

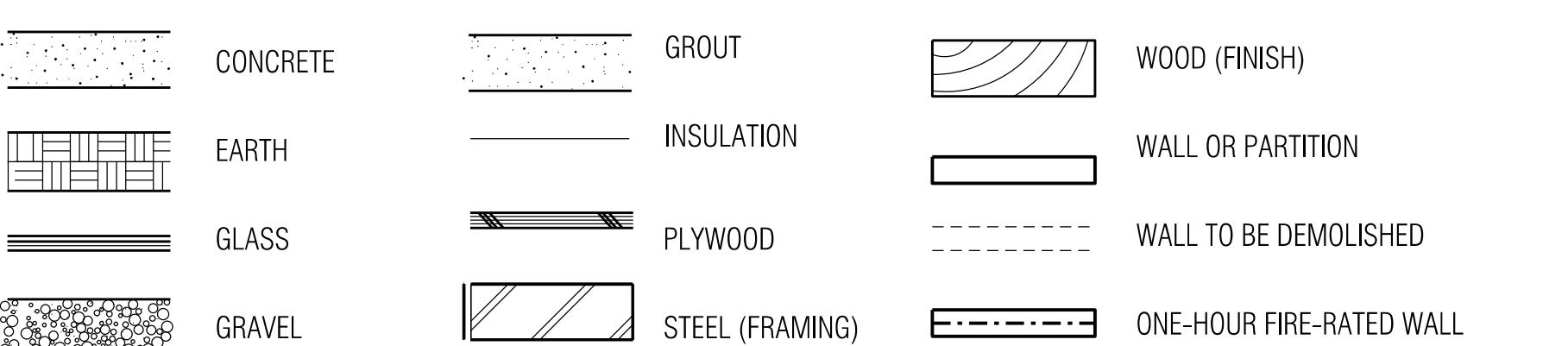
ABBREVIATIONS

&	And	MACH.	Machine
<	Angle	MAX.	Maximum
@	At	MECH.	Mechanical
C	Centerline	MEMB.	Membrane
d	Diameter or Round	MET.	Metal
#	Penny (nail size)	MFR.	Manufacturer
'	Pound or Number	MIN.	Minimum
	Feet	MIR.	Mirror
	Inches	MISC.	Miscellaneous
ACOUS.	Acoustic	MTD.	Mounted
ADJ.	Adjustable	MTG.	Mounting
ALUM.	Aluminum	MUL.	Multilayer
ALT.	Alternate		
APPROX.	Approximate	N	North
ARCH.	Architect(ural)	(N)	New
BD.	Board	N.I.C.	Not in Contract
BITUM.	Bituminous	NO.	Number
BLDG.	Building	NOM.	Nominal
BLK.	Block	N.T.S.	Not to Scale
BLKG.	Blocking	O.C.	On Center
BM.	Beam	O.D.	Outside Diameter (Dim.)
BOT.	Bottom	OFF.	Office
CAB.	Cabinet	OPER.	Operable
C.C.	Center to Center	OPNG.	Opening
CEM.	Cement	OPP.	Opposite
CER.	Ceramic	PL.	Plate, Property Line
CLG.	Ceiling	P. LAM.	Plastic Laminate
CLO.	Closet	PLAS.	Plaster
CLR.	Clear	PLYWD.	Plywood
COL.	Column	PR.	Pair
CONC.	Concrete	PROJ.	Projection
CONN.	Connection	PROP.	Property
CONSTR.	Construction	PT.	Point
CONT.(IN).	Continuous	PTN.	Partition
C.T.	Ceramic Tile	P.V.C.	Poly-vinyl Chloride
CTR.	Center	Q.T.	Quarry Tile
CTS.K.	Countersunk	Q.T.Y.	Quantity
C.W.	Cold Water		
D.	Depth		
DBL.	Double		
DEPT.	Department	R.	Riser
DET.	Detail	RAD.	Radius
DIA.	Diameter	R.D.	Roof Drain
DIM.	Dimension	RECESS.	Recessed
DN.	Down	REC.P.	Receptor
D.O.	Door Opening	RECT.	Rectangular
DR.	Door	REF.	Reference
DWG.	Drawing	REINF.	Reinforced
DWR.	Drawer	REQ.	Required
E.	East	RESIL.	Resilient
(E)	Exstng	R.H.	Robe Hook
EA.	Each	RM.	Room
ELEV.	Elevation	R.O.	Rough Opening
ELEC.	Electrical	R.W.L.	Rain Water Leader
ENCL.	Enclosure	S.	South
EQ.	Equal	S.C.	Solid Core
EXIST.	Existing	SCHED.	Schedule
EXP.	Expansion	SECT.	Section
EXT.	Exterior	SERV.	Service
F.B.O.	Furnished by Owner	S.G.	Safety Glass
FDN.	Foundation	SHT.	Sheet
FIN.	Finish	SHTG.	Sheeting
FL.	Floor	SIM.	Similar
FLASH.	Flashing	SL.	Slope
FLUOR.	Fluorescent	S.M.	Sheet Metal
F.O.C.	Face of Concrete	SP.	Special
F.U.S.	Face of Stud	SPEC.	Specifications
FT.	Foot or Feet	SPR.	Spring
FTG.	Footing	SQ.	Square
FURR.	Furring	S.S.T.	Stainless Steel
FUT.	Future	STA.	Station
GA.	Gauge	STAG.	Staggered
GALV.	Galvanized	STD.	Standard
G.B.	Grab Bar	STL.	Steel
GL.	Glass	STOR.	Storage
GND.	Ground	STRUC.	Structural
GR.	Grade	SUSP.	Suspended
G.S.M.	Galvanized Sheet Metal	SYM.	Symmetrical
G.Y.P.	Gypsum	(T)	Toilet
GW.B (G.W.B.)	Gypsum Wall Board	T.B.	Towel Bar
H.B.	Hose Bibb	TEL.	Telephone
H.C.	Hollow Core	(T)	Tempered
HDWD.	Hardwood	TH.	Threshold
HDWRE.	Hardware	THK.	Thick
H.M.	Hollow Metal	T.O.	Top of
HORIZ.	Horizontal	T.O.P.	Top of Pavement
HR.	Hour	T.O.W.	Top of Wall
HT.	Height	T.P.D.	Toilet Paper Dispenser
HW.	Hot Water	T.V.	Television
I.D.	Inside Diameter	TYPO.	Typical
INSUL.	Insulation	UNF.	Unfinished
INT.	Interior	U.O.N.	Unless Otherwise Noted
INV.	Invert	UTIL.	Utility
JT.	Joint	V.C.T.	Vinyl Composition Tile
KIT.	Kitchen	VERT.	Vertical
LAM.	Laminate	V.I.F.	Verify in Field
LAV.	Lavatory	VIN.	Vinyl
LOC.	Location	W.	West or Width
LT.	Light	W/W.	With
		W.C.	Water Closet
		WD.	Wood
		W.H.	Wood Heater
		W/O.	Without
		W.P.	Waterproof
		W.R.	Water Receptacle
		W.S.	Weather Stripping
		WT.	Weight
		W.W.M.	Welded Wire Mesh

SYMBOLS

	ELEVATION		RECESSED LUMINAIRE
	SECTION NUMBER		SURFACE MOUNTED FLUORESCENT
	NUMBER OF SHEET ON WHICH SECTION IS SHOWN		ROOM NUMBER
	DETAIL NUMBER		KEYNOTE NUMBER
	NUMBER OF SHEET ON WHICH DETAIL IS SHOWN		WALL MOUNTED LUMINAIRE
	INTERIOR ELEVATION NUMBER		CEILING MOUNTED LUMINAIRE
	NUMBER OF SHEET ON WHICH INTERIOR ELEVATION IS SHOWN		SWITCH
	INTERIOR ELEVATION NUMBER		THREE-WAY SWITCH
	NUMBER OF SHEET ON WHICH INTERIOR ELEVATIONS ARE SHOWN		SWITCHED OUTLET
	WINDOW NUMBER		OUTLET
	DOOR NUMBER		QUAD OUTLET
	REVISION NUMBER		SMOKE DETECTOR
	AREA OF REVISION		RECESSED EXHAUST FAN
	CEILING HEIGHT		PARTITION TYPE (SHEET A9.4)

LEGEND



INDEX

A0.0	General Notes, Index to the Drawings, Symbols Abbreviations, Project Description, Legend, Location Map, and Site Plan
A1.1	Site Plan - Existing
A2.1	Site Plan & Floor Plan - Proposed
A3.1	Elevations / Site Photos

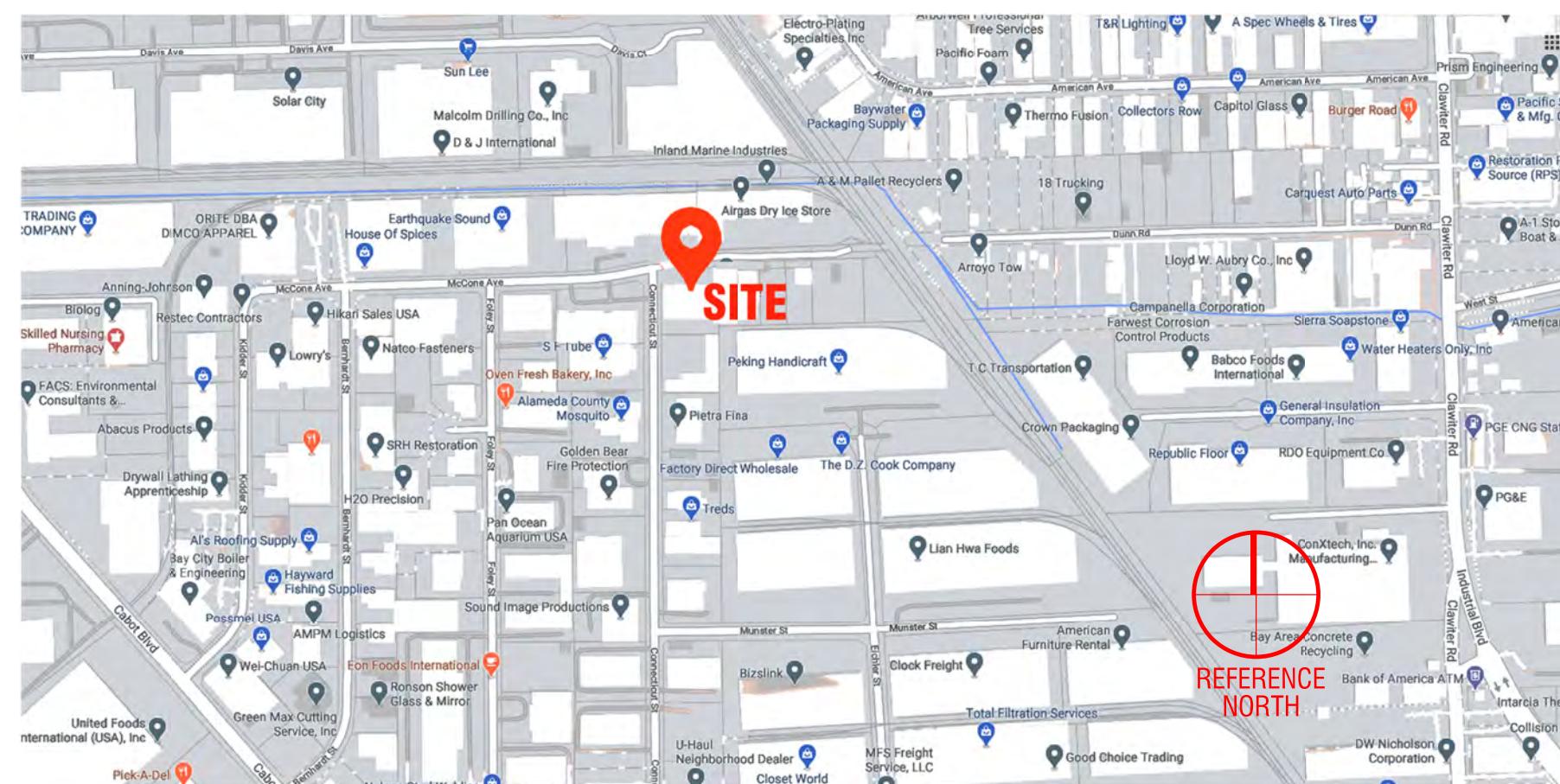
Always On Time Consulting

Conditional Use Permit

Project Description

ALTERATIONS OF EXISTING TENANT SPACE FOR CANNABIS RELATED ENTERPRISE - DELIVERY, DISTRIBUTION, AND MANUFACTURING.

LOCATION MAP



Alterations for:
Always On Time
 23000 Connecticut St.
 Unit #5
 Hayward, CA 94545

Rev # Description Date:
 Plan Check #1 11-16-2020
 Plan Revisions 9-21-2022

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Sheet Title:
Index, Green Building Notes, Construction Notes, Symbols, Abbreviations and General Notes

Date: 02-21-2020
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A0.0
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GENERAL NOTES

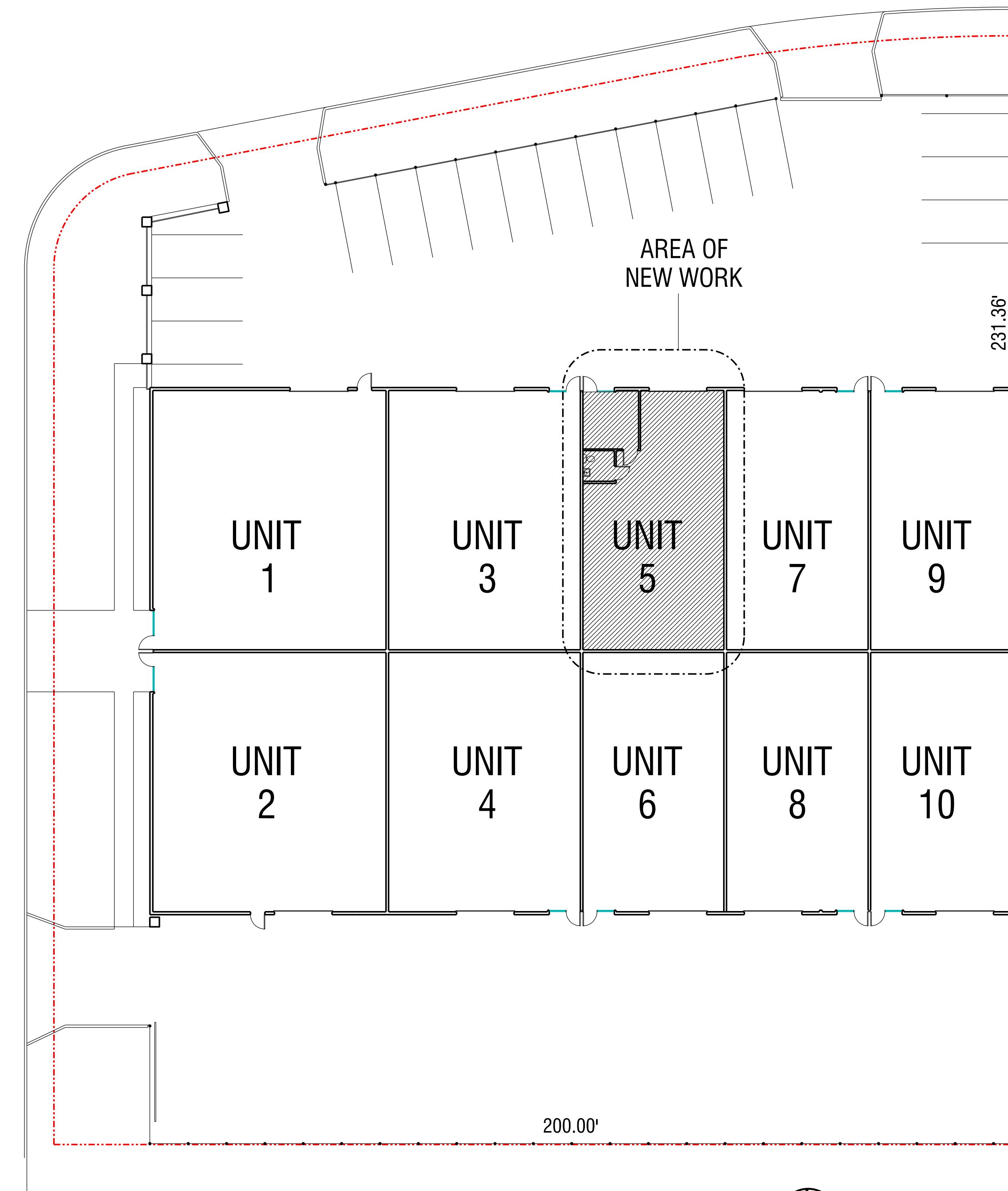
- All architectural, structural, and electrical work is shown, described or specified in the Architectural, Structural, Mechanical, and Electrical Drawings indexed on this Sheet and as noted in this Drawing Set. All work shall be carried out in accordance with the following:
 - 2019 California Building Code (CBC) - based on the International Building Code
 - 2019 California Plumbing Code, and Mechanical Codes (CPC, CEC, CMCC)
 - 2019 California Energy Code and all current local codes and ordinances
- When Construction Manager and/or Contractor accepts delivery of all items noted on plans whether in contract or not, the Contractor shall be responsible for loss and/or damage to these items.
- The Construction Manager and/or Contractor shall maintain, for the entire duration of the work, all exits, exit lighting, fire protection devices, and alarms in conformance with all applicable Codes and ordinances.
- Construction Manager and/or Contractor shall assess at time of bid, the condition of existing construction to remain. Any necessary upgrades, repairs, or replacement shall be included in the scope of work at that time. With prior approval of Owner and return of proper credit, existing Work scheduled for removal or replacement, which can be incorporated into the new scope, may be re-used.
- Demolition: remove all interior partitions, casework, storefronts, ceiling, finished flooring and all other items not used in new scheme.
- All saw cutting, coring and anchoring locations shall be reviewed in field by the Construction Manager and/or Contractor and coordinated with the landlord prior to the work. DO NOT CUT REBAR. If rebar is encountered, the work shall be relocated.
- Scope of Work: The scope of work for each division shall include all labor, materials, appliances, equipment and facilities necessary to do all of the work indicated in the drawings and specifications. Work shall include all demolition, patching and repair required to accommodate new construction. Construction Manager and/or Contractor shall supply all labor, materials, equipment and services of every kind, including water and power, necessary to do the work. Project drawings and specifications shall be followed.
- Shop drawings: Construction Manager and/or Contractor and subcontractors shall be responsible for submitting shop drawings to the architect for approval prior to proceeding with fabrication. Construction Manager and/or Contractor shall submit samples of all new finished materials to the architect for approval prior to installation or execution.
- Permit and inspections: the tenant shall pay for plan checking fees and building permits. Each contractor shall be responsible for their own fees and pay for all inspections which may also be required. Testing and inspections: Construction Manager and/or Contractor shall arrange and pay for all testing and inspections required by applicable building codes, ordinances or directives of governing Building officials. The owner shall pay all costs for such testing if the tests indicate conformance. Construction Manager and/or Contractor shall pay costs when the testing indicates non-conformance.
- Construction Manager and/or Contractor shall provide and be responsible for all costs required by these contract documents or by Government agencies with regard to inspections and testing.
- Construction Manager and/or Contractor shall provide and be responsible for all costs for public protection as required by the contract documents and local government agencies.

- The existing conditions in the construction documents are based on site observation, and partial original plans supplied by Owners, building owners, and prior Architect to Robert Remiker Architect. Any discrepancies between these documents and the actual field conditions shall be brought to the attention of the Architect before proceeding with any work.
 - 2019 California Building Code (CBC) - based on the International Building Code
 - 2019 California Plumbing Code, and Mechanical Codes (CPC, CEC, CMCC)
 - 2019 California Energy Code and all current local codes and ordinances
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- Construction Manager and/or Contractor shall provide and be responsible for all costs for public protection as required by the contract documents and local government agencies.

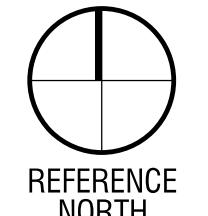
- Construction Manager and/or Contractor shall make no revisions, alterations, or changes to the work as shown in the contract documents without the prior written approval of the Architect.
- Construction Manager and/or Contractor shall provide the building offical with a certificate of construction compliance and with energy conservation standards upon final building department inspection.
- Construction Manager and/or Contractor shall provide access panels for all trades as required by code. Locations to be approved by Architect prior to execution of work.
- Combustible materials used for construction in this space must be stamped as fire-rated. Field applied treatments to combustible materials are not permitted.
- Construction Manager and/or Contractor shall assess at time of bid, the condition of existing construction to remain. Any necessary upgrades, repairs, or replacement shall be included in the scope of work at that time. With prior approval of Owner and return of proper credit, existing Work scheduled for removal or replacement, which can be incorporated into the new scope, may be re-used.
- Construction Manager and/or Contractor shall be responsible for coordinating with landlord on all work to be performed by the landlord. Any potential conflicts or delays caused by the landlords subContractors must be documented in writing by the Architect and the tenant before the delay is actually incurred for it to be constituted. Otherwise the Construction Manager and/or Contractor will be responsible for meeting the schedule as outlined in the contract.
- Construction Manager and/or Contractor shall supply all materials. Labor and coordination required for the installation of all tenant supplied items as described in the documents.
- Floor plan by Architect supersedes other plans. All dimensions marked 'clear' shall be maintained and shall allow for thickness of all finishes including carpet, pad, ceramic tile, v.c.t., etc.
- Provide portable fire extinguisher

1943 Napa Avenue Berkeley CA 94707
 (510) 644-8099 robert@remiker.com


Owner:
 Always On Time Consulting
 8 North San Pedro St
 Suite 200
 San Jose, CA 95110
 Contact: Doug Chloupek
 P: 408.667.9727



1 Site Plan - Existing
 A1.1 Scale: 1/16" = 1'-0"



Alterations for:
Always On Time
 23000 Connecticut St.
 Unit #5
 Hayward, CA 94545

Rev # Description Date:
 △ Plan Check #1 11-16-2020
 △ Plan Revisions 9-21-2022

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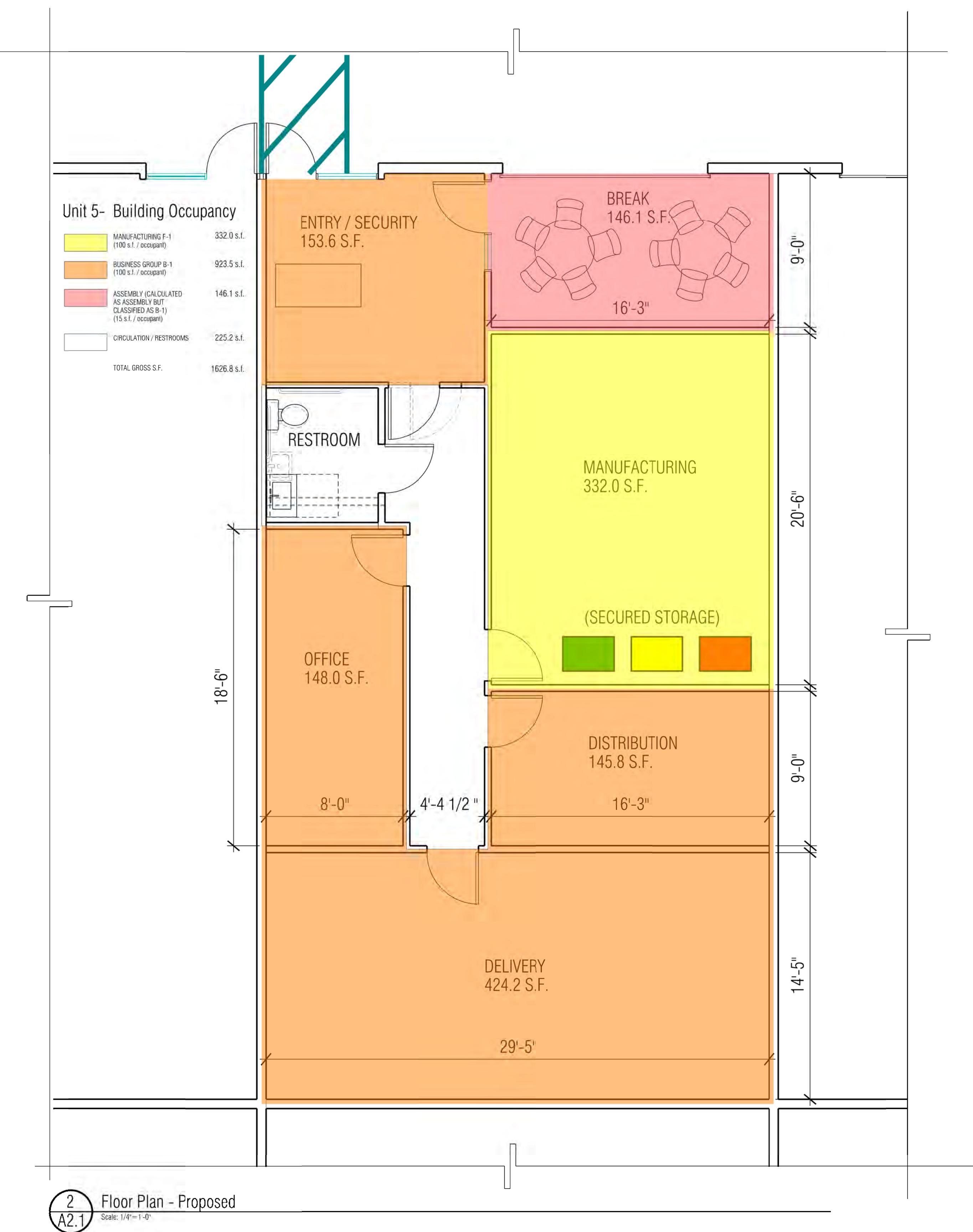
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Site Plan & Floor Plan - Proposed

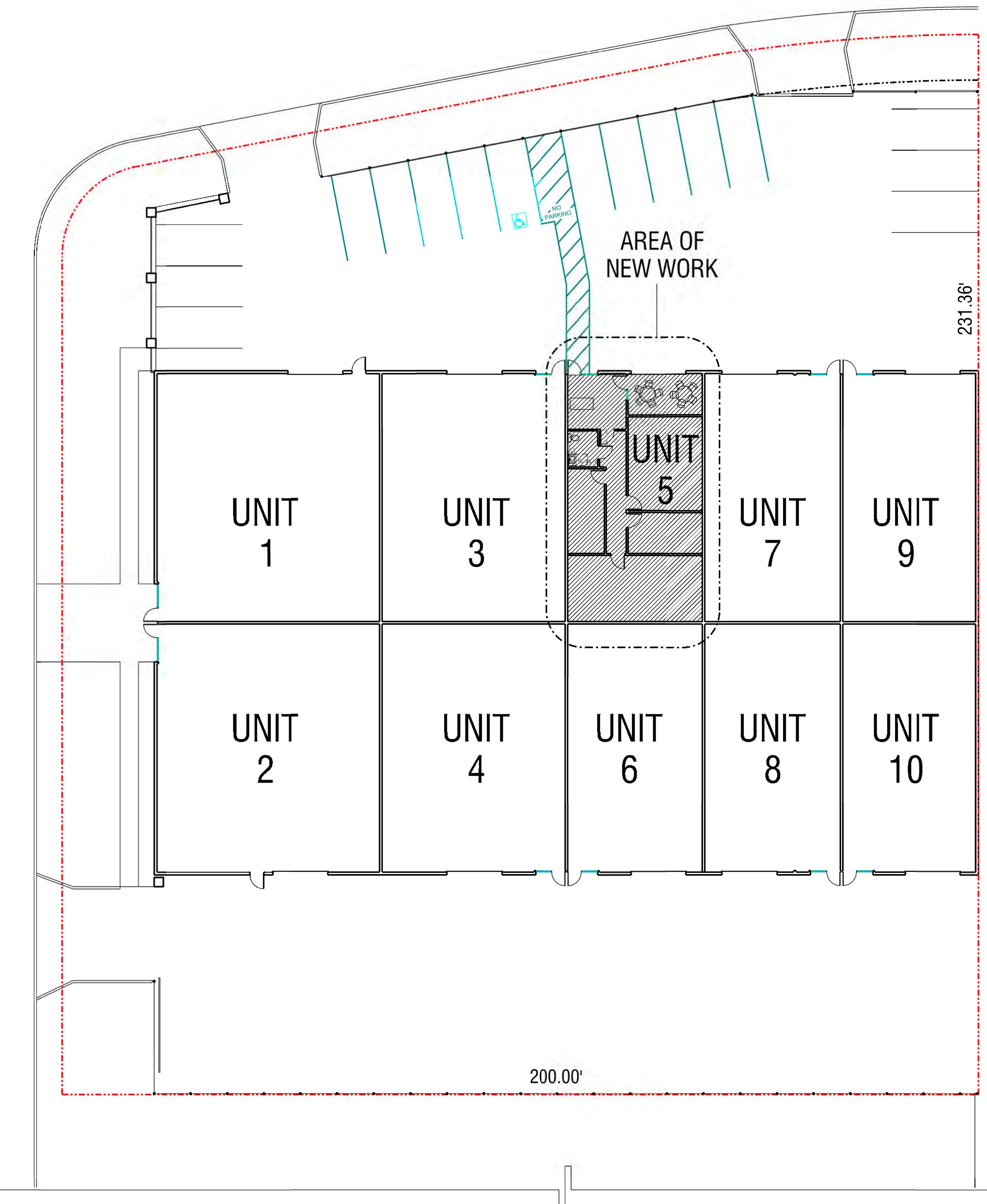
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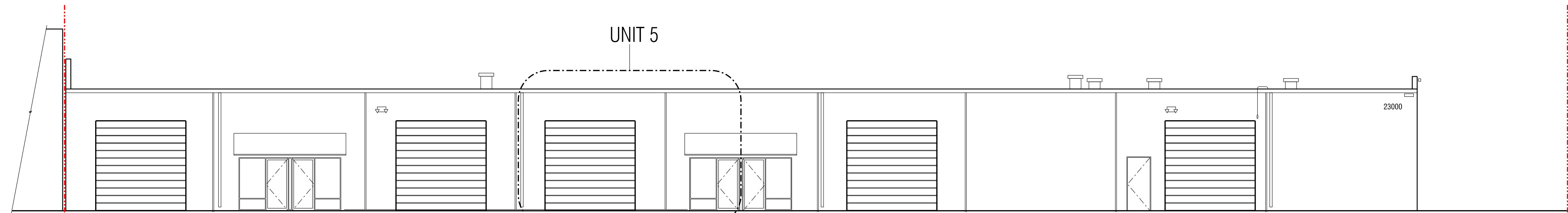

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Floor Plan - Proposed
A2.1
Scale: 1/4"=1'-0"

GREEN: CULTIVATION, LAB EXPENT MATERIAL, PRE-ROLL WASTE - CANNABIS PLANT MATERIAL ONLY

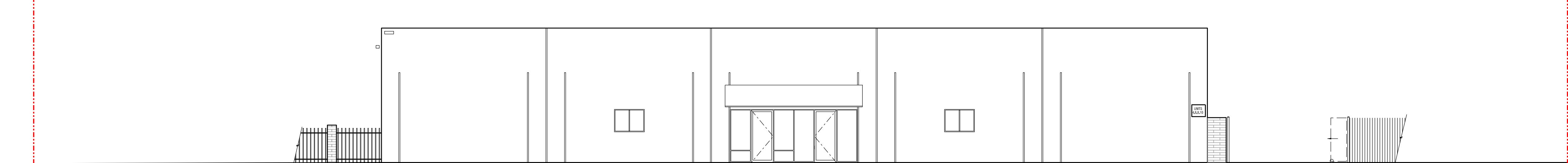
 GREEN: CULTIVATION, LAB EXPENT MATERIAL, PRE-ROLL WASTE - CANNABIS PLANT MATERIAL ONLY
 YELLOW: DAMAGED OIL PRODUCTS (VAPE BATTERIES, OIL+BATTERY, ANY OIL CONTAINING PRODUCT WASTE)
 RED: ETHANOL OR OTHER SOLVENT WASTE

 1
Site Plan - Proposed
A2.1
Scale: 1/16"=1'-0"

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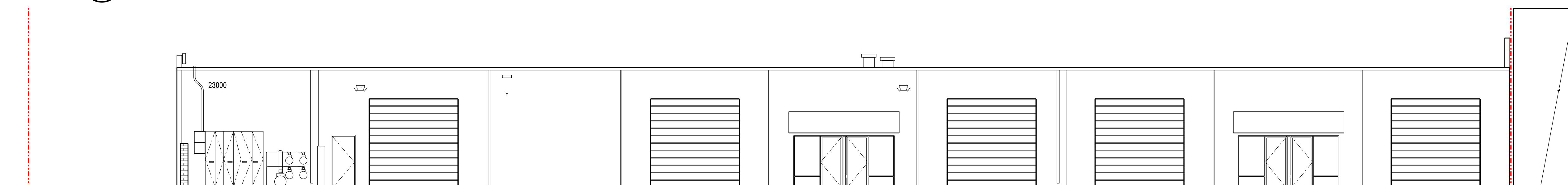

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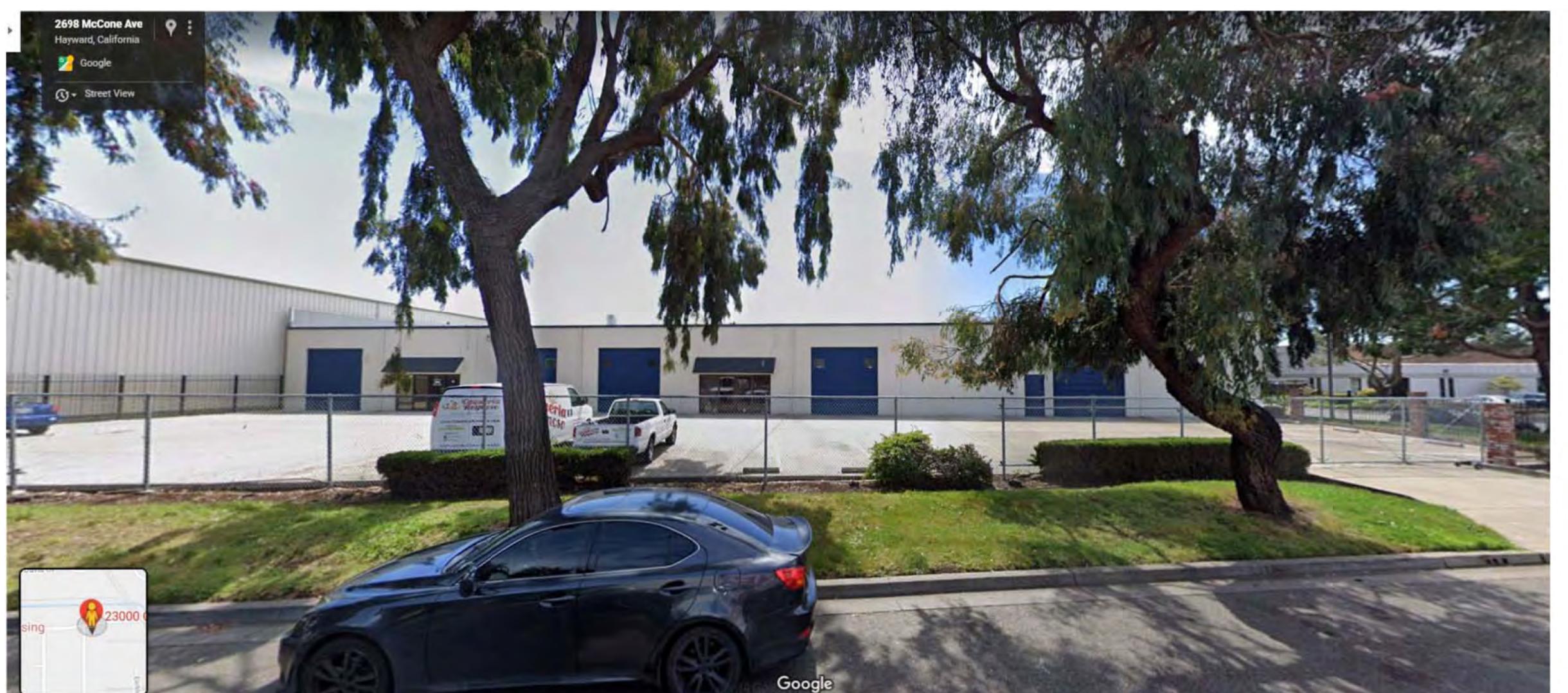
1 North Elevation
A3.1



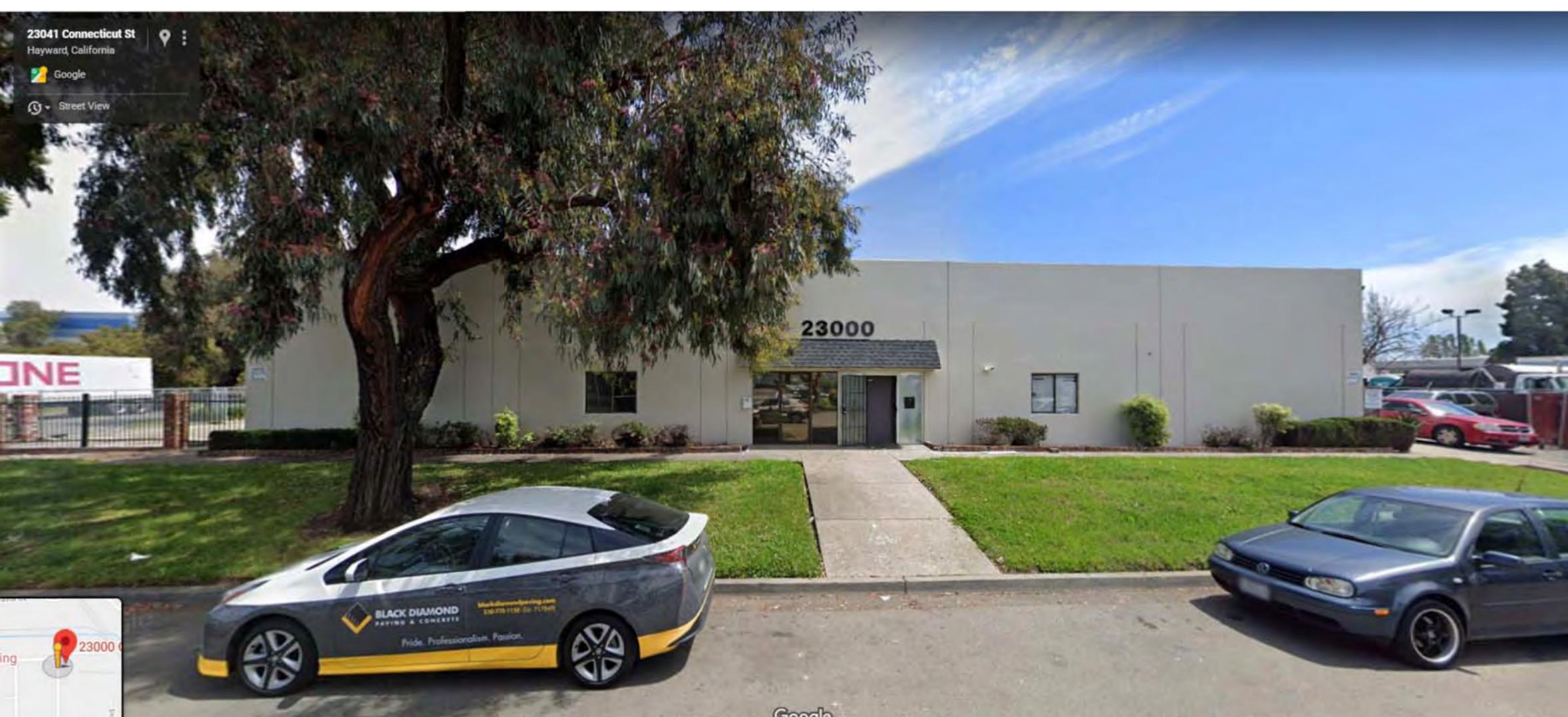
2 West Elevation
A3.1



3 South Elevation
A3.1



4 North Elevation Google Maps Photo
A3.1



5 West Elevation Google Maps Photo
A3.1

NOTE: NO EXTERIOR WORK. EXISTING EXTERIOR ELEVATIONS TO REMAIN UNCHANGED

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Elevations
and Photos**

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