

ABBREVIATIONS

&	And	MACH.	Machine
<	Angle	MAX.	Maximum
@	At	MECH.	Mechanical
C	Centerline	MEMB.	Membrane
∅	Diameter or Round	MET.	Metal
d	Penny (nail size)	MFR.	Manufacturer
#	Pound or Number	MIN.	Minimum
'	Feet	MIR.	Mirror
*	Inches	MISC.	Miscellaneous
		MTD.	Mounted
		MTG.	Mounting
		MUL.	Mullion
ACOUS.	Acoustic	N	North
ADJ.	Adjustable	(N)	New
ALUM.	Aluminum	N.I.C.	Not in Contract
ALT.	Alternate	NO.	Number
APPROX.	Approximate	NOM.	Nominal
ARCH.	Architect(ural)	N.T.S.	Not to Scale
BD.	Board	O.C.	On Center
BITUM.	Bituminous	O.D.	Outside Diameter (Dim.)
BLDG.	Building	OFF.	Office
BLK.	Block	OPER.	Operable
BLKG.	Blocking	OPNG.	Opening
BM.	Beam	OPP.	Opposite
BOT.	Bottom		
CAB.	Cabinet	PL.	Plate, Property Line
C.C.	Center to Center	P. LAM.	Plastic Laminate
CEM.	Cement	PLAS.	Plaster
CER.	Ceramic	PLYWD.	Plywood
CLG.	Ceiling	PR.	Pair
CLO.	Closet	PROJ.	Projection
CLR.	Clear	PROP.	Property
COL.	Column	PT.	Point
CONC.	Concrete	PTN.	Partition
CONN.	Connection	P.V.C.	Poly-vinyl Chloride
CONSTR.	Construction	Q.T.	Quarry Tile
CONT(IN).	Continuous	QTY.	Quantity
C.T.	Ceramic Tile		
CTR.	Center		
CTSK.	Countersunk		
C.W.	Cold Water		
D.	Depth	R.	Riser
DBL.	Double	RAD.	Radius
DEPT.	Department	R.D.	Roof Drain
DET.	Detail	RECESS.	Recessed
DIA.	Diameter	RECP.	Receptor
DIM.	Dimension	RECT.	Rectangular
DN.	Down	REF.	Reference
D.O.	Door Opening	REINF.	Reinforced
DR.	Door	REQ.	Required
DWG.	Drawing	RESIL.	Resilient
DWR.	Drawer	R.H.	Robe Hook
E.	East	RM.	Room
(E)	Existing	R.O.	Rough Opening
EA.	Each	R.W.L.	Rain Water Leader
ELEV.	Elevation	S.	South
ELEC.	Electrical	S.C.	Solid Core
ENCL.	Enclosure	SCHED.	Schedule
EQ.	Equal	SECT.	Section
EXIST.	Existing	SERV.	Service
EXP.	Expansion	S.G.	Safety Glass
EXT.	Exterior	SHT.	Sheet
		SHTG.	Sheeting
F.B.O.	Furnished by Owner	SIM.	Similar
FDN.	Foundation	SL.	Slope
FIN.	Finish	S.M.	Sheet Metal
FL.	Floor	SP.	Special
FLASH.	Flashing	SPEC.	Specifications
FLUOR.	Fluorescent	SPR.	Spring
F.O.C.	Face of Concrete	SQ.	Square
F.O.S.	Face Of Stud	S.ST.	Stainless Steel
FT.	Foot or Feet	STA.	Station
FTG.	Footing	STAG.	Staggered
FURR.	Furring	STD.	Standard
FUT.	Future	STL.	Steel
		STOR.	Storage
GA.	Gauge	STRUC.	Structural
GALV.	Galvanized	SUSP.	Suspended
G.B.	Grab Bar	SYM.	Symmetrical
GL.	Glass	(T)	Toilet
GND.	Ground	T.B.	Towel Bar
GR.	Grade	TEL.	Telephone
G.S.M.	Galvanized Sheet Metal	(T)	Tempered
GYP.	Gypsum	T. & G.	Tongue and Groove
GWB (G.W.B.)	Gypsum Wall Board	TH.	Threshold
		THK.	Thick
H.B.	Hose Bibb	T.O.	Top of Pavement
H.C.	Hollow Core	T.O.P.	Top of Wall
HDWD.	Hardwood	T.O.W.	Toilet Paper Dispenser
HDWRE.	Hardware	T.P.D.	Television
H.M.	Hollow Metal	T.V.	Typical
HORIZ.	Horizontal	UNF.	Unfinished
HR.	Hour	U.O.N.	Unless Otherwise Noted
HT.	Height	U.L.	Utility
HW.	Hot Water	U.LTL.	Utility
		V.C.T.	Vinyl Composition Tile
I.D.	Inside Diameter	VERT	Vertical
INSUL.	Insulation	V.I.F.	Verify in Field
INT.	Interior	VIN.	Vinyl
INV.	Invert	W.	West or Width
		W/.	With
JT.	Joint	W.C.	Water Closet
		WD.	Wood
KIT.	Kitchen	W.H.	Water Heater
		W/O.	Without
LAM.	Laminate	W.P.	Waterproof
LAV.	Lavatory	W.R.	Water Receptacle
LOC.	Location	W.S.	Weather Stripping
LT.	Light	WT.	Weight
		W.W.M.	Welded Wire Mesh

SYMBOLS

	ELEVATION		RECESSED LUMINAIRE
	SECTION NUMBER		SURFACE MOUNTED FLUORESCENT
	NUMBER OF SHEET ON WHICH SECTION IS SHOWN		ROOM NUMBER
	DETAIL NUMBER		KEYNOTE NUMBER
	NUMBER OF SHEET ON WHICH DETAIL IS SHOWN		WALL MOUNTED LUMINAIRE
	INTERIOR ELEVATION NUMBER		CEILING MOUNTED LUMINAIRE
	NUMBER OF SHEET ON WHICH INTERIOR ELEVATION IS SHOWN		SWITCH
	INTERIOR ELEVATION NUMBER		THREE-WAY SWITCH
	NUMBER OF SHEET ON WHICH INTERIOR ELEVATIONS ARE SHOWN		SWITCHED OUTLET
	WINDOW NUMBER		OUTLET
	DOOR NUMBER		QUAD OUTLET
	REVISION NUMBER		SMOKE DETECTOR
	AREA OF REVISION		RECESSED EXHAUST FAN
	CEILING HEIGHT		PARTITION TYPE (SHEET A9.4)

LEGEND

	CONCRETE		GROUT		WOOD (FINISH)
	EARTH		INSULATION		WALL OR PARTITION
	GLASS		PLYWOOD		WALL TO BE DEMOLISHED
	GRAVEL		STEEL (FRAMING)		ONE-HOUR FIRE-RATED WALL

GENERAL NOTES

- All architectural, structural, and electrical work is shown, described or specified in the Architectural, Structural, Mechanical, and Electrical Drawings Indexed on this Sheet and as noted in this Drawing Set. All work shall be carried out in accordance with the following:
 - 2019 California Building Code (CBC) - based on the International Building Code
 - 2019 California Plumbing, Electrical, and Mechanical Codes (CPC/CEC, CMC)
 - 2019 California Energy Code and all current local codes and ordinances.
- Designs represented by these drawings are the property of the architect and are developed for use on this project only. These drawings and the designs they represent shall not be used by or disclosed to any person or firm outside the scope of this project without written permission from Robert Remiker Architect.
- The general conditions of the contract for the construction of buildings, published by the American Institute of Architects shall apply to and govern the work of this contract. A copy of the general conditions, although not bound herein, is available for review at the office of the Architect.
- All framing dimensions are to face of finish unless otherwise noted. Do not scale drawings. Written dimensions take precedence. All dimensions shall be field verified. It is the Construction Manager and/or Contractor's responsibility to field verify all dimensions and conditions before commencing construction. Notify the architect of any discrepancies between site conditions and these drawings for clarification and correction by the Architect. Construction Manager and/or Contractor shall be responsible for all costs incurred due to his failure to do so.
- Do not notch, bore or cut members for pipes, ducts or other reasons except as shown on drawings, or with specific approval in advance by Architect.
- Verify all dimensions where work involves framing for cabinets, windows, doors, or skylights.
- All exterior doors shall be weather stripped.
- Scope of Work: The scope of work for each division shall include all labor, materials, appliances, equipment and facilities necessary to do all of the work indicated in the drawings and specifications. Work shall include all demolition, patching and repair required to accommodate new construction. Construction Manager and/or Contractor shall supply all labor, materials, equipment and services of every kind, including water and power, necessary for the proper execution of the work shown on the drawings. Only work identified as not in contract (N.I.C.) or by Owner shall not be included in the scope of work.
- Shop drawings: Construction Manager and/or Contractor and subcontractors shall be responsible for submitting shop drawings to the architect for approval prior to proceeding with fabrication. Construction Manager and/or Contractor shall submit samples of all new finish materials to the architect for approval prior to installation or execution.
- Permits and inspections: the tenant shall pay for plan checking fees and building permits. Each contractor shall secure and pay for permits required for their work and for all inspections which may also be required. Testing and inspections: Construction Manager and/or Contractor shall arrange and pay for all testing and inspections required by applicable building codes, ordinances or directives of governing Building officials. The owner or architect may require testing of materials for conformance with the contract documents. The owner shall pay all costs for such testing if the tests indicate conformance. Construction Manager and/or Contractor shall pay costs when the testing indicates non-conformance.

CONSTRUCTION NOTES

- The existing conditions in the construction documents are based on site observation, and partial original plans supplied by Owners, building owners, and prior Architect to Robert Remiker Architect. Any discrepancies between these documents and the actual field conditions shall be brought to the attention of the Architect before proceeding with any work.
- When Construction Manager and/or Contractor accepts delivery of all items noted on plans whether in contract or not in contract, the Contractor shall be responsible for loss and/or Damage to these items.
- The Construction Manager and/or Contractor shall maintain, for the entire duration of the work, all exits, exit lighting, fire protection devices, and alarms in conformance with all applicable Codes and ordinances.
- Construction Manager and/or Contractor shall assess at time of bid, the condition of existing construction to remain. Any necessary upgrades, repairs, or replacement shall be included in the scope of work at that time. With prior approval of Owner and return of proper credit, existing Work scheduled for removal or replacement, which can be incorporated into the new scope, may be re-used.
- Demolition: remove all interior partitions, casework, store fronts, ceiling, finished flooring and all other items not used in new scheme.
- All saw cutting, coring and anchoring locations shall be reviewed in field by the Construction Manager and/or Contractor and coordinated with the landlord prior to the work. DO NOT CUT REBAR. If rebar is encountered, the work is to be relocated.
- "Typ." should mean that the condition is representative for similar conditions throughout, unless otherwise noted.
- Floor plan by Architect supersedes other plans. All dimensions marked "clear" shall be maintained and shall allow for thickness of all finishes including carpet, pad, ceramic tile, v.c.l., etc.
- Provide portable fire extinguisher(s) with U.L. label and a rating of not less than 2-a with 75 ft. travel distance to all positions of space or as directed by the fire department field inspector.
- Construction Manager and/or Contractor to coordinate all millwork, lighting and flooring shipments directly with Vendors.
- Construction Manager and/or Contractor to label electrical switches and thermostats as shown on elec. & mech. dwgs. 3/8" high letters min., white typeface typ. All label text styles to match.
- Construction Manager and/or Contractor shall be responsible for all costs required by these contract documents or by Government agencies with regard to inspections and testing.
- Construction Manager and/or Contractor shall provide and be responsible for all costs for public protection as required by the contract documents and local government agencies.
- Construction Manager and/or Contractor shall make no revisions, alterations, or changes to the work as shown in the contract documents without the prior written approval of the Architect.
- Construction Manager and/or Contractor shall provide the building official with a certificate of construction compliance and with energy conservation standards upon final building department inspection.
- Construction Manager and/or Contractor shall provide access panels for all trades as required by code. Locations to be approved by Architect prior to execution of work.
- Combustible materials used for construction in this space must be stamped as fire-rated. Field applied treatments to combustible materials are not permitted.
- Construction Manager and/or Contractor will provide an on-site superintendent for the duration of the project
- All work, materials, and equipment shall be guaranteed for a minimum period of one year from date of final acceptance. Construction Manager and/or Contractor shall provide the tenant with all equipment manuals, warranties and operating instructions upon final acceptance.
- The Construction Manager and/or Contractor shall be responsible for coordinating with landlord on all work to be performed by the landlord. Any potential conflicts or delays caused by the landlord's subcontractors must be documented in writing to the Architect and the tenant before the delay is actually incurred for it to be considered. Otherwise the Construction Manager and/or Contractor will be responsible for meeting the schedule as outlined in the contract.
- Construction Manager and/or Contractor shall supply all materials. Labor and coordination required for the installation of all tenant supplied items as described in the documents.
- Construction Manager and/or Contractor shall clean the site of all unnecessary debris prior to starting construction, and shall keep the site neat and clean at all times. Construction Manager and/or Contractor shall clean all doors, window glass, interior and exterior walls, ceiling and floors, as well as all installed items (fixtures) before vacating the premises and tenant move-in. Construction Manager and/or Contractor shall provide white glove professional cleaning prior to opening and be available to provide "touch-up" work.
- Construction Manager and/or Contractor shall patch and repair existing surfaces as necessary before applying new finishes. All soft, porous, flaking or otherwise defective finishes will be removed before application of new materials. Openings, voids, or unfinished surfaces created by removal or modification of existing work shall be filled or patched and finished as necessary to match existing continuous surfaces of new finishes required. Specifically, floor surfaces at entry shall be leveled to assure smooth surface for finish floor installation.

GREEN BUILDING NOTES

- Construction Waste Management: Contractor to comply with the City of Hayward Construction and Demolition Debris Waste Management Plan
- Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials per CGC 5.410.1
- Acoustical Control: Floor to Ceiling Assembly consists of 4" to 5" concrete slab with carpet tile. 4" Slab provided = STC 49. Minimum Required = STC 40. (National Bureau of Standards Test #808) Windows at storefront glazing have > 1/4" thick monolithic glass = 31 STC(Riverbank Acoustical Laboratories Test No. TL 95-169)
- Carpet: Carpets where used to meet NSF/ANSI 140 at the Gold level. Carpet proposed is a Modular Carpet product. No carpet pad proposed.
- Third party commissioning of HVAC and Lighting Systems to be performed as directed/contracted by Owner/Tenant.
- Paint products to be Zero VOC Cal Green Title 24 Part II compliant non-flat finish latex.
- VCT and LVT products where used to comply with FloorScore® Indoor Air Quality Certified to SCS-EC10.2-2007
- Composite wood products to comply with CA Air Resources Board TABLE 5.504.4.5 Formaldehyde PPM Emission limits as follows:
 - Hardwood plywood veneer core 0.05
 - Hardwood plywood composite core 0.05
 - Particle board 0.09
 - Medium density fiberboard 0.11
 - Indoor Water Efficiency: All Plumbing Fixtures and Fixtures to comply with State, City and County of Alameda Green Building Measures PRESCRIPTIVE Approach Flow Rates.
 - All Adhesives, Sealants and Caulks to comply with South Coast Air Quality Management District Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3), including the following:
 - Carpet Adhesive, VOC limit (g/L less water = 50)
 - Ceramic Tile Adhesive, VOC limit (g/L less water = 65)
 - VCT Adhesive, VOC limit (g/L less water = 50)
 - Drywall Adhesive, VOC limit (g/L less water = 50)
 - Multipurpose Construction Adhesive, VOC limit (g/L less water = 70)

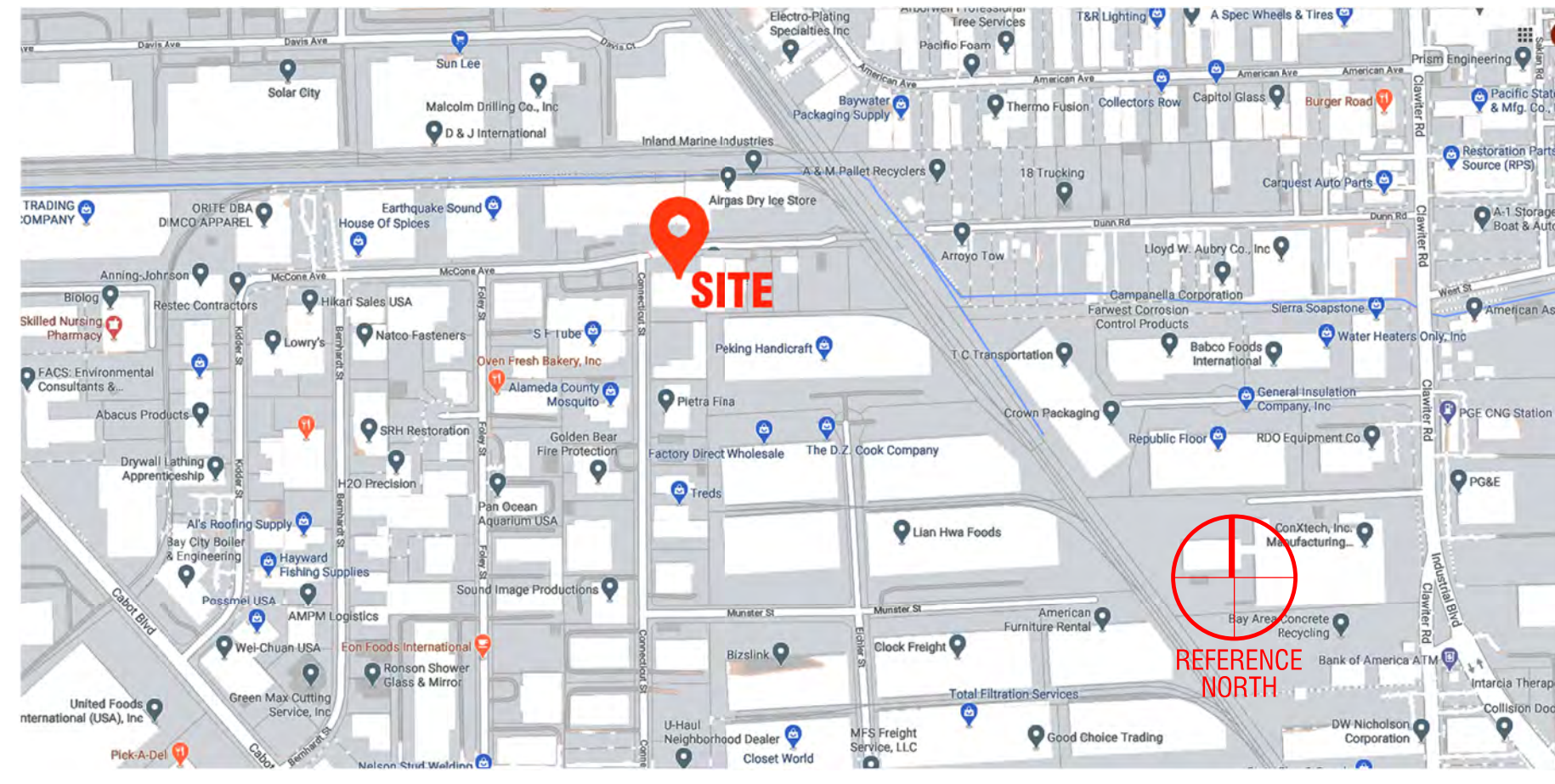
Always On Time Consulting

Conditional Use Permit

Project Description

ALTERATIONS OF EXISTING TENANT SPACE FOR CANNABIS RELATED ENTERPRISE - DELIVERY, DISTRIBUTION, AND MANUFACTURING.

LOCATION MAP



1943 Napa Avenue Berkeley CA 94707
(510) 644-8099 robert@remiker.com



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Always On Time Consulting
8 North San Pedro St
Suite 200
San Jose, CA 95110
Contact: Doug Chloupek
P. 408.667.9727

Alterations for:
Always On Time
23000 Connecticut St.
Unit #5
Hayward, CA 94545

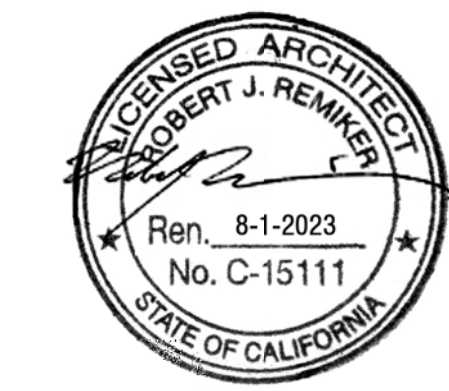
Rev #	Description	Date:
△	Plan Check #1	11-16-2020
△	Plan Revisions	9-21-2022

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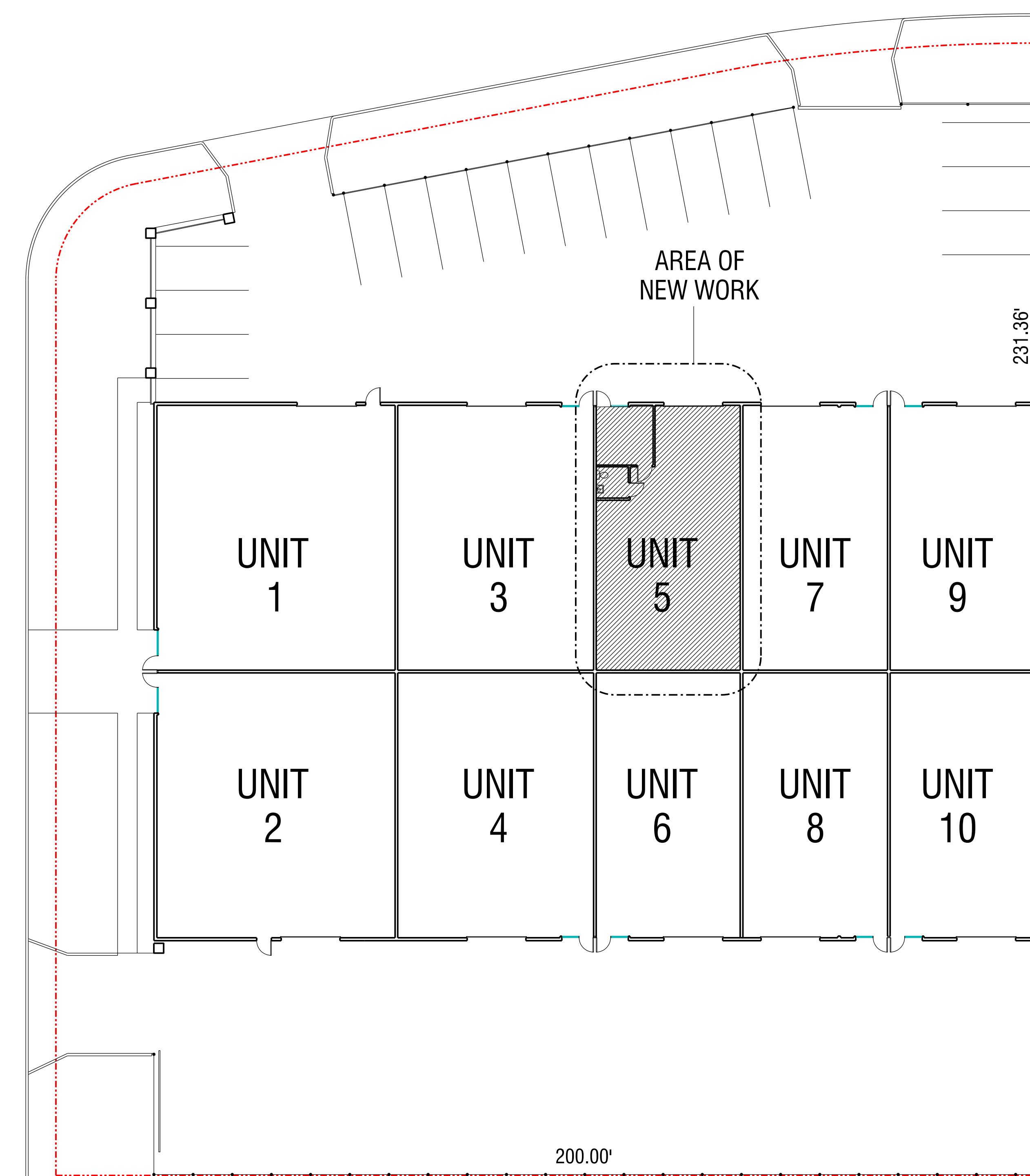
Sheet Title:
Index, Green Building Notes, Construction Notes, Symbols, Abbreviations and General Notes

Date:	02-21-2020
Scale:	AS NOTED
Drawn:	RR
Job:	2011

Sheet
A0.0
of Sheets



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Alterations for:
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23000 Connecticut St.
Unit #5
Hayward, CA 94545

Rev #	Description	Date:
△	Plan Check #1	11-16-2020
△	Plan Revisions	9-21-2022

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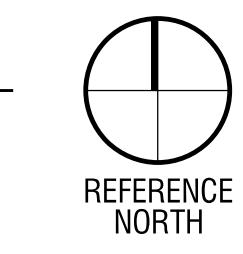
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Site Plan - Existing

Date:	02-21-2020
Scale:	1/16" = 1'-0"
Drawn:	RR
Job:	2011
Sheet	

A1.1
of Sheets

1 Site Plan - Existing
A1.1 Scale: 1/16" = 1'-0"





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Alterations for:
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23000 Connecticut St.
Unit #5
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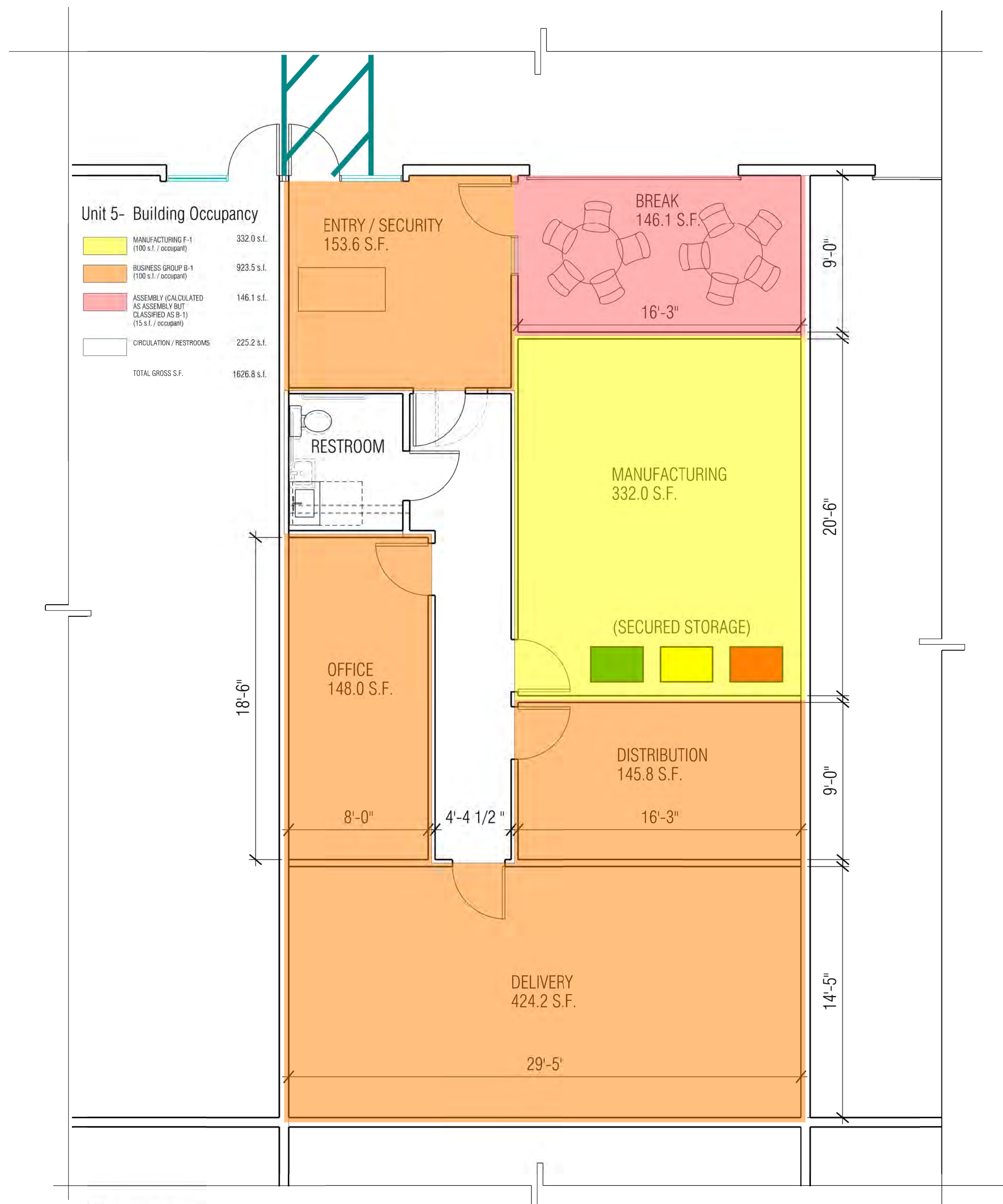
Rev #	Description	Date:
△	Plan Check #1	11-16-2020
△	Plan Revisions	9-21-2022

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Sheet Title:
Site Plan & Floor Plan - Proposed

Date:	02-21-2020
Scale:	AS NOTED
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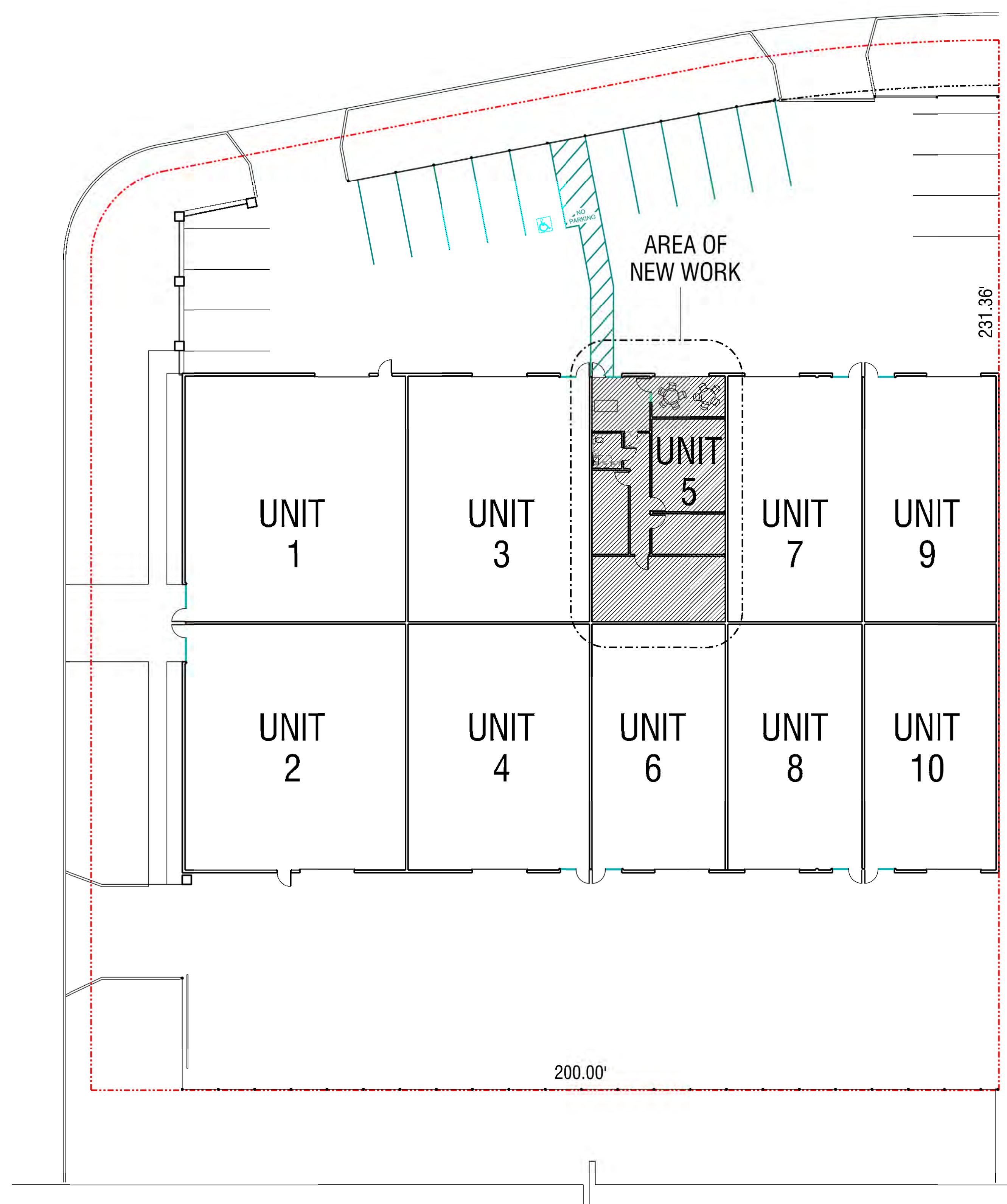
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2 Floor Plan - Proposed
A2.1 Scale: 1/4"=1'-0"

- Waste Management Legend**
- GREEN: CULTIVATION, LAB EXPENT MATERIAL, PRE-ROLL WASTE - CANNABIS PLANT MATERIAL ONLY
 - YELLOW: DAMAGED OIL PRODUCTS (VAPE BATTERIES, OIL+BATTERY, ANY OIL CONTAINING PRODUCT WASTE)
 - RED: ETHANOL OR OTHER SOLVENT WASTE

GREEN: CULTIVATION, LAB EXPENT MATERIAL, PRE-ROLL WASTE - CANNABIS PLANT MATERIAL ONLY



1 Site Plan - Proposed
A2.1 Scale: 1/16"=1'-0"





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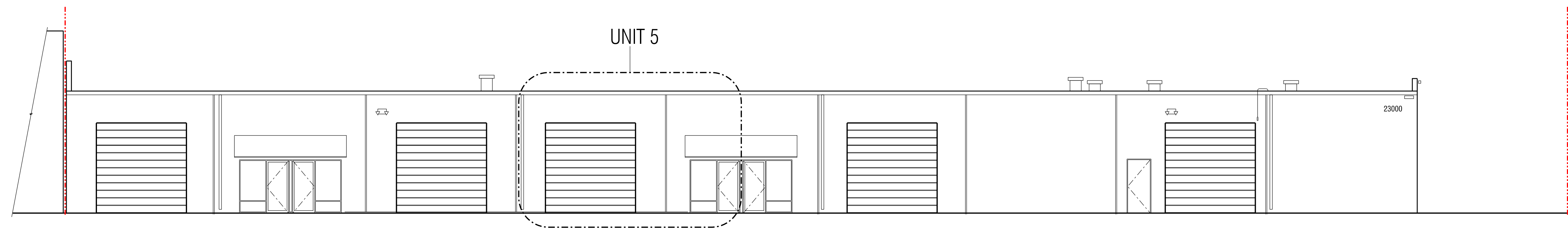
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△	Plan Revisions	9-21-2022

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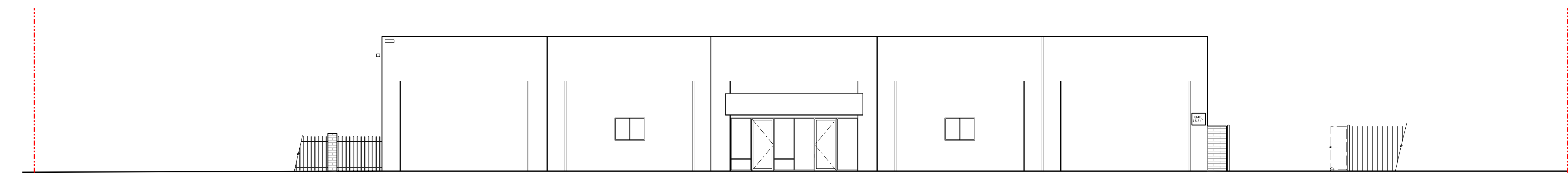
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Exterior Elevations and Photos

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Job: 2011
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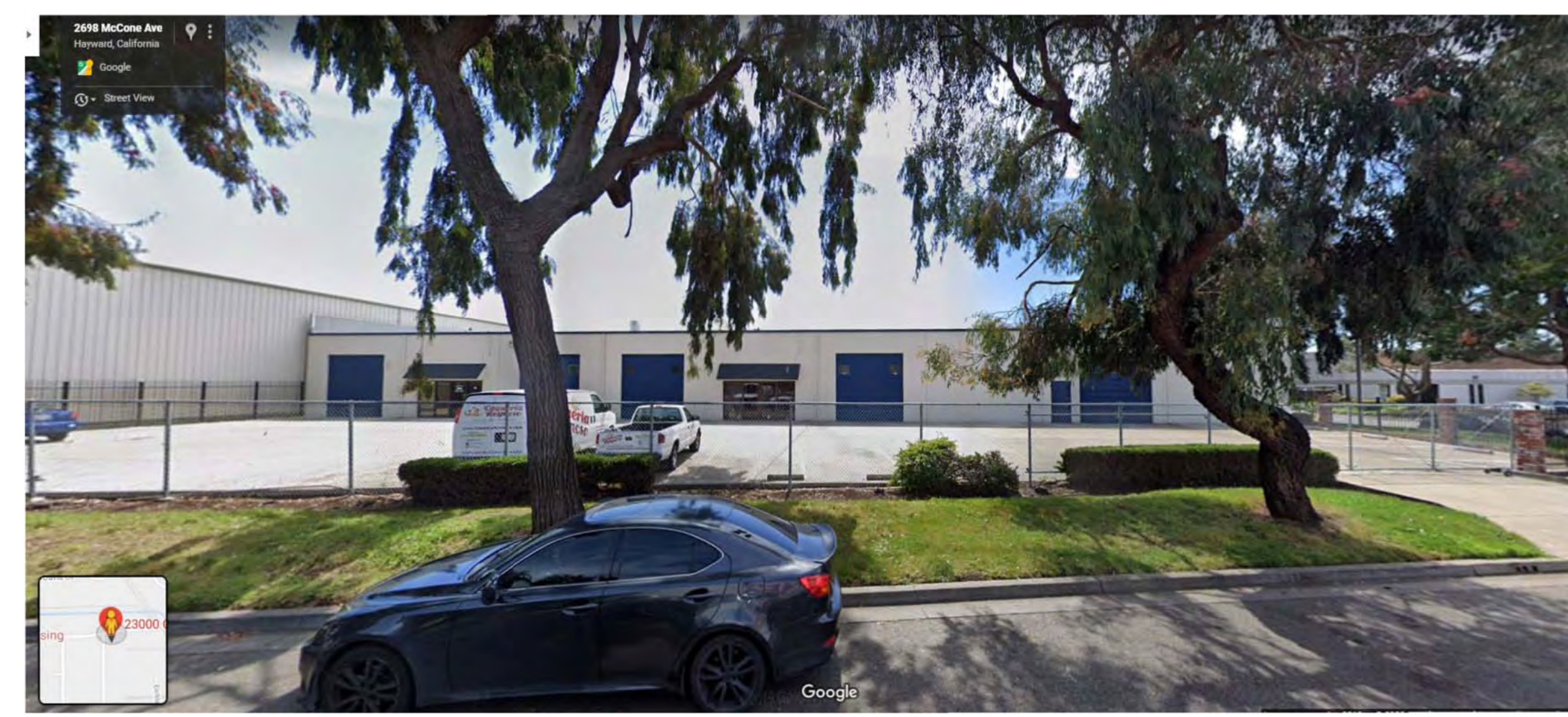
1 North Elevation
A3.1 Scale: 1/16" = 1'-0"



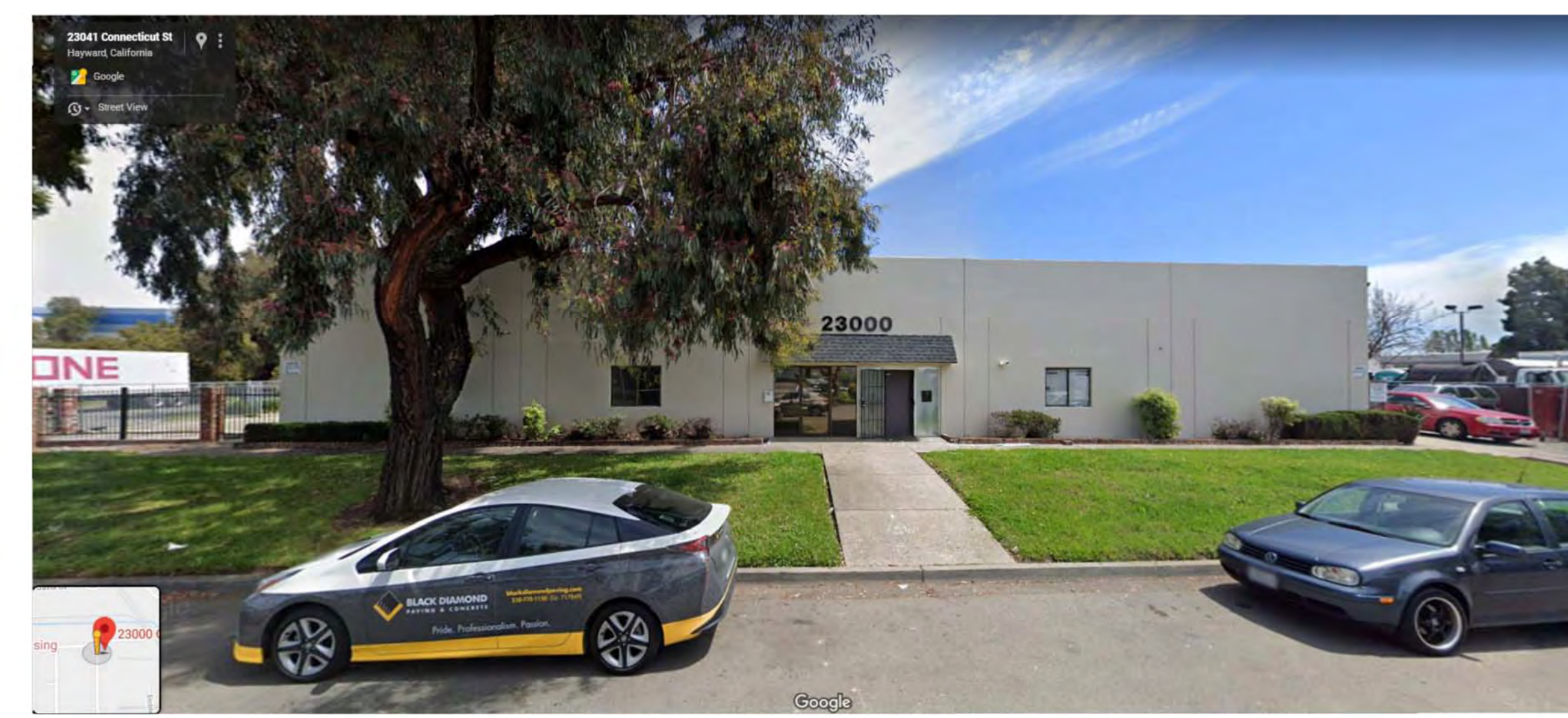
2 West Elevation
A3.1 Scale: 1/16" = 1'-0"



3 South Elevation
A3.1 Scale: 1/16" = 1'-0"



4 North Elevation Google Maps Photo
A3.1 Scale: NTS



5 West Elevation Google Maps Photo
A3.1 Scale: NTS

NOTE: NO EXTERIOR WORK. EXISTING EXTERIOR ELEVATIONS TO REMAIN UNCHANGED