

Client

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Consultants

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Meridian, ID. 83642
208-493-0026
Chris Dyer

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WARD CREEK COTTAGES

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TITLE SHEET

Hayward, Ca.
KTTY # 2014-0321

08.24.2015

KTTY Group, Inc.
Architecture+Planning
580 Second St., Suite 200
Oakland, CA 94607
510.272.2910
ktgy.com



T.I


* Street Facing Right
Enhanced Elevations

2ND STREET

WALPERT

* Street Facing Left
Enhanced Elevations

HOME TYPE SUMMARY				
Home Type [Number Proposed]	Number of Stories	Number of Bedroom / Bath	Living Area	Notes
Plan 1 :26	3	3 / 3.5	1941	First floor bedroom / full bath
Plan 2 :36	3	3 / 3.5	1868	First floor bedroom / full bath
Plan 3 :22	3	3 / 3.5	2007	First floor bedroom / full bath
Plan 4 / Plan 4 alt :13	3	5 / 4	2431	Living on first floor with bedroom / full bath
Total 97 Homes				

PARKING SUMMARY				
Home Type	Number of Homes	Minimum Number of on-site parking spaces required	Number of on-site spaces provided	Meets minimum requirement
Single Family with Street Parking	61	2 covered :122: per dwelling unit	122 covered	Yes
Single Family without Street Parking along frontage Indicated by: 	36	2 covered :72: plus 2 uncovered :72: spaces not blocking access to required covered parking	72 covered 66 uncovered	Covered - yes Uncovered - no Difference of 6 spaces
Total	97	194 Covered 72 Uncovered	194 Covered 66 on site <input type="checkbox"/> 18 on street <input type="checkbox"/> 84	Yes

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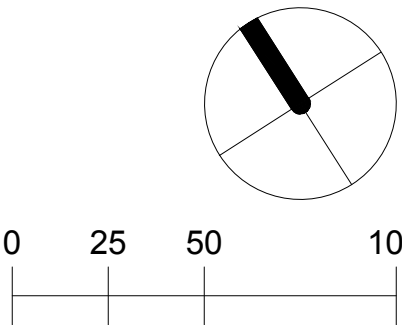
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SITE PLAN / PARKING PLAN A0.1

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OPEN SPACE SUMMARY			
Open Space Type	Minimum Amount Required	Total Open Space Provided	Meets Requirement
Private Open Space	None	22,761 SF	Yes, exceeds
Group Open Space	100 SF of usable open space per dwelling unit □ 9,700 SF	21,919 SF □ 21,600 SF Trail	Yes, exceeds
Total	350 SF per dwelling unit □ 33,950 SF	66,280 SF	Yes, exceeds by 32,330 SF

OPEN SPACE LEGEND

GROUP OPEN SPACE

PRIVATE OPEN SPACE
□ Designates 2nd Floor Deck Area
6 min. dim. / 60 sf min. □

PRIVATE YARDS
□ Designates Private Yards with less than 10 min. dim. Area not included in Private Open Space

OPEN SPACE EXHIBIT

Hayward, Ca.
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ELEVATION '1A' - NAPA VALLEY COTTAGE

ELEVATION '1C' REVERSE - CRAFTSMAN

ELEVATION '1B' - COTTAGE

ELEVATION '1A' REVERSE - NAPA VALLEY COTTAGE

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StreetScene - I
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SS-I
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ELEVATION '2A' REVERSE
NAPA VALLEY COTTAGE

ELEVATION '2C' REVERSE
CRAFTSMAN

ELEVATION '4B' REVERSE
COTTAGE

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StreetScene - 2

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SS-2



ELEVATION '1A' - NAPA VALLEY COTTAGE



ELEVATION '1B' - COTTAGE



ELEVATION '1C' - CRAFTSMAN

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Plan I Elevations

Hayward, Ca.
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A1.C



ELEVATION '1B' - COTTAGE

1B - Cottage
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Siding/ Shingles
Shutters
Decorative Railing & Wood Posts
Recessed Windows
Enhanced Sills
1x Stucco Finish Trim
Stone Veneer



ELEVATION '1A' - NAPA VALLEY COTTAGE

1A - Napa Valley Cottage
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Board and Batt Siding
Hurricane Shutters
Decorative Kicker / Corbel
Enhanced Sills
1x Stucco Finish Trim
Decorative Railing



ELEVATION '1C' - CRAFTSMAN

1C - Craftsman
Material Legend:
Flat Concrete Tile Roofing
Decorative Railing
Stucco Finish
Cementitious Siding/ Shingles
Stone Veneer
Enhanced Sills
1x Stucco Finish Trim
Shutters

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Plan I Elevations

Hayward, Ca.

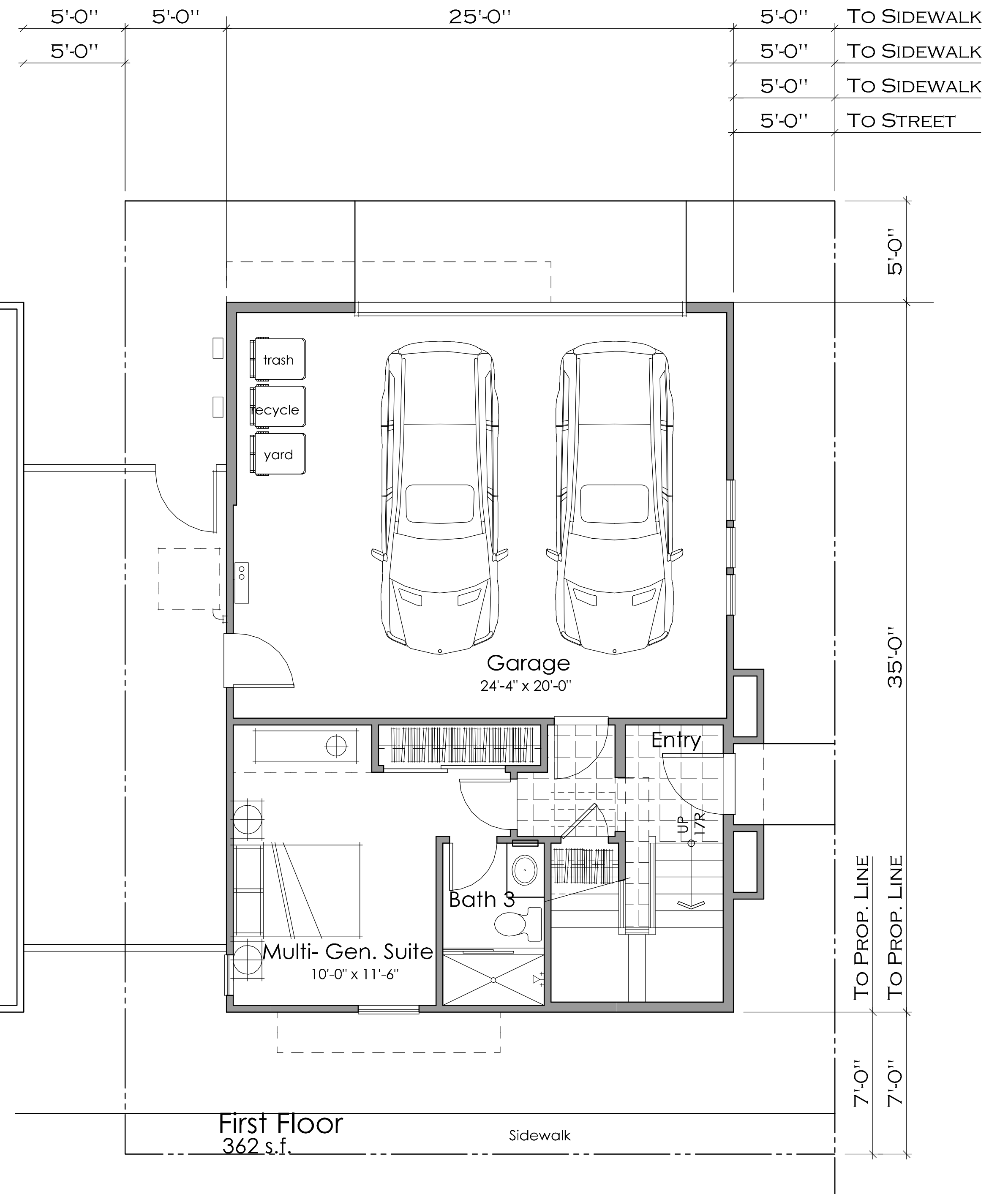
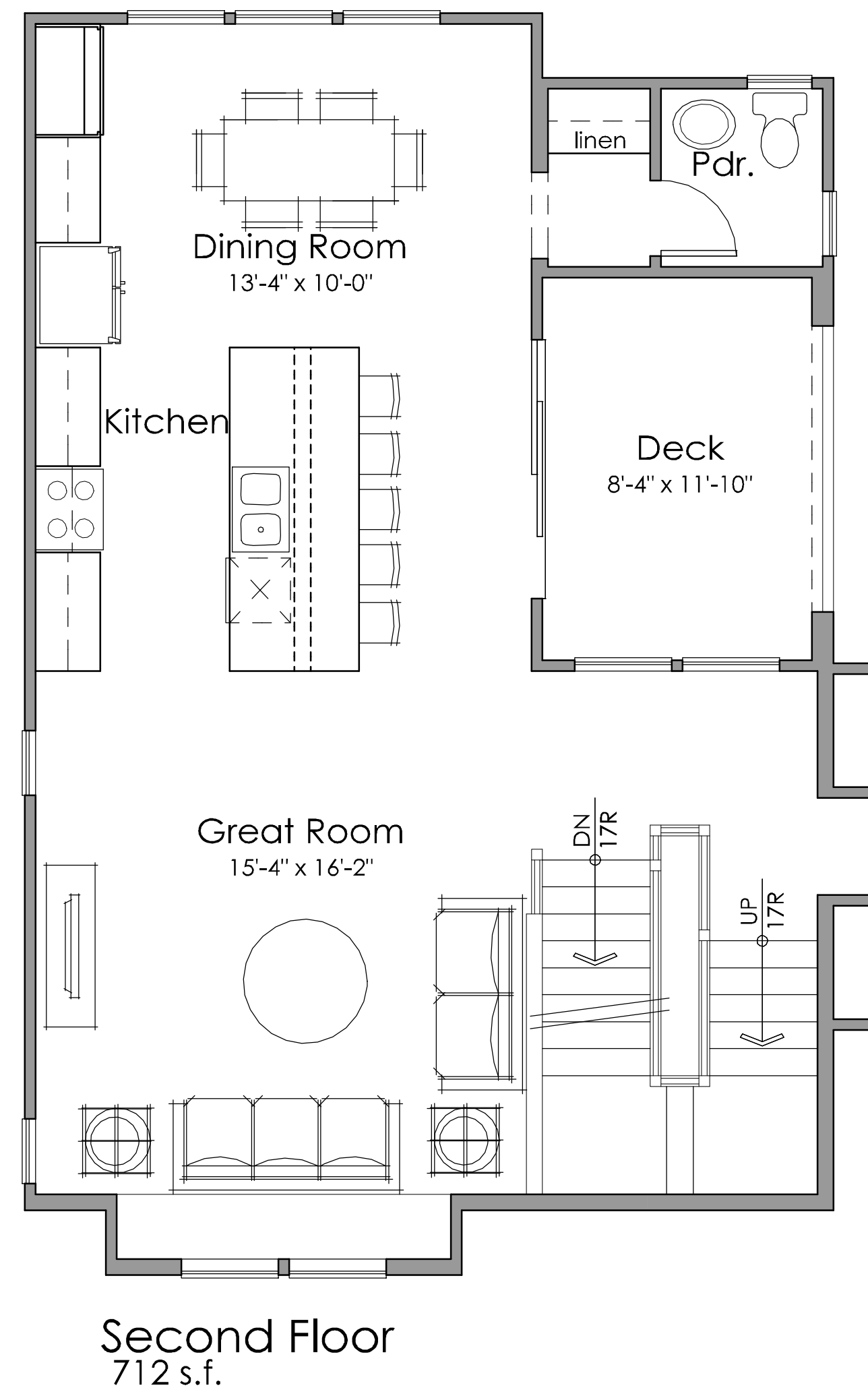
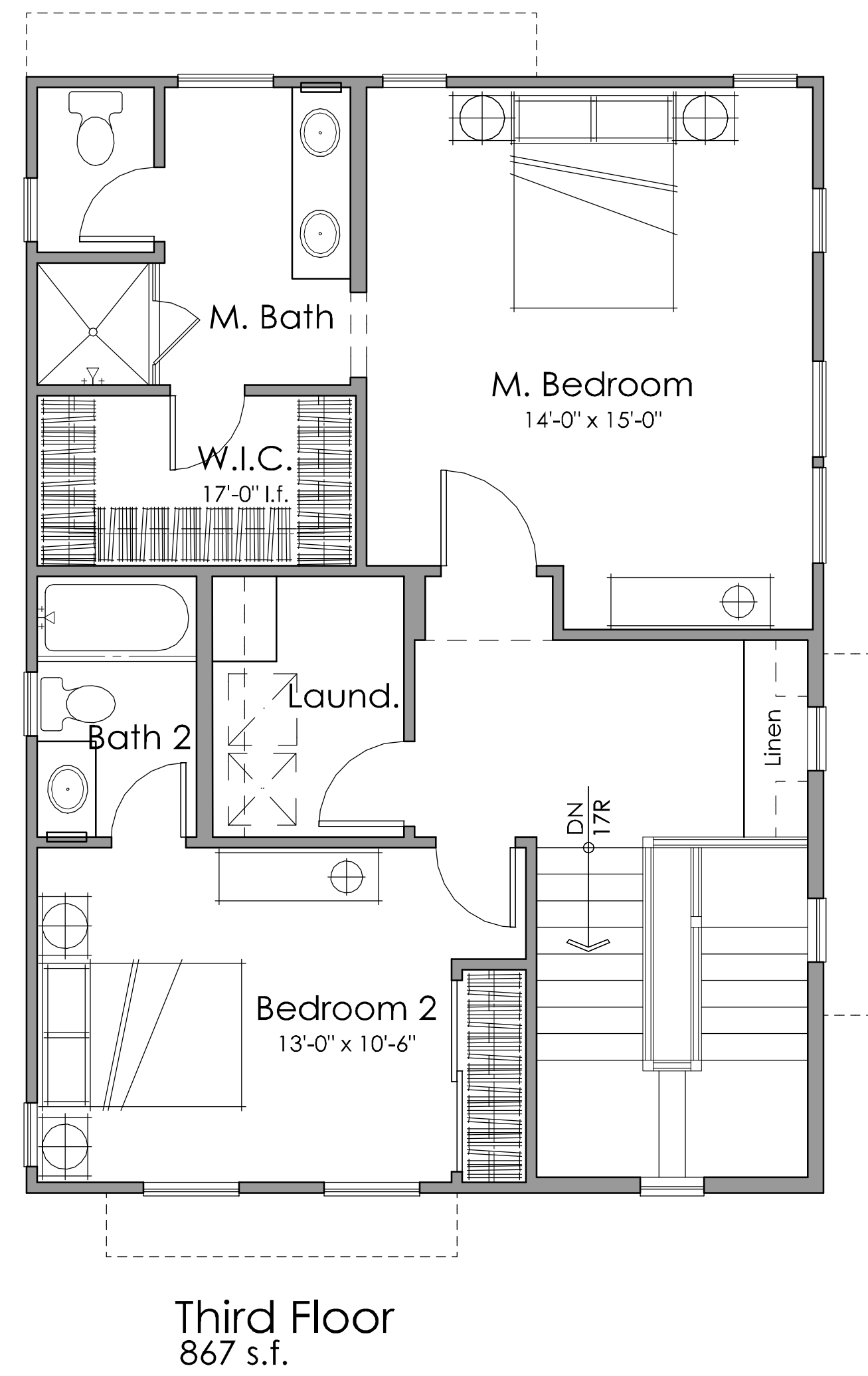
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A1.0



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PLAN I - 1,941 SQ. FT.

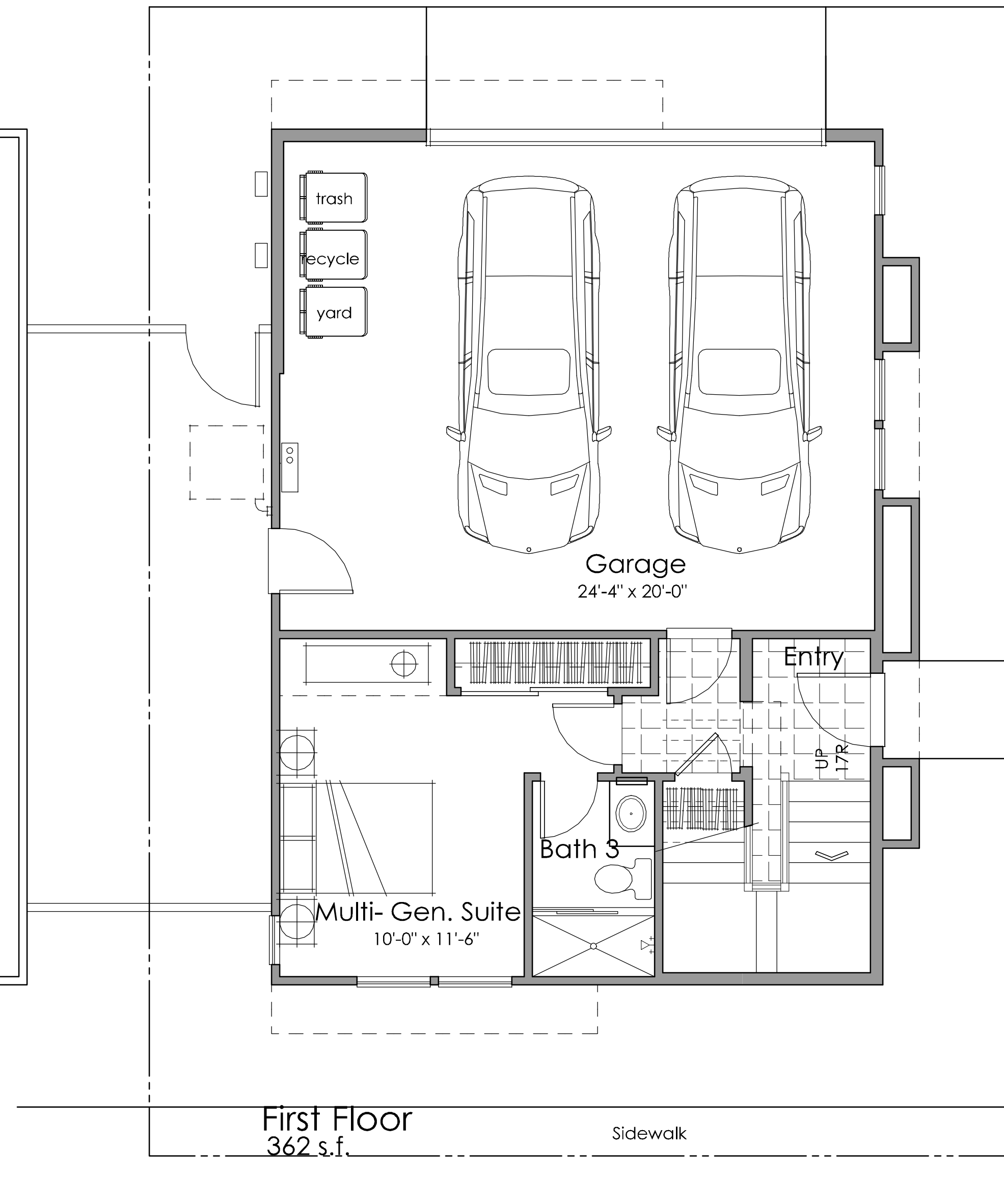
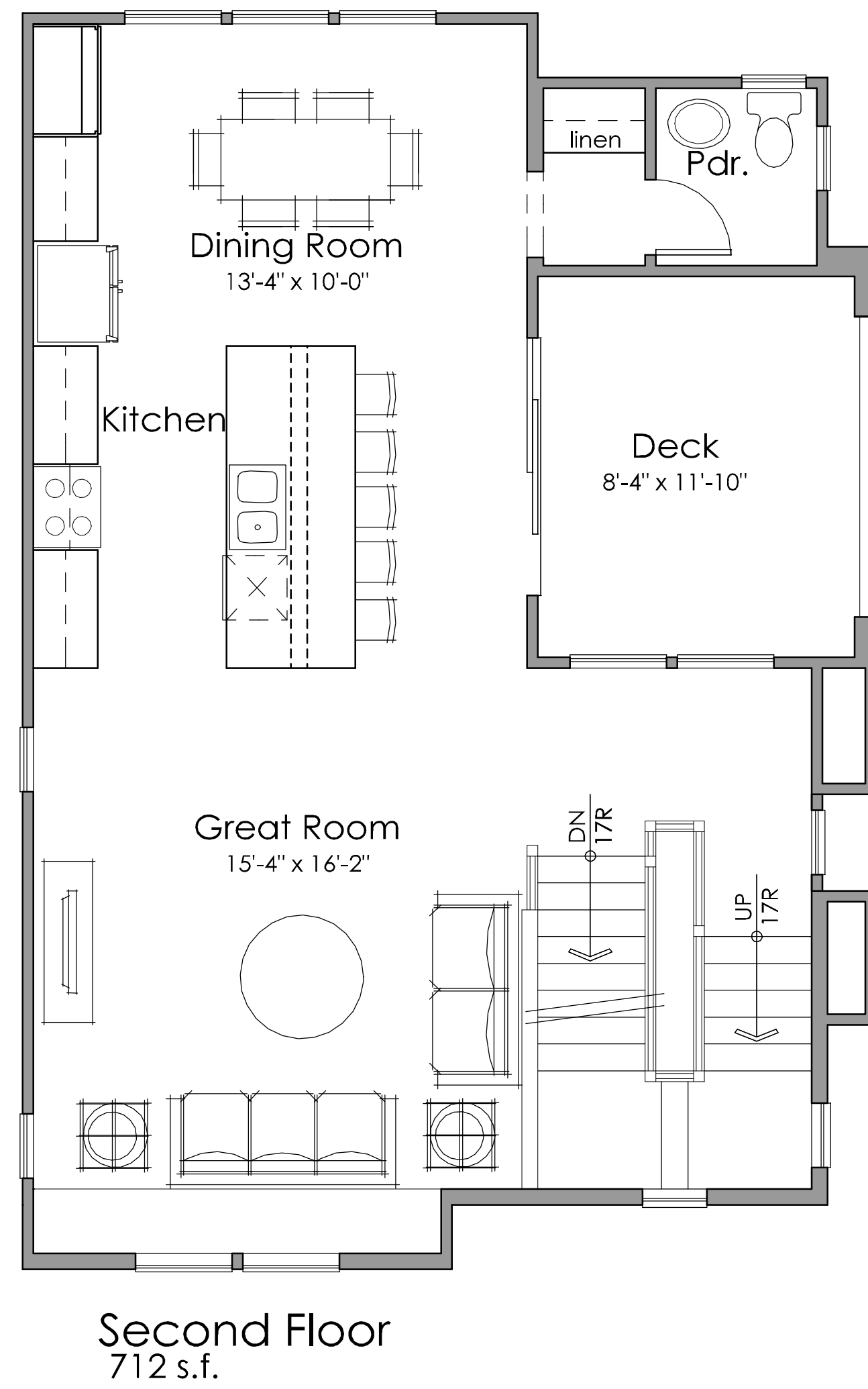
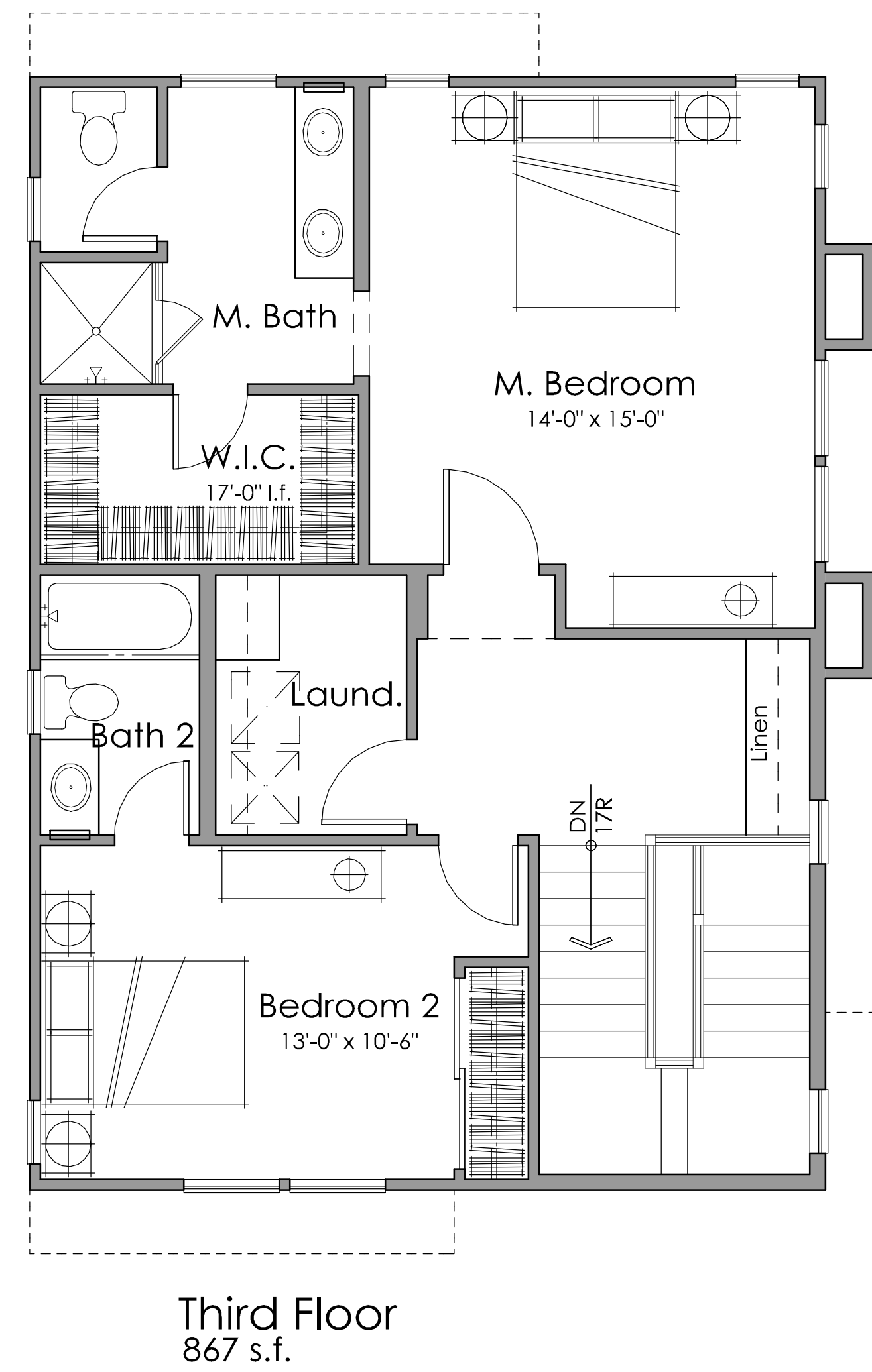
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PLAN 1B - ADDENDA

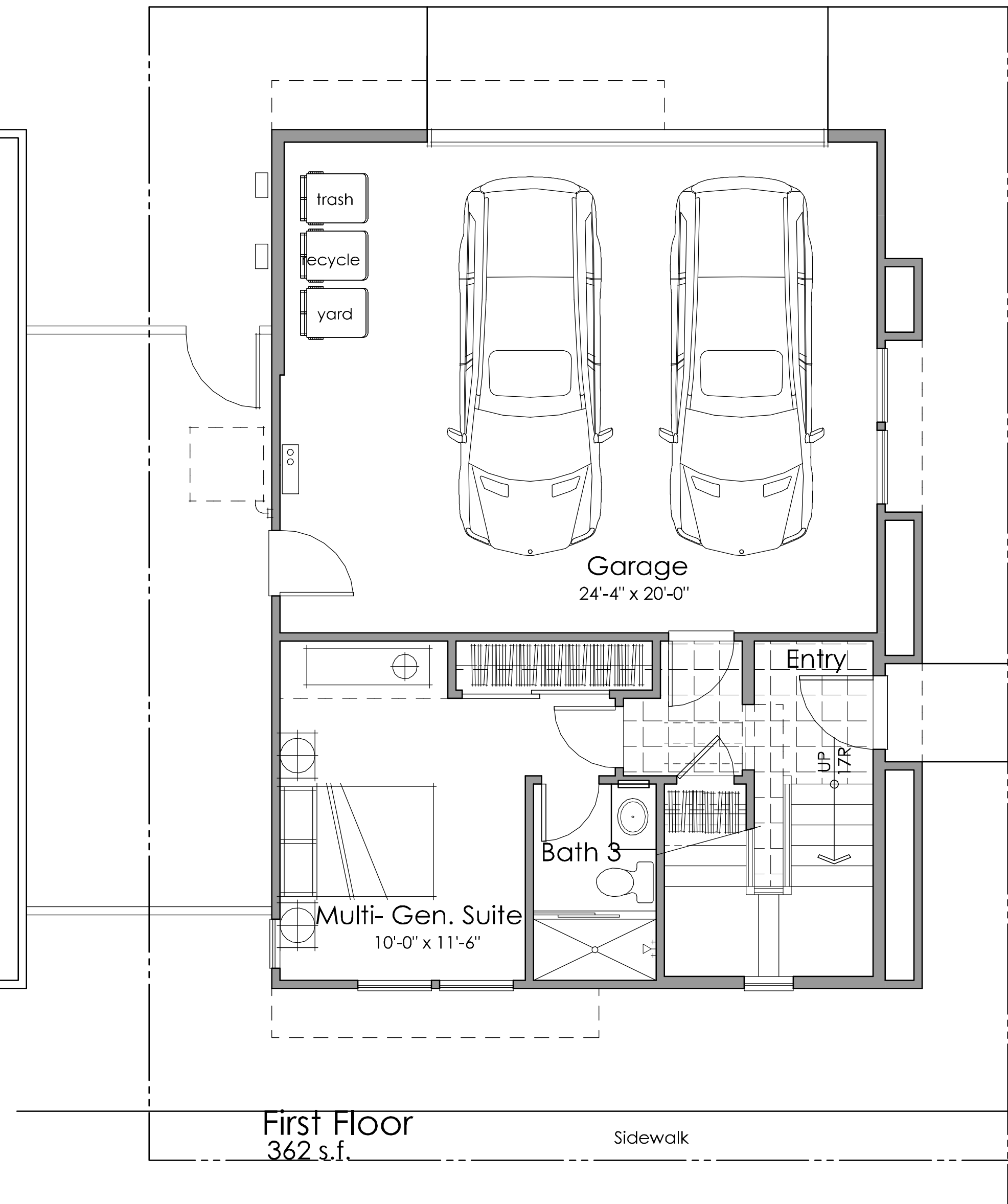
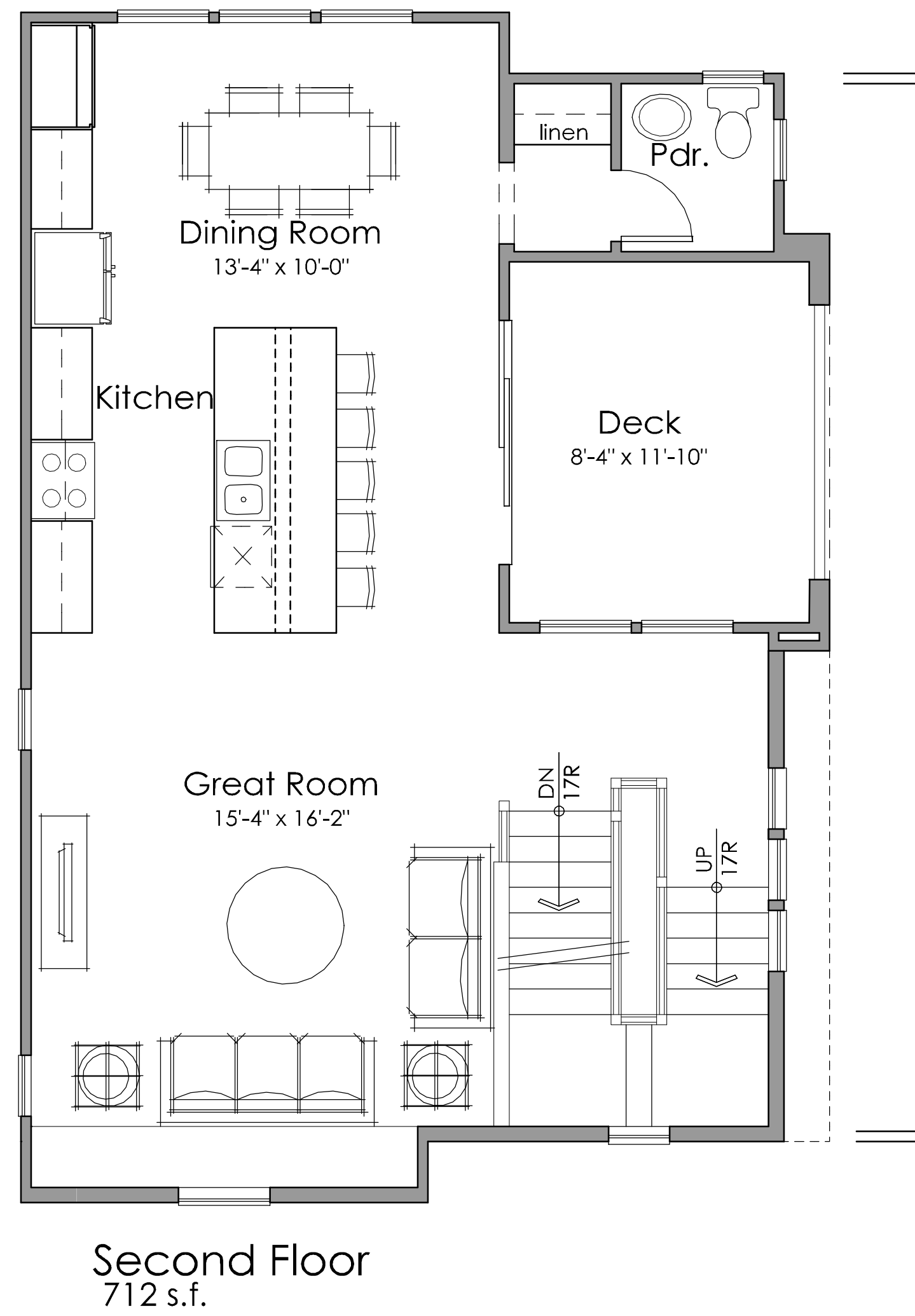
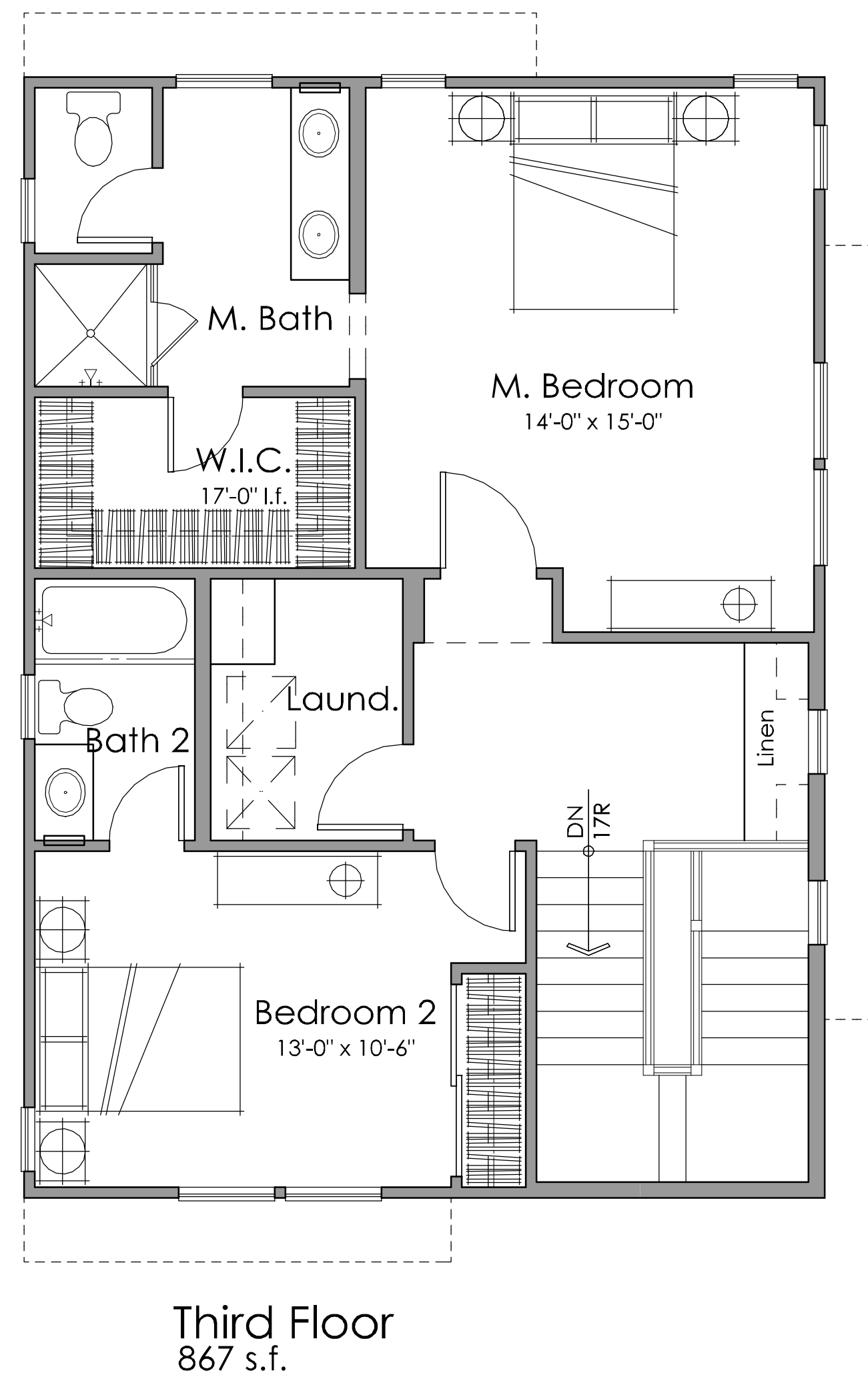
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A1.1-1



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PLAN IC - ADDENDA

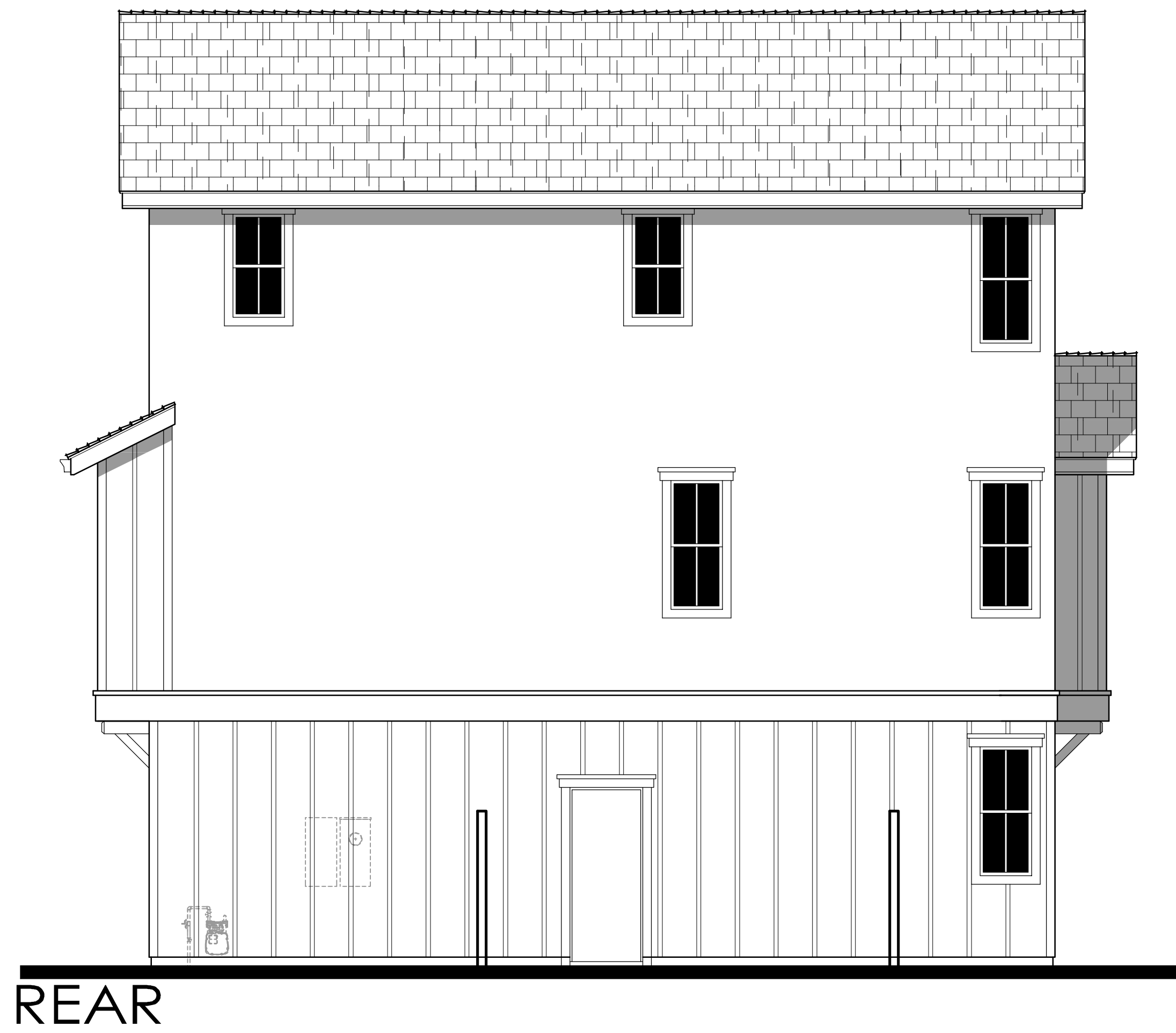
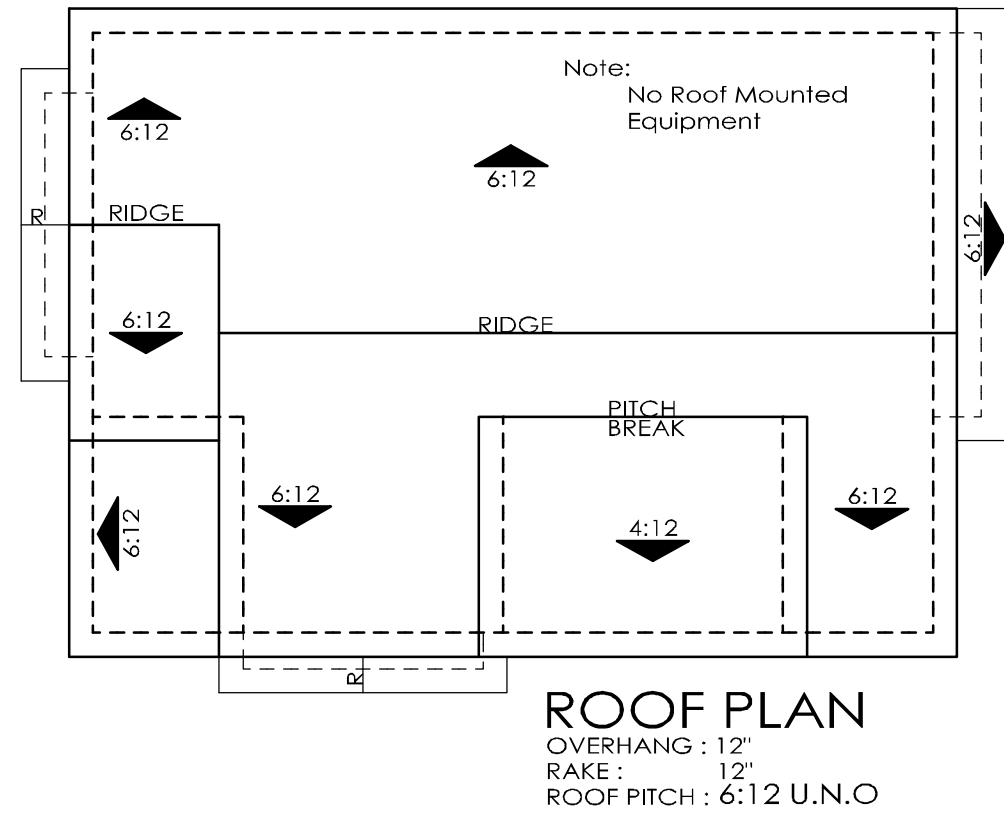
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AI.1-2



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Plan IA Exterior Elevations

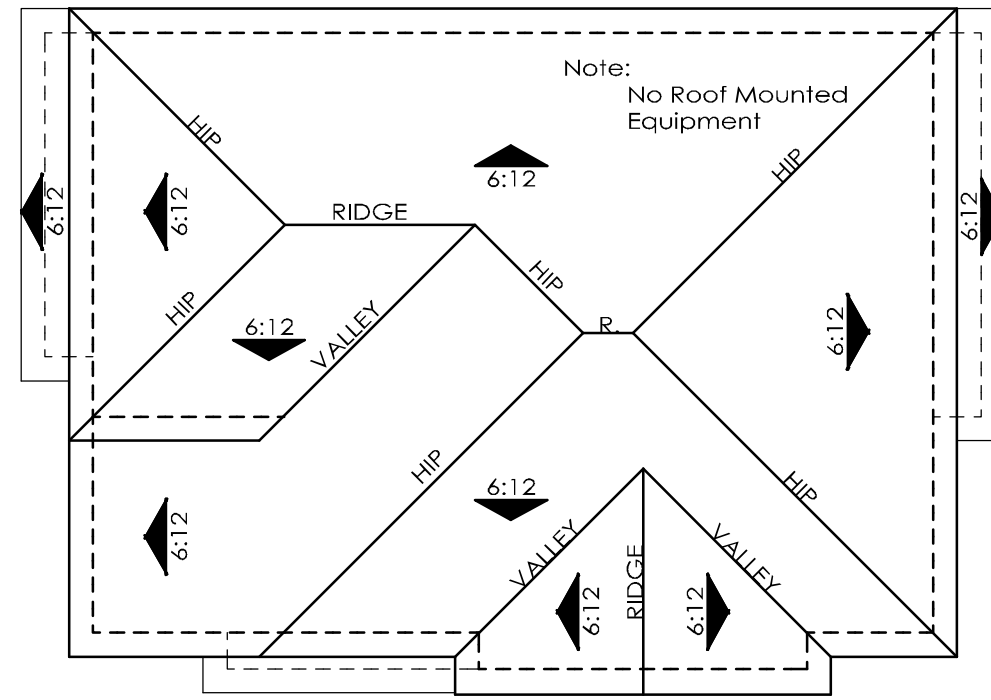
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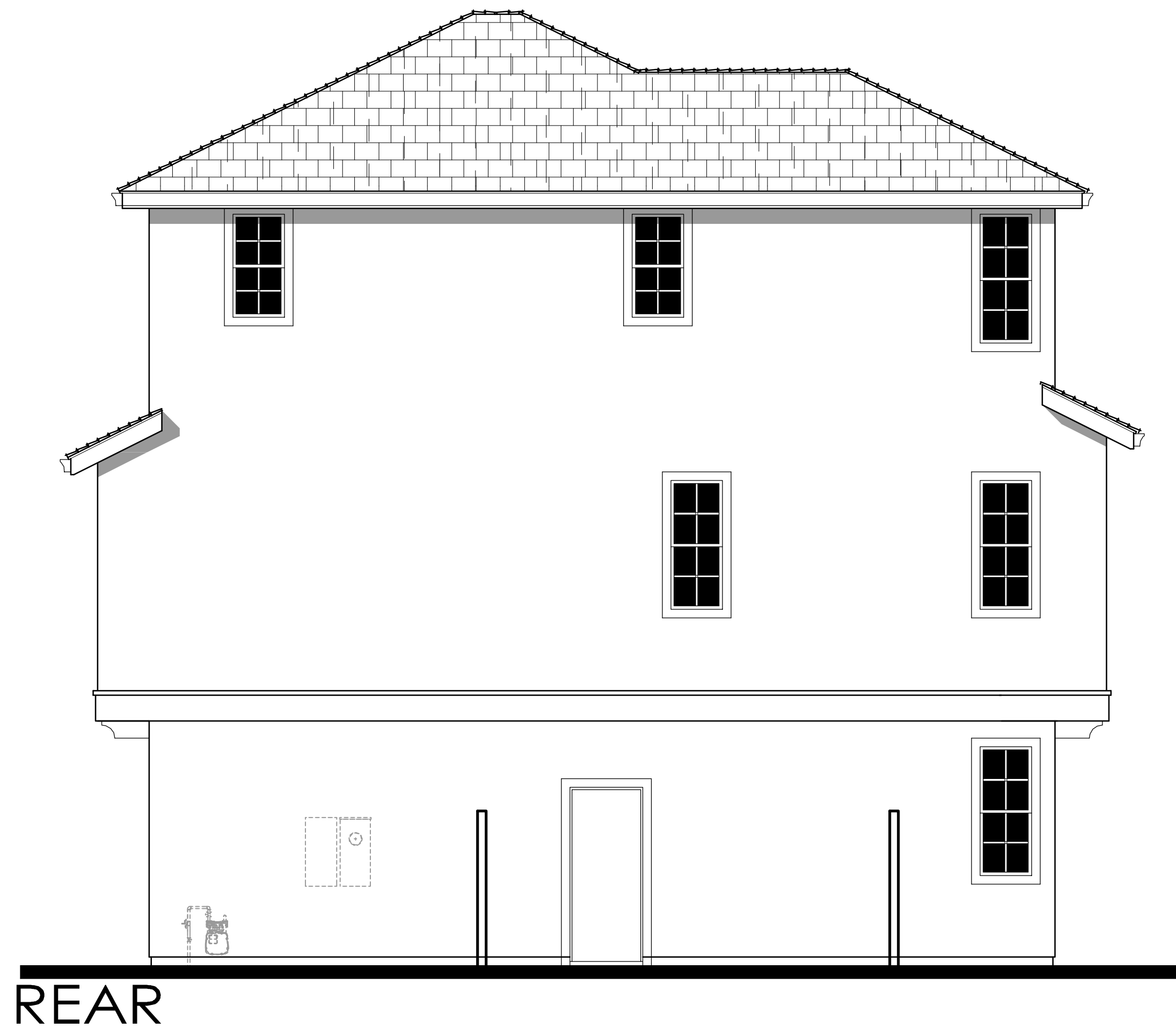
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A1.2



ROOF PLAN
OVERHANG : 12"
RAISE : 12"
ROOF PITCH : 6:12 U N O



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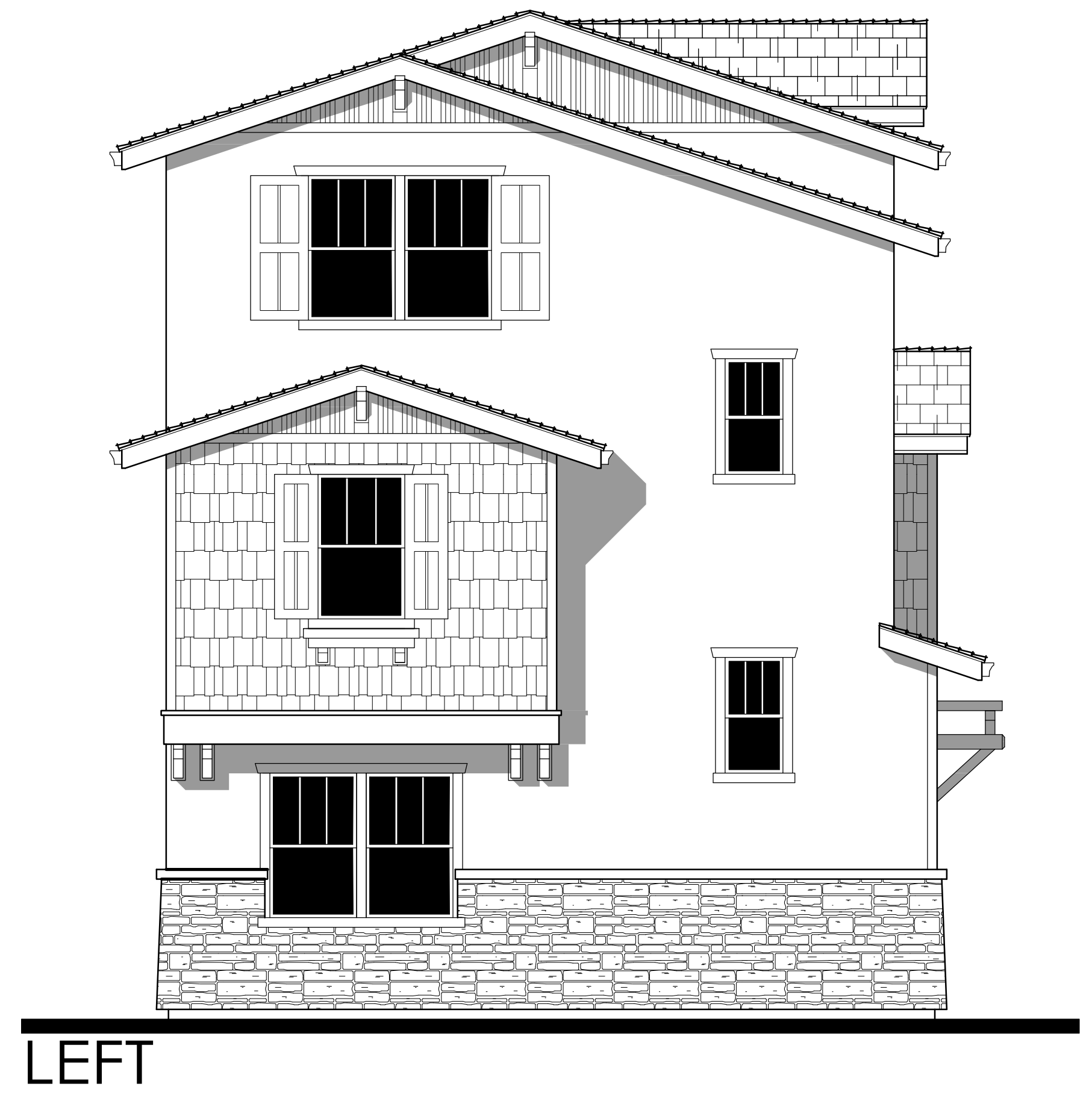
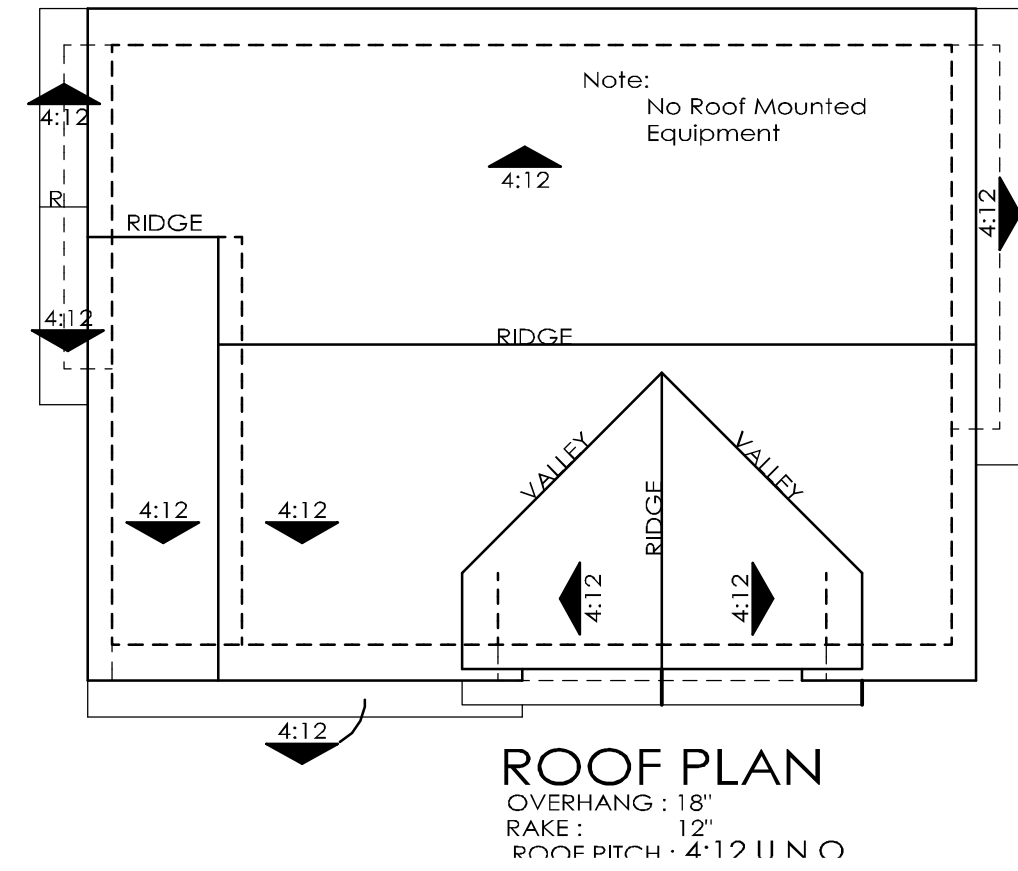
Plan IB Exterior Elevations

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Plan IC Exterior Elevations

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ELEVATION '2C'
CRAFTSMAN



ELEVATION '2B'
COTTAGE



ELEVATION '2A'
NAPA VALLEY COTTAGE



ELEVATION '2C'
CRAFTSMAN

- 2C - Craftsman
Material Legend:
Flat Concrete Tile Roofing
Decorative Columns
Stucco Finish
Cementitious Siding/ Shingles
Stone Veneer
Enhanced Sills
1x Stucco Finish Trim
Shutters



ELEVATION '2B'
COTTAGE

- 2B - Cottage
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Siding/ Shingles
Shutters
Recessed Windows
Enhanced Sills
1x Stucco Finish Trim
Stone Veneer



ELEVATION '2A'
NAPA VALLEY COTTAGE

- 2A - Napa Valley Cottage
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Board and Batt Siding
Hurricane Shutters
Decorative Kicker / Corbel
Enhanced Sills
1x Stucco Finish Trim

WARD CREEK COTTAGES

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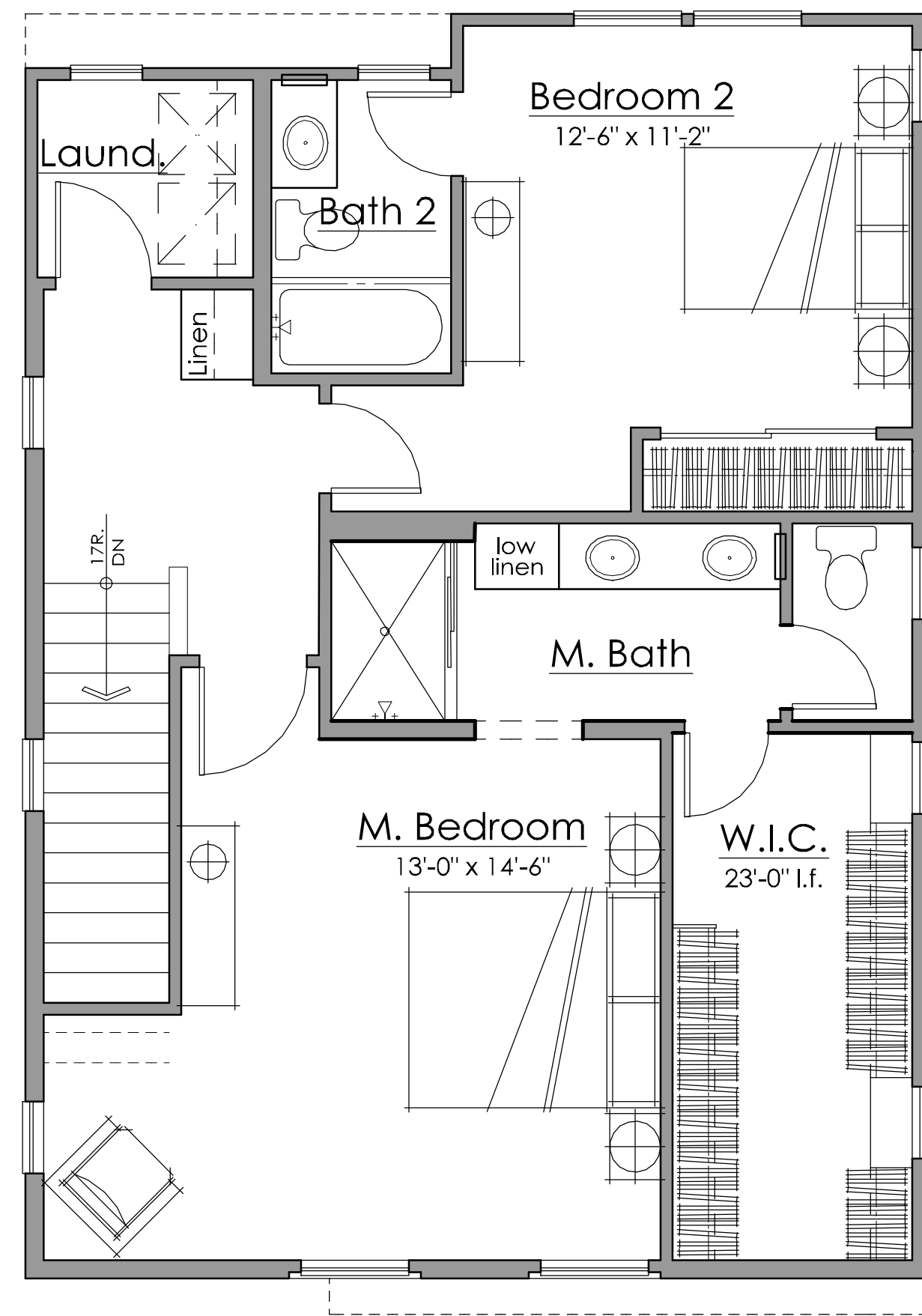
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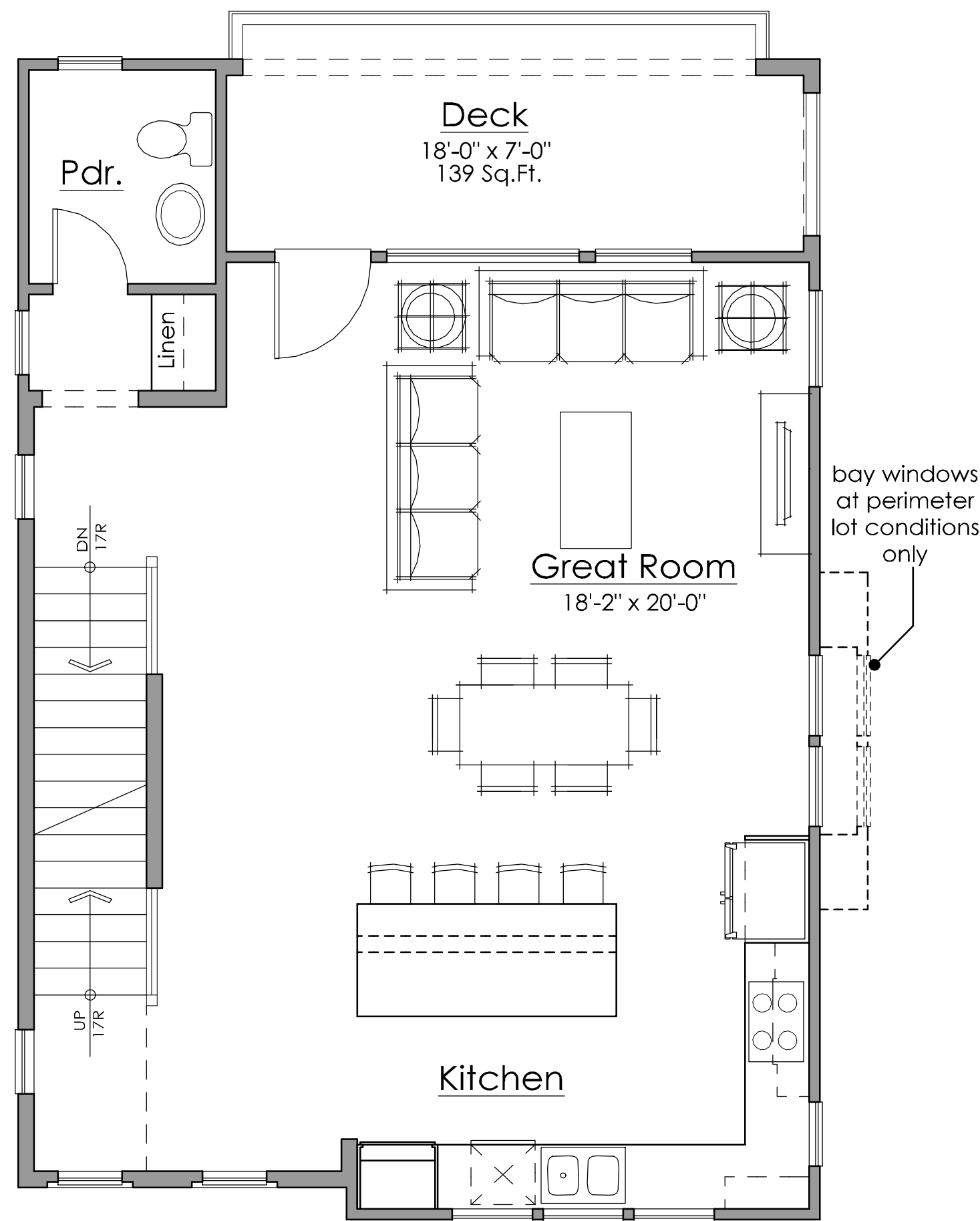
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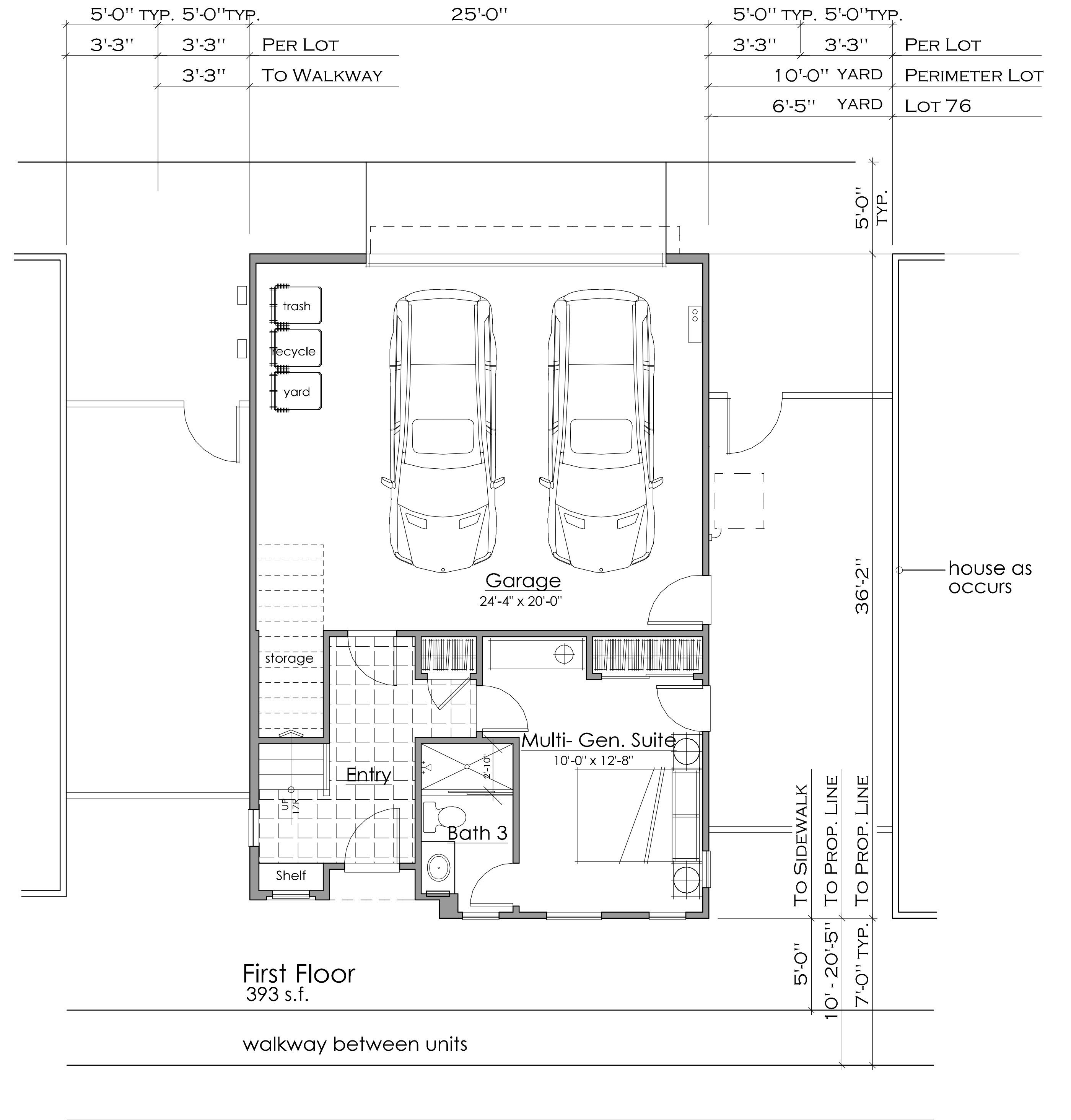




Third Floor
811 s.f.



Second Floor
728 s.f.



First Floor
393 s.f.

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PLAN 2 - 1,932 SQ. FT.

Hayward, Ca.

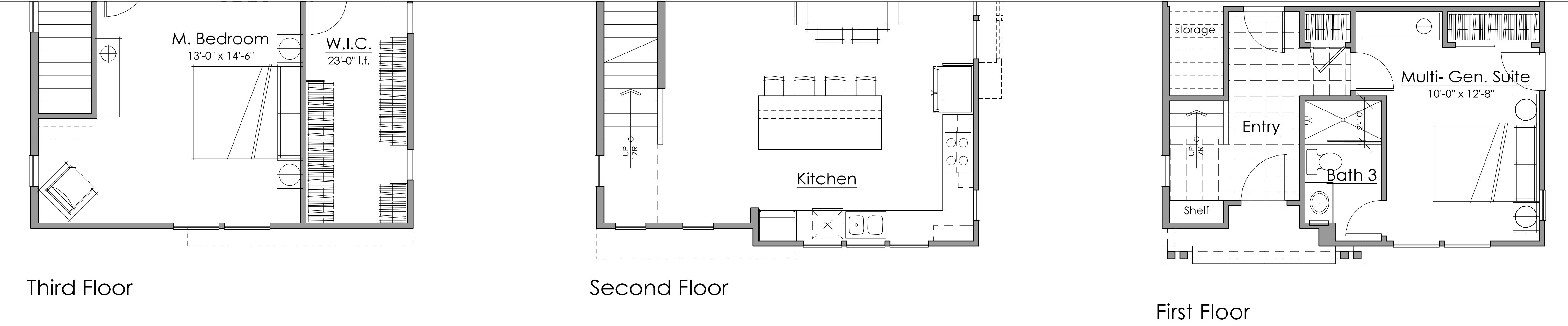
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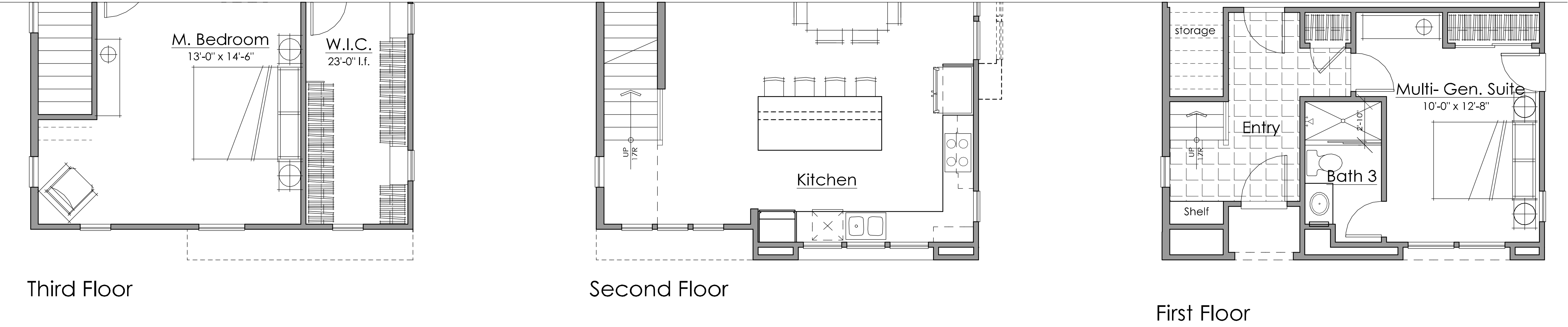
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A2.1



Plan 2C Addenda



Plan 2B Addenda

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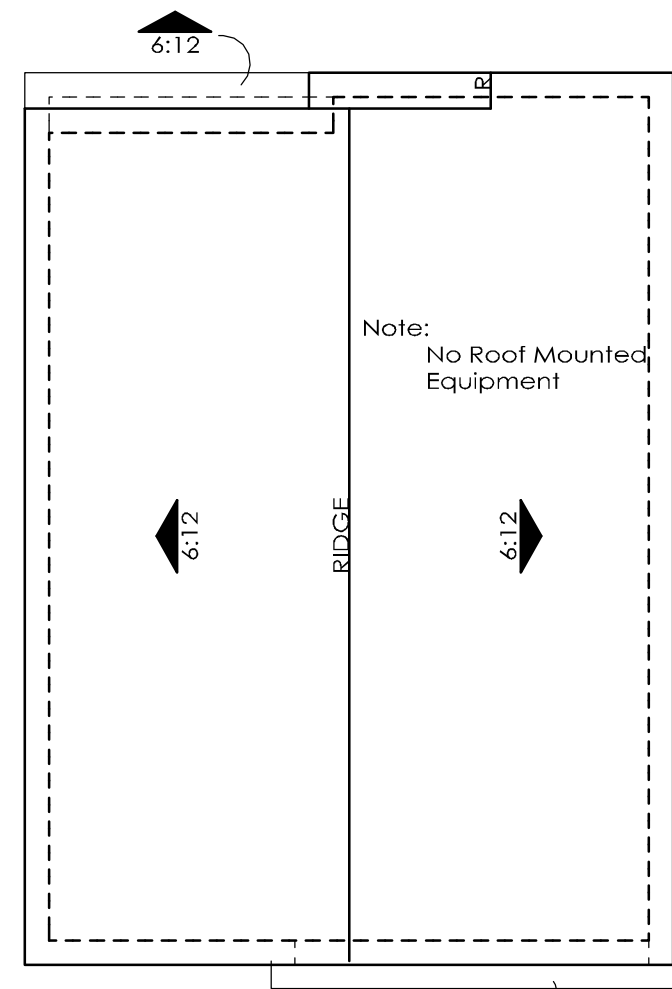
PLAN 2 - Addenda

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ROOF PLAN
OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 6:12 U.N.O



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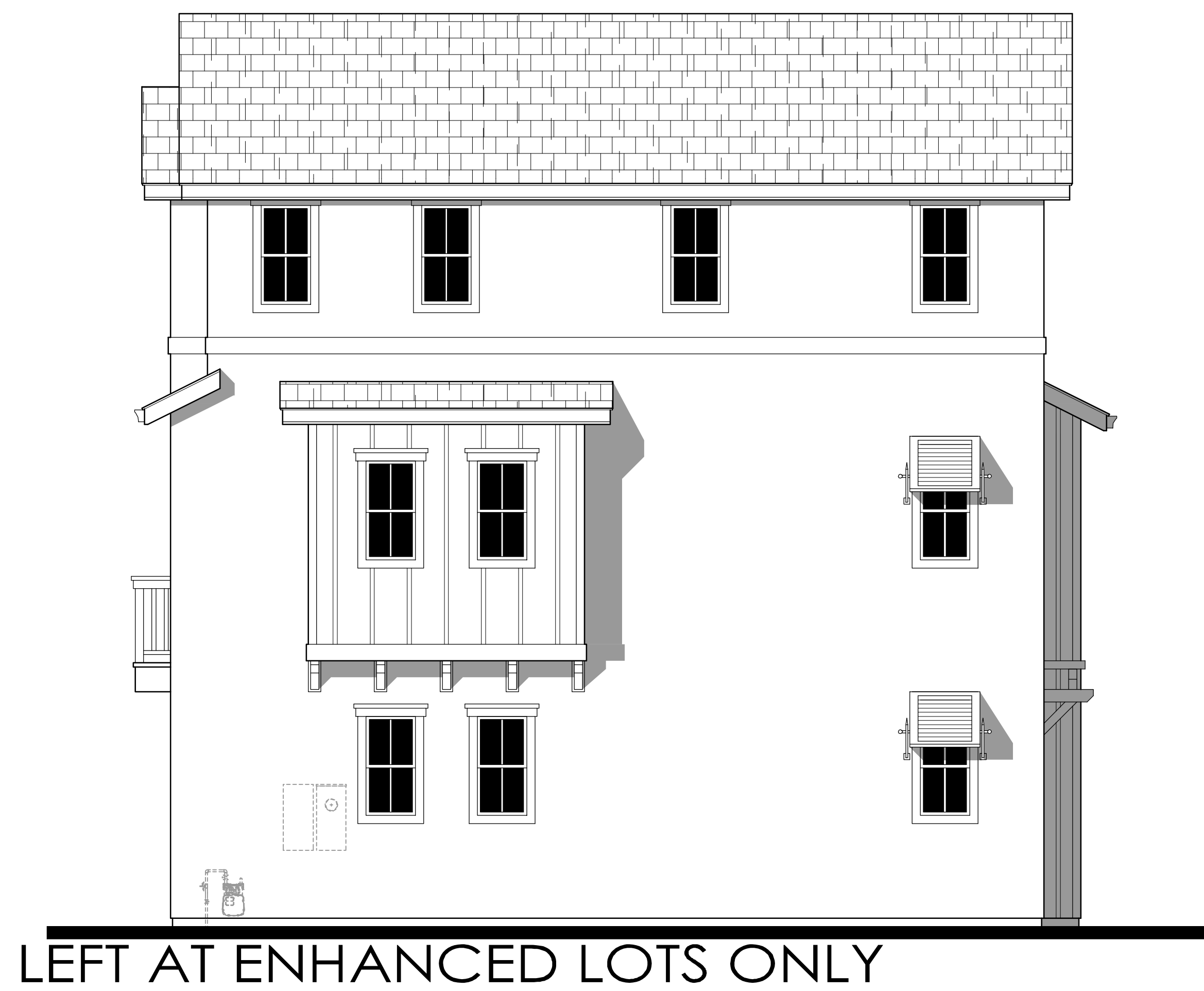
Plan 2A Exterior Elevations

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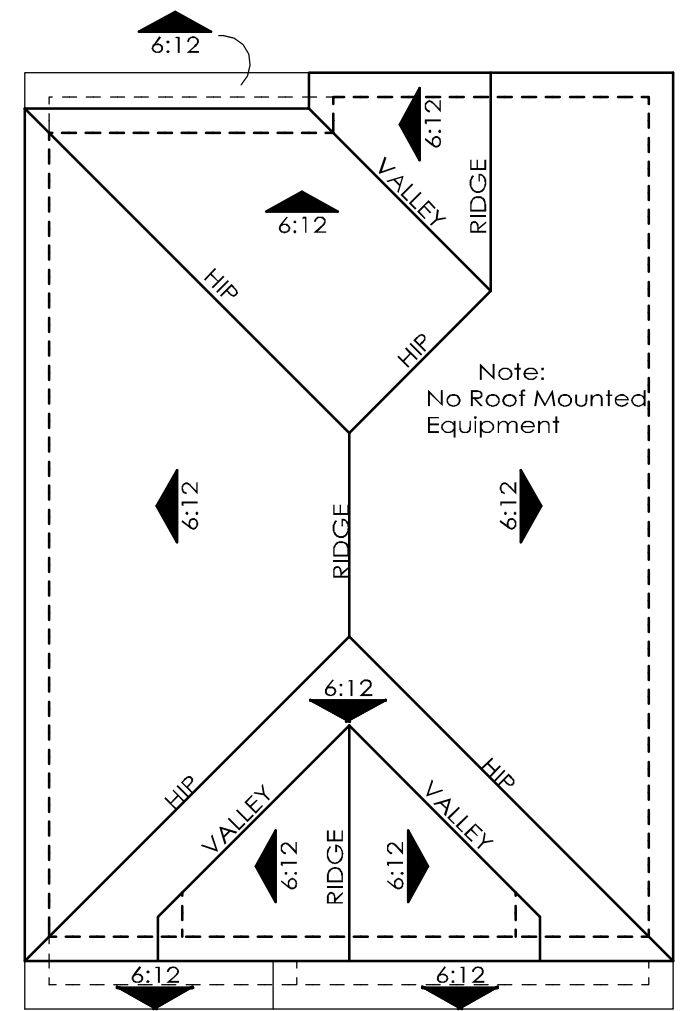
Plan 2A - Enhanced Exterior Elevations

Hayward , Ca.
KTGY # 2014-0321

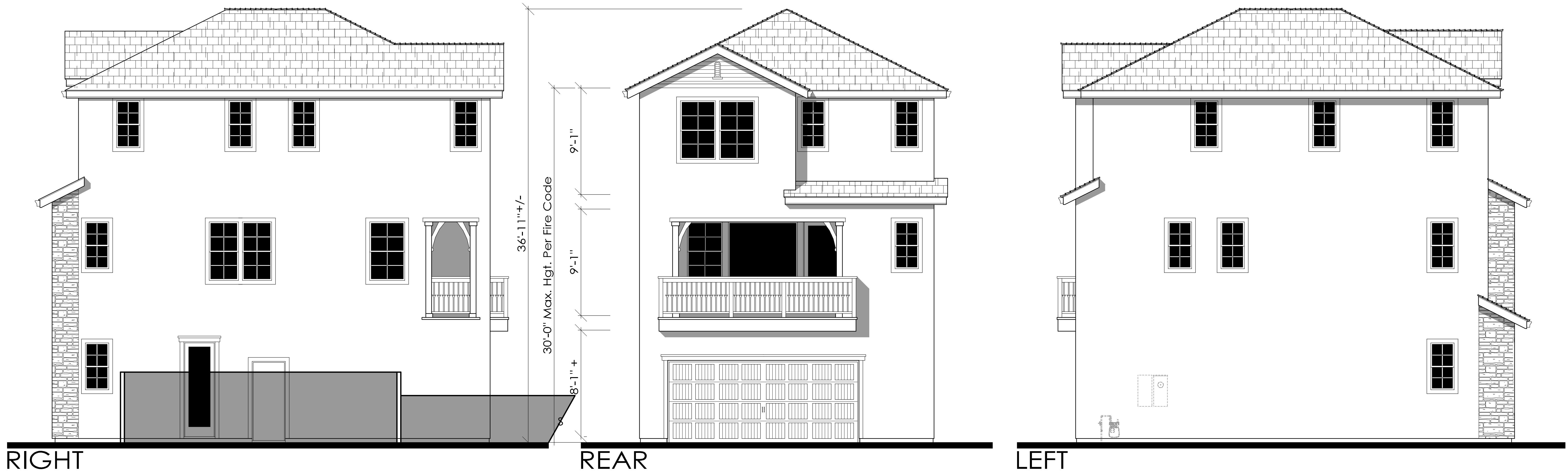
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ROOF PLAN
OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 6:12 U.N.O



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Plan 2B Exterior Elevations

Hayward , Ca.

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A2.4



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Plan 2B - Enhanced Exterior Elevations

Hayward, Ca.

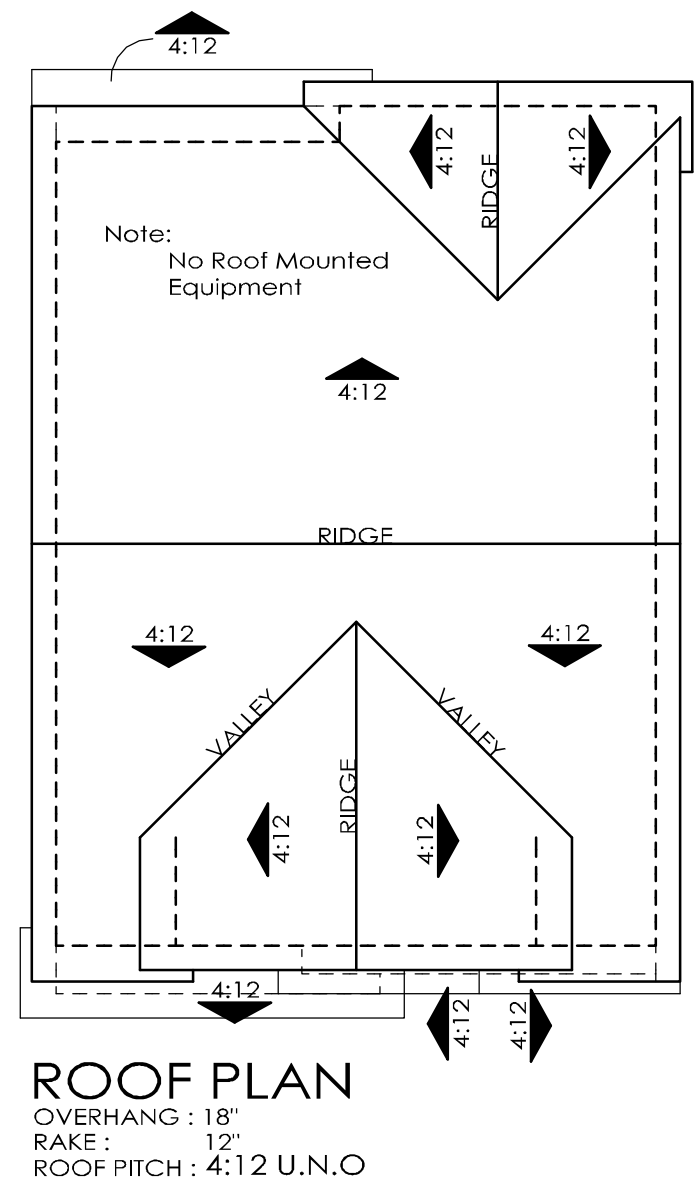
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A2.5



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Plan 2C Exterior Elevations

Hayward , Ca.
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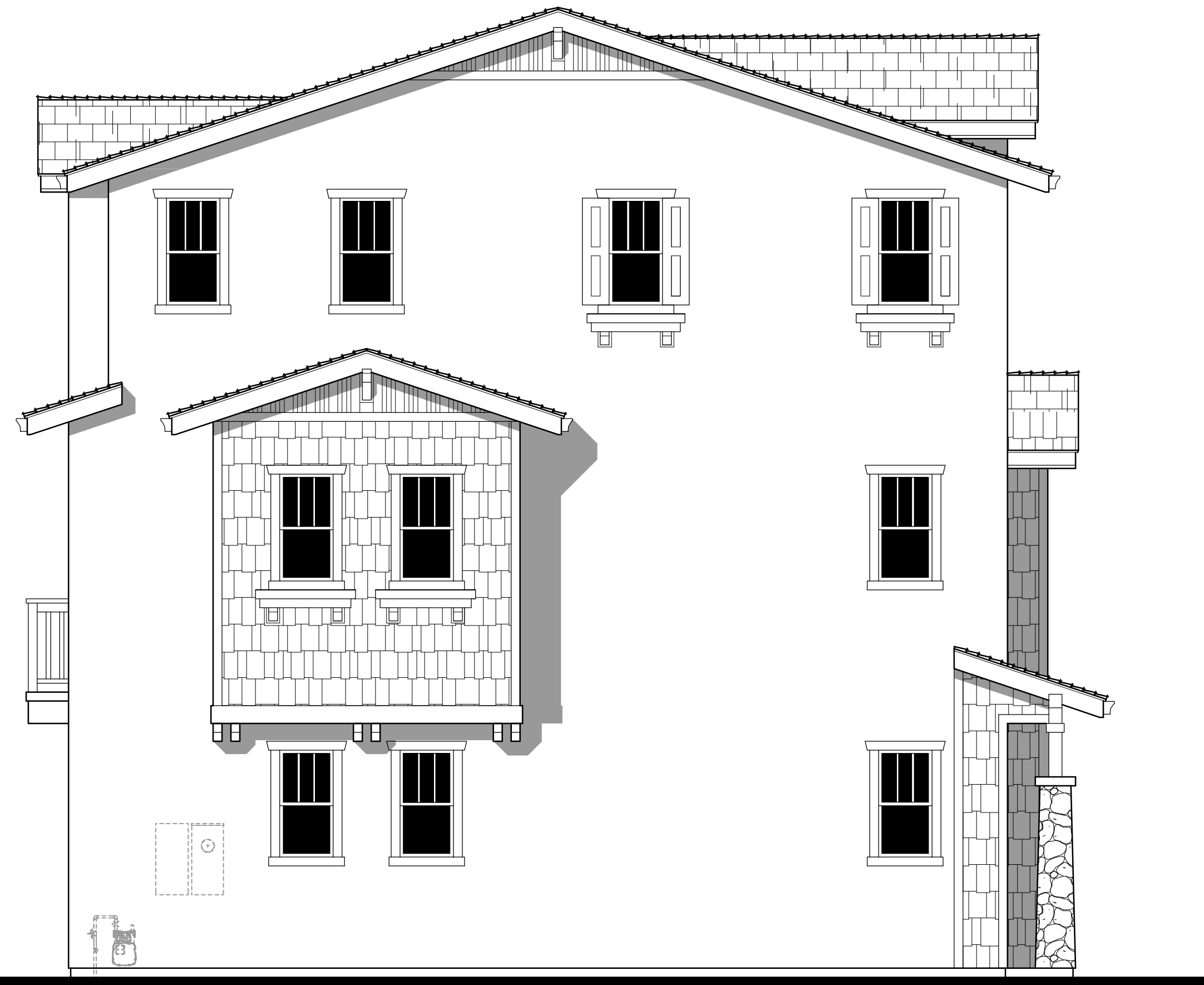
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RIGHT AT ENHANCED LOTS ONLY



LEFT AT ENHANCED LOTS ONLY

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Plan 2C - Enhanced Exterior Elevations

Hayward, Ca.

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A2.7



ELEVATION '3A'
NAPA VALLEY COTTAGE



ELEVATION '3B'
COTTAGE



ELEVATION '3C'
CRAFTSMAN

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Plan 3 Elevations

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ELEVATION '3C'
CRAFTSMAN

- 3C - Craftsman
Material Legend:
Flat Concrete Tile Roofing
Decorative Columns
Stucco Finish
Cementitious Siding/ Shingles
Stone Veneer
Enhanced Sills
1x Stucco Finish Trim
Shutters



ELEVATION '3B'
COTTAGE

- 3B - Cottage
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Siding/ Shingles
Shutters
Recessed Windows
Enhanced Sills
1x Stucco Finish Trim
Stone Veneer



ELEVATION '3A'
NAPA VALLEY COTTAGE

- 3A - Napa Valley Cottage
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Board and Batt Siding
Hurricane Shutters
Decorative Kicker / Corbel
Enhanced Sills
1x Stucco Finish Trim

WARD CREEK COTTAGES

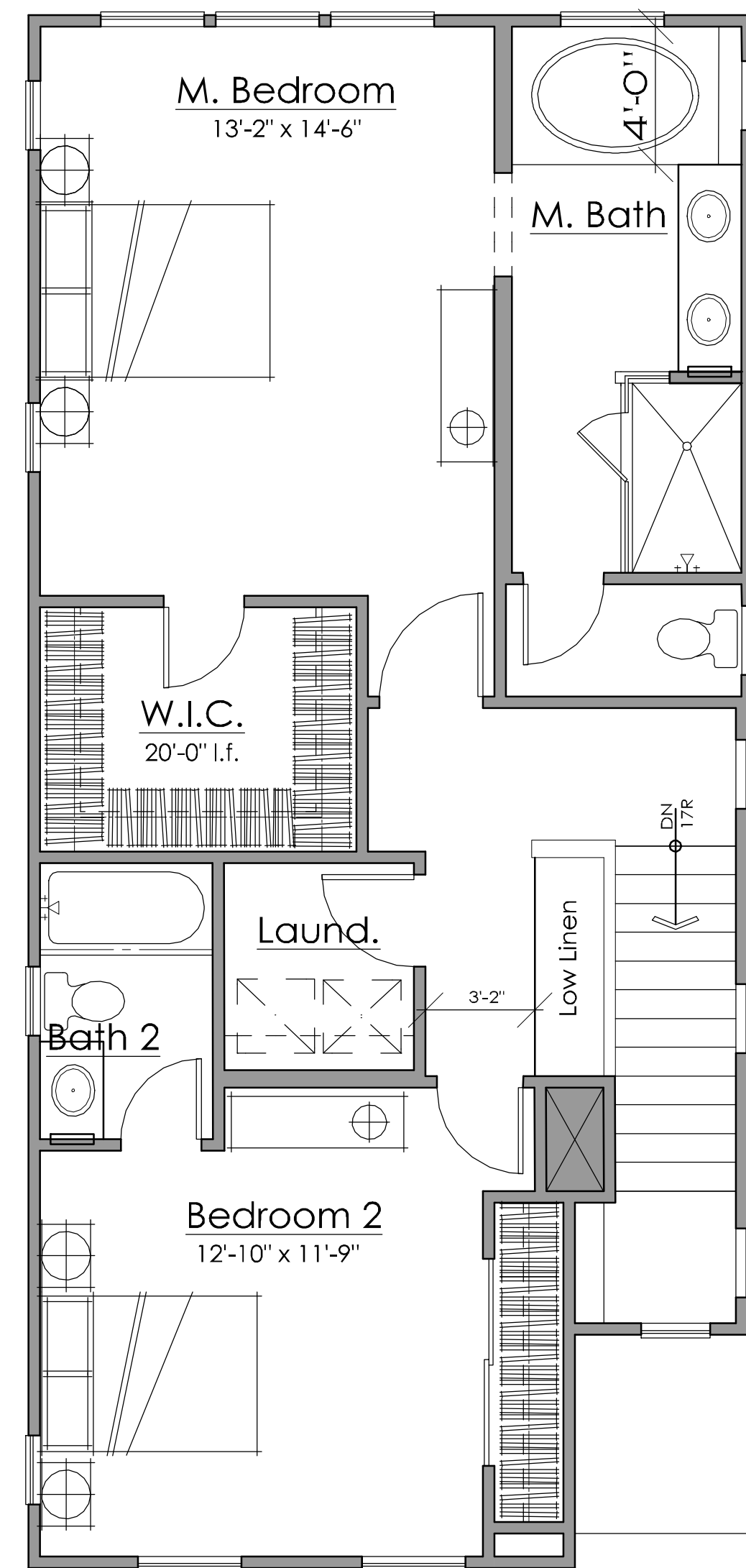
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Plan 3 Elevations

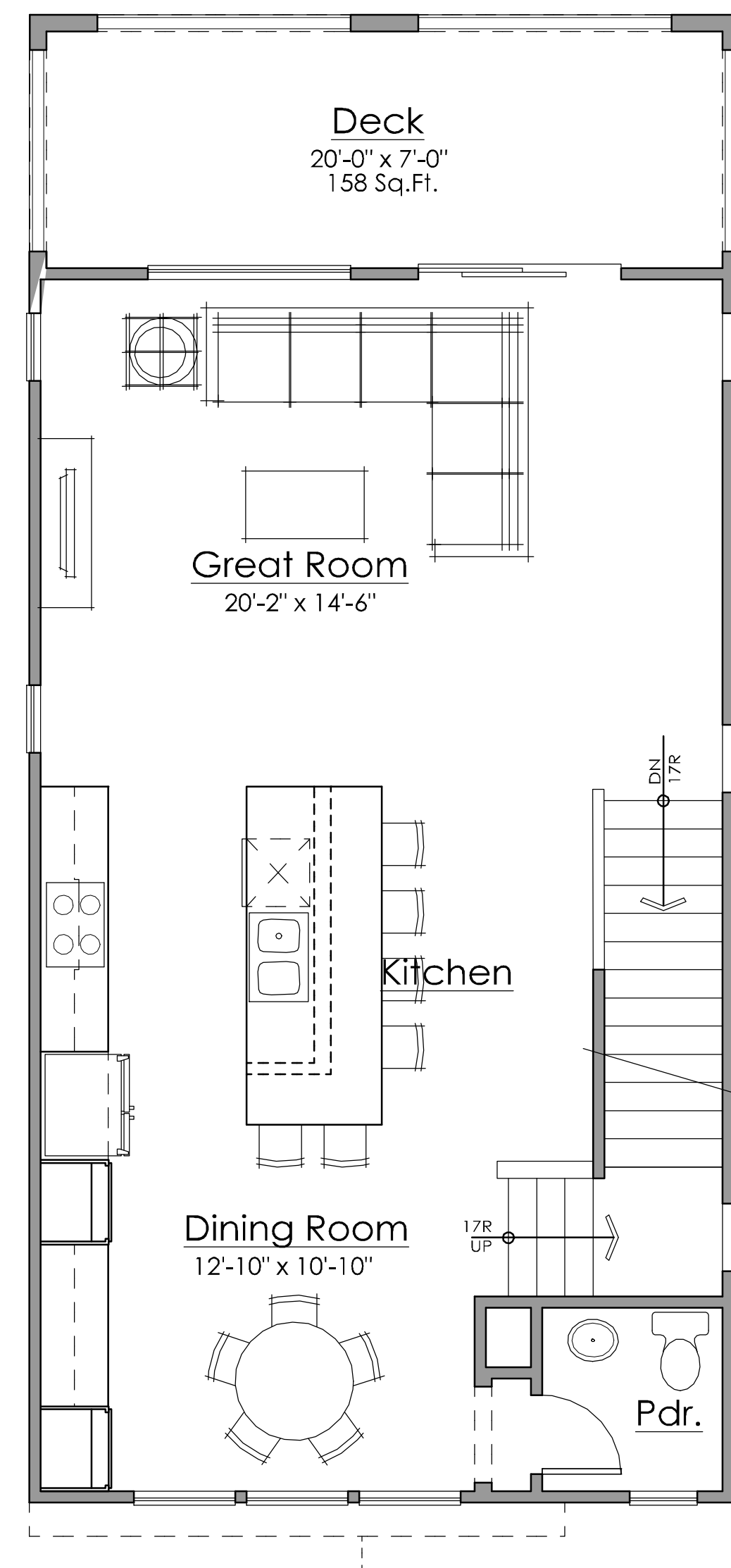
Hayward , Ca.
KTGY # 2014-0321 8.10.2015

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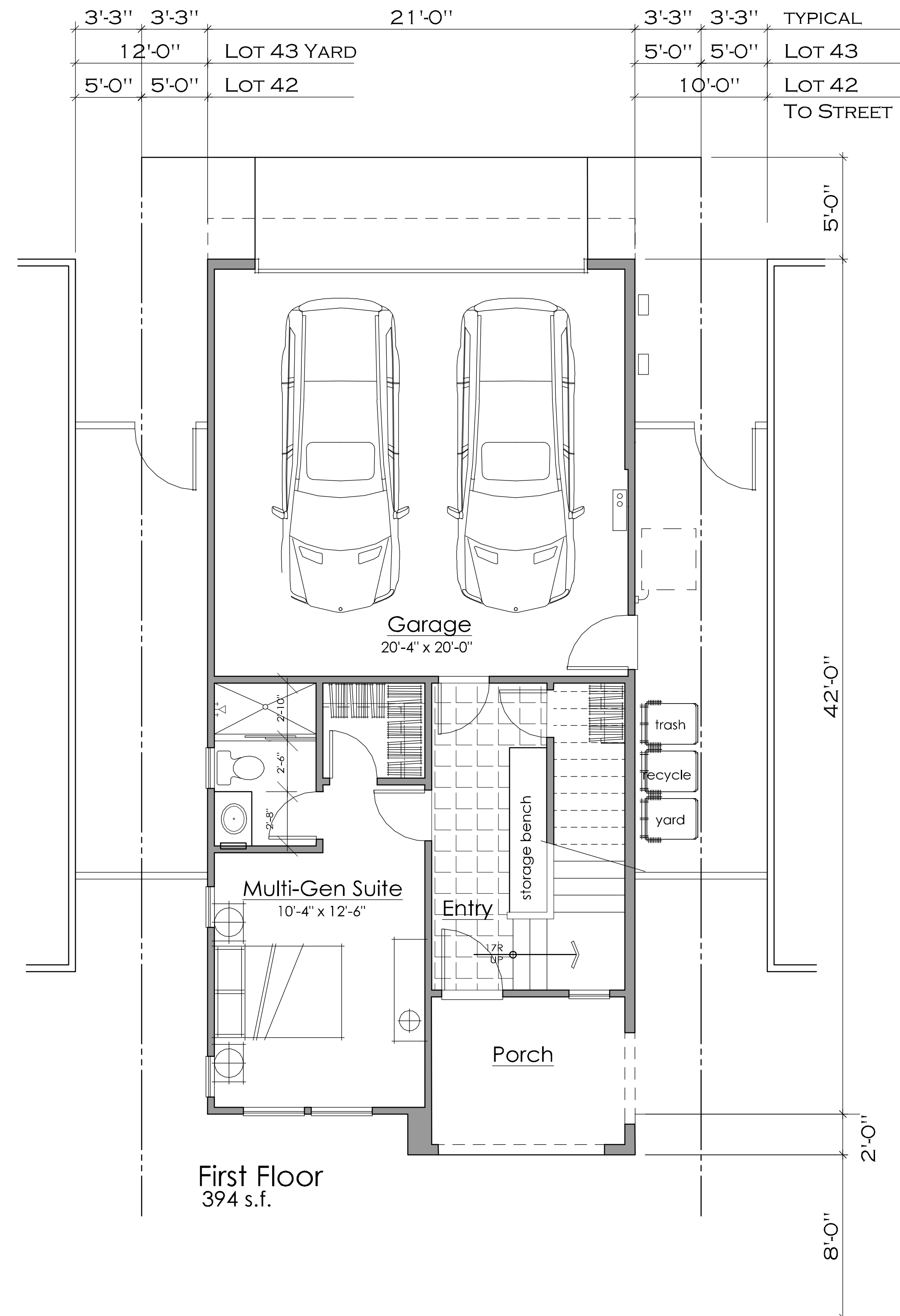




Third Floor
847 s.f.



Second Floor
766 s.f.



First Floor
394 s.f.

WARD CREEK COTTAGES

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PLAN 3 - 2,007 SQ. FT.

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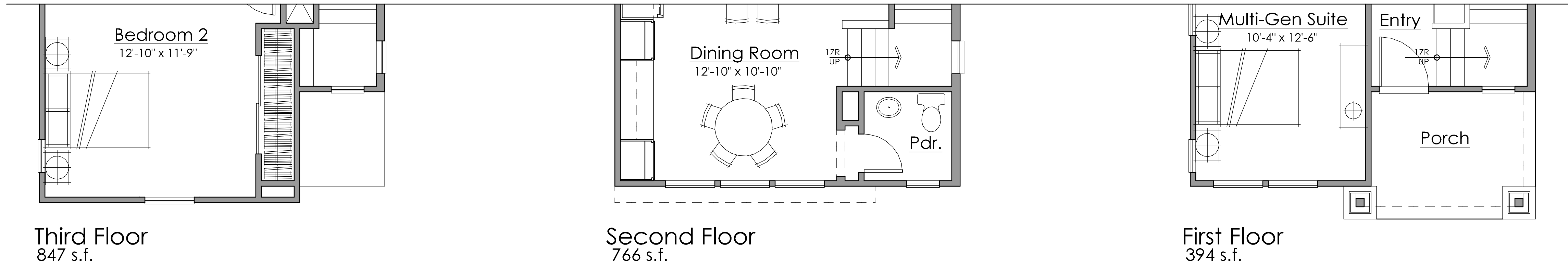
KTGY # 2014-0321

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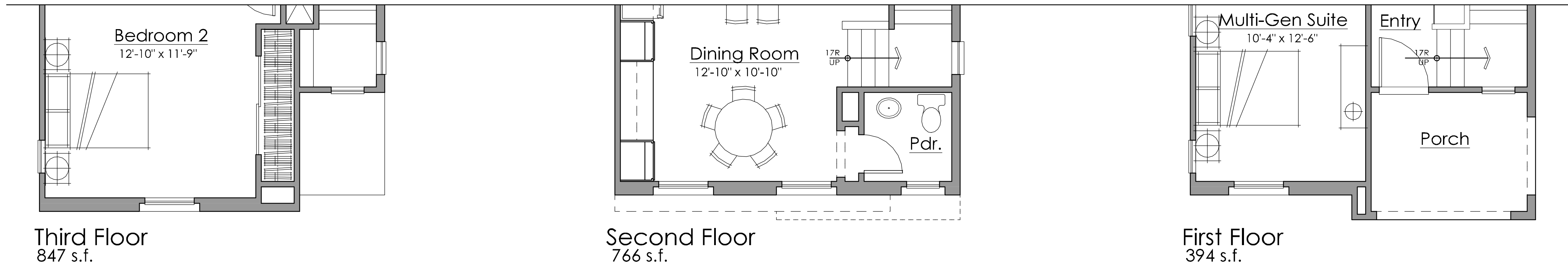
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A3.1



Plan 3C Addenda



Plan 3B Addenda

WARD CREEK COTTAGES

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PLAN 3 - Addenda

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RIGHT

LEFT

WARD CREEK COTTAGES

Plan 3A Exterior Elevations

A3.2

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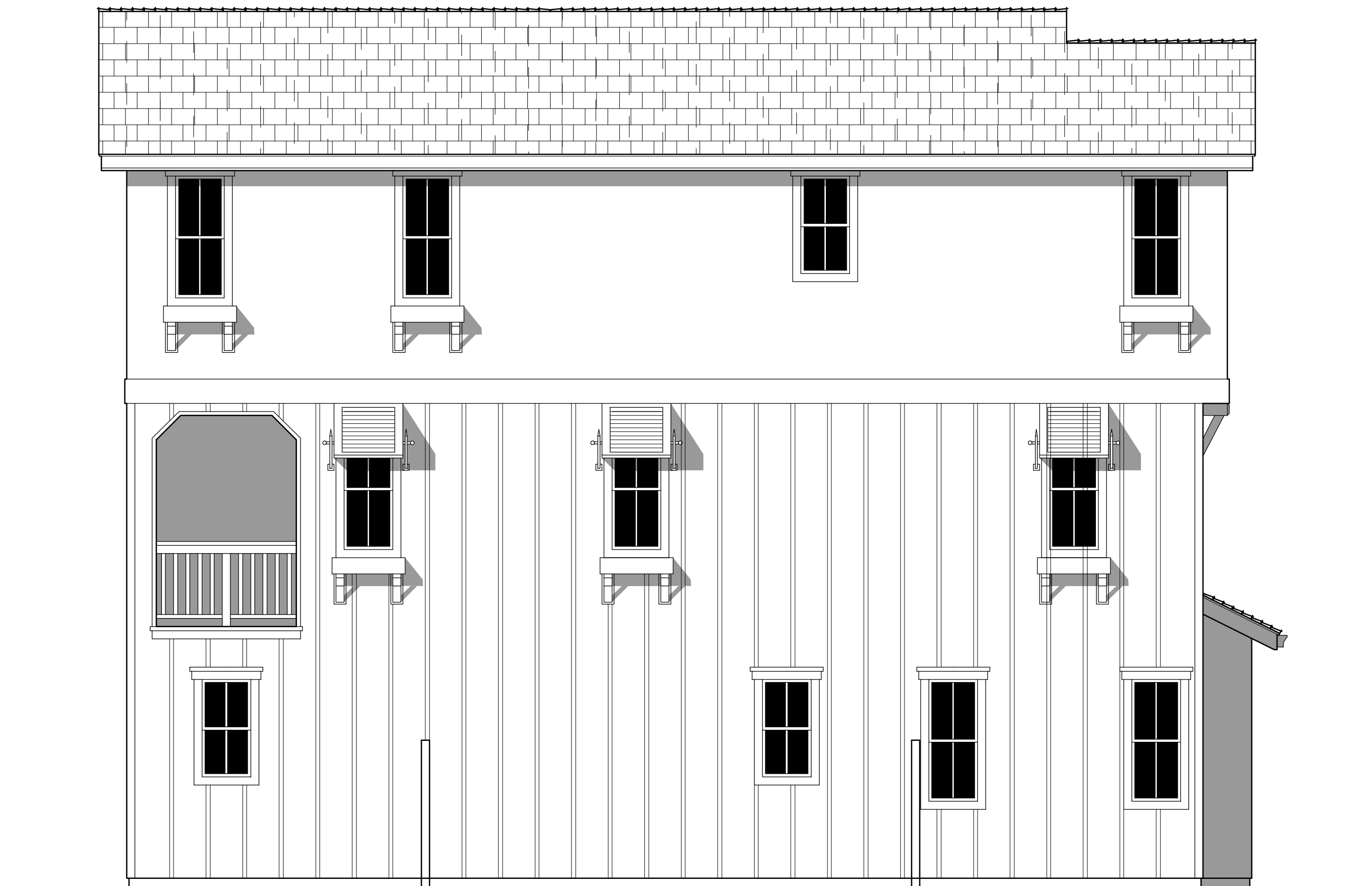
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RIGHT AT ENHANCED LOTS ONLY



LEFT AT ENHANCED LOTS ONLY

WARD CREEK COTTAGES

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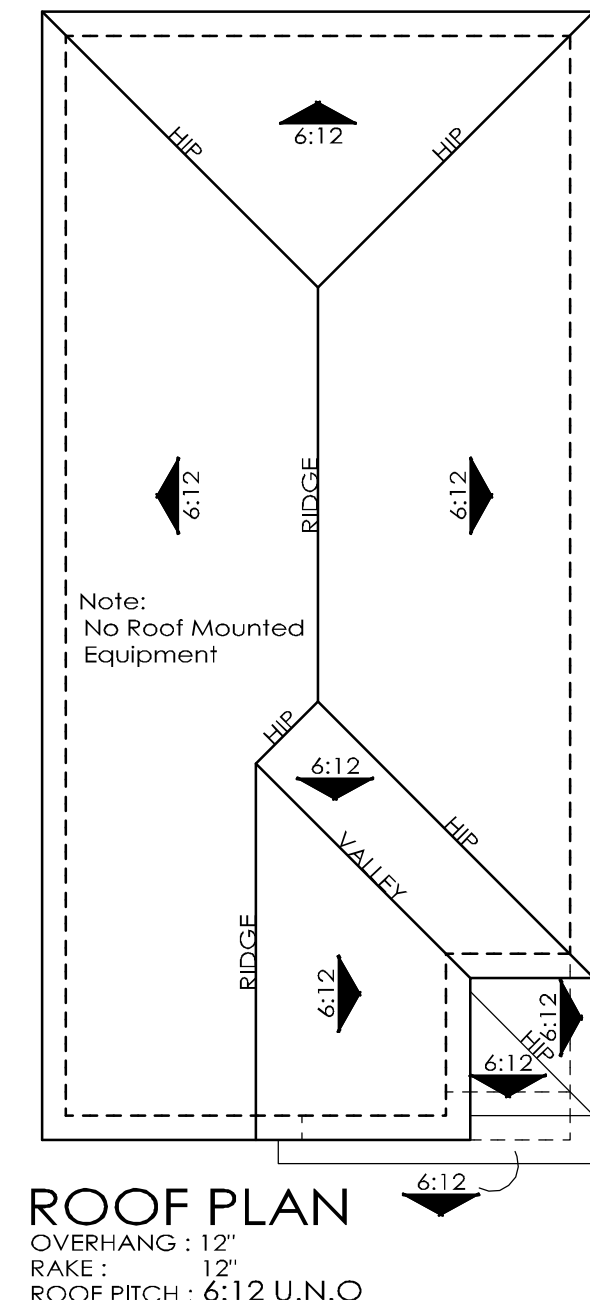
Plan 3A - Enhanced Exterior Elevations

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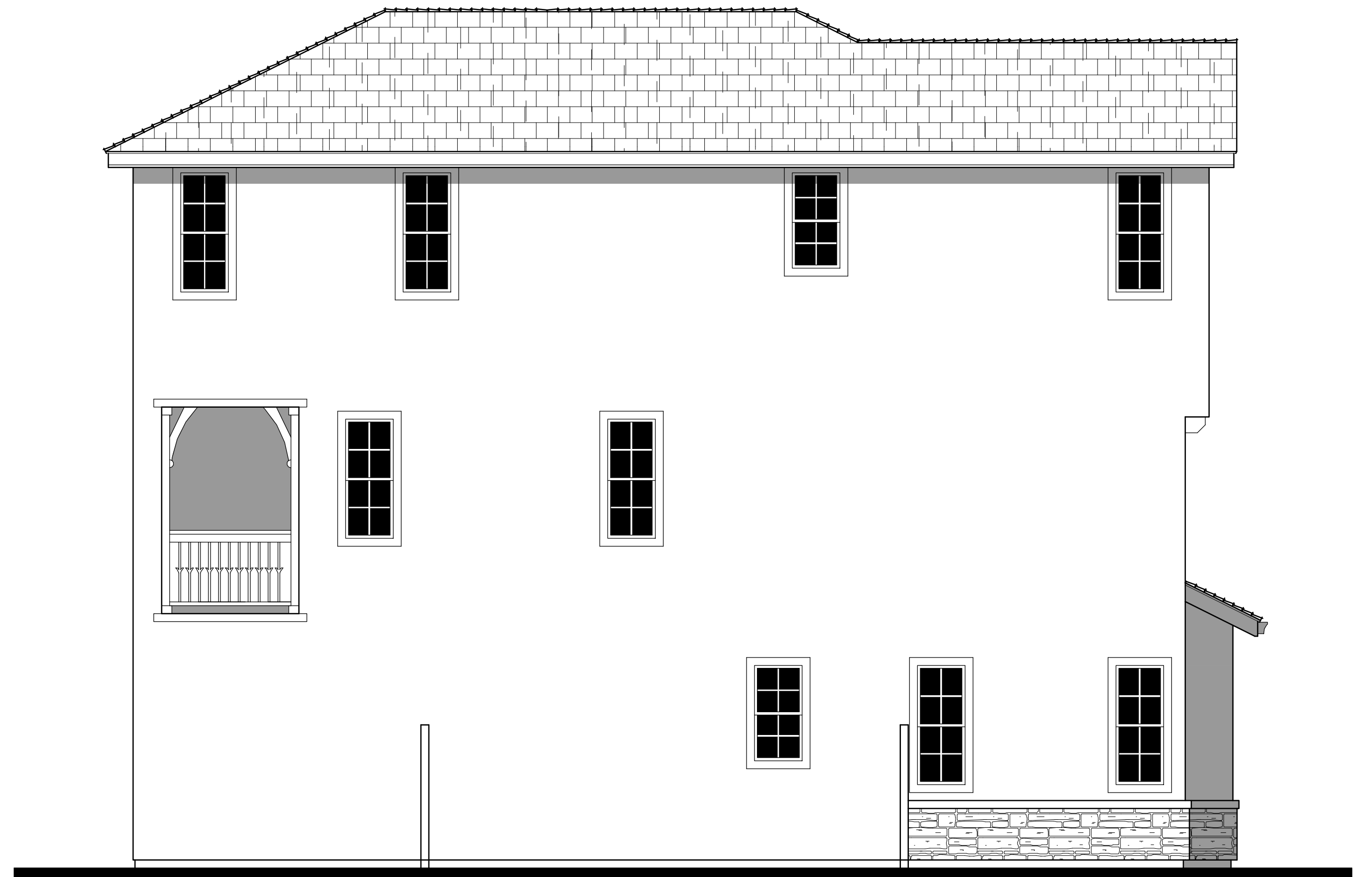


RIGHT

WARD CREEK COTTAGES

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LEFT

Plan 3B Exterior Elevations

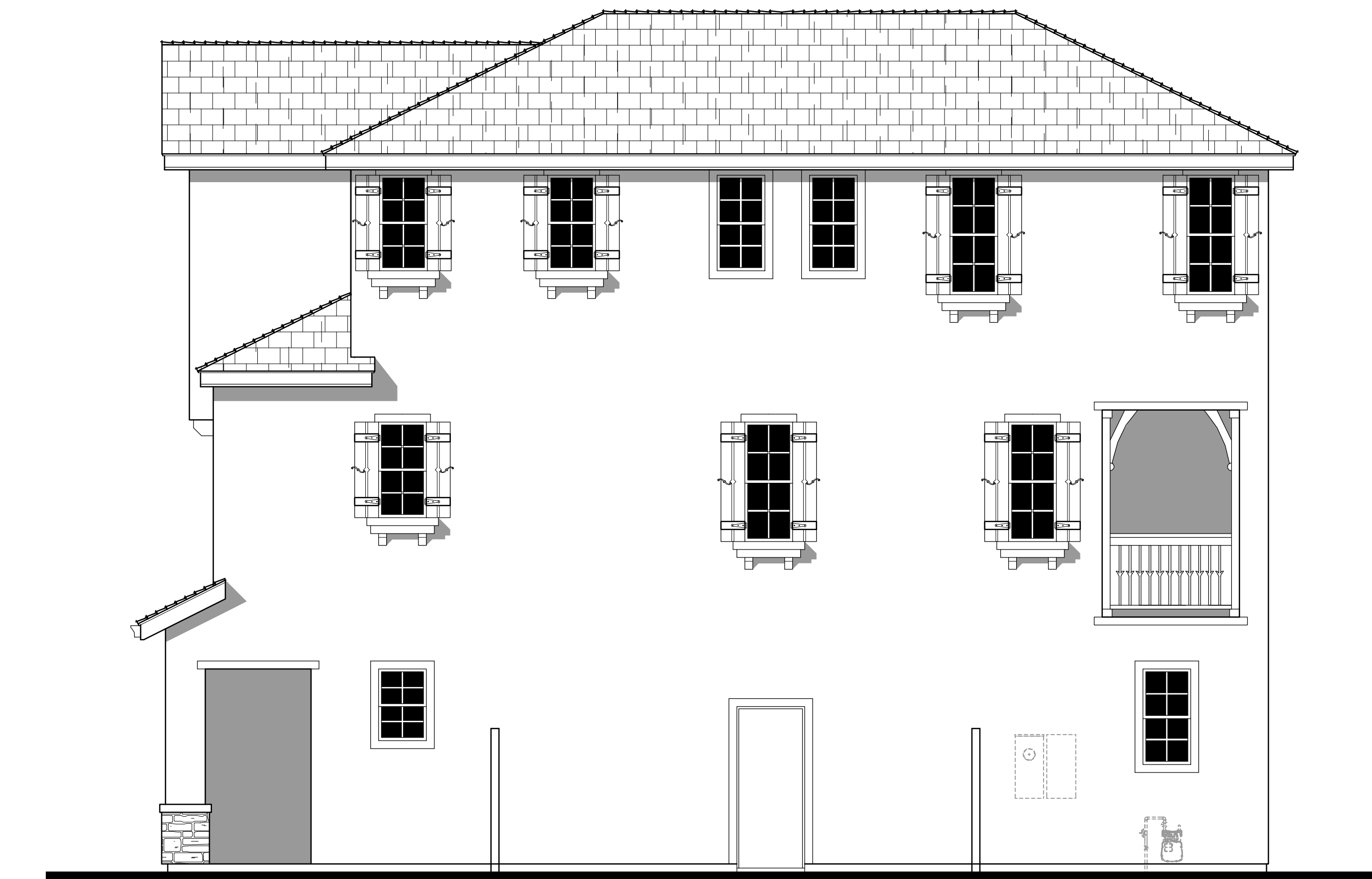
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RIGHT AT ENHANCED LOTS ONLY



LEFT AT ENHANCED LOTS ONLY

WARD CREEK COTTAGES

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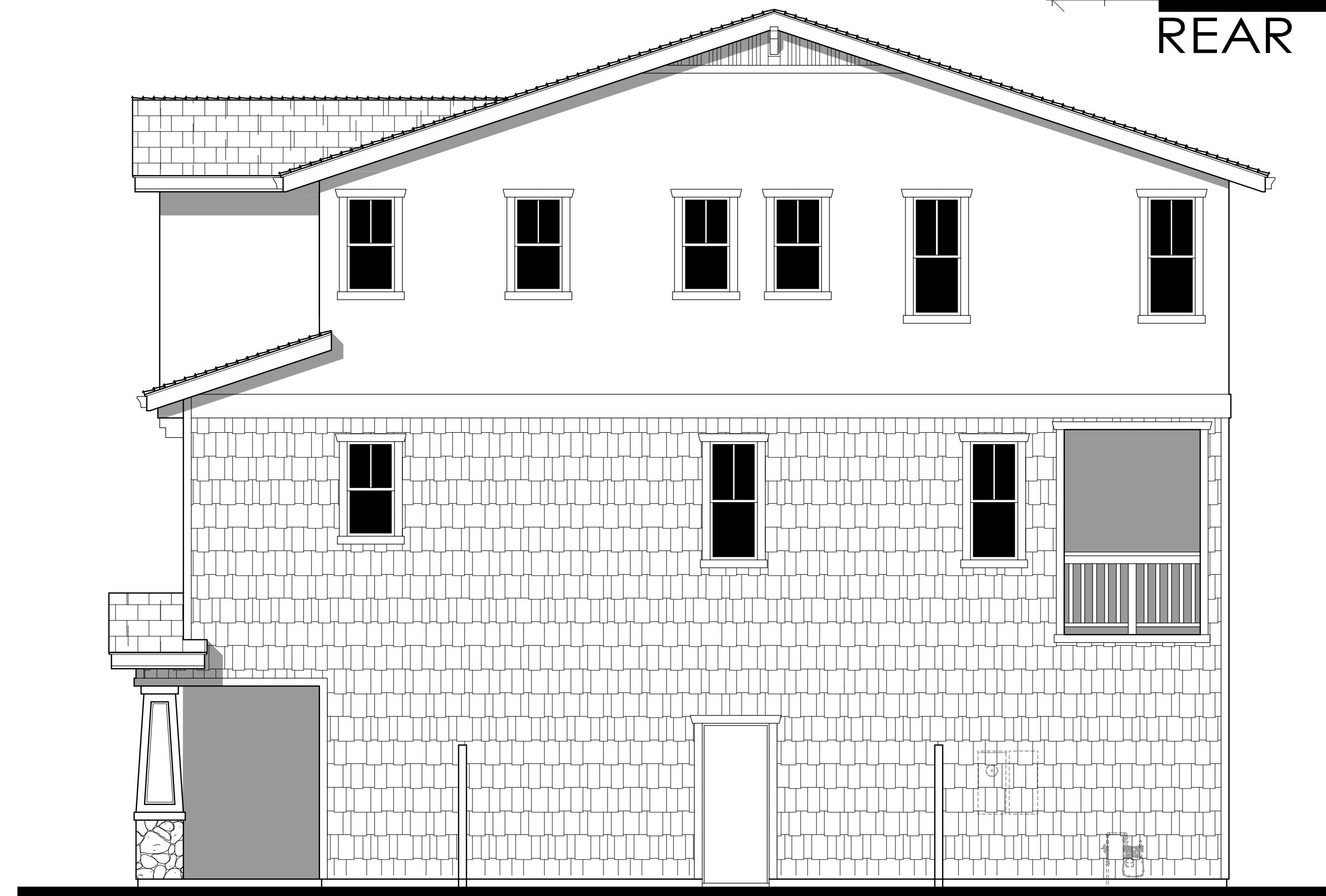
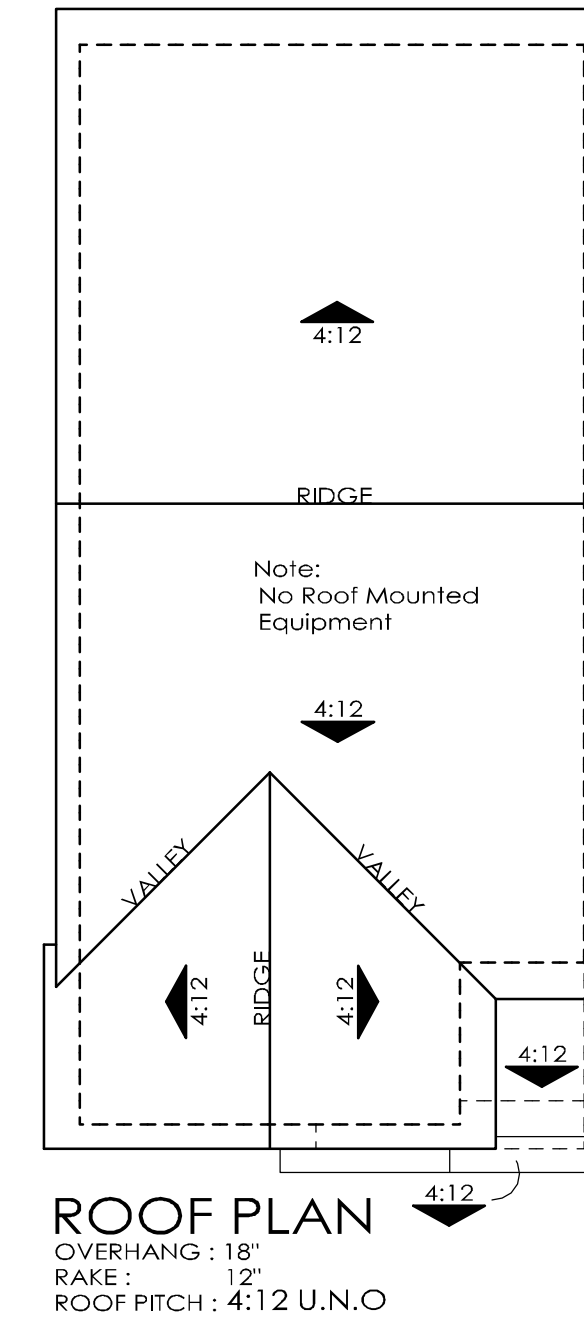
Plan 3B - Enhanced Exterior Elevations

Hayward , Ca.
KTGY # 2014-0321

8.10.2015

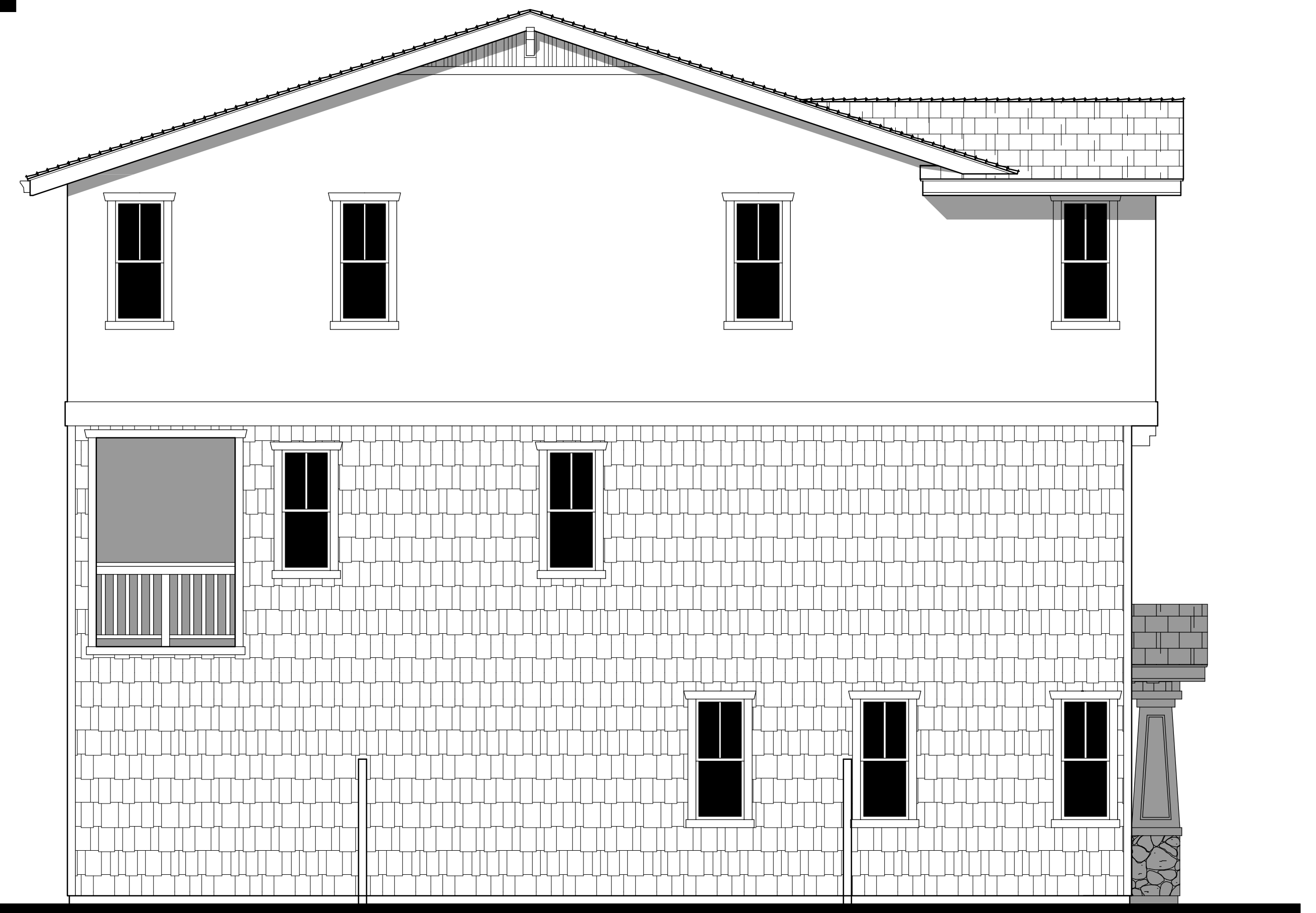
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RIGHT
WARD CREEK COTTAGES

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Encino CA 91436



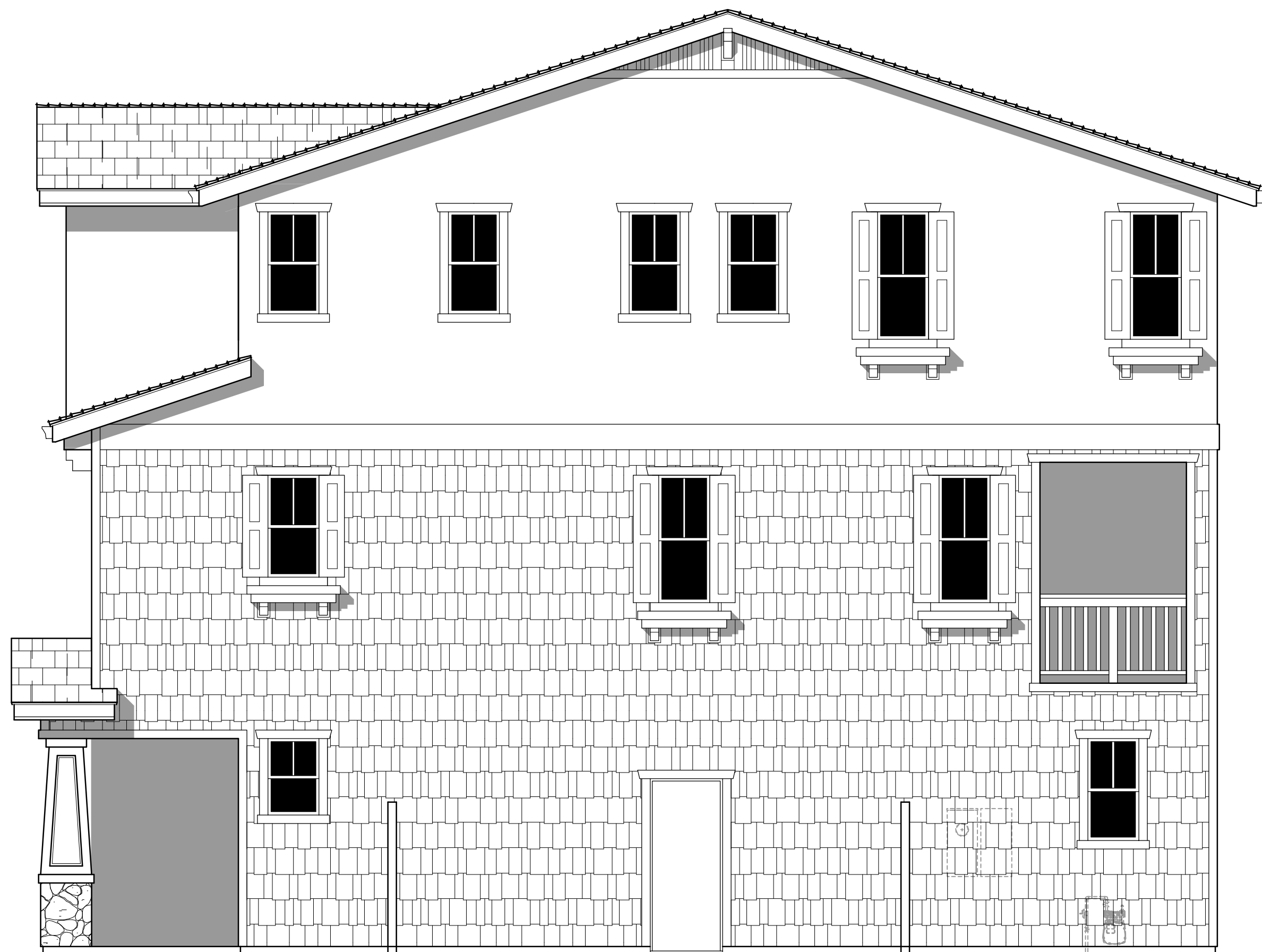
LEFT
Plan 3C Exterior Elevations

Hayward, Ca.
KTGY # 2014-0321

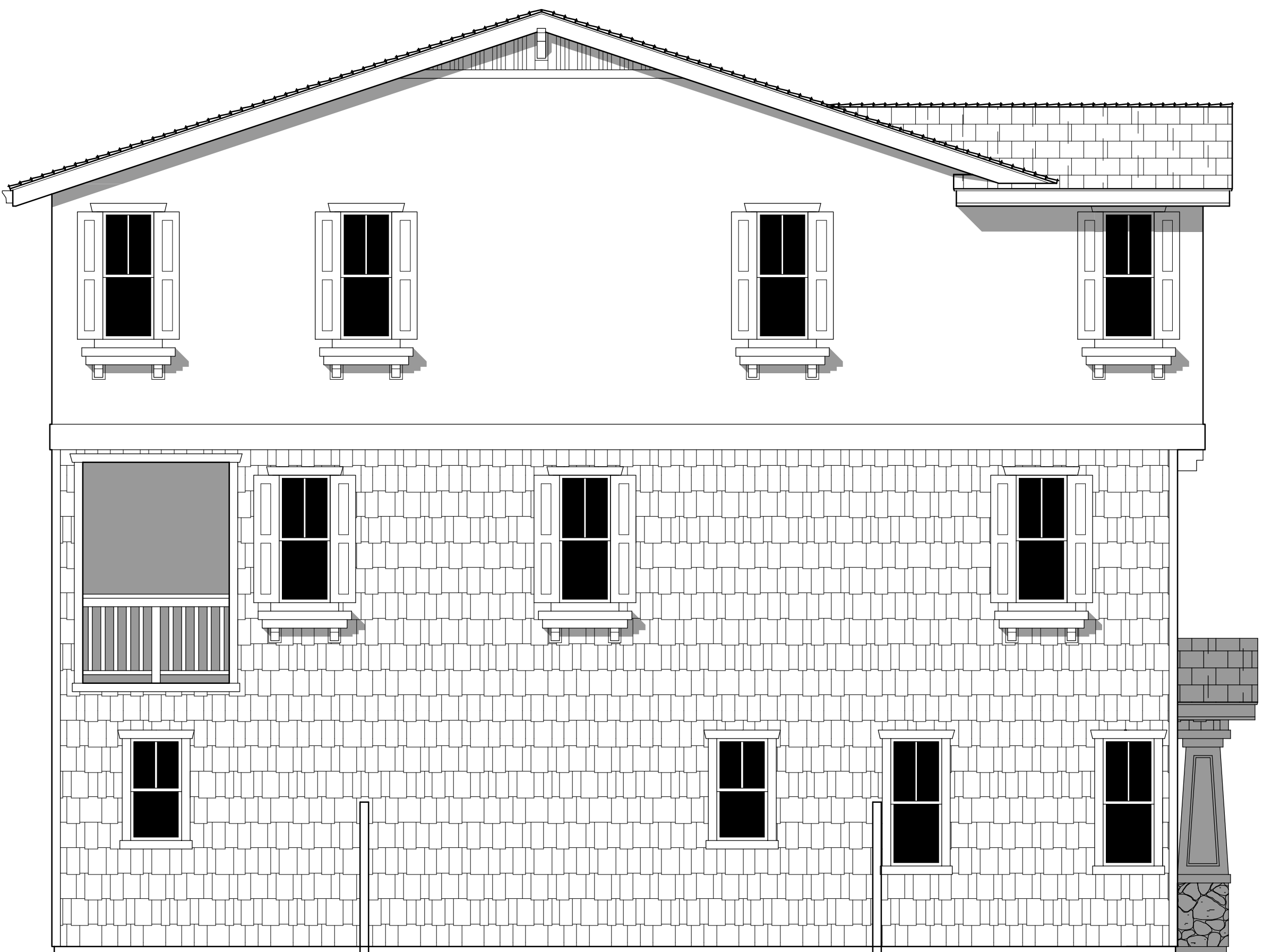
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RIGHT AT ENHANCED LOTS ONLY



LEFT AT ENHANCED LOTS ONLY

WARD CREEK COTTAGES

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Plan 3C - Enhanced Exterior Elevations

Hayward , Ca.

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ELEVATION '4A' - NAPA VALLEY COTTAGE



ELEVATION '4B' - COTTAGE



ELEVATION '4C' - CRAFTSMAN

WARD CREEK COTTAGES

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Plan 4 Elevations

Hayward, Ca.
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A4.C



ELEVATION '4B' - COTTAGE

4B - Cottage
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Siding/ Shingles
Shutters
Decorative Corbels
Recessed Windows
Enhanced Sills
1x Stucco Finish Trim
Stone Veneer



ELEVATION '4A' - NAPA VALLEY COTTAGE

4A - Napa Valley Cottage
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Board and Batt Siding
Hurricane Shutters
Decorative Kicker / Corbel
Enhanced Sills
1x Stucco Finish Trim



ELEVATION '4C' - CRAFTSMAN

4C - Craftsman
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Siding/ Shingles
Stone Veneer
Enhanced Sills
1x Stucco Finish Trim
Shutters

WARD CREEK COTTAGES

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Plan 4 Elevations

Hayward, Ca.

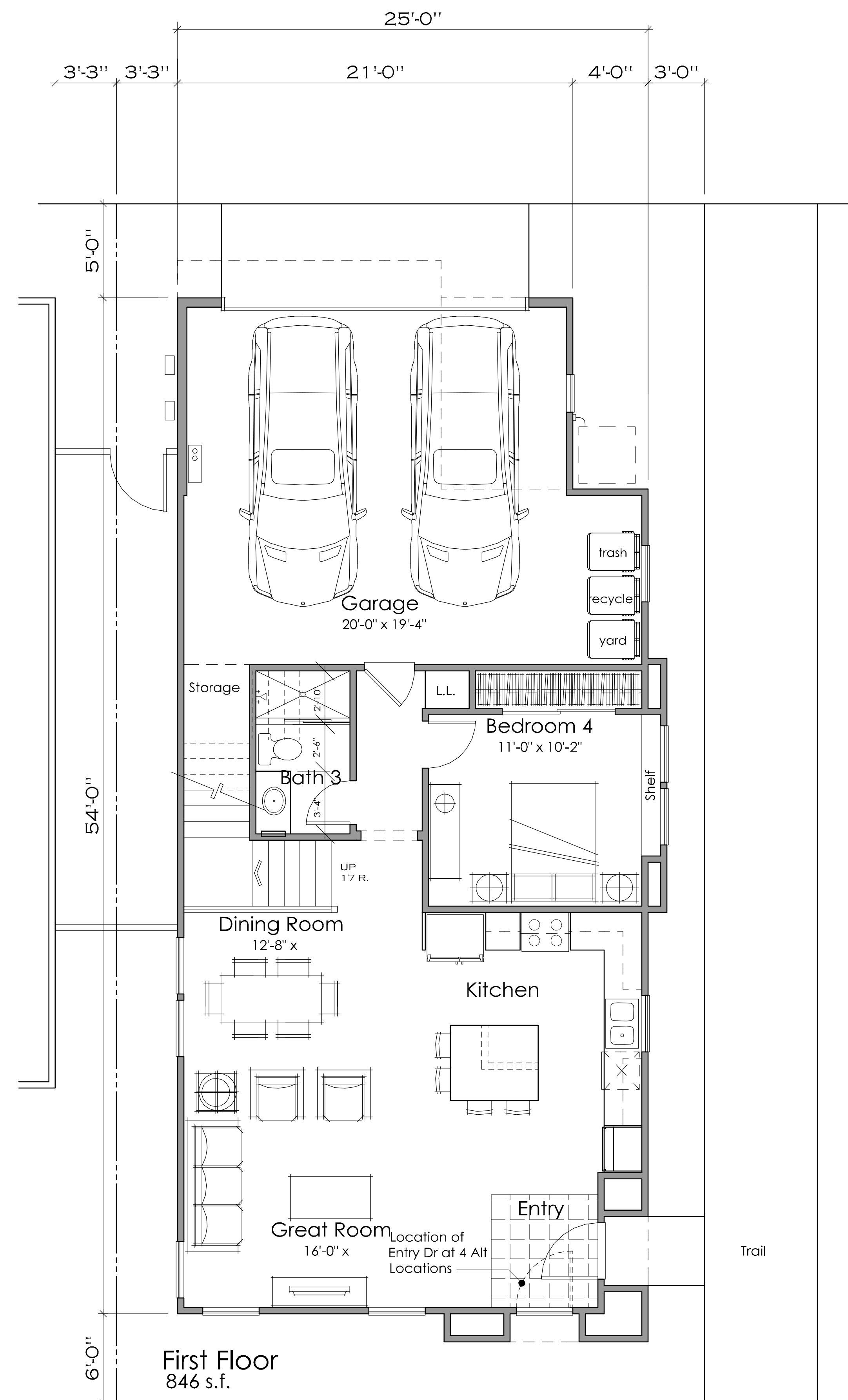
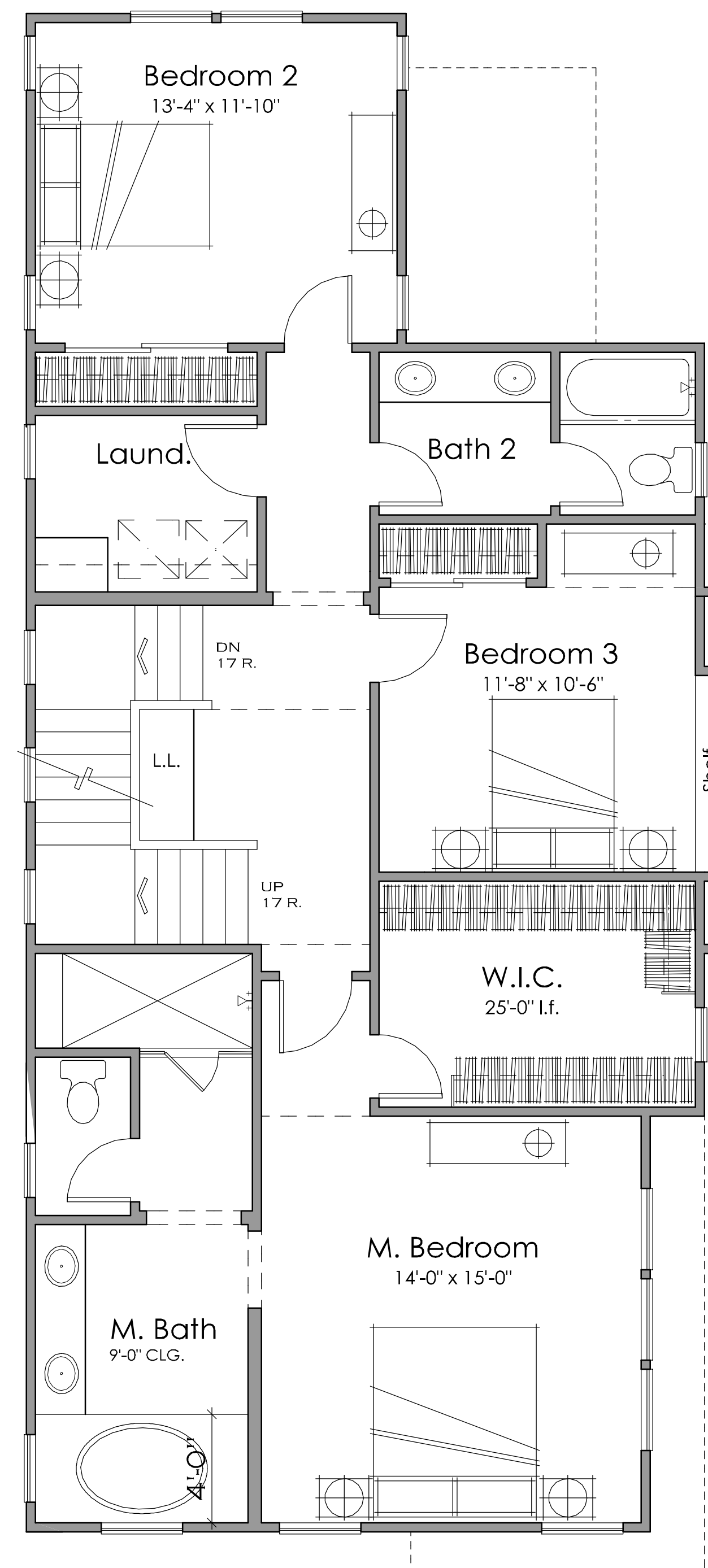
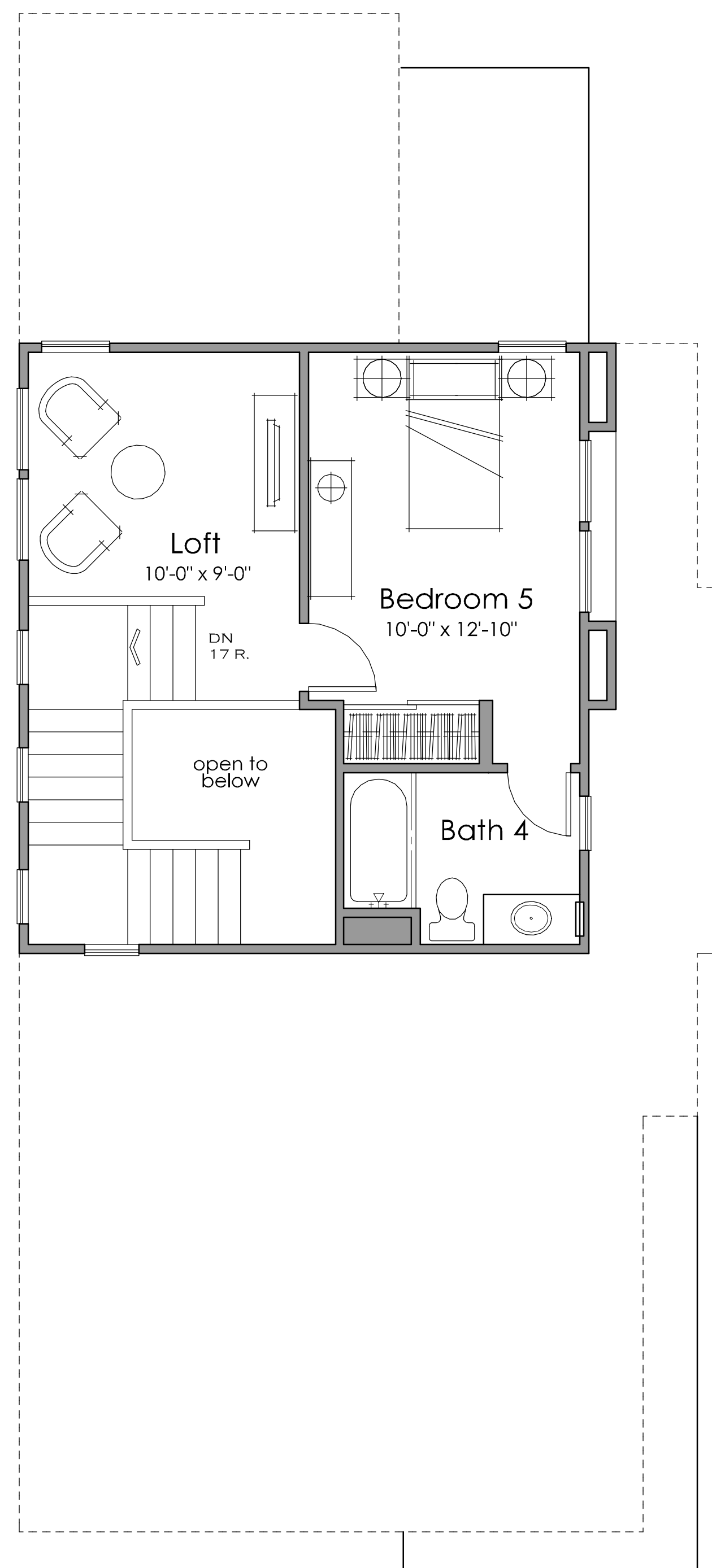
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A4.0



WARD CREEK COTTAGES

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PLAN 4 - 2,431 SQ. FT.

Hayward, Ca.

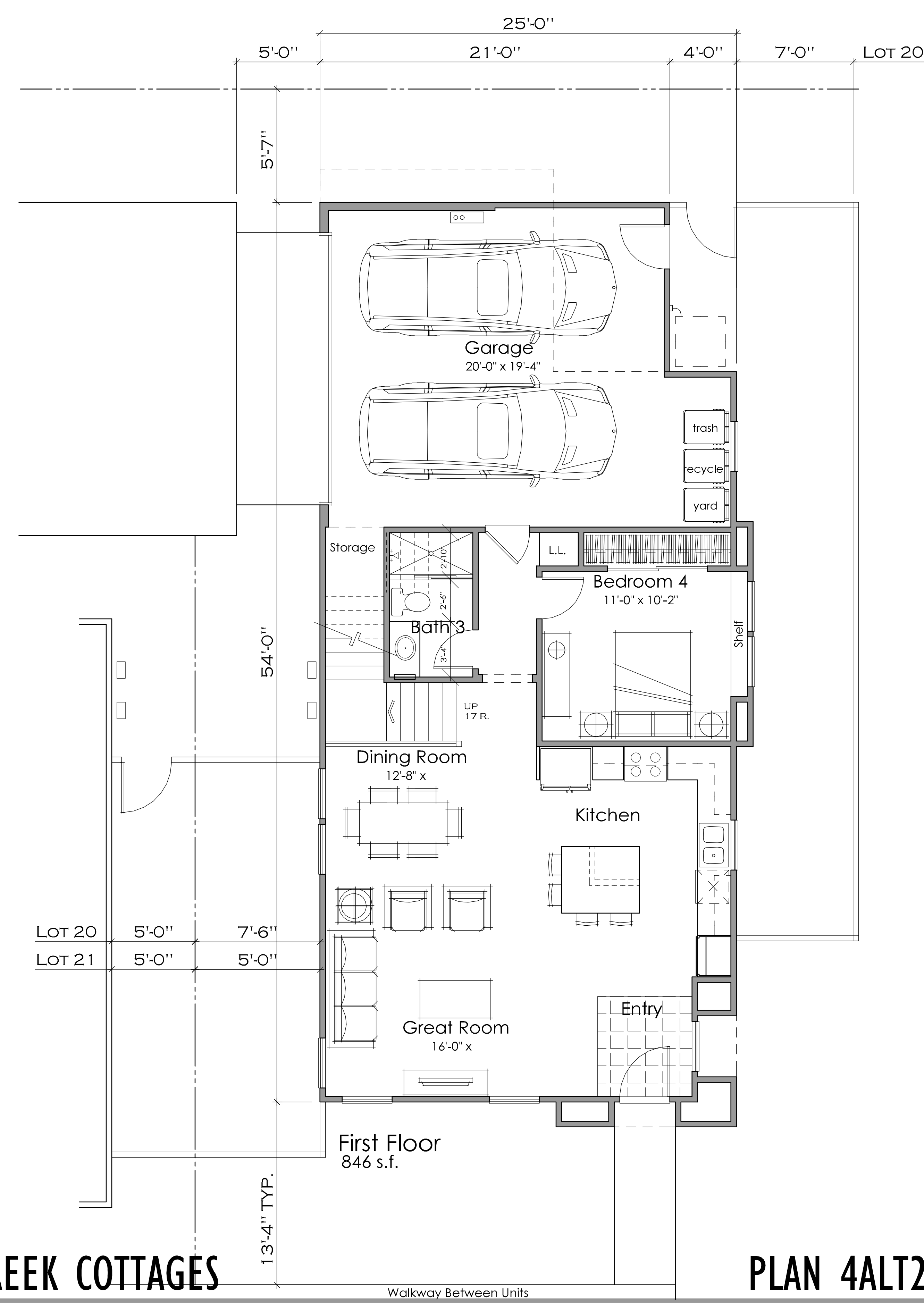
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8.10.2015

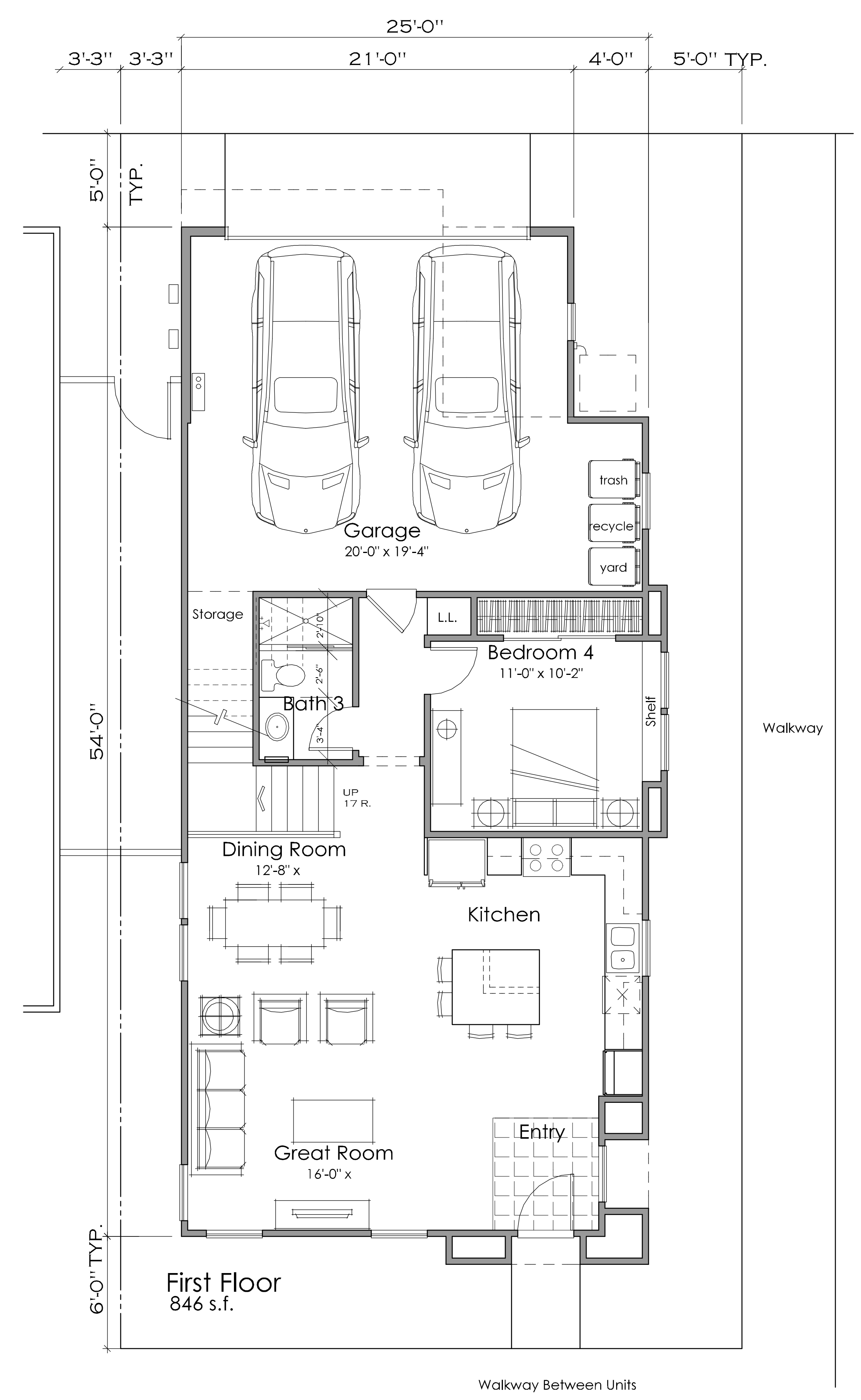
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A4.1



PLAN 4ALT2



PLAN 4ALT1

WARD CREEK COTTAGES

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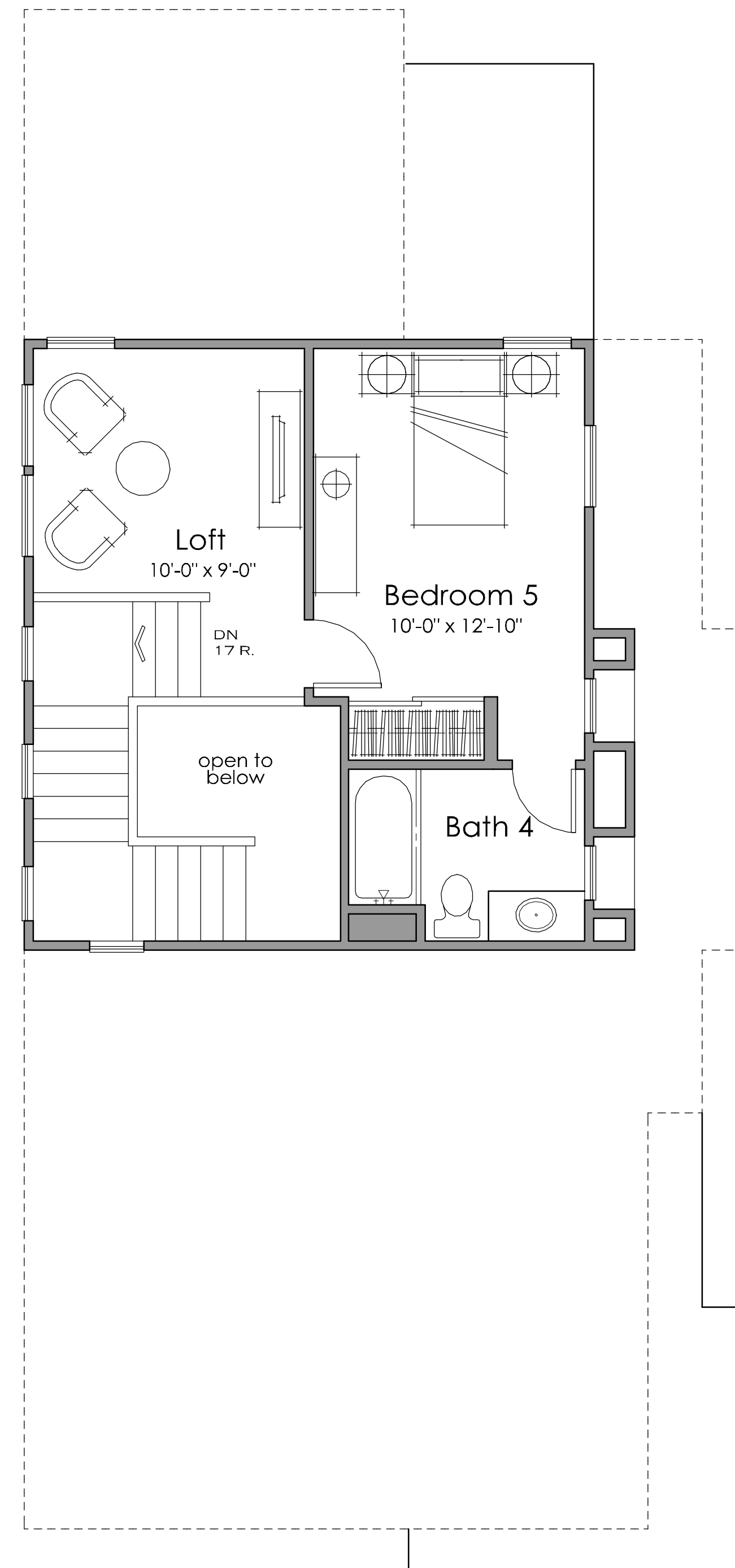
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KTGY # 2014-0321

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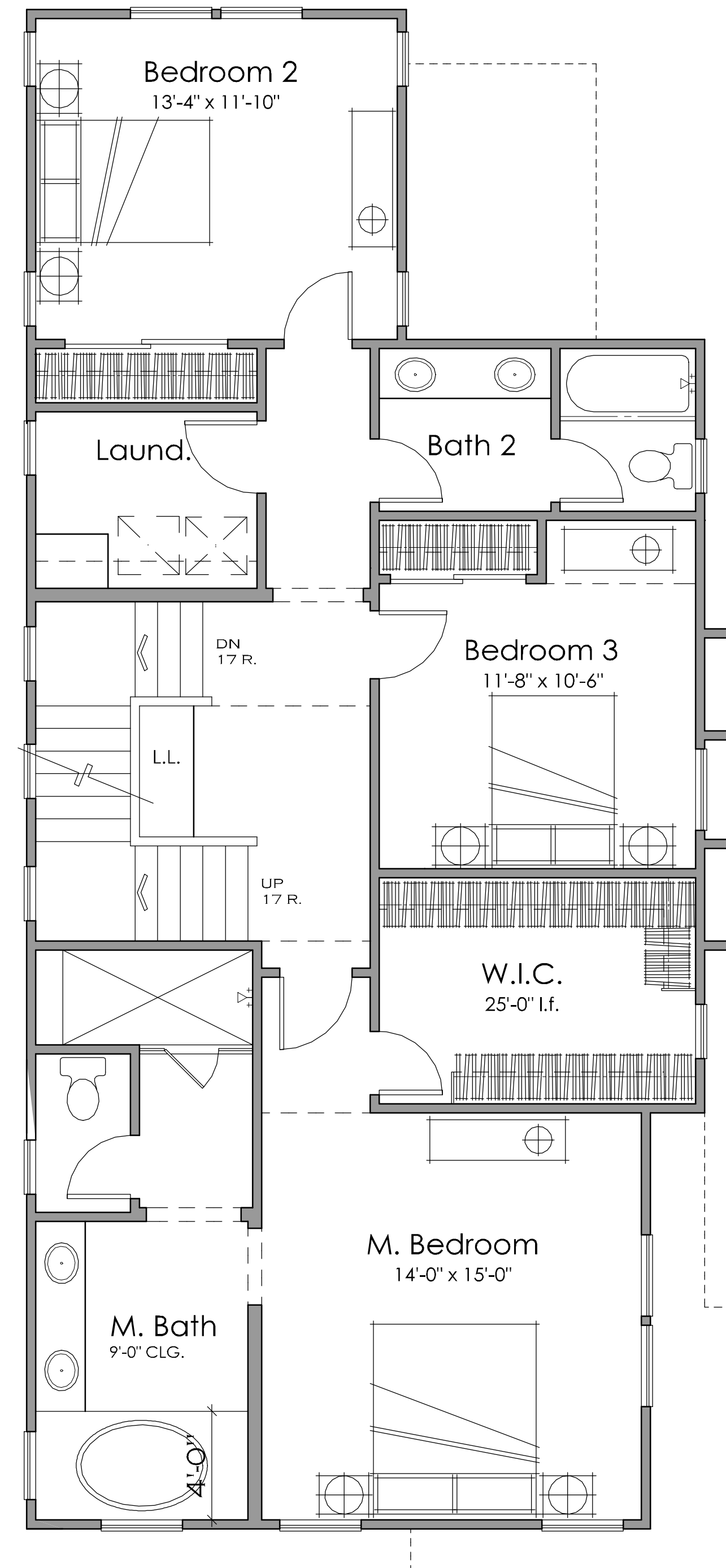
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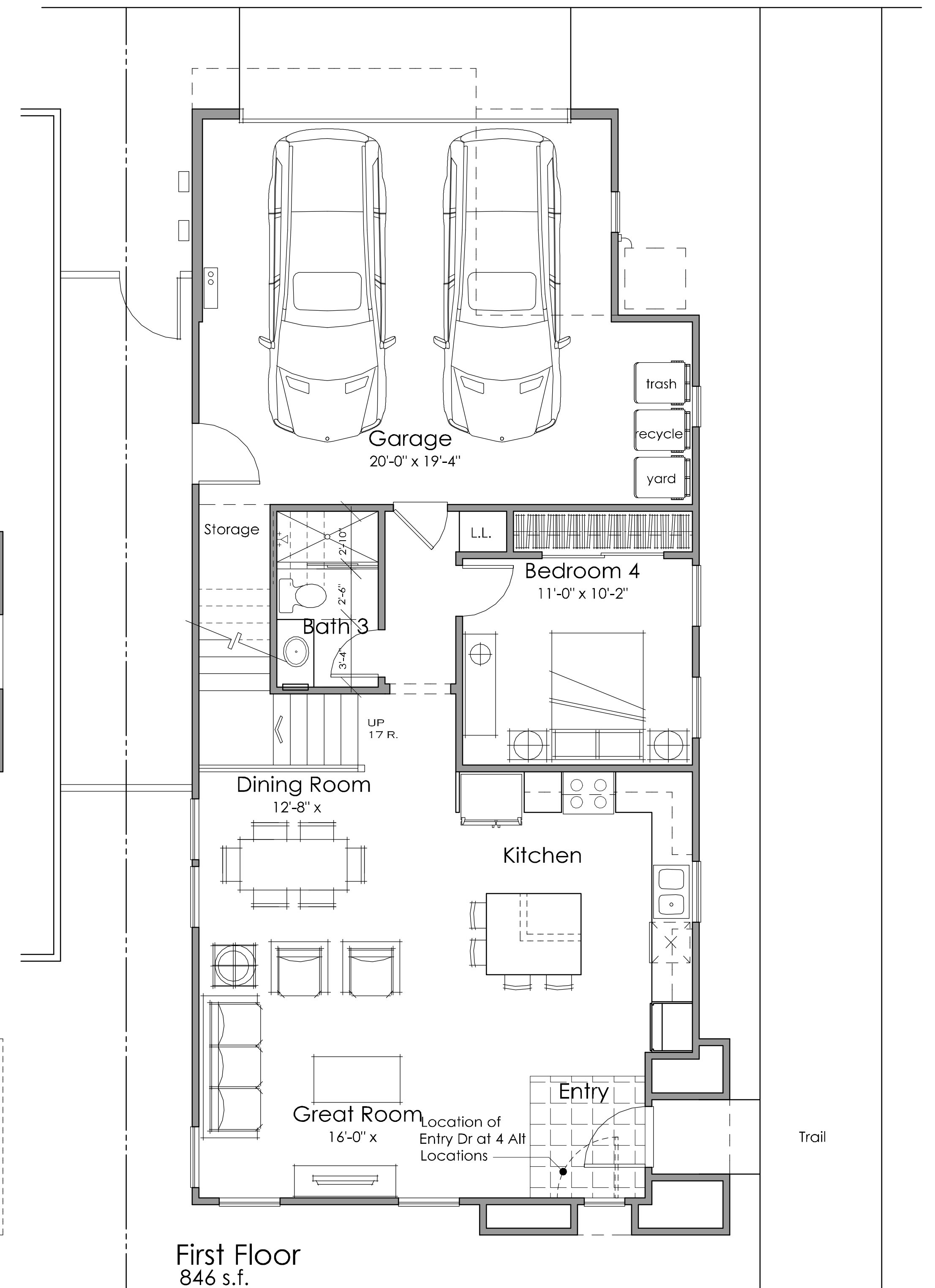
A4.1.1



Third Floor
422 s.f.



Second Floor
1163 s.f.



First Floor
846 s.f.

WARD CREEK COTTAGES

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PLAN 4B - Addenda

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KTGY # 2014-0321

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A4.I-I



WARD CREEK COTTAGES

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PLAN 4C - Addenda

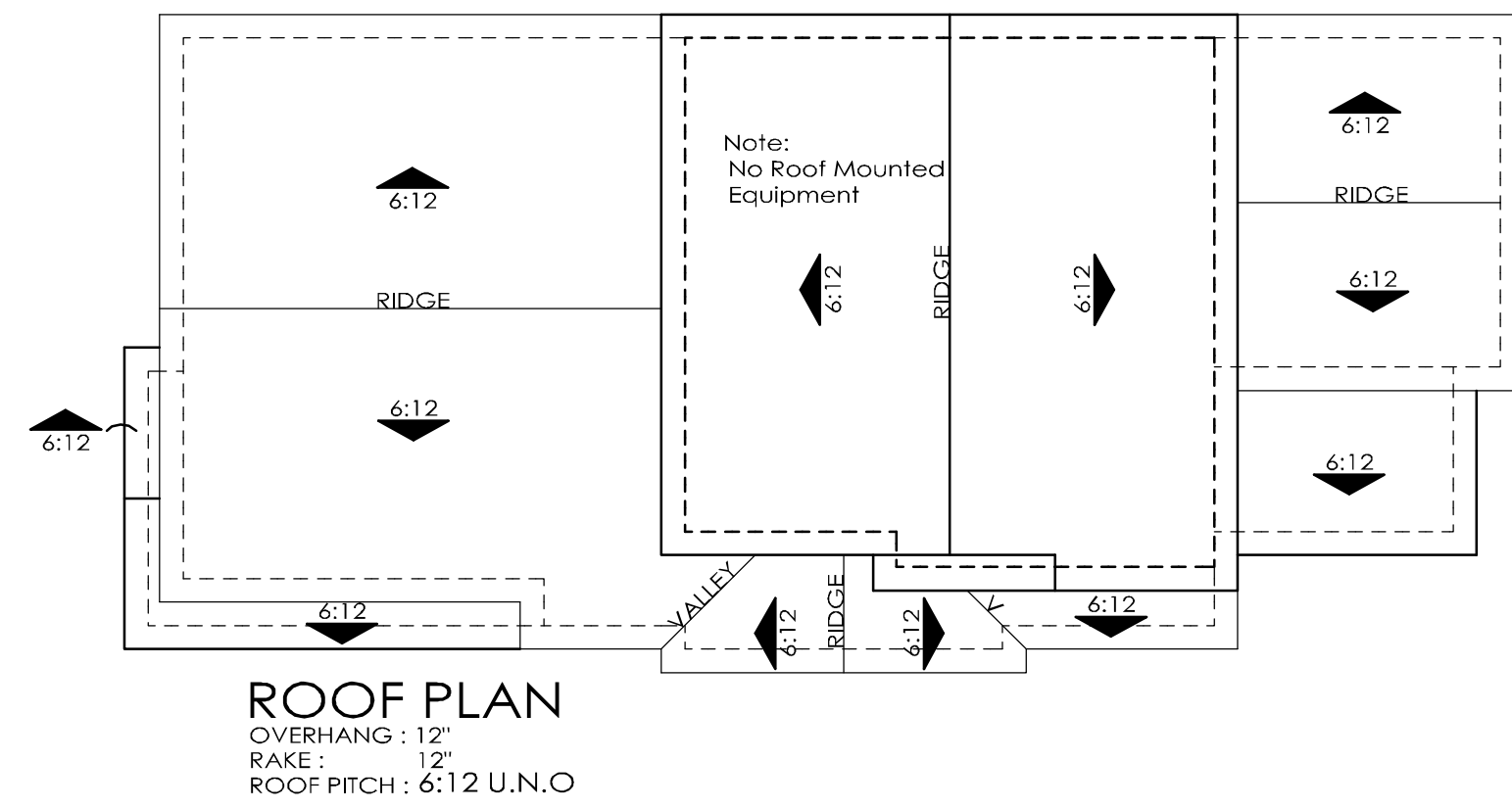
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A4.1-2



WARD CREEK COTTAGES

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Plan 4A Exterior Elevations

Hayward , Ca.

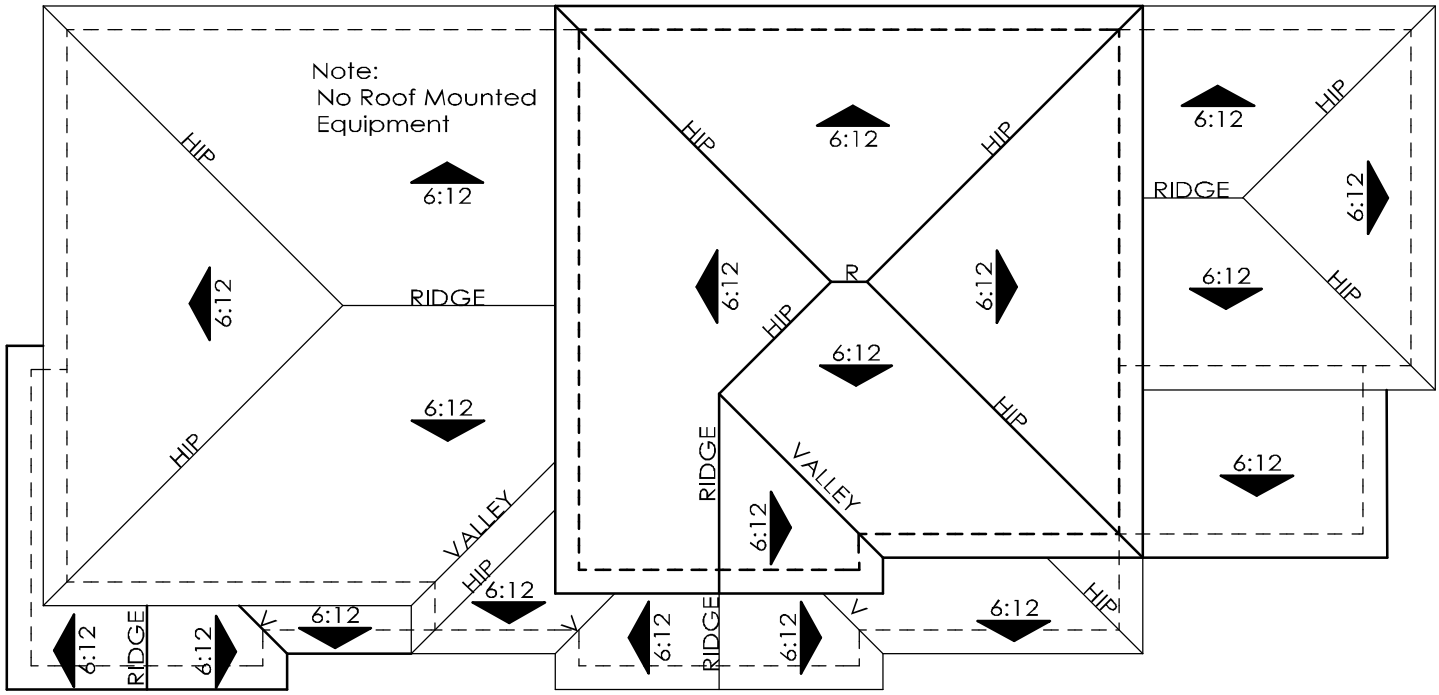
KTGY # 2014-0321

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A4.2



ROOF PLAN
OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 6:12 U.N.O



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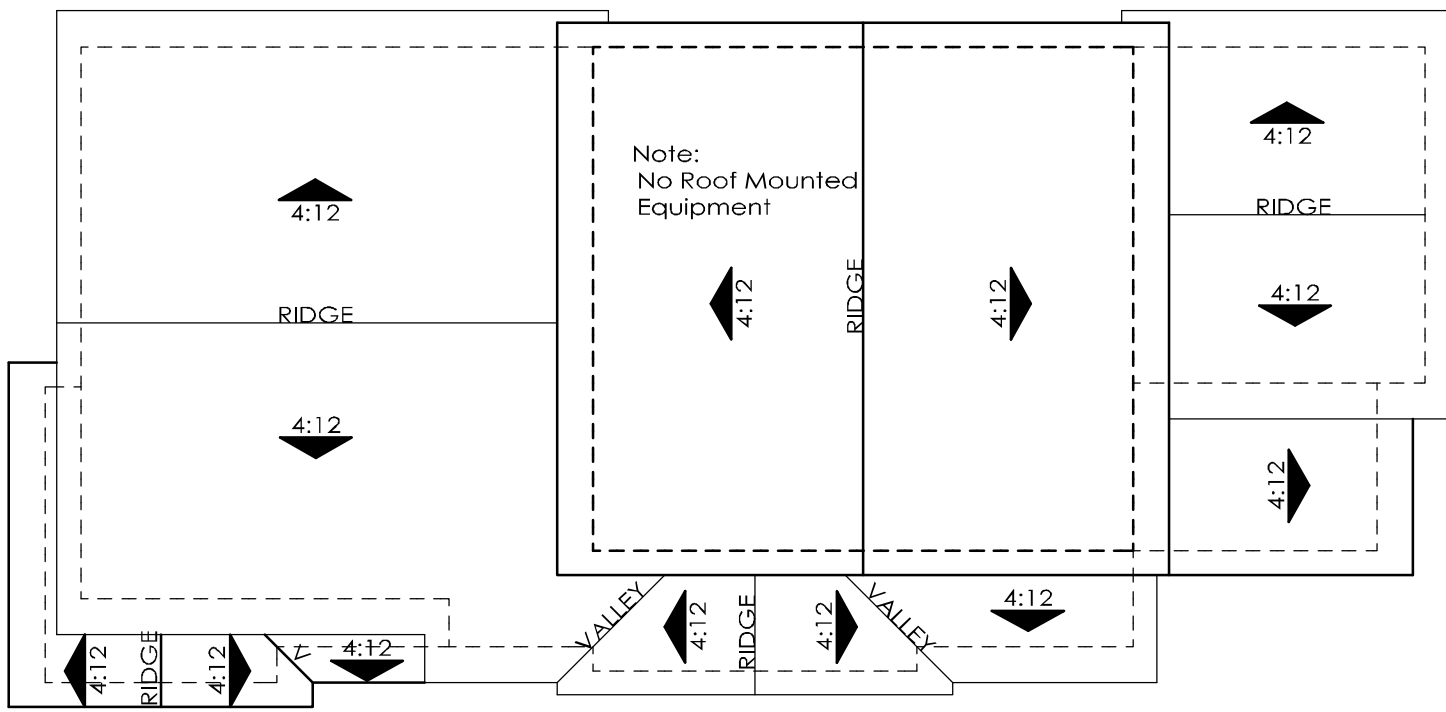
Plan 4B Exterior Elevations

Hayward , Ca.
KTGY # 2014-0321

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ROOF PLAN
OVERHANG : 18"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O



WARD CREEK COTTAGES

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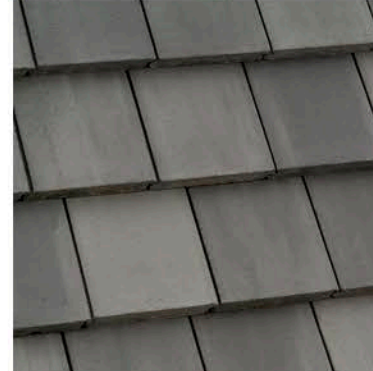
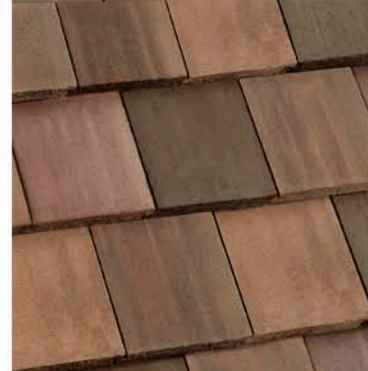
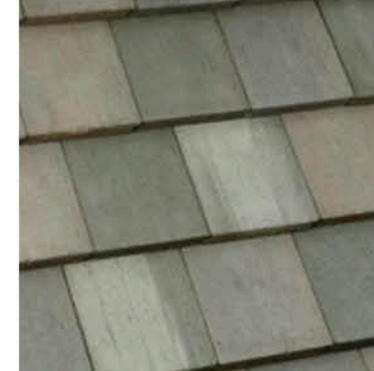
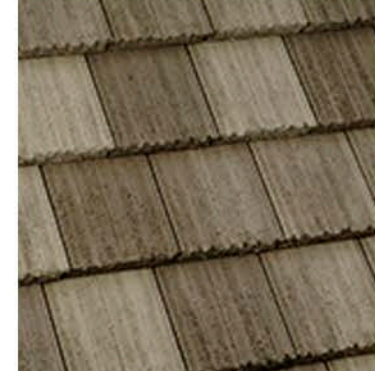
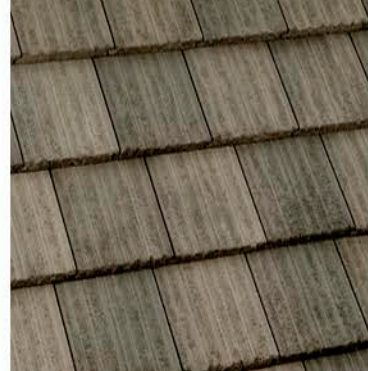
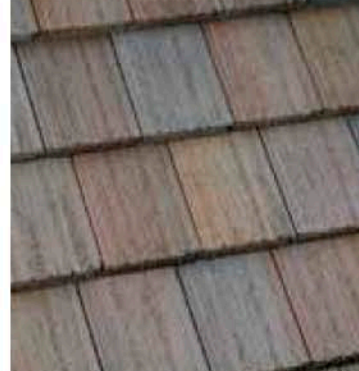
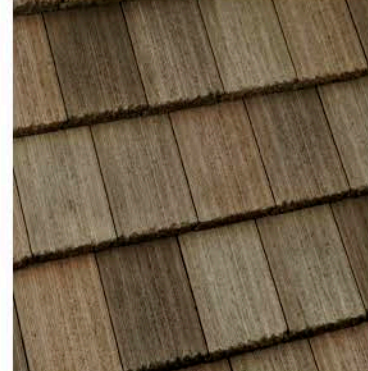
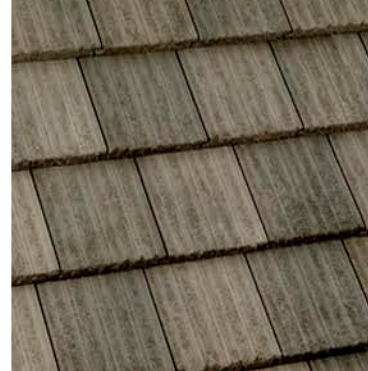


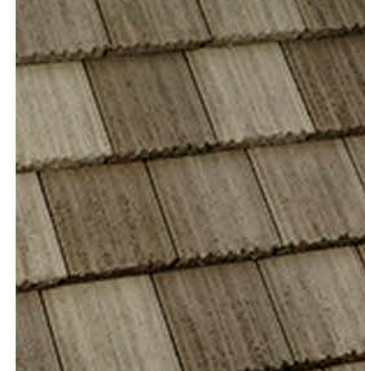
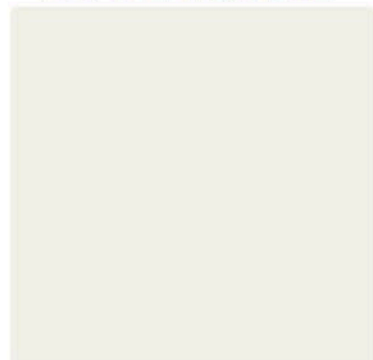






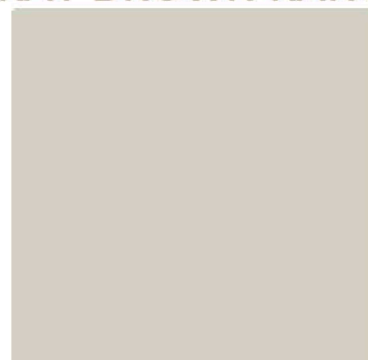
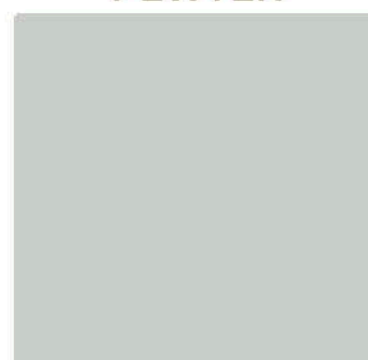
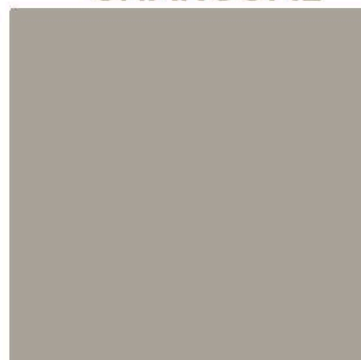


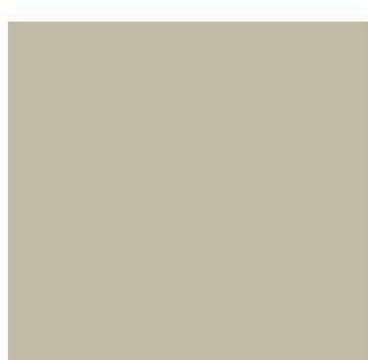









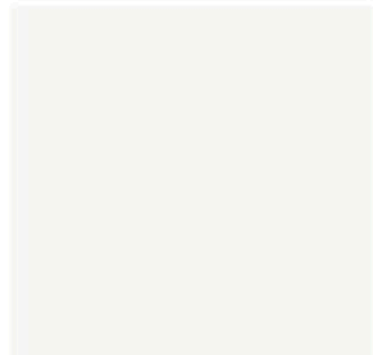
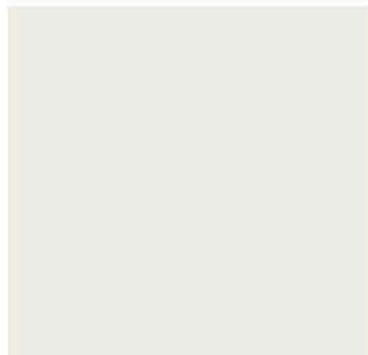
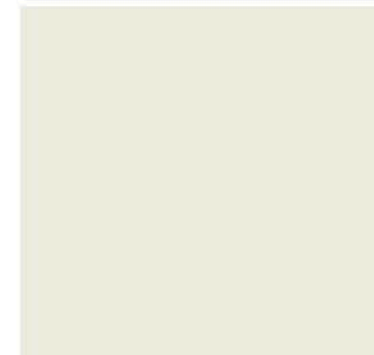









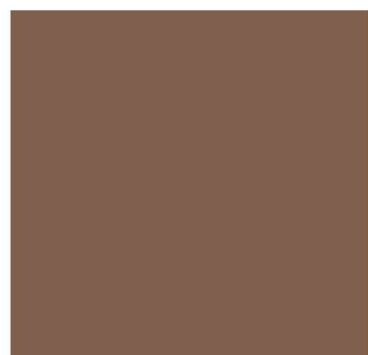
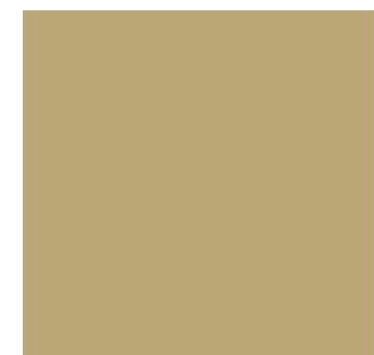
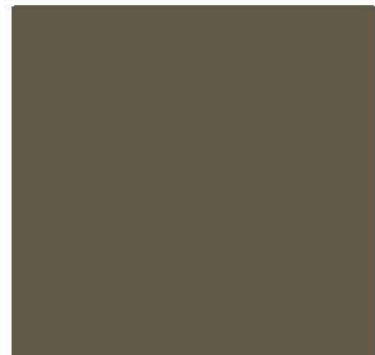

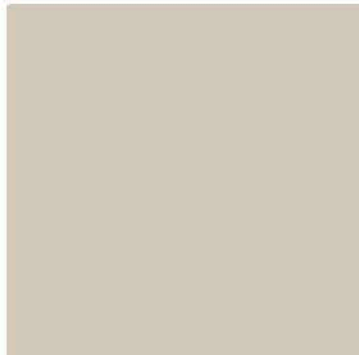
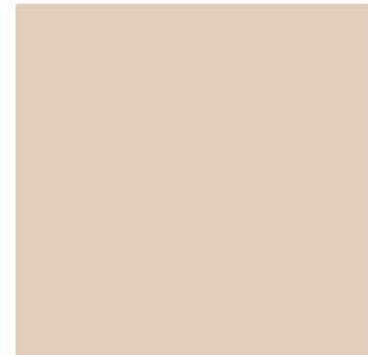







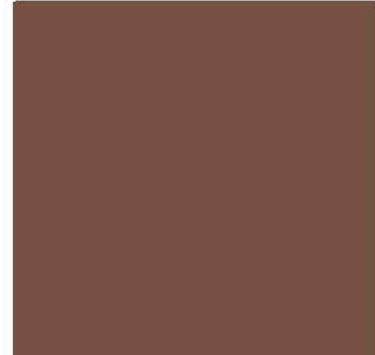
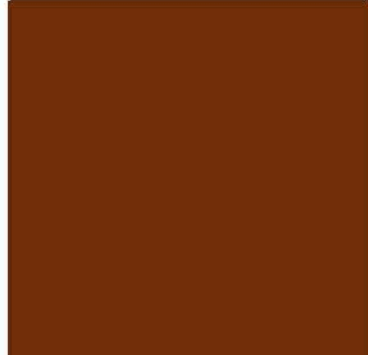

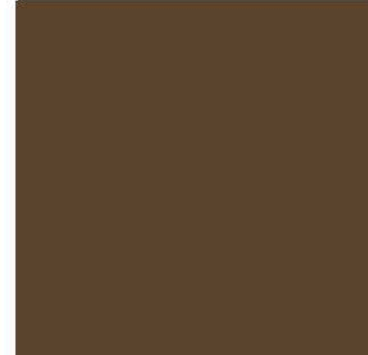
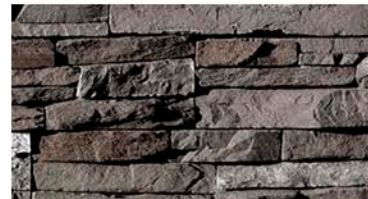
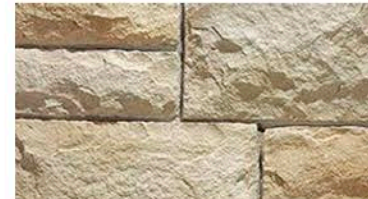
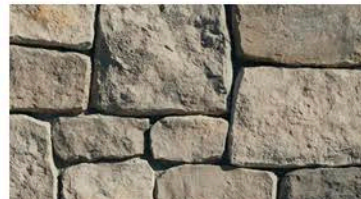
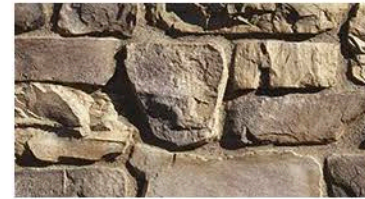
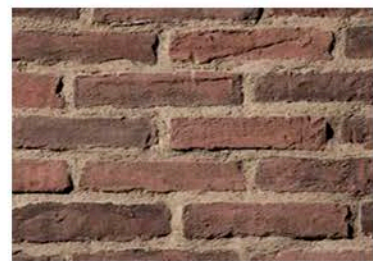

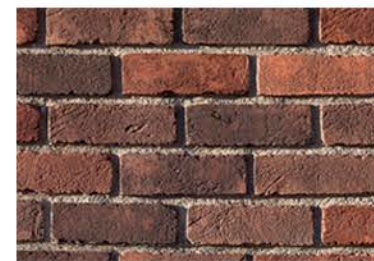

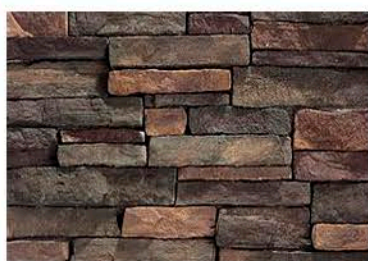
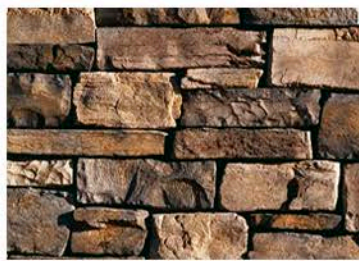

Plan 4C Exterior Elevations

Hayward , Ca.
KTGY # 2014-0321

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510 272 2910



Napa Valley Cottage Elevations			Craftsman Elevations				Cottage Elevations				
	1	2	3	4	5	6	7	8	9	10	11
Roof Tile: Flate Slate											
	4697 SLATE RANGE	SCB 8826 AUGUSTA BLEND	SCB 8805 SEATTLE BLEND	5678 LIGHT BROWN RANGE	5687 GRAY BROWN RANGE	5671 VILLAGE BLEND	SCP 8804 HERSHEY	5687 GRAY BROWN RANGE	5686 PEWTER	5594 CHARCOAL	5678 LIGHT BROWN RANGE
Stucco Body											
	KMW 48-1 WHIPPED CREAM	KMW 31-1 FRANKLY EARNEST	KM4947-1 SUBTLE SHADOW	HLS4279-2 BRITISH KHAKI	KM4788-1 EVENING DOVE	KM3811-1 RAIDER NATION	171 SAND PEBBLE	KM4598-1 MEXICAN SAND DOLLAR	KM4843-1 INFUSION	KM4929-2 WARM GRAY FLANNEL	KM5250-1 MORNING WHEAT
Siding											
	KMW 48-1 WHIPPED CREAM	KM 4726-1 ZEN ESSENCE	178 PLYMOUTH GRAY	KM5719-3 CORKBOARD	KM5755-5 LA GRANGE	KM3814-3 FRENCH QUARTER	KM4056-5 WESTERN PURSUIT	HLS4292-2 MERCER CHARCOAL	KMW6-1 LILY WHITE	36 NAVAJO WHITE	KM4707-3 HIDDEN COTTAGE
Fascia/ Eaves/ Trim / Garage Doors											
	KMW 43-1 WHITEST WHITE	23 SWISS COFFEE	46 ACOUSTIC WHITE	KM5704-2 BLUFF STONE	KM4715-3 TAN OAK	KM3918-2 FRENCH CLAY	KM4023-3 DIG IT	KM5745-2 NATIVE FLORA	KMA49-5 FRUIT YARD	KM4721-5 AMAZON GREEN	KM4840-3 AVENTURINE
Front Doors/ Shutters											
	KMA 91-5 BLACK ICE	KM 5699-5 TAMARIND TART	KM5718-3 WAVES OF GRAIN	KM3950-3 ROCKVALE	HLS4278-5 NOTTINGHAM FOREST	KM3954-1 SIERRA SNOW	26 OYSTER	407 CARBON	407 CARBON	407 CARBON	407 CARBON
Wrt. Iron / Decorative Metal											
	407 CARBON	407 CARBON	407 CARBON	KM4111-3 MOCHA JAVA	212 SALTILLO	KM4112-5 BISTRO BROWN	KMA67-5 RAILROAD TIES	Dark Rundle Stacked Stone	Santa Barbara Ashlar	Falling Spring Rough Cut	Country Side Cypress Ridge
Brick Veneer											
	Bracciano RomaBrick	Castello RomaBrick	Hartford Brick	Montecito Cliffstone	Mesa Verde Mtn Ledgestone	Montecito Cliffstone	Sequoia Rustic Ledgestone				

Manufacturers

Paint: Kelly-Moore

Stone Veneer: El Dorado

Brick Veneer: El Dorado

Roofing: Eagle Tile

Manufacturers
Paint: Kelly-Moore
Stone Veneer: El Dorado
Brick Veneer: El Dorado
Roofing: Eagle Tile

WARD CREEK COTTAGES

AMG & Associates. LLC

16633 Ventura Blvd, Suite 1014
Encino, CA 91436

COLOR & MATERIALS BOARD

Hayward, Ca.

KTGY # 2014-0321

06.15.2015

KTGY Group, Inc.
Architecture+Planning
580 Second St., Suite 200
Oakland, CA 94607
510.272.2910
ktgy.com



A5.C

WARD CREEK COTTAGES

VESTING TENTATIVE MAP, TRACT 8233

WALPERT & 2ND STREETS
HAYWARD, CALIFORNIA

PROJECT TEAM :

DEVELOPER

AMG & ASSOCIATES LLC
ALEXIS GEVORGIAN
16633 VENTURA BLVD. - SUITE 1014
ENCINO, CA. 91436
(818) 380-2600, ext. 14

CIVIL ENGINEER

CARLSON, BARBEE & GIBSON, INC.
GREG MILLER
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322

ARCHITECT

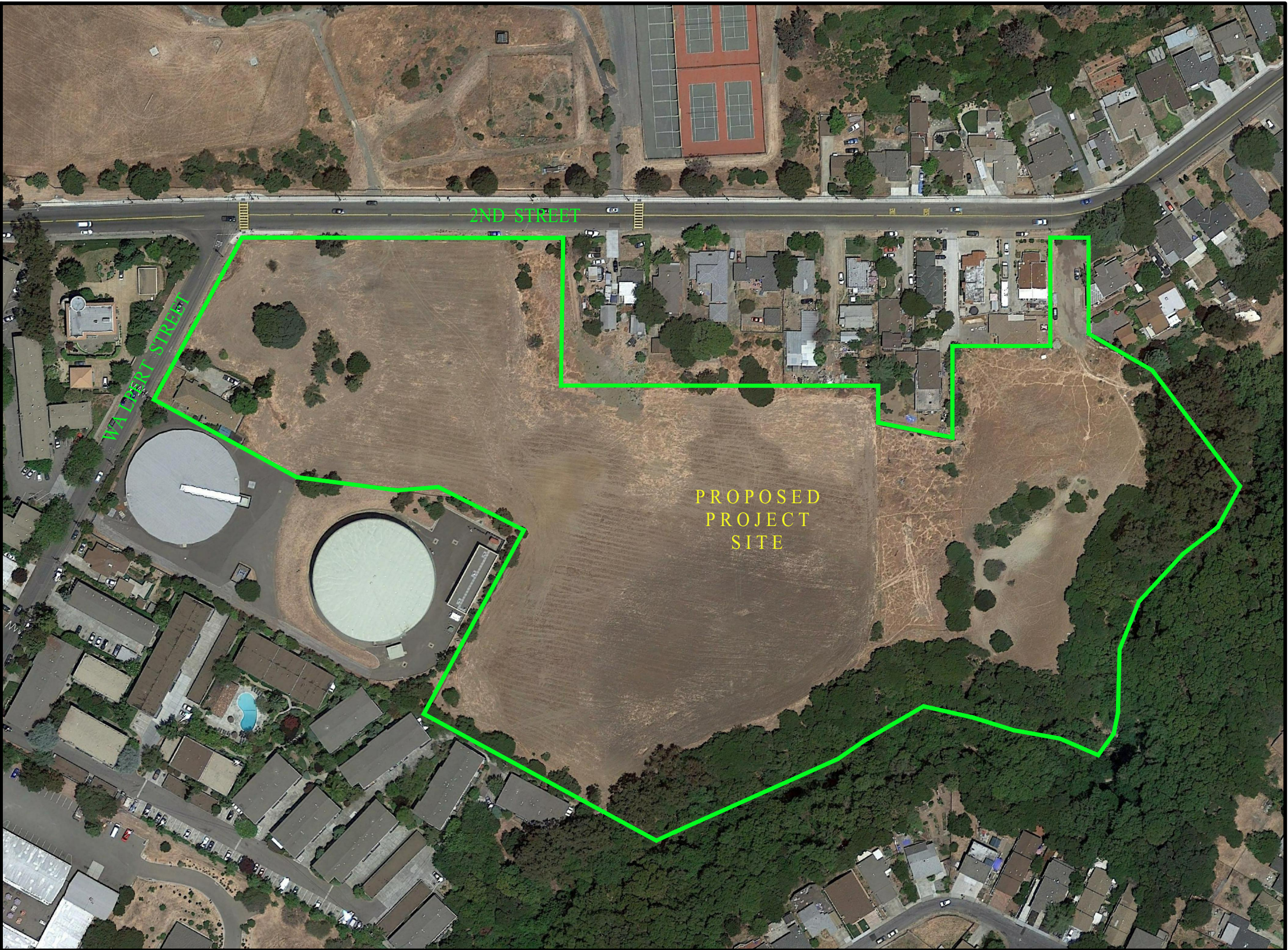
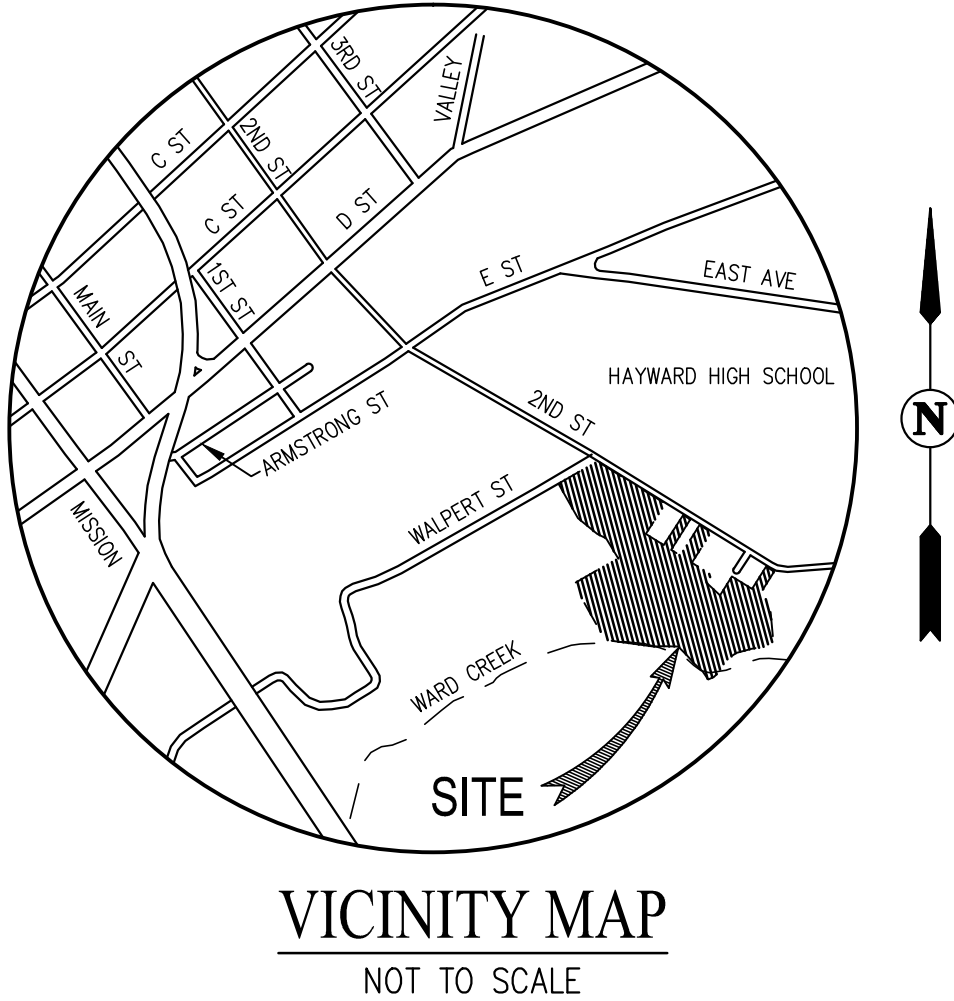
KTGY ARCHITECTURE + PLANNING
JILL WILLIAMS
580 SECOND STREET, SUITE 200
OAKLAND, CA 94607
(510) 272-2910

LANDSCAPE ARCHITECT

GOLDEN ASSOCIATES
LESLIE GOLDEN
4400 MARKET STREET
OAKLAND, CA 94608
(510) 465-4030

SOILS ENGINEER

PRA GROUP
1041 HOOK AVENUE
PLEASANT HILL, CA 94523
(925) 938-2801



PROJECT INFORMATION :

SITE AREA:	14.9 ± ACRES
A.P.N. :	445-0040-011-03, 445-0050-010-01, 445-0050-010-18, 445-0050-010-19 AND A PORTION OF 445-0050-010-09
PROPOSED ZONING:	"PD" - PLANNED DEVELOPMENT
EXISTING ZONING:	"SD7", "RM", "RH", "A" AND "OS"
PROPOSED LAND USE:	97 SINGLE FAMILY DETACHED UNITS

SHEET INDEX:

T1	TITLE SHEET
CIVIL PLANS:	
TM-1	PLANNED DEVELOPMENT - SITE PLAN
TM-2	EXISTING CONDITIONS
TM-3	PRELIMINARY LOTTING PLAN
TM-4	PRELIMINARY GRADING PLAN
TM-5	PRELIMINARY UTILITY PLAN
TM-6	PRELIMINARY STORMWATER MANAGEMENT PLAN
TM-7	FIRE ACCESS AND SERVICE PLAN
TM-8	GRADING CROSS SECTIONS

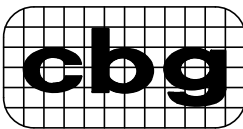
ARCHITECTURAL PLANS :

A0.2	OPEN SPACE EXHIBIT
A1.0	PLAN 1 ELEVATIONS
A1.1	PLAN 1 PLANS
A2.0	PLAN 2 ELEVATIONS
A2.1	PLAN 2 PLANS
A3.0	PLAN 3 ELEVATIONS
A3.1	PLAN 3 ELEVATIONS
A3.2	PLAN 3 PLANS
A4.0	PLAN 4 ELEVATIONS
A4.1	PLAN 4 PLANS

LANDSCAPE PLANS :

L1.0	TREE MITIGATION PLAN
L1.1	TREE MITIGATION PLAN
L1.2	TREE MITIGATION PLAN
L2.0	PRELIMINARY PAVING & MATERIALS PLAN
L2.1	PRELIMINARY MATERIALS - PHOTOS AND DETAILS
L2.2	PRELIMINARY MATERIALS - PHOTOS AND DETAILS
L3.0	PRELIMINARY PLANTING PLAN
L3.1	PRELIMINARY HYDROZONE PLAN
L3.2	PRELIMINARY PLANTING INSPIRATION
L3.3	PRELIMINARY PLANTING MATERIALS
L3.4	PRELIMINARY PLANTING MATERIALS

AMG



Carlson, Barbee
& Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
2633 Camino Ramon, Suite 350 • San Ramon, CA 94583
925-866-0322
www.cbamg.com



ARCHITECTURE + PLANNING



T1

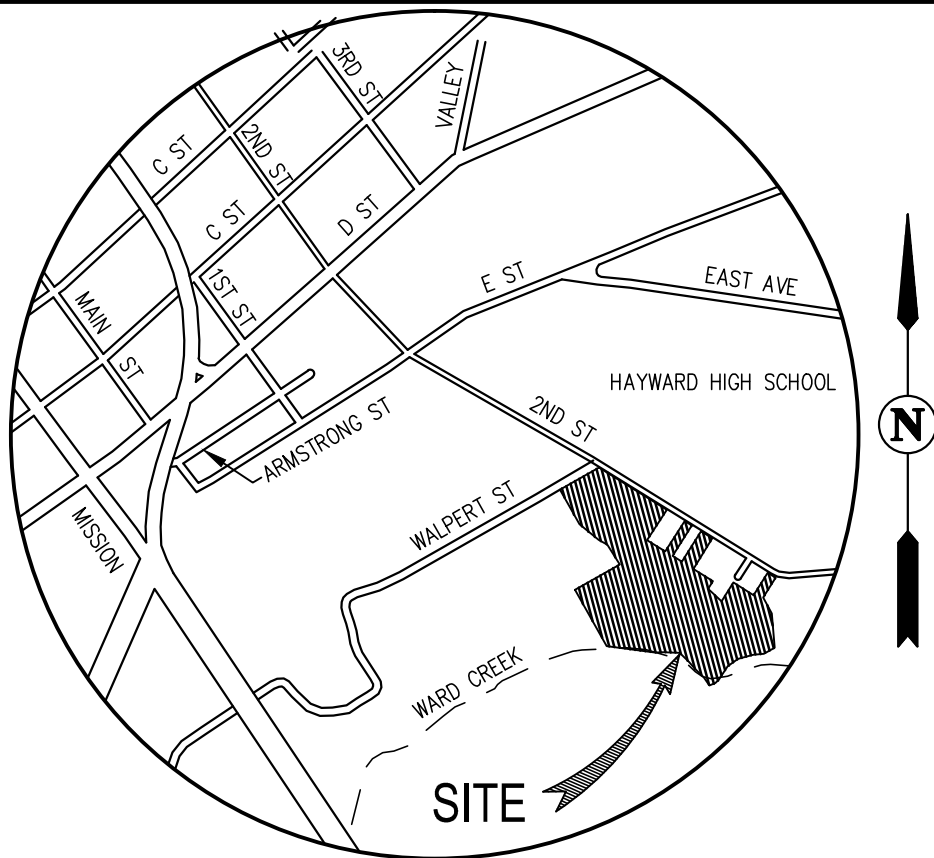
AUGUST 11, 2015

LEGEND:

EXISTING	PROPOSED	
+ 500 12 ○	+ 500 12 ●	SPOT ELEVATION
□	■	LOT NUMBER
☒	☒	MANHOLE
—	—	SIDEWALK
—	—	CATCH BASIN
—	—	FIELD INLET
—	—	SUBDIVISION BOUNDARY
—	—	RIGHT OF WAY
—	—	LOT LINE
—	—	RETAINING WALL
—	—	EASEMENT LINE
— EX SS	— SS	PROPOSED TRAIL
— EX SD	— SSFM	SANITARY SEWER MAIN
	— SD	SANITARY SEWER FORCE MAIN
	— W	STORM DRAIN LINE
		WATER LINE

ABBREVIATIONS:

R/W	RIGHT OF WAY
CB	CATCH BASIN
FI	FIELD INLET
MH	MANHOLE
PL	PROPERTY LINE
SD	STORM DRAIN
SDE	STORM DRAIN EASEMENT
SS	SANITARY SEWER
P	PAD
PAE	PEDESTRIAN ACCESS EASEMENT
PUE	PUBLIC UTILITY EASEMENT



VICINITY MAP

NOT TO SCALE

CONTACTS:

- DEVELOPER: AMG & ASSOCIATES LLC
16633 VENTURA BLVD., SUITE 1014
ENCINO, CA 91436
ATTN: ALEXIS GEVORGIAN
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
ATTN: GREG MILLER
- GEOTECHNICAL ENGINEER: PRA GROUP INC.
1041 HOOK AVENUE
PLEASANT HILL, CA 94523
- ARCHITECT: KTG ARCHITECTURE + PLANNING
580 SECOND STREET, SUITE 200
OAKLAND, CA 94607
ATTN: JILL WILLIAMS
- LANDSCAPE ARCHITECT: GOLDEN ASSOCIATES
4400 MARKET STREET
OAKLAND, CA 94608
ATTN: LESLIE GOLDEN

GENERAL NOTES:

- BENCHMARK: CITY OF HAYWARD BENCHMARK – MONUMENT DISC AT THE INTERSECTION OF WALPERT STREET AND 2ND STREET
ELEVATION: 253.34 (NGVD 29)
- BASIS OR BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS DETERMINED BY FOUND MONUMENTS IN WALPERT STREET, THE BEARING BEING N 60°34'30" W PER 112 M 75.
- SITE ADDRESS: INTERSECTION OF WALPERT STREET AND 2ND STREET
- APN: 445-0040-011-03, 445-0050-010-01, 445-0050-010-18, 445-0050-010-19, AND A PORTION OF 445-0050-010-09
- SITE AREA: 14.9± ACRES
- EXISTING/PROPOSED ZONING: SD7, RM, RH, A, OS / PD-PLANNED DEVELOPMENT
- EXISTING LAND USE: OPEN SPACE WITH 1 SINGLE FAMILY HOME
- PROPOSED LAND USE: SINGLE FAMILY DETACHED UNITS
- RESIDENTIAL UNITS: SINGLE FAMILY DETACHED: 97 UNITS
- DENSITY: GROSS: 6.5 DU'S/AC. NET: 12.1 DU'S/AC.
- STREETS: PRIVATE STREETS ARE TO BE PRIVATELY MAINTAINED.
- SANITARY SEWER: CITY OF HAYWARD
- STORM DRAIN: CITY OF HAYWARD
- WATER: EAST BAY MUNICIPAL UTILITIES DISTRICT
- GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
- TELEPHONE: TBD
- CABLE TV: TBD
- FLOOD ZONE: THE SITE IS IN ZONE X – AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN. COMMUNITY PANEL NO: 06001C 0287 G DATED AUGUST 3, 2009
- STREET TREES AND LIGHTS: STREET TREES AND LIGHTS ARE TO BE PRIVATELY MAINTAINED.
- HOME OWNERS ASSOCIATION: A HOMEOWNERS ASSOCIATION WILL BE FORMED TO OWN AND MAINTAIN PRIVATE STREETS, DRIVE AISLES, PRIVATE UTILITIES, STORM DRAINAGE FACILITIES AND LANDSCAPE PARCELS.
- CONTOURS: EXISTING CONTOUR INTERVAL: 2 FOOT
- GRADING: PROPOSED GRADING AS SHOWN IS PRELIMINARY, AND IS SUBJECT TO FINAL DESIGN. CORRECTIVE AND TRANSITION GRADING IN ORDER TO DAYLIGHT, BALANCE AND ENSURE PROPER DRAINAGE MAY BE REQUIRED OUTSIDE OF THE PRECISE GRADING LIMITS SHOWN.
- WALLS: ALL WALLS ARE TO BE PRIVATELY MAINTAINED BY THE HOA.
- DIMENSIONS: DIMENSIONS AS SHOWN ARE PRELIMINARY AND SUBJECT TO THE FINAL MAP.

LAND USE SUMMARY

PROPOSED USE	ACREAGE
SINGLE FAMILY RESIDENTIAL: LOTS 1-97	4.38
ROADWAYS: STREETS 'A' AND 'B' PARCEL 'A' – WALPERT ST. R/W DEDICATION PRIVATE DRIVEWAYS (PARCELS 'M-Z' & 'AA-CC')	2.09 0.06 0.84
PARKS: PARCEL 'E' – NEIGHBORHOOD GREEN PARCELS 'B' & 'I' – POCKET PARKS	0.36 0.28
OPEN SPACE: PARCEL 'K' – OPEN SPACE PARCEL 'L' – DETENTION/WATER QUALITY BASIN PARCELS 'C', 'D', 'G', 'H', 'I', 'J', & 'DO' COMMON OPEN SPACE	4.89 0.78 1.22
TOTALS:	14.9±

PLANNED DEVELOPMENT - AND
VESTING TENTATIVE MAP
TRACT 8233
WARD CREEK COTTAGES

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

WE, THE STATE OF CALIFORNIA, AGREE TO THE FILING OF SAID MAP AND TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.

BY: _____ DATE: _____
AS IT APPLIES TO THE REAL PROPERTY IDENTIFIED AS A.P.N #445-0040-011-03 AND A PORTION OF 445-0050-010-09.

I, ALEXIS GEVORGIAN, AGREE TO THE FILING OF SAID MAP AND TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.

BY: _____ DATE: _____
ALEXIS GEVORGIAN – AMG & ASSOCIATES, LLC

I, FRANCES DAVID, AGREE TO THE FILING OF SAID MAP AND TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.

BY: _____ DATE: _____
FRANCES DAVID – CITY OF HAYWARD

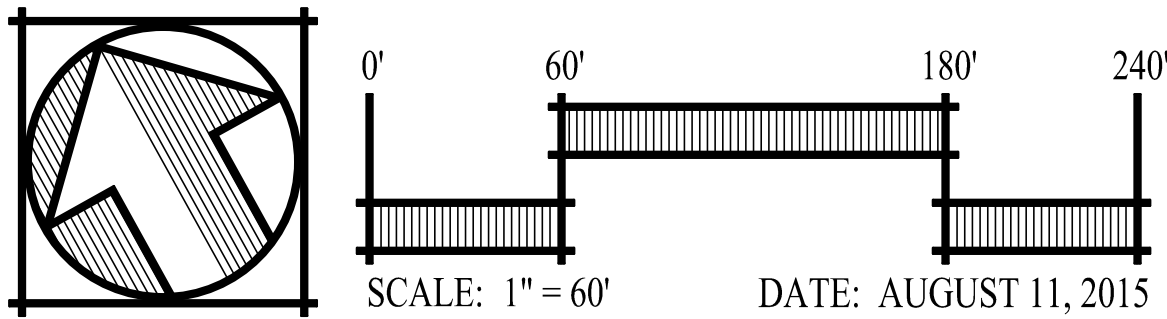
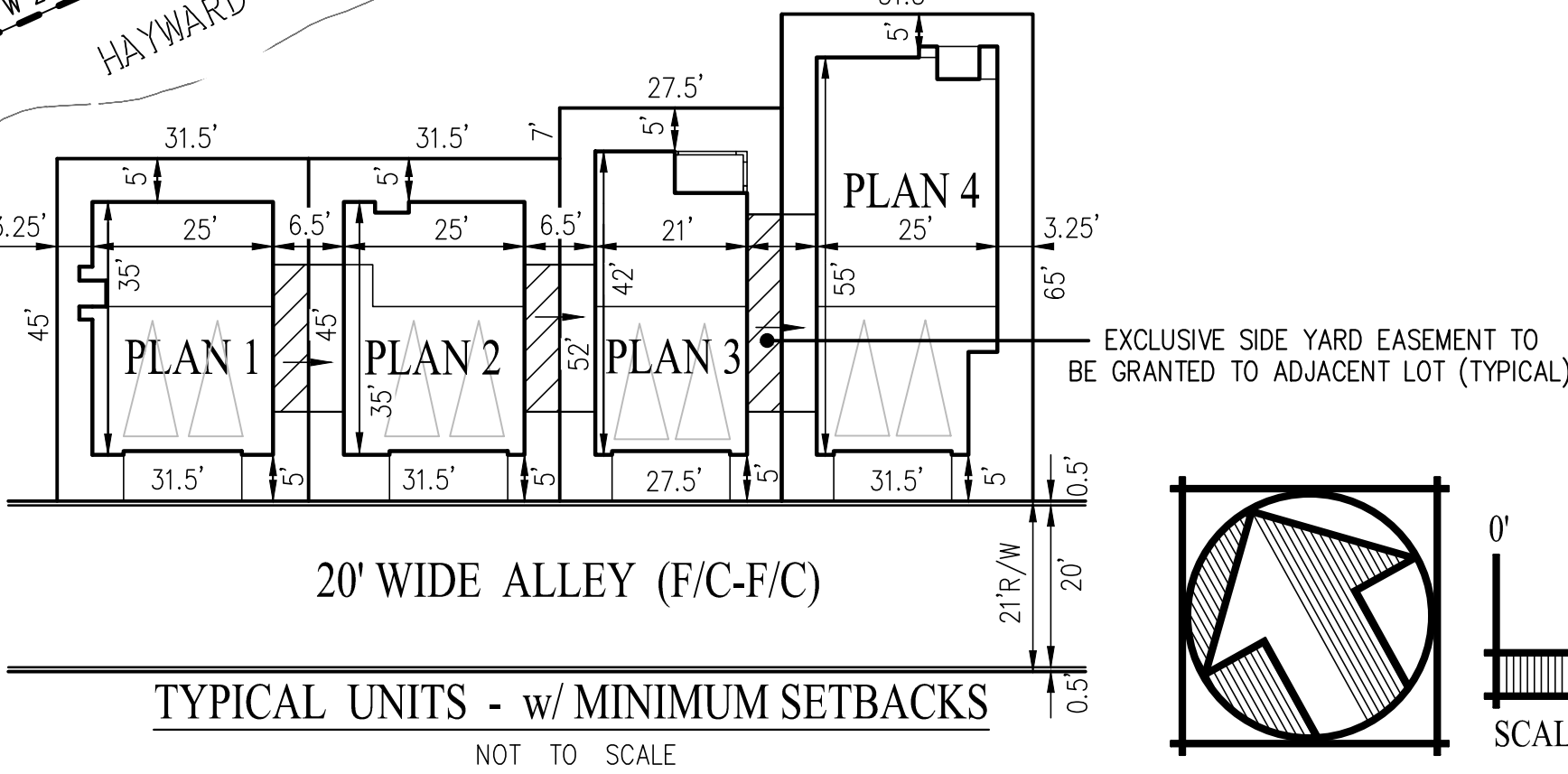
AS IT APPLIES TO THE REAL PROPERTY IDENTIFIED AS A.P.N #445-0050-010-01, 445-0050-018-00 AND 445-0050-019-00

I, GREG MILLER, CERTIFY THAT THIS TENTATIVE MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT IT COMPLIES WITH THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT.

BY: _____ DATE: _____
GREG MILLER – CARLSON, BARBEE, GIBSON, INC.

A SOILS REPORT ON THIS PROPERTY HAS BEEN PREPARED BY PRA GROUP, INC. ENTITLED "PRELIMINARY GEOTECHNICAL STUDY – PROPOSED WALPERT STREET CONDOMINIUM PROJECT" DATED JULY 11, 2014, WHICH HAS BEEN FILED WITH THE CITY OF HAYWARD.

BY: _____ DATE: _____
DANIEL JAY RHOADES – PRA GROUP, INC.

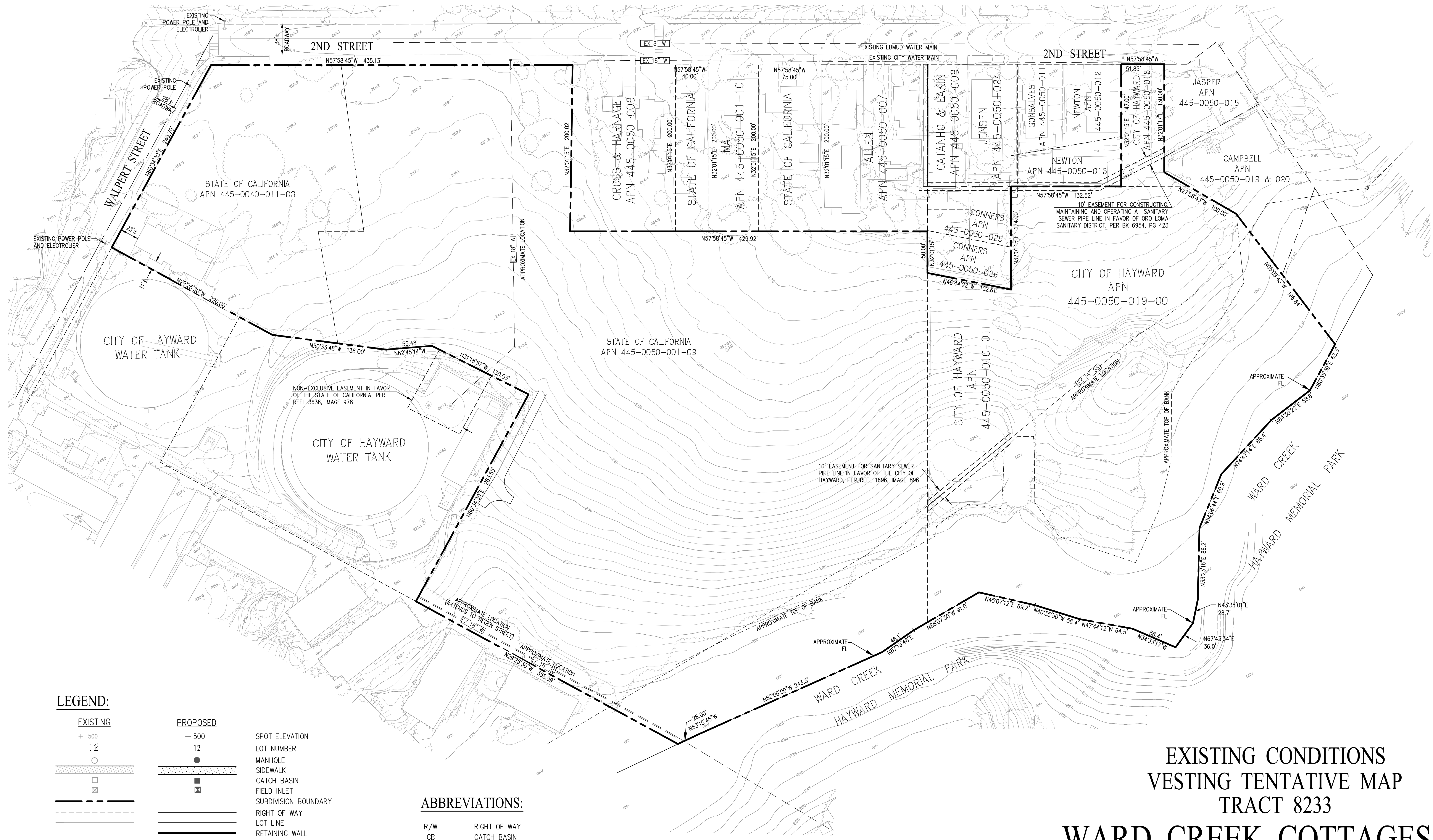


cbg Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583

925 866-0322
FAX 925 866-8575

SHEET NO.
TM-1



LEGEND:

EXISTING	PROPOSED	
+ 500	+ 500	SPOT ELEVATION
12	12	LOT NUMBER
○	●	MANHOLE
□	■	SIDEWALK
⊠	⊠	CATCH BASIN
—	—	FIELD INLET
---	---	SUBDIVISION BOUNDARY
---	---	RIGHT OF WAY
---	---	LOT LINE
---	---	RETAINING WALL
---	---	EASEMENT LINE
---	---	PROPOSED TRAIL
---	---	SANITARY SEWER MAIN
---	---	SANITARY SEWER FORCE MAIN
---	---	STORM DRAIN LINE
---	---	WATER LINE
---	---	DIRECTION/SLOPE OF FLOW
---	---	DIRECTION OF FLOW

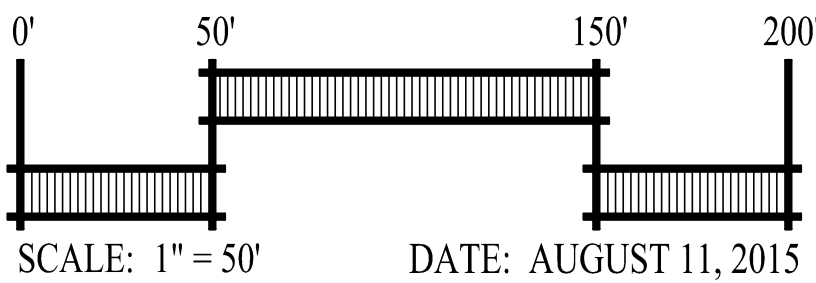
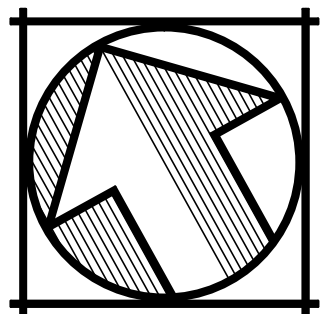
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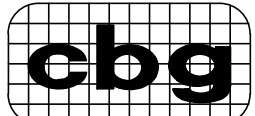
R/W	RIGHT OF WAY
CB	CATCH BASIN
FI	FIELD INLET
MH	MANHOLE
PL	PROPERTY LINE
SD	STORM DRAIN
SDE	STORM DRAIN EASEMENT
SS	SANITARY SEWER
PUE	PUBLIC UTILITY EASEMENT
PAE	PEDESTRIAN ACCESS EASEMENT

EXISTING CONDITIONS
VESTING TENTATIVE MAP
TRACT 8233

WARD CREEK COTTAGES

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



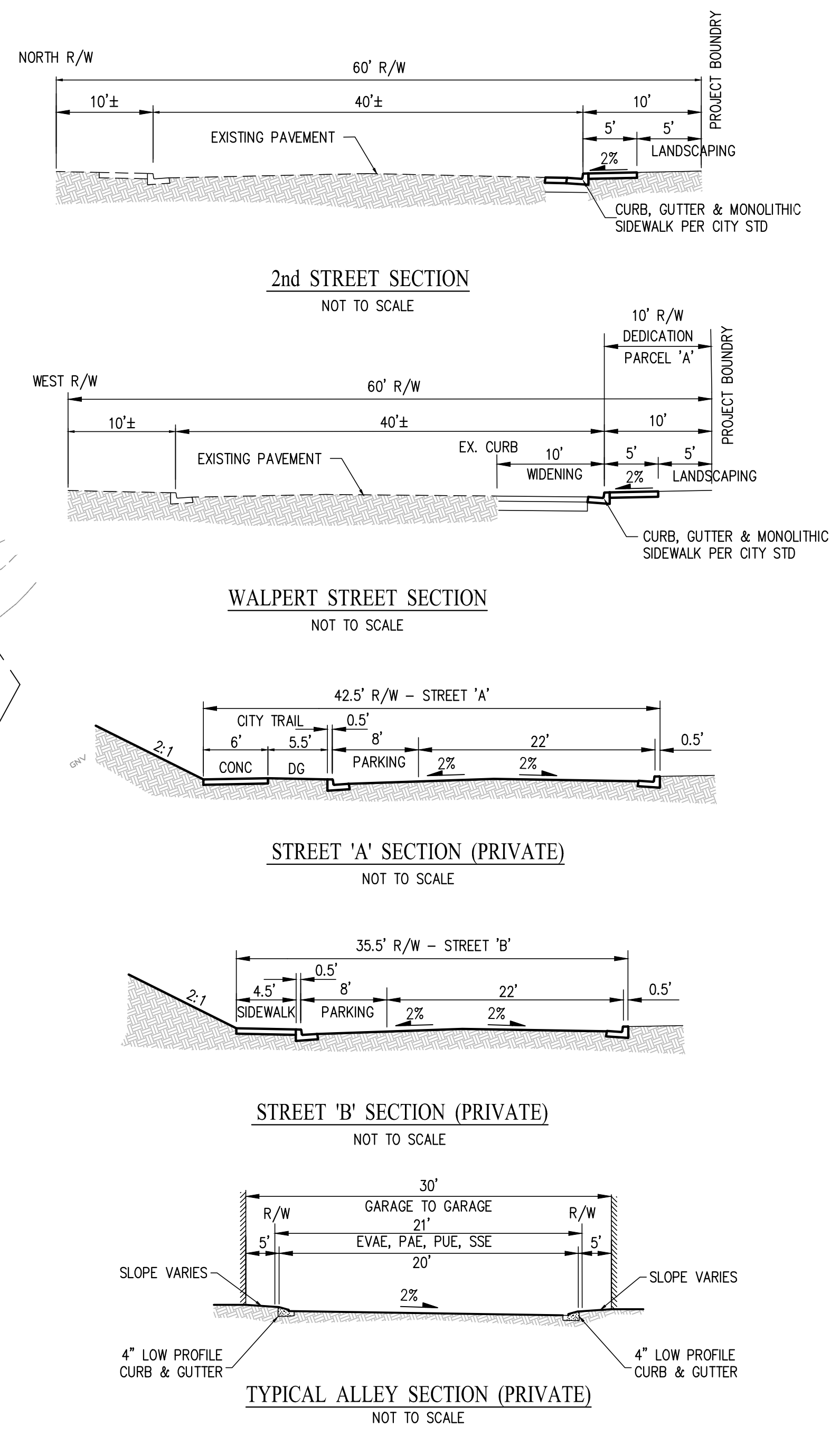
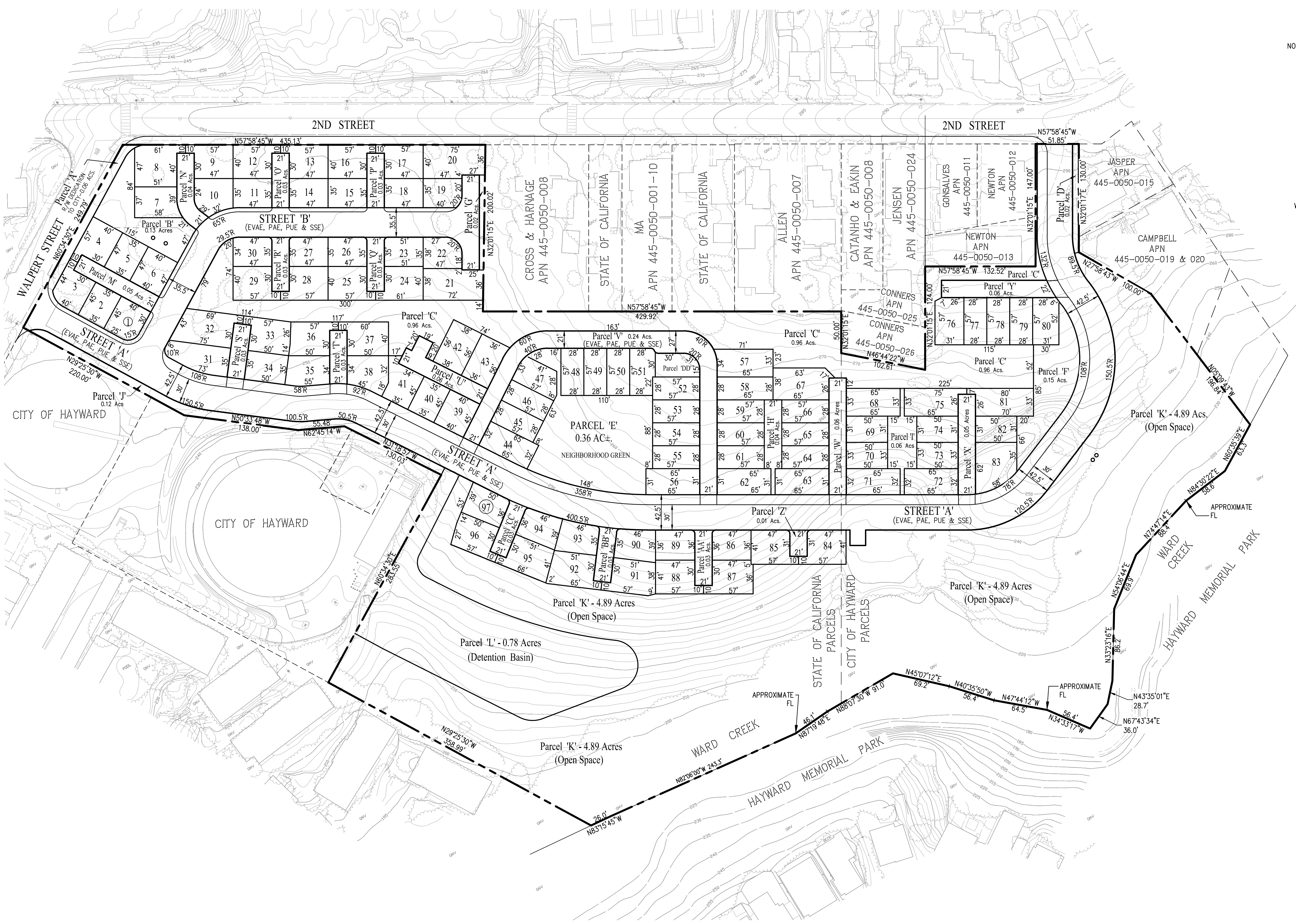


Carlson, Barbee
Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

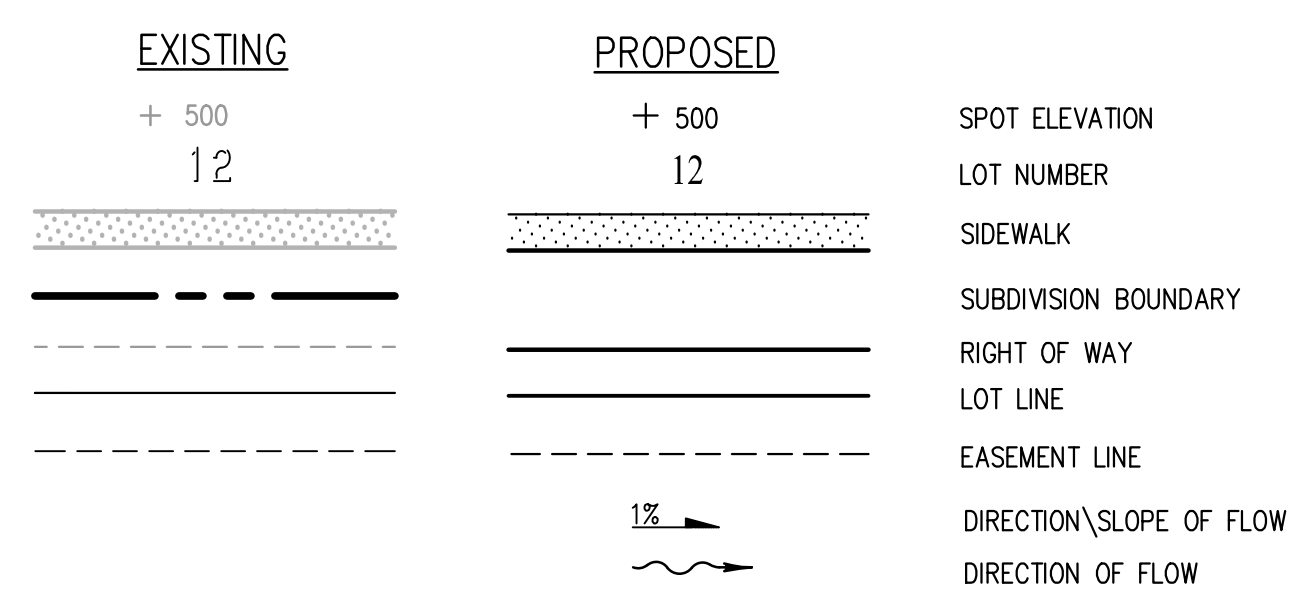
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583

925.866-0322
FAX 925.866-8575

SHEET NO.
TM-2



LEGEND:



ABBREVIATIONS:

R/W	RIGHT OF WAY
CB	CATCH BASIN
FI	FIELD INLET
MH	MANHOLE
PL	PROPERTY LINE
SD	STORM DRAIN
SDE	STORM DRAIN EASEMENT
SS	SANITARY SEWER
PUE	PUBLIC UTILITY EASEMENT
PAE	PEDESTRIAN ACCESS EASEMENT

PAVEMENT DESIGN CHART

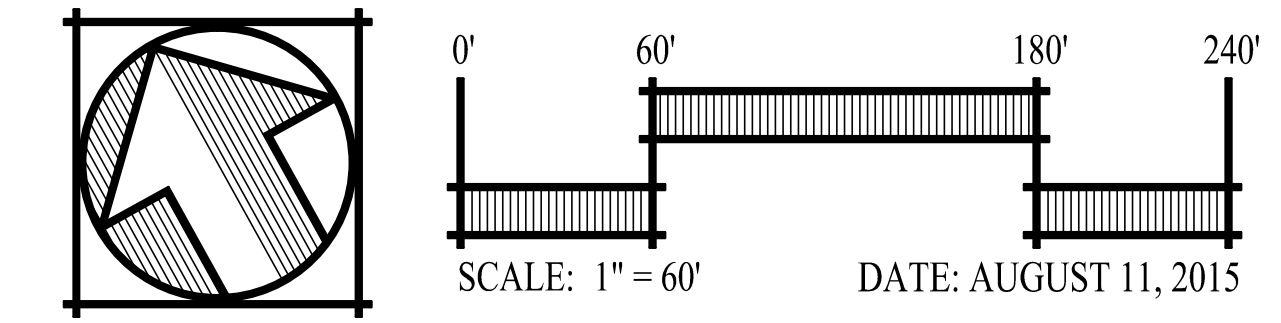
TI	R VALUE	AC (IN)	AB (IN)
5	5	4	12

NOTE: FINAL SECTION WILL BE DETERMINED AFTER THE 'R' VALUE OF SUBGRADE IS COMPLETED BY THE SOILS ENGINEER.

PRELIMINARY LOTTING PLAN
VESTING TENTATIVE MAP
TRACT 8233

WARD CREEK COTTAGES

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

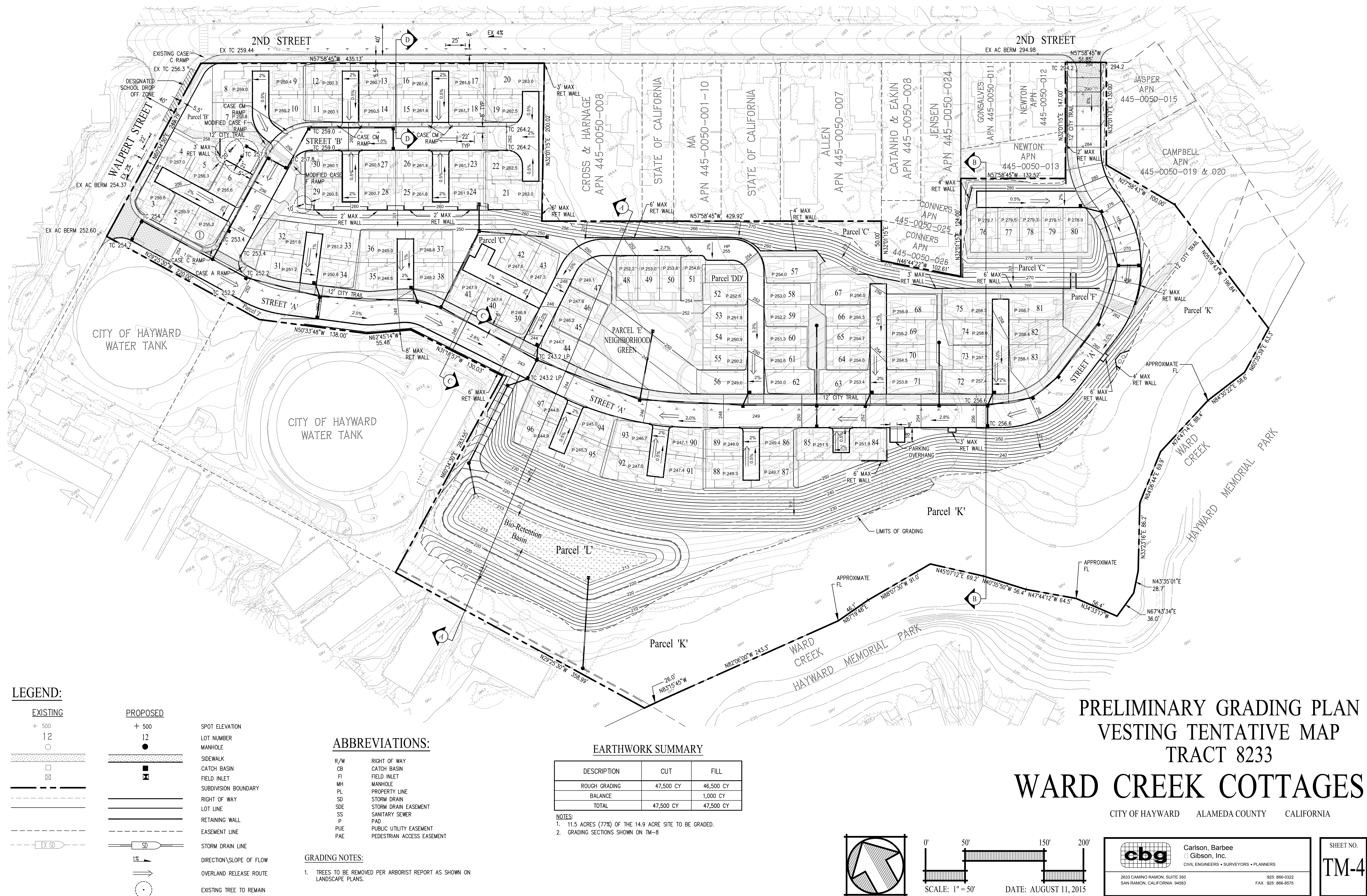


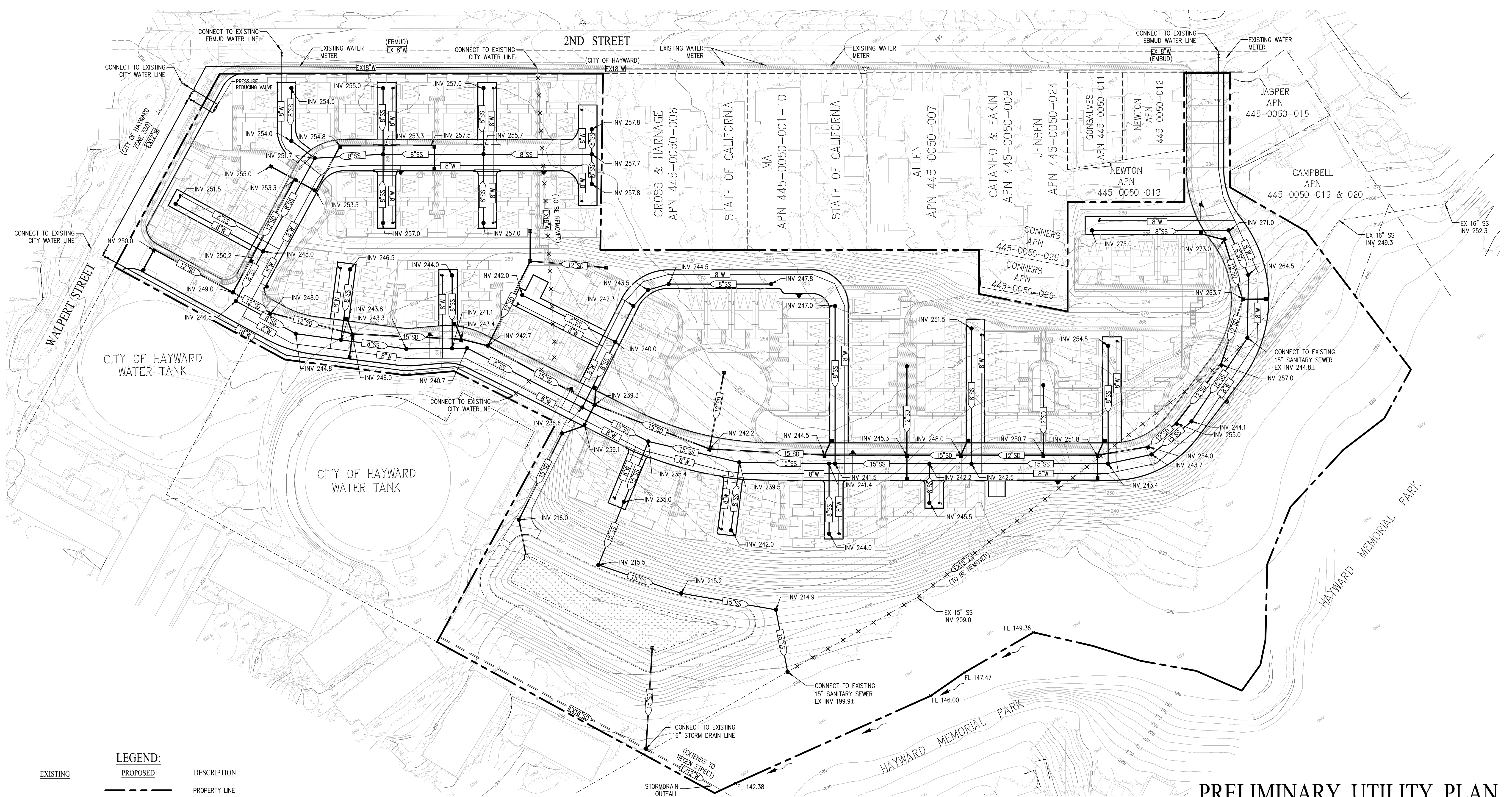
Carlson, Barbee
Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583

925.866-0322
FAX 925.866-8875

SHEET NO.
TM-3





LEGEND:

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	WATER MAIN
---	---	WATER MAIN TO BE REMOVED
---	---	SANITARY SEWER
---	---	SANITARY SEWER TO BE REMOVED
---	---	STORM DRAIN UNTREATED
---	---	STORM DRAIN TREATED
---	---	STORM DRAIN CATCH BASIN
---	---	FIELD INLET
---	---	MANHOLE
---	---	FIRE HYDRANT
---	---	BLOW OFF VALVE
---	---	PRESSURE REDUCING VALVE
---	---	PROPOSED STREET LIGHT
---	---	BIO-RETENTION BASIN
---	---	VALLEY GUTTER

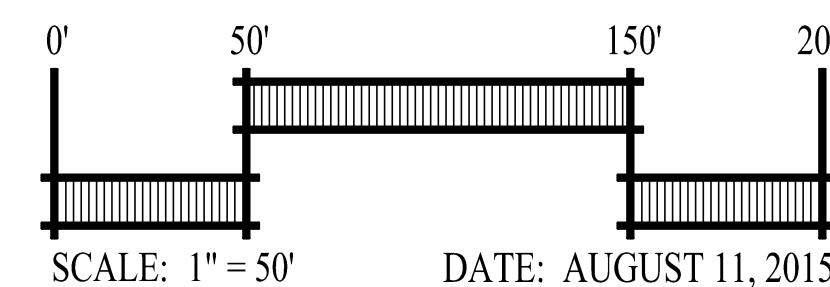
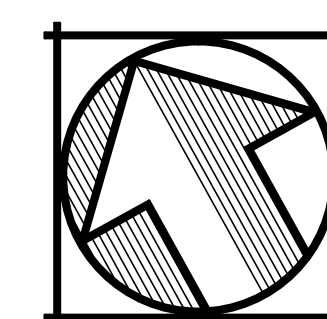
UTILITY NOTES

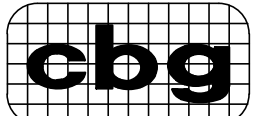
- EXISTING UTILITY INFORMATION BASED CITY BASE MAPS PROVIDED BY THE CITY OF HAYWARD. UTILITIES INFORMATION TO BE CONFIRMED PRIOR TO FINAL DESIGN.
- UTILITY LAYOUT SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN.
- PRELIMINARY STORM DRAIN SIZING BASED ON RATIONAL METHOD CALCULATIONS.
- EXISTING WATER PIPE MATERIAL TO BE VERIFIED WITH EBMUD AND DETAILED ON THE IMPROVEMENT PLANS.
- EXISTING 15" SS TO BE ABANDONED AND RELOCATED IN PROJECT STREETS AS SHOWN.
- EXISTING CITY WATER LINE TO BE REMOVED THROUGH PROJECT SITE AND RELOCATED AS SHOWN.

PRELIMINARY UTILITY PLAN
VESTING TENTATIVE MAP
TRACT 8233

WARD CREEK COTTAGES

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA





Carlson, Barbee
Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583

925.866-0322
FAX 925.866-8575

SHEET NO.
TM-5

DMA	TREATMENT TYPE	TOTAL DMA AREA	IMPERVIOUS AREA	PROVIDED BIO-RETENTION AREA	REQUIRED BIO-RETENTION AREA
1	BIO-RETENTION (BASIN A)	131,526 SF	67,460 SF	1,989 SF	1,989 SF
2	BIO-RETENTION (BASIN A)	449,816 SF	224,262 SF	6,659 SF	6,659 SF
TOTAL	BIO-RETENTION (BASIN A)	581,342 SF	291,722 SF	8,648 SF	8,648 SF

NOTES:
*BIO-RETENTION AREAS SUBJECT TO HYDROMODIFICATION CONTROLS. A COMBINATION FLOW AND VOLUME SIZING CALCULATIONS WERE USED PER C.3.c OF THE MUNICIPAL REGIONAL PERMIT AND INCLUDES ROUGHLY 6" OF PONDING. BIO-RETENTION AREAS WERE SIZED BY BALANCE HYDROLOGICS, INC. AND ARE SUBJECT TO FINAL DESIGN PER THE ALAMEDA COUNTY C.3 GUIDANCE MANUAL.

LEGEND:

EXISTING

PROPOSED

DESCRIPTION

EX SD

STORM DRAIN

SD

STORM DRAIN

SD-T

STORM DRAIN TREATED

■

STORM DRAIN CATCH BASIN

■

STORM DRAIN FIELD INLET

●

STORM DRAIN MANHOLE

→

FLOW DIRECTION

■

BIO RETENTION AREA

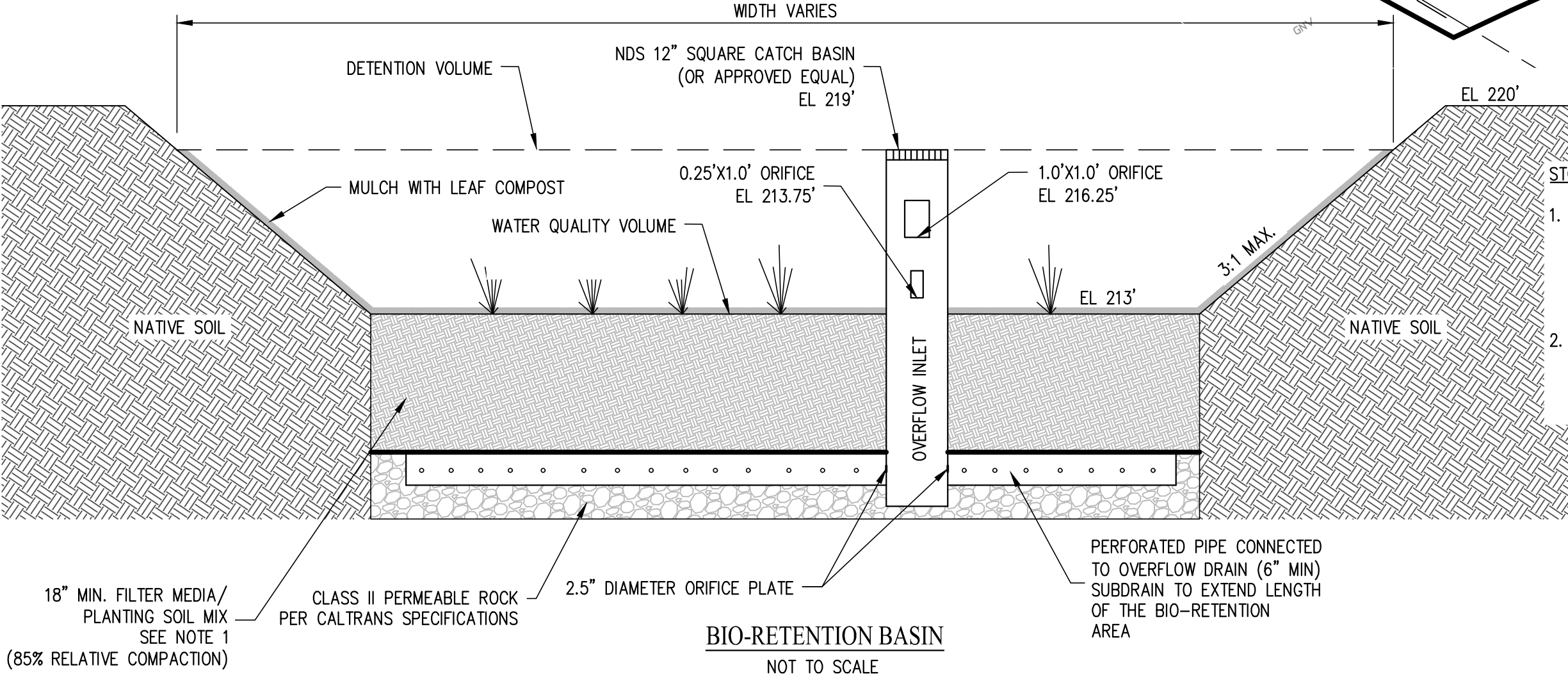
DMA 1

DRAINAGE MANAGEMENT AREA

DRAINAGE MANAGEMENT AREA BOUNDARY

U

VALLEY GUTTER



- STORMWATER CONTROL PLAN NOTES:
1. SOIL USED IN LANDSCAPE BASED TREATMENT MEASURES SHALL MEET THE SPECIFICATIONS INCLUDED IN THE MOST RECENT VERSION OF APPENDIX L OF THE NPDES MUNICIPAL REGIONAL STORM WATER PERMIT PROVISION C.3.C.1.(1)(B)(v).
 2. THE BIORETENTION AREAS SHOWN ARE PRELIMINARY AND REPRESENT THE APPROXIMATE SURFACE AREA NEEDED TO TREAT EACH DRAINAGE MANAGEMENT AREA. THESE AREAS ARE SUBJECT TO CHANGE BASED ON FINAL ARCHITECTURE, FINAL LOCATIONS OF BUILDING ROOF DRAINS AND REFINEMENT OF THE PROJECT GRADING PLANS.

PRELIMINARY STORMWATER MANAGEMENT PLAN
VESTING TENTATIVE MAP
TRACT 8233
WARD CREEK COTTAGES

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SCALE: 1" = 50'

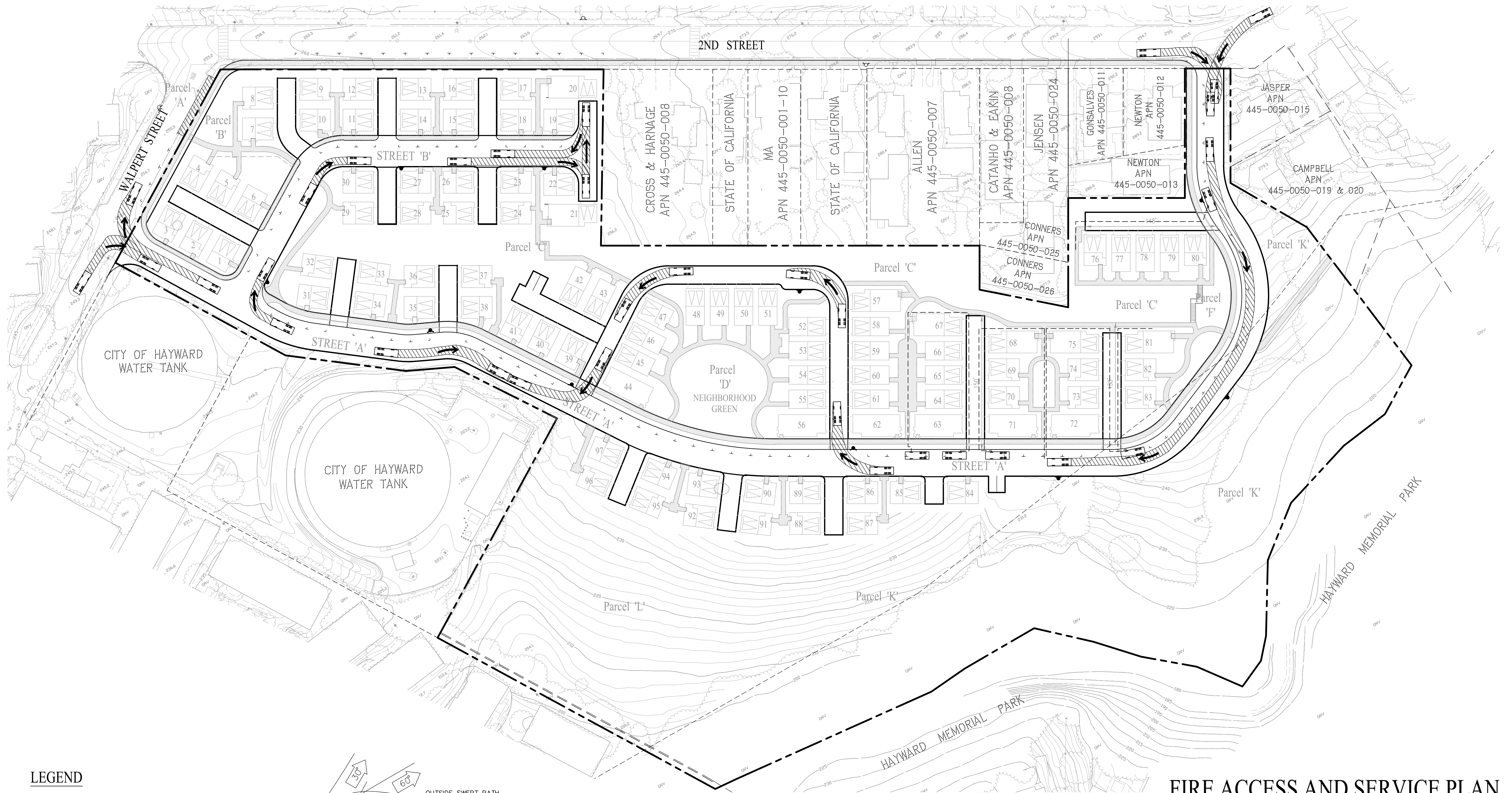
DATE: AUGUST 11, 2015

Carlson, Barbee
Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

2633 CAMINO RAMON, SUITE 300
SAN RAMON, CALIFORNIA 94583

925/ 866-0322
FAX 925/ 866-8575

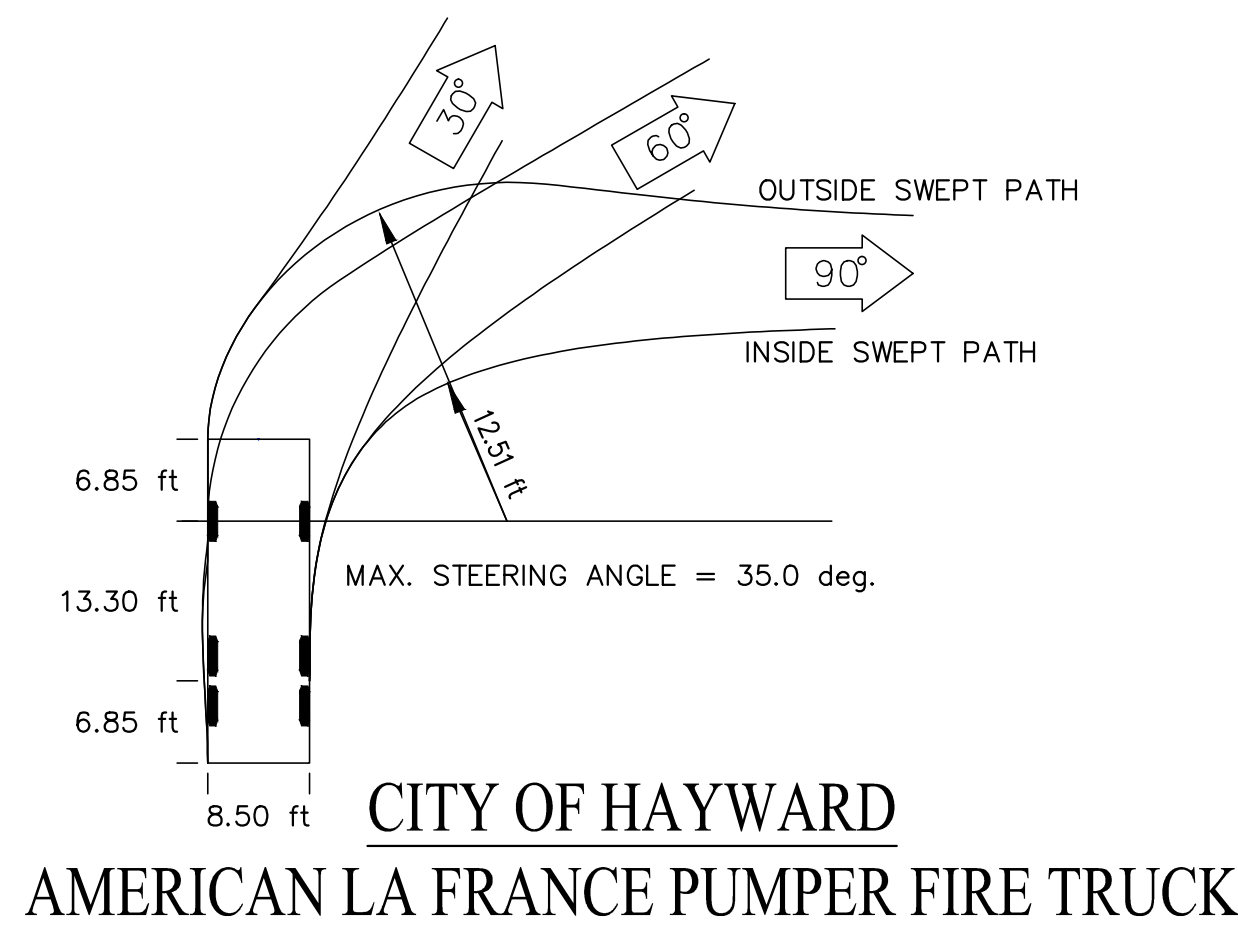
SHEET NO.
TM-6



LEGEND

- EMERGENCY VEHICLE PATH OF TRAVEL
- FIRE TRUCK WITH 200' HOSE
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT

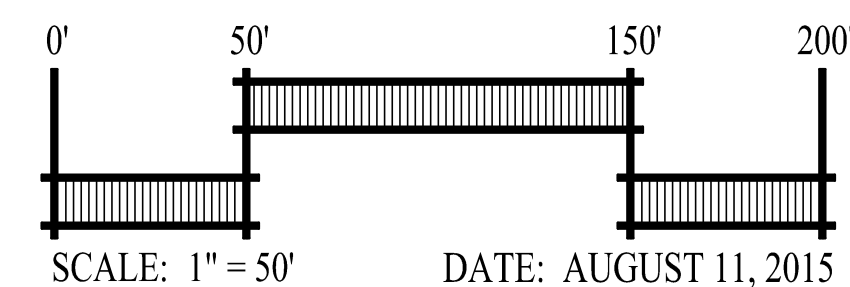
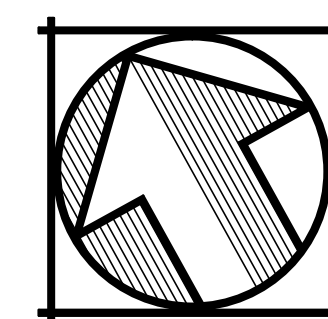
NOTES:
TURNING TEMPLATE IS BASED ON CITY OF HAYWARD
FIRE DEPARTMENT TRUCK SPECIFICATIONS



CITY OF HAYWARD
AMERICAN LA FRANCE PUMPER FIRE TRUCK

FIRE ACCESS AND SERVICE PLAN
VESTING TENTATIVE MAP
TRACT 8233
WARD CREEK COTTAGES

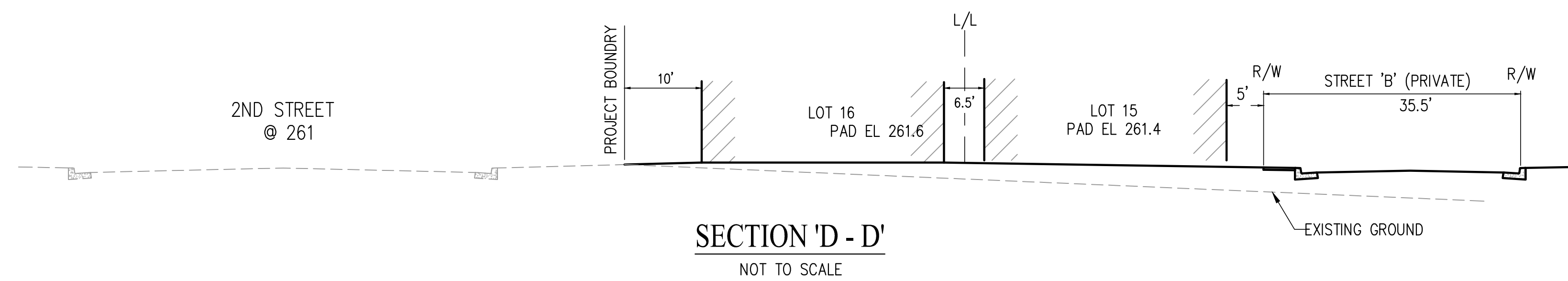
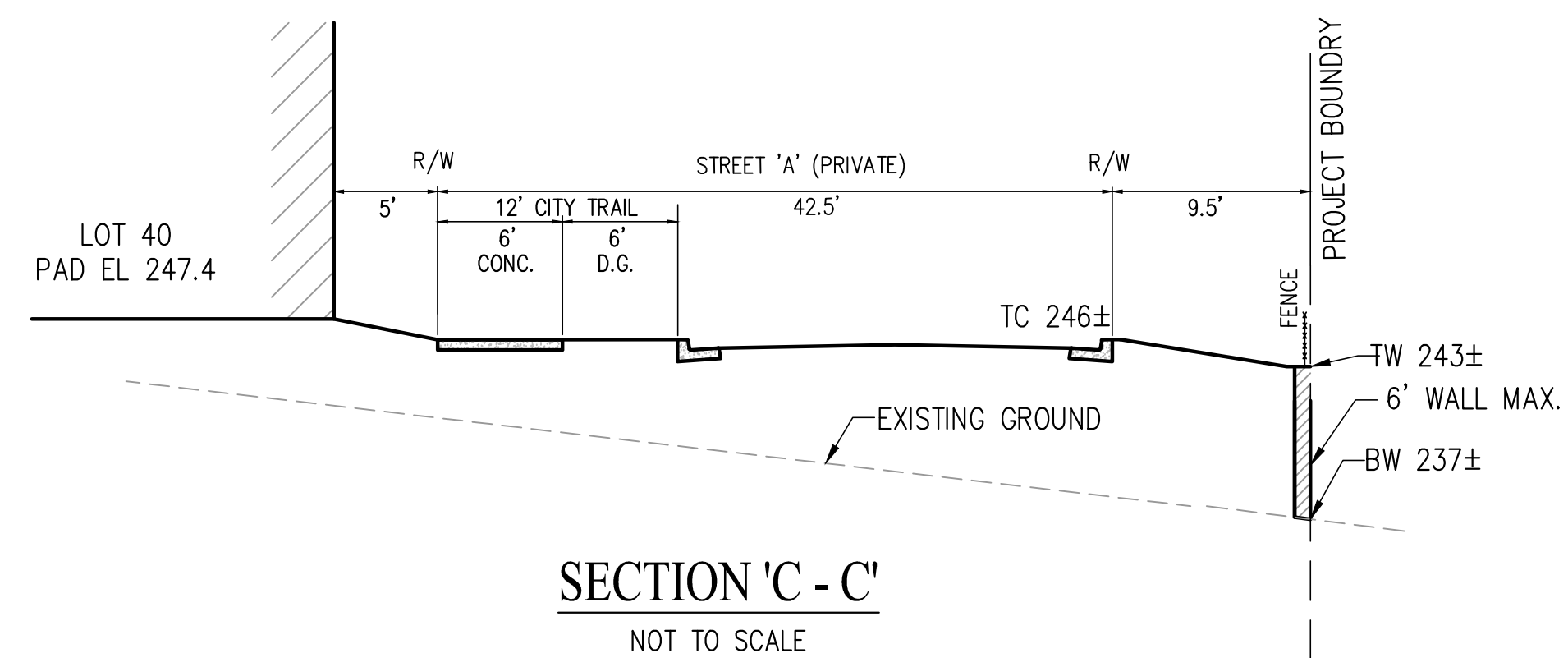
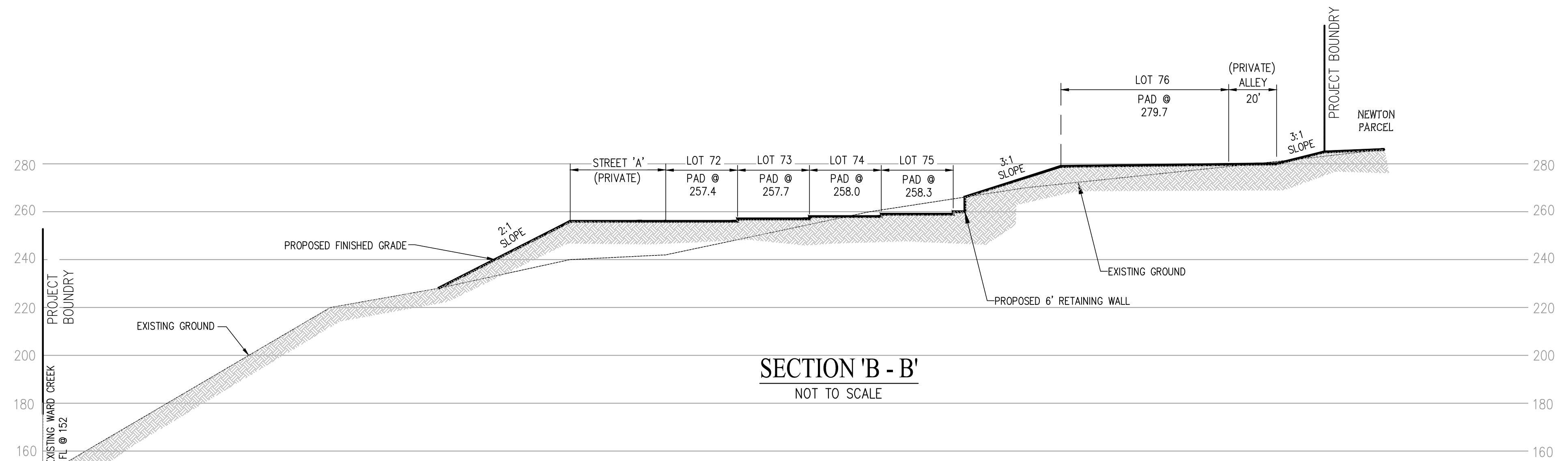
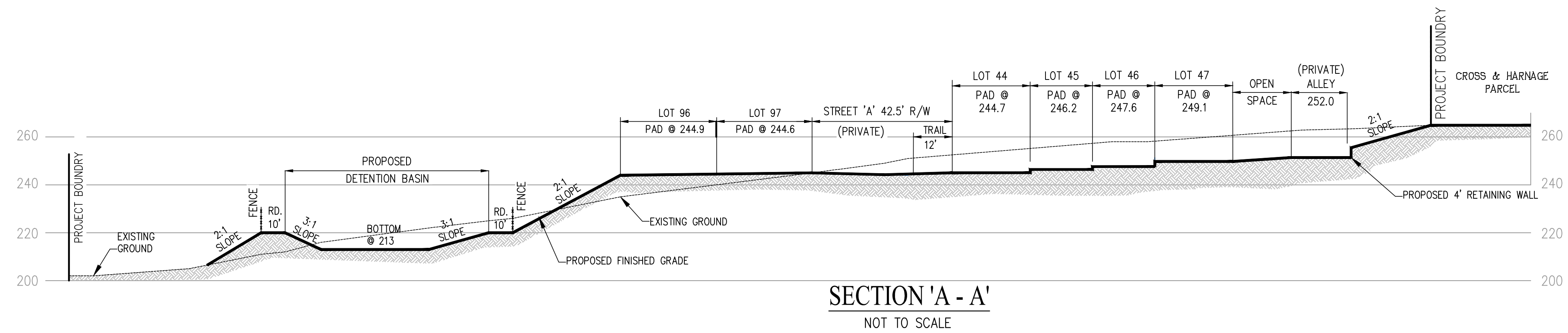
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



DATE: AUGUST 11, 2015

cbg Carlson, Barbee
Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
2633 CAMINO RAMON, SUITE 350 925.866.0322
SAN RAMON, CALIFORNIA 94583 FAX 925.866.8575

SHEET NO.
TM-7



NOTE: SEE SHEET TM-04 FOR CROSS SECTION LOCATIONS

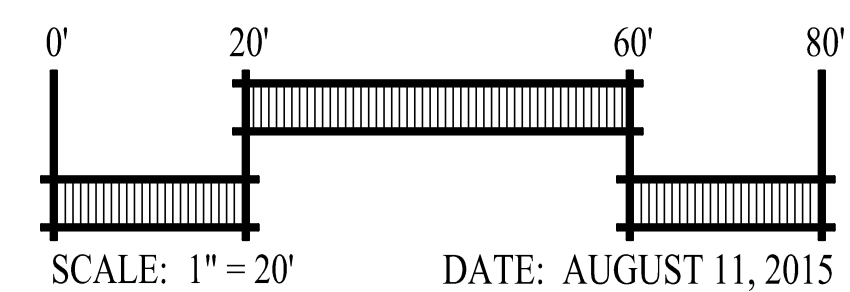
GRADING SECTIONS

VESTING TENTATIVE MAP

TRACT 8233

WARD CREEK COTTAGES

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



DATE: AUGUST 11, 2015

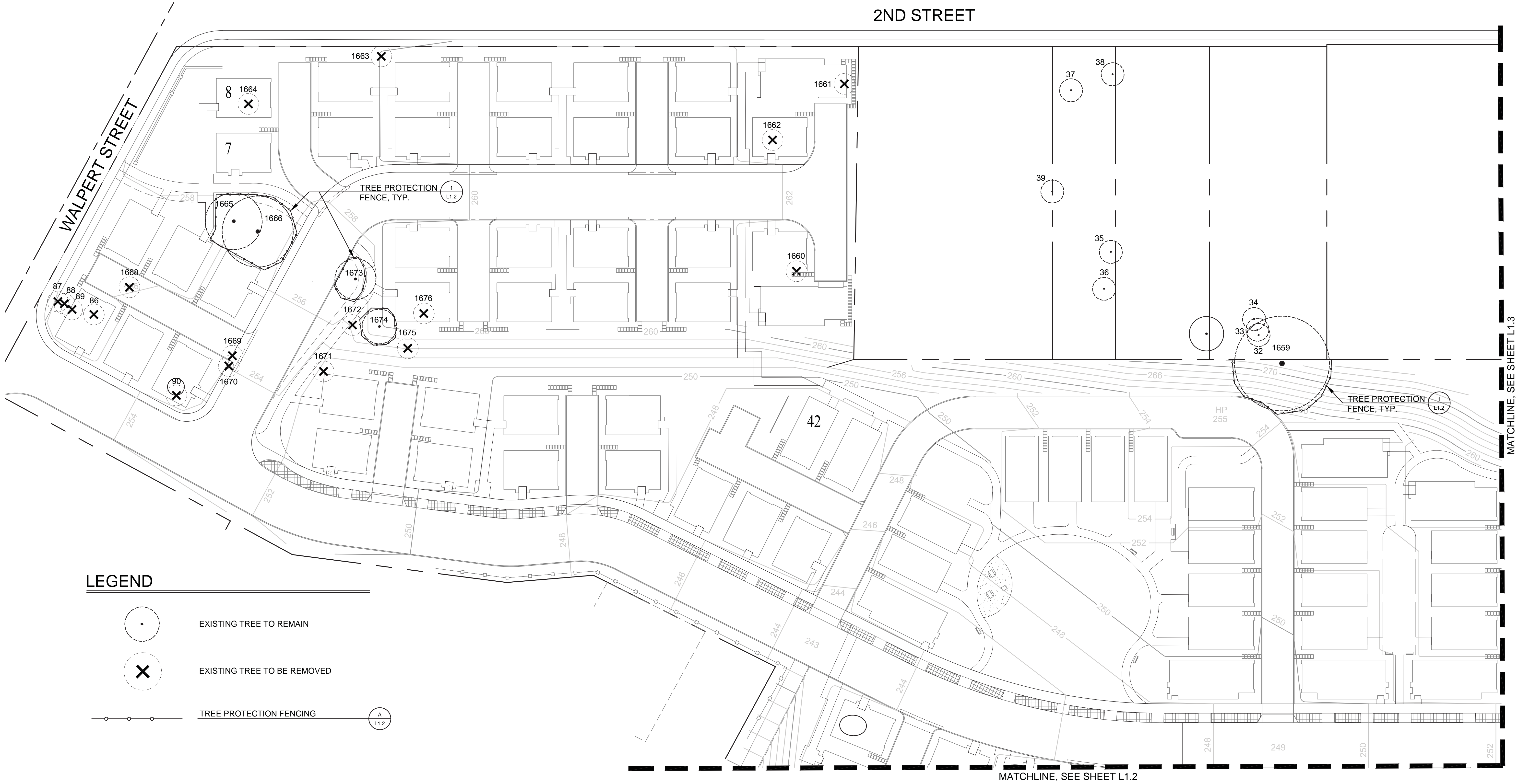
cbg Carlson, Barbee
Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583

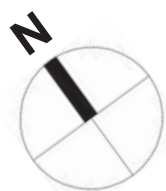
925/866-0322

SHEET NO.
TM-8

2ND STREET







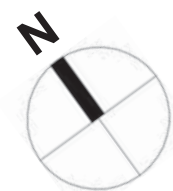
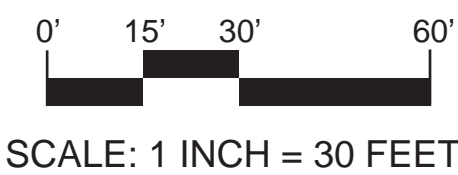
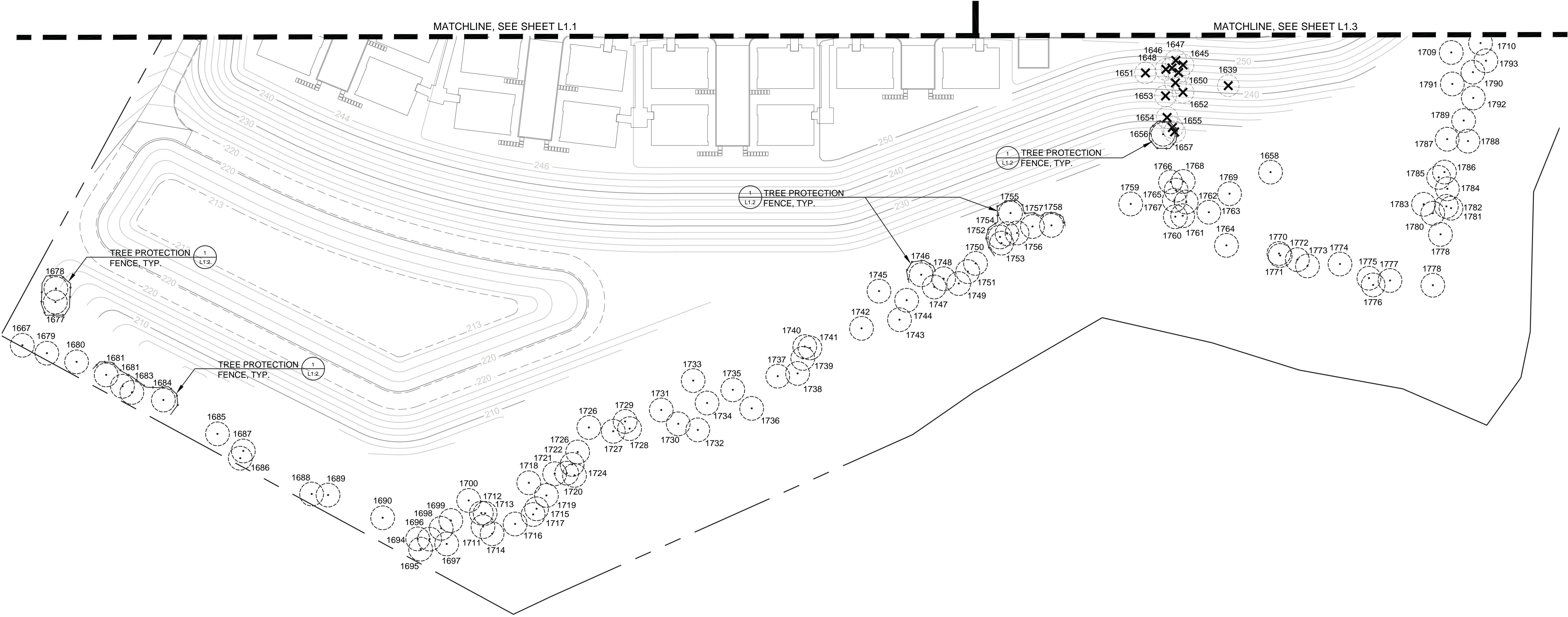
0' 15' 30' 60'
SCALE: 1 INCH = 30 FEET



L1.0

LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED
-  TREE PROTECTION FENCING
- 

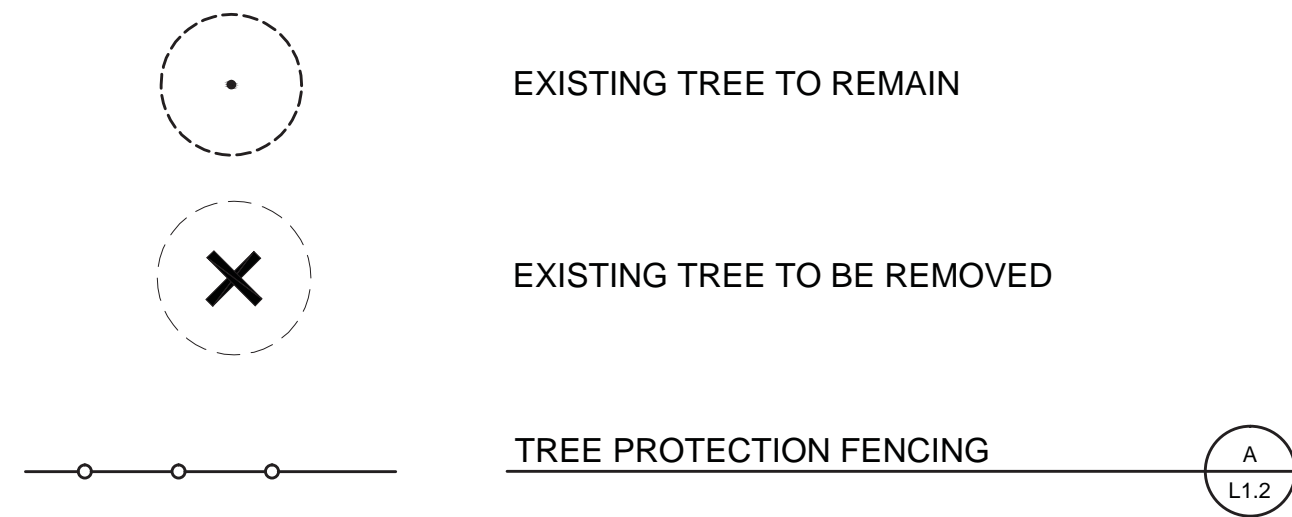


L1.1

EXISTING TREES
TO BE REMOVED

TREE NUMBER	VALUE
86	\$16,000
87	\$60
88	\$60
89	\$60
90	\$1,080
1620	\$580
1621	\$8,500
1622	\$90
1623	\$730
1624	\$4,200
1625	\$1,960
1626	\$2,810
1627	\$760
1628	\$33,500
1629	\$10,100
1630	\$2,700
1631	\$570
1632	\$9,100
1633	\$850
1634	\$340
1635	\$760
1636	\$5,100
1637	\$880
1638	\$1,680
1639	\$7,300
1640	\$25,300
1641	\$320
1642	\$12,700
1643	\$320
1644	\$1,460
1645	\$320
1646	\$790
1647	\$9,400
1648	\$15,500
1649	\$2,310
1650	\$1,860
1651	\$730
1652	\$1,050
1653	\$3,230
1654	\$1,580
1655	\$21,800
1657	\$790
1660	\$390
1661	\$450
1662	\$16,100
1663	\$3,270
1664	\$0
1668	\$550
1669	\$820
1670	\$9,600
1671	\$1,120
1672	\$1,350
1675	\$6,500
1676	\$10,500
1691	\$1,060
1692	\$300
1693	\$300
1804	\$5,400
1805	\$1,420
TOTAL VALUE OF TREES TO BE REMOVED	\$268,360
VALUE OF PROPOSED TREES	\$53,800
VALUE OF POROUS CONCRETE AND PAVERS	\$222,490
SURPLUS MITIGATION	\$7,930

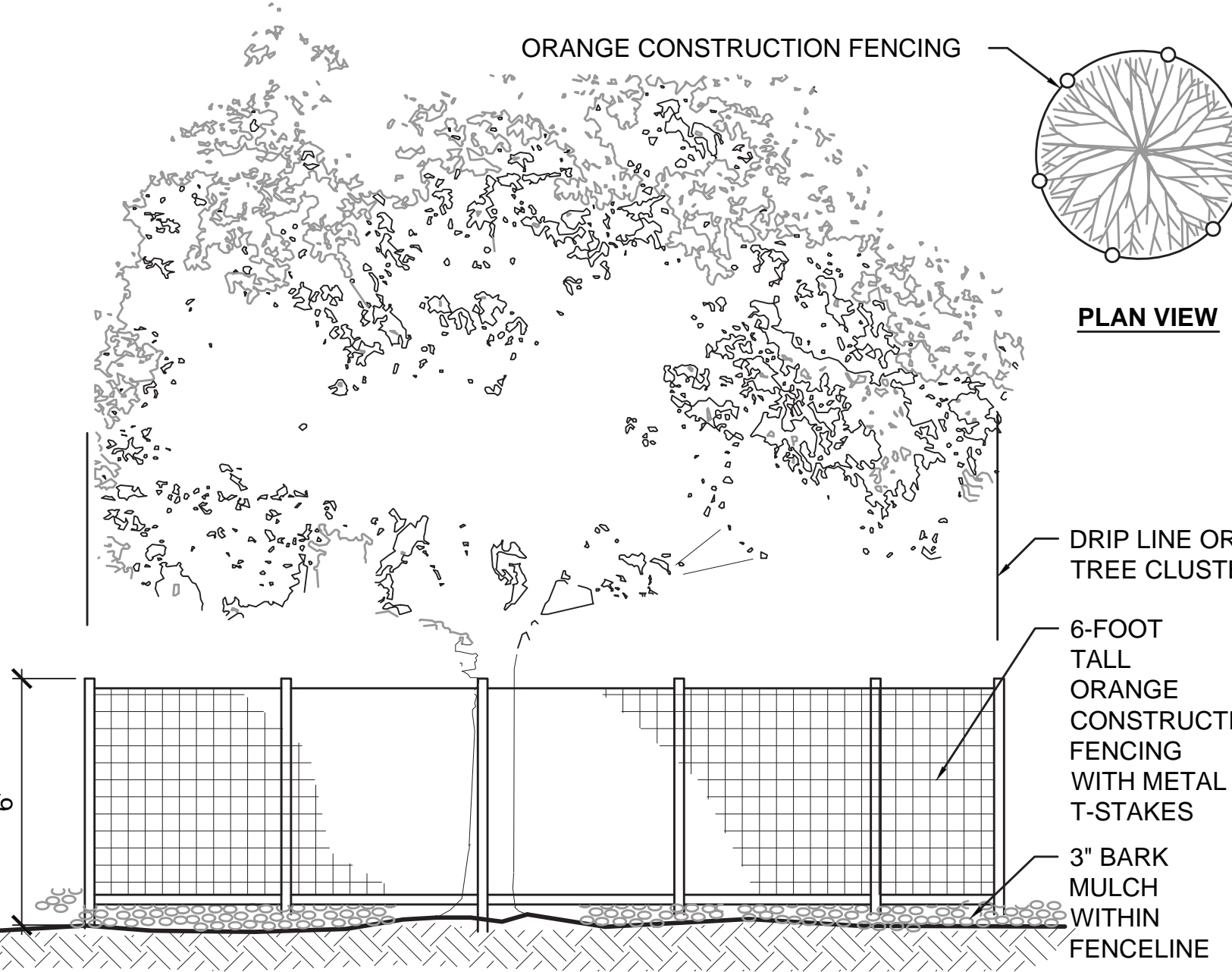
LEGEND



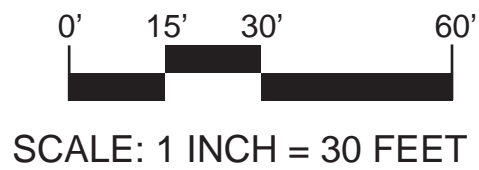
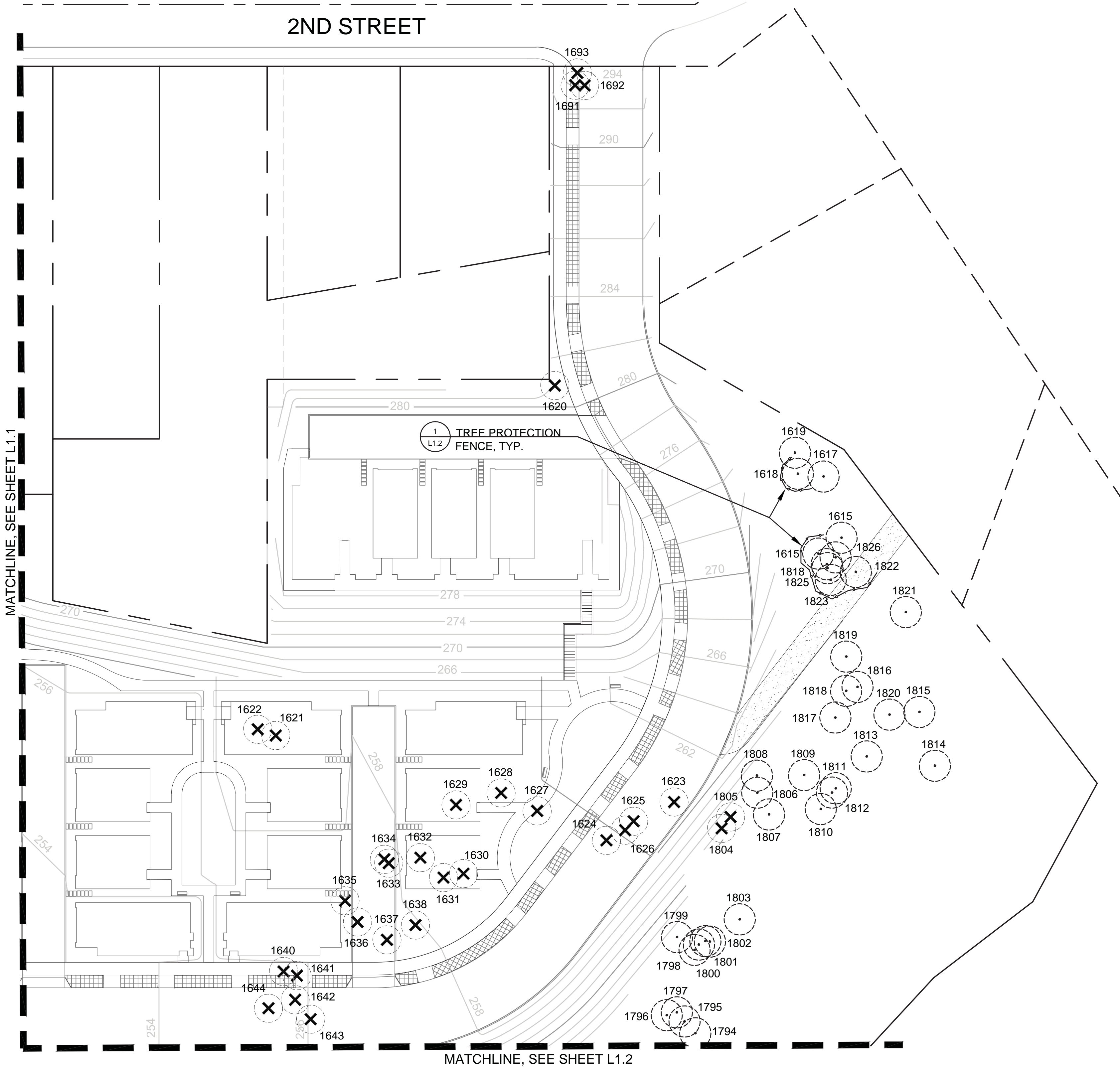
SEE PLANTING PLAN FOR PROPOSED TREES, 82 ACCENT TREES, ALL SPECIMEN TREES, AND ALL SLOPE PLANTING TREES COUNT TOWARD TREE REPLACEMENT MITIGATION. 24-INCH BOX TREES ARE VALUED AT \$250 EACH AND 36-INCH BOX TREES ARE VALUED AT \$450 EACH. THE PLANTING PLAN SHOWS A TOTAL OF 172 - 24" BOX REPLACEMENT TREES AND 24 - 36" BOX REPLACEMENT TREES FOR A REPLACEMENT TOTAL OF \$53,800.
5,865 SF OF PERMEABLE PAVERS COUNT TOWARD TREE REPLACEMENT MITIGATION AT \$26/SF FOR A TOTAL OF \$152,490
10,000 SF OF POROUS CONCRETE COUNTS TOWARD TREE REPLACEMENT MITIGATION AT \$7/SF (DIFFERENCE BETWEEN POROUS AND STANDARD CONCRETE) FOR A TOTAL OF \$70,000

TREE PROTECTION NOTES

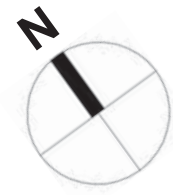
1. TREE BRANCHES THAT WILL INTERFERE WITH CONSTRUCTION EQUIPMENT SHALL BE PROPERLY PRUNED **PRIOR** TO BEGINNING CONSTRUCTION. PRUNING SHALL BE AS APPROVED BY THE CITY AND SHALL COMPLY WITH CITY APPROVED PRACTICES.
2. A PROTECTIVE FENCE SHALL BE PLACED AT THE DRIPLINE OF THE EXISTING TREES DURING THE ENTIRE CONSTRUCTION PERIOD. NO WORK SHALL OCCUR WITHIN THE DRIPLINE EXCEPT UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST APPROVED BY THE CITY.
3. SOIL COMPACTION AND GRADING SHALL BE AVOIDED UNDER THE DRIPLINE OF THE TREES. MAINTAIN A POSITIVE DRAINAGE AWAY FROM TREE TRUNK. IRRIGATION SHALL BE AVOIDED UNDER NATIVE OAK TREES.
4. NO STORAGE OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN 25 FEET OF THE DRIPLINE OF THE TREES.
5. ALL ROOTS 1" OR LARGER THAT MUST BE SEVERED SHALL BE CUT MANUALLY TO PRODUCE A CLEAN CUT AND TREATED WITH A TREE SEALANT. BORING, RATHER THAN TRENCHING, SHALL BE REQUIRED WHERE IT IS UNAVOIDABLE FOR PIPING TO CROSS THROUGH THE DRIPLINE OF A TREE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING COMPARABLE REPLACEMENT TREES FOR ANY EXISTING TREES THAT ARE FOUND BY THE CITY TO BE IRREPARABLY DAMAGED DUE TO CONSTRUCTION ACTIVITY.



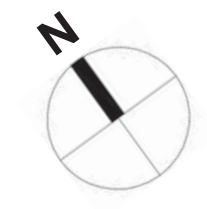
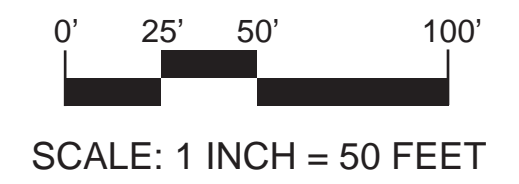
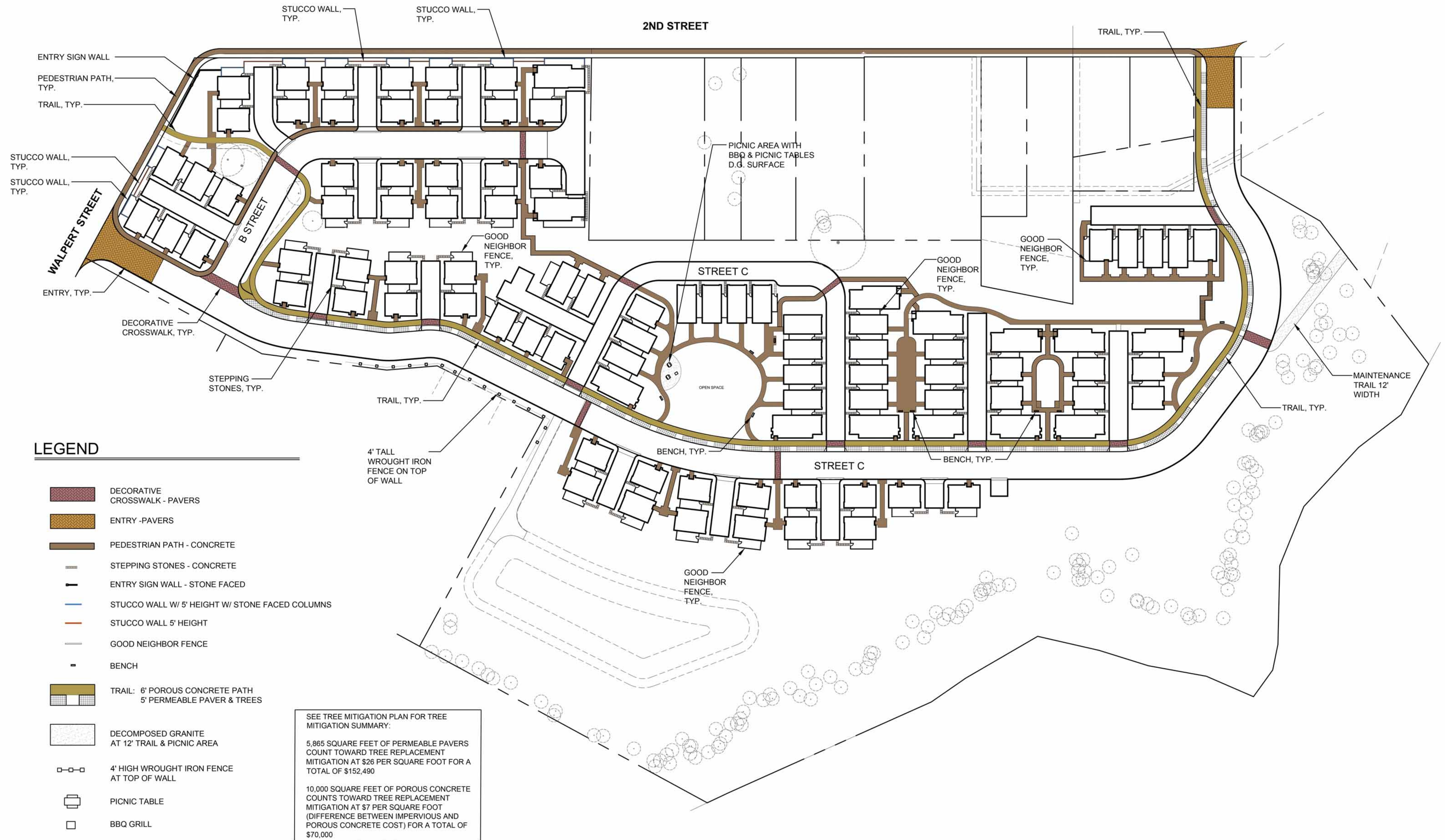
A TREE PROTECTION FENCING
SCALE: NOT TO SCALE



SCALE: 1 INCH = 30 FEET



L1.2



L2.0

PICNIC TABLE



LITTER BIN



BENCH



RETAINING WALLS



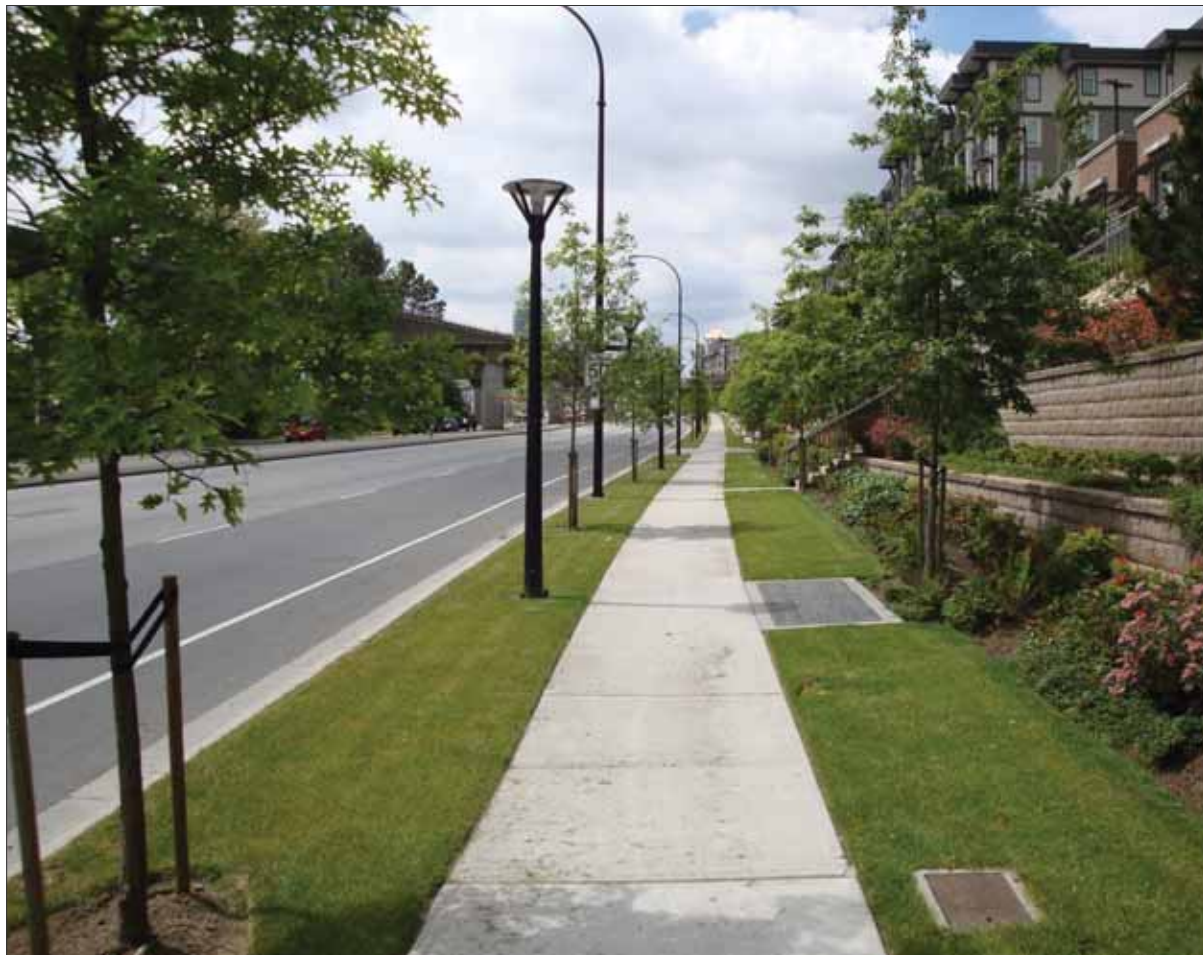
BENCH



PAVING



STEPPING STONES - CONCRETE



PEDESTRIAN PATH - CONCRETE
POROUS CONCRETE AT TRAIL



ENTRY - PERMEABLE PAVERS

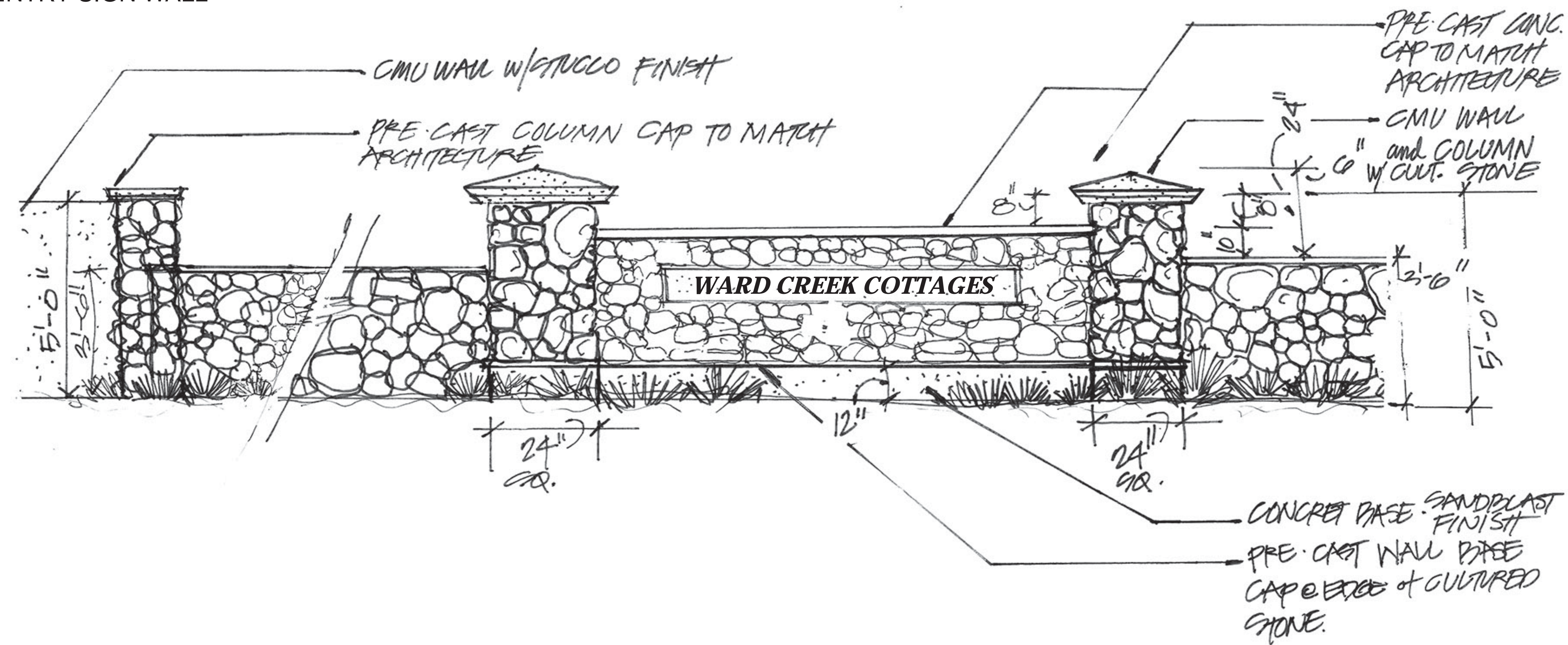


DECORATIVE CROSSWALK - PAVERS

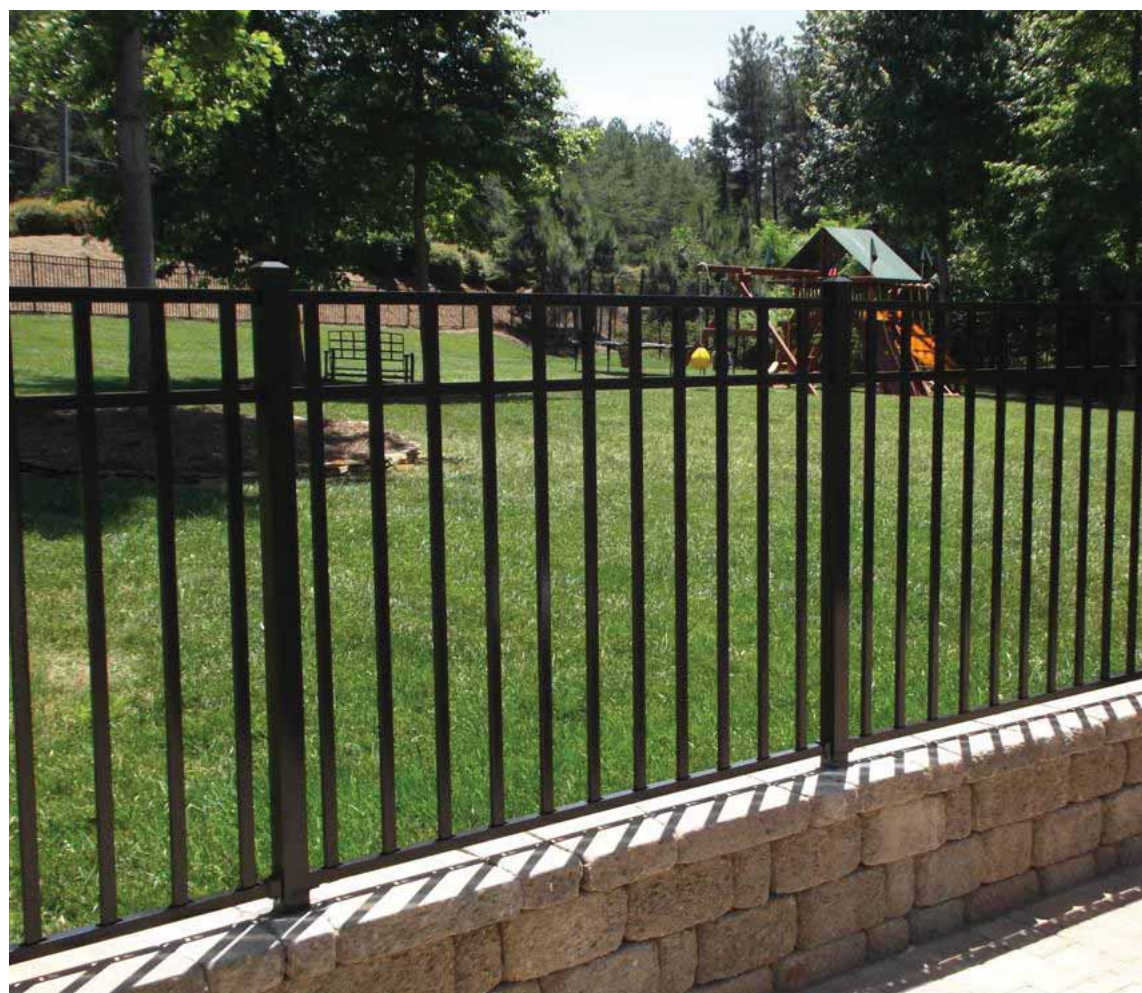
BBQ PIT



ENTRY SIGN WALL



WROUGHT IRON FENCE

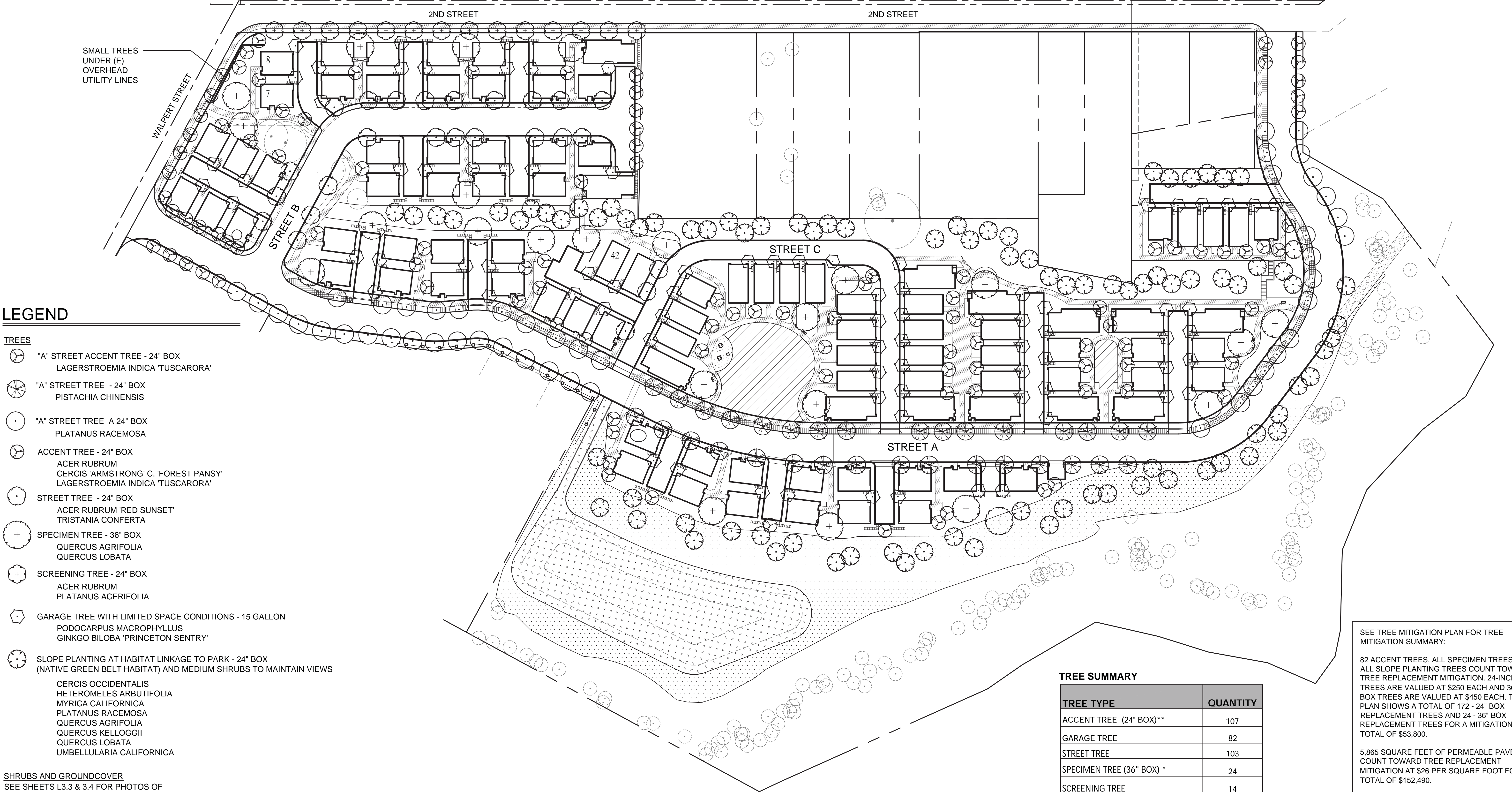


GOOD NEIGHBOR FENCE



STUCCO WALL





LEGEND

- TREES**
- "A" STREET ACCENT TREE - 24" BOX
LAGERSTROEMIA INDICA 'TUSCARORA'
 - "A" STREET TREE - 24" BOX
PISTACHIA CHINENSIS
 - "A" STREET TREE A 24" BOX
PLATANUS RACEMOSA
 - ACCENT TREE - 24" BOX
ACER RUBRUM
CERCIS 'ARMSTRONG' C. 'FOREST PANSY'
LAGERSTROEMIA INDICA 'TUSCARORA'
 - STREET TREE - 24" BOX
ACER RUBRUM 'RED SUNSET'
TRISTANIA CONFERTA
 - SPECIMEN TREE - 36" BOX
QUERCUS AGRIFOLIA
QUERCUS LOBATA
 - SCREENING TREE - 24" BOX
ACER RUBRUM
PLATANUS ACERIFOLIA
 - GARAGE TREE WITH LIMITED SPACE CONDITIONS - 15 GALLON
PODOCARPUS MACROPHYLLUS
GINKGO BILOBA 'PRINCETON SENTRY'
 - SLOPE PLANTING AT HABITAT LINKAGE TO PARK - 24" BOX
(NATIVE GREEN BELT HABITAT) AND MEDIUM SHRUBS TO MAINTAIN VIEWS
CERCIS OCCIDENTALIS
HETEROMELES ARBUTIFOLIA
MYRICA CALIFORNICA
PLATANUS RACEMOSA
QUERCUS AGRIFOLIA
QUERCUS KELLOGGII
QUERCUS LOBATA
UMBELLULARIA CALIFORNICA

SHRUBS AND GROUND COVER
SEE SHEETS L3.3 & 3.4 FOR PHOTOS OF UNDERSTORY PLANTS

- HYDROSEED
NATIVE WILDFLOWER MIX
- STORMWATER TREATMENT - DELTA
BLUEGRASS CO. BIOFILTRATION SOD
- TURF (GATHERING AREAS)
MAXIMUM 4.9% SLOPE DELTA BLUEGRASS CO.
NATIVE BENTGRASS CALIFORNIA NATIVE SOD

TREE SUMMARY

TREE TYPE	QUANTITY
ACCENT TREE (24" BOX)**	107
GARAGE TREE	82
STREET TREE	103
SPECIMEN TREE (36" BOX) *	24
SCREENING TREE	14
SLOPE PLANTING TREE (24" BOX) *	90
TOTAL NUMBER OF TREES	420

* REPLACEMENT TREES FOR MITIGATION
** 82 ACCENT TREES QUALIFY AS REPLACEMENT TREES (25 ACCENT TREES ARE STREET TREES)

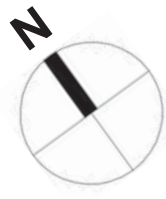
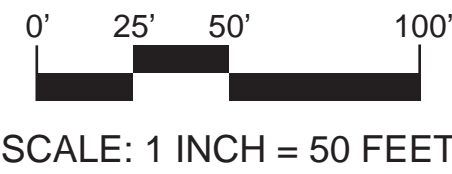
SEE TREE MITIGATION PLAN FOR TREE MITIGATION SUMMARY:

82 ACCENT TREES, ALL SPECIMEN TREES, AND ALL SLOPE PLANTING TREES COUNT TOWARD TREE REPLACEMENT MITIGATION. 24-INCH BOX TREES ARE VALUED AT \$250 EACH AND 36-INCH BOX TREES ARE VALUED AT \$450 EACH. THIS PLAN SHOWS A TOTAL OF 172 - 24" BOX REPLACEMENT TREES AND 24 - 36" BOX REPLACEMENT TREES FOR A MITIGATION TOTAL OF \$53,800.

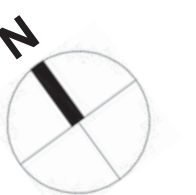
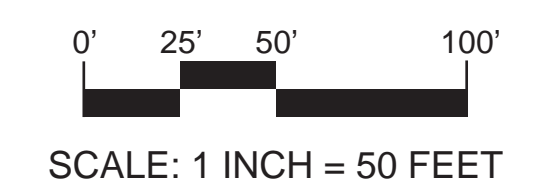
5,865 SQUARE FEET OF PERMEABLE PAVERS COUNT TOWARD TREE REPLACEMENT MITIGATION AT \$26 PER SQUARE FOOT FOR A TOTAL OF \$152,490.

10,000 SQUARE FEET OF POROUS CONCRETE COUNTS TOWARD TREE REPLACEMENT MITIGATION AT \$7 PER SQUARE FOOT (DIFFERENCE BETWEEN IMPERVIOUS AND POROUS CONCRETE COST) FOR A TOTAL OF \$70,000.

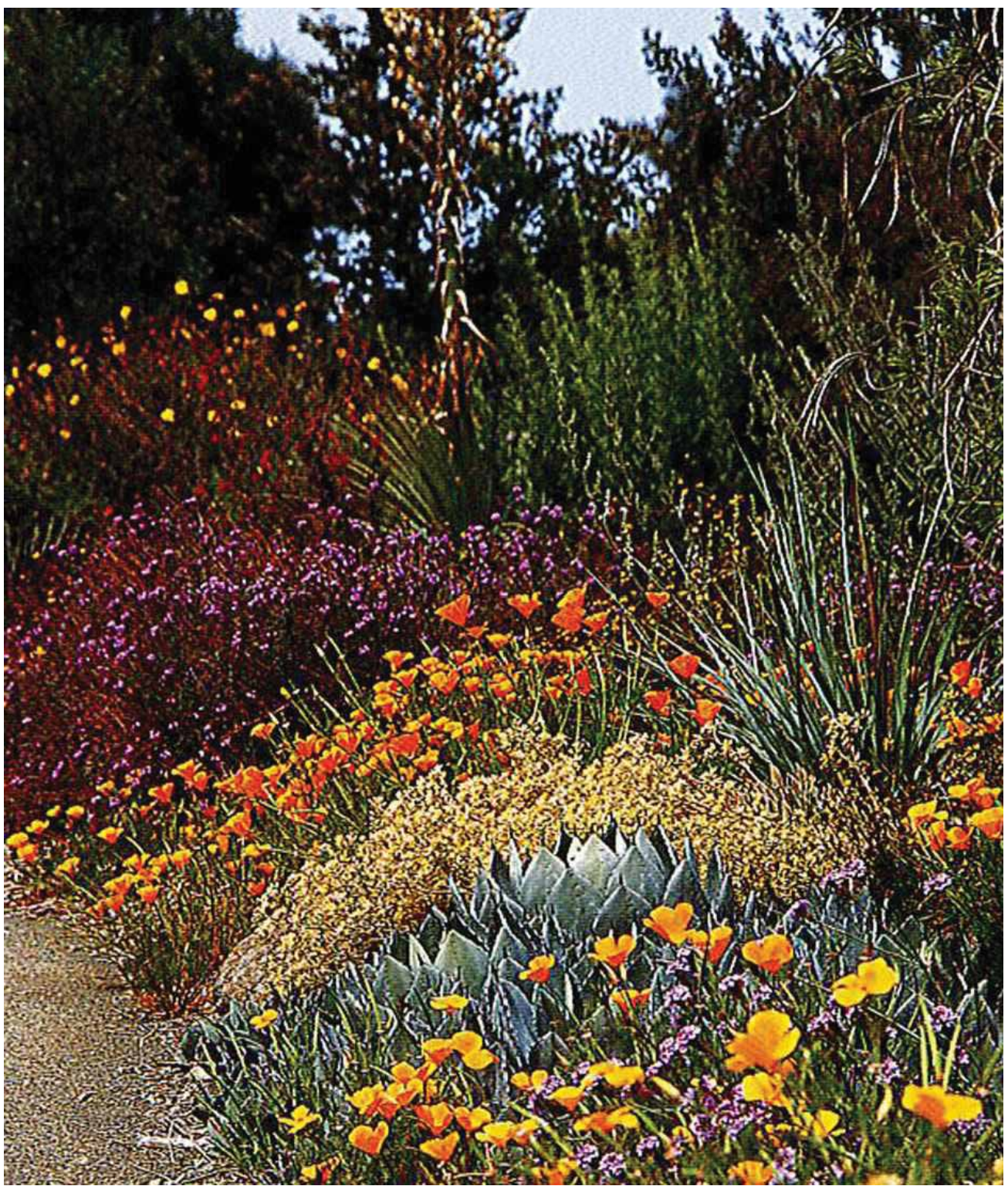
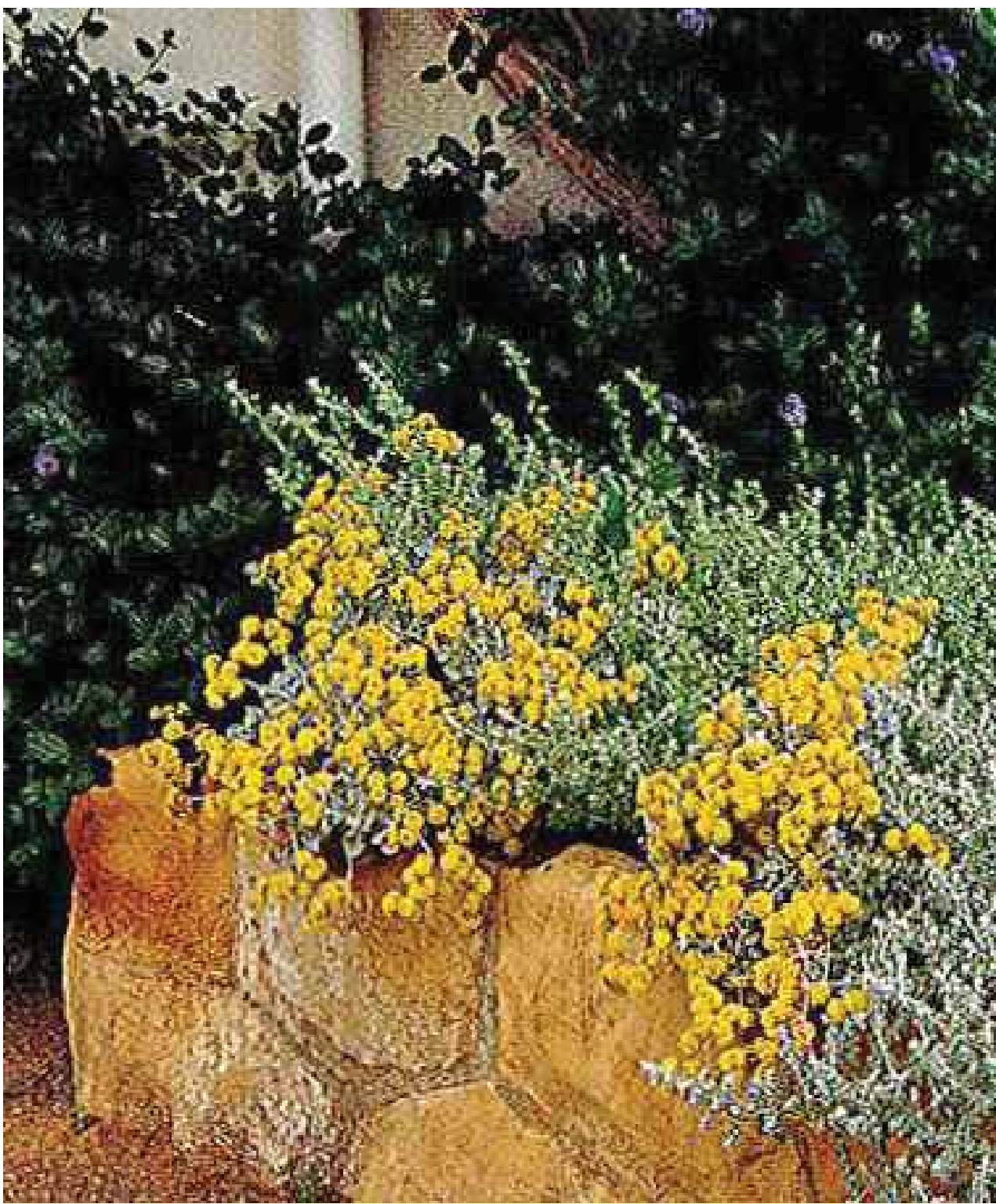
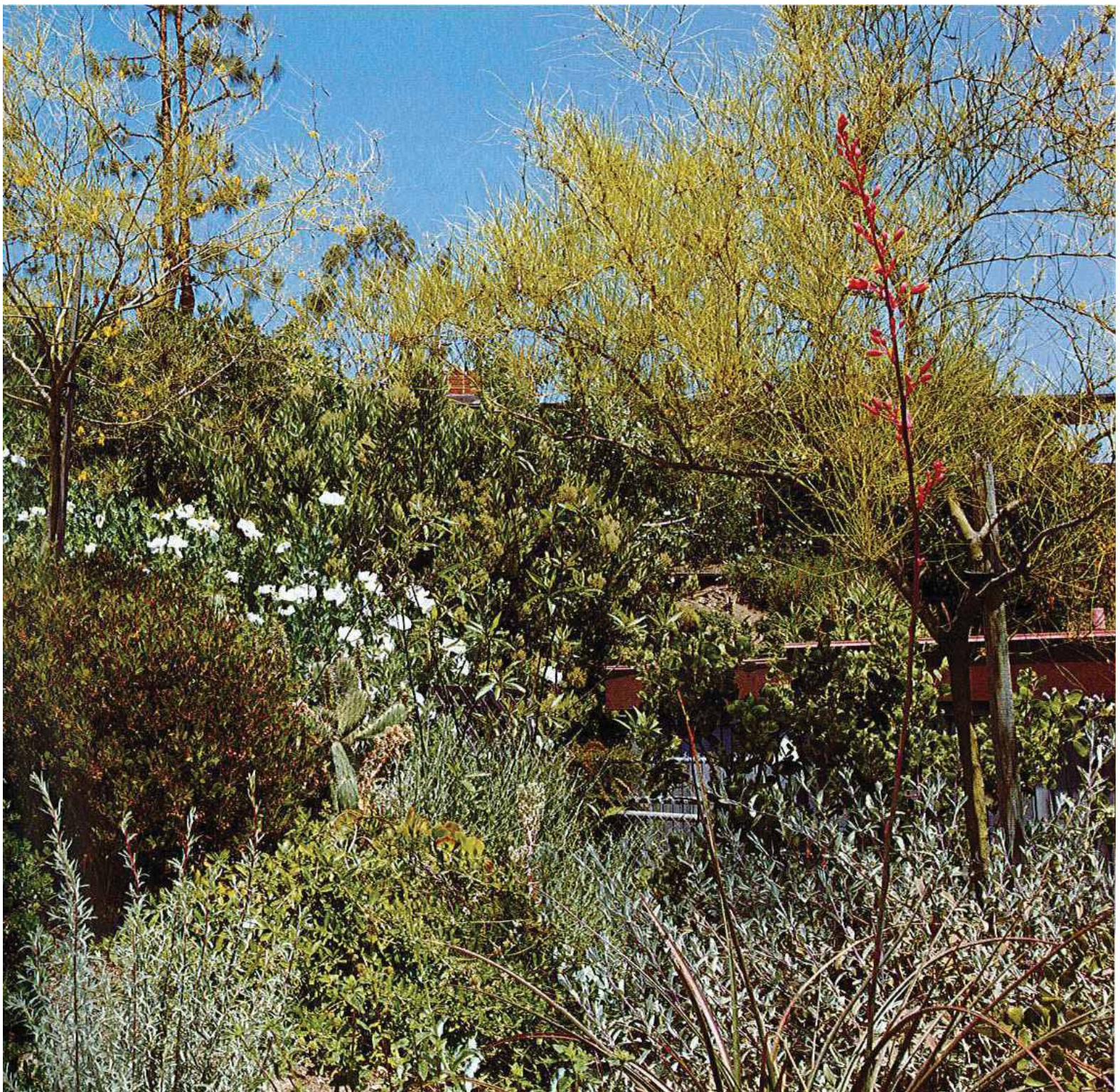
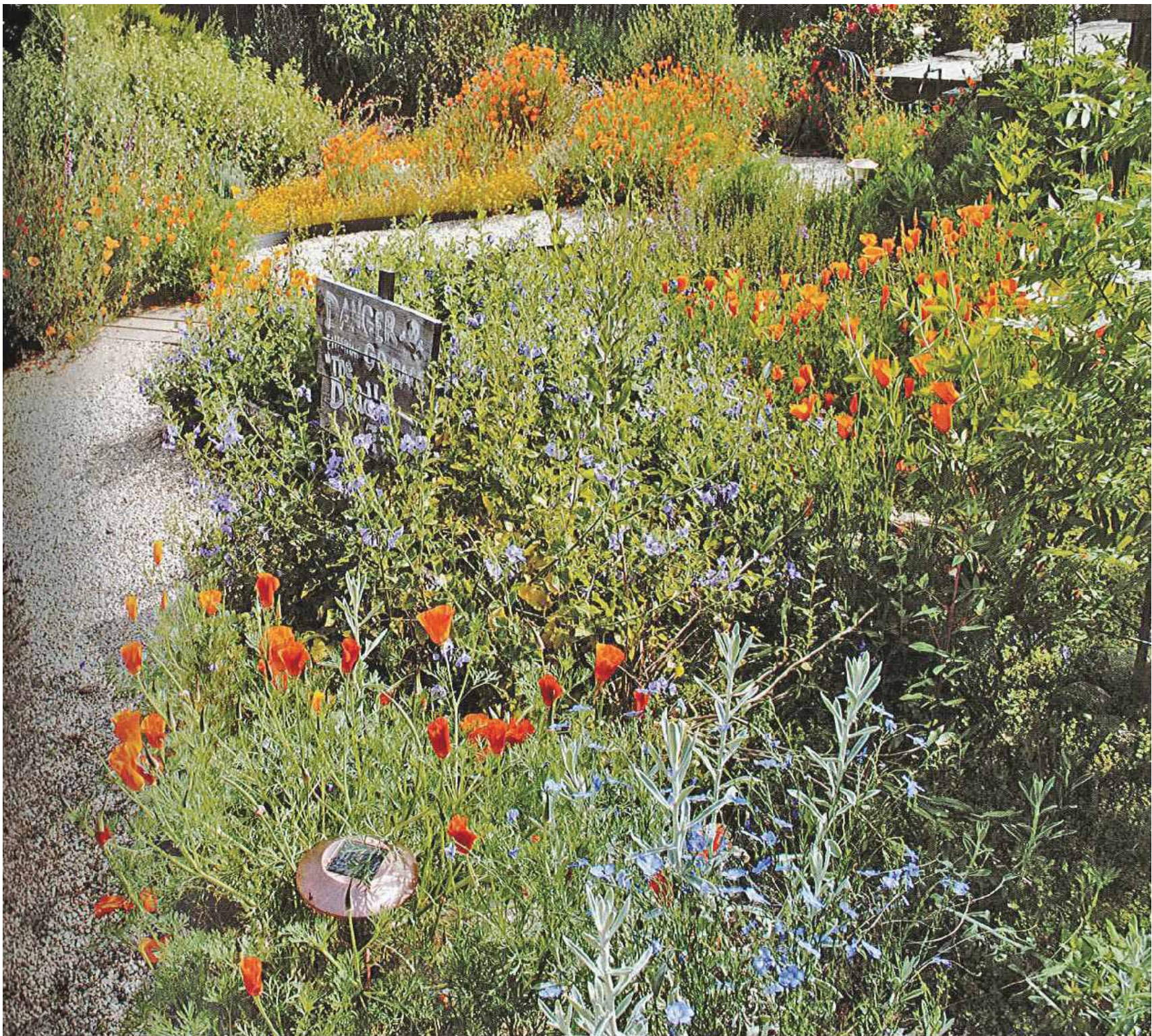
SEE PAVING PLAN FOR LOCATION OF PERMEABLE PAVERS AND POROUS CONCRETE.



L3.0



3.1



TREES



CERCIS OCCIDENTALIS
WESTERN REDBUD



PLATANUS RACEMOSA
CALIFORNIA SYCAMORE



PRUNUS ILICIFOLIA
HOLLYLEAF CHERRY



QUERCUS AGRIFOLIA
COAST LIVE OAK



QUERCUS KELLOGGII
COAST LIVE OAK



QUERCUS LOBATA
VALLEY OAK

SHRUBS



ARBUTUS MENZIESII
MADRONE



CARPENTERIA CALIFORNICA
BUSH ANEMONE



ARCTOSTAPHYLOS MAZANITA
'DR HURD'
DR HURD MAZANITA



CEANOTHUS THYRSIFLORUS
BLUE BLOSSOM CEANOTHUS



FRANGULA CALIFORNICA 'EVE CASE'
COFFEEBERRY



FRANGULA 'MOUND SAN BRUNO'
COFFEEBERRY



HETEROMELES ARBUTIFOLIA
TOYON



RHUS INTEGRIFOLIA
LEMONADE BERRY



RHUS OVATA
SUGAR BUSH



ROSMARINUS OFFICINALIS
ROSEMARY



SALVIA CLEVELANDII
CLEVELAND SAGE



SALVIA LEUCANTHA
MEXICAN BUSH SAGE



SALVIA LEUCOPHYLLA
PURPLE SAGE



SALVIA MELLIFERA
BLACK SAGE



SALVIA GREGGII
AUTUMN SAGE



MUHLENBERGIA RIGENS
DEER GRASS

UNDERSTORY PLANTING/GROUND COVER



ACHILLEA MILLEFOLIUM
YARROW



ACHILLEA M. 'LILAC BEAUTY'
LILAC BEAUTY YARROW



ERIOGONUM FASCICULATUM
CALIFORNIA BUCKWHEAT



ERIOGONUM UMBELLATUM
SULFUR BUCKWHEAT



FESTUCA CALIFORNICA
CALIFORNIA FESCUE



FESTUCA RUBRA
RED FESCUE



LANTANA MONTEVIDENSIS
LANTANA



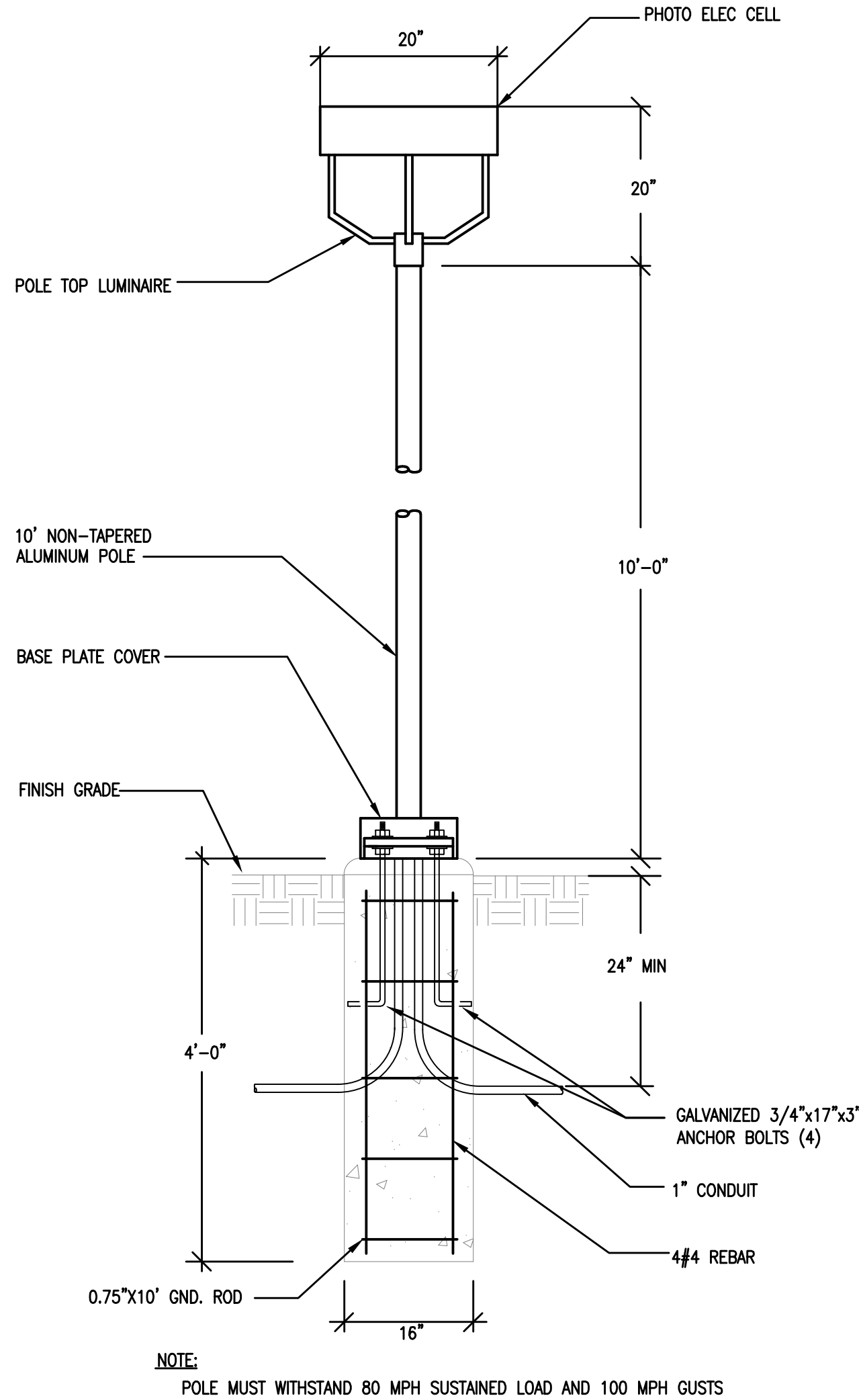
SALVIA SPATHACEA
HUMMINGBIRD SAGE



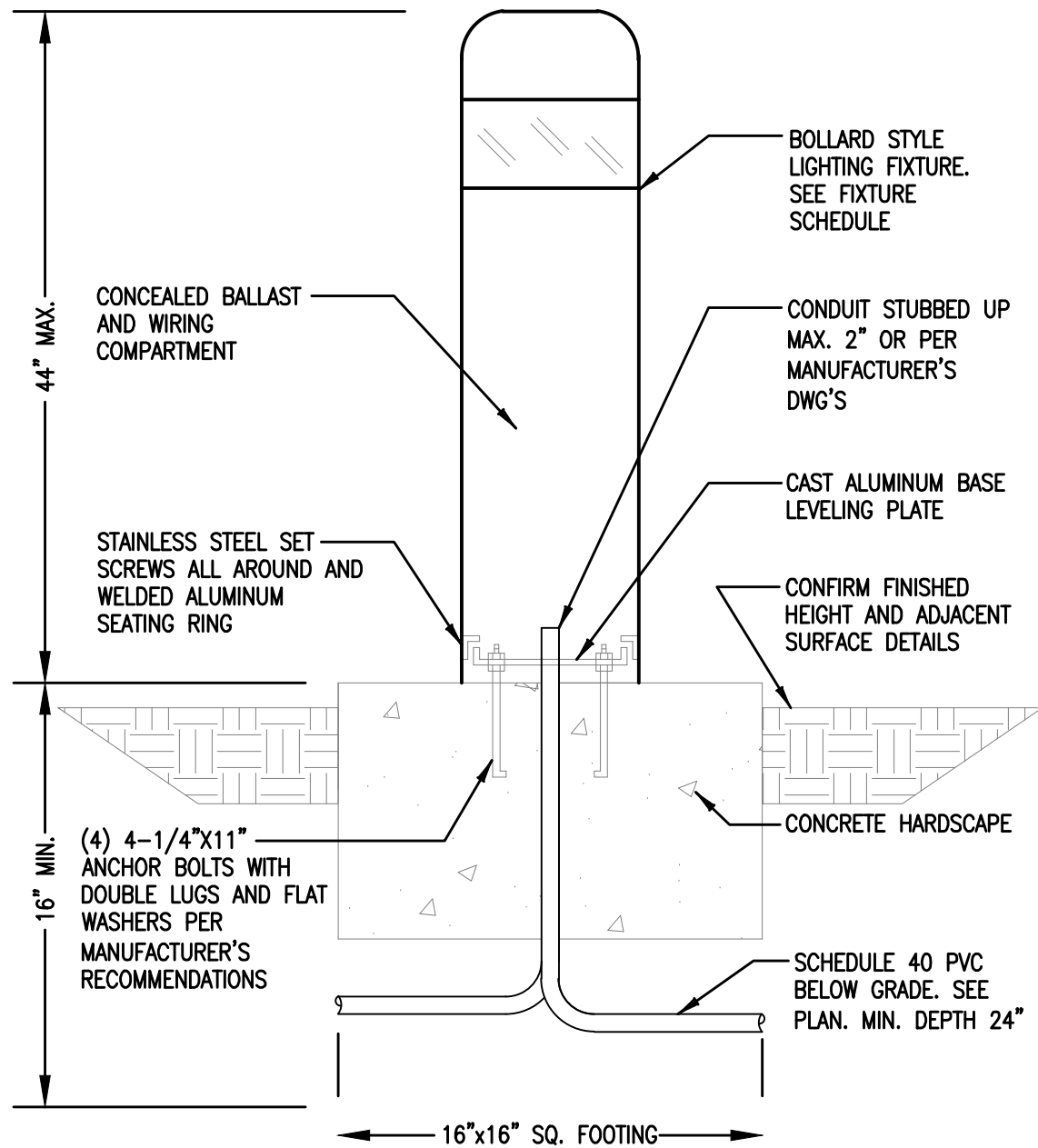
SALVIA X 'BEE'S BLISS'
SAGE



STIPA PULCHRA
PURPLE NEEDLEGRASS



1 SIDEWALK POLE LIGHT DETAIL
Scale: N.T.S.



2 BOLLARD LIGHT DETAIL
Scale: N.T.S.

ELECTRICAL LEGEND		ABBREVIATIONS & DESCRIPTIONS	
CIRCUITING SYMBOLS			
	CONDUIT STUBBED, CAPPED, AND MARKED WITH PULL CORD.	A	AMPERES
	CONDUIT UP.	AC	ABOVE COUNTER; REFER TO ARCHITECTURAL ELEVATIONS FOR REQUIRED HEIGHT.
	CONDUIT DOWN.	AFF	ABOVE FINISHED FLOOR
	HOMERUN. PANEL AND CIRCUIT AS INDICATED.	AFG	ABOVE FINISHED GRADE
	CIRCUIT CONCEALED IN CEILING OR WALL. 3/4"-2#12,1#12G UNO.	AF	AMPERE FRAME
	CIRCUIT CONCEALED IN FLOOR OR UNDERGROUND. 3/4"-2#12,1#12G UNO.	AHJ	AUTHORITY HAVING JURISDICTION
	RACEWAY SIZE	AT	AMP TRIP
	GROUNDING CONDUCTOR SIZE	AWG	AMERICAN WIRE GAUGE
	CONDUCTOR SIZE	BW	BLANKET WARMER
	CONDUCTOR QUANTITY	C	CONDUIT
		CB	CIRCUIT BREAKER
		CC	CRASH CART
		CKT	CIRCUIT
		CL	CRITICAL LOAD
		CM	CEILING MOUNTED
		CO	CONDUIT ONLY, PROVIDE PULL-LINE
		D	MECHANICAL DUCT-MOUNTED DEVICE
		DC	DIRECT CURRENT
		DET	DETAIL
		E	EMERGENCY/CRITICAL CARE
		(E)	EXISTING
		EF	EXHAUST FAN
		EL	EMERGENCY LIGHT
		EW	ELECTRIC WATER COOLER
		EW	ELECTRIC WATER HEATER
		F	FUSE
		FACP	FIRE ALARM CONTROL PANEL
		FVNR	FULL VOLTAGE NON-REVERSING
		G/GND	GROUND
		GFI	GROUND FAULT INTERRUPTION
		GFP	GROUND FAULT PROTECTION
		H	HEAT
		HH	HANDHOLE
		HID	HIGH INTENSITY DISCHARGE
		HOA	HAND OFF AUTO
		HP	HOUSE PHONE
		HVAC	HEATING, VENTILATING, & AIR CONDITIONING
		I	IN-DUCT
		IC	INTERRUPTING CAPACITY
		IG	ISOLATED GROUND
		INT	INTERCOM
		J/JB	JUNCTION BOX
		KW	KILOWATT
		KWH	KILOWATT HOUR
		M	MAGNETIC CONTACTOR COIL
		MB	MAIN BREAKER
		MCC	MOTOR CONTROL CENTER
		MLO	MAIN LUGS ONLY
		MS	MOTOR STARTER
		MH	MANHOLE
		MW	MICROWAVE
		N	NEUTRAL
		NC	NORMALLY CLOSED
		NCL	NON CRITICAL LOAD
		NEC	NATIONAL ELECTRICAL CODE
		NIC	NOT IN CONTRACT
		NO	NORMALLY OPEN
		NTS	NOT TO SCALE
		OL	OVERLOAD
		OS	OCCUPANCY SENSOR
		OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
		P	PHOTO
		PC	PHOTOCELL
		PVC	POLYVINYL CHLORIDE
		RCPT	RECEPTACLE
		(R)	RELOCATED
		(RE)	REPLACED
		REF	REFRIGERATOR
		SER	SERVICE ENTRANCE RATED
		SPST	SINGLE POLE SINGLE THROW
		TC	TIME CLOCK
		TDR	TIME DELAY RELAY
		TJB	TERMINAL JUNCTION BOX
		TSP	TWISTED SHIELDED PAIR
		TB	TELEPHONE TERMINAL BOARD
		TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSER
		TYP	TYPICAL
		UH	UNIT HEATER
		UNO	UNLESS NOTED OTHERWISE
		V	VOLT
		VA	VOLT AMPERE
		WG	PROVIDE PROTECTIVE WIRE GUARD
		WP	WEATHER PROOF/NEMA 3R
		XFMR	TRANSFORMER
LIGHTING (SEE LUMINAIRE SCHEDULE FOR EXACT REQUIREMENTS)			
	POLE LIGHT 1 HEAD SQUARE WITH POLE.		
	BOLLARD LIGHT.		
	DECORATIVE POST-TOP LIGHT.		
	WALL MOUNTED LIGHT WITH PHOTO-CELL.		
MISCELLANEOUS			
	INDICATES FIXTURE TYPE. REFER TO LUMINAIRE SCHEDULE.		
SHEET INDEX			
E0.0	ELECTRICAL COVER SHEET		
E0.1	ELECTRICAL SPECIFICATIONS		
E0.2	TITLE 24 IECC ENERGY COMPLIANCE		
E1.0	SITE ELECTRICAL PLAN		
E1.1	SITE PHOTOMETRIC PLAN		
E5.1	LIGHT FIXTURE SPECIFICATION SHEETS		
		GENERAL ELECTRICAL NOTES	
		(RE: ALL ELECTRICAL SHEETS)	
		1. ALL ELECTRICAL EQUIPMENT AND SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, INTERNATIONAL FIRE CODE, AND ALL OTHER STATE AND LOCAL CODES. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER IN WRITING IF PORTIONS OF THE DESIGN SET OR FIELD CONDITIONS DO NOT MEET REQUIRED CODES.	
		2. PROVIDE FIRESTOPPING FOR ALL FLOOR AND FIREWALL PENETRATIONS FROM ELECTRICAL DEVICE, RACEWAY, AND CABLE PENETRATIONS. SEE ARCHITECTURAL DRAWINGS FOR FIREWALL LOCATIONS.	
		3. ELECTRICAL DEVICES AND LINWORK ARE SHOWN BOLD FOR NEW, BOLD/DASHED FOR DEMO AND SCREENED FOR EXISTING.	
		4. FIRE ALARM SYSTEM IS DESIGN BUILD BY ELECTRICAL CONTRACTOR AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 AND ALL OTHER STATE AND LOCAL CODES. PROVIDE AND INSTALL CONDUIT AND CONDUCTORS FOR ALL FIRE ALARM DEVICES REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO HVAC SHUTDOWN, FIRE ALARM CONTROL PANEL, INITIATING AND ANNUNCIATING CIRCUITS. FIELD INSPECTION IS REQUIRED TO VERIFY THIS INFORMATION PRIOR TO BID.	
		5. PROVIDE AND INSTALL 3/4"CO TO ACCESSIBLE LOCATION ABOVE SUSPENDED CEILING, UNLESS NOTED OTHERWISE FOR DATA, TELEPHONE AND TELEVISION DEVICES. DATA, TELEPHONE AND TELEVISION CABLING ARE NOT PROVIDED UNDER THIS CONTRACT.	
		6. EMERGENCY LIGHTING SYMBOLS ARE SHADED ON THE LIGHTING PLANS. EMERGENCY SOURCE SHALL BE BATTERY BACKED BALLAST WITH MINIMUM 1400 LUMEN OUTPUT FOR A 90 MINUTE PERIOD, UNLESS NOTED OTHERWISE. PROVIDE UNSWITCHED CONDUCTORS FOR CHARGING CIRCUIT AS REQUIRED.	
		7. DESIGN OF ELECTRICAL REQUIREMENTS, FOR MECHANICAL EQUIPMENT, IS BASED ON MECHANICAL EQUIPMENT SPECIFIED. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR IF EQUIPMENT PURCHASED IS DIFFERENT FROM THAT SPECIFIED STILL MEETS DESIGN INTENT, INCLUDING BUT NOT LIMITED TO OVERCURRENT PROTECTION, LOCAL DISCONNECTING MEANS, WIRE SIZING AND DESIGN COSTS.	

REVISIONS		DATE
NO.		

ELECTRICAL SPECIFICATIONS

PART 1 – GENERAL

1.1 SCOPE OF WORK

FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT AND PROVIDE ALL LABOR REQUIRED AND NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND ALL OTHER WORK AND MISCELLANEOUS ITEMS, NOT SPECIFICALLY MENTIONED, BUT REASONABLY INFERRED FOR A COMPLETE INSTALLATION, INCLUDING ALL ACCESSORIES AND APPURTENANCES REQUIRED FOR TESTING THE SYSTEM. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS THAT ALL SYSTEMS BE COMPLETE AND READY FOR OPERATION. THIS PROJECT INCLUDES SITE LIGHTING AND PHOTOMETRICS

1.2 CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL COMPLY WITH LATEST RULES, CODES AND REGULATIONS, INCLUDING, BUT NOT LIMITED TO OSHA, THE NATIONAL ELECTRICAL CODE, INTERNATIONAL BUILDING AND FIRE CODES, NFPA, AND OTHER APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS. CODE COMPLIANCE IS MANDATORY. NOTHING IN THESE DRAWINGS AND SPECIFICATIONS PERMITS WORK NOT CONFORMING TO THESE CODES. WHERE WORK IS SHOWN TO EXCEED MINIMUM CODE REQUIREMENTS, COMPLY WITH DRAWINGS AND SPECIFICATIONS.

1.3 LICENSE, FEES AND PERMITS

ARRANGE FOR REQUIRED INSPECTIONS AND PAY ALL LICENSE, PERMIT AND INSPECTION FEES.

1.4 CONDITIONS AT SITE

VISIT TO SITE IS REQUIRED OF ALL BIDDERS PRIOR TO SUBMISSION OF BID. ALL WILL BE HELD TO HAVE FAMILIARIZED THEMSELVES WITH ALL DISCERNIBLE CONDITIONS AND NO EXTRA PAYMENT WILL BE ALLOWED FOR WORK REQUIRED BECAUSE OF THESE CONDITIONS, WHETHER SPECIFICALLY MENTIONED OR NOT. LINES OF OTHER SERVICES THAT ARE DAMAGED AS A RESULT OF THIS WORK SHALL PROMPTLY BE REPAIRED AT NO EXPENSE TO THE OWNER TO COMPLETE SATISFACTION OF THE OWNER.

1.5 SAFETY

THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK.

1.6 GUARANTEE

GUARANTEE THE INSTALLATION FREE FROM DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER DATE OF CERTIFICATE OF FINAL PAYMENT AND PROMPTLY REMEDY ANY DEFECTS DEVELOPING DURING THIS PERIOD, WITHOUT CHARGE.

1.7 SUBSTITUTIONS

WHEREVER POSSIBLE, MORE THAN ONE MANUFACTURER HAS BEEN LISTED FOR VARIOUS ITEMS OF EQUIPMENT, ANY ONE OF WHICH WILL BE ACCEPTABLE. BASE THE BID ON USE OF MATERIALS SPECIFIED. IF, AFTER AWARD OF THE CONTRACT, A SUBSTITUTE IS PROPOSED, THE REQUEST FOR PERMISSION TO SUBSTITUTE SHALL BE ACCOMPANIED WITH A STATEMENT OF THE AMOUNT OF MONEY TO BE RETURNED TO THE CONTRACT IF THE SUBSTITUTION IS PERMITTED. THE ENGINEER IS THE SOLE JUDGE OF ACCEPTABILITY OF PROPOSED SUBSTITUTIONS, IF A SUBSTITUTE ITEM IS PERMITTED, AND ANY REDESIGN EFFORT IS THEREBY NECESSITATED, THE REQUIRED REDESIGN SHALL BE AT THE CONTRACTOR'S EXPENSE.

1.8 SHOP DRAWINGS AND MATERIALS LISTS

SUBMIT TO THE ENGINEER SEVEN (7) COPIES OF COMPLETE SHOP DRAWINGS AND MATERIALS LISTS FOR REVIEW WITHIN THIRTY (30) DAYS AFTER AWARD OF CONTRACT, ALL PROPOSED DEVIATIONS FROM SPECIFICATIONS MUST BE CLEARLY LISTED UNDER A PROMINENT HEADING ENTITLED "DEVIATIONS".

1.9 WORKMANSHIP

ONLY QUALITY WORKMANSHIP WILL BE ACCEPTED. HAPHAZARD OR POOR INSTALLATION PRACTICE WILL BE CAUSE FOR REJECTION OF WORK.

1.10 COORDINATION

COORDINATE WORK WITH OTHER TRADES TO AVOID CONFLICT AND TO PROVIDE CORRECT ROUGH-IN AND CONNECTION FOR EQUIPMENT FURNISHED UNDER OTHER TRADES THAT REQUIRE ELECTRICAL CONNECTIONS. VERIFY EQUIPMENT DIMENSIONS AND REQUIREMENTS WITH PROVISIONS SPECIFIED UNDER THIS SECTION. CHECK ACTUAL JOB CONDITIONS BEFORE FABRICATING WORK. REPORT NECESSARY CHANGES IN TIME TO PREVENT NEEDLESS WORK.

1.11 CUTTING AND PATCHING

ALL CUTTING AND PATCHING REQUIRED FOR WORK OF THIS DIVISION IS INCLUDED HEREIN. COORDINATION WITH GENERAL CONTRACTOR AND OTHER TRADES IS IMPERATIVE.

1.12 SITE CLEANUP

- A. AFTER ALL OTHER WORK HAS BEEN ACCOMPLISHED, CLEAN ALL EXPOSED CONDUIT, FIXTURES, EQUIPMENT AND SUPPORTS. TOUCH UP PAINT ON ANY EQUIPMENT SCRAPED, SCRATCHED OR DAMAGED DURING CONSTRUCTION.
- B. LEAVE ALL AREAS INVOLVING ELECTRICAL WORK IN A CONDITION SATISFACTORY TO THE OWNER. REMOVE ALL CRATES, CARDBOARD, PACKING MATERIAL, WASTE MATERIAL, AND OTHER DEBRIS LEFT OVER FROM CONSTRUCTION.

PART 2 – PRODUCTS

2.1 MATERIAL APPROVAL

ALL MATERIALS MUST BE NEW AND BEAR U.L. LABEL. MATERIALS THAT ARE NOT COVERED BY UL TESTING STANDARDS SHALL BE TESTED AND APPROVED BY AN INDEPENDENT TESTING LABORATORY OF A GOVERNMENTAL AGENCY APPROVED BY THE AUTHORITY HAVING JURISDICTION.

2.2 WIRES AND CABLES

- A. CONDUCTORS FOR 600V SYSTEMS AND BELOW SHALL BE STRANDED COPPER, #12 AWG MINIMUM.
- B. INSULATION SHALL BE THINN FOR WET LOCATIONS AND THHN FOR DRY LOCATIONS.

2.3 OUTLET BOXES, JUNCTION AND PULL BOXES

- A. OUTLET BOXES: HOT-DIPPED, GALVANIZED OR SHERADIZED. SIZE AS REQUIRED WITH 4" SQUARE MINIMUM, FOR FLUSH MOUNTED DEVICES AND LIGHTING FIXTURES.
- B. JUNCTION AND PULL BOXES: HOT DIPPED, GALVANIZED OR SHERADIZED, SIZED ACCORDING TO CODE. LARGER JUNCTION AND PULL BOXES SHALL BE FABRICATED FROM SHEET STEEL, SIZED ACCORDING TO CODE, WITH SCREW-ON COVERS, FINISHED GRAY BAKED ENAMEL.

2.4 WIRING DEVICES

- A. ALL WIRING DEVICES OF ANY ONE GENERAL TYPE SHALL BE OF THE SAME MANUFACTURER AND SHALL MATCH THROUGHOUT.
- B. WIRING DEVICES SHALL BE AS MANUFACTURED BY HUBBELL, GE, LEVITON, P & S, OR BRYANT. NO SUBSTITUTIONS.
- C. COVER PLATES SHALL BE AS MANUFACTURED BY ARROW HART, SIERRA, LEVITON OR MULLBERRY. WHITE FINISH.
- D. WHERE INDICATED, PROVIDE GENERAL-DUTY, DUPLEX RECEPTACLES, GROUND-FAULT CIRCUIT INTERRUPTERS: GROUNDING TYPE UL-RATED CLASS A, GROUP 1, 20 AMPERES RATING, 120 VOLTS, 60Hz WITH SOLID-STATE GROUND-FAULT SENSING AND SIGNALING: WITH 5 MILLIAMPERES GROUND-FAULT TRIP LEVEL: WHITE FINISH.
- E. SWITCHES SHALL BE FLUSH WALL TYPE, WHITE FINISH
- F. CONVENIENCE RECEPTACLES SHALL BE, FLUSH WALL TYPE, WHITE FINISH.

2.5 WIRE CONNECTORS

- A. FOR WIRE SIZES #8 AWG AND SMALLER: INSULATED PRESSURE TYPE (WITH LIVE SPRING) RATED 105°C, 600V, FOR BUILDING WIRING AND 1000V IN FIXTURES, SCOTCHLOK OR IDEAL.
- B. FOR WIRE SIZES #6 AWG AND LARGER: T&B OR EQUIVALENT COMPRESSION TYPE WITH 3M #33+ OR PLYMOUTH "SLIPKNOT GREY" TAPE INSULATION.

2.6 PANELBOARD

PANELBOARDS SHALL BE AS MANUFACTURED BY SQUARE D, GENERAL ELECTRIC, SIEMENS, OR CUTLER HAMMER. PROVIDE PANELBOARDS AS INDICATED ON SCHEDULES, WITH THE FOLLOWING FEATURES: HARD-DRAWN COPPER BUS (98 PERCENT CONDUCTIVITY), MECHANICAL-TYPE MAIN AND NEUTRAL LUGS, NEUTRAL BUS RATED 100 PERCENT OF PHASE BUS, GROUND BUS BONDED TO ENCLOSURE, BOLT-ON MOLDED-CASE THERMAL-MAGNETIC BREAKERS.

2.7 SWITCHBOARD

SWITCHBOARD SHALL BE AS MANUFACTURED BY SQUARE D, CUTLER HAMMER, GE OR SIEMENS, NO SUBSTITUTIONS. SWITCHBOARD OF SUITABLE VOLTAGE AND AMPERAGE RATINGS SHALL BE LOCATED IN A DEDICATED ELECTRICAL ROOM. SWITCHBOARDS SHALL BE FRONT ACCESSIBLE ONLY. THE SWITCHBOARD SHALL HAVE GROUND FAULT PROTECTION ON THE MAIN SWITCH, FEEDERS TO THE KITCHEN AND POOL PANELS, AND ALL FEEDERS 1000A AND LARGER. PROVIDE TIN-PLATED ALUMINUM BUS. HORIZONTAL BUS SHALL NOT BE REDUCED. MAIN DEVICES SHALL BE INDIVIDUALLY MOUNTED; DEVICES IN THE DISTRIBUTION SECTION SHALL BE GROUP MOUNTED. PROVIDE C.T. METERING COMPARTMENT AS COORDINATED WITH LOCAL UTILITY. FEEDER DEVICES SHALL BE MOLDED CASE CIRCUIT BREAKERS. FIVE (5%) SPARE CAPACITY WILL BE PROVIDED WITH SPACE FOR CORRESPONDING DEVICES. LIGHTNING ARRESTORS AND SURGE SUPPRESSION CAPACITORS SHALL BE INSTALLED IN EACH SERVICE. AN AMMETER, VOLTMETER AND WATT-HOUR DEMAND METER WILL BE PROVIDED FOR EACH SERVICE. PULSE INITIATION TO THE EMS HOST COMPUTER WILL BE PROVIDED.

2.8 RACEWAYS

- A. OUTDOORS:

EXPOSED: RIGID STEEL OR INTERMEDIATE METAL CONDUIT
CONCEALED: RIGID STEEL OR INTERMEDIATE METAL CONDUIT
UNDERGROUND: RIGID NON-METALLIC CONDUIT
TO VIBRATING EQUIPMENT: LIQUID-TIGHT FLEXIBLE METAL CONDUIT

- B. INDOORS:

EXPOSED: ELECTRICAL METALLIC TUBING, RIGID STEEL CONDUIT, PVC-COATED RIGID STEEL CONDUIT
CONCEALED: ELECTRIC METALLIC TUBING, METAL CLAD, NM (WHERE ALLOWED BY LOCAL AHJ)
DAMP OR WET LOCATIONS: RIGID STEEL CONDUIT
TO VIBRATING EQUIPMENT: FLEXIBLE METAL CONDUIT

2.9 FAULT PROTECTION AND COORDINATION STUDY

- A. THE FAULT PROTECTION AND COORDINATION STUDY SHALL INCLUDE THE FOLLOWING, AS WELL AS ANY RELATED DATA REQUIRED FOR SUBSTANTIATION AND CLARIFICATION OF THE STUDY:
 - 1. COMPLETE FAULT CURRENT AND SYSTEM PROTECTIVE DEVICE COORDINATION DATA INCLUDING THE SHORT CIRCUIT AND GROUND FAULT DUTIES ON THE PRIMARY VOLTAGE.
 - 2. COMPLETE SET OF TIME-CURRENT COORDINATION CURVES, STARTING WITH DEVICES PROTECTING THE SERVICE DOWN THROUGH AND INCLUDING ALL FEEDER, SUB-FEEDER AND SECONDARY MAIN AND BRANCH CIRCUIT PROTECTIVE DEVICES.
 - 3. A COMPLETE SET OF MOTOR STARTING TIME-CURRENT CURVES FOR MOTORS EXCEEDING 50 HORSEPOWER BASED ON THE WK2 INERTIA OF THE DRIVEN LOAD.
 - 4. A COMPLETE SET OF TRANSFORMER INRUSH AND THERMAL WITHSTAND CURVES.
 - 5. A TABULATION OF ALL RECOMMENDED RELAY SETTINGS, INCLUDING GROUND FAULT RELAY SETTINGS, FUSE SIZES AND CLASSES, AND CIRCUIT BREAKER TRIP SETTINGS, IDENTIFYING EACH ITEM BY MANUFACTURER AND CATALOG NUMBER.
 - 6. A TABULATION OF ANY CASES WHERE SELECTIVE COORDINATION IS UNOBTAINABLE AND OF THE CONSEQUENCES OF A DOWNSTREAM FAULT ON UPSTREAM CONTINUITY OF SUPPLY.
 - 7. COMPLETE DATA ON GENERATOR SHORT-CIRCUIT TRANSIENT AND SUSTAINING CURRENTS, GROUND FAULT CURRENT, AND AUTO-TRANSFER SWITCHING TIME.
- B. THE FINAL SELECTION AND SETTING OF ALL PROTECTIVE DEVICES SHALL BE BASED ON THE APPROVED STUDY.
- C. THIS STUDY SHALL BE SUBMITTED PRIOR TO SUBMISSION OF SHOP DRAWINGS FOR ANY SERVICE, DISTRIBUTION, MOTOR CONTROL OR EMERGENCY SYSTEM EQUIPMENT.

PART 3 – EXECUTION

3.1 – GENERAL

- A. ELECTRIC SYSTEM LAYOUTS INDICATED ON THE DRAWINGS ARE GENERALLY DIAGRAMMATIC, BUT SHALL BE FOLLOWED AS CLOSELY AS ACTUAL CONSTRUCTION AND WORK OF OTHER TRADES WILL PERMIT.
- B. CONSULT ALL OTHER DRAWINGS. VERIFY SCALES AND REPORT ANY DIMENSIONAL DISCREPANCIES OR OTHER CONFLICTS TO ARCHITECT BEFORE SUBMITTING BID.
- C. ALL HOME RUNS ARE INDICATED AS STARTING FROM THE DEVICE NEAREST THE PANEL AND CONTINUING IN THE GENERAL DIRECTION OF THAT PANEL. CONTINUE SUCH CIRCUITS TO THE PANEL AS THOUGH THE ROUTES WERE COMPLETELY INDICATED.
- D. AVOID CUTTING AND BORING HOLES THROUGH STRUCTURE OR STRUCTURAL MEMBERS WHEREVER POSSIBLE. OBTAIN PRIOR APPROVAL OF ARCHITECT AND CONFORM TO ALL STRUCTURAL REQUIREMENTS WHEN CUTTING OR BORING THE STRUCTURE IS NECESSARY AND PERMITTED.

3.2 – ELECTRICAL GROUNDING

GROUND ALL ELECTRICAL EQUIPMENT IN ACCORDANCE WITH NEC. IN ADDITION PROVIDE A SEPARATE GROUND WIRE FOR ALL FEEDERS AND BRANCH CIRCUITS.

3.3 – ELECTRICAL EQUIPMENT INSTALLATION

- A. HEAD ROOM MAINTENANCE: IF MOUNTING HEIGHTS OR OTHER LOCATION CRITERIA ARE NOT INDICATED, ARRANGE AND INSTALL COMPONENTS AND EQUIPMENT TO PROVIDE THE MAXIMUM POSSIBLE HEADROOM.
- B. MATERIALS AND COMPONENTS: INSTALL LEVEL, PLUMB, AND PARALLEL AND PERPENDICULAR TO OTHER BUILDING SYSTEMS AND COMPONENTS, UNLESS OTHERWISE INDICATED.
- C. EQUIPMENT: INSTALL TO FACILITATE SERVICE, MAINTENANCE, AND REPAIR OR REPLACEMENT OF COMPONENTS. CONNECT FOR EASE OF DISCONNECTING, WITH MINIMUM INTERFERENCE WITH OTHER INSTALLATIONS.
- D. RIGHT OF WAY: COORDINATE INSTALLATION OF ELECTRICAL DEVICES WITH OTHER TRADES.

3.4 – RACEWAY AND CABLE INSTALLATION

- A. ABOVE GRADE: RIGID STEEL OR IMC IN WET LOCATIONS, WHERE SUBJECT TO MECHANICAL DAMAGE AND IN CONCRETE OR BLOCK WALLS, EMT IN OTHER LOCATIONS WHERE PERMITTED BY CODE. METAL CLAD OR NM CABLE WITHIN UNITS, ONLY WHERE ALLOWED BY LOCAL AUTHORITY HAVING JURISDICTION.
- B. CONCEAL RACEWAYS AND CABLES WITHIN FINISHED WALLS, CEILINGS, AND FLOORS, UNLESS OTHERWISE INDICATED.
- C. INSTALL RACEWAYS AND CABLES AT LEAST SIX (6) INCHES AWAY FROM PARALLEL RUNS OF FLUES AND STEAM OR HOT-WATER PIPES. LOCATE HORIZONTAL RACEWAY RUNS ABOVE WATER AND STEAM PIPING.
- D. USE TEMPORARY RACEWAY CAPS TO PREVENT FOREIGN MATTER FROM ENTERING.
- E. MAKE CONDUIT BENDS AND OFFSETS SO INSIDE DIAMETER IS NOT REDUCED. KEEP LEGS OF BENDS IN THE SAME PLANE AND STRAIGHT LEGS OFFSETS PARALLEL, UNLESS OTHERWISE INDICATED.
- F. USE RACEWAY FITTINGS AND CABLE FITTINGS COMPATIBLE WITH RACEWAYS AND CABLES AND SUITABLE FOR THIS APPLICATION AND LOCATION.
 - 1. SECURE RACEWAYS TO REINFORCING RODS TO PREVENT SAGGING OR SHIFTING DURING CONCRETE PLACEMENT.
 - 2. SPACE RACEWAYS LATERALLY TO PREVENT VOIDS IN CONCRETE.
 - 3. INSTALL CONDUIT LARGER THAN 1-INCH TRADE SIZE PARALLEL TO OR AT RIGHT ANGLES TO MAIN REINFORCEMENT. WHERE CONDUIT IS AT RIGHT ANGLES TO REINFORCEMENT, PLACE CONDUIT CLOSE TO SLAB SUPPORT.
 - 4. TRANSITION FROM NONMETALLIC TUBING TO RIGID STEEL CONDUIT, OR IMC BEFORE RISING ABOVE FLOOR.
- H. MAKE EXPOSED BENDS FOR BANKED RUNS FROM SAME CENTERLINE IN ORDER THAT BENDS ARE PARALLEL. USE FACTORY ELBOWS ONLY WHERE ELBOWS CAN BE INSTALLED PARALLEL; OTHERWISE, PROVIDE FIELD BENDS FOR EXPOSED PARALLEL RACEWAYS.
- I. INSTALL PULL WIRES IN EMPTY RACEWAYS. USE NO. 14 AWG ZINC-COATED STEEL OR MONOFILAMENT PLASTIC LINE WITH NOT LESS THAN 200-LB TENSILE STRENGTH. LEAVE AT LEAST 12-INCHES OF SLACK AT EACH END OF PULL WIRE.
- J. INSTALL TELEPHONE AND SIGNAL SYSTEM RACEWAYS, 2-INCH TRADE SIZE AND SMALLER, IN MAXIMUM LENGTHS OF 150 FEET (45 M) AND WITH A MAXIMUM OF TWO 90-DEGREE BENDS OR EQUIVALENT. SEPARATE LENGTHS WITH PULL OR JUNCTION BOXES WHERE NECESSARY TO COMPLY WITH THESE REQUIREMENTS, IN ADDITION TO REQUIREMENTS ABOVE.
- K. CONNECT MOTORS AND EQUIPMENT SUBJECT TO VIBRATION, NOISE TRANSMISSION, OR MOVEMENT WITH A MAXIMUM OF 72-INCH FLEXIBLE CONDUIT. INSTALL LFMC IN WET OR DAMP LOCATIONS. INSTALL A SEPARATE GROUND CONDUIT ACROSS FLEXIBLE CONNECTIONS.
- L. SET FLOOR BOXES LEVEL AND TRIM AFTER INSTALLATION TO FIT FLUSH TO FINISHED FLOOR SURFACE.
- M. CONDUCTORS: TYPE THHN/THWN INSULATED CONDUCTORS IN RACEWAY.
- N. INSTALL SPLICES AND TAPS THAT ARE COMPATIBLE WITH CONDUCTOR MATERIAL AND THAT POSSESS EQUIVALENT OR BETTER MECHANICAL STRENGTH AND INSULATION RATINGS THAN UNSPLICED CONDUCTORS.
- O. INSTALL WIRING AT OUTLETS WITH AT LEAST 12 INCHES OF SLACK CONDUCTOR AT EACH OUTLET.
- P. CONNECT OUTLET AND COMPONENT CONNECTIONS TO WIRING SYSTEMS AND TO GROUND. TIGHTEN ELECTRICAL CONNECTORS AND TERMINALS, ACCORDING TO MANUFACTURER'S PUBLISHED TORQUE-TIGHTENING VALUES. IF MANUFACTURER'S TORQUE VALUES ARE NOT INDICATED, USE THOSE SPECIFIED IN UL 486A.

3.5 IDENTIFICATION

- A. PROVIDE ENGRAVED 3 LAYER LAMINATE PLASTIC NAMEPLATES FOR PANELBOARDS, DISCONNECT SWITCHES AND ALL SIMILAR DEVICES.
- B. COLOR-CODE 208Y/120-VOLT SYSTEM SECONDARY SERVICE, FEEDER, AND BRANCH-CIRCUIT CONDUCTORS THROUGHOUT THE SECONDARY ELECTRICAL SYSTEM AS FOLLOWS:
 - 1. PHASE A: BLACK
 - 2. PHASE B: RED
 - 3. PHASE C: BLUE
 - 4. NEUTRAL: WHITE
 - 5. GROUND: GREEN

3.6 STARTUP SERVICES

CONTRACTOR SHALL ALLOT A MINIMUM OF 2 HOURS FOR STARTUP SERVICES. START AND OPERATE ALL SYSTEMS AS REQUIRED BY THE OWNER. INSTRUCT OWNER'S REPRESENTATIVE ON THE PROPER OPERATION AND MAINTENANCE OF THE SYSTEMS AND EQUIPMENT.

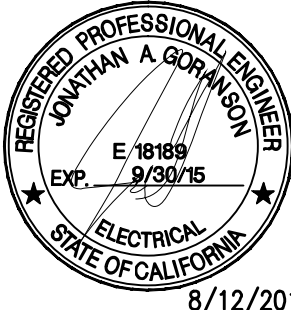
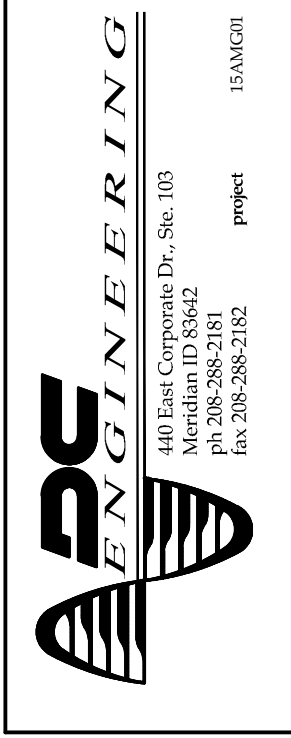
3.7 OPERATING AND MAINTENANCE INSTRUCTIONS (O+M MANUAL)

PREPARE THREE (3) COPIES FOR ALL EQUIPMENT.

3.8 RECORD AS-BUILTS

PROVIDE (1) CLEAN, LEGIBLE COPY OF DRAWINGS TO ENGINEER INDICATING ALL DEVIATIONS FROM INITIAL DESIGN (AS-BUILT CONDITIONS).

END OF SECTION



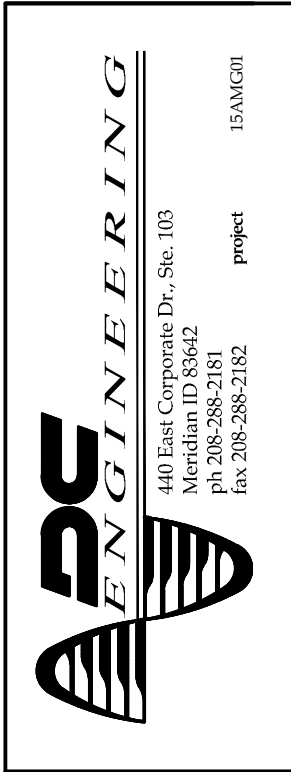
NO.	REVISIONS	DATE			

WARD CREEK COTTAGES - Walpert and 2nd Streets

ELECTRICAL SPECIFICATIONS

SCALE:
N.T.S.
DATE:
06/17/2015
DRAWN BY:
CD
REVISION:

SHEET
E0.1



REVISIONS		DATE
NO.		

WARD CREEK COTTAGES - Walpert and 2nd Streets

SITE ELECTRICAL PLAN

SCALE: 1" = 40'-0"
DATE: 06/17/2015
DRAWN BY: CD
REVISION:

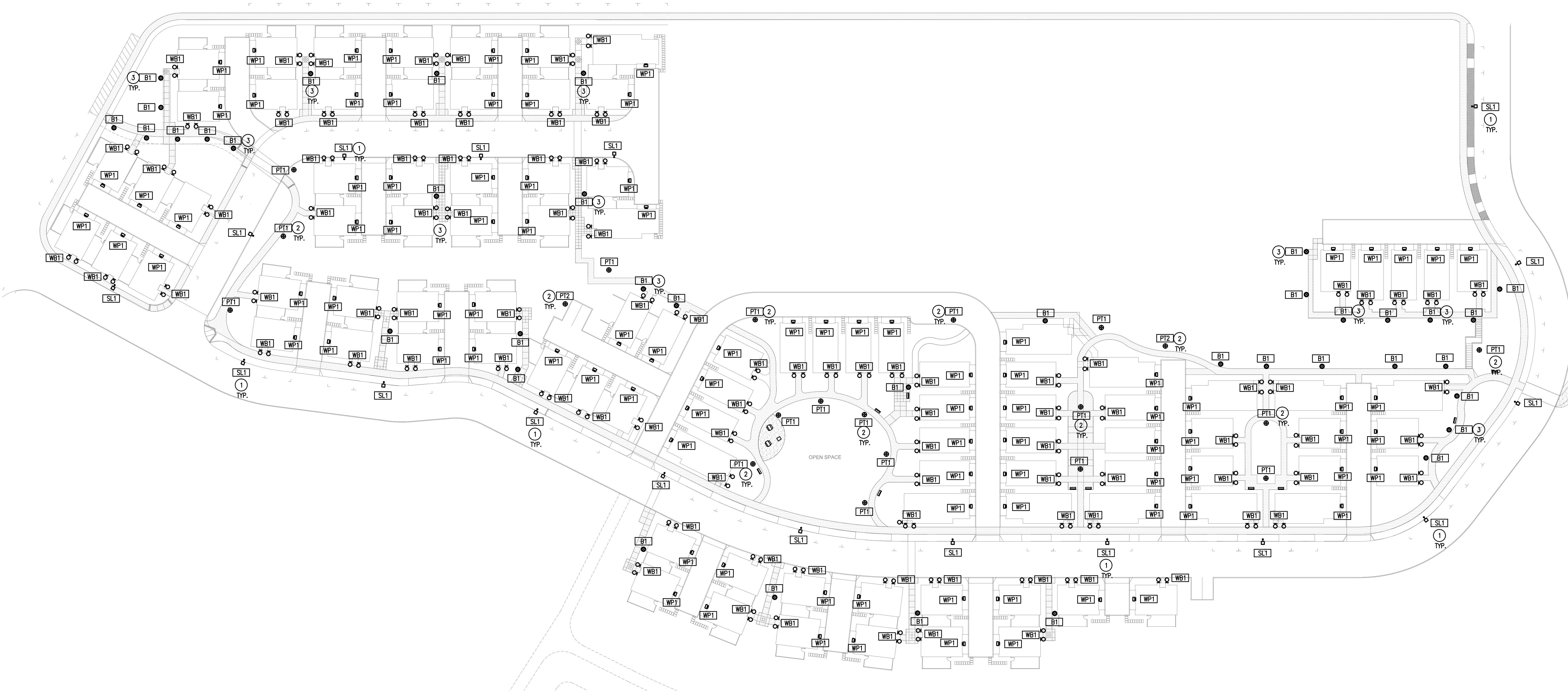
SHEET
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GENERAL SITE NOTES:

- CONTRACTOR SHALL CONTACT UNDERGROUND UTILITY LOCATING SERVICE PRIOR TO EXCAVATION FOR ELECTRICAL WORK.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL OTHER SITE DISCIPLINES INCLUDING BUT NOT LIMITED TO TRADES ASSOCIATED WITH WATER, SEWER, AND GAS INSTALLATIONS.
- ALL EXTERIOR LIGHTING IS TO BE ROUTED THROUGH A LIGHTING CONTACTOR. LOCATE LIGHTING CONTACTOR NEXT TO THE PANEL SUPPLYING POWER TO THE FIXTURE(S). PROVIDE PHOTO-CELL ON ROOF AND ELECTRO-MECHANICAL 7-DAY TIME CLOCK ADJACENT TO CONTACTOR CABINET.
- ELECTRICAL CONTRACTOR SHALL COORDINATE UTILITY WORK REQUIRED BY LOCAL ELECTRICAL UTILITY AND SHALL FORWARD WORK ORDER INVOICE TO OWNER FOR PAYMENT.

SITE KEY NOTES:

- REFER TO CITY OF HAYBURN CALIFORNIA DEPARTMENT OF PUBLIC WORKS STANDARD LIGHTING DETAIL SD-120 FOR SPECIFIC INFORMATION DETAILING STREET LIGHT POLE REQUIREMENTS.
- REFER TO DETAIL 1, SHEET E0.00 FOR TYPICAL POST TOP LIGHT FIXTURE DETAIL.
- REFER TO DETAIL 2, SHEET E0.00 FOR BOLLARD DETAIL.



SITE ELECTRICAL PLAN
SCALE: 1" = 40'-0"



8/12/2015

DATE	
REVISIONS	
NO.	

WARD CREEK COTTAGES - Walpert and 2nd Streets

SITE PHOTOMETRIC PLAN

SCALE:
1"=40'-0"
DATE:
06/17/2015
DRAWN BY:
CD
REVISION:

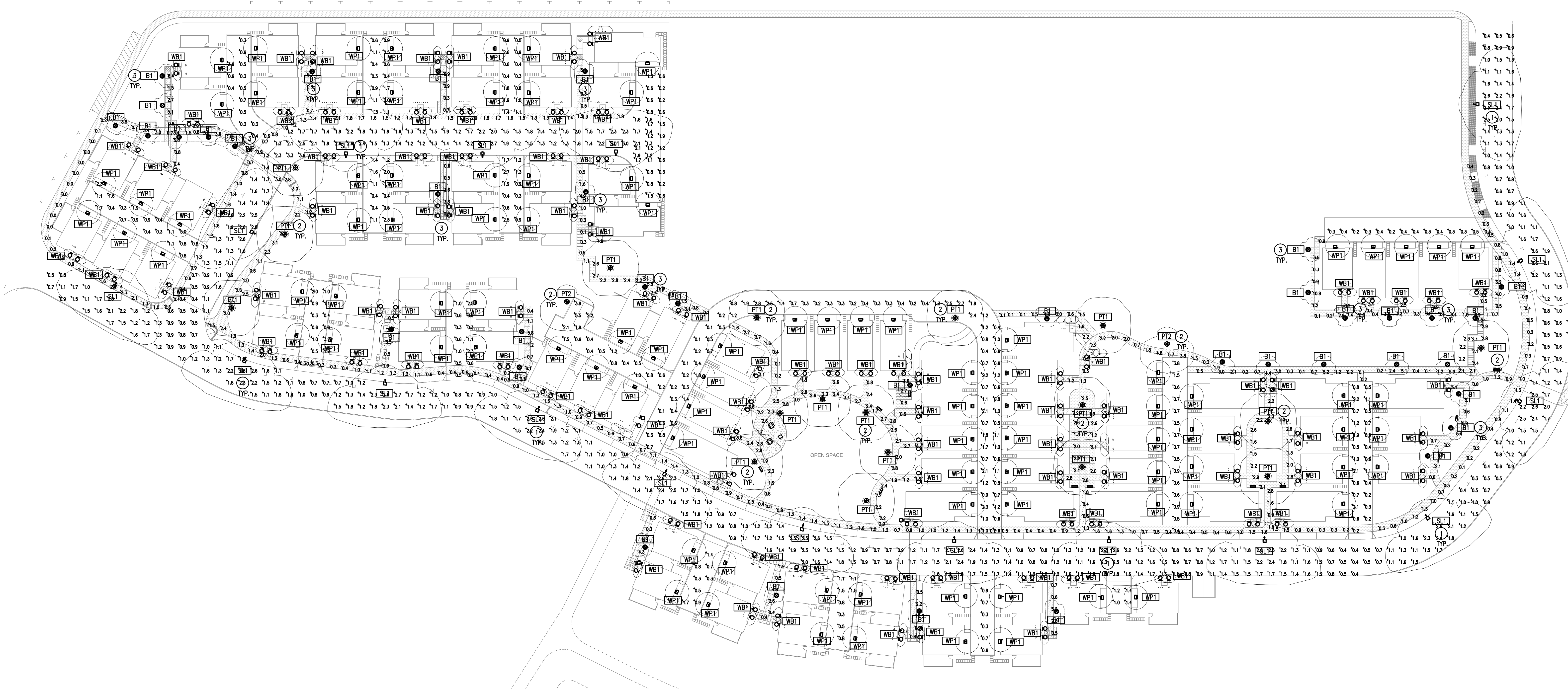
SHEET
E1.1

GENERAL NOTES:

- VALUES SHOWN INDICATE ESTIMATED ILLUMINATION LEVEL AT GRADE IN FOOT-CANDLES.
- LUMINAIRE SCHEDULE PROVIDED ON THIS SHEET IS FOR REFERENCE PURPOSES ONLY. FOR DETAILED INFORMATION SUCH AS MANUFACTURER AND PART NUMBER, REFER TO THE LUMINAIRE SCHEDULE ON SHEET Ex.xx.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Wattage
	B1	38	Antique Street Lamps	TLRCB10 18 LED 700MA 41K GCF R3	TLRCB10 LED, 2 MODULES, 18 LED, 700mA, 4100K, TYPE 3 OPTIC.	18 22W LED ARRAY	1	1040.014	23
	PT1	2	Antique Street Lamps	TLRCL15 48LED 350mA 40K GCF R4 120 DBL	RESONANCE 1.5 48LED 350mA 4000K FLAT LENS TYPE 4 120 DBL TEMP 50.3C	ONE 58.5-WATT LED, PENDANT DOWNLIGHT POS.	1	4221.929	59
	PT2	18	Antique Street Lamps	TLRCL15 48LED 350mA 40K GCF R5 120 DBL	RESONANCE 1.5 48LED 350mA 4000K FLAT LENS TYPE 5 120 DBL TEMP 52.7C	ONE 58.5-WATT LED, PENDANT DOWNLIGHT POS.	1	4515.78	59
	SL1	17	Cree Inc	BXSPBx2ME40K-xxxxxx CONFIGURED FROM BXSPBx2ME40K-xxxxxx OF BXSPBx2ME40K-xxxxxx	CONFIGURED FROM Cree XSP Series Area/Street Luminaire, Double Module, Type II Medium, 4000K, 8 Input Power Designator	CONFIGURED FROM Five type MDA LEDs	1	9611.786	101
	WB1	194	Lithonia Lighting	OLLWD	OUTDOOR LED WALL DOWNLIGHT CYLINDER WITH 4000K LEDs AND POLYCARBONATE LENSES	LED	1	263.5878	9
	WP1	97	Lithonia Lighting	WSTM LED 2A 40K 120 DIFS	WSTM LED WITH 2 BOARDS, 4000K CCT, 120 VOLT, DIFFUSE GLASS LENS	SAMSUNG 2323	1	1277.289	16

Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
Private Drive Aisle	0.9 fc	5.5 fc	0.1 fc	55.0:1	9.0:1
Sidewalk	1.7 fc	11.6 fc	0.0 fc	N/A	N/A
Street	1.4 fc	3.6 fc	0.3 fc	12.0:1	4.7:1



SITE PHOTOMETRIC PLAN
SCALE: 1" = 40'-0"

LENS

SELECT YOUR OPTION'S FORM

☐ GF Glass Flat Lens

DISTRIBUTION

Type III
Pointing light before shield of the lens forms clear Type IV pattern. It maintains a significant beam spread.

Type IV
Clear Guard Distributor light shield surrounding lens. No beam spread or ingress. Light response is soft and light fielded point.

Type V
Ingressed uniformly with variations of the Type IV distribution. The highly square pattern compared to regular "Type V"

SELECT YOUR OPTIONS FORM

☐ R3 Type III
☐ R4 Type IV
☐ RS Type V

HOUSE SIDE
SIDE SIDE

VOUJAGE

SELECT YOUR OPTIONS FORM

☐ AVOLT 120-277 Vol

ELECTRICAL OPTIONS

SELECT YOUR OPTIONS FORM

☐ SE Single Fitting 120, 277 or 347 volt only
☐ DF Double Fitting 208, 240 or 480 volt only
☐ SPD6KV Surge Protection

FINISH

The luminaires have a powder coat finish utilizing a premium TGIC polyester powder. The finish is a three-stage process which consists of drying powder application and curing before coating the parts are treated with a three-stage pretreatment process, consisting of a heated alkaline cleaner, rinses, phosphate coating, rinse and sealant.

For a complete listing of colors, visit:
www.aaculynighting.com/colorchart/colors

Notes:
C4X This choice requires that a custom powder be manufactured to match a specific color chip provided by the specifier.
CS, ALD offers custom selected RAJ powder coat colors. See chart (Form TBA3) for suggested optional colors or contact the factory.

SELECT YOUR OPTIONS FORM

<input type="checkbox"/> DBL Black	
<input type="checkbox"/> DDBL Dark Brown	
<input type="checkbox"/> DNA Natural Aluminum	
<input type="checkbox"/> DWB White	
<input type="checkbox"/> CAL Custom Match	
<input type="checkbox"/> CS Custom Select (RAL colors)	

TALCBIOLED

VOLTAGE

SELECT YOUR OPTIONS FROM

- ☐ 120 120 Volt
- ☐ 208 208 Volt
- ☐ 240 240 Volt
- ☐ 277 277 Volt
- ☐ 347¹ 347 Volt
- ☐ 480¹ 480 Volt
- ☐ MVOLT

Notes:

1. 347 and 480V not available with dimming

LENS

SELECT YOUR OPTIONS FROM

- ☐ GCF Glass Flat Lens

OPTIONS

SELECT YOUR OPTIONS FROM

- ☐ SF Single Fusing
- ☐ DF Double Fusing
- ☐ SPD6KV¹ Surge Protection
- ☐ SPD10KV¹ Surge Protection

Notes:

2. Specific voltage required with surge protection

Technical drawing of the ACITY BRUSH LENS assembly. The drawing shows a cross-section of the lens with various components labeled. Dimensions are provided for the lens height (2 1/2" and 4 1/2" O.D.), the lens diameter (4 1/2" O.D.), and the lens thickness (1/2").

- ROOF COUPLER HOUSING (Direct connect; remove top cap)
- H-FLY 1980 LED ENGINE
- LENS SPRING (ANTI SLOP) (Direct connect)
- CAUTION! FATTORINO (Remove assembly; do not heat; use for access)
- FLAT GLASS LENS (Double horizontal glass)
- DRAWER LED (down - off) (Direct connect; mounted with gasket and ballast)
- DRAWER ASSEMBLY (down - off) with factory-installed lens
- LUMINAIRE BASE WITH LAMP (Cold connection)
- BASE SCREWS (3/16" x 1/2" and 3/16" x 1/4" not shown for 7" O.D. = 7" tall pole lamp)
- QUICK-DISCONNECT PLUG

TLR15 LED

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VOLTAGE

SELECT YOUR OPTIONS FROM

☐ 120 120Vdc
☐ 208 208Vdc
☐ 240 240Vdc
☐ 277 277Vdc
☐ 347 347Vdc
☐ 480 480Vdc
☐ 480VOLT

Notes:
 1, 347 and 480V not available with dimming

LENS

SELECT YOUR OPTIONS FROM

☐ GF Glass Flat Lens

OPTIONS

SELECT YOUR OPTIONS FROM

☐ SI Single Fung
☐ DF Double Fung
☐ SFD6KV³ Surge Protection
☐ SFD10KV³ Surge Protection

Notes:
 2, Specific voltage required with surge protection

Technical drawing of the AC8071 Acuity Brash Lighting fixture. The drawing shows a side view of the fixture with various components labeled and dimensions provided. The dimensions include a height of 12 1/2" Dia. - 10", a width of 1 1/2", and a depth of 1 1/2". The components labeled are:

- ROOF OPTICAL HOUSING
Direct entrance, single light output
- HER-SEAL LED ENGINE
- LED BNC - ILM SUPPORT
Direct entrance
- CAPTIVE INTERNEUR
Weather mounted, direct heat lines for access
- FLAT GLASS LENS
Single, horizontal glass
- DRIVER LED (power off)
Direct entrance mounted with gasket and lens
- DRIVER ASSEMBLY (power on)
with factory pre-wired cable
- LUMINAIRE BNC WITH HARPS
Cold junction
- BASE SCREWS
1/8" x 1/4" stainless steel set screws for 3" O.D. x 7/8" tall pole arm
- QUICK-DISCONNECT PLUGS

TLRC15 LED

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Rev. 01/12

LED AREA

SLI

SP Series Area

XSP1 Area

XSP2 Area

MAKING THE SWITCH TO LED LIGHTING IS AN EASY DECISION.

Designed to replace up to 400W metal halide pole-mounted area lights, the Cree XSP Series Area light provides an excellent alternative to traditional HPI lighting with superior optical control to put the light exactly where it needs to go. The XSP Area lineups Cree's innovative technology, designed for the industry-leading XSP Series street lights, offering customers a premier area lighting solution covered by a 10-year limited warranty.

BENEFITS

- Improved illumination performance
- Significant energy and maintenance savings
- Eliminates the warmup cycle
- Field Adjustable Output option for increased flexibility
- 10-year limited warranty

FEATURES

- Minimum 70 CRI, 40,000K & 40,000K, 80 CRI (3000K)
- CCT: 3000K (v=3000), 4000K (v=4000), 5000K (v=5000)
- Utilizes Intel LED Technology
- Nonstandard Precision Delivery (v=4) option
- Exclusive Color Text Display® Finish

APPLICATIONS

- Airport, auto dealership, corporate & office, education, government, healthcare, industrial & maritime, municipal, parking, pedestrian, petroleum & convenience stores, recreation & public venues, restaurants & hospitality, retail & grocery

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