

ABBREVIATIONS

&	And	MACH.	Machine
<	Angle	MAX.	Maximum
@	At	MECH.	Mechanical
C	Centerline	MEMB.	Membrane
Ø	Diameter or Round	MET.	Metal
d	Penny (nail size)	MFR.	Manufacturer
#	Pound or Number	MIN.	Minimum
'	Feet	MIR.	Mirror
"	Inches	MISC.	Miscellaneous
		MTD.	Mounted
		MTG.	Mounting
		MUL.	Mullion
ACOUS.	Acoustic		
ADJ.	Adjustable	N	North
ALUM.	Aluminum	(N)	New
ALT.	Alternate	N.I.C.	Not in Contract
APPROX.	Approximate	NO.	Number
ARCH.	Architect(ural)	NOM.	Nominal
		N.T.S.	Not to Scale
BD.	Board		
BITUM.	Bituminous	O.C.	On Center
BLDG.	Building	O.D.	Outside Diameter (Dim.)
BLK.	Block	OFF.	Office
BLKG.	Blocking	OPER.	Operable
BM.	Beam	OPNG.	Opening
BOT.	Bottom	OPP.	Opposite
CAB.	Cabinet		
C.C.	Center to Center	PL.	Plate, Property Line
CEM.	Cement	P. LAM.	Plastic Laminate
CER.	Ceramic	PLAS.	Plaster
CLG.	Ceiling	PLYWD.	Plywood
CLO.	Closet	PR.	Pair
CLR.	Clear	PROJ.	Projection
COL.	Column	PROP.	Property
CONC.	Concrete	PT.	Point
CONN.	Connection	PTN.	Partition
CONSTR.	Construction	P.V.C.	Poly-vinyl Chloride
CONT(IN).	Continuous		
C.T.	Ceramic Tile	Q.T.	Quarry Tile
CTR.	Center	QTY.	Quantity
CTSK.	Countersunk		
C.W.	Cold Water		
D.	Depth	R.	Riser
DBL.	Double	RAD.	Radius
DEPT.	Department	R.D.	Roof Drain
DET.	Detail	RECESS.	Recessed
DIA.	Diameter	RECP.	Reptor
DIM.	Dimension		
DN.	Down	RECT.	Rectangular
D.O.	Door Opening	REF.	Reference
DR.	Door	REINF.	Reinforced
DWG.	Drawing	REQ.	Required
DWR.	Drawer	RESIL.	Resilient
		R.H.	Robe Hook
E.	East	RM.	Room
(E)	Existing	R.O.	Rough Opening
EA.	Each	R.W.L.	Rain Water Leader
ELEV.	Elevation		
ELEC.	Electrical	S.	South
ENCL.	Enclosure	S.C.	Solid Core
EQ.	Equal	SCHED.	Schedule
EXIST.	Existing	SECT.	Section
EXP.	Expansion	SERV.	Service
EXT.	Exterior	S.G.	Safety Glass
		SHT.	Sheet
F.B.O.	Furnished by Owner	SHTG.	Sheeting
FDN.	Foundation	SIM.	Similar
FIN.	Finish	SL.	Slope
FL.	Floor	S.M.	Sheet Metal
FLASH.	Flashing	SP.	Special
FLUOR.	Fluorescent	SPEC.	Specifications
F.O.C.	Face of Concrete	SPR.	Spring
F.O.S.	Face Of Stud	SQ.	Square
FT.	Foot or Feet	S.ST.	Stainless Steel
FTG.	Footing	STA.	Station
FURR.	Furring	STAG.	Staggered
FUT.	Future	STD.	Standard
		STL.	Steel
GA.	Gauge	STOR.	Storage
GALV.	Galvanized	STRUC.	Structural
G.B.	Grab Bar	SUSP.	Suspended
GL.	Glass	SYM.	Symmetrical
GND.	Ground		
GR.	Grade	(T)	Toilet
G.S.M.	Galvanized Sheet Metal	T.B.	Towel Bar
GYP.	Gypsum	TEL.	Telephone
GWB (G.W.B.)	Gypsum Wall Board	(T)	Tempered
		T. & G.	Tongue and Groove
H.B.	Hose Bibb	TH.	Threshold
H.C.	Hollow Core	THK.	Thick
HDWD.	Hardwood	T.O.	Top of
HDWRE.	Hardware	T.O.P.	Top of Pavement
H.M.	Hollow Metal	T.O.W.	Top of Wall
HORIZ.	Horizontal	T.P.D.	Toilet Paper Dispenser
HR.	Hour	T.V.	Television
HT.	Height	TYP.	Typical
HW.	Hot Water		
		UNF.	Unfinished
I.D.	Inside Diameter	U.O.N.	Unless Otherwise Noted
INSUL.	Insulation	UTIL.	Utility
INT.	Interior		
INV.	Invert	V.C.T.	Vinyl Composition Tile
		VERT.	Vertical
JT.	Joint	V.I.F.	Verify in Field
		VIN.	Vinyl
KIT.	Kitchen		
		W.	West or Width
LAM.	Laminate	W/.	With
LAV.	Lavatory	W.C.	Water Closet
LOC.	Location	WD.	Wood
LT.	Light	W.H.	Water Heater
		W/O.	Without
		W.P.	Waterproof
		W.R.	Water Receptacle
		W.S.	Weather Stripping
		WT.	Weight
		W.W.M.	Welded Wire Mesh

SYMBOLS

	ELEVATION		RECESSED LUMINAIRE
	SECTION NUMBER		SURFACE MOUNTED FLUORESCENT
	NUMBER OF SHEET ON WHICH SECTION IS SHOWN		ROOM NUMBER
	DETAIL NUMBER		KEYNOTE NUMBER
	NUMBER OF SHEET ON WHICH DETAIL IS SHOWN		WALL MOUNTED LUMINAIRE
	INTERIOR ELEVATION NUMBER		CEILING MOUNTED LUMINAIRE
	NUMBER OF SHEET ON WHICH INTERIOR ELEVATION IS SHOWN		SWITCH
	INTERIOR ELEVATION NUMBER		THREE-WAY SWITCH
	NUMBER OF SHEET ON WHICH INTERIOR ELEVATIONS ARE SHOWN		SWITCHED OUTLET
	WINDOW NUMBER		OUTLET
	DOOR NUMBER		QUAD OUTLET
	REVISION NUMBER		SMOKE DETECTOR
	AREA OF REVISION		RECESSED EXHAUST FAN
	CEILING HEIGHT		PARTITION TYPE (SHEET A9.4)

LEGEND

	CONCRETE		GROUT		WOOD (FINISH)
	EARTH		INSULATION		WALL OR PARTITION
	GLASS		PLYWOOD		WALL TO BE DEMOLISHED
	GRAVEL		STEEL (FRAMING)		ONE-HOUR FIRE-RATED WALL

GENERAL NOTES

- All architectural, structural, and electrical work is shown, described or specified in the Architectural, Structural, Mechanical, and Electrical Drawings indexed on this Sheet and as noted in this Drawing Set. All work shall be carried out in accordance with the following:
  - 2019 California Building Code (CBC) - based on the International Building Code
  - 2019 California Plumbing, Electrical, and Mechanical Codes (CPC, PEC, MEC)
  - 2019 California Energy Code and all current local codes and ordinances.
  - 2019 California Fire Code - (Title 24, part 9)
- Designs represented by these drawings are the property of the architect and are developed for use on this project only. These drawings and the designs they represent shall not be used by or disclosed to any person or firm outside the scope of this project without written permission from Robert Remiker Architect.
- The general conditions of the contract for the construction of buildings, published by the American Institute of Architects shall apply to and govern the work of this contract. A copy of the general conditions, although not bound herein, is available for review at the office of the Architect.
- All framing dimensions are to face of finish unless otherwise noted. Do not scale drawings. Written dimensions take precedence. All dimensions shall be field verified. It is the Construction Manager and/or Contractor's responsibility to field verify all dimensions and conditions before commencing construction. Notify the architect of any discrepancies between site conditions and these drawings for clarification and correction by Architect. Construction Manager and/or Contractor shall be responsible for all costs incurred due to his failure to do so.
- Do not notch, bore or cut members for pipes, ducts or other reasons except as shown on drawings, or with specific approval in advance by Architect.
- Verify all dimensions where work involves framing for cabinets, windows, doors, or skylights.
- All exterior doors shall be weather stripped.
- Scope of Work: The scope of work for each division shall include all labor, materials, appliances, equipment and facilities necessary to do all of the work indicated in the drawings and specifications. Work shall include all demolition, patching and repair required to accommodate new construction. Construction Manager and/or Contractor shall supply all labor, materials, equipment and services of every kind, including water and power, necessary for the. Proper execution of the work shown on the drawings. Only work identified as not in contract (N.I.C.) or by Owner shall not be included in the scope of work.
- Shop drawings: Construction Manager and/or Contractor and subcontractors shall be responsible for submitting shop drawings to the architect for approval prior to proceeding with fabrication. Construction Manager and/or Contractor shall submit samples of all new finish materials to the architect for approval prior to installation or execution.
- Permits and inspections: the tenant shall pay for plan checking fees and building permits. Each contractor shall secure and pay for permits required for their work and for all inspections which may also be required. Testing and inspections: Construction Manager and/or Contractor shall arrange and pay for all testing and inspections required by applicable building codes, ordinances or directives of governing Building officials. The owner or architect may require testing of materials for conformance with the contract documents. The owner shall pay all costs for such testing if the tests indicate conformance. Construction Manager and/or Contractor shall pay costs when the testing indicates non-conformance.

CONSTRUCTION NOTES

- The existing conditions in the construction documents are based on site observation, and partial original plans supplied by Owners, building owners, and prior Architect to Robert Remiker Architect. Any discrepancies between these documents, and the actual field conditions shall be brought to the attention of the Architect before proceeding with any work.
- When Construction Manager and/or Contractor accepts delivery of all items noted on plans whether in contract or not in contract, the Contractor shall be responsible for loss and/or Damage to these items.
- The Construction Manager and/or Contractor shall maintain, for the entire duration of the work, all exits, exit lighting, fire protection devices, and alarms in conformance with all applicable Codes and ordinances.
- Construction Manager and/or Contractor shall assess at time of bid, the condition of existing construction to remain. Any necessary upgrades, repairs, or replacement shall be included in the scope of work at that time. With prior approval of Owner and return of proper credit, existing Work scheduled for removal or replacement, which can be incorporated into the new scope, may be re-used.
- Demolition: remove all interior partitions, casework, store fronts, ceiling, finished flooring and all other items not used in new scheme.
- All saw cutting, coring and anchoring locations shall be reviewed in field by the Construction Manager and/or Contractor and coordinated with the landlord prior to the work. DO NOT CUT REBAR. If rebar is encountered, the work is to be relocated.
- "Typ." should mean that the condition is representative for similar conditions throughout, unless otherwise noted.
- Floor plan by Architect supersedes other plans. All dimensions marked "clear" shall be maintained and shall allow for thickness of all finishes including carpet, pad, ceramic tile, v.c.t., etc.
- Provide portable fire extinguisher(s) with U.L. label and a rating of not less than 2-A with 75 ft. travel distance to all positions of space or as directed by the fire department field inspector.
- Construction Manager and/or Contractor to coordinate all millwork, lighting and flooring shipments directly with Vendors.
- Construction Manager and/or Contractor to label electrical switches and thermostats as shown on elec. & mech. dwgs. 3/8" high letters min., white typeface typ. All label text styles to match.
- Construction Manager and/or Contractor shall be responsible for all costs required by these contract documents or by Government agencies with regard to inspections and testing.
- Construction Manager and/or Contractor shall provide and be responsible for all costs for public protection as required by the contract documents and local government agencies.

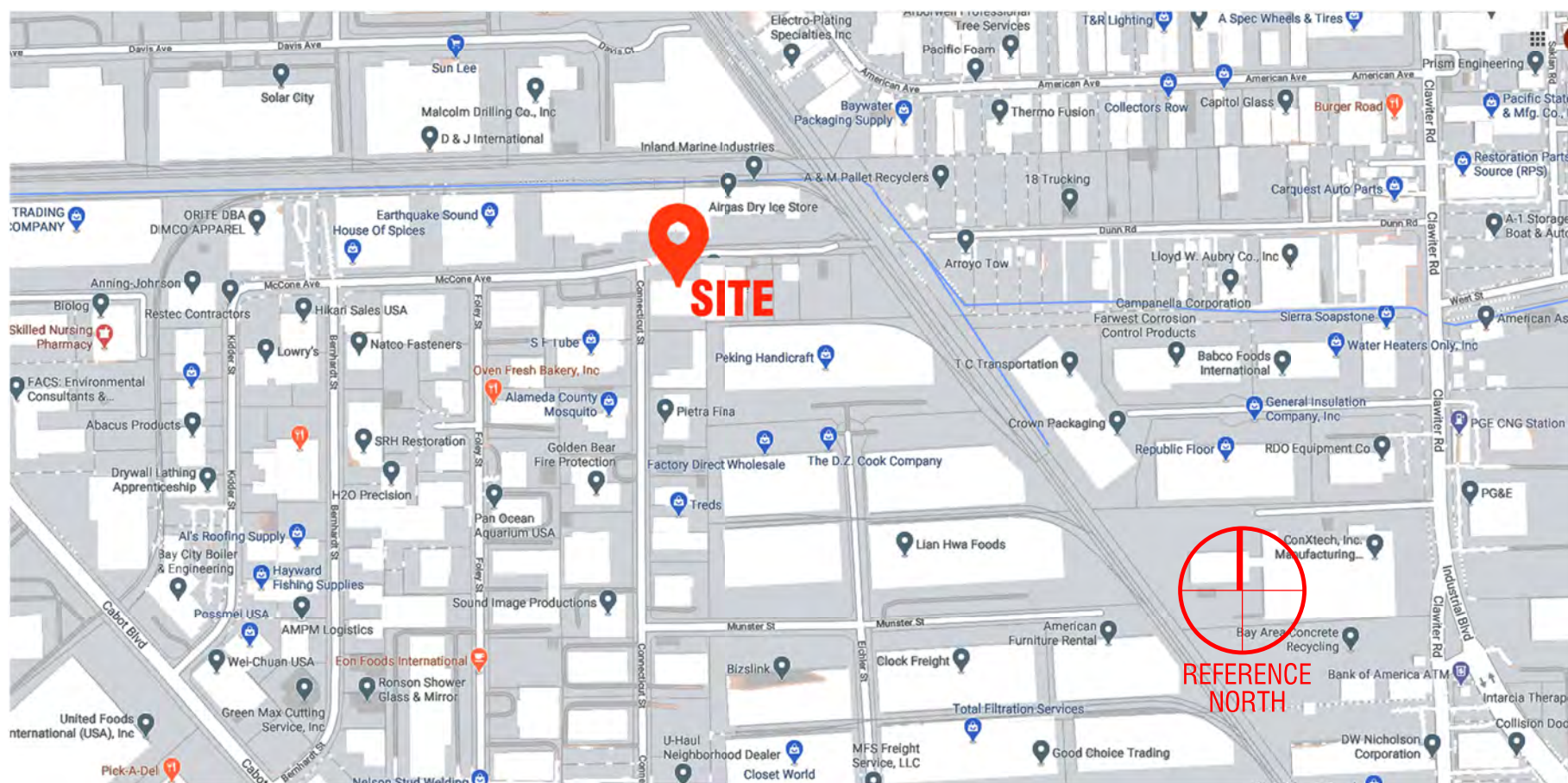
# Always On Time Consulting

## Conditional Use Permit

### Project Description

ALTERATIONS OF EXISTING TENANT SPACE FOR CANNABIS RELATED ENTERPRISE - DELIVERY, DISTRIBUTION, AND MANUFACTURING.

### LOCATION MAP



### GREEN BUILDING NOTES

- Construction Waste Management: Contractor to comply with the City of Hayward Construction and Demolition Debris Waste Management Plan
- Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials per CGC 5.410.1
- Acoustical Control: Floor to Ceiling Assembly consists of 4" to 5" concrete slab with carpet tile. 4" Slab provided = STC 49. Minimum Required = STC 40. (National Bureau of Standards Test #808) Windows at storefront glazing have > 1/4" thick monolithic glass=31 STC( Riverbank Acoustical Laboratories Test No. TL 85-169).
- Carpets where used to meet NSF/ANSI 140 at the Gold level.
- Carpet proposed is a Modular Carpet product. No carpet pad proposed.
- Third party commissioning of HVAC and Lighting Systems to be performed as directed/contracted by Owner/Tenant.
- Paint products to be Zero VOC Cal Green Title 24 Part II compliant non-flat finish latex.
- VCT and LVT products where used to comply with FloorScore® Indoor Air Quality Certified to SCS-EC10.2-2007
- Composite wood products to comply with CA Air Resources Board TABLE 5.504.4.5 Formaldehyde PPM Emission limits as follows:

Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particle board	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard	0.13
- Indoor Water Efficiency: All Plumbing Fittings and Fixtures to comply with State, City and County of Alameda Green Building Measures PRESCRIPTIVE Approach Flow Rates.
- All Adhesives, Sealants and Caulks to comply with South Coast Air Quality Management District Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol paints (13C.5.504.4.3), including the following:

Carpet Adhesive, VOC limit (g/L less water =50)
Ceramic Tile Adhesive, VOC limit (g/L less water =65)
VCT Adhesive, VOC limit (g/L less water =50)
Drywall Adhesive, VOC limit (g/L less water =50)
Multipurpose Construction Adhesive, VOC limit (g/L less water =70)

**Robert Remiker**  
ARCHITECT

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Alterations for:

*Always On Time*  
23000 Connecticut St.  
Unit #5  
Hayward, CA 94545

Rev #	Description	Date:
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△	Plan Check #1	11-16-2020
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△	Plan Revisions	9-21-2022
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Sheet Title:

Index, Green Building  
Notes, Construction  
Notes, Symbols,  
Abbreviations and  
General Notes

Date:	02-21-2020
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Scale:	AS NOTED
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Drawn:	RR
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Job:	2011
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Sheet

# A0.0

of Sheets





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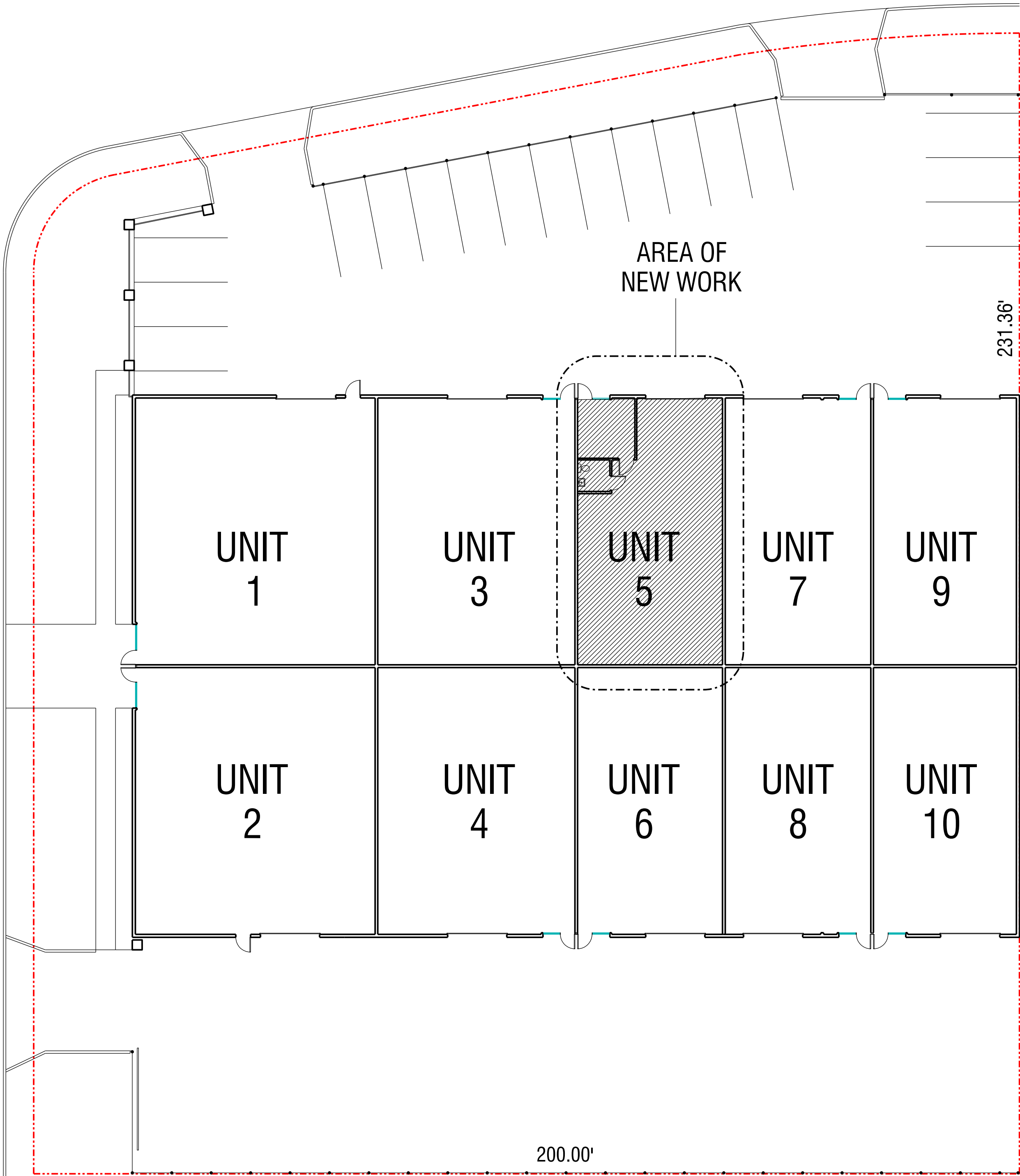
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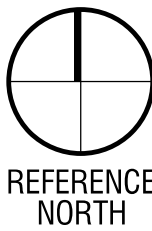
Site Plan - Existing

Date:	02-21-2020
Scale:	1/16" = 1'-0"
Drawn:	RR
Job:	2011
Sheet	

A1.1  
of Sheets



1 Site Plan - Existing  
A1.1 Scale: 1/16" = 1'-0"







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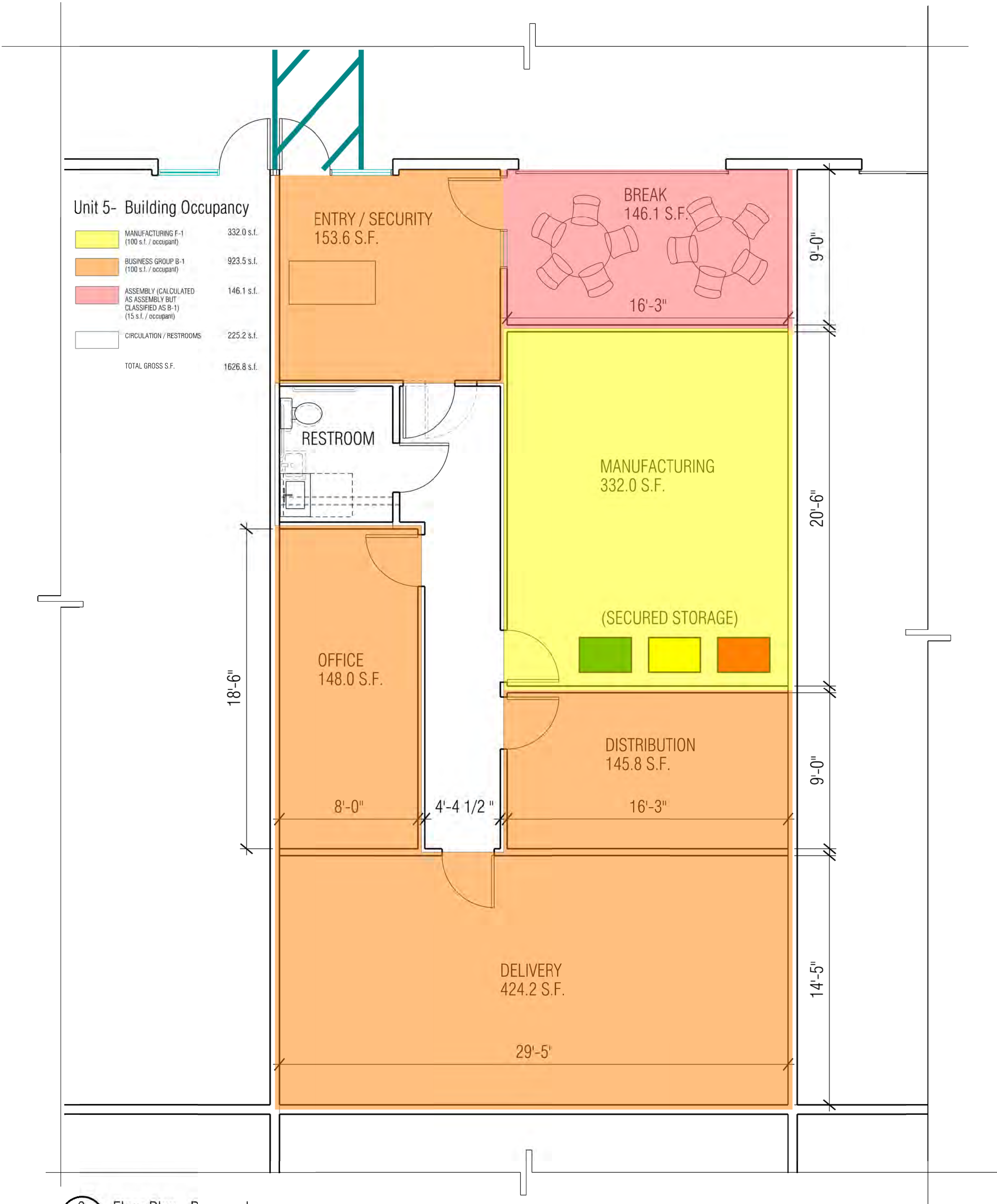
Rev #	Description	Date:
△	Plan Check #1	11-16-2020
△	Plan Revisions	9-21-2022

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Sheet Title:  
**Site Plan &  
Floor Plan -  
Proposed**

Date:	02-21-2020
Scale:	AS NOTED
Drawn:	RR
Job:	2011
Sheet	

**A2.1**  
of Sheets

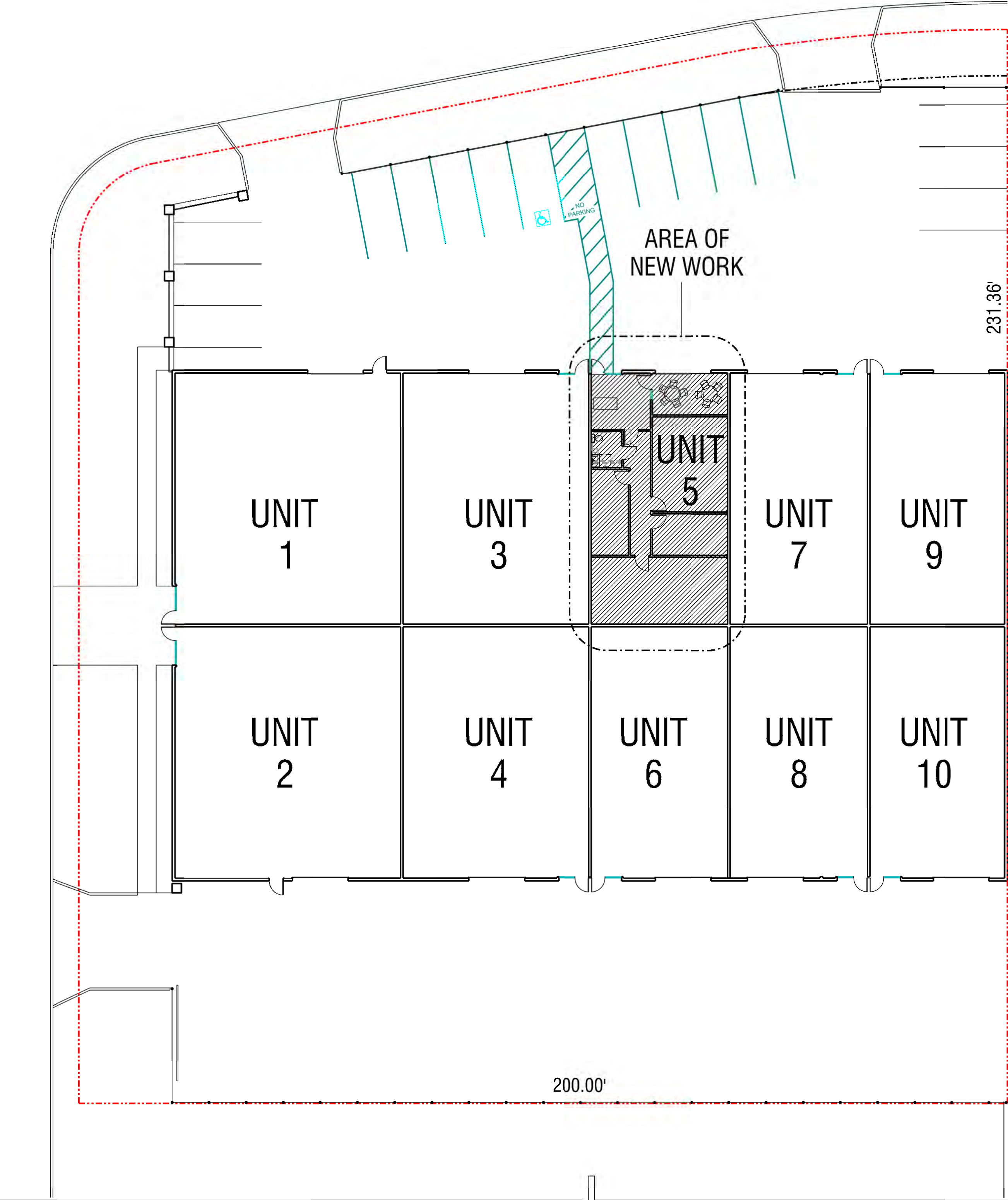


**2**  
**A2.1** Floor Plan - Proposed  
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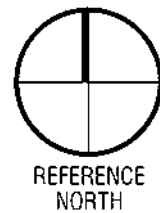
**Waste Management Legend**

- GREEN: CULTIVATION, LAB EXPENT MATERIAL, PRE-ROLL WASTE - CANNABIS PLANT MATERIAL ONLY
- YELLOW: DAMAGED OIL PRODUCTS (VAPE BATTERIES, OIL+BATTERY, ANY OIL CONTAINING PRODUCT WASTE)
- RED: ETHANOL OR OTHER SOLVENT WASTE

GREEN: CULTIVATION, LAB EXPENT MATERIAL, PRE-ROLL WASTE - CANNABIS PLANT MATERIAL ONLY



**1**  
**A2.1** Site Plan - Proposed  
Scale: 1/16"=1'-0"







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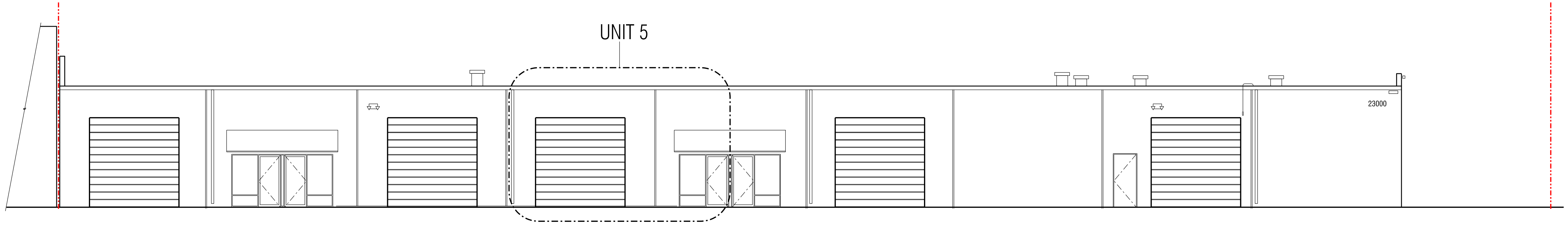
Rev #	Description	Date:
△	Plan Check #1	11-16-2020
△	Plan Revisions	9-21-2022

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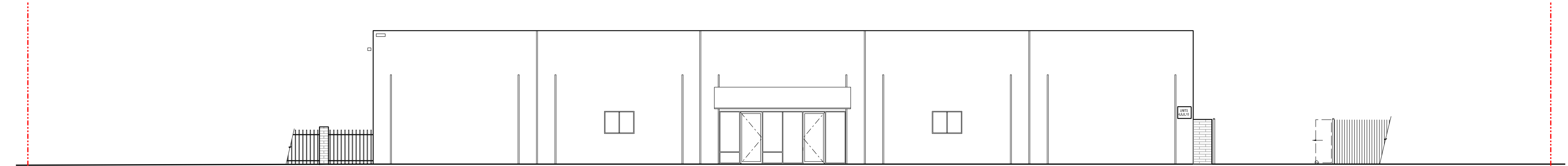
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**Exterior  
Elevations  
and Photos**

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Drawn:	RR
Job:	2011
Sheet	

**A3.1**  
of Sheets



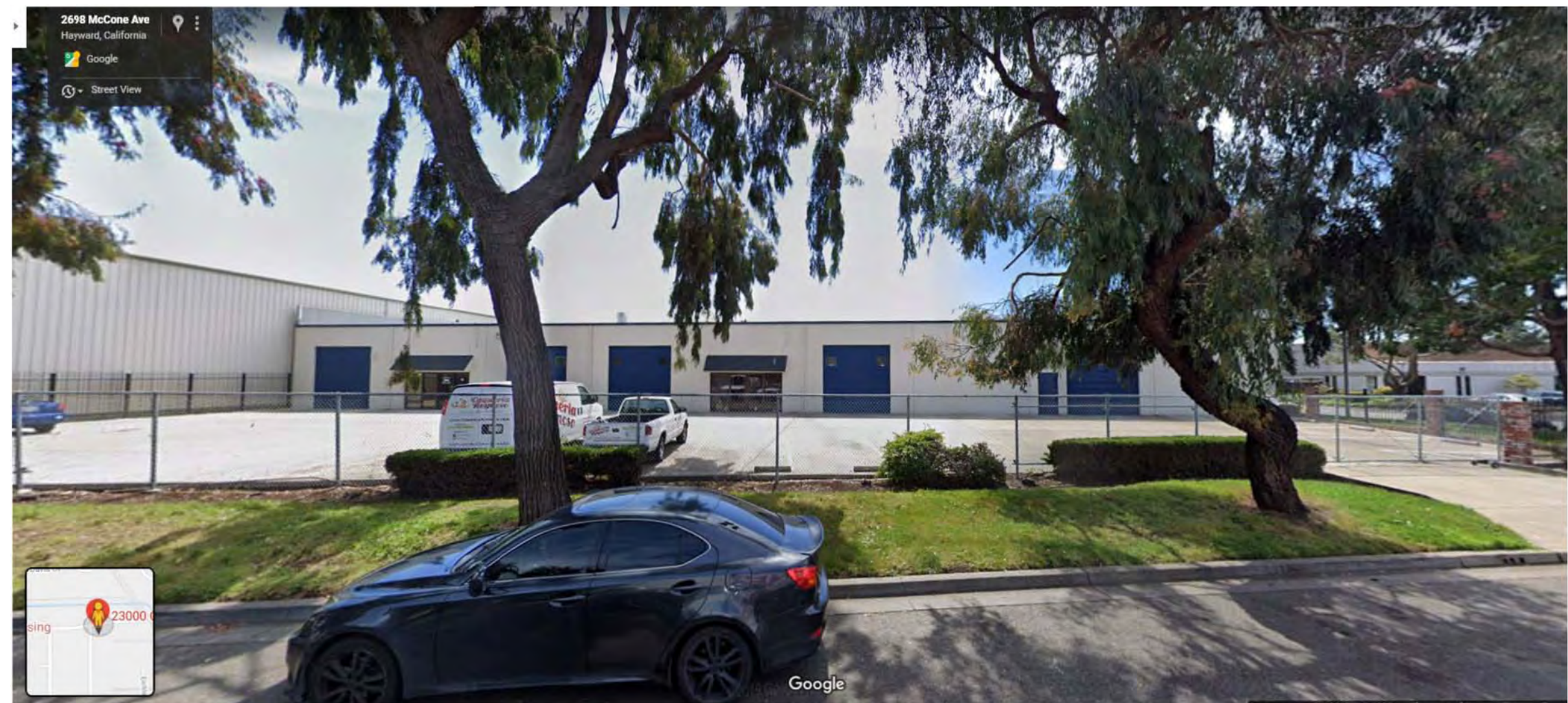
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A3.1 Scale: 1/16"=1'-0"



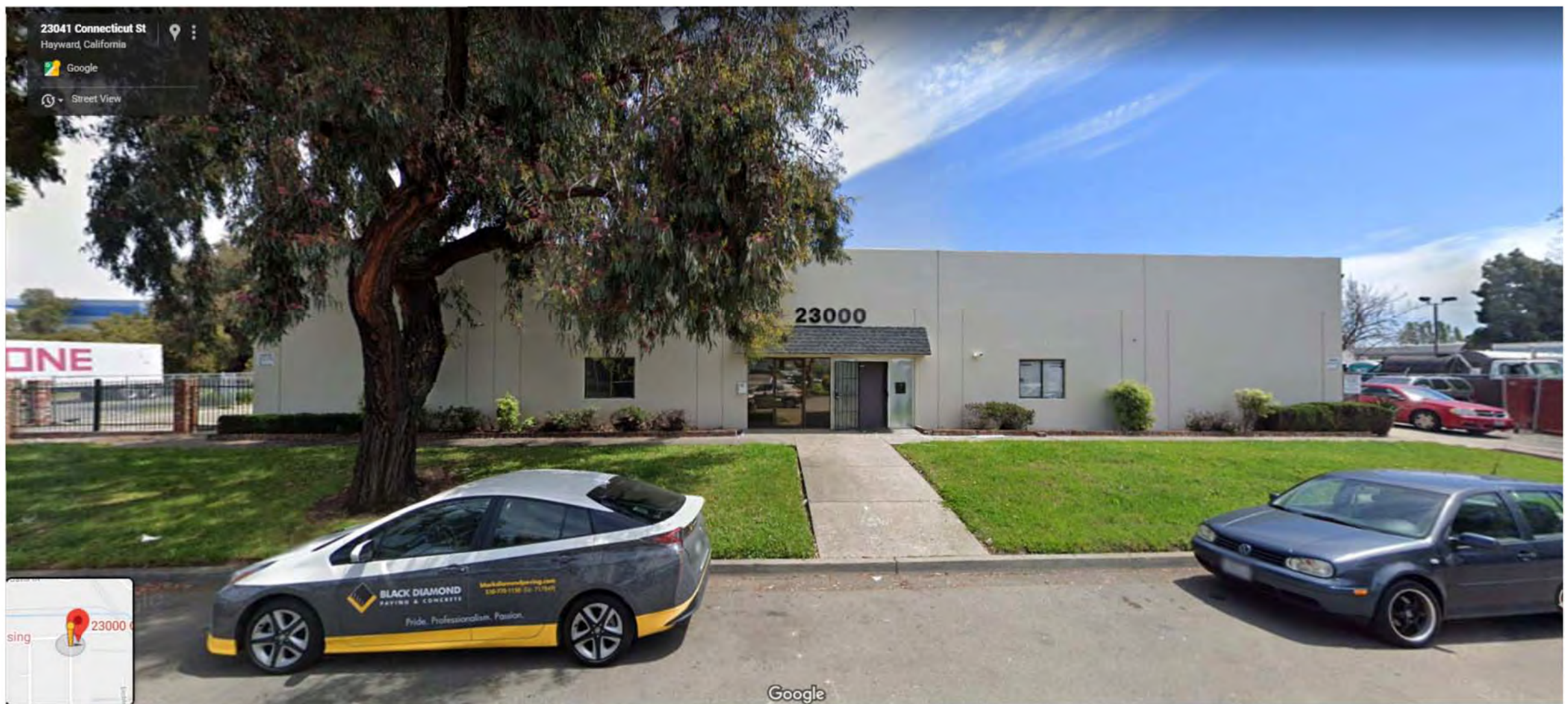
2 West Elevation  
A3.1 Scale: 1/16"=1'-0"



3 South Elevation  
A3.1 Scale: 1/16"=1'-0"



4 North Elevation Google Maps Photo  
A3.1 Scale: NTS



5 West Elevation Google Maps Photo  
A3.1 Scale: NTS

NOTE: NO EXTERIOR WORK. EXISTING EXTERIOR ELEVATIONS TO REMAIN UNCHANGED