

**CITY COUNCIL MEETING
TUESDAY, JUNE 20, 2017**

PRESENTATIONS

Item # 9 WS 17-034

**Review of the 2017 Point-in-Time Count and Survey of Homeless
Persons in Alameda County and Hayward**



Review of the 2017 Point-in-Time Count and Survey of Homeless Persons in Alameda County and Hayward

CITY COUNCIL – JUNE 20, 2017

Regional issue – regional efforts

- EveryOne Home Coalition
- Continuum of Care
- Coordinated entry system
- Federal – state – local partnership
- Nonprofit service providers
- Measure A1 – The Housing Bond
- Point-in-Time Count
- 2017 Leadership Summit of elected officials

Local efforts in Hayward

- Hayward allocates approximately \$835,000 per year to address homelessness and housing issues
- Recent Council discussions and reviews of the City's strategies to address homelessness and housing affordability (links):
 - [Update on Regional Efforts to Address Homelessness in Alameda County and Next Steps in the City of Hayward's Participation in Those Efforts](#)
 - [Review and Discussion of Housing Affordability Strategies and Resources in Hayward and Alameda County](#)
- Council Strategic Initiative: Complete Communities
- Local grassroots efforts (Task Force to End Hunger and Homelessness)



Hayward Homeless Point-in-Time Count

EVERYONE DESERVES THE DIGNITY OF A HOME

HAYWARD CITY COUNCIL

JUNE 20, 2017



EveryOne Home

EveryOne Home is a collective impact initiative founded in 2007 by Alameda County and its 14 cities to facilitate the implementation of the plan to end homelessness, known as the *EveryOne Home Plan*.

EveryOne Home envisions a system in Alameda County that ensures all extremely low-income residents have a safe, supportive and permanent place to call home with services available to help them stay housed and improve the quality of their lives.

The Five Core Strategies

1. Prevent homelessness and other housing crises.
2. Increase housing opportunities for the plan's target populations.
3. Deliver flexible services to support stability and independence.
4. Measure success and report outcomes.
5. Develop long-term leadership and build political will.

Ending Homelessness in Alameda County

EveryOne Home
Housing/Services Planning
and Strategy
County Agencies, Cities,
Private Sector Partners



Expand and Coordinate
Housing, Outreach, and
Supportive Services



GOAL: Safe, Permanent
Housing for All

Measuring Success and Reporting Outcomes

- Every two years, during the last 10 days of January, EveryOne Home conducts a comprehensive count of the Alameda County homeless population in order to measure our success and gather data.
- Data is used for systems planning and using resources efficiently
- In 2017, a change in methodology allowed us to gather city-specific data, including City of Hayward's



Methodology

The Point-in-Time Count methodology had four primary components:

- The shelter count for the evening prior to the general street count – an enumeration of sheltered homeless individuals
- The general street count from approximately 5 a.m. to 12 p.m. – an observation based count of unsheltered homeless individuals (100% canvas)
- The youth street count between the hours of 7 p.m. and 11 p.m. – a targeted enumeration of unsheltered youth under the age of 25 (targeted outreach)
- Survey – sample of individuals residing on the street and in county shelters in the days following the count to develop a more robust population profile

Components of the count were coordinated to minimize duplication across efforts and additional methods were used to remove potential duplicates between the youth and general count efforts.

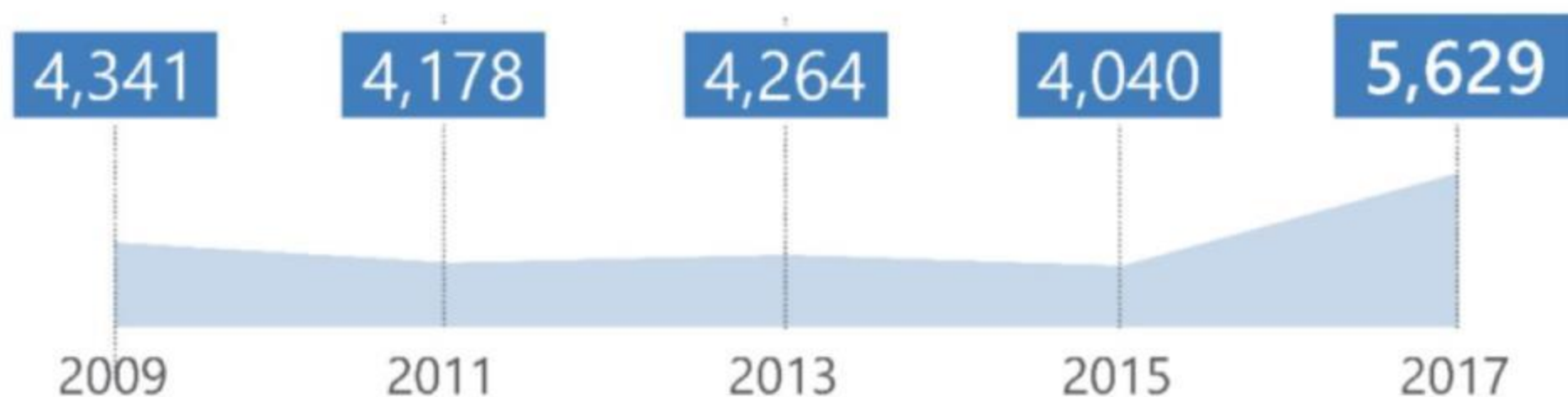
2017 Homeless Census Population

In this study, the HUD definition of homelessness for the Point-in-Time Count is used. This definition includes individuals and families:

- Living in a supervised publicly or privately operated shelter designated to provide temporary living arrangement; or
- With a primary nighttime residence that is a public or private place not designed for or ordinarily used as a regular sleeping accommodation for human beings, including a car, park, abandoned building, bus or train station, airport, or camping ground.



Alameda County Homeless Population



City of Hayward Homeless Population



Sheltered/Unsheltered Population





Who is homeless in Hayward?

- People experiencing homelessness are likely to be white (54%), male (63%) and between the ages of 25 and 60 (68%)
- 83% of respondents said they lived in Alameda County before becoming homeless; with 63% having lived here 10 years or more
- They are also likely to be disabled; 58% reported living with one or more disabling conditions that limited their ability to maintain work or housing

Who is homeless in Hayward

- The majority of people experiencing homelessness in Hayward are unsheltered (79%), this is higher than the countywide unsheltered population (69%)
- 40% of respondents said that this was their first episode of homelessness; 50% of those reported being homeless for more than one year
- When asked, only 1% of survey respondents said they were not interested in housing



Countywide Comparisons

Justice System Involvement

- 20% of respondents spent one or more nights in jail/prison/juvenile hall in the past year (compared to 14% in the countywide population)

Post K-12 Education

- 9% of respondents were currently enrolled in a vocational program or college (compared to 5% in the countywide population)

Health Conditions

- 55% have psychiatric or emotional conditions affecting housing instability or employment (compared to 41% in the countywide population)

Subpopulations



Chronically Homeless

- 151 individuals
- 2% sheltered and 98% unsheltered

Veterans

- 23 individuals
- 0% sheltered and 100% unsheltered

Unaccompanied Transitional Age Youth

- 49 individuals
- 12% sheltered and 88% unsheltered

Lack of Affordable Housing Causes Homelessness

- More than half of respondents (51%) said that economic hardship was the primary cause of their homelessness
- Rental assistance (43%) and employment assistance (30%) were the top two answers to what might have prevented their homelessness
- Since 2015, rents in Alameda County have increased by 25% while median household income increased only 5%
- Alameda County has also lost 74% of its state and federal funding for affordable housing production, creating a dire shortage of units

Current Homeless and Housing System

- Alameda County's system serves 11-12,000 people per year with 3,000 being sustained in permanent supportive housing
- Shelters and transitional housing beds were full on January 30, 2017, with 1,766 people staying in them. That's 1 bed for every 3 people experiencing homelessness
- Each year providers exit 1,500 to permanent housing, while over 2,500 become homeless

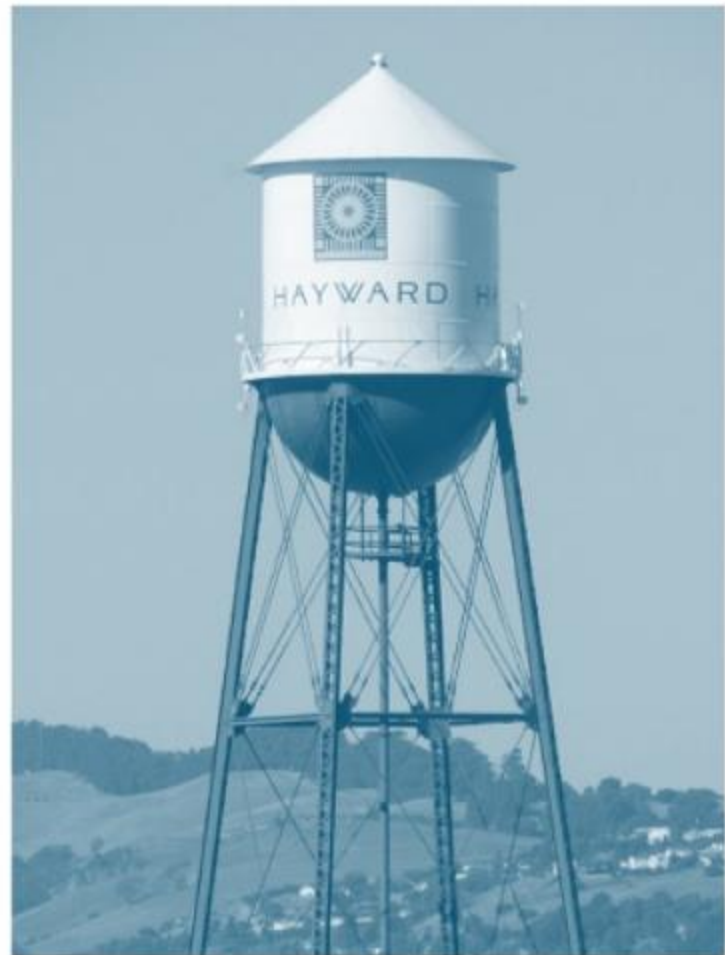


All people deserve the dignity of a home

Together we must:

- Exceed the commitment of 20% if new rental units for those at 20% Area Median Income and below for Measure A1
- Pressure CA lawmakers to create new sources of long-term revenue dedicated to producing and preserving affordable housing
- Commit to renting to our homeless neighbors
- Implement equitable compassionate actions for addressing unsheltered homelessness
- Continue using best practices such as Housing First and Coordinated Entry
- Help formerly homeless people make their place a home, contribute at www.everyonehome.org

Thank you



Questions & Discussion

Item # 10 PH 17-062

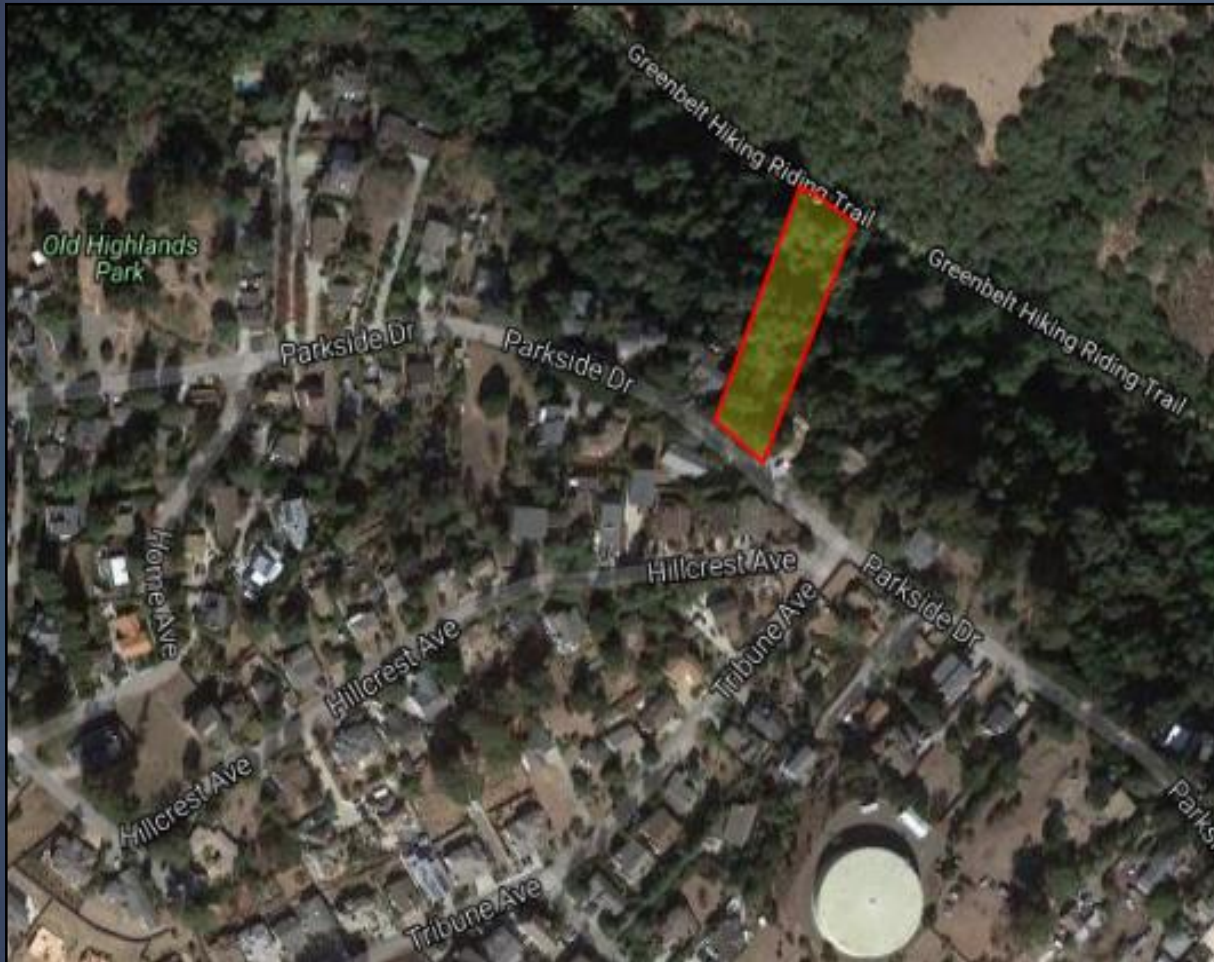
Parkside Drive Single Family Residence



DEVELOPMENT SERVICES

Parkside Drive Single-Family Residence

Project Site



Location:
26446 Parkside Drive

Zoning:
Residential Nature
Preserve (RNP)

Land Use
Designation:
Suburban Density
Residential (SDR)

Project Summary



✓ Site Plan Review

- 4,410 Square-Foot Single-Family Residence
- On and Off-Site Improvements
- Drought-Tolerant Landscaping

✓ Grading Permit Review

- HMC requires City Council Review for Grading on Sites with an Average Slope exceeding 20%

✓ Planning Commission Recommendation

- May 25th: Voted 7-0-0 to Recommend Approval to City Council

Existing Site Conditions



- ✓ Vacant Hillside Parcel
- ✓ Located in Established Residential Neighborhood
- ✓ Existing Trees and Vegetation on the Project Site
- ✓ Conservation Easement Recorded

Proposed Project



**richard
janzen
architecture**

RICHARD JANZEN, ARCHITECT
8812 PASO ROBLES DRIVE
OAKLAND, CA 94611
510.338.7380
www.richardjanzenarchitect.com

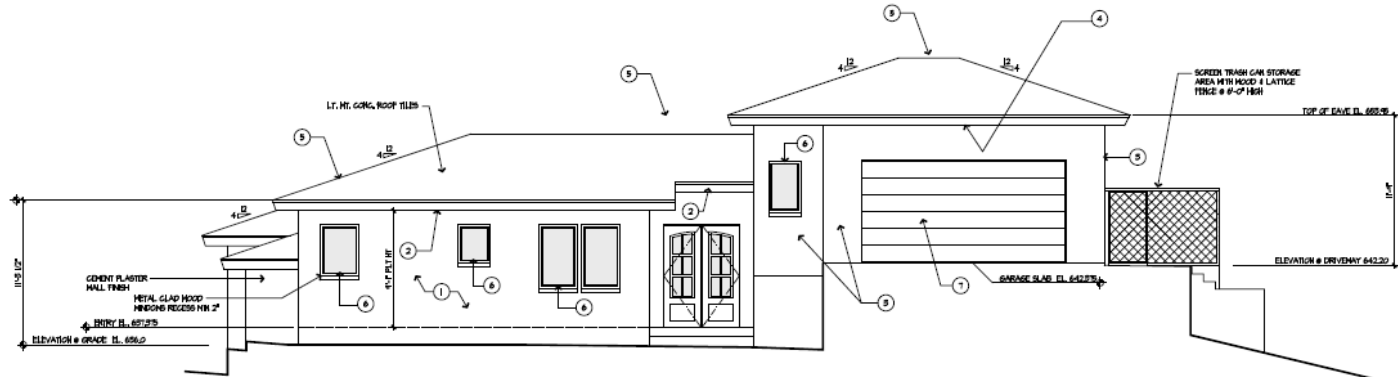
REV	DATE	BY

ZHANG RESIDENCE
26446 PARKSIDE DRIVE
HAYWARD, CA 94542

ZHANG
RESIDENCE
COLOR
BOARD

DRAWN	BY
CHECKED	BY
DATE	FEBRUARY 26, 2017
SCALE	AS NOTED
JOB NO.	M04-4
SHEET	

CB.1
OF SHEETS



COLOR BOARD - FRONT ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR COLOR SPECIFICATIONS



1 COLOR #1: **APPLEGATE PARK** NO. KM 5153
PLACEMENT: MAIN EXTERIOR ROSE COLOR



2 COLOR #2: **PASEO VERDE** NO. KM 5154
PLACEMENT: ROOF EAVE FASCIA AND ROOF DOWNSPUTS



3 COLOR #3: **LA GRANGE** NO. KM 5155
PLACEMENT: PAINT COLOR FOR GARAGE (ALL SIDES AND FRONT)



4 COLOR #4: **ROLLING HILLS** NO. KM 5156
PLACEMENT: GARAGE ROOF FASCIA AND ROOF DOWNSPUTS

COLOR SPECIFICATIONS NOTES

- EXTERIOR CHAILING COLORS AND GARAGE FRONT FACE SHALL BE BY PAINT MANUFACTURER "VELVET-ROSE PAINT" OR EQUAL.
- ROOFING SHALL BE BY ROOFING MANUFACTURER "EAGLE ROOFING PRODUCTS" 4602 CONCORD BLEND. PROFILE: DEL. AIR DESCRIPTION: CHARCOAL, TAN BLEND OR EQUAL.
- WINDOWS SHALL BE BY WINDOW MANUFACTURER "ANDERSON WINDOWS" VINTL GLAZED WOOD INTERIOR 4600 SERIES 1/2"X6" OR EQUAL.

ROOF SPECIFICATIONS



5 COLOR #5: **CONCORD BLEND** NO. 4602
PLACEMENT: LIGHTEST CONCRETE ROOF TILES

WINDOW SPECIFICATIONS



6 COLOR #6: **TERRACOTTA**
PLACEMENT: EXTERIOR TRAVE (GLAZING)

GARAGE DOOR SPECIFICATIONS



7 COLOR #7: **MID ROOM** NO. KM 4875
PLACEMENT: EXTERIOR FACE OF GARAGE DOOR

Proposed Project



**richard
janzen
architecture**

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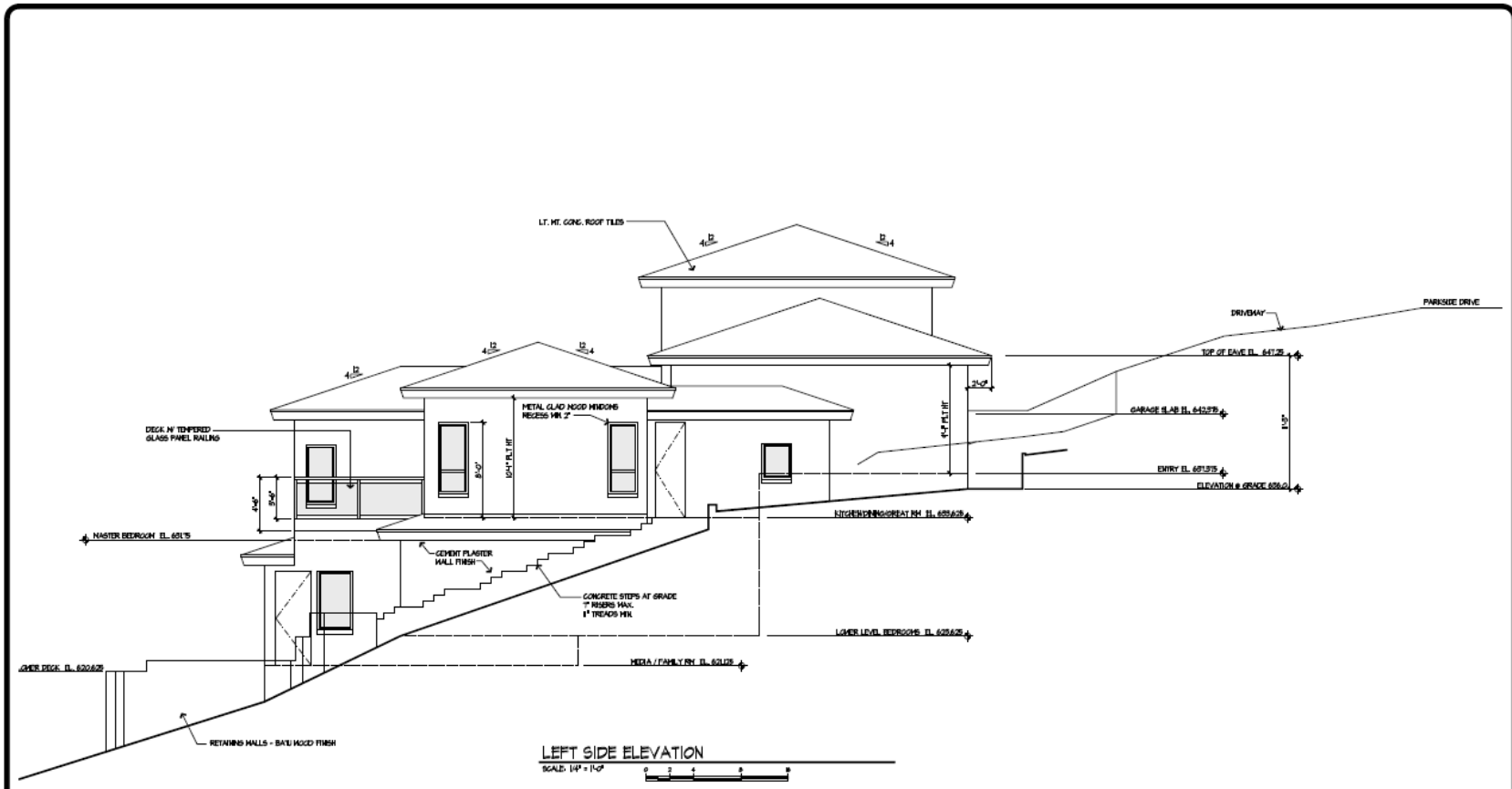
REV	DESCRIPTION

ZHANG RESIDENCE
26446 PARKSIDE DRIVE
HAYWARD, CA 94542

EXTERIOR
ELEVATION

DRAWN BY
CHECKED BY
DATE
FEBRUARY 08, 2017
SCALE
AS NOTED
JOB NO.
M04-4
SHEET

A3.3



Environmental Review



- ✓ Initial Study and Mitigated Negative Declaration (IS/MND) were prepared for the proposed project.
- ✓ Impacts identified are related to ***Geology & Soils.***
- ✓ Mitigation Measures were incorporated as Conditions of Approval and the Mitigation Monitoring and Reporting Program to minimize such impacts to a level of ***less than significant.***

Staff Recommendation



That the City Council:

- ✓ **Approve** the Site Plan Review and Grading Permit based on the required Findings and subject to the Conditions of Approval; and
- ✓ **Adopt** the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the proposed project.

Questions & Discussion





Reference Slides

Compatibility with Existing Development



26382 Parkside Drive



26420 Parkside Drive

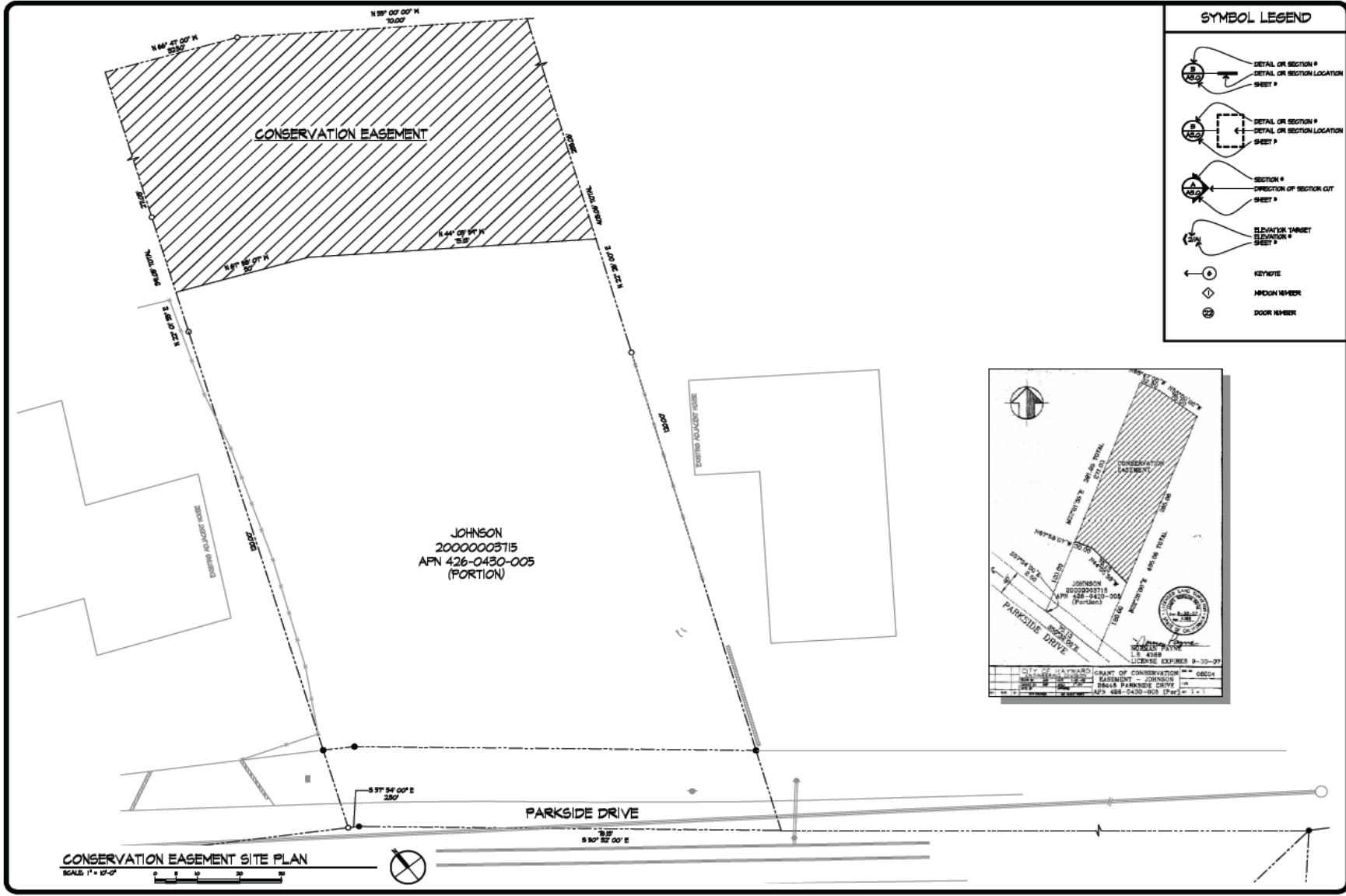


26404 Parkside Drive



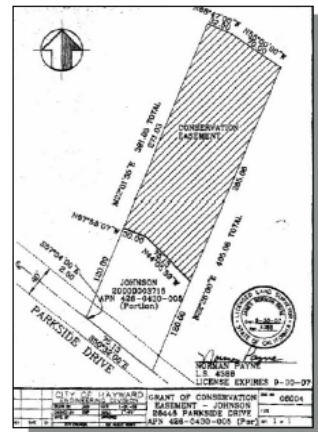
26472 Parkside Drive

Conservation Easement (2007)



SYMBOL LEGEND

- DETAIL OR SECTION #
DETAIL OR SECTION LOCATION SHEET #
- SECTION #
DIRECTION OF SECTION CUT SHEET #
- ELEVATION TRIMSET
ELEVATION # SHEET #
- KEYNOTE
- MOON NUMBER
- DOOR NUMBER



richard janzen architecture

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REV	NO	BY

ZHANG RESIDENCE
26446 PARKSIDE DRIVE
HAYWARD, CA 94542

CONSERVATION
EASEMENT
SITE PLAN

A1.1

DATE: FEBRUARY 08, 2007
SCALE: AS SHOWN
JOB NO.: 07-001
SHEET: 01/01

Tree Preservation Plan & Arborist Report

Tree Preservation Guidelines

The goal of tree preservation is not merely to survive during development but maintenance of tree health and beauty for many years. Trees retained on sites that are either subject to extensive study during construction or are rationally maintained become a liability rather than an asset. The expense of individual trees will depend on the amount of excavation and grading, the zone with which construction is undertaken, and the construction methods. Coordinating any construction activity inside the Tree Protection Zone can minimize these impacts.

The following recommendations will help reduce impacts to trees from development and maintain and improve their health and vitality through the clearing, grading and construction phases.

Design recommendations

- All plans affecting trees shall be reviewed by the Consulting Arborist with regards to tree impacts. This includes, but is not limited to, Grading, Clearing, Utility and Landscape Plans.
- A **Tree Protection Zone** shall be established for trees to be preserved, in which no excavation or grading shall occur. **Tree Protection Zones** for trees to be preserved are provided in the following table. No grading, excavation, construction or storage of materials shall occur within the zone.

Specific Tree Protection Zones

Tree No.	Tree No.	TPZ
698, 697 and 700	698, 697 and 700	Circle (CUL) in all directions
699	699	10' R.O. in all other directions
699	699	10' R.O. in all other directions
699	699	10' R.O. in all other directions
699	699	10' R.O. in all other directions
699	699	10' R.O. in all other directions
699	699	10' R.O. in all other directions
699	699	10' R.O. in all other directions
699	699	10' R.O. in all other directions
699	699	10' R.O. in all other directions

- Underground utilities including utilities, water or sewer shall be located around the **Tree Protection Zone**. Where encroachment cannot be avoided, special construction techniques such as hand digging or tunneling under roots shall be employed where necessary to remove rock.
- Tree Preservation Fences**, prepared by the Consulting Arborist, should be included on all plans.
- Irrigation systems must be designed so that no trenching will occur within the **Tree Protection Zone**.
- Any vehicles placed under paving materials must be safe for use around trees established for that use.
- Do not line within 25' of any tree to be preserved. Line a tree to tree roots.

Pre-construction treatment and recommendations

- The arborist consultant shall meet with the Consulting Arborist before beginning work to discuss work procedures and the protection.
- Fences for trees to be retained to completely enclose the **TREE PROTECTION ZONE** prior to demolition, grubbing or grading. Fences shall be 6" chain link or equivalent as approved by the City. Fences are to remain until all grading and construction is completed.
- Trees to be removed that have branches extending into the canopy of trees to remain shall be removed by a qualified arborist and by the demolition contractor. The qualified arborist shall remove the tree in a manner that causes no damage to the tree(s) and arborist to remain. Stumps shall be ground below grade.
- Any brush clearing required within the **Tree Protection Zone** shall be accomplished with hand tools.
- Flume trees to be preserved to clean the crown and to provide clearance. All pruning shall be done by a State of California Licensed Tree Contractor (SCLTC). All pruning shall be done by Certified Arborist or Certified Tree Worker in accordance with the Best Management Practices for Pruning (International Society of Arboriculture, 2006) and consistent with the most recent edition of the American National Standard for Tree Care Operations (ANSI Z39.1 and Pruning (ANSI).

Tree Assessment

TREE No.	SPECIES	TRUNK DIAMETER (in.)	HEIGHT (ft.)	CONDITION	RECOMMENDATION	COMMENTS	North	South	East	West
698	Coast live oak	18.8	Yes	3	Moderate	Columnar trunk at base, 10' above ground. For overhead utilities 10' stem bowed NE.	20	16	22	36
697	Coast live oak	17	Yes	3	Moderate	Multiple attachments at base, 5' half of canopy topped for overhead utilities, stems in attachments.	15	5	25	30
699	Coast live oak	16.13, 11.8	Yes	3	Moderate	Leafless attachments, 5' half of canopy topped for overhead utilities, stems in attachments.	15	25	22	35
698	Coast live oak	14.14, 12	Yes	3	Moderate	Multiple attachments at 4' ground. For overhead utilities, trunk wounds.	15	20	25	20
690	Blackwood acacia	17, 12, 10	Yes	3	Low	Multiple attachments at base, poor form and structure, trunk wounds, dieback.	20	15	20	15
681	Coast live oak	11	Yes	3	Moderate	Expansive, cracks in trunk, trunk wounds.	7	7	7	7
682	Coast live oak	14.50	Yes	3	Moderate	Columnar trunk at 4' upright, narrow form, dieback.	15	8	15	20
683	Coast live oak	19	Yes	4	High	Multiple attachments at 7' upright form, canopy in attachments.	20	10	17	35
684	Coast live oak	20	Yes	4	High	Multiple attachments at 7' upright form, growing against soil foundation.	20	15	20	35
685	Coast live oak	14	Yes	4	High	Multiple attachments at 10' upright form, canopy in attachments.	18	16	18	35
686	Coast live oak	11	Yes	3	Low	Expansive, crown bowed E, over adjacent property.	8	15	8	20
687	Buckeye	6	No	2	Low	Suppressed, poor form and structure, branch tear out at 3'.	10	5	5	20
688	Coast live oak	18.57	Yes	4	High	Columnar trunk at 4' upright, narrow form, dieback.	20	15	15	35
689	Calf bay	7.5	Yes	3	Low	Columnar trunk at 2' one sided W, stem in attachment.	10	5	15	20
680	Coast live oak	36.22	Yes	3	Moderate	Columnar trunk at 4' several large wounds, leaning at base 8', dieback.	25	30	25	30
681	Coast live oak	11.3	Yes	3	Moderate	Columnar trunk at 2' upright, narrow form, dieback.	8	8	8	20
682	Coast live oak	10	Yes	3	Moderate	Columnar trunk at 4' upright, narrow form, dieback.	12	12	5	25
683	Coast live oak	6.2	Yes	3	Low	Columnar trunk at 8' multiple attachments at base, 10' stem in attachment.	5	0	0	25
684	Buckeye	8.7	Yes	3	Moderate	Columnar trunk at 2' suppressed, leans N.	26	16	8	25
680	Plum	7.65, 5.4	Yes	3	Low	Multiple attachments at base, 10' stem in attachment.	10	10	10	20
686	Plum	7.8	Yes	1	Low	Multiple attachments at base, 10' stem in attachment.	10	10	10	20
687	Coast live oak	17.58	Yes	3	Low	Columnar trunk at 2' poor form and structure, trunk decay, dieback.	16	20	10	30
688	Buckeye	7.3	Yes	4	Moderate	Columnar trunk at 2' narrow form, slight lean N.	15	5	15	25
689	Coast live oak	10.8	Yes	4	High	Columnar trunk at 4' good, upright form.	12	12	12	25
700	Coast live oak	27	Yes	3	Moderate	Columnar trunk at 10' stem bowed NE, stem decay, dieback.	20	22	20	35

Table 4. Appraised value of trees identified for removal at 2848 Parkside Dr., Hayward

Tree No.	Common Name	Size (in.)	Appraised Value (\$)
690	Blackwood acacia	17, 12, 10	2,200
682	Coast live oak	14.50	2,500
683	Coast live oak	19	4,200
684	Coast live oak	20	4,800
685	Coast live oak	14	2,400
687	Buckeye	6	500
689	Calf bay	7.5	1,100
690	Coast live oak	26.22	6,650
691	Coast live oak	11.3	1,150
692	Coast live oak	10	900
693	Coast live oak	6.2	800
694	Buckeye	8.7	1,000
695	Plum	7.65, 5.4	1,600
696	Plum	7.8	1,150
Total			29,600

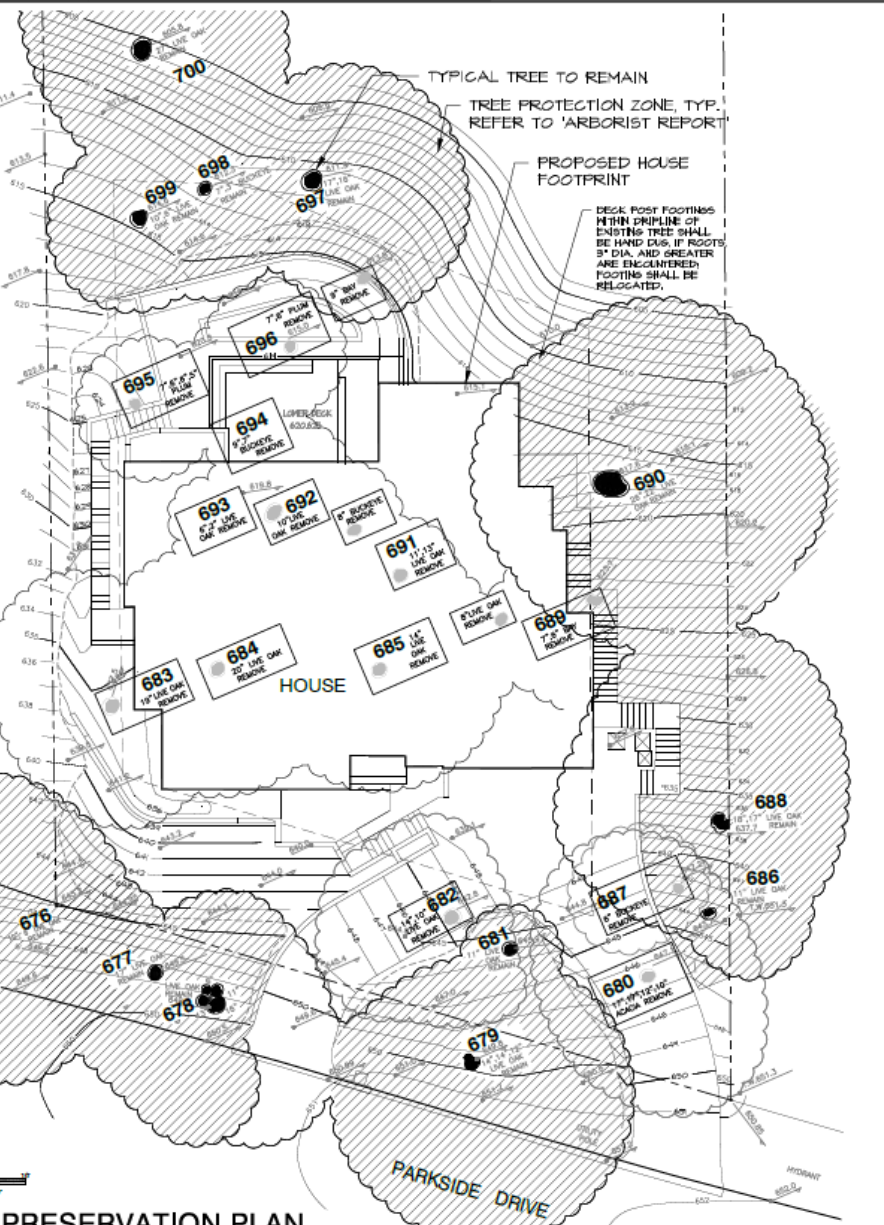
Table 5. Appraised value of trees identified for preservation at 2848 Parkside Dr., Hayward

Tree No.	Common Name	Size (in.)	Appraised Value (\$)
676	Coast live oak	20.1	3,200
677	Coast live oak	17	2,500
678	Coast live oak	10.5, 11.5	2,200
679	Coast live oak	14, 14.2	4,000
681	Coast live oak	11	1,050
682	Coast live oak	11.9	1,150
683	Coast live oak	16.17	7,300
684	Coast live oak	17.18	4,700
688	Buckeye	7.3	850
689	Coast live oak	10.6	1,700
700	Coast live oak	27	18,200
Total			38,200

Tree Mitigation Summary

Item Description	THC	Qty	Unit	Unit Cost	Amount
Clear/Excavation Tree - 6" Dia	Yes	1	EA	\$1,000	\$1,000
Clear/Excavation Tree - 6" Dia	Yes	1	EA	300	\$300
Coast Live Oak - 10" Dia	Yes	2	EA	1,000	\$2,000
Coast Live Oak - 10" Dia	Yes	2	EA	1,000	\$2,000
Total					\$4,300
Plant Trees - 6" Dia	Yes	2	EA	200	\$400
Removable Plastic Fencing - 6' High	Yes	1,200	SP	30	\$36,000
Removable Plastic Fencing - 6' High	Yes	200	SP	6	\$1,200
TOTAL MITIGATION COSTS					\$47,170

NOTES TO TREE VALUES: Values are based on tree size, species, and condition. Values are based on tree size, species, and condition. Values are based on tree size, species, and condition.



TREE PRESERVATION PLAN

FE/18/08 By

MARY WEBER
LANDSCAPE ARCHITECT
1817 AME DRIVE, PLEASANT HILL, CALIFORNIA 94523
Phone: 925-665-6666 • Email: mweb@maryweber.com



TREE PRESERVATION PLAN
Conan Zhang Residence
2848 Parkside Drive
Hayward, California

DATE: 08/18/2018
SCALE: 1/8" = 1'-0"
DRAWN BY: JWB
CHECKED BY: JWB
DATE: 08/18/2018



Scale: 1/8" = 1'-0"
Drawn by: JWB
Checked by: JWB
Date: 08/18/2018
Job: Conan Zhang
Sheet: T-1
Of 7 Sheets

Item # 12 PH 17-064

**Proposed FY 2018 Operating Budget and
FY 2018-2027 Capital Improvement Program**



Public Hearing for the Proposed FY 2018 Operating Budget and FY 2018-FY 2027 Capital Improvement Program

Kelly McAdoo, City Manager
Dustin Claussen, Director of Finance

JUNE 20, 2017

The FY 2018 Budget Process thus far



- ▶ **April 26, 2017:** Council Infrastructure Committee FY 2018 CIP Review
- ▶ May 9, 2017: Presentation of Proposed Budget
- ▶ May 20, 2017: Saturday Budget Work Session #1
- ▶ May 23, 2017: Continuance of Budget Work Session #1
- ▶ **May 25, 2017:** Planning Commission Review of CIP
- ▶ June 6, 2017: Operating Budget Work Session #2
- ▶ June 13, 2017: Continuance of Budget Work Session #2 & CIP Work Session #1
- ▶ June 20, 2017: Public Hearing for the Proposed FY 2018 Operating Budget & CIP and possible adoption of both

Yellow font represents CIP specific meetings

Proposed FY 2018 Expenditure Budget (in 1,000's)

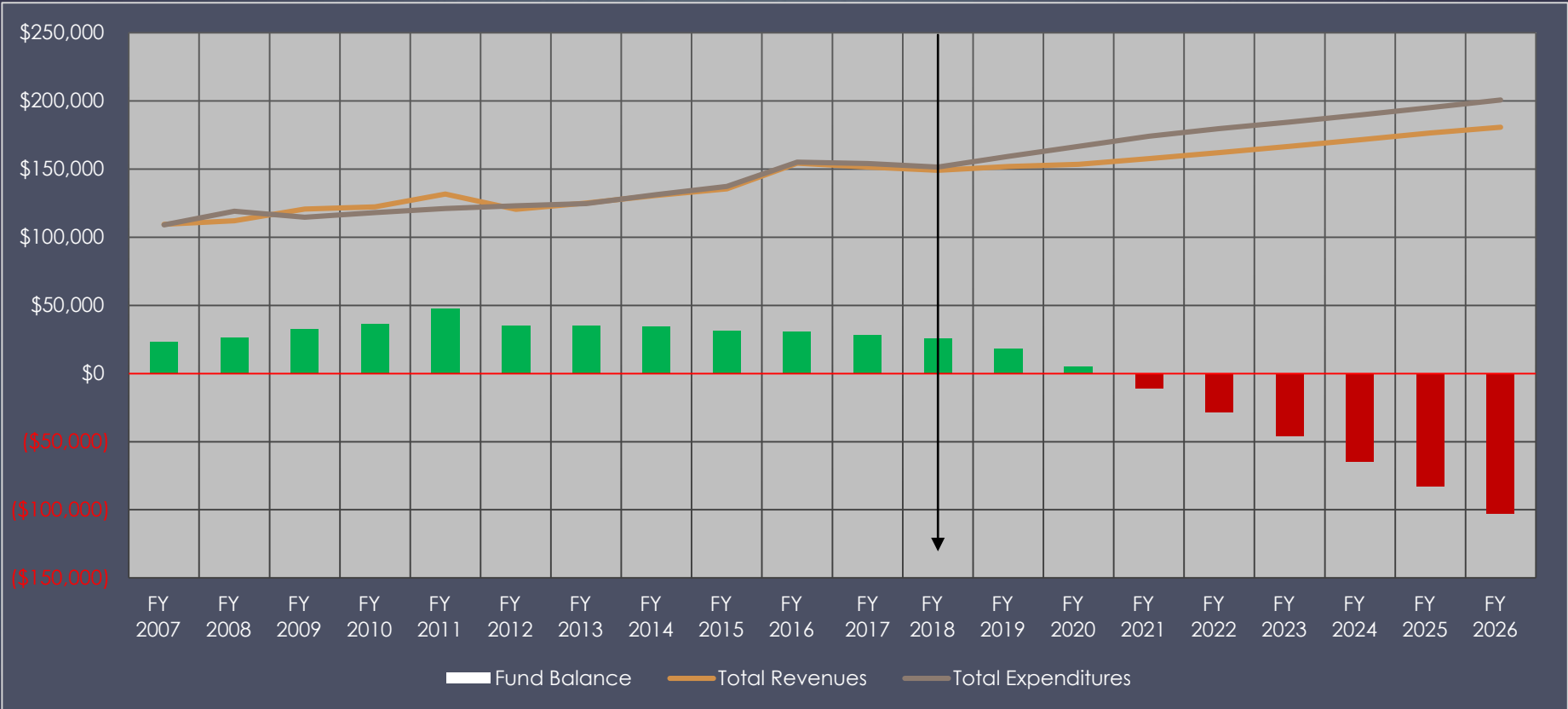


General Fund	\$151,562
Measure C Fund	8,241
Special Revenue Funds (excluding Agency Funds)	9,924
Debt Service Funds (excluding Agency debt service)	7,130
Enterprise Funds	76,712
Internal Service Funds	29,247
Total City Funds	\$282,815
Hayward Successor Redevelopment Agency Operating Fund	4,475
Housing Authority Fund	210
Total Agency Funds	\$4,685
Total City Operating Budget	\$287,500
Total CIP Budget	\$80,973

General Fund Forecast

FY 2018 Gap = \$2.4M *

FY 2026 Gap = \$19.9M *



FY 08	FY 09	FY 10	FY 11	FY 12	FY 13	FY 14	FY 15	FY 16	FY 17	FY* 18	FY* 19	FY* 20	FY* 21	FY* 22	FY* 23	FY* 24	FY* 25	FY* 26
7.0	6.1	4.2	11.1	2.7	0.5	0.5	1.7	0.9	2.5	2.4	7.4	13.2	16.3	17.4	17.8	18.2	18.6	19.9

* Projected

The Road Ahead

- ▶ Continued effort by staff to identify ways of reducing and eliminating the General Fund structural gap
- ▶ Return to Council in September with:
 - ▶ Update to the General Fund Long Term Projection
 - ▶ Options for consideration to address “the Gap”
- ▶ Council Retreat to be scheduled in October 2018



Questions & Discussion



Special Thanks to City Manager McAdoo & Assistant City Manager Hurtado, The Executive Team and last but not least Nicole Gonzales the City's Budget Officer