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DEVELOPER

WARMINGTON RESIDENTIAL
2400 CAMINO RAMON
SAN RAMON, CA 94582
(925) 249-7945
CONTACT: DON BABBITT

CIVIL ENGINEER

CARLSON, BARBEE & GIBSON INC.
2633 CAMINO RAMON
SAN RAMON, CA 94582
(925) 866-0322
CONTACT: LEE ROSENBLATT

LANDSCAPE ARCHITECT

RIPLEY DESIGN GROUP
1615 BONANZA STREET
WALNUT CREEK, CA 94596
(925) 938-7377
CONTACT: ANNIKA CARPENTER

ARCHITECT

SDG ARCHITECTS, INC.
3361 WALNUT BLVD. SUITE 120
BRENTWOOD, CA 94513
(925) 634-7000
CONTACT: JENNIFER MASTRO



NOVEMBER 30, 2015



*DOLLAR PLACE
PLANNED DEVELOPMENT*
HAYWARD, CALIFORNIA



LEGEND

EXISTING	PROPOSED	DESCRIPTION
		SUBDIVISION BOUNDARY
		RIGHT-OF-WAY
		EASEMENT
		SIDEWALK
		FENCE
		SPOT ELEVATIONS

ABBREVIATIONS

ACFC	ALAMEDA COUNTY FLOOD CONTROL
DW	DRIVEWAY
EX	EXISTING
FC	FACE OF CURB
PL	PROPERTY LINE
PUE	PUBLIC UTILITY EASEMENT
RW	RIGHT-OF-WAY
SW	SIDEWALK
TYP	TYPICAL

WE, WARMINGTON RESIDENTIAL, AGREE TO THE FILING OF SAID MAP AND TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.

BY: _____ DATE: _____

I, LEE ROSENBLATT, CERTIFY THAT THIS TENTATIVE MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT IT COMPLIES WITH THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT.

BY: LEE ROSENBLATT, RCE #65489 DATE: _____

A SOILS REPORT ON THIS PROPERTY HAS BEEN PREPARED BY ENGeo. ENTITLED "PRELIMINARY GEOTECHNICAL REPORT 25891 AND 25915 DOLLAR STREET", DATED 09/10/15, WHICH HAS BEEN FILED WITH THE CITY OF HAYWARD.

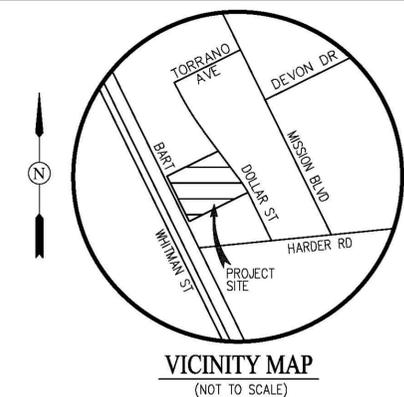
BY: _____ DATE: _____

I, MARK H. WEBER, A LICENSED LAND SURVEYOR IN THE STATE OF CALIFORNIA, HEREBY STATE THAT THIS TENTATIVE MAP IS BASED UPON A SURVEY UNDER MY DIRECT SUPERVISION AND THAT IT COMPLIES WITH THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT.

BY: MARK H. WEBER DATE: _____

CONTACTS:

- DEVELOPER: WARMINGTON RESIDENTIAL
2400 CAMINO RAMON, SUITE 234
SAN RAMON, CALIFORNIA 94583
(925) 866-6700
DON BABBITT
- ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583
(925) 866-0322
LEE ROSENBLATT, RCE 65469
- SOILS ENGINEER: ENGeo
2010 CROW CANYON PLACE, SUITE 250
SAN RAMON, CALIFORNIA 94583
(925) 866-9000
DINO BERNARDI

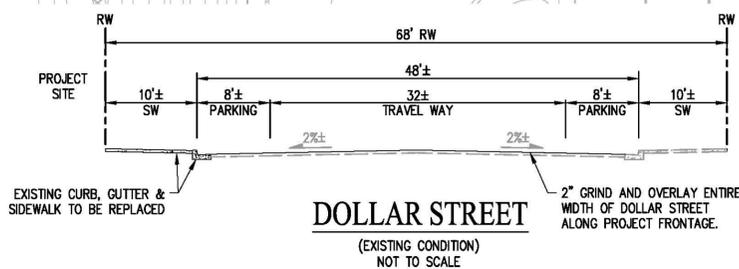
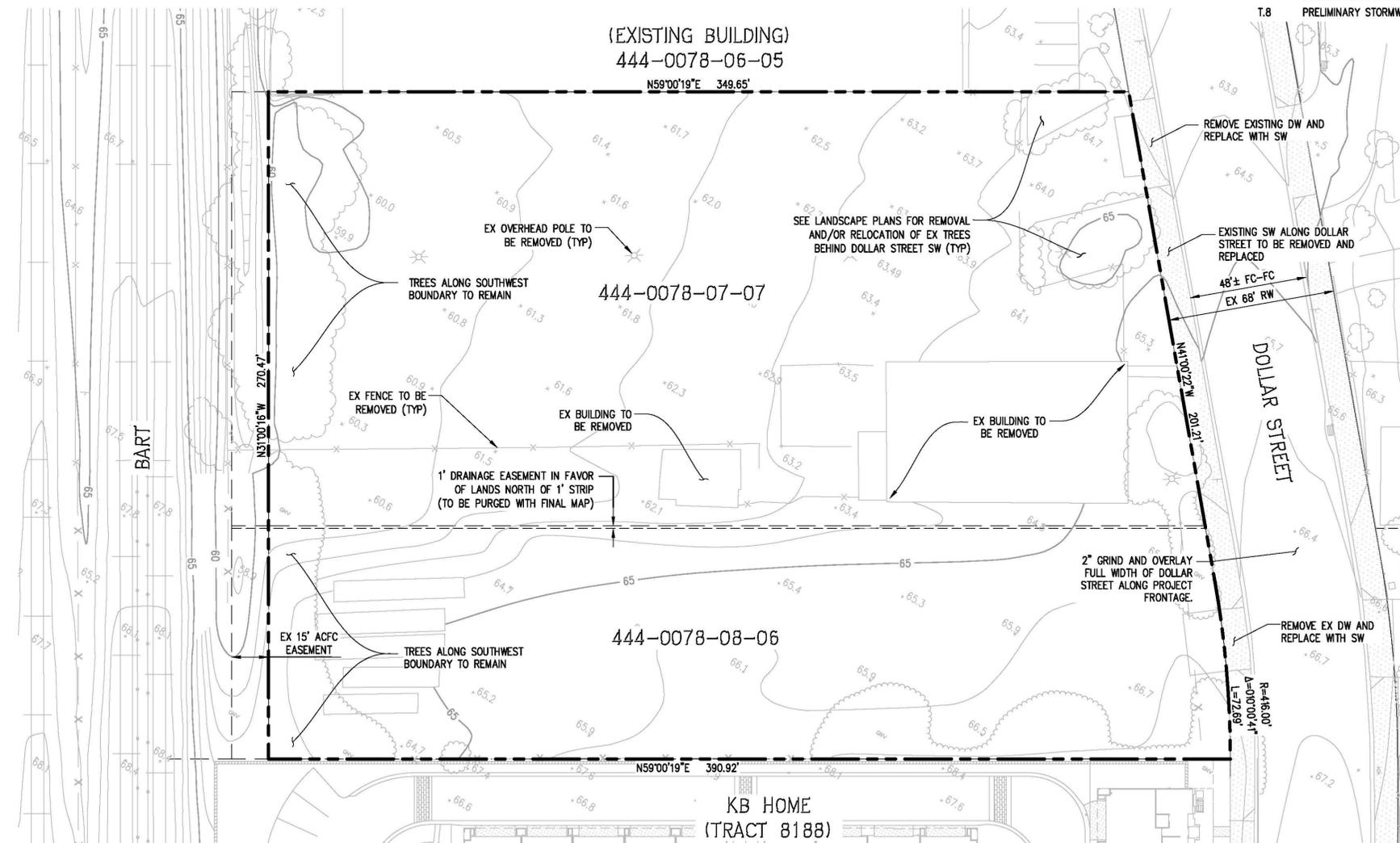


SHEET INDEX

SHEET NO.	SHEET TITLE
T.1	EXISTING CONDITIONS
T.2	LOTING PLAN
T.3	SITE PLAN
T.4	GRADING PLAN
T.5	UTILITY PLAN
T.6	CIRCULATION PLAN
T.7	SOLID WASTE MANAGEMENT AND CONSTRUCTION PHASING PLAN
T.8	PRELIMINARY STORMWATER CONTROL PLAN

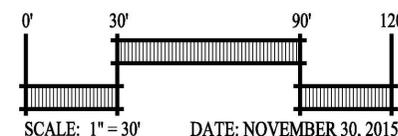
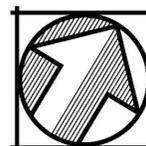
GENERAL NOTES:

- ACCESSORS PARCEL NO.: 444-0078-08-06
444-0078-07-07
- SITE ADDRESS: 25915 DOLLAR STREET, HAYWARD, CA
25891 DOLLAR STREET, HAYWARD, CA
- SITE AREA: 2.31± ACRES
- EXISTING ZONING: MT-14-2 URBAN GENERAL ZONE
PROPOSED ZONING: MT-14-2 URBAN GENERAL ZONE
- EXISTING USE: SUSTAINABLE MIXED-USE
PROPOSED USE: MULTIFAMILY RESIDENTIAL - 8 BUILDINGS, 42 UNITS
- BENCHMARK: TOP OF BRASS DISK ON BRIDGE DECK ON WHITMAN STREET OVERPASS OVER HARDER ROAD. ELEVATION = 68.64 NGVD29, CITY OF HAYWARD DATUM MONUMENTATION PLAT FILE NO. 1-42
- EXISTING STRUCTURES: ALL EXISTING BUILDINGS AND PAVEMENT WITHIN BOUNDARY TO BE REMOVED
- STREETS: ALL ROADWAYS WITHIN THE SUBDIVISION WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. ALL PRIVATE STREETS WILL BE WITHIN PUE'S. THE MINIMUM LONGITUDINAL SLOPE OF ALL STREETS IS TO BE 0.50%.
- TREES: TREES ALONG SOUTHWEST BOUNDARY TO REMAIN. ALL OTHER TREES WITHIN SITE BOUNDARY TO BE REMOVED AND OR RELOCATED.
- STREET TREES: STREET TREES SHALL BE INSTALLED PER SD-122
- WALLS AND FENCING: ALL WALLS AND FENCING WILL BE PRIVATE FACILITIES AND PRIVATELY MAINTAINED
- STORM DRAIN: PROPOSED ONSITE STORM DRAIN FACILITIES WILL BE PRIVATE FACILITIES AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION
- PUBLIC UTILITIES: PROPOSED ONSITE WATER AND SANITARY SEWER FACILITIES ARE PUBLIC AND WILL BE WITHIN A SANITARY AND/OR WATER EASEMENT. PROPOSED WATER AND SANITARY SEWER FACILITIES WILL BE CONSTRUCTED PER CITY OF HAYWARD STANDARDS AND DEDICATED TO THE CITY.
- FLOOD ZONE: ZONE-X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN REFER TO: FLOOD INSURANCE RATE MAP PANEL 06001C0289G, AUGUST 3, 2009
- WELLS ONSITE: NONE
- WATER: CITY OF HAYWARD
- SEWER: CITY OF HAYWARD
- GAS & ELECTRIC: PG&E
- TELEPHONE: SBC
- CABLE TV: COMCAST CABLE
- DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP
- FINAL MAP: ONE FINAL MAP SHALL BE FILED FOR THIS SITE
- HOMEOWNER'S ASSOCIATION: A HOMEOWNER'S ASSOCIATION SHALL BE CREATED FOR THE DEVELOPMENT TO MAINTAIN PRIVATE AMENITIES



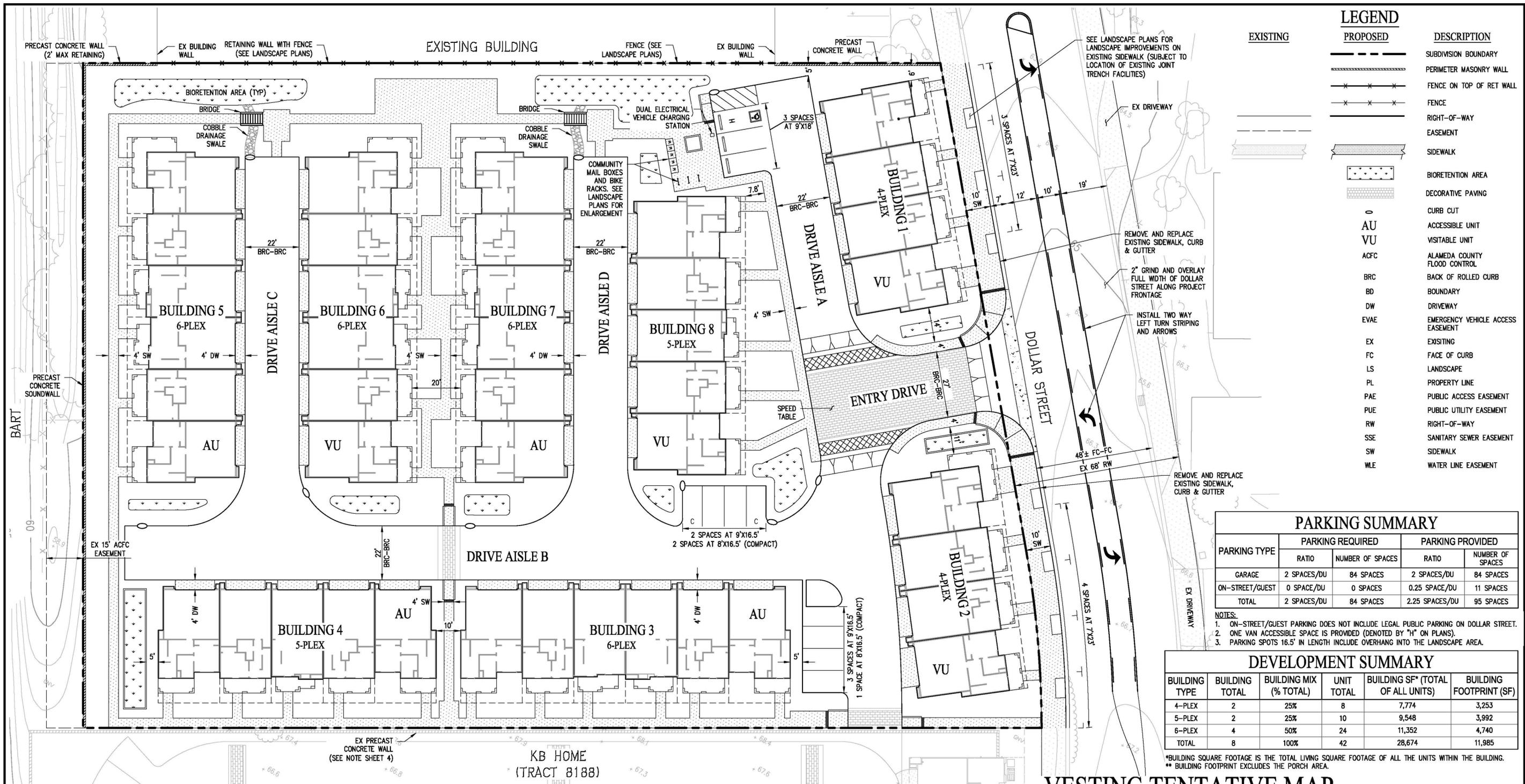
**VESTING TENTATIVE MAP
EXISTING CONDITIONS
DOLLAR PLACE - TRACT 8301**

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



cbg Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
2633 CAMINO RAMON, SUITE 350 SAN RAMON, CALIFORNIA 94583
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SHEET NO. **TM.1**
OF 45 SHEETS



LEGEND

EXISTING	PROPOSED	DESCRIPTION
- - - - -	- - - - -	SUBDIVISION BOUNDARY
=====	=====	PERIMETER MASONRY WALL
- x - x -	- x - x -	FENCE ON TOP OF RET WALL
- x - x -	- x - x -	FENCE
- - - - -	- - - - -	RIGHT-OF-WAY
- - - - -	- - - - -	EASEMENT
=====	=====	SIDEWALK
.....	BIORETENTION AREA
.....	DECORATIVE PAVING
o	o	CURB CUT
AU	AU	ACCESSIBLE UNIT
VU	VU	VISITABLE UNIT
ACFC	ACFC	ALAMEDA COUNTY FLOOD CONTROL
BRC	BRC	BACK OF ROLLED CURB
BD	BD	BOUNDARY
DW	DW	DRIVEWAY
EVAE	EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EX	EXISTING
FC	FC	FACE OF CURB
LS	LS	LANDSCAPE
PL	PL	PROPERTY LINE
PAE	PAE	PUBLIC ACCESS EASEMENT
PUE	PUE	PUBLIC UTILITY EASEMENT
RW	RW	RIGHT-OF-WAY
SSE	SSE	SANITARY SEWER EASEMENT
SW	SW	SIDEWALK
WLE	WLE	WATER LINE EASEMENT

PARKING SUMMARY

PARKING TYPE	PARKING REQUIRED		PARKING PROVIDED	
	RATIO	NUMBER OF SPACES	RATIO	NUMBER OF SPACES
GARAGE	2 SPACES/DU	84 SPACES	2 SPACES/DU	84 SPACES
ON-STREET/GUEST	0 SPACE/DU	0 SPACES	0.25 SPACE/DU	11 SPACES
TOTAL	2 SPACES/DU	84 SPACES	2.25 SPACES/DU	95 SPACES

- NOTES:**
- ON-STREET/GUEST PARKING DOES NOT INCLUDE LEGAL PUBLIC PARKING ON DOLLAR STREET.
 - ONE VAN ACCESSIBLE SPACE IS PROVIDED (DENOTED BY "H" ON PLANS).
 - PARKING SPOTS 16.5' IN LENGTH INCLUDE OVERHANG INTO THE LANDSCAPE AREA.

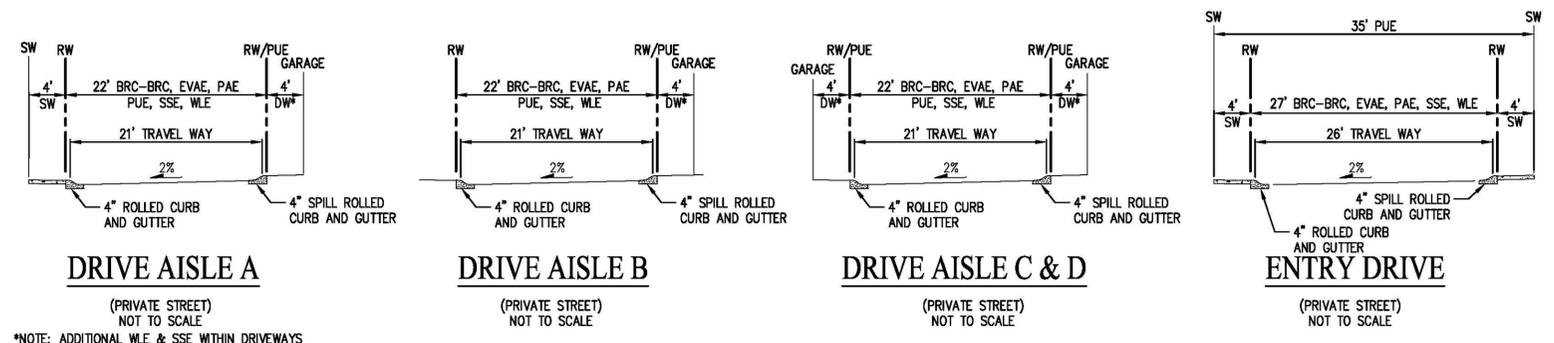
DEVELOPMENT SUMMARY

BUILDING TYPE	BUILDING TOTAL	BUILDING MIX (% TOTAL)	UNIT TOTAL	BUILDING SF* (TOTAL OF ALL UNITS)	BUILDING FOOTPRINT (SF)
4-PLEX	2	25%	8	7,774	3,253
5-PLEX	2	25%	10	9,548	3,992
6-PLEX	4	50%	24	11,352	4,740
TOTAL	8	100%	42	28,674	11,985

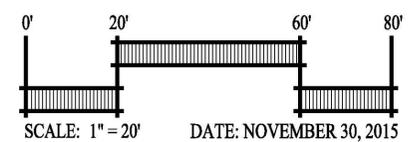
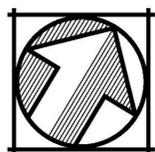
*BUILDING SQUARE FOOTAGE IS THE TOTAL LIVING SQUARE FOOTAGE OF ALL THE UNITS WITHIN THE BUILDING.
 ** BUILDING FOOTPRINT EXCLUDES THE PORCH AREA.

**VESTING TENTATIVE MAP
 SITE PLAN
 DOLLAR PLACE - TRACT 8301**

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

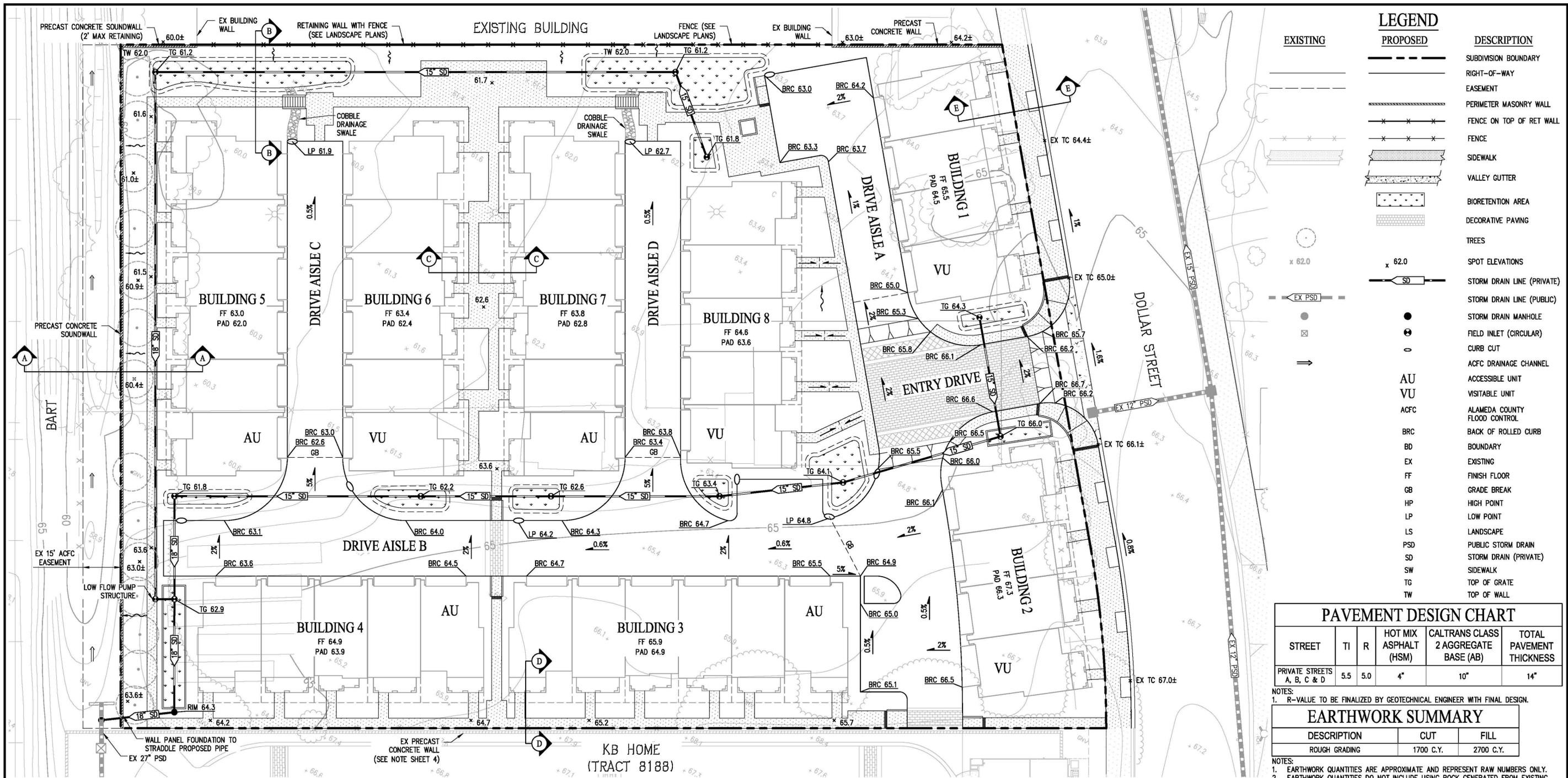


*NOTE: ADDITIONAL WLE & SSE WITHIN DRIVEWAYS



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SHEET NO.
TM.3
 OF 45 SHEETS



LEGEND

EXISTING	PROPOSED	DESCRIPTION
- - - - -	- - - - -	SUBDIVISION BOUNDARY
- - - - -	- - - - -	RIGHT-OF-WAY
- - - - -	- - - - -	EASEMENT
- - - - -	- - - - -	PERIMETER MASONRY WALL
- - - - -	- - - - -	FENCE ON TOP OF RET WALL
- - - - -	- - - - -	FENCE
- - - - -	- - - - -	SIDEWALK
- - - - -	- - - - -	VALLEY GUTTER
- - - - -	- - - - -	BIORETENTION AREA
- - - - -	- - - - -	DECORATIVE PAVING
- - - - -	- - - - -	TREES
x 62.0	x 62.0	SPOT ELEVATIONS
- - - - -	- - - - -	STORM DRAIN LINE (PRIVATE)
- - - - -	- - - - -	STORM DRAIN LINE (PUBLIC)
●	●	STORM DRAIN MANHOLE
○	○	FIELD INLET (CIRCULAR)
○	○	CURB CUT
⇨	⇨	ACFC DRAINAGE CHANNEL
AU	AU	ACCESSIBLE UNIT
VU	VU	VISITABLE UNIT
ACFC	ACFC	ALAMEDA COUNTY FLOOD CONTROL
BRC	BRC	BACK OF ROLLED CURB
BD	BD	BOUNDARY
EX	EX	EXISTING
FF	FF	FINISH FLOOR
GB	GB	GRADE BREAK
HP	HP	HIGH POINT
LP	LP	LOW POINT
LS	LS	LANDSCAPE
PSD	PSD	PUBLIC STORM DRAIN
SD	SD	STORM DRAIN (PRIVATE)
SW	SW	SIDEWALK
TG	TG	TOP OF GRATE
TW	TW	TOP OF WALL

PAVEMENT DESIGN CHART

STREET	TI	R	HOT MIX ASPHALT (HSM)	CALTRANS CLASS 2 AGGREGATE BASE (AB)	TOTAL PAVEMENT THICKNESS
PRIVATE STREETS A, B, C & D	5.5	5.0	4"	10"	14"

NOTES:
1. R-VALUE TO BE FINALIZED BY GEOTECHNICAL ENGINEER WITH FINAL DESIGN.

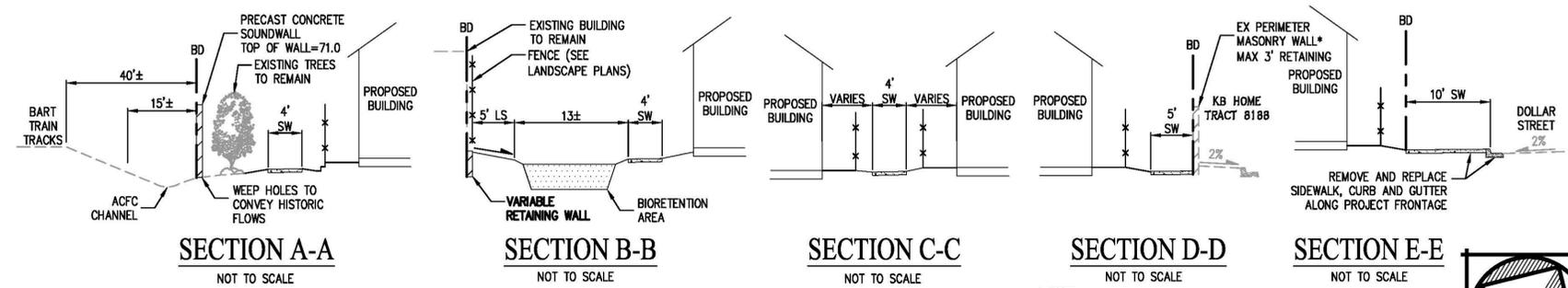
EARTHWORK SUMMARY

DESCRIPTION	CUT	FILL
ROUGH GRADING	1700 C.Y.	2700 C.Y.

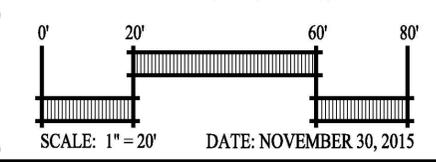
NOTES:
1. EARTHWORK QUANTITIES ARE APPROXIMATE AND REPRESENT RAW NUMBERS ONLY.
2. EARTHWORK QUANTITIES DO NOT INCLUDE USING ROCK GENERATED FROM EXISTING PARKING AREA OR BUILDING FOUNDATION.
3. ADDITIONAL MATERIALS MAY BE REQUIRED TO BALANCE.

**VESTING TENTATIVE MAP
GRADING PLAN
DOLLAR PLACE - TRACT 8301**

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



* NOTE:
COORDINATE PROJECT WITH KB HOME TRACT 8188 TO MODIFY APPROVED 6' PERIMETER MASONRY WALL WITH 3' PERIMETER MASONRY WALL WITH 3' OF WROUGHT IRON ABOVE



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SHEET NO. **TM.4**
OF 45 SHEETS

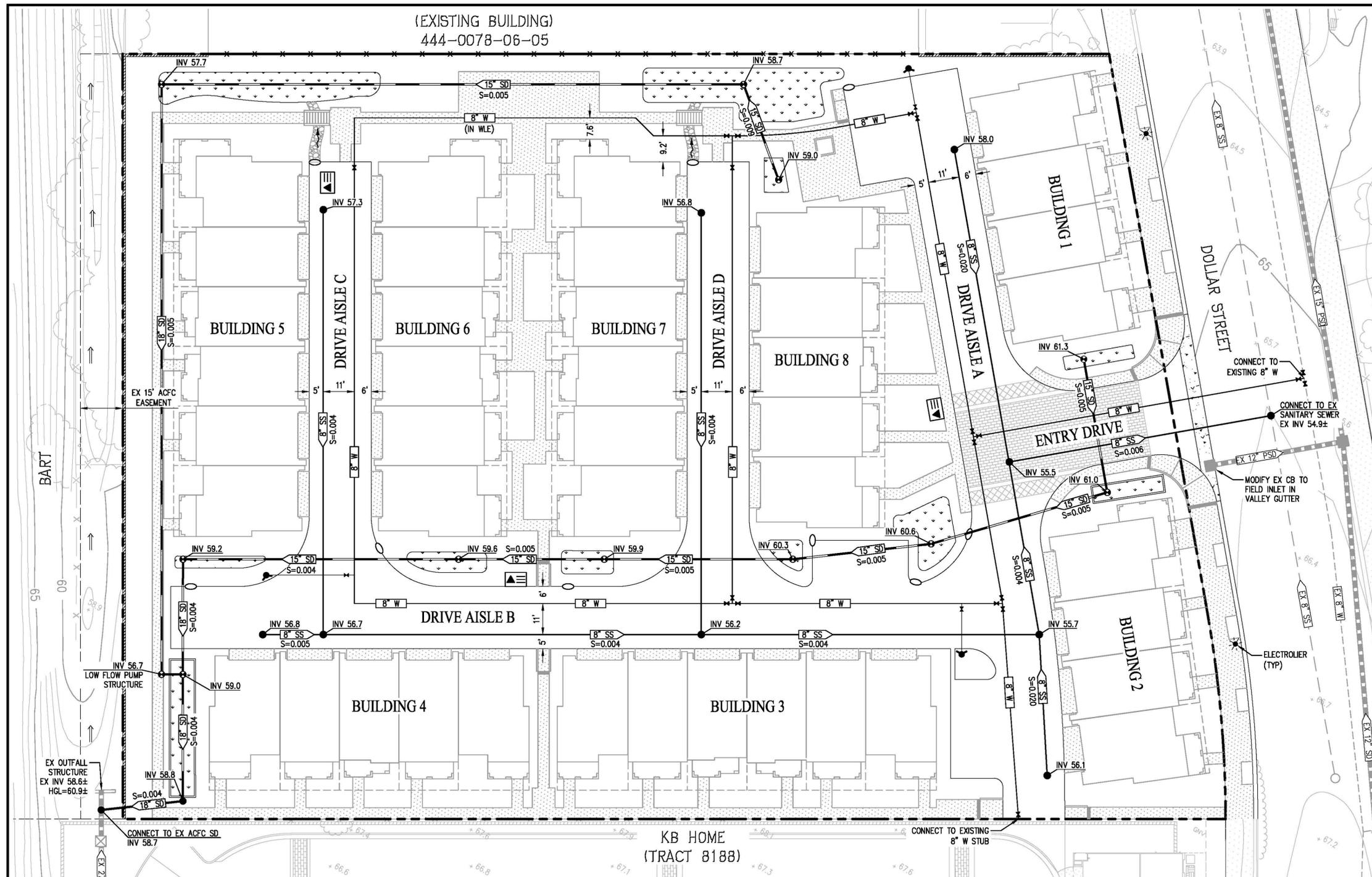
(EXISTING BUILDING)
444-0078-06-05

UTILITY NOTES:

1. EXISTING UTILITIES ALL EXISTING UTILITIES SERVING ORIGINAL USE WITHIN THE BOUNDARY TO BE REMOVED. EXISTING STORM DRAIN, SANITARY SEWER AND WATER WITHIN EASEMENTS TO REMAIN.
2. PUBLIC UTILITIES PROPOSED WATER AND SANITARY SEWER FACILITIES WITHIN PRIVATE ROADWAYS ARE PUBLIC AND WILL BE WITHIN A SANITARY AND/OR WATER EASEMENT. PROPOSED WATER AND SANITARY SEWER FACILITIES WILL BE CONSTRUCTED PER CITY OF HAYWARD STANDARDS AND BE DEDICATED TO THE CITY.
3. PRIVATE UTILITIES STORM DRAIN SYSTEM
4. STORM DRAIN PROPOSED ONSITE STORM DRAIN FACILITIES WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. MIN SLOPE OF PROPOSED STORM DRAIN PIPE = 0.0035. PUBLIC STORM DRAIN FACILITIES TO BE CONSTRUCTED TO CITY OF HAYWARD STANDARDS. ALL STORM PIPE TO BE RCP OR NDS N-12 PER CITY OF HAYWARD STANDARDS.
5. WATER A. WATER SHALL BE CONSTRUCTED PER CITY OF HAYWARD STANDARDS
B. PROVIDE KEYS/ACCESS CODE/AUTOMATIC GATE OPENER TO UTILITIES FOR ALL METERS ENCLOSED BY A FENCE/GATE AS PER HAYWARD MUNICIPAL CODE 11-2.02.1. ONLY WATER DISTRIBUTION PERSONNEL SHALL PERFORM OPERATION OF VALVES ON THE HAYWARD WATER SYSTEM.
C. WATER AND SEWER SERVICE AVAILABLE SUBJECT TO STANDARD CONDITIONS AND FEES IN EFFECT AT TIME OF APPLICATION.
D. ALL WATER MAINS OUTSIDE OF ROADWAY OR UNDER DECORATIVE PAVEMENT TO BE DUCTILE IRON PIPE.
6. SEWER CITY OF HAYWARD STANDARD MIN SLOPE OF PROPOSED SEWER PIPE = 0.0035
MIN SIZE OF PROPOSED SEWER MAIN IS 8". SEWER SHALL BE CONSTRUCTED OF PVC PIPE PER CITY OF HAYWARD STANDARDS.
7. GAS & ELECTRIC PG&E
8. TELEPHONE SBC
9. CABLE TV COMCAST CABLE
10. UTILITIES UTILITIES SHOWN ARE TO BE USED AS A GUIDE AND MAY CHANGE DURING FINAL DESIGN. DESIGN SHALL ADHERE TO CITY OF HAYWARD STANDARDS.

LEGEND

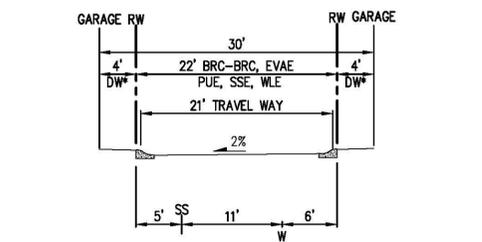
EXISTING	PROPOSED	DESCRIPTION
- - - - -	- - - - -	SUBDIVISION BOUNDARY
▨	▨	SIDEWALK
▨	▨	VALLEY GUTTER
- - - - -	- - - - -	RIGHT OF WAY
- - - - -	- - - - -	EASEMENT
EX INV 59.0	INV 59.0	INVERT ELEVATIONS
EX PSD	SD	STORM DRAIN LINE (PRIVATE)
EX SS	SS	STORM DRAIN LINE (PUBLIC)
EX W	W	SANITARY SEWER
●	●	WATER
●	●	SANITARY SEWER MANHOLE
●	●	STORM DRAIN MANHOLE
○	○	CURB INLET
○	○	FIELD INLET (CIRCULAR)
○	○	FIRE HYDRANT
○	○	CURB CUT
○	○	BIORETENTION AREA
→	→	ACFC DRAINAGE CHANNEL
⊠	⊠	UNDERGROUND TRANSFORMER
⊠	⊠	ELECTROLUER



ABBREVIATIONS

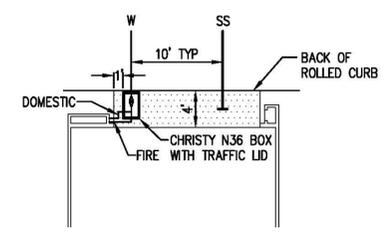
ACFC	ALAMEDA COUNTY FLOOD CONTROL
HGL	HYDRAULIC GRADE LINE*
JT	JOINT TRENCH
PSD	PUBLIC STORM DRAIN
PUE	PUBLIC UTILITY EASEMENT
SD	STORM DRAIN (PRIVATE)
SDE	STORM DRAIN EASEMENT
SSE	SEWER SYSTEM EASEMENT
TRC	TOP OF ROLLED CURB
WLE	WATER LINE EASEMENT

*HGL = ASSUMED TOP OF PIPE ELEVATION



TYPICAL UTILITIES IN DRIVE AISLES
(PRIVATE STREET) NOT TO SCALE

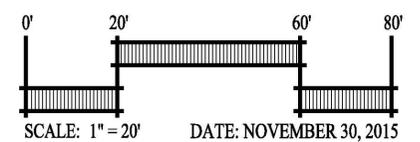
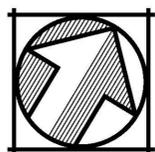
*NOTE: ADDITIONAL WLE & SSE WITHIN DRIVEWAYS



TYPICAL UTILITIES IN DRIVEWAYS
(PRIVATE STREET) NOT TO SCALE

**VESTING TENTATIVE MAP
UTILITY PLAN
DOLLAR PLACE - TRACT 8301**

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



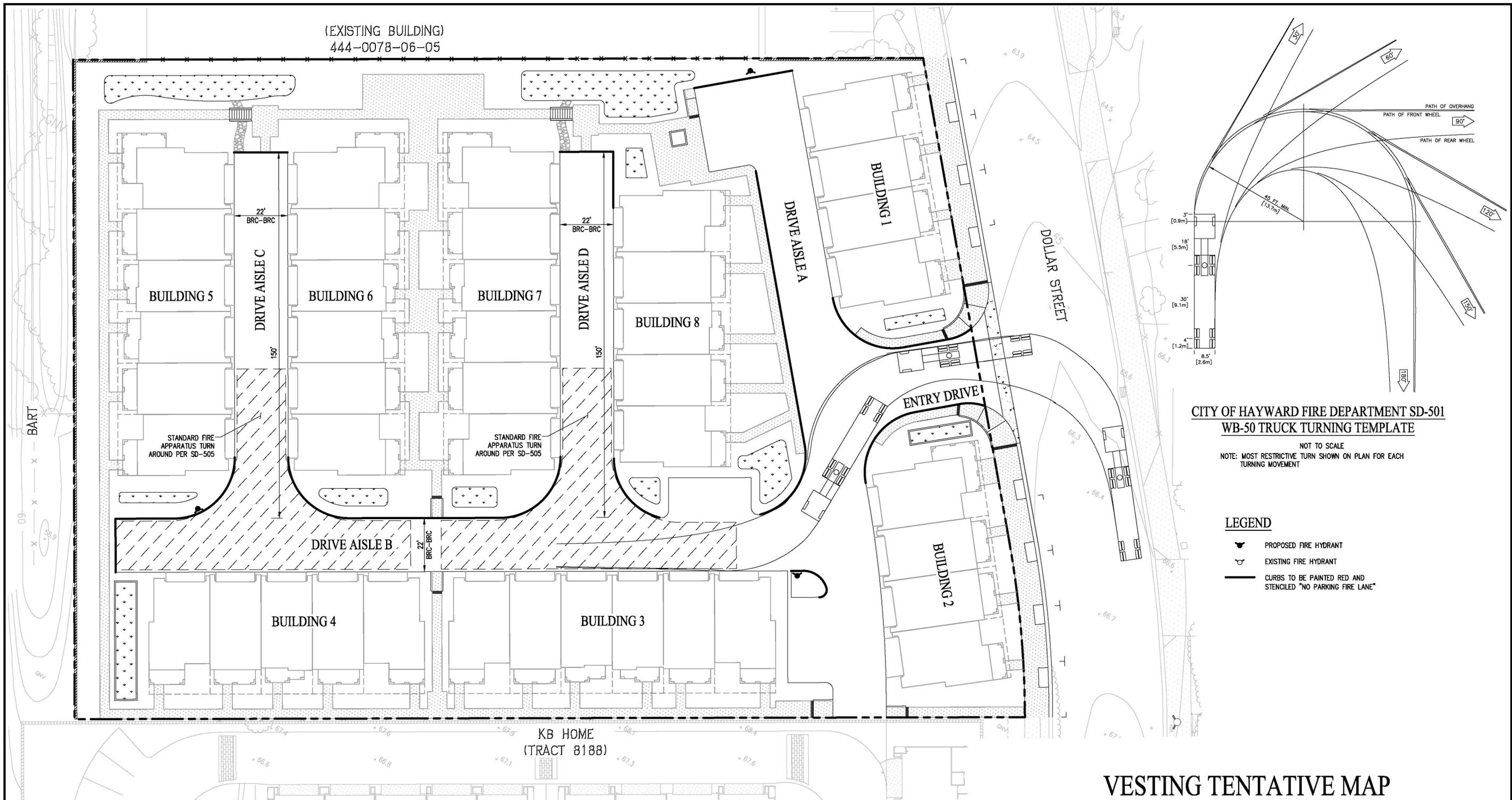
DATE: NOVEMBER 30, 2015

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CIVIL ENGINEERS • SURVEYORS • PLANNERS

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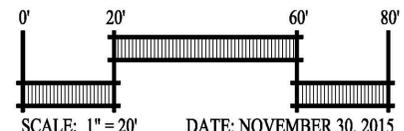
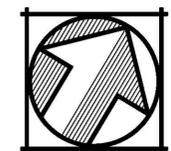
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SHEET NO.
TM.5
OF 45 SHEETS



VESTING TENTATIVE MAP FIRE TRUCK CIRCULATION PLAN DOLLAR PLACE - TRACT 8301

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



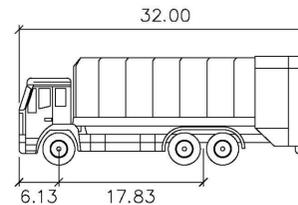
cbg Carlson, Barbee & Gibson, Inc.
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SHEET NO.
TM.6
OF 45 SHEETS

(EXISTING BUILDING)
444-0078-06-05



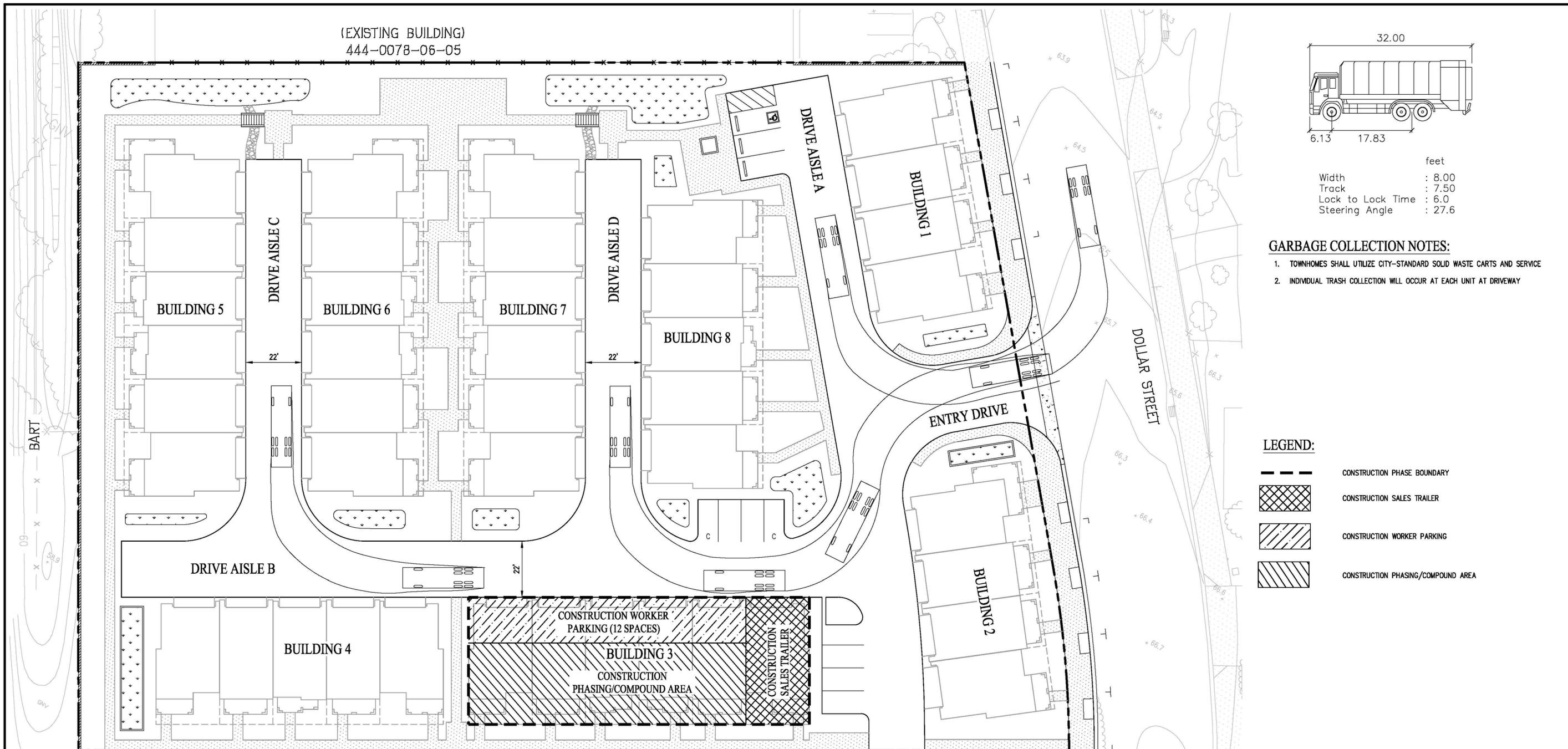
feet
Width : 8.00
Track : 7.50
Lock to Lock Time : 6.0
Steering Angle : 27.6

GARBAGE COLLECTION NOTES:

1. TOWNHOMES SHALL UTILIZE CITY-STANDARD SOLID WASTE CARTS AND SERVICE
2. INDIVIDUAL TRASH COLLECTION WILL OCCUR AT EACH UNIT AT DRIVEWAY

LEGEND:

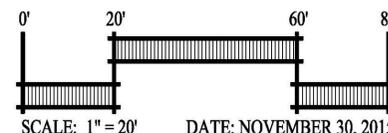
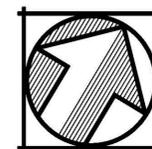
-  CONSTRUCTION PHASE BOUNDARY
-  CONSTRUCTION SALES TRAILER
-  CONSTRUCTION WORKER PARKING
-  CONSTRUCTION PHASING/COMPOUND AREA



KB HOME
(TRACT 8188)

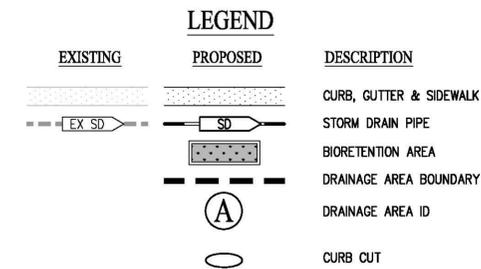
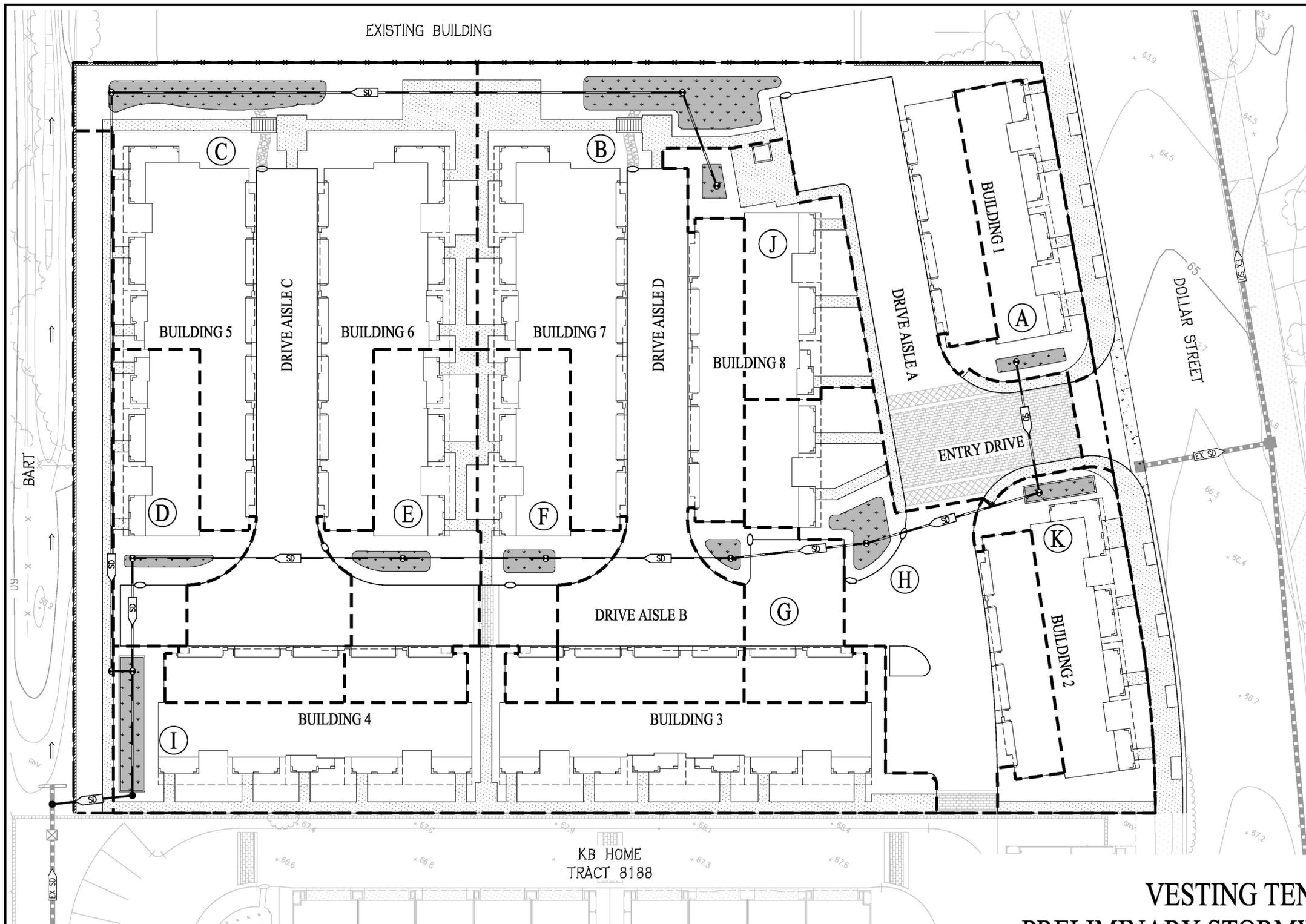
**VESTING TENTATIVE MAP
SOLID WASTE MANAGEMENT AND
CONSTRUCTION PHASING PLAN
DOLLAR PLACE - TRACT 8301**

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



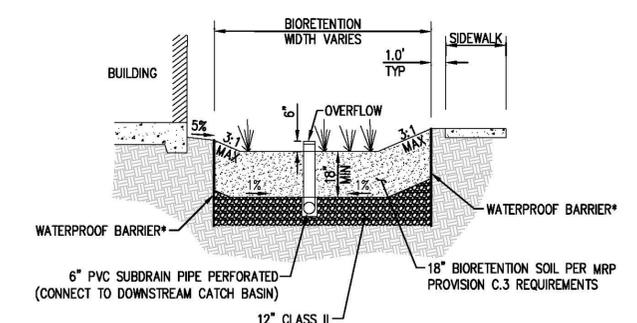
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SHEET NO.
TM.7
OF 45 SHEETS



PRELIMINARY STORMWATER TREATMENT SUMMARY

AREA ID	TREATMENT TYPE	IMPERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)
A	BIORETENTION	2,612	109	120
B	BIORETENTION	22,560	918	990
C	BIORETENTION	17,035	699	750
D	BIORETENTION	2,420	101	125
E	BIORETENTION	4,075	168	185
F	BIORETENTION	3,175	131	150
G	BIORETENTION	2,230	91	100
H	BIORETENTION	7,260	297	320
I	BIORETENTION	9,130	378	400
J	BIORETENTION	2,025	87	94
K	BIORETENTION	2,905	126	132



TYPICAL BIORETENTION AREA
NOT TO SCALE

- NOTE:**
- INSTALL DEEPEENED CURB IN ADDITION TO WATERPROOF BARRIER WHERE NECESSARY PER GEOTECHNICAL RECOMMENDATIONS
 - INSTALL 3" OF FLOAT-RESISTING MULCH ON EXPOSED SOIL AREAS BETWEEN PLANTINGS PER ALAMEDA COUNTY C.3 STORMWATER TECHNICAL GUIDANCE DATED JANUARY 1, 2015.

**VESTING TENTATIVE MAP
PRELIMINARY STORMWATER CONTROL PLAN
DOLLAR PLACE - TRACT 8301**

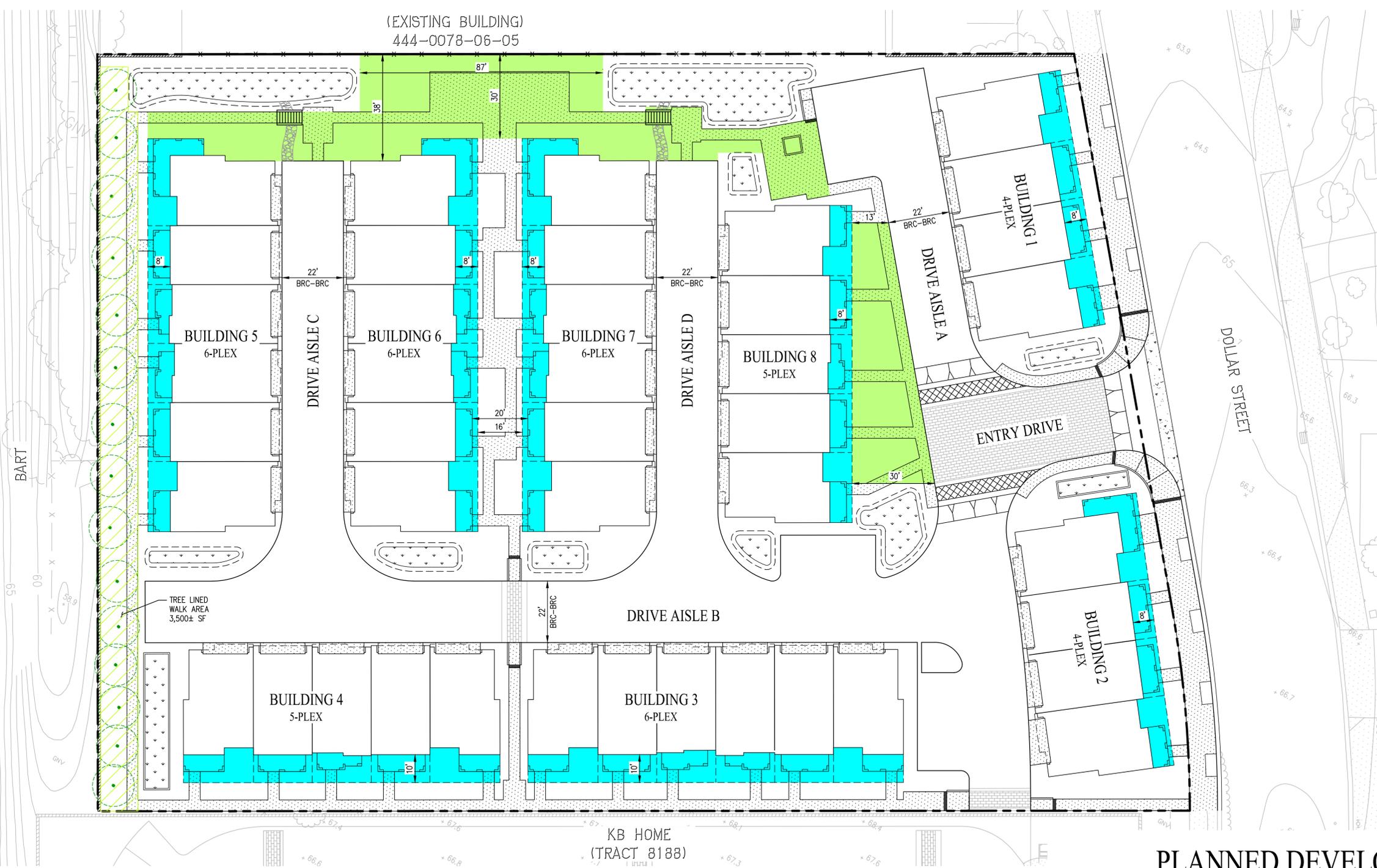
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SCALE: 1" = 20' DATE: NOVEMBER 30, 2015

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(EXISTING BUILDING)
444-0078-06-05



OPEN SPACE AREA SUMMARY

AREA TYPE	REQUIRED AREA (sf)	PROVIDED AREA (sf)
COMMON OPEN SPACE	7,000 (15% OF BUILDING LOT AREAS)	7,200 (OPEN SPACE EXCLUDING BIO-RETENTION & BUILDING SET BACK)*
PRIVATE OPEN SPACE	4,200 (100 SF/UNIT)	9,030 (215 SF/UNIT)

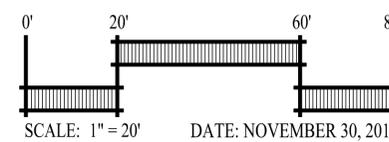
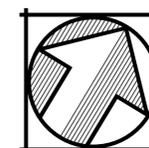
*OPEN SPACE DOES NOT INCLUDE THE TREE LINED WALK AREA ALONG SOUTHWEST SIDE OF THE PROJECT.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
	---	BOUNDARY
	▨	PRECAST WALL
	—x—x—x—	FENCE
x 100.0	x 100.0	SPOT ELEVATIONS
	BRC	BACK OF ROLLED CURB
	▨	BIORETENTION AREA

**PLANNED DEVELOPMENT
OPEN SPACE EXHIBIT
DOLLAR PLACE**

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



DATE: NOVEMBER 30, 2015

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