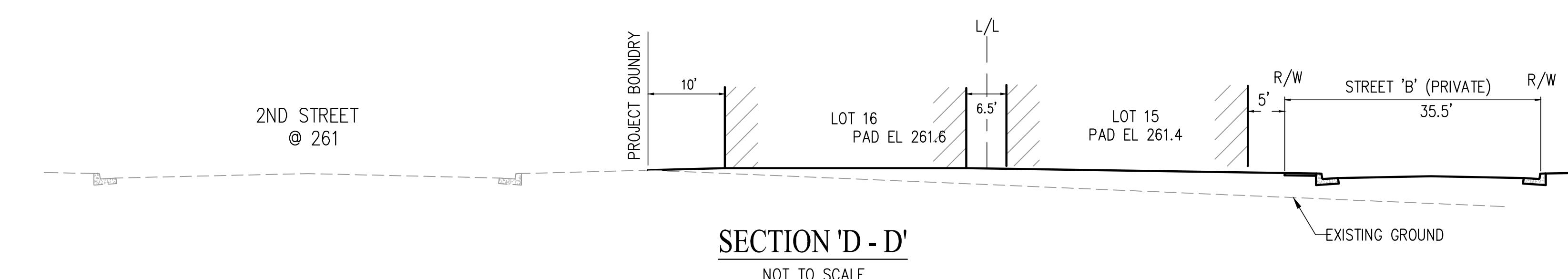
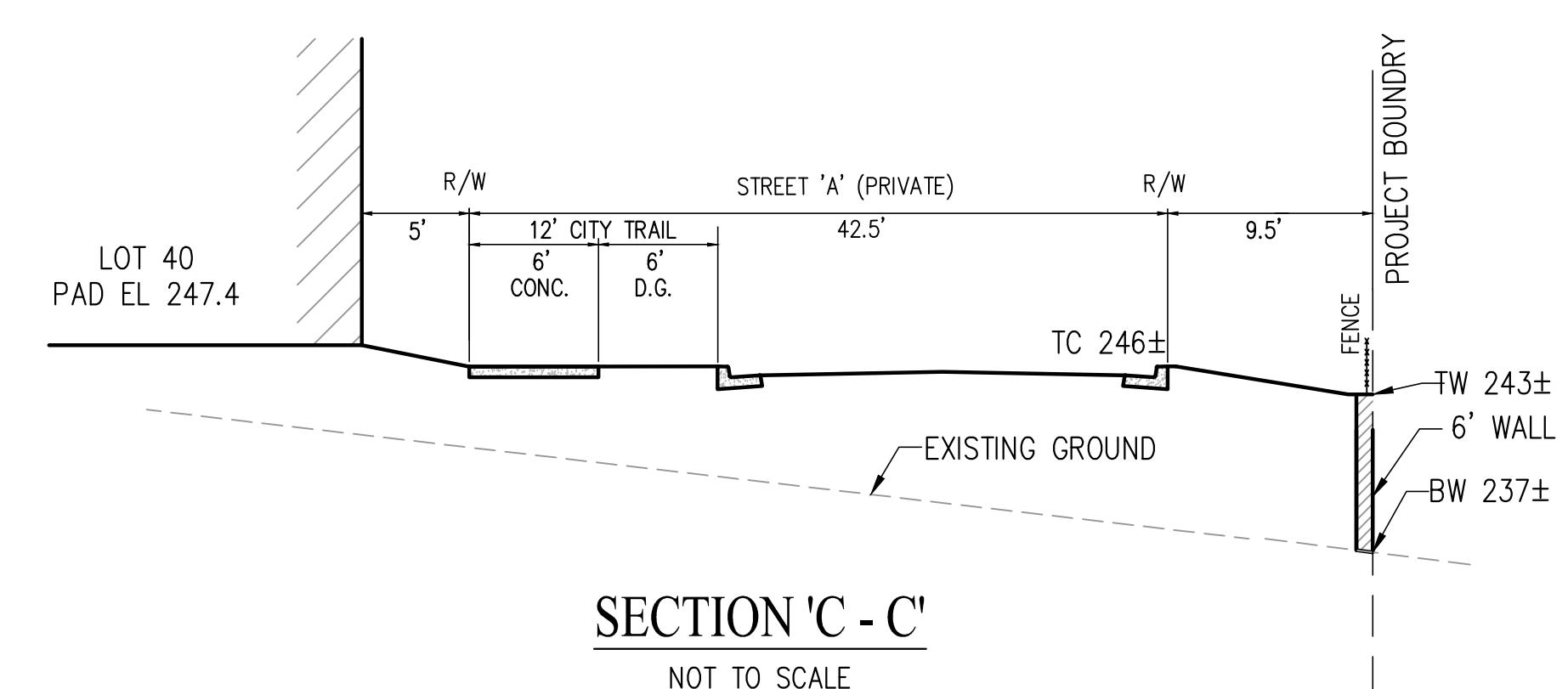
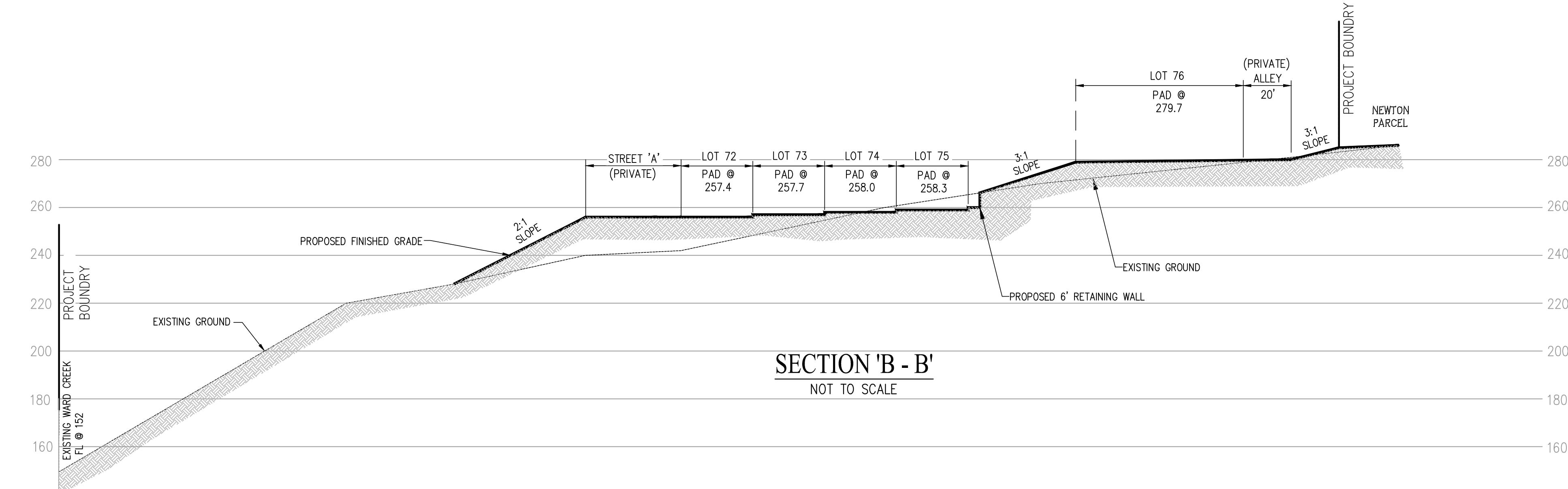
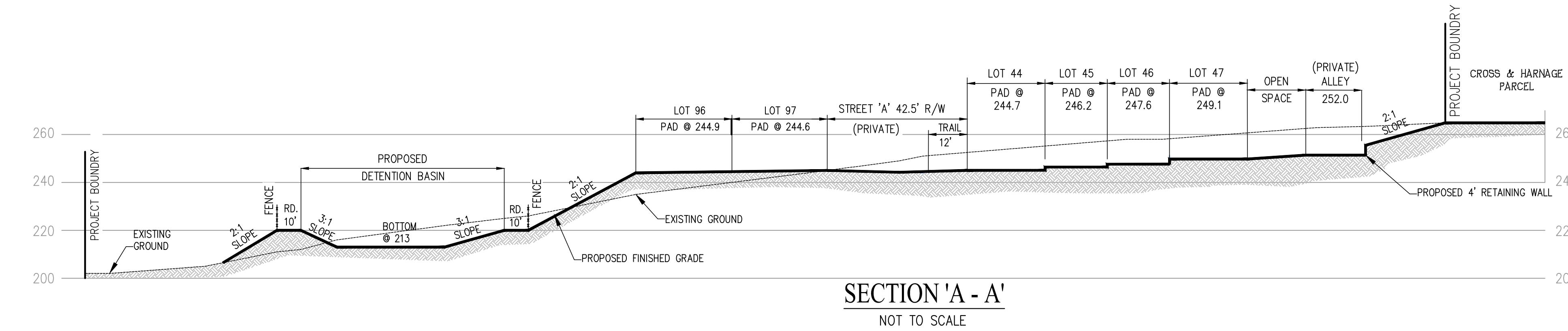
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



SCALE: 1" = 50' DATE: AUGUST 11, 2015

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Gibson, Inc.
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SHEET NO.
TM-7



NOTE: SEE SHEET TM-04 FOR CROSS SECTION LOCATIONS

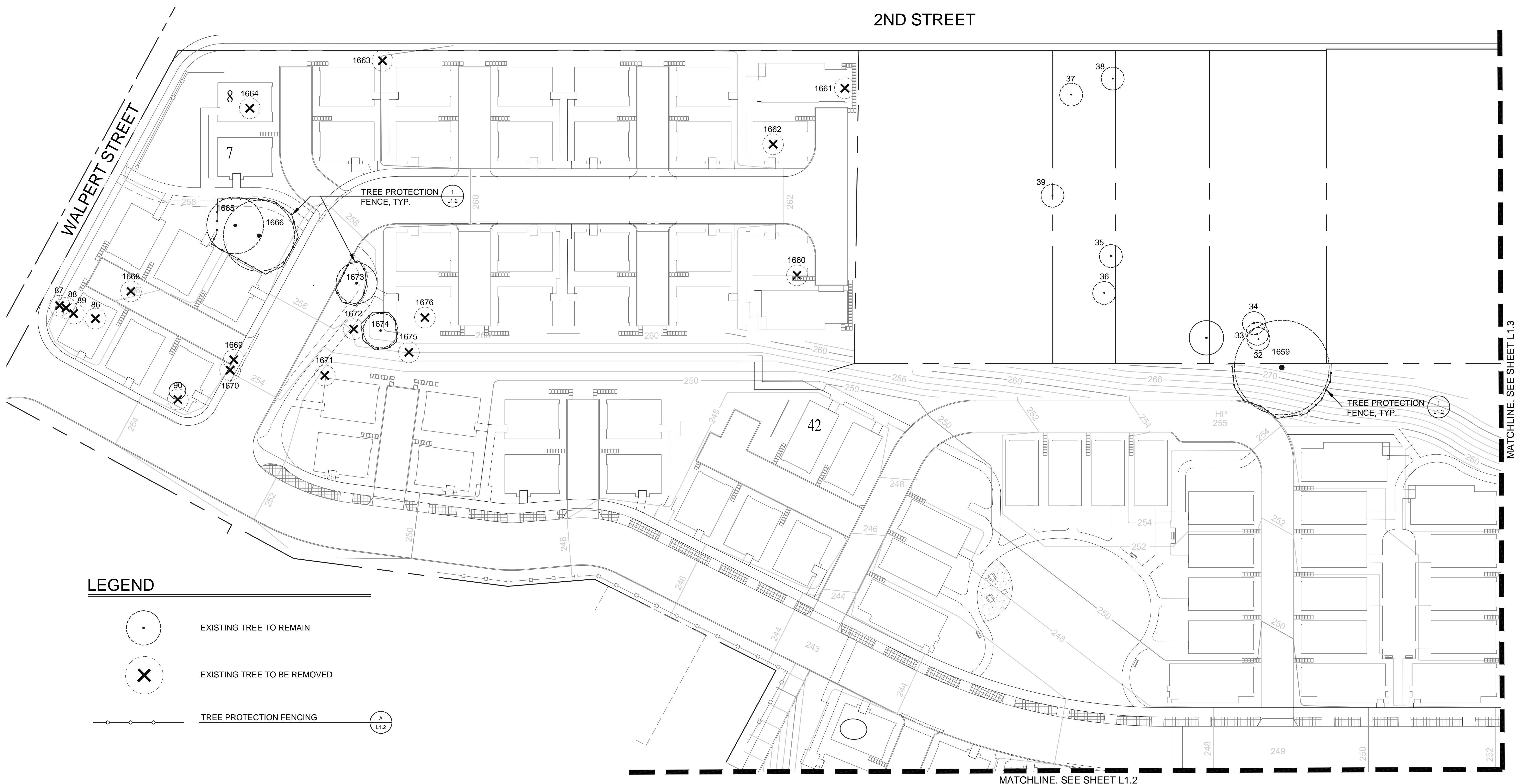
0' 20' 60' 80'
SCALE: 1" = 20'
DATE: AUGUST 11, 2015

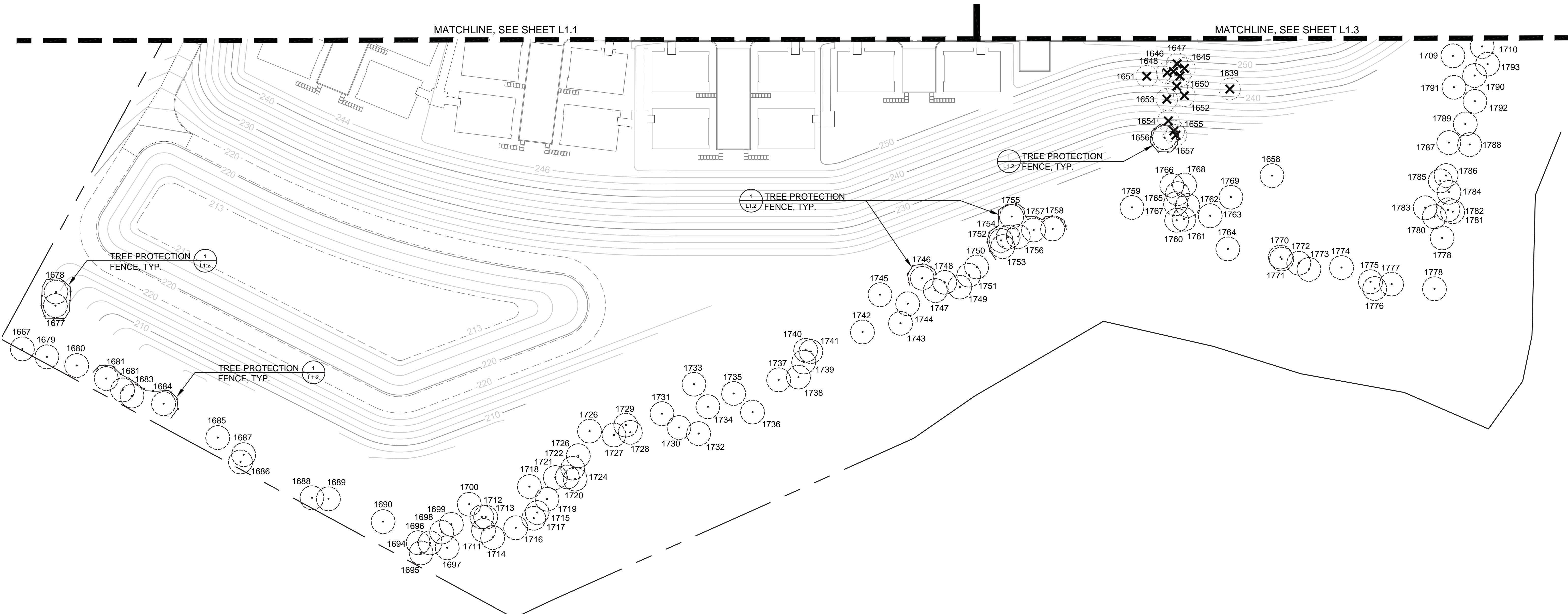
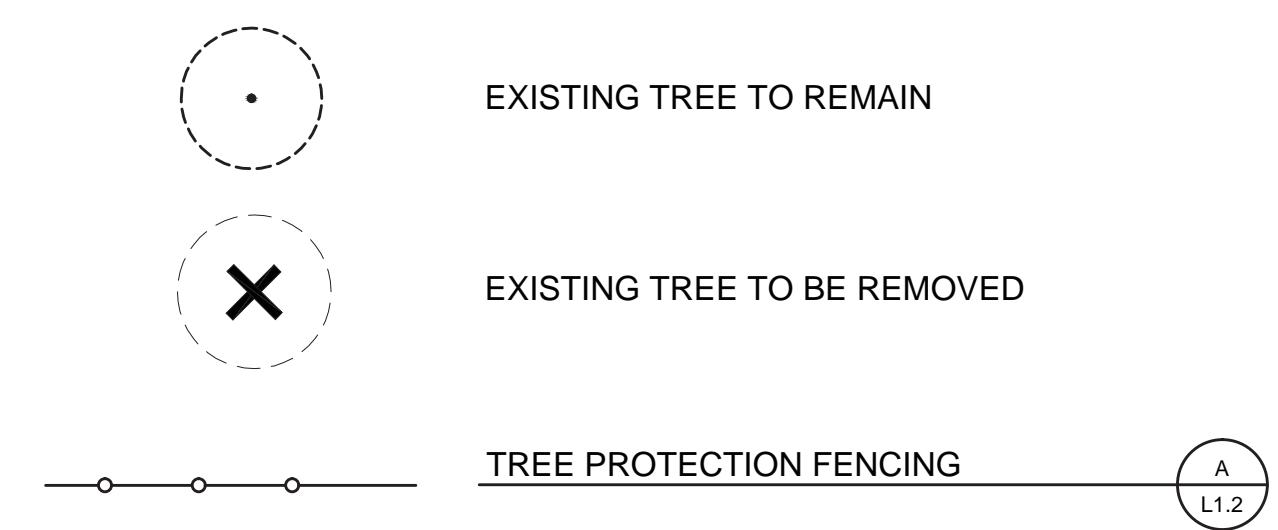
GRADING SECTIONS
VESTING TENTATIVE MAP
TRACT 8233
WARD CREEK COTTAGES

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

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SAN RAMON, CALIFORNIA 94583
925.866.0322

SHEET NO.
TM-8

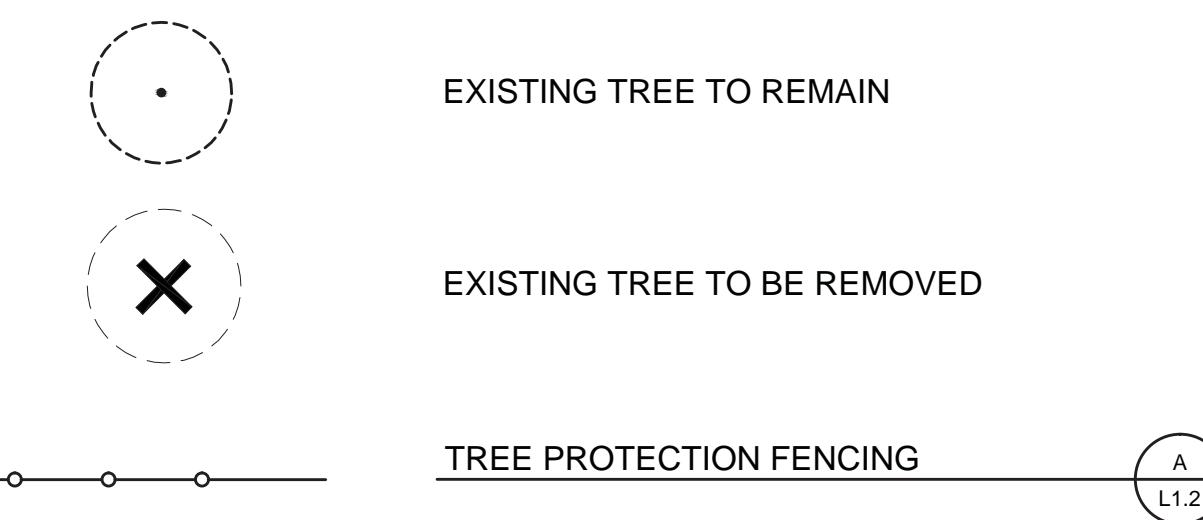


LEGEND

EXISTING TREES
TO BE REMOVED

TREE NUMBER	VALUE
86	\$16,000
87	\$60
88	\$60
89	\$60
90	\$1,080
1620	\$580
1621	\$8,500
1622	\$90
1623	\$730
1624	\$4,200
1625	\$1,960
1626	\$2,810
1627	\$760
1628	\$33,500
1629	\$10,100
1630	\$2,700
1631	\$570
1632	\$9,100
1633	\$850
1634	\$340
1635	\$760
1636	\$5,100
1637	\$880
1638	\$1,680
1639	\$7,300
1640	\$25,300
1641	\$320
1642	\$12,700
1643	\$320
1644	\$1,460
1645	\$320
1646	\$790
1647	\$9,400
1648	\$15,500
1649	\$2,310
1650	\$1,860
1651	\$730
1652	\$1,050
1653	\$3,230
1654	\$1,580
1655	\$21,800
1657	\$790
1660	\$390
1661	\$450
1662	\$16,100
1663	\$3,270
1664	\$0
1668	\$550
1669	\$820
1670	\$9,600
1671	\$1,120
1672	\$1,350
1675	\$6,500
1676	\$10,500
1691	\$1,060
1692	\$300
1693	\$300
1804	\$5,400
1805	\$1,420
TOTAL VALUE OF TREES TO BE REMOVED	\$268,360
VALUE OF PROPOSED TREES	\$53,800
VALUE OF POROUS CONCRETE AND PAVERS	\$222,490
SURPLUS MITIGATION	\$7,930

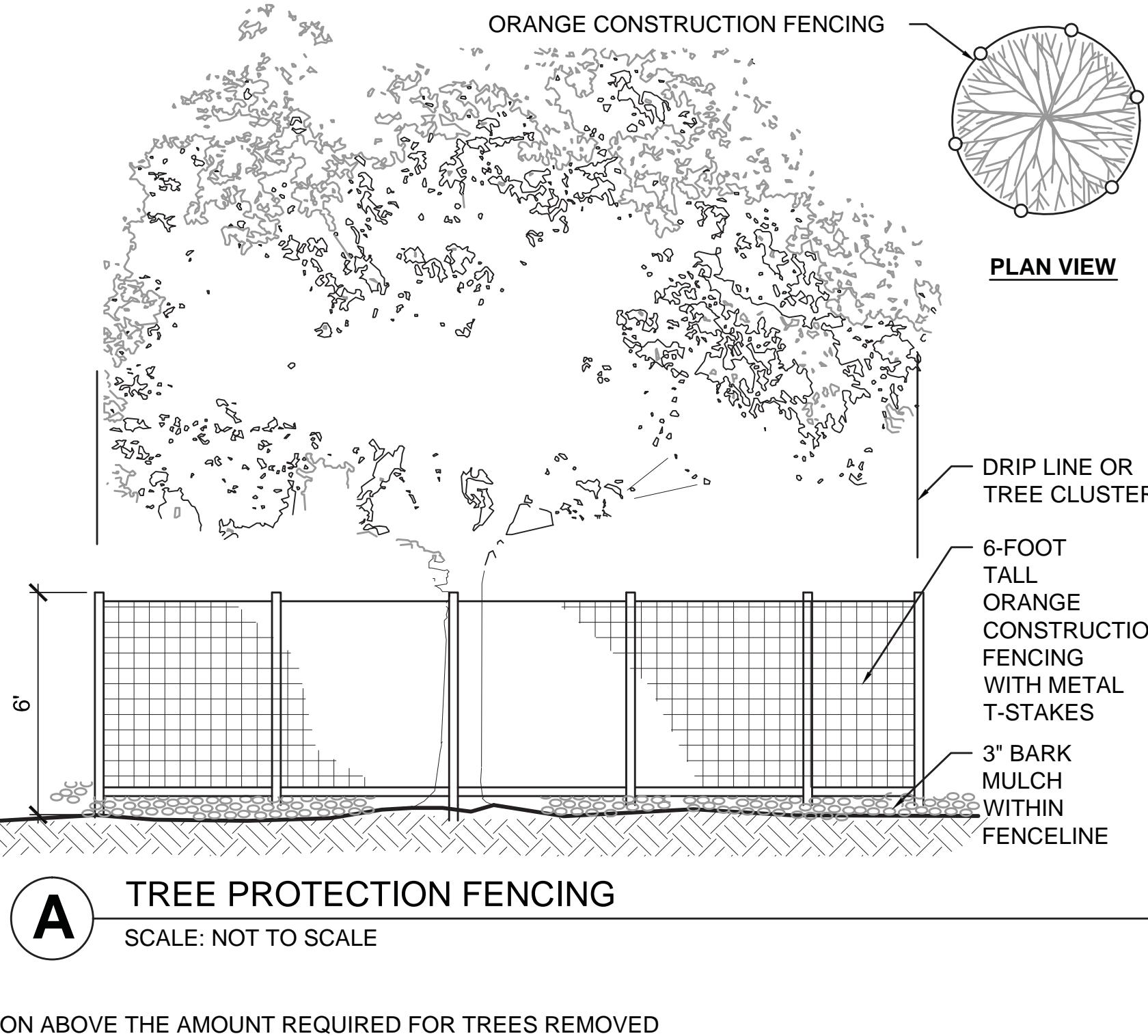
LEGEND



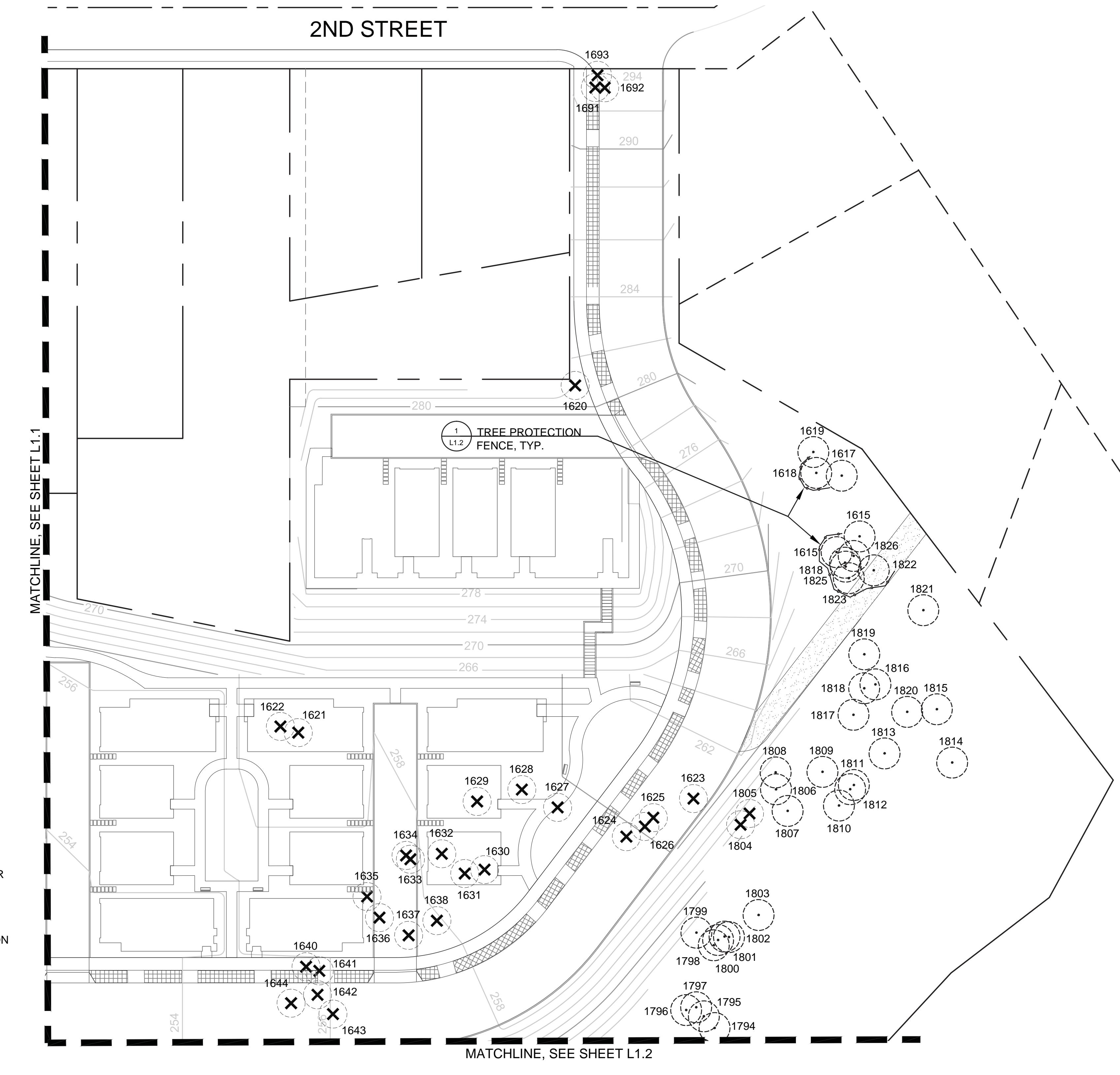
SEE PLANTING PLAN FOR PROPOSED TREES. 82 ACCENT TREES, ALL SPECIMEN TREES, AND ALL SLOPE PLANTING TREES COUNT TOWARD TREE REPLACEMENT MITIGATION. 24-INCH BOX TREES ARE VALUED AT \$250 EACH AND 36-INCH BOX TREES ARE VALUED AT \$450 EACH. THE PLANTING PLAN SHOWS A TOTAL OF 172 - 24" BOX REPLACEMENT TREES AND 24 - 36" BOX REPLACEMENT TREES FOR A REPLACEMENT TOTAL OF \$53,800. 5,865 SF OF PERMEABLE PAVERS COUNT TOWARD TREE REPLACEMENT MITIGATION AT \$26/SF FOR A TOTAL OF \$152,490. 10,000 SF OF POROUS CONCRETE COUNTS TOWARD TREE REPLACEMENT MITIGATION AT \$7/SF (DIFFERENCE BETWEEN POROUS AND STANDARD CONCRETE) FOR A TOTAL OF \$70,000

TREE PROTECTION NOTES

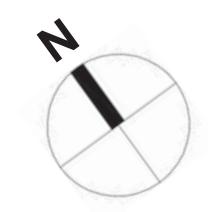
1. TREE BRANCHES THAT WILL INTERFERE WITH CONSTRUCTION EQUIPMENT SHALL BE PROPERLY PRUNED **PRIOR** TO BEGINNING CONSTRUCTION. PRUNING SHALL BE AS APPROVED BY THE CITY AND SHALL COMPLY WITH CITY APPROVED PRACTICES.
2. A PROTECTIVE FENCE SHALL BE PLACED AT THE DRIPLINE OF THE EXISTING TREES DURING THE ENTIRE CONSTRUCTION PERIOD. NO WORK SHALL OCCUR WITHIN THE DRIPLINE EXCEPT UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST APPROVED BY THE CITY.
3. SOIL COMPACTION AND GRADING SHALL BE AVOIDED UNDER THE DRIPLINE OF THE TREES. MAINTAIN A POSITIVE DRAINAGE AWAY FROM TREE TRUNK. IRRIGATION SHALL BE AVOIDED UNDER NATIVE OAK TREES.
4. NO STORAGE OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN 25 FEET OF THE DRIPLINE OF THE TREES.
5. ALL ROOTS 1" OR LARGER THAT MUST BE SEVERED SHALL BE CUT MANUALLY TO PRODUCE A CLEAN CUT AND TREATED WITH A TREE SEALANT. BORING, RATHER THAN TRENCHING, SHALL BE REQUIRED WHERE IT IS UNAVOIDABLE FOR PIPING TO CROSS THROUGH THE DRIPLINE OF A TREE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING COMPARABLE REPLACEMENT TREES FOR ANY EXISTING TREES THAT ARE FOUND BY THE CITY TO BE IRREPARABLY DAMAGED DUE TO CONSTRUCTION ACTIVITY.



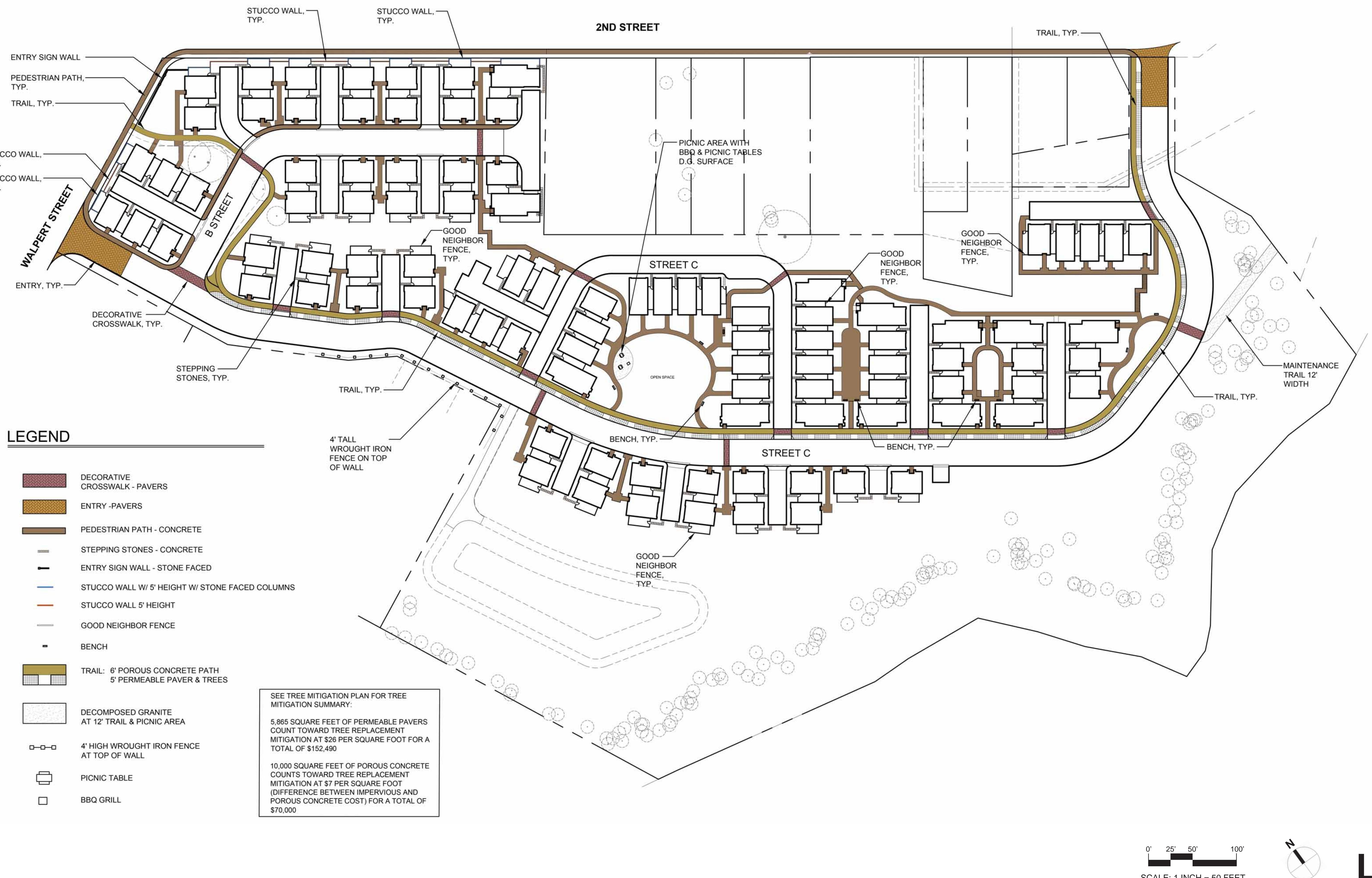
MITIGATION ABOVE THE AMOUNT REQUIRED FOR TREES REMOVED



0' 15' 30' 60'
SCALE: 1 INCH = 30 FEET



L1.2



PICNIC TABLE



LITTER BIN



BENCH



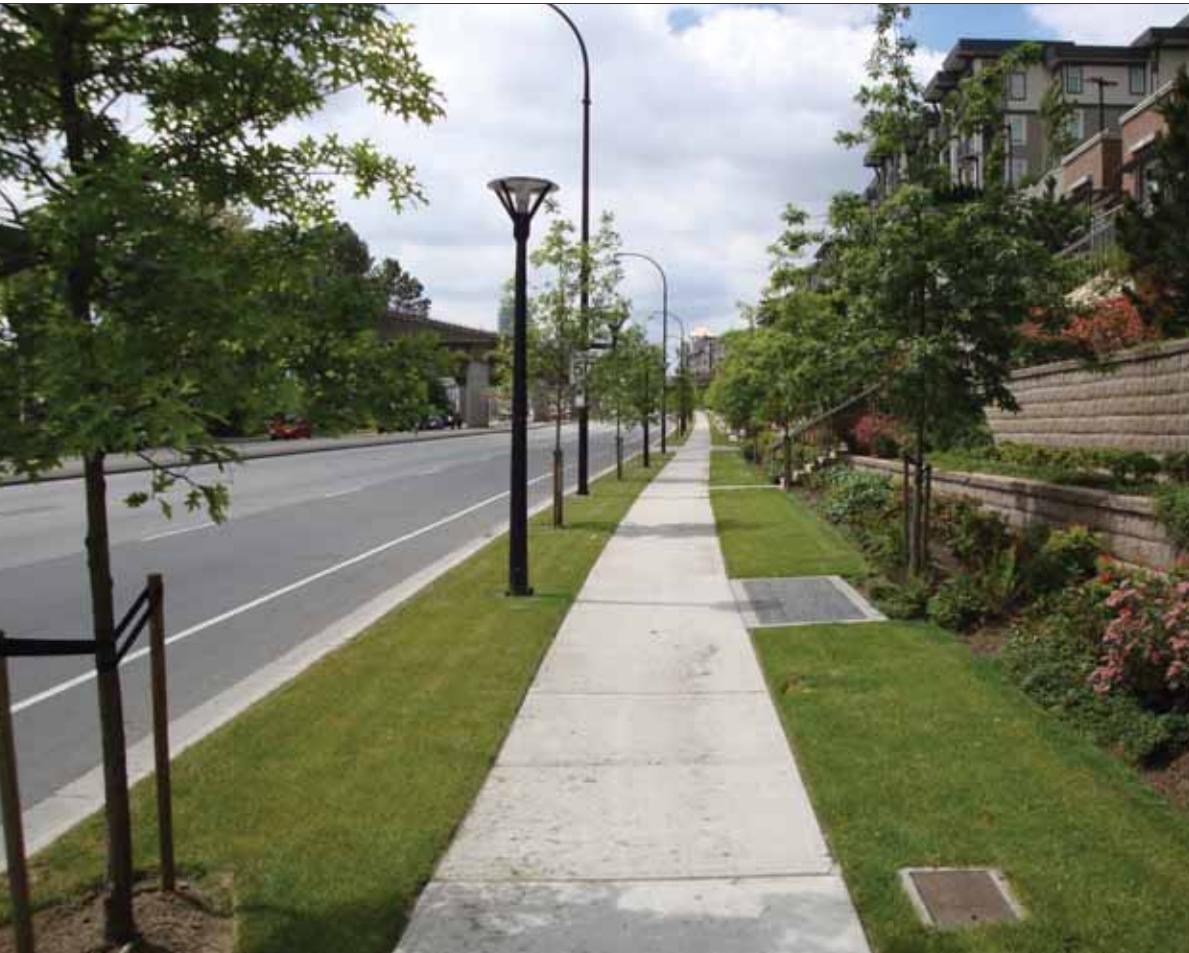
RETAINING WALLS



BENCH



PAVING



STEPPING STONES - CONCRETE

PEDESTRIAN PATH - CONCRETE POROUS CONCRETE AT TRAIL

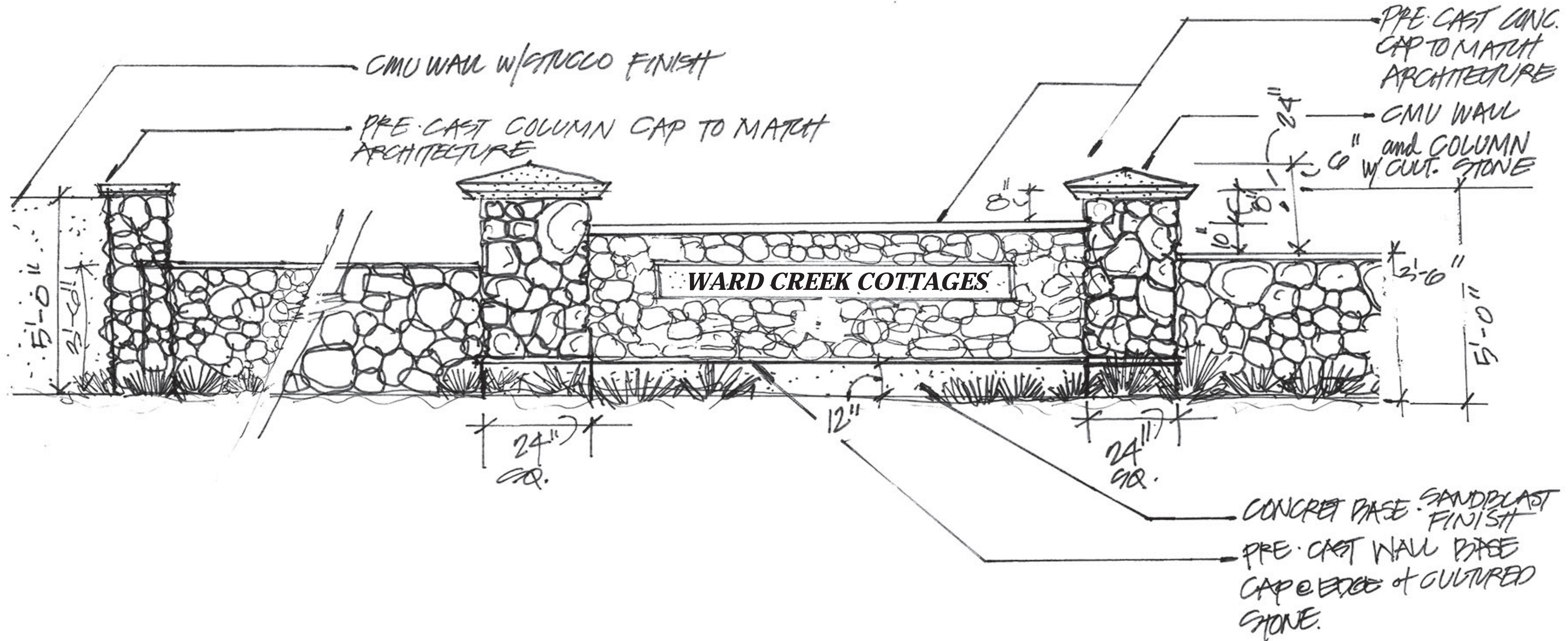
ENTRY - PERMEABLE PAVERS

DECORATIVE CROSSWALK - PAVERS

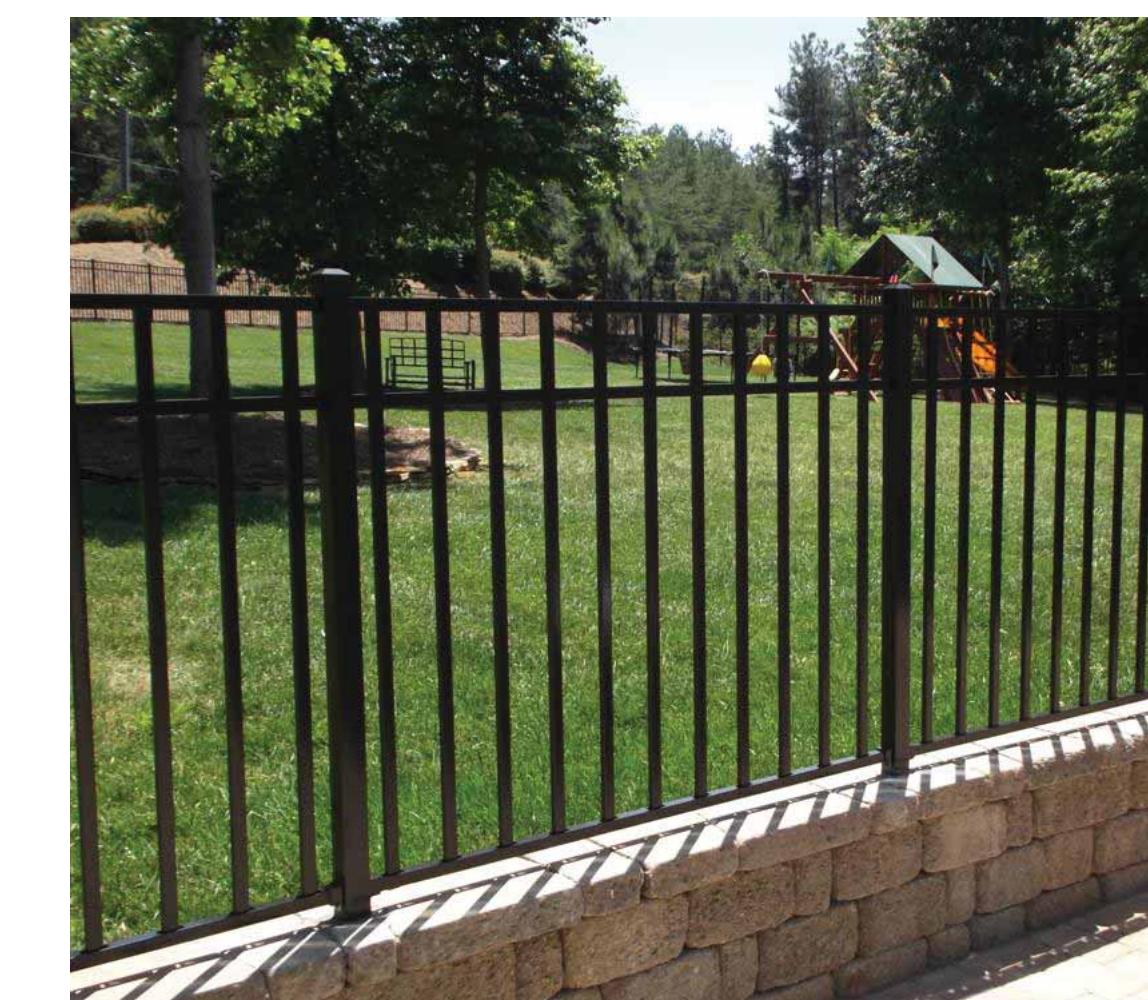
BBQ PIT



ENTRY SIGN WALL



WROUGHT IRON FENCE



GOOD NEIGHBOR FENCE



STUCCO WALL

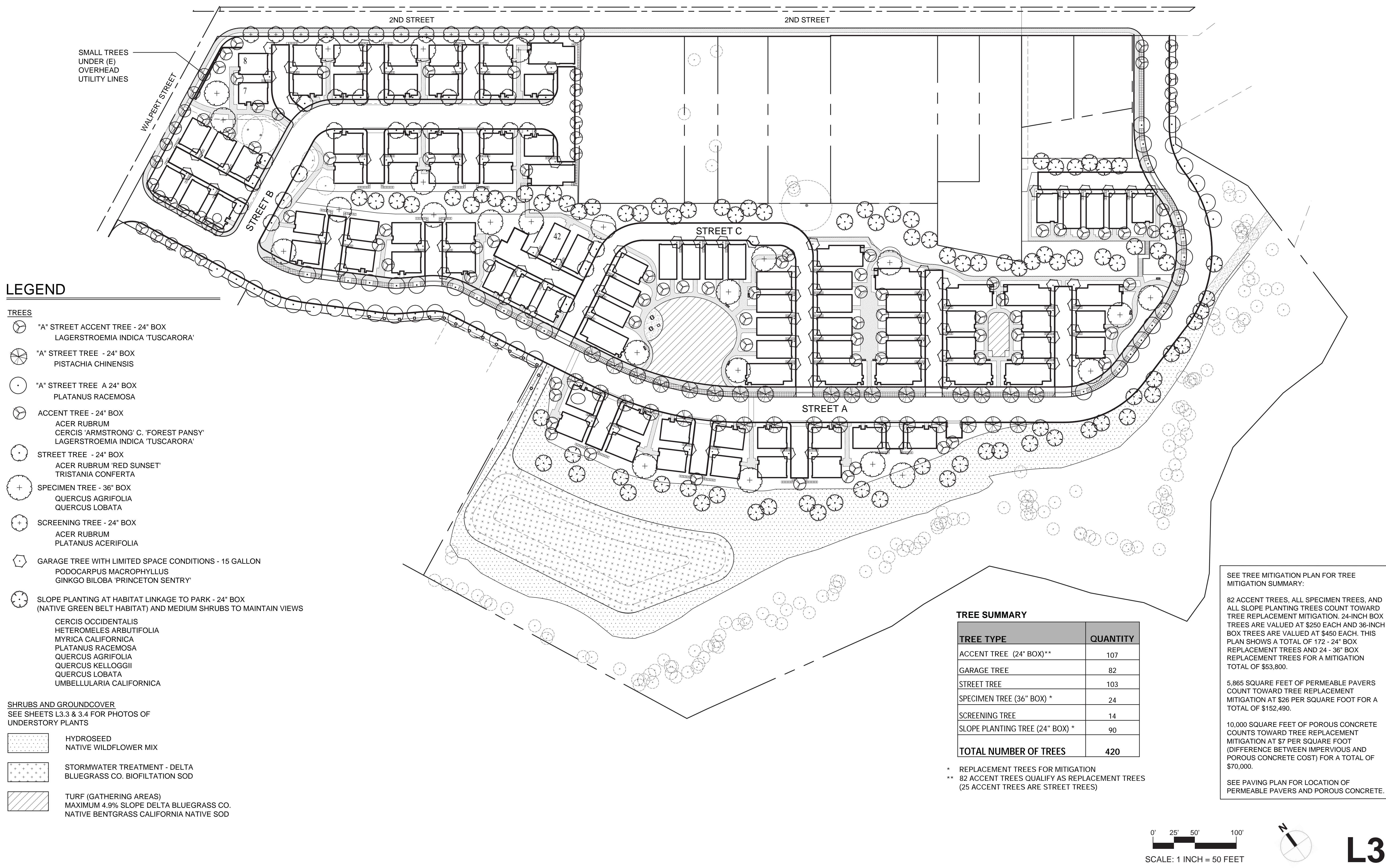


WARD CREEK COTTAGES - HAYWARD, CA

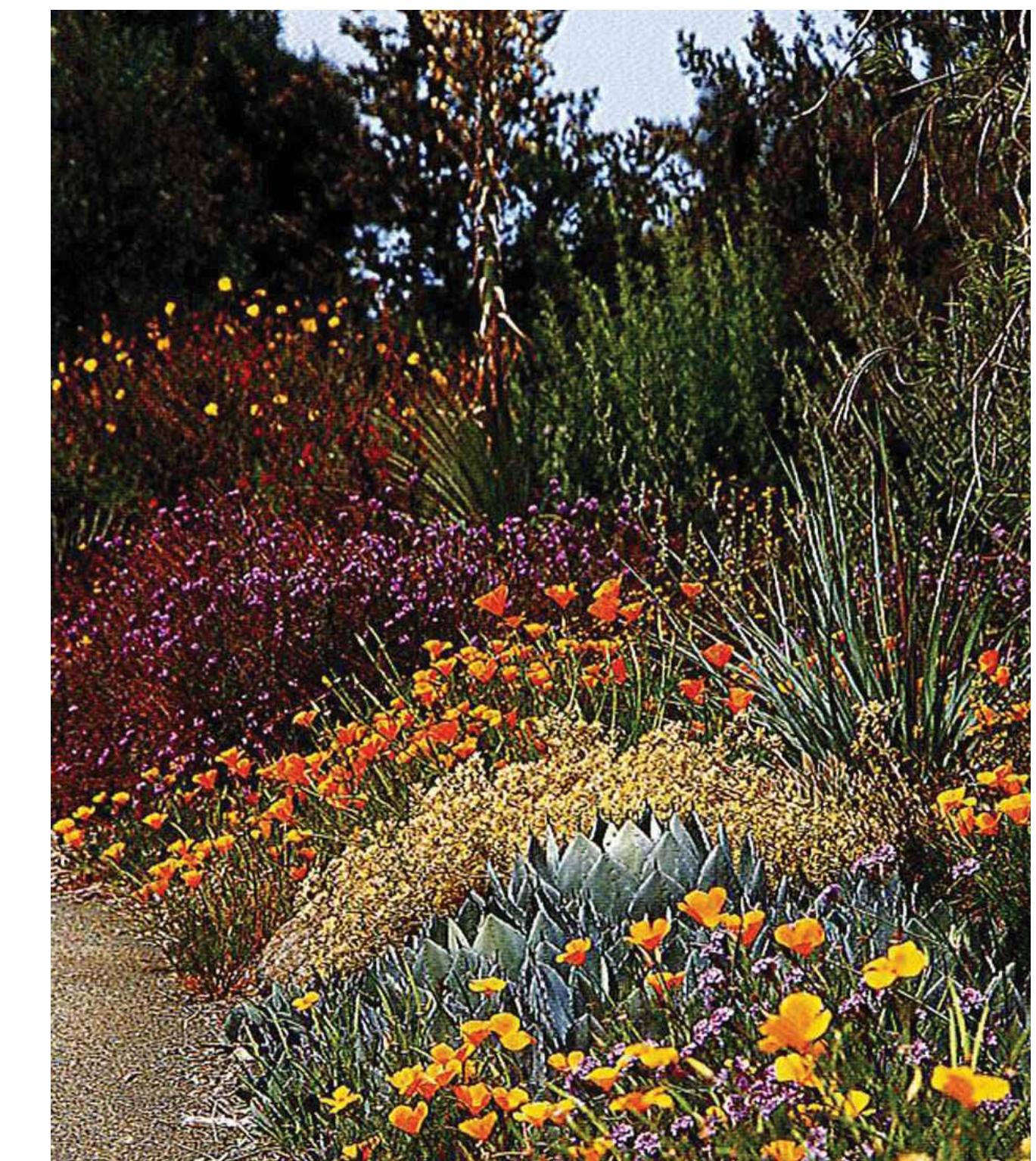
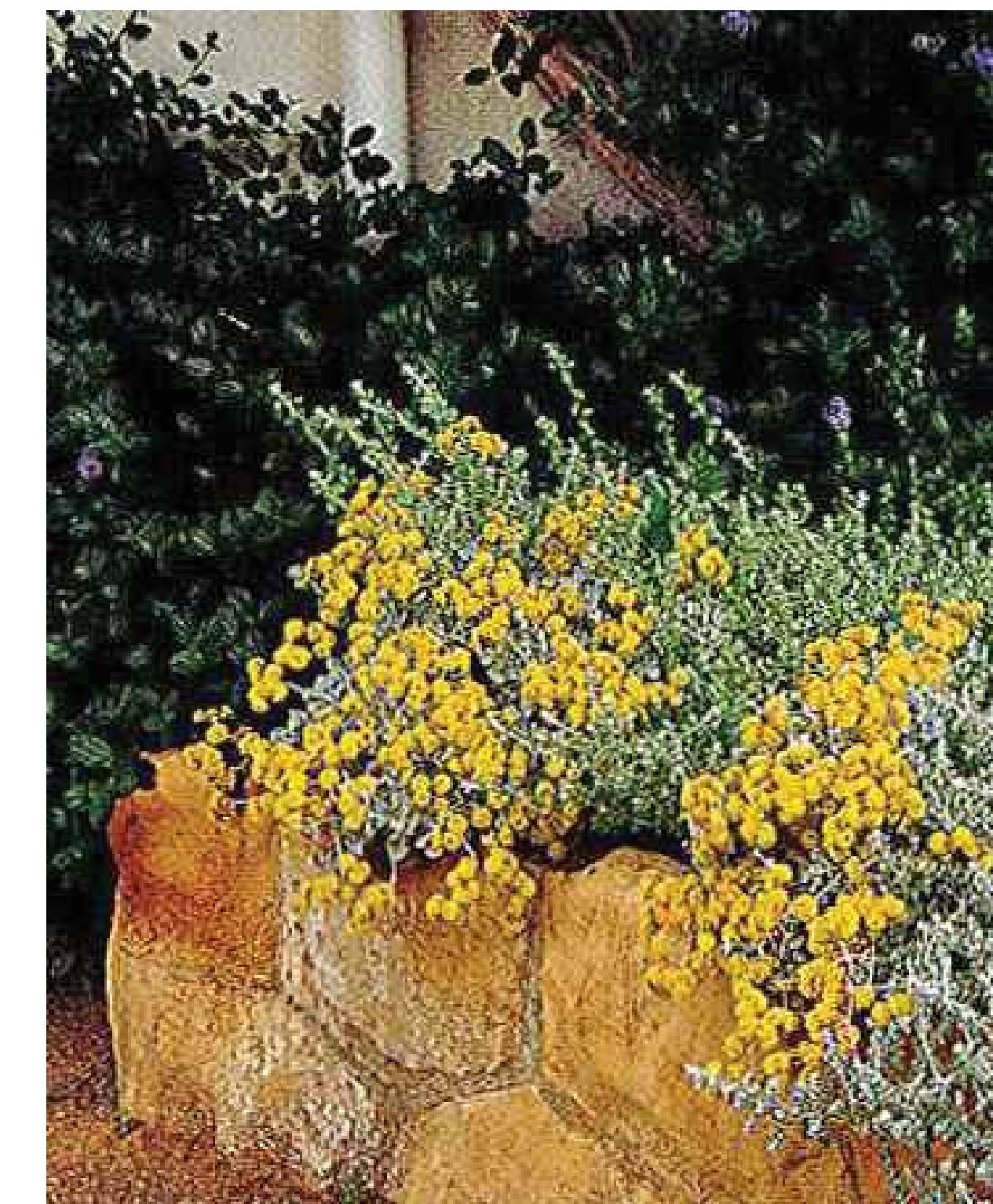
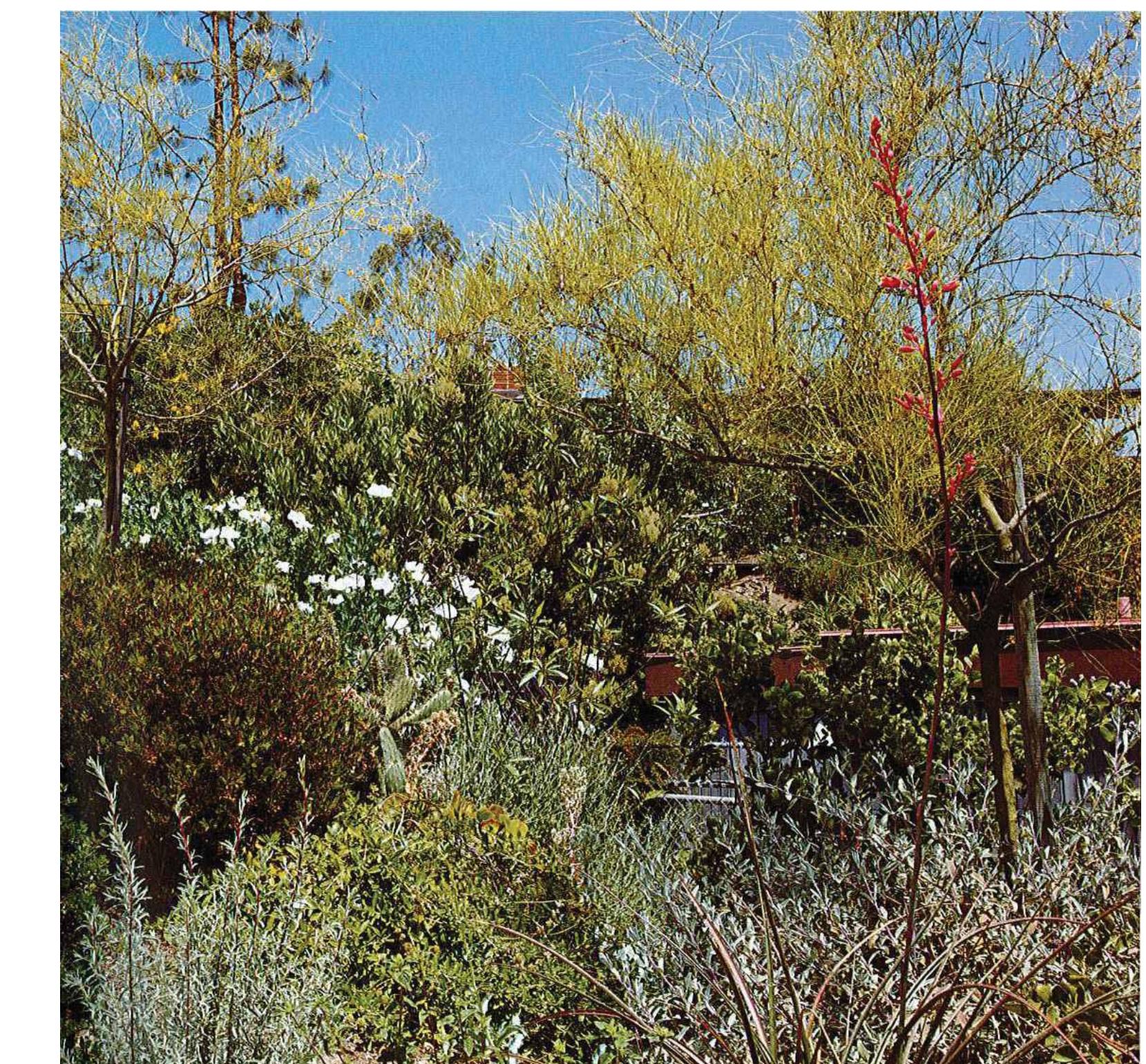
AUGUST 21, 2015

PRELIMINARY MATERIALS PHOTOS & DETAILS









L3.2

TREES



CERCIS OCCIDENTALIS
WESTERN REDBUD



PLATANUS RACEMOSA
CALIFORNIA SYCAMORE



PRUNUS ILICIFOLIA
HOLLYLEAF CHERRY



QUERCUS AGRIFOLIA
COAST LIVE OAK



QUERCUS KELLOGGII
COAST LIVE OAK



QUERCUS LOBATA
VALLEY OAK



SHRUBS



ARBUTUS MENZIESII
MADRONE



CARPENTERIA CALIFORNICA
BUSH ANEMONE



ARCTOSTAPHYLOS MAZANITA
'DR HURD'
DR HURD MAZANITA



CEANOTHUS THYRSIFLORUS
BLUE BLOSSOM CEANOTHUS



FRANGULA CALIFORNICA 'EVE CASE'
COFFEEBERRY



FRANGULA 'MOUND SAN BRUNO'
COFFEEBERRY



HETEROMELES ARBUTIFOLIA
TOYON



RHUS INTEGRIFOLIA
LEMONADE BERRY



RHUS OVATA
SUGAR BUSH



ROSMARINUS OFFICINALIS
ROSEMARY



SALVIA CLEVELANDII
CLEVELAND SAGE



SALVIA LEUCANTHA
MEXICAN BUSH SAGE

L3.3



SALVIA LEUCOPHYLLA
PURPLE SAGE



SALVIA MELLIFERA
BLACK SAGE



SALVIA GREGGII
AUTUMN SAGE



MUHLENBERGIA RIGENS
DEER GRASS

UNDERSTORY PLANTING/GROUND COVER



ACHILLEA MILLEFOLIUM
YARROW



ACHILLEA M. 'LILAC BEAUTY'
LILAC BEAUTY YARROW



ERIOGONUM FASCICULATUM
CALIFORNIA BUCKWHEAT



ERIOGONUM UMBELLATUM
SULFUR BUCKWHEAT



FESTUCA CALIFORNICA
CALIFORNIA FESCUE



FESTUCA RUBRA
RED FESCUE



LANTANA MONTEVIDENSIS
LANTANA



SALVIA SPATHACEA
HUMMINGBIRD SAGE



SALVIA X 'BEE'S BLISS'
SAGE



STIPA PULCHRA
PURPLE NEEDLEGRASS

L3.4



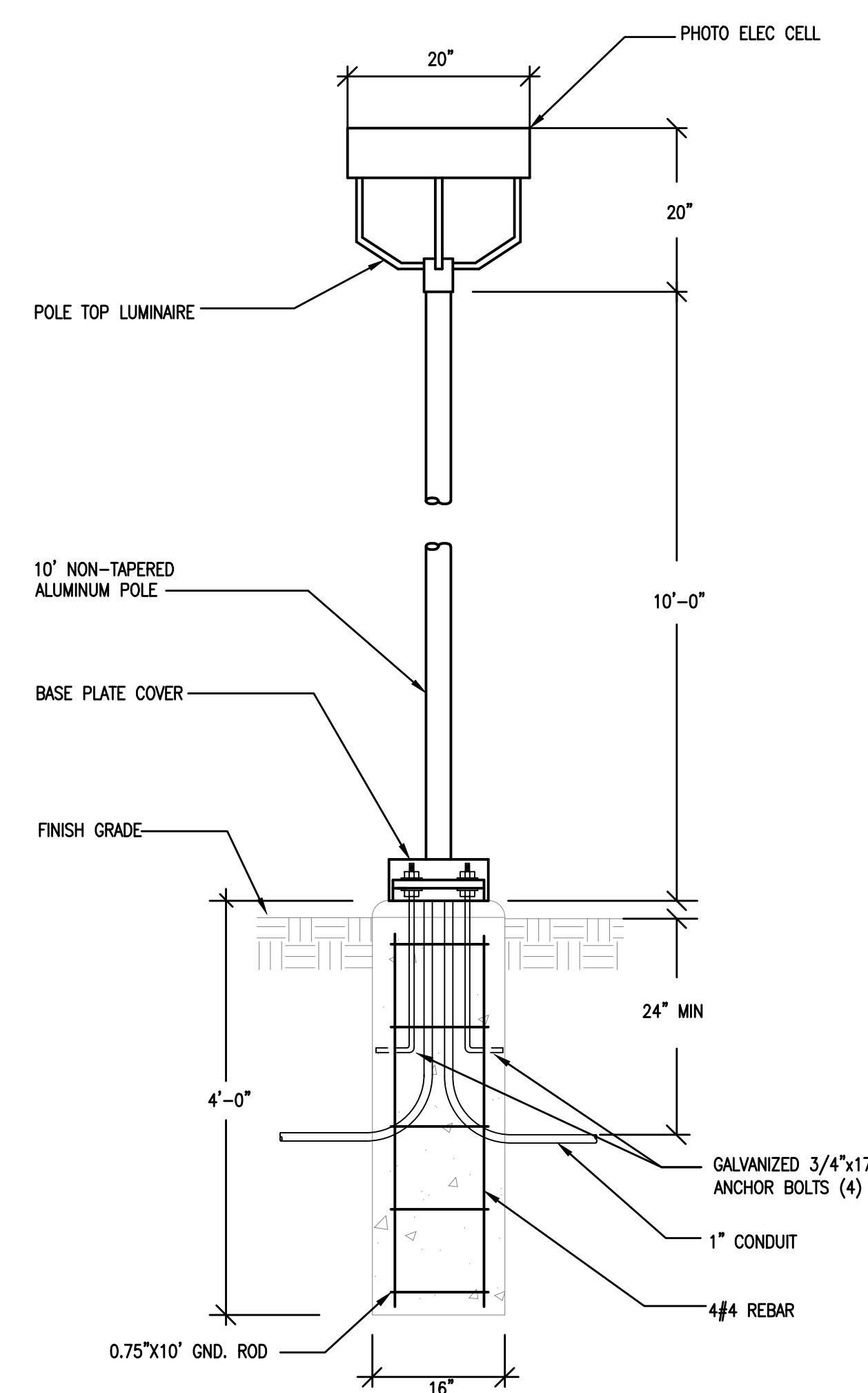
8/12/2015

REVISIONS	DATE

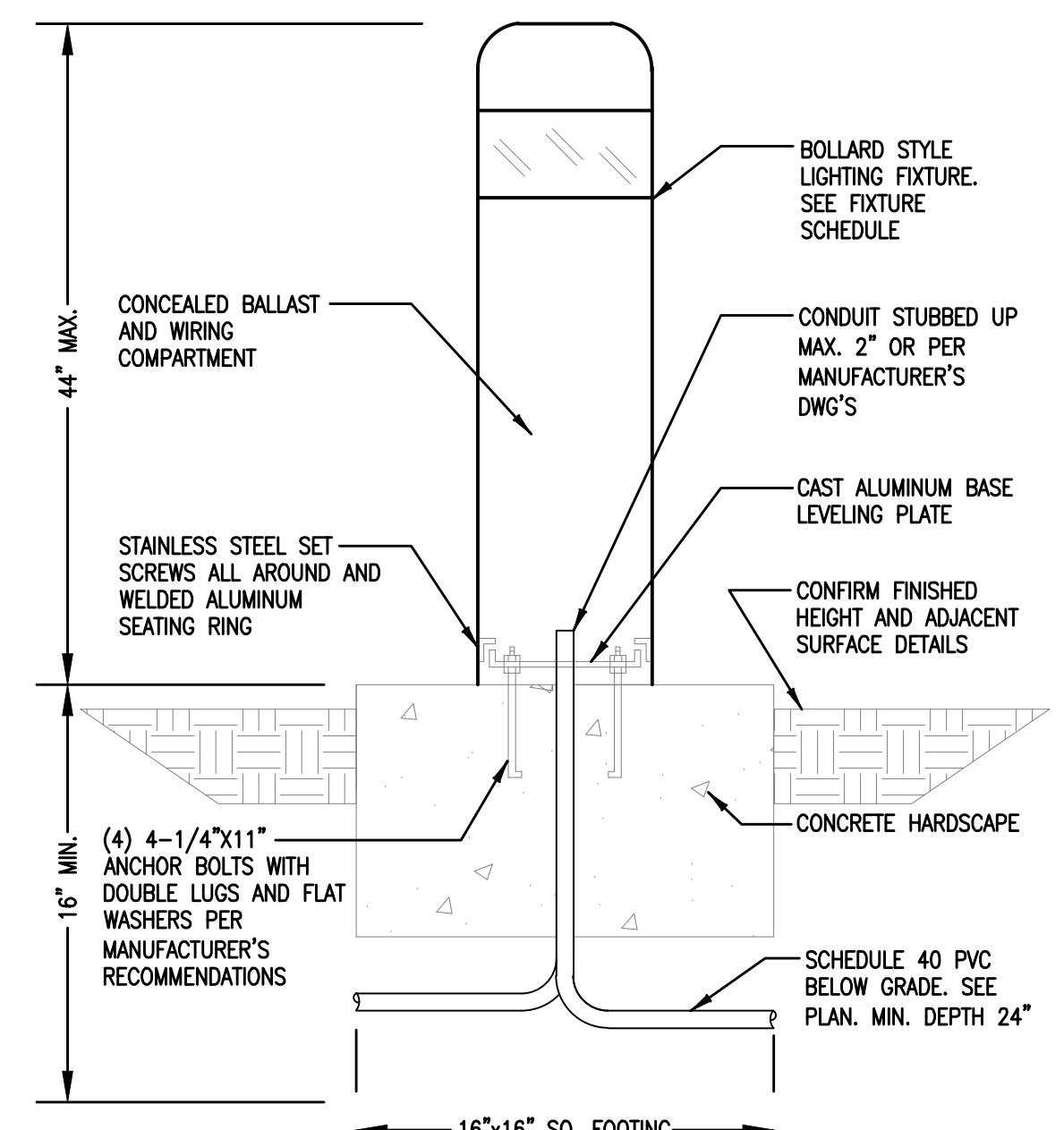
NO	REVISIONS	DATE

WARD CREEK COTTAGES - Walpert and 2nd Streets

SCALE: N.T.S.
DATE: 06/17/2015
DRAWN BY: CD
REVISION: 1
SHEET E0.0



1 SIDEWALK POLE LIGHT DETAIL
SCALE: N.T.S.



2 BOLLARD LIGHT DETAIL
Scale: N.T.S.

ELECTRICAL LEGEND		ABBREVIATIONS & DESCRIPTIONS			
CIRCUITING SYMBOLS					
CONDUIT STUBBED, CAPPED, AND MARKED WITH PULL CORD. CONDUIT UP. CONDUIT DOWN. HOMERUN, PANEL AND CIRCUIT AS INDICATED. CIRCUIT CONCEALED IN CEILING OR WALL. 3/4"-2#12,1#12G UNO. CIRCUIT CONCEALED IN FLOOR OR UNDERGROUND. 3/4"-2#12,1#12G UNO. GROUNDING CONDUCTOR SIZE RACEWAY SIZE CONDUCTOR SIZE CONDUCTOR QUANTITY					
LIGHTING (SEE LUMINAIRE SCHEDULE FOR EXACT REQUIREMENTS)					
POLE LIGHT 1 HEAD SQUARE WITH POLE. BOLLARD LIGHT. DECORATIVE POST-TOP LIGHT. WALL MOUNTED LIGHT WITH PHOTO-CELL.					
MISCELLANEOUS					
INDICATES FIXTURE TYPE. REFER TO LUMINAIRE SCHEDULE.					
SHEET INDEX					
E0.0 ELECTRICAL COVER SHEET E0.1 ELECTRICAL SPECIFICATIONS E0.2 TITLE 24 IECC ENERGY COMPLIANCE E1.0 SITE ELECTRICAL PLANS E1.1 SITE PHOTOMETRIC PLAN E5.1 LIGHT FIXTURE SPECIFICATION SHEETS					
GENERAL ELECTRICAL NOTES					
(RE: ALL ELECTRICAL SHEETS)					
1. ALL ELECTRICAL EQUIPMENT AND SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, INTERNATIONAL FIRE CODE, AND ALL OTHER STATE AND LOCAL CODES. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER IN WRITING IF PORTIONS OF THE DESIGN SET OR FIELD CONDITIONS DO NOT MEET REQUIRED CODES.					
2. PROVIDE FIRESTOPPING FOR ALL FLOOR AND FIREWALL PENETRATIONS FROM ELECTRICAL DEVICE, RACEWAY, AND CABLE PENETRATIONS. SEE ARCHITECTURAL DRAWINGS FOR FIREWALL LOCATIONS.					
3. ELECTRICAL DEVICES AND LINework ARE SHOWN BOLD FOR NEW, BOLD/DASHED FOR DEMO AND SCREENED FOR EXISTING.					
4. FIRE ALARM SYSTEM IS DESIGN BUILD BY ELECTRICAL CONTRACTOR AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 AND ALL OTHER STATE AND LOCAL CODES. PROVIDE AND INSTALL CONDUIT AND CONDUCTORS FOR ALL FIRE ALARM DEVICES REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO HVAC SHUTDOWN, FIRE ALARM CONTROL PANEL, INITIATING AND ANNUNCIATING CIRCUITS. FIELD INSPECTION IS REQUIRED TO VERIFY THIS INFORMATION PRIOR TO BID.					
5. PROVIDE AND INSTALL 3/4" CO TO ACCESSIBLE LOCATION ABOVE SUSPENDED CEILING, UNLESS NOTED OTHERWISE. PROVIDE UNSWITCHED CONDUCTORS FOR CHARGING CIRCUIT AS REQUIRED.					
6. EMERGENCY LIGHTING SYMBOLS ARE SHADED ON THE LIGHTING PLANS. EMERGENCY SOURCE SHALL BE BATTERY BACKED BALLAST WITH MINIMUM 1400 LUMEN OUTPUT FOR A 90 MINUTE PERIOD, UNLESS NOTED OTHERWISE.					
7. DESIGN OF ELECTRICAL REQUIREMENTS, FOR MECHANICAL EQUIPMENT, IS BASED ON MECHANICAL EQUIPMENT SPECIFIED. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR IF EQUIPMENT PURCHASED IS DIFFERENT FROM THAT SPECIFIED. STILL MEETS DESIGN INTENT, INCLUDING BUT NOT LIMITED TO OVERCURRENT PROTECTION, LOCAL DISCONNECTING MEANS, WIRE SIZING AND DESIGN COSTS.					



ELECTRICAL SPECIFICATIONS

ELECTRICAL SPECIFICATIONS

PART 1 – GENERAL

1.1 SCOPE OF WORK

FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT AND PROVIDE ALL LABOR REQUIRED AND NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND ALL OTHER WORK AND MISCELLANEOUS ITEMS, NOT SPECIFICALLY MENTIONED, BUT REASONABLY INFERRED FOR A COMPLETE INSTALLATION, INCLUDING ALL ACCESSORIES AND APPURTEANCES REQUIRED FOR TESTING THE SYSTEM. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS THAT ALL SYSTEMS BE COMPLETE AND READY FOR OPERATION. THIS PROJECT INCLUDES SITE LIGHTING AND PHOTOMETRICS

1.2 CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL COMPLY WITH LATEST RULES, CODES AND REGULATIONS, INCLUDING, BUT NOT LIMITED TO OSHA, THE NATIONAL ELECTRICAL CODE, INTERNATIONAL BUILDING AND FIRE CODES, NFPA, AND OTHER APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS. CODE COMPLIANCE IS MANDATORY. NOTHING IN THESE DRAWINGS AND SPECIFICATIONS PERMITS WORK NOT CONFORMING TO THESE CODES. WHERE WORK IS SHOWN TO EXCEED MINIMUM CODE REQUIREMENTS, COMPLY WITH DRAWINGS AND SPECIFICATIONS.

1.3 LICENSE, FEES AND PERMITS

ARRANGE FOR REQUIRED INSPECTIONS AND PAY ALL LICENSE, PERMIT AND INSPECTION FEES.

1.4 CONDITIONS AT SITE

VISIT TO SITE IS REQUIRED OF ALL BIDDERS PRIOR TO SUBMISSION OF BID. ALL WILL BE HELD TO HAVE FAMILIARIZED THEMSELVES WITH ALL DISCERNIBLE CONDITIONS AND NO EXTRA PAYMENT WILL BE ALLOWED FOR WORK REQUIRED BECAUSE OF THESE CONDITIONS, WHETHER SPECIFICALLY MENTIONED OR NOT. LINES OF OTHER SERVICES THAT ARE DAMAGED AS A RESULT OF THIS WORK SHALL PROMPTLY BE REPAIRED AT NO EXPENSE TO THE OWNER TO COMPLETE SATISFACTION OF THE OWNER.

1.5 SAFETY

THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK.

1.6 GUARANTEE

GUARANTEE THE INSTALLATION FREE FROM DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER DATE OF CERTIFICATE OF FINAL PAYMENT AND PROMPTLY REMEDY ANY DEFECTS DEVELOPING DURING THIS PERIOD, WITHOUT CHARGE.

1.7 SUBSTITUTIONS

WHEREVER POSSIBLE, MORE THAN ONE MANUFACTURER HAS BEEN LISTED FOR VARIOUS ITEMS OF EQUIPMENT, ANY ONE OF WHICH WILL BE ACCEPTABLE. BASE THE BID ON USE OF MATERIALS SPECIFIED. IF, AFTER AWARD OF THE CONTRACT, A SUBSTITUTE IS PROPOSED, THE REQUEST FOR PERMISSION TO SUBSTITUTE SHALL BE ACCOMPANIED WITH A STATEMENT OF THE AMOUNT OF MONEY TO BE RETURNED TO THE CONTRACTOR IF THE SUBSTITUTION IS PERMITTED. THE ENGINEER IS THE SOLE JUDGE OF ACCEPTABILITY OF PROPOSED SUBSTITUTIONS. IF A SUBSTITUTE ITEM IS PERMITTED, AND ANY REDESIGN EFFORT IS THEREBY NECESSITATED, THE REQUIRED REDESIGN SHALL BE AT THE CONTRACTOR'S EXPENSE.

1.8 SHOP DRAWINGS AND MATERIALS LISTS

SUBMIT TO THE ENGINEER SEVEN (7) COPIES OF COMPLETE SHOP DRAWINGS AND MATERIALS LISTS FOR REVIEW WITHIN THIRTY (30) DAYS AFTER AWARD OF CONTRACT, ALL PROPOSED DEVIATIONS FROM SPECIFICATIONS MUST BE CLEARLY LISTED UNDER A PROMINENT HEADING ENTITLED "DEVIATIONS".

1.9 WORKMANSHIP

ONLY QUALITY WORKMANSHIP WILL BE ACCEPTED. HAPHAZARD OR POOR INSTALLATION PRACTICE WILL BE CAUSE FOR REJECTION OF WORK.

1.10 COORDINATION

COORDINATE WORK WITH OTHER TRADES TO AVOID CONFLICT AND TO PROVIDE CORRECT ROUGH-IN AND CONNECTION FOR EQUIPMENT FURNISHED UNDER OTHER TRADES THAT REQUIRE ELECTRICAL CONNECTIONS. VERIFY EQUIPMENT DIMENSIONS AND REQUIREMENTS WITH PROVISIONS SPECIFIED UNDER THIS SECTION. CHECK ACTUAL JOB CONDITIONS BEFORE FABRICATING WORK. REPORT NECESSARY CHANGES IN TIME TO PREVENT NEEDLESS WORK.

1.11 CUTTING AND PATCHING

ALL CUTTING AND PATCHING REQUIRED FOR WORK OF THIS DIVISION IS INCLUDED HEREIN. COORDINATION WITH GENERAL CONTRACTOR AND OTHER TRADES IS IMPERATIVE.

1.12 SITE CLEANUP

- A. AFTER ALL OTHER WORK HAS BEEN ACCOMPLISHED, CLEAN ALL EXPOSED CONDUIT, FIXTURES, EQUIPMENT AND SUPPORTS. TOUCH UP PAINT ON ANY EQUIPMENT SCRAPED, SCRATCHED OR DAMAGED DURING CONSTRUCTION.
- B. LEAVE ALL AREAS INVOLVING ELECTRICAL WORK IN A CONDITION SATISFACTORY TO THE OWNER. REMOVE ALL CRATES, CARDBOARD, PACKING MATERIAL, WASTE MATERIAL, AND OTHER DEBRIS LEFT OVER FROM CONSTRUCTION.

PART 2 – PRODUCTS

2.1 MATERIAL APPROVAL

ALL MATERIALS MUST BE NEW AND BEAR U.L. LABEL. MATERIALS THAT ARE NOT COVERED BY UL TESTING STANDARDS SHALL BE TESTED AND APPROVED BY AN INDEPENDENT TESTING LABORATORY OF A GOVERNMENTAL AGENCY APPROVED BY THE AUTHORITY HAVING JURISDICTION.

2.2 WIRES AND CABLES

- A. CONDUCTORS FOR 600V SYSTEMS AND BELOW SHALL BE STRANDED COPPER, #12 AWG MINIMUM.
- B. INSULATION SHALL BE THHN FOR WET LOCATIONS AND THHN FOR DRY LOCATIONS.

2.3 OUTLET BOXES, JUNCTION AND PULL BOXES

- A. OUTLET BOXES: HOT-DIPPED, GALVANIZED OR SHERADIZED, SIZE AS REQUIRED WITH 4" SQUARE MINIMUM, FOR FLUSH MOUNTED DEVICES AND LIGHTING FIXTURES.
- B. JUNCTION AND PULL BOXES: HOT DIPPED, GALVANIZED OR SHERADIZED, SIZED ACCORDING TO CODE. LARGER JUNCTION AND PULL BOXES SHALL BE FABRICATED FROM SHEET STEEL, SIZED ACCORDING TO CODE, WITH SCREW-ON COVERS, FINISHED GRAY BAKED ENAMEL.

2.4 WIRING DEVICES

- A. ALL WIRING DEVICES OF ANY ONE GENERAL TYPE SHALL BE OF THE SAME MANUFACTURER AND SHALL MATCH THROUGHOUT.
- B. WIRING DEVICES SHALL BE AS MANUFACTURED BY HUBBELL, GE, LEVITON, P & S, OR BRYANT. NO SUBSTITUTIONS.
- C. COVER PLATES SHALL BE AS MANUFACTURED BY ARROW HART, SIERRA, LEVITON OR MULLBURY. WHITE FINISH.
- D. WHERE INDICATED, PROVIDE GENERAL-DUTY, DUPLEX RECEPTACLES, GROUND-FAULT CIRCUIT INTERRUPTERS: GROUNDING TYPE UL-RATED CLASS A, GROUP 1, 20 AMPERES RATING, 120 VOLTS, 60Hz; WITH SOLID-STATE GROUND-FAULT SENSING AND SIGNALING; WITH 5 MILLIAMPERES GROUND-FAULT TRIP LEVEL; WHITE FINISH.
- E. SWITCHES SHALL BE FLUSH WALL TYPE, WHITE FINISH
- F. CONVENIENCE RECEPTACLES SHALL BE, FLUSH WALL TYPE, WHITE FINISH.

2.5 WIRE CONNECTORS

- A. FOR WIRE SIZES #8 AWG AND SMALLER: INSULATED PRESSURE TYPE (WITH LIVE SPRING) RATED 105°C, 600V, FOR CONCRETE OR BLOCK WALLS, EMT IN OTHER LOCATIONS WHERE PERMITTED BY CODE. METAL CLAD OR NM CABLE WITHIN UNITS, ONLY WHERE ALLOWED BY LOCAL AUTHORITY HAVING JURISDICTION.
- B. FOR WIRE SIZES #6 AWG AND LARGER: T&B OR EQUIVALENT COMPRESSION TYPE WITH 3M #33+ OR PLYMOUTH "SLIPNOT GREY" TAPE INSULATION.

2.6 PANELBOARD

PANELBOARDS SHALL BE AS MANUFACTURED BY SQUARE D, GENERAL ELECTRIC, SIEMENS, OR CUTLER HAMMER. PROVIDE PANELBOARDS AS INDICATED ON SCHEDULES, WITH THE FOLLOWING FEATURES: HARD-DRAWN COPPER BUS (98 PERCENT CONDUCTIVITY), MECHANICAL-TYPE MAIN AND NEUTRAL LUGS, NEUTRAL BUS RATED 100 PERCENT OF PHASE BUS, GROUND BUS BONDED TO ENCLOSURE, BOLT-ON MOLDED-CASE THERMAL-MAGNETIC BREAKERS.

2.7 SWITCHBOARD

SWITCHBOARD SHALL BE AS MANUFACTURED BY SQUARE D, CUTLER HAMMER, GE OR SIEMENS, NO SUBSTITUTIONS. SWITCHBOARDS OF SUITABLE VOLTAGE AND AMPERAGE RATINGS SHALL BE LOCATED IN A DEDICATED ELECTRICAL ROOM. SWITCHBOARDS SHALL BE FRONT ACCESSIBLE ONLY. THE SWITCHBOARD SHALL HAVE GROUND FAULT PROTECTION ON THE MAIN SWITCH, FEEDERS TO THE KITCHEN AND POOL PANELS, AND ALL FEEDERS 1000A AND LARGER. PROVIDE TIN-PLATED ALUMINUM BUS. HORIZONTAL BUS SHALL NOT BE REDUCED. MAIN DEVICES SHALL BE INDIVIDUALLY MOUNTED. DEVICES IN THE DISTRIBUTION SECTION SHALL BE GROUP MOUNTED. PROVIDE C.T. METERING COMPARTMENT AS COORDINATED WITH LOCAL UTILITY. FEEDER DEVICES SHALL BE MOLDED CASE CIRCUIT BREAKERS. FIVE (5%) SPARE CAPACITY WILL BE PROVIDED FOR CORRESPONDING DEVICES. LIGHTNING ARRESTORS AND SURGE PROTECTION CAPACITORS SHALL BE INSTALLED IN EACH SERVICE. AN AMMETER, VOLTMETER AND WATT-HOUR DEMAND METER WILL BE PROVIDED FOR EACH SERVICE. PULSE INITIATION TO THE EMS HOST COMPUTER WILL BE PROVIDED.

2.8 RACEWAYS

A. OUTDOORS:

EXPOSED: RIGID STEEL OR INTERMEDIATE METAL CONDUIT
CONCEALED: RIGID STEEL OR INTERMEDIATE METAL CONDUIT
UNDERGROUND: RIGID NON-METALLIC CONDUIT
TO VIBRATING EQUIPMENT: LIQUID-TIGHT FLEXIBLE METAL CONDUIT

B. INDOORS:

EXPOSED: ELECTRICAL METALLIC TUBING, RIGID STEEL CONDUIT, PVC-COATED RIGID STEEL CONDUIT
CONCEALED: ELECTRICAL METALLIC TUBING, METAL CLAD, NM (WHERE ALLOWED BY LOCAL AHJ)
DAMP OR WET LOCATIONS: RIGID STEEL CONDUIT
TO VIBRATING EQUIPMENT: FLEXIBLE METAL CONDUIT

2.9 FAULT PROTECTION AND COORDINATION STUDY

A. THE FAULT PROTECTION AND COORDINATION STUDY SHALL INCLUDE THE FOLLOWING, AS WELL AS ANY RELATED DATA REQUIRED FOR SUBSTANTIATION AND CLARIFICATION OF THE STUDY:

1. COMPLETE FAULT CURRENT AND SYSTEM PROTECTIVE DEVICE COORDINATION DATA INCLUDING THE SHORT CIRCUIT AND GROUND FAULT DUTIES ON THE PRIMARY VOLTAGE.
2. COMPLETE SET OF TIME-CURRENT COORDINATION CURVES, STARTING WITH DEVICES PROTECTING THE SERVICE DOWN THROUGH AND INCLUDING ALL FEEDER, SUB-FEEDER AND SECONDARY MAIN AND BRANCH CIRCUIT PROTECTIVE DEVICES.
3. A COMPLETE SET OF MOTOR STARTING TIME-CURRENT CURVES FOR MOTORS EXCEEDING 50 HORSEPOWER BASED ON THE WK2 INERTIA OF THE DRIVEN LOAD.
4. A COMPLETE SET OF TRANSFORMER INRUSH AND THERMAL WITHSTAND CURVES.
5. A TABULATION OF ALL RECOMMENDED RELAY SETTINGS, INCLUDING GROUND FAULT RELAY SETTINGS, FUSE SIZES AND CLASSES, AND CIRCUIT BREAKER TRIP SETTINGS, IDENTIFYING EACH ITEM BY MANUFACTURER AND CATALOG NUMBER.
6. A TABULATION OF ANY CASES WHERE SELECTIVE COORDINATION IS UNOBTAINABLE AND OF THE CONSEQUENCES OF A DOWNSTREAM FAULT ON UPSTREAM CONTINUITY OF SUPPLY.
7. COMPLETE DATA ON GENERATOR SHORT-CIRCUIT TRANSIENT AND SUSTAINING CURRENTS, GROUND FAULT CURRENT, AND AUTO-TRANSFER SWITCHING TIME.

- B. THE FINAL SELECTION AND SETTING OF ALL PROTECTIVE DEVICES SHALL BE BASED ON THE APPROVED STUDY.

- C. THIS STUDY SHALL BE SUBMITTED PRIOR TO SUBMISSION OF SHOP DRAWINGS FOR ANY SERVICE, DISTRIBUTION, MOTOR CONTROL OR EMERGENCY SYSTEM EQUIPMENT.

PART 3 – EXECUTION

3.1 – GENERAL

- A. ELECTRIC SYSTEM LAYOUTS INDICATED ON THE DRAWINGS ARE GENERALLY DIAGRAMMATIC, BUT SHALL BE FOLLOWED AS CLOSELY AS ACTUAL CONSTRUCTION AND WORK OF OTHER TRADES WILL PERMIT.
- B. CONSULT ALL OTHER DRAWINGS. VERIFY SCALES AND REPORT ANY DIMENSIONAL DISCREPANCIES OR OTHER CONFLICTS TO ARCHITECT BEFORE SUBMITTING BID.
- C. ALL HOME RUNS ARE INDICATED AS STARTING FROM THE DEVICE NEAREST THE PANEL AND CONTINUING IN THE GENERAL DIRECTION OF THAT PANEL. CONTINUE SUCH CIRCUITS TO THE PANEL AS THOUGH THE ROUTES WERE COMPLETELY INDICATED.
- D. AVOID CUTTING AND BORING HOLES THROUGH STRUCTURE OR STRUCTURAL MEMBERS WHEREVER POSSIBLE. OBTAIN PRIOR APPROVAL OF ARCHITECT AND CONFORM TO ALL STRUCTURAL REQUIREMENTS WHEN CUTTING OR BORING THE STRUCTURE IS NECESSARY AND PERMITTED.

3.2 – ELECTRICAL GROUNDING

GROUND ALL ELECTRICAL EQUIPMENT IN ACCORDANCE WITH NEC. IN ADDITION PROVIDE A SEPARATE GROUND WIRE FOR ALL FEEDERS AND BRANCH CIRCUITS.

3.3 – ELECTRICAL EQUIPMENT INSTALLATION

- A. HEAD ROOM MAINTENANCE: IF MOUNTING HEIGHTS OR OTHER LOCATION CRITERIA ARE NOT INDICATED, ARRANGE AND INSTALL COMPONENTS AND EQUIPMENT TO PROVIDE THE MAXIMUM POSSIBLE HEADROOM.
- B. MATERIALS AND COMPONENTS: INSTALL LEVEL, PLUMB, AND PARALLEL AND PERPENDICULAR TO OTHER BUILDING SYSTEMS AND COMPONENTS, UNLESS OTHERWISE INDICATED.
- C. EQUIPMENT: INSTALL TO FACILITATE SERVICE, MAINTENANCE, AND REPAIR OR REPLACEMENT OF COMPONENTS. CONNECT FOR EASE OF DISCONNECTING, WITH MINIMUM INTERFERENCE WITH OTHER INSTALLATIONS.
- D. RIGHT OF WAY: COORDINATE INSTALLATION OF ELECTRICAL DEVICES WITH OTHER TRADES.

3.4 – RACEWAY AND CABLE INSTALLATION

- A. ABOVE-GRADE: RIGID STEEL OR IMC IN WET LOCATIONS, WHERE SUBJECT TO MECHANICAL DAMAGE AND IN CONCRETE OR BLOCK WALLS, EMT IN OTHER LOCATIONS WHERE PERMITTED BY CODE. METAL CLAD OR NM CABLE WITHIN UNITS, ONLY WHERE ALLOWED BY LOCAL AUTHORITY HAVING JURISDICTION.
- B. CONCEAL RACEWAYS AND CABLES WITHIN FINISHED WALLS, CEILINGS, AND FLOORS, UNLESS OTHERWISE INDICATED.
- C. INSTALL RACEWAYS AND CABLES AT LEAST SIX (6) INCHES AWAY FROM PARALLEL RUNS OF FLUES AND STEAM OR HOT-WATER PIPES. LOCATE HORIZONTAL RACEWAY RUNS ABOVE WATER AND STEAM PIPING.
- D. USE TEMPORARY RACEWAY CAPS TO PREVENT FOREIGN MATTER FROM ENTERING.
- E. MAKE CONDUIT BENDS AND OFFSETS SO INSIDE DIAMETER IS NOT REDUCED. KEEP LEGS OF BENDS IN THE SAME PLANE AND STRAIGHT LEGS OFFSETS PARALLEL, UNLESS OTHERWISE INDICATED.
- F. USE RACEWAY FITTINGS AND CABLE FITTINGS COMPATIBLE WITH RACEWAYS AND CABLES AND SUITABLE FOR THIS APPLICATION AND LOCATION.
- G. INSTALL RACEWAYS EMBEDDED IN SLABS IN MIDDLE THIRD OF SLAB THICKNESS WHERE PRACTICAL, AND LEAVE AT LEAST 1-INCH OF CONCRETE COVER.
 1. SECURE RACEWAYS TO REINFORCING RODS TO PREVENT SAGGING OR SHIFTING DURING CONCRETE PLACEMENT.
 2. SPACE RACEWAYS LATERALLY TO PREVENT VOIDS IN CONCRETE.
 3. INSTALL CONDUIT LARGER THAN 1-INCH TRADE SIZE PARALLEL TO OR AT RIGHT ANGLES TO MAIN REINFORCEMENT, WHERE CONDUIT IS AT RIGHT ANGLES TO REINFORCEMENT; PLACE CONDUIT CLOSE TO SLAB SUPPORT.
 4. TRANSITION FROM NONMETALLIC TUBING TO RIGID STEEL CONDUIT, OR IMC BEFORE RISING ABOVE FLOOR.
- H. MAKE EXPOSED BENDS OR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.
- I. INSTALL PULL WIRES IN EMPTY RACEWAYS. USE NO. 14 AWG ZINC-COATED STEEL OR MONOFILAMENT PLASTIC LINE WITH NOT LESS THAN 200-LB TENSILE STRENGTH. LEAVE AT LEAST 12-INCHES OF SLACK AT EACH END OF PULL WIRES.
- J. INSTALL TELEPHONE AND SIGNAL SYSTEM RACEWAYS, 2-INCH TRADE SIZE AND SMALLER, IN MAXIMUM LENGTHS OF 150 FEET (45 M) AND WITH A MAXIMUM OF TWO 90-DEGREE BENDS OR EQUIVALENT. SEPARATE LENGTHS WITH PULL OR JUNCTION BOXES WHERE NECESSARY TO COMPLY WITH THESE REQUIREMENTS, IN ADDITION TO REQUIREMENTS ABOVE.
- K. CONNECT MOTORS AND EQUIPMENT SUBJECT TO VIBRATION, NOISE TRANSMISSION, OR MOVEMENT WITH A MAXIMUM OF 72-INCH FLEXIBLE CONDUIT. INSTALL LFMC IN WET OR DAMP LOCATIONS. INSTALL A SEPARATE GROUND CONDUCTOR ACROSS FLEXIBLE CONNECTIONS.
- L. SET FLOOR BOXES LEVEL AND TRIM AFTER INSTALLATION TO FIT FLUSH TO FINISHED FLOOR SURFACE.
- M. CONDUCTORS: TYPE THHN/THWN INSULATED CONDUCTORS IN RACEWAY.
- N. INSTALL SPLICES AND TAPS THAT ARE COMPATIBLE WITH CONDUCTOR MATERIAL AND THAT POSSESS EQUIVALENT OR BETTER MECHANICAL STRENGTH AND INSULATION RATINGS THAN UNSPLICED CONDUCTORS.
- O. INSTALL WIRING AT OUTLETS WITH AT LEAST 12 INCHES OF SLACK CONDUCTOR AT EACH OUTLET.
- P. CONNECT OUTLET AND COMPONENT CONNECTIONS TO WIRING SYSTEMS AND TO GROUND. TIGHTEN ELECTRICAL CONNECTORS AND TERMINALS, ACCORDING TO MANUFACTURER'S PUBLISHED TORQUE-TIGHTENING VALUES. IF MANUFACTURER'S TORQUE VALUES ARE NOT INDICATED, USE THOSE SPECIFIED IN UL 486A.

3.5 IDENTIFICATION

A. PROVIDE ENGRAVED 3 LAYER LAMINATE PLASTIC NAMEPLATES FOR PANELBOARDS, DISCONNECT SWITCHES AND ALL SIMILAR DEVICES.

B. COLOR-CODE 208/120-VOLT SYSTEM SECONDARY SERVICE, FEEDER, AND BRANCH-CIRCUIT CONDUCTORS THROUGHOUT THE SECONDARY ELECTRICAL SYSTEM AS FOLLOWS:

1. PHASE A: BLACK
2. PHASE B: RED
3. PHASE C: BLUE
4. NEUTRAL: WHITE
5. GROUND: GREEN

3.6 STARTUP SERVICES

CONTRACTOR SHALL ALLOT A MINIMUM OF 2 HOURS FOR STARTUP SERVICES. START AND OPERATE ALL SYSTEMS AS REQUIRED BY THE OWNER. INSTRUCT OWNER'S REPRESENTATIVE ON THE PROPER OPERATION AND MAINTENANCE OF THE SYSTEMS AND EQUIPMENT.

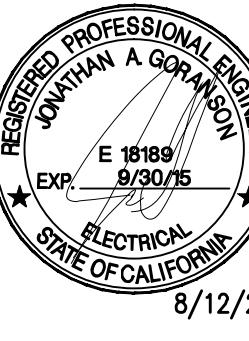
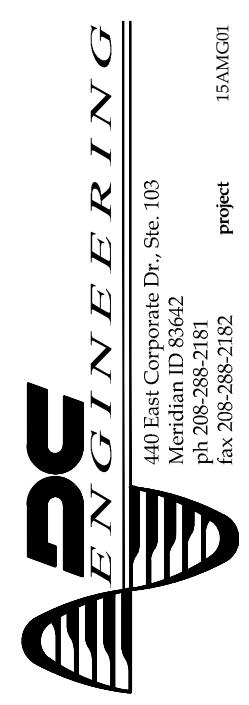
3.7 OPERATING AND MAINTENANCE INSTRUCTIONS (O+M MANUAL)

PREPARE THREE (3) COPIES FOR ALL EQUIPMENT.

3.8 RECORD AS-BUILTS

PROVIDE (1) CLEAN, LEGIBLE COPY OF DRAWINGS TO ENGINEER INDICATING ALL DEVIATIONS FROM INITIAL DESIGN (AS-BUILT CONDITIONS).

END OF SECTION



8/12/2015

GENERAL SITE NOTES:

1. CONTRACTOR SHALL CONTACT UNDERGROUND UTILITY LOCATING SERVICE PRIOR TO EXCAVATION FOR ELECTRICAL WORK.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL OTHER SITE DISCIPLINES INCLUDING BUT NOT LIMITED TO TRADES ASSOCIATED WITH WATER, SEWER, AND GAS INSTALLATIONS.
3. ALL EXTERIOR LIGHTING IS TO BE ROUTED THROUGH A LIGHTING CONTACTOR. LOCATE LIGHTING CONTACTOR NEXT TO THE PANEL SUPPLYING POWER TO THE FIXTURE(S). PROVIDE PHOTO-CELL ON ROOF AND ELECTRO-MECHANICAL 7-DAY TIME CLOCK ADJACENT TO CONTACTOR CABINET.
4. ELECTRICAL CONTRACTOR SHALL COORDINATE UTILITY WORK REQUIRED BY LOCAL ELECTRICAL UTILITY AND SHALL FORWARD WORK ORDER INVOICE TO OWNER FOR PAYMENT.

SITE KEY NOTES:

1. REFER TO CITY OF HAYBURN CALIFORNIA DEPARTMENT OF PUBLIC WORKS STANDARD LIGHTING DETAIL SD-120 FOR SPECIFIC INFORMATION DETAILING STREET LIGHT POLE REQUIREMENTS.
2. REFER TO DETAIL 1, SHEET E0.00 FOR TYPICAL POST TOP LIGHT FIXTURE DETAIL.
3. REFER TO DETAIL 2, SHEET E0.00 FOR BOLLARD DETAIL.

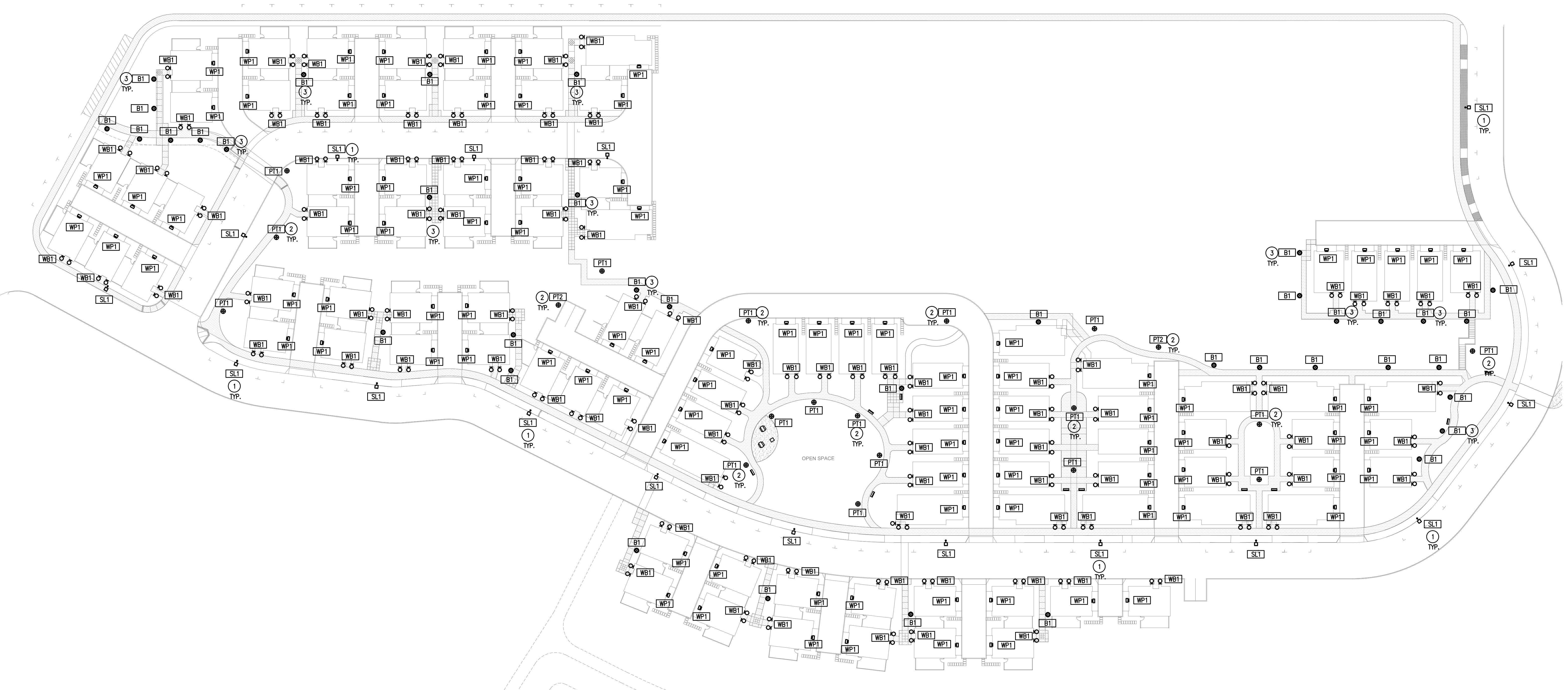
SITE ELECTRICAL PLAN

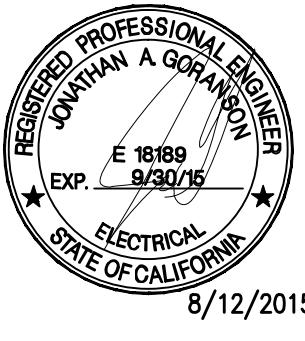
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1" = 40'-0"
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06/17/2015
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SHEET

E1.0

NORTH
SITE ELECTRICAL PLAN
SCALE: 1" = 40'-0"





SITE PHOTOMETRIC PLAN

SCALE:
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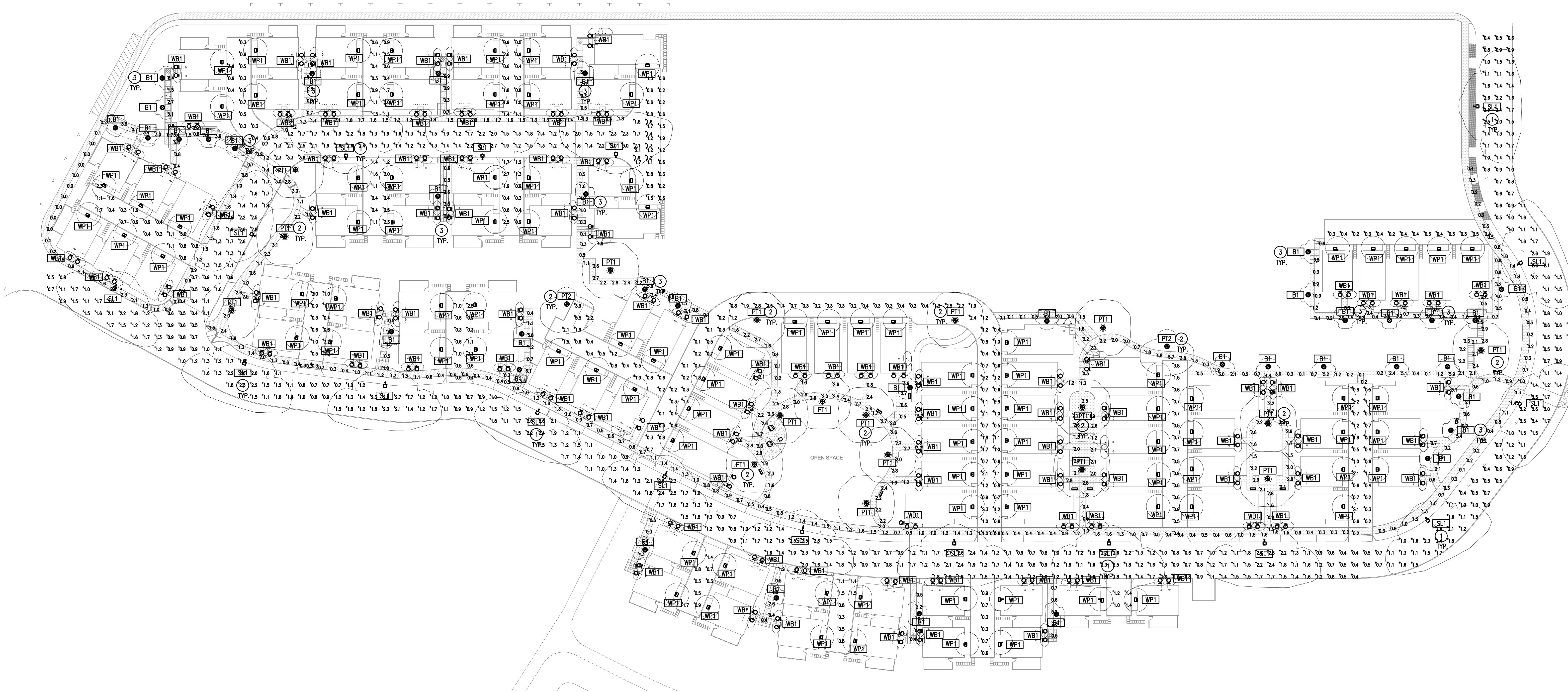
E1.1

GENERAL NOTES:

1. VALUES SHOWN INDICATE ESTIMATED ILLUMINATION LEVEL AT GRADE IN FOOT-CANDLES.
2. LUMINAIRE SCHEDULE PROVIDED ON THIS SHEET IS FOR REFERENCE PURPOSES ONLY. FOR DETAILED INFORMATION SUCH AS MANUFACTURER AND PART NUMBER, REFER TO THE LUMINAIRE SCHEDULE ON SHEET Ex.xx.

Luminaire Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp
○	B1	38	Antique Street Lamps	TLRCB10 18LED 700mA 41K GCF R3	TLRC10 LED, 2 MODULES, 18 LED, 700mA, 4100K, TYPE 3 OPTIC.	18 22W LED ARRAY	1	1040.014
○	PT1	2	Antique Street Lamps	TLRC15 48LED 350mA 40K GCF R4 120 DBL	RESONANCE 1.5 48LED 350mA 4000K FLAT LENS TYPE 4 120 DBL TEMP 52.3C	ONE 58.5-WATT LED, PENDANT DOWNLIGHT POS.	1	4221.929
○	PT2	18	Antique Street Lamps	TLRC15 48LED 350mA 40K GCF R5 120 DBL	RESONANCE 1.5 48LED 350mA 4000K FLAT LENS TYPE 5 120 DBL TEMP 52.7C	ONE 58.5-WATT LED, PENDANT DOWNLIGHT POS.	1	4515.78
□	SL1	17	Cree Inc	BXSPBxx2MEB40K-xxxxxx	CONFIGURED FROM Cree XSP Series Architectural Luminaire, Double Module, Type II Medium, 4000K, B Input Power Designator	CONFIGURED FROM Five type MDA LEDs	1	9611.786
□	WB1	194	Lithonia Lighting	OLLWD	OUTDOOR LED WALL DOWNLIGHT CYLINDER WITH 4000K LEDS AND POLYCARBONATE LENSES	LED	1	263.5878
□	WP1	97	Lithonia Lighting	WSTM LED 2A 40K 120 DIFS	WSTM LED WITH 2 BOARDS, 4000K CCT, 120 VOLT, DIFFUSE GLASS LENS	SAMSUNG 2323	1	1277.289

Statistics						
Description	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Private Drive						
Aisle	0.9 fc	5.5 fc	0.1 fc	55.0:1	9.0:1	0.2:1
Sidewalk	1.7 fc	11.6 fc	0.0 fc	N/A	N/A	0.1:1
Street	1.4 fc	3.6 fc	0.3 fc	12.0:1	4.7:1	0.4:1



SITE PHOTOMETRIC PLAN

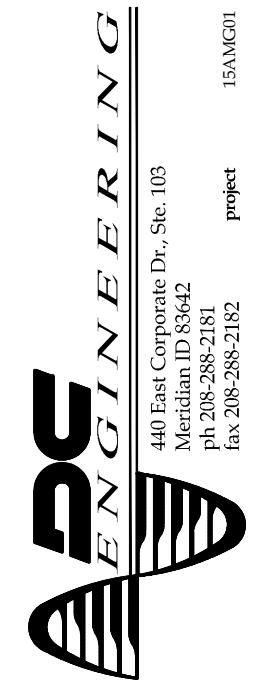
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REVISIONS

SHEET

1



WATERCRESS COUPLES - Wallpaper and zip sheets