

VICINITY MAP
1/4" SCALE

CONSULTANTS

ARCHITECT/CONSULTANT:
JAMES M.T. CHAO ARCHITECT (916) 848-0157
 LANDSCAPE ARCHITECT: **WILSON & ASSOC.** (916) 644-9602
 STRUCTURAL ENGINEERS:
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 MECHANICAL ENGINEER: **GREG ROTH PE** (610) 528-0890
 ENERGY:
APP-TECH, INC. (831) 458-0485

SURVEY:
MERIDIAN SURVEYING ENGINEERING, INC. (916) 440-9131
GEOTECHNICAL ENGINEERING INC. (610) 791-0100

PROJECTS DATA

TYPE OF CONSTRUCTION: V
 ZONING: R1
 OCCUPANCY DWELLING: GARAGE: 2 CARS/DWELLING
 R3
 FLOOR AREA ALLOWED 2,700 S.F.
 PROPOSED 2,700 S.F.

INDEX OF DRAWINGS

- T - 1 TITLE SHEET & PHOTOS
- SITE SURVEY
- TTM 1 - 4 CIVIL IMPROVEMENT PLANS (TRIAD/HOLMES ASSOC.)
- L - 1 LANDSCAPE LAYOUT PLAN (WILSON & ASSOC.)
- L - 2 LANDSCAPE IRRIGATION PLAN (WILSON & ASSOC.)
- A - 1 SITE / FIRST FLOOR PLANS (HOUSE TYPES).
- A - 2 SITE / ROOF PLANS HOUSE TYPES.
- A - 3 EXTERIOR ELEVATIONS.
- A - 4 EXTERIOR ELEVATIONS.
- A - 5 EXTERIOR ELEVATIONS.
- A - 6 EXTERIOR ELEVATIONS.
- A - 7 EXTERIOR ELEVATIONS.
- A - 8 HOUSE TYPE "B" FLOOR PLANS.
- A - 9 HOUSE TYPE "D" FLOOR PLANS.

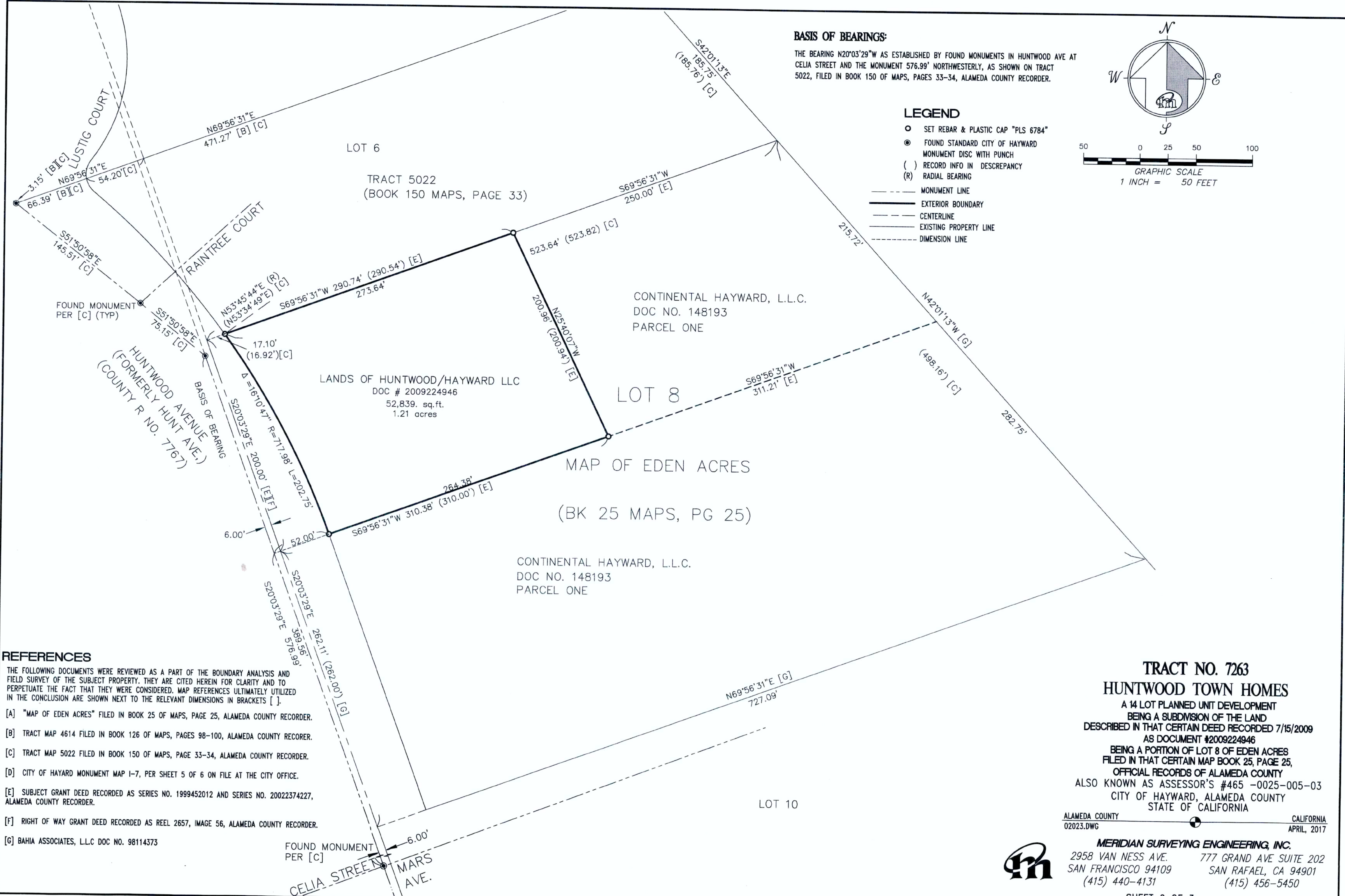
REVISIONS	BY

JAMES M.T. CHAO, ARCHITECT
 1136 KEITH AVENUE, BERKELEY, CALIFORNIA 94708-1607
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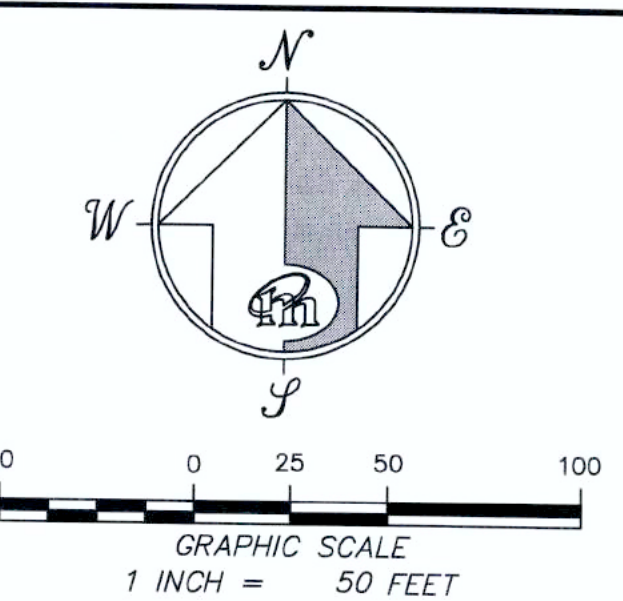
" HUNTWOOD TOWN HOUSE "

14 UNIT TOWN HOUSE
 28538 HUNTWOOD AVENUE
 HAYWARD, CALIFORNIA

DRAWN
 CHECKED
 DATE: AUGUST 29, 2019
 SCALE
 JOB NO.
 SHEET
T - 1
 OF SHEETS



BASIS OF BEARINGS:
 THE BEARING N20°03'29"W AS ESTABLISHED BY FOUND MONUMENTS IN HUNTWOOD AVE AT CELIA STREET AND THE MONUMENT 576.99' NORTHWESTERLY, AS SHOWN ON TRACT 5022, FILED IN BOOK 150 OF MAPS, PAGES 33-34, ALAMEDA COUNTY RECORDER.



- LEGEND**
- SET REBAR & PLASTIC CAP "PLS 6784"
 - FOUND STANDARD CITY OF HAYWARD MONUMENT DISC WITH PUNCH
 - () RECORD INFO IN DISCREPANCY
 - (R) RADIAL BEARING
 - MONUMENT LINE
 - EXTERIOR BOUNDARY
 - CENTERLINE
 - EXISTING PROPERTY LINE
 - DIMENSION LINE

- REFERENCES**
- THE FOLLOWING DOCUMENTS WERE REVIEWED AS A PART OF THE BOUNDARY ANALYSIS AND FIELD SURVEY OF THE SUBJECT PROPERTY. THEY ARE CITED HEREIN FOR CLARITY AND TO PERPETUATE THE FACT THAT THEY WERE CONSIDERED. MAP REFERENCES ULTIMATELY UTILIZED IN THE CONCLUSION ARE SHOWN NEXT TO THE RELEVANT DIMENSIONS IN BRACKETS [].
- [A] "MAP OF EDEN ACRES" FILED IN BOOK 25 OF MAPS, PAGE 25, ALAMEDA COUNTY RECORDER.
 - [B] TRACT MAP 4614 FILED IN BOOK 126 OF MAPS, PAGES 98-100, ALAMEDA COUNTY RECORDER.
 - [C] TRACT MAP 5022 FILED IN BOOK 150 OF MAPS, PAGE 33-34, ALAMEDA COUNTY RECORDER.
 - [D] CITY OF HAYWARD MONUMENT MAP 1-7, PER SHEET 5 OF 6 ON FILE AT THE CITY OFFICE.
 - [E] SUBJECT GRANT DEED RECORDED AS SERIES NO. 1999452012 AND SERIES NO. 20022374227, ALAMEDA COUNTY RECORDER.
 - [F] RIGHT OF WAY GRANT DEED RECORDED AS REEL 2657, IMAGE 56, ALAMEDA COUNTY RECORDER.
 - [G] BAHIA ASSOCIATES, L.L.C. DOC NO. 98114373

TRACT NO. 7263
HUNTWOOD TOWN HOMES
 A 14 LOT PLANNED UNIT DEVELOPMENT
 BEING A SUBDIVISION OF THE LAND
 DESCRIBED IN THAT CERTAIN DEED RECORDED 7/15/2009
 AS DOCUMENT #2009224946
 BEING A PORTION OF LOT 8 OF EDEN ACRES
 FILED IN THAT CERTAIN MAP BOOK 25, PAGE 25,
 OFFICIAL RECORDS OF ALAMEDA COUNTY
 ALSO KNOWN AS ASSESSOR'S #465 -0025-005-03
 CITY OF HAYWARD, ALAMEDA COUNTY
 STATE OF CALIFORNIA

ALAMEDA COUNTY 02023.DWG CALIFORNIA APRIL, 2017

MERIDIAN SURVEYING ENGINEERING, INC.
 2958 VAN NESS AVE. 777 GRAND AVE SUITE 202
 SAN FRANCISCO 94109 SAN RAFAEL, CA 94901
 (415) 440-4131 (415) 456-5450

PLANT LEGEND

SYMBOL	KEY	BOTANICAL/COMMON NAME	SIZE	QTY.	REMARKS	APPROX. SPACING	APPROX. HEIGHT & WIDTH	
M	T1	PLATANUS A. 'COLUMBIA'	LONDON PLANE TREE	48" BOX	2		48" TO 60" X 36" TO 48"	
M	T2	LAGERSTROEMIA X 'TUSCARORA'	CRAPE MYRTLE	24" BOX	6		25" TO 36" X 24"	
M	T3	DELETED						
M	T4	DELETED						
M	T5	CRATAEGUS PHAENOPYLIUM	WASHINGTON THORN	48" BOX	10		25" X 24"	
M	T6	LAGERSTROEMIA X 'MUSKOGEE'	CRAPE MYRTLE	48" BOX	3		36" TO 60" X 36" TO 36"	
M	T7	PISTACIA CHINENSIS	CHINESE PISTACHE	48" BOX	3			
M	S1	INDICATES PLANT KEY						
M	S2	INDICATES PLANT QUANTITY						
M	S3	INDICATES PLANT QUANTITY						
M	S4	INDICATES PLANT QUANTITY						
M	S5	INDICATES PLANT QUANTITY						
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M	S100	INDICATES PLANT QUANTITY						

NOTES:

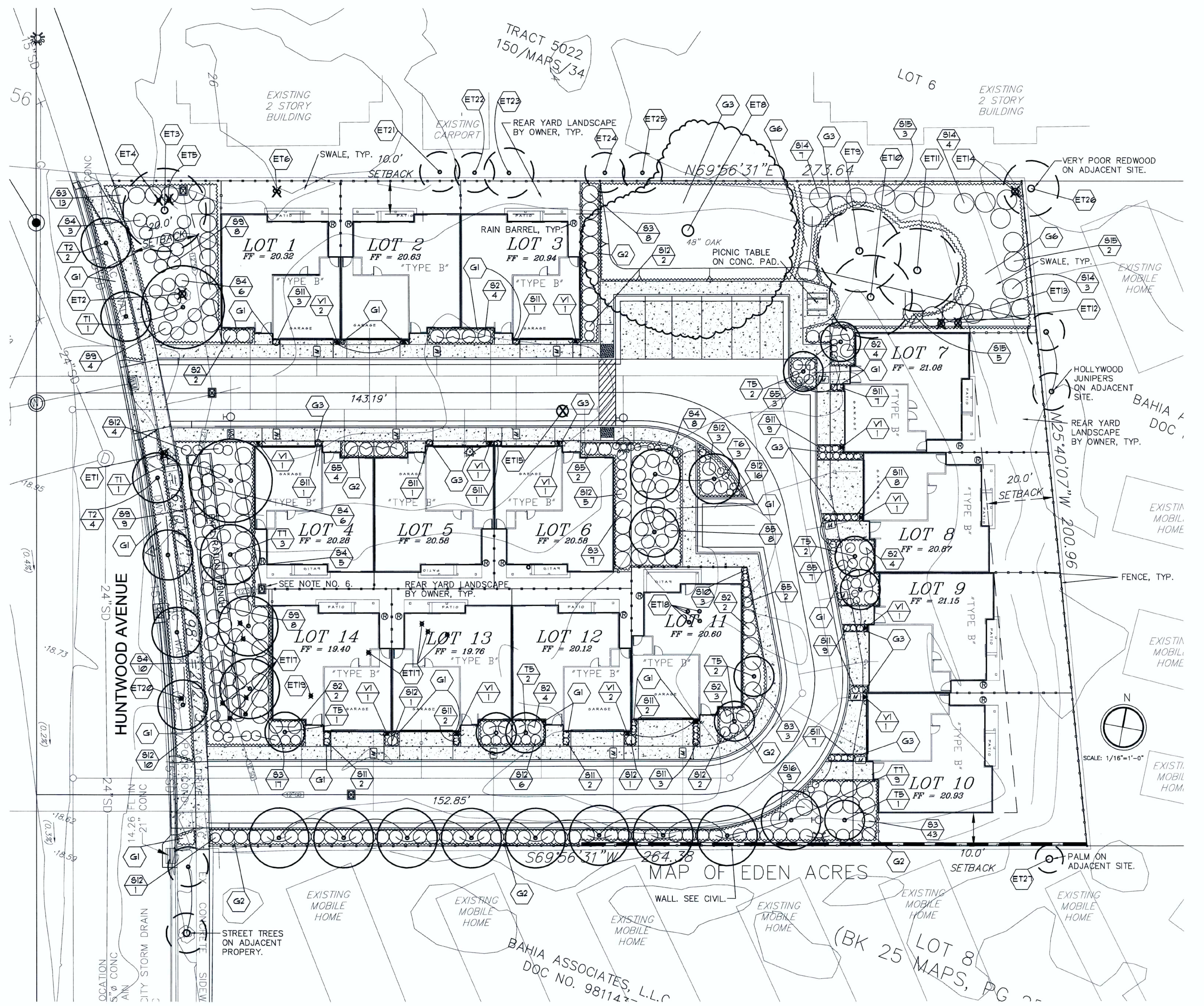
- A WATER CONSERVING AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL LANDSCAPE AREAS CONFORMING TO LOCAL 'BEST' STANDARDS.
- A 3" LAYER OF ORGANIC RECYCLED CHIPPED WOOD MULCH IN DARK BROWN COLOR WILL BE PLACED IN ALL SHRUB AND GROUND COVER AREAS.
- THE FINAL LANDSCAPE AND IRRIGATION PLANS WILL COMPLY WITH THE CRITERIA OF CITY OF HAYWARD BAY-FRIENDLY WATER EFFICIENT LANDSCAPE ORDINANCE AND WILL APPLY THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLANS.
- MULCH IS THE LOCAL WATER USE CLASSIFICATION OF LANDSCAPE SPECIES: V=VERY LOW, L=LOW, M=MEDIUM, H=HIGH.
- PLANTS SPECIFIED FOR THE SIGNATURE AREAS ARE LISTED IN THE C-3 LIST OF THE ALAMEDA COUNTY CLEAN WATER PROGRAM MANUAL.
- PROVIDE A MINIMUM 12" WIDE BAND OF LARGE SIZE 'NOY' COBBLESTONES AROUND CATCH BASINS, OVERFLOW BASINS, AND BUBBLE-UP BASINS, TYP.

EXISTING TREE LEGEND

KEY	BOTANICAL/COMMON NAME	TRUNK CALIPER	CONDITION	DISPOSITION	COMMENTS	PROTECTED
ET1	JUGLANS NIGRA - BLACK WALNUT	24"	FAIR	REMOVE	SEVERE LEAN	YES
ET2	CEDRUS DEODARA - DEODAR CEDAR	18"	FAIR TO POOR	REMOVE		YES
ET3	SEQUIOIA SEMPERVIRENS - COAST REDWOOD	24"	FAIR	SAVE		YES
ET4	SEQUIOIA SEMPERVIRENS - COAST REDWOOD	12"	FAIR TO POOR	REMOVE	CROWDING TREE ET3	YES
ET5	SEQUIOIA SEMPERVIRENS - COAST REDWOOD	18"	FAIR TO POOR	REMOVE		YES
ET6	SEQUIOIA SEMPERVIRENS - CALIFORNIA PEPPER TREE	15", 12"	FAIR TO POOR	REMOVE		YES
ET7	DELETED					
ET8	QUERCUS AGRIIFOLIA - COAST LIVE OAK	48"	FAIR TO GOOD	SAVE		YES
ET9	SEQUIOIA SEMPERVIRENS - COAST REDWOOD	16"	FAIR TO POOR	SAVE		YES
ET10	SEQUIOIA SEMPERVIRENS - COAST REDWOOD	24"	FAIR TO POOR	SAVE		YES
ET11	SEQUIOIA SEMPERVIRENS - COAST REDWOOD	20"	FAIR TO POOR	SAVE	DEAD TOP	YES
ET12	SEQUIOIA SEMPERVIRENS - COAST REDWOOD	18"	FAIR TO POOR	REMOVE		YES
ET13	SEQUIOIA SEMPERVIRENS - COAST REDWOOD	18"	FAIR TO POOR	REMOVE		YES
ET14	SEQUIOIA SEMPERVIRENS - CALIFORNIA PEPPER TREE	20"	POOR	REMOVE		YES
ET15	PLATANUS ACERIFOLIA - LONDON PLANE TREE	36"	FAIR TO GOOD	REMOVE		YES
ET16	DELETED					
ET17	ULMUS SP. - EVERGREEN ELM	24"	POOR	REMOVE	UNDESIRABLE USED SPECIES	NO
ET18	ACER NEGUNDO - BOX ELDER	18"	POOR	REMOVE	UNDESIRABLE USED SPECIES	NO
ET19	SEQUIOIA SEMPERVIRENS - CALIFORNIA PEPPER TREE	14"	FAIR TO POOR	REMOVE		YES
ET20	SEQUIOIA SEMPERVIRENS - AUSTRALIAN WILLOW	12"	FAIR	REMOVE	STREET TREE	YES
ET21	LIQUIDAMBER STYRACIFLUA - AMERICAN SWEET GUM	8"	FAIR TO GOOD	ON ADJ. PROP.		ON ADJ. PROP.
ET22	LIQUIDAMBER STYRACIFLUA - AMERICAN SWEET GUM	11"	FAIR TO GOOD	ON ADJ. PROP.		ON ADJ. PROP.
ET23	POPULUS ALBA - WHITE POPLAR	14"	FAIR TO POOR	ON ADJ. PROP.		ON ADJ. PROP.
ET24	LIQUIDAMBER STYRACIFLUA - AMERICAN SWEET GUM	12"	FAIR TO GOOD	ON ADJ. PROP.		ON ADJ. PROP.
ET25	LIQUIDAMBER STYRACIFLUA - AMERICAN SWEET GUM	8"	FAIR TO GOOD	ON ADJ. PROP.		ON ADJ. PROP.
ET26	SEQUIOIA SEMPERVIRENS - COAST REDWOOD	24"	POOR	ON ADJ. PROP.		ON ADJ. PROP.
ET27	WASHINGTONIA ROBUSTA - HEDGEHOG PALM	18"	GOOD	ON ADJ. PROP.		ON ADJ. PROP.

EXISTING TREE NOTES:

- SEE SEPARATE ARBORIST'S REPORT FOR INFORMATION ON THE EXISTING TREES.
- TREES SHOWN TO BE REMOVED ARE DUE TO LOCATION OR CONDITION.
- TREES AND SHRUBS UNDER 4" IN CALIPER NOT EVALUATED OR LOCATED. ALL ARE TO BE REMOVED.
- EVALUATION DONE IN FEBRUARY 2010 BY CHARLES WILSON, ISA #16-198A.
- USING THE ISA 'TRUNK FORMULA METHOD' THE VALUE OF THE TREES ON SITE IS:
 VALUE OF TREES SHOWN TO REMAIN = \$1,134,000
 VALUE OF TREES SHOWN TO BE REMOVED = \$1,438,000
 TOTAL VALUE OF EXISTING TREES = \$2,572,000
- MITIGATION TREE VALUES AS PER THE PLANT LEGEND ABOVE, 21 TOTAL 48" BOX TREES AT \$4,000.00 EACH = \$84,000.00.
 THIS IS OVER THE VALUE OF THE PROPOSED TREES TO BE REMOVED AS SHOWN ABOVE AND IN THE ARBORIST'S REPORT.
- 'PROTECTED' TREES PER CITY DEFINITION ARE CALIFORNIA NATIVE TREES WITH A TRUNK DIAMETER EQUAL OR LARGER THAN FOUR INCHES AND NON-NATIVE TREES WITH A TRUNK DIAMETER EQUAL OR LARGER THAN EIGHT INCHES.



HUNTWOOD TOWN HOUSE
 14 UNIT TOWN HOUSE
 28538 HUNTWOOD AVENUE
 HAYWARD, CALIFORNIA

WILSON & ASSOCIATES
 LANDSCAPE ARCHITECTURE
 815 SAN DIEGO ROAD • BERKELEY, CA 94707
 PH: 510-644-9802 • E: cwilson815@gmail.com

PRELIMINARY LANDSCAPE PLAN

BY: CW
 JOB:
 DATE: 09-25-18

L-1

SHT. OF

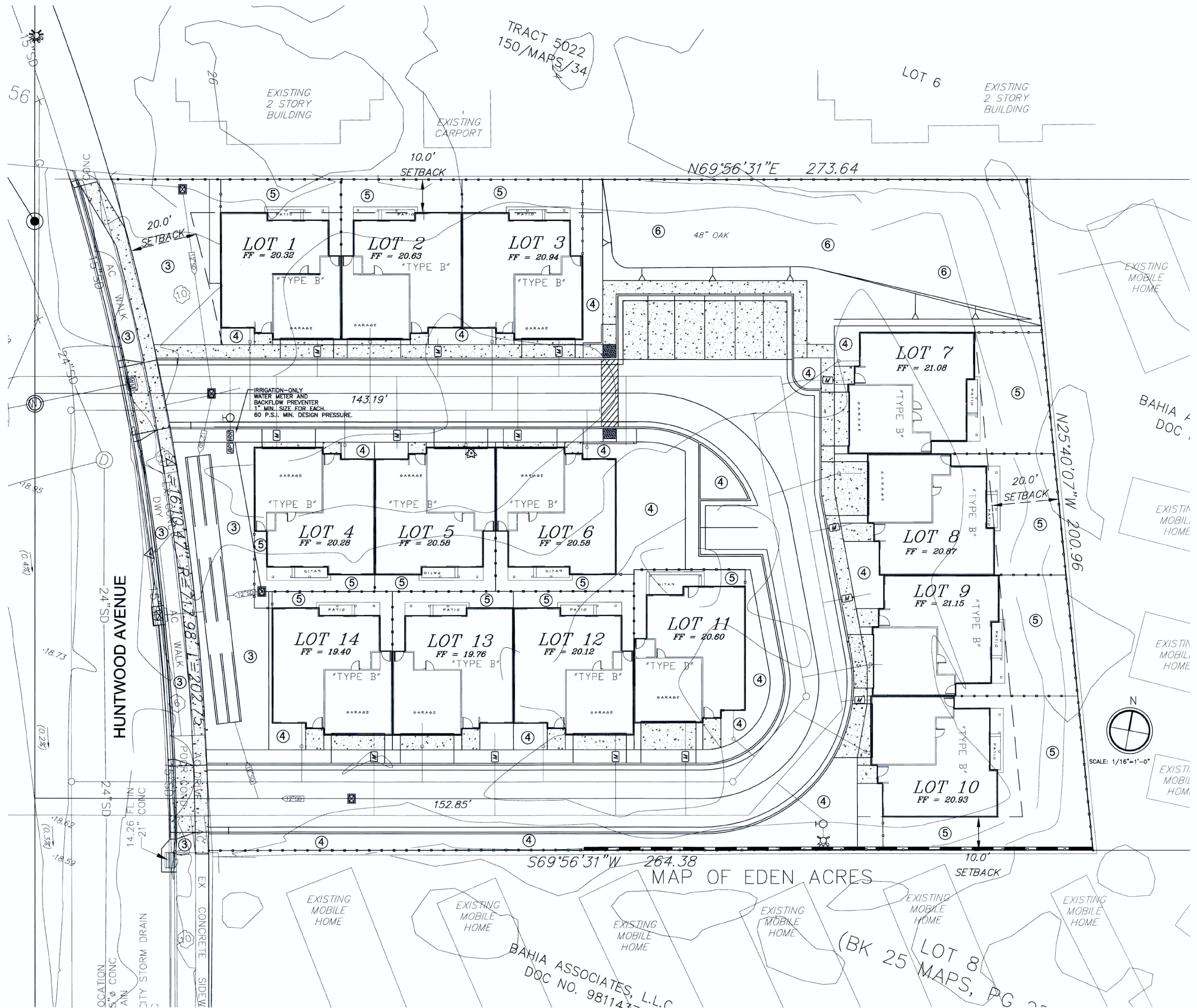
NO.	DATE	REVISIONS
1	09-05-18	MISC.
2	05-13-18	MISC.
3	02-14-18	MISC. - CITY COMMENTS
4	12-12-18	MISC. - CITY COMMENTS

IRRIGATION HYDROZONE AREAS

- ① DELETED.
- ② DELETED.
- ③ STREET FRONTAGE AREAS. SPRAY IRRIGATION.
- ④ INTERIOR DRIVE BUILDING FRONTAGE PLANTERS AND PARKING STRIPS. DRIP, MICRO-SPRAY OR BUBBLER IRRIGATION.
- ⑤ PRIVATE REAR YARDS. NO DEVELOPER INSTALLED IRRIGATION.
- ⑥ EXISTING TREE AREA. DRIP IRRIGATION ON NEW SHRUB PLANTING ONLY.

NOTES

- 1. ALL FRONT YARDS AND COMMON OPEN SPACES SHALL BE MAINTAINED BY THE HOA. THESE AREAS SHALL BE IRRIGATED WITH THE HOA IRRIGATION WATER METER.
- 2. ALL OVERHEAD SPRAY IRRIGATION NOZZLES SHALL BE RECESSED 2 FEET FROM THE EDGE OF PAVING OR STRUCTURE. THE AREA IRRIGATED WITH OVERHEAD SPRAY SYSTEM SHALL BE WIDER THAN 10 FEET. THE FIRST 2 FEET OF PLANTING AREA SHALL BE IRRIGATED WITH A DRIP SYSTEM.



NO.	DATE	REVISIONS
01	09-05-18	MISC.
02	09-13-18	MISC.
03	09-14-18	MISC. - CITY COMMENTS

HUNTWOOD TOWN HOUSE
 14 UNIT TOWN HOUSE
 28538 HUNTHOOD AVENUE
 HAYWARD, CALIFORNIA

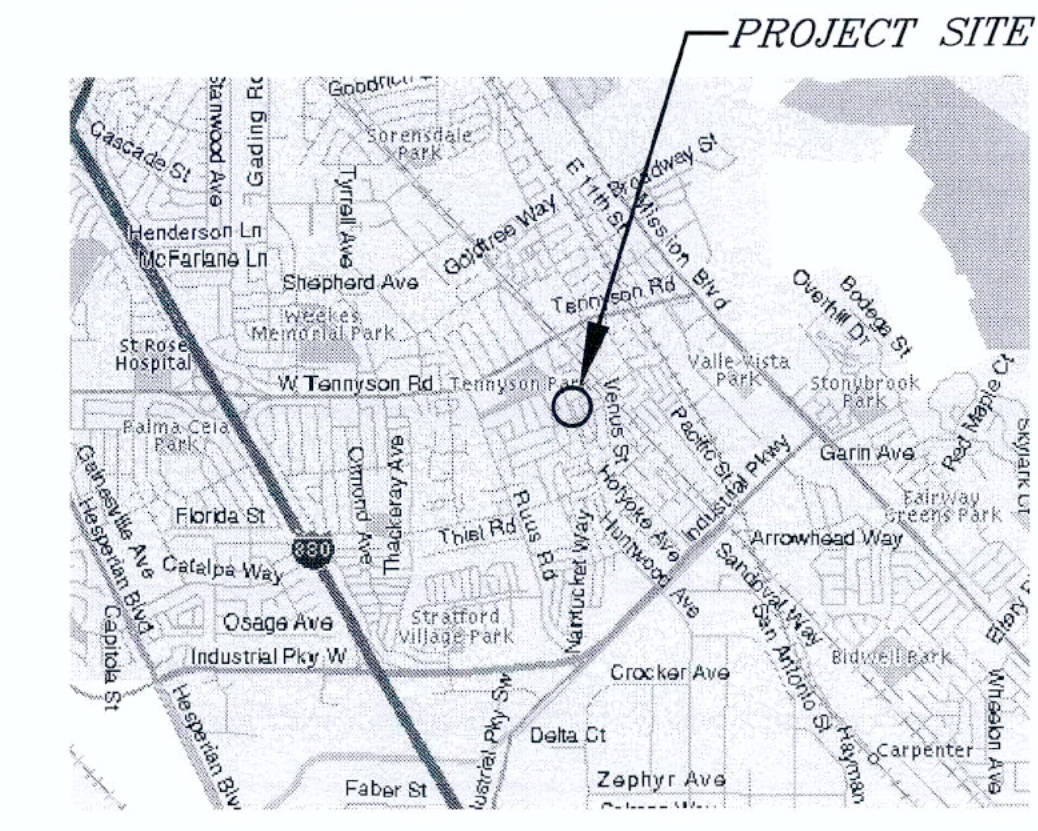
WILSON & ASSOCIATES
 LANDSCAPE ARCHITECTURE
 815 SAN DIEGO ROAD • BERKELEY, CA 94707
 PH: 510-944-9602 • E: cwilson815@gmail.com

CONCEPTUAL IRRIGATION PLAN

BY: CW
 JOB:
 DATE: 09-25-18

L-2
 SHIT. ___ OF ___
 REVISIONS

HUNTWOOD TOWN HOMES
VESTING TENTATIVE TRACT MAP 8456



VICINITY MAP
NTS

PROPERTY LOCATION
28538 HUNTWOOD AVENUE
HAYWARD, CALIFORNIA

LEGAL DESCRIPTION
10 MAPS 30
ALAMEDA COUNTY
APN: 465-0025-005-03

RECORD OWNER/PREPARED FOR

HUNTWOOD, LLC
C/O ERIC TANG
P.O. BOX 26516
SAN FRANCISCO, CA 94126
(415) 999-2909

ARCHITECT/DESIGNER

JAMES M.T. CHAO, ARCHITECT
1136 KEITH AVENUE
BERKELEY, CA 94708-1607
(510) 548-0157

LANDSCAPE ARCHITECT

WILSON AND ASSOCIATES
2560 NINTH ST., SUITE 315A
BERKELEY, CA 94710
(510) 644-9802

SURVEYOR

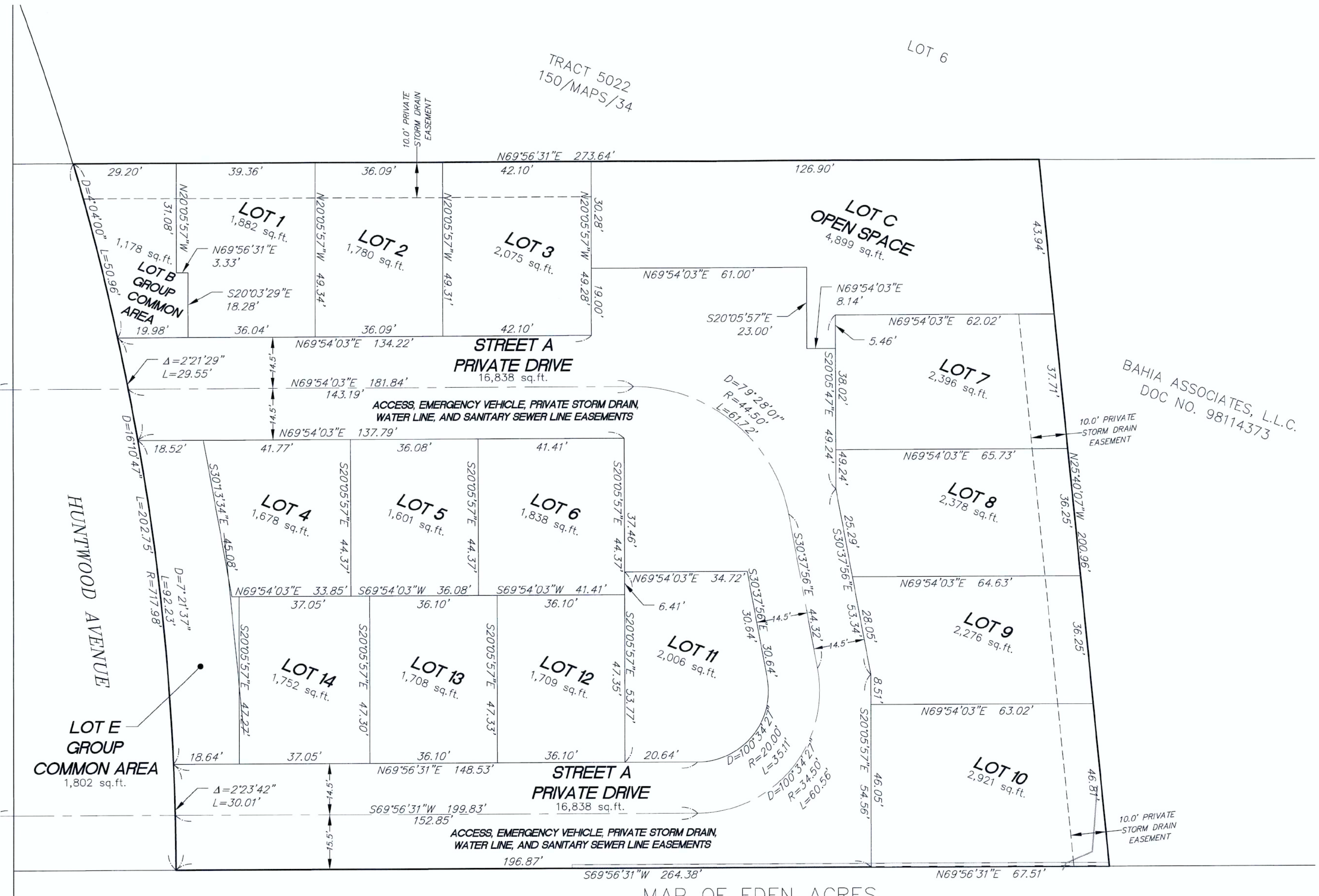
MERIDIAN SURVEYING ENGINEERING, INC
1812 UNION STREET
SAN FRANCISCO, CA 94123
(415) 440-4131

BENCHMARK

600 NAIL IN HUNTWOOD AVENUE
APPROXIMATELY 93' FROM THE
SOUTHWEST PROPERTY CORNER
ELEVATION=17.95'

GEOTECHNICAL ENGINEER

CYME, INC
1499 BAYSHORE HWY., SUITE 236
BURLINGAME, CA 94010
(650) 652-9691



MAP OF EDEN ACRES

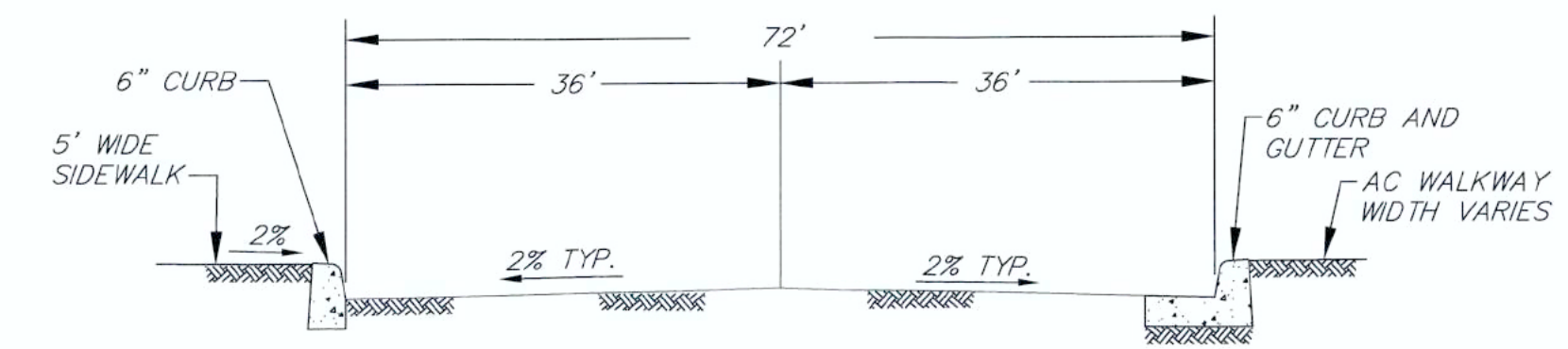
BAHIA ASSOCIATES, L.L.C.
DOC NO. 98114373
(BK 25 LOT 8
MAPS, PG 25)

SHEET INDEX

- TTM1 MAP SHEET
- TTM2 PRELIMINARY GRADING AND DRAINAGE
- TTM3 PRELIMINARY SEWER AND WATER PLAN
- TTM4 PRELIMINARY STORMWATER CONTROL PLAN

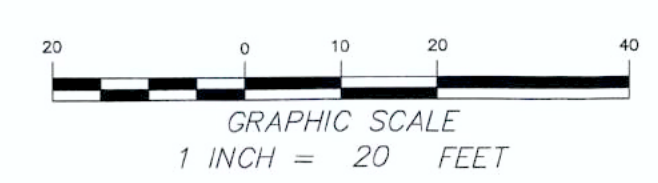
SITE DATA
GROSS AREA: 52,839 SF; 1.21 AC (GROSS)
NO. OF LOTS: 14 LOTS
LOT SIZE: 1,601 SF MIN, 2,921 SF MAX
AVERAGE DENSITY: 11.6 LOTS/ACRE GROSS
PROPOSED GUEST PARKING: 5 SPACES
EXISTING USE: VACANT RESIDENTIAL LAND
PROPOSED USE: MULTI-FAMILY RESIDENTIAL
ASSESSOR'S PARCEL NO.: 465-0025-005-03
EXISTING ZONING: PD (PLANNED DEVELOPMENT)
GENERAL PLAN: MDR: MEDIUM DENSITY RESIDENTIAL
DRAINAGE: FLOW VIA CONCRETE SWALES, INLETS AND PIPES TO RETENTION BASIN
FLOOD ZONE DESIGNATION: NONE

UTILITY PROVIDERS
WATER SUPPLY: CITY OF HAYWARD
SEWAGE DISPOSAL: CITY OF HAYWARD
ELECTRICITY: PG&E
TELEPHONE: AT&T
GAS: PG&E
FIRE PROTECTION: HAYWARD FIRE DEPARTMENT



HUNTWOOD AVENUE EXISTING SECTION
N.T.S.

ENGINEER'S STATEMENT
I, THOMAS A. PLATZ, CERTIFY THAT THIS VESTING TENTATIVE MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT IT COMPLIES WITH THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT.



thad
triad/holmes assoc
civil engineering
land surveying
MAMMOTH LAKES
BISHOP
REDWOOD CITY
SAN LUIS OBISPO
PREPARED & SUBMITTED BY:
REGISTERED PROFESSIONAL ENGINEER
THOMAS A. PLATZ
NO. C 41039
CIVIL
STATE OF CALIFORNIA

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REVISIONS:	BY:

PREPARED FOR:
HUNTWOOD, LLC
ERIC TANG

HUNTWOOD TOWN HOMES
VESTING TENTATIVE TRACT MAP 8456
MAP SHEET

DATE 08/22/2019
SCALE 1" = 20'
DRAWN MF/SR
JOB NO. 07.00193-1
DWC
TTM1
SHEET 1 OF 4

G:\Users\mrodriguez\appdata\local\temp\Acad\temp_155556\Huntwood_TTM_1916.dwg Aug 22, 2019 2:36pm mprodriguez

REVISIONS:	BY:

PREPARED FOR:
 HUNTWOOD, LLC
 ERIC TANG

HUNTWOOD TOWN HOMES
 VESTING TENTATIVE TRACT MAP 8456
 PRELIMINARY GRADING AND DRAINAGE

DATE: 08/22/2019
 SCALE: 1" = 20'
 DRAWN: MF
 JOB NO.: 07.00193-1
 DWG: TTM2
 SHEET 2 OF 4

PROPOSED CONSTRUCTION

1. PRIVATE PEROUS PAVER ROAD AND DRIVEWAYS
2. 4' WIDE PEROUS CONCRETE SIDEWALK
3. 4" CONCRETE SPILL ROLLED CURB
4. 3' WIDE CONCRETE GUTTER
5. DROP INLET WITH SIGN "NO DUMPING! FLOWS TO BAY"
6. STORMDRAIN PIPE
7. EXFILTRATION TRENCH
8. CONCRETE SWALE
9. OVERFLOW PIPE FROM RETENTION SYSTEM
10. CONCRETE DRIVEWAY APPROACH
11. SIDEWALK, CURB AND GUTTER
12. TRANSITION CURB TO 0" CURB FACE OVER 6'
13. PROPOSED LOCATION OF RELOCATED 20" WALNUT TREE
14. PEROUS CONCRETE PARKING SPOTS
15. CURB INLET
16. 12" WIDE PLANTER WALL

NOTES:

1. GRADE AWAY FROM BUILDINGS AT 5% MIN.
2. MINIMUM GRADE ON ASPHALT AND CONCRETE SHALL BE 0.5%.
3. ALL SIDEWALKS SHALL SLOPE AT 2% MINIMUM AWAY FROM THE BUILDING.
4. THE HALF STREET ALONG HUNTWOOD AVENUE ALONG THE PROJECT FRONTAGE SHALL BE GRINDED 4-INCHES AND REPLACED WITH HOT MIX ASPHALT.

EARTHWORK

CUT: 260 CY
 FILL: 1,520 CY

EARTHWORK QUANTITIES DO NOT INCLUDE ANY ADJUSTMENTS FOR SHRINKAGE, ROCK LOSS, STRIPPING, FOUNDATION AND TRENCH SPOILS, COMPACTION AND CONSOLIDATION OR OVEREXCAVATION. THE CONTRACTOR SHALL MAKE AN INDEPENDENT QUANTITY TAKEOFF AND BASE HIS BID ON QUANTITIES SO CALCULATED.

CLEAR AND GRUB

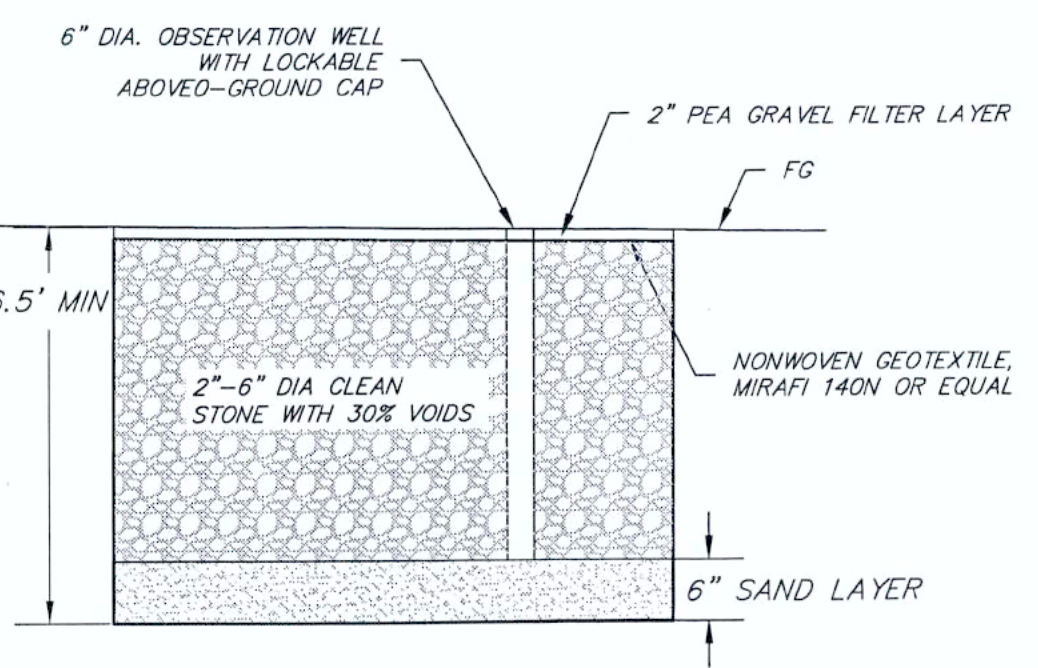
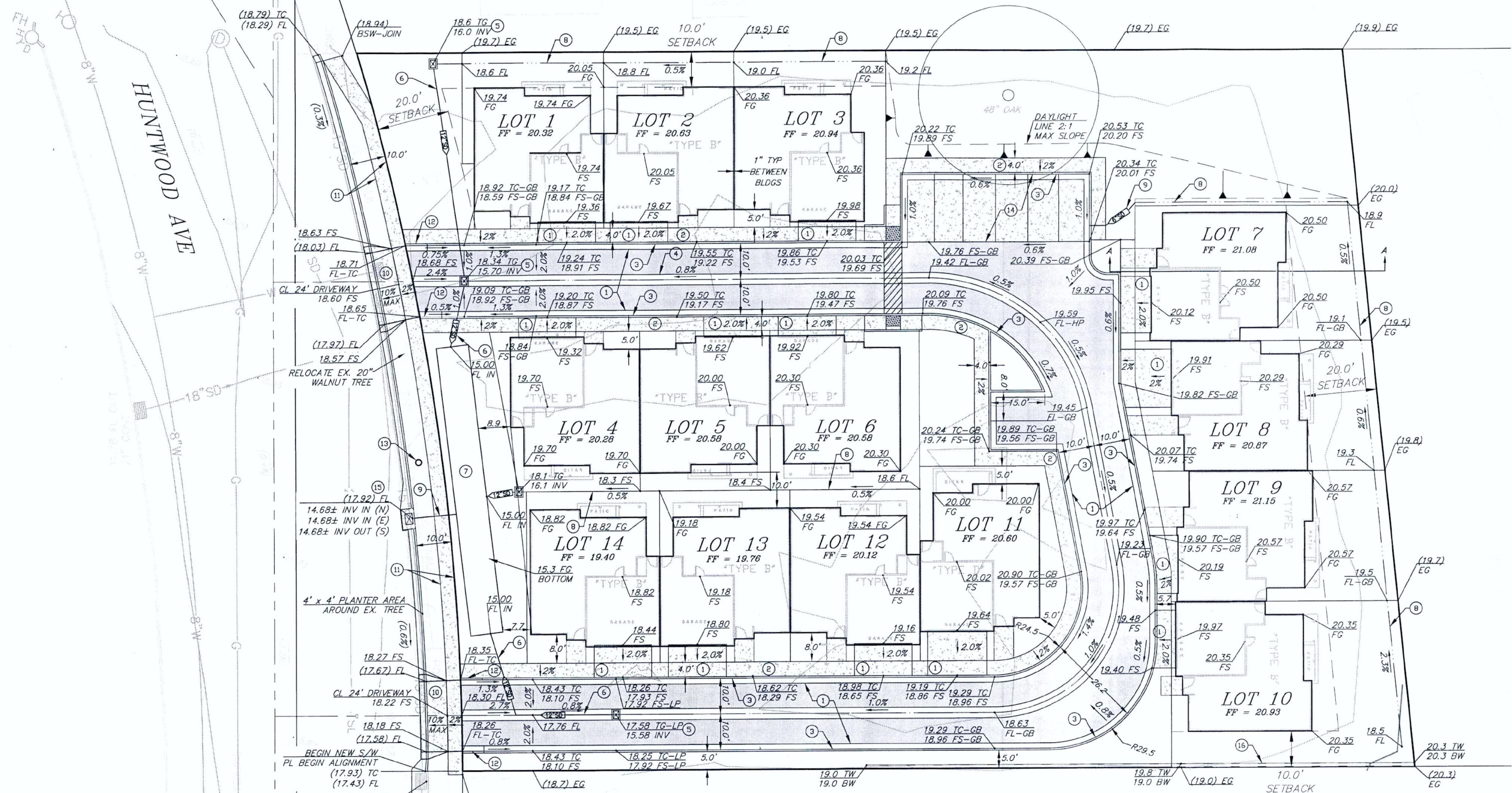
IN ADDITION TO THE EARTHWORK, IT IS ANTICIPATED THAT THERE WILL BE UNUSABLE CLEAR AND GRUB MATERIAL THAT MUST BE REMOVED AND DISPOSED OF BY THE CONTRACTOR

SLOPE RATIOS

SIDE SLOPES FOR RETENTION BASINS SHALL NOT EXCEED 3:1 (HORIZONTAL TO VERTICAL).

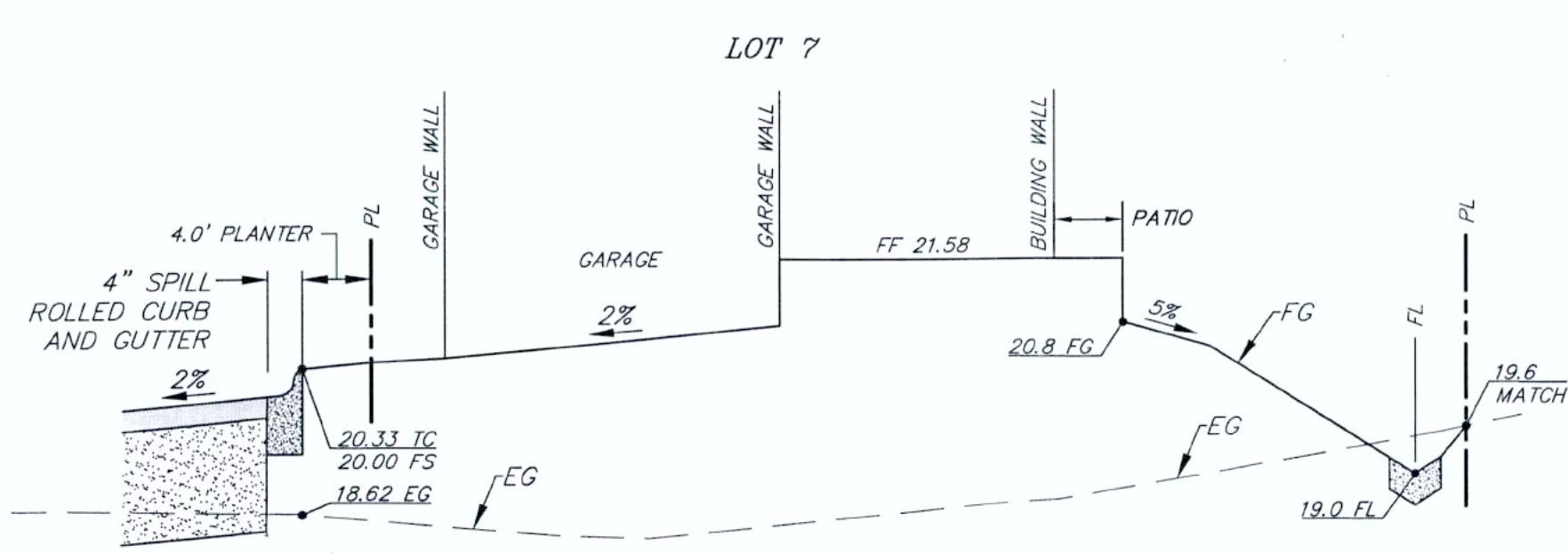
OVERLAND SAFE ROUTE

OVERLAND SAFE ROUTE FOR STORM DRAIN RUNOFF WILL BE VIA PRIVATE DRIVE, EAST TO WEST, TOWARD HAYWARD AVENUE.

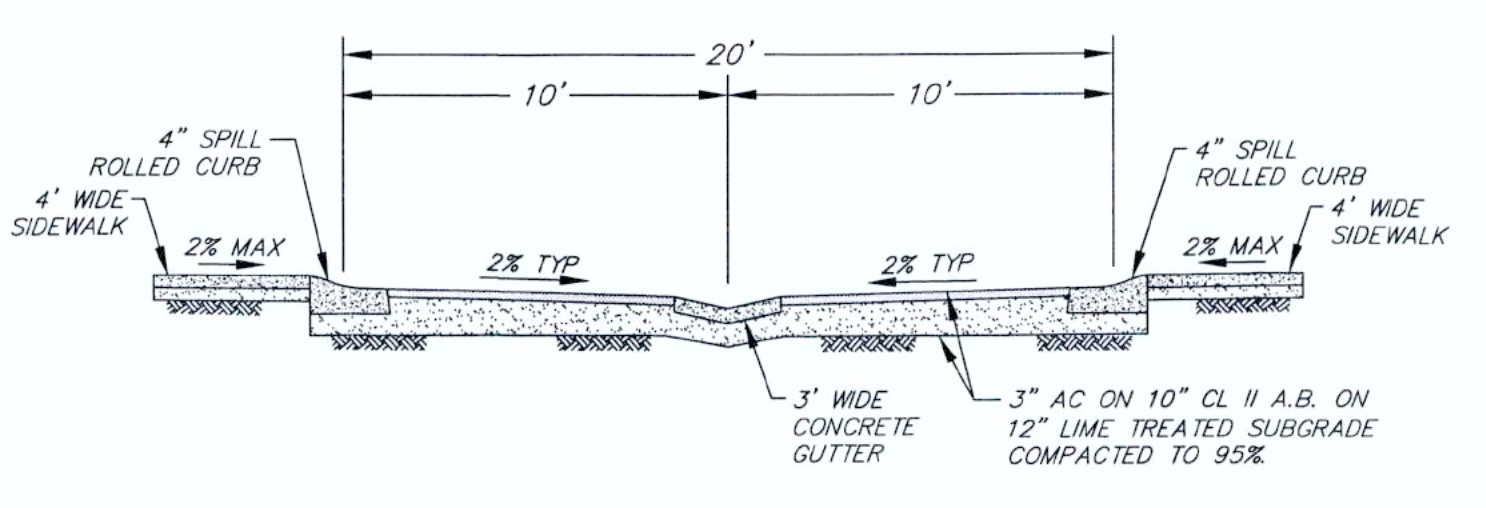


NOTE: EXFILTRATION TRENCH WILL BE DEEPENED IF NECESSARY TO SET THE BOTTOM OF THE TRENCH BELOW THE CLAY LAYER.

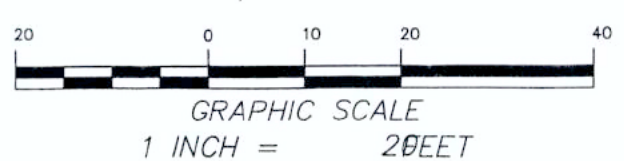
7 EXFILTRATION TRENCH DETAIL



SECTION A-A
 SCALE:
 HORIZ: 1" = 10'
 VERT: 1" = 4'



TYPICAL PRIVATE STREET SECTION
 N.T.S.



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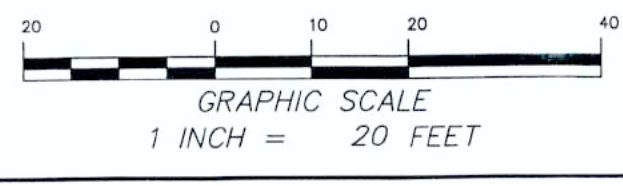
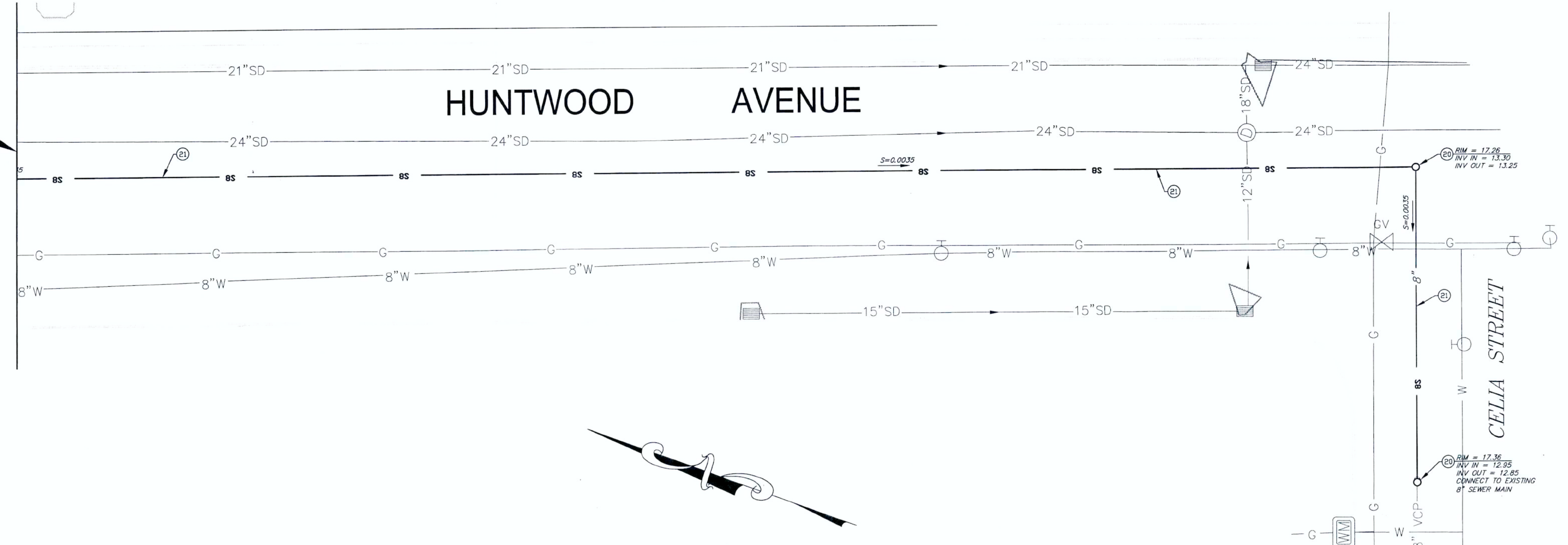
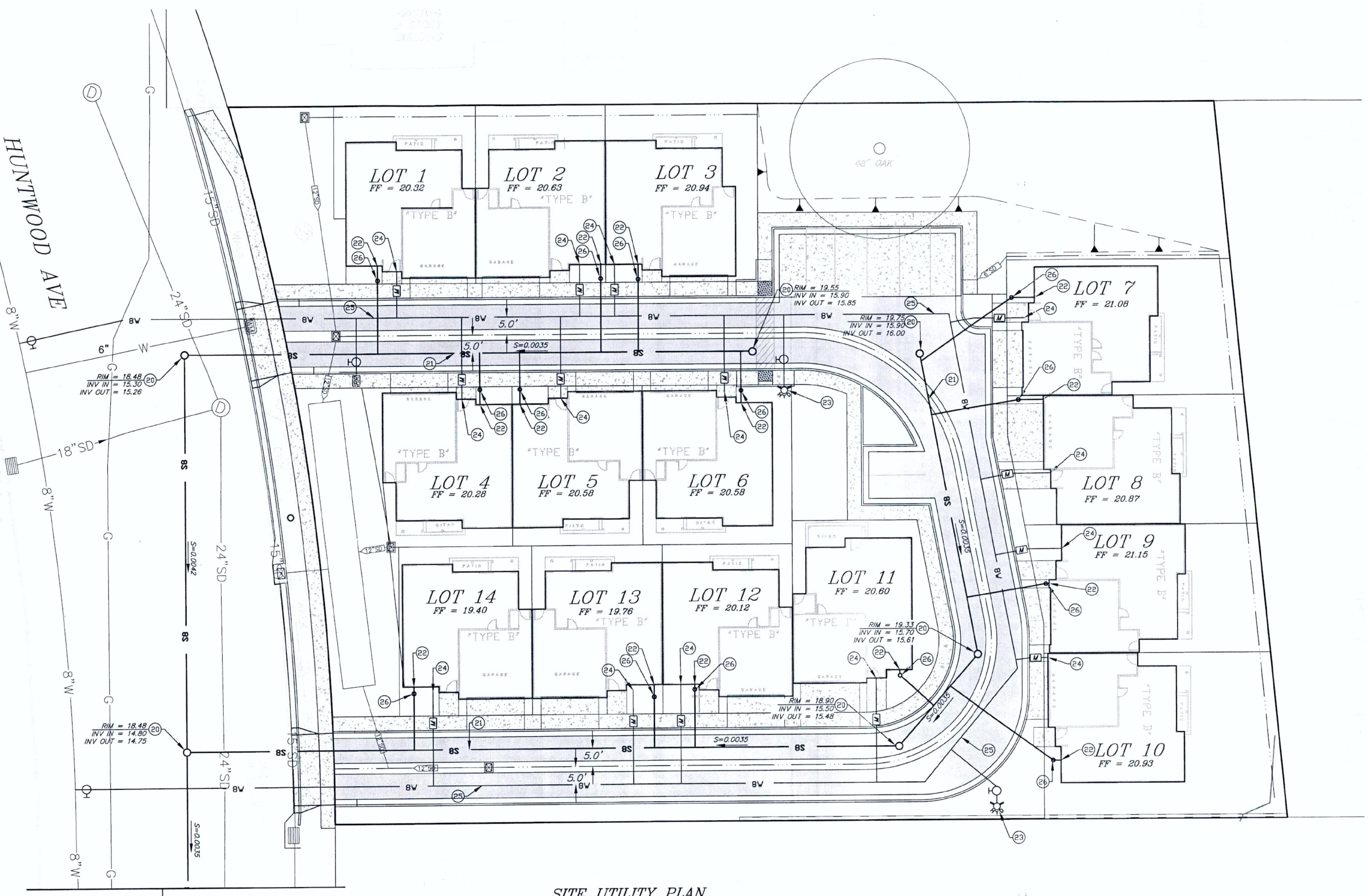
PREPARED FOR:
 HUNTWOOD, LLC
 ERIC TANG

HUNTWOOD TOWN HOMES
 VESTING TENTATIVE TRACT MAP 8456
 PRELIMINARY WATER AND SEWER

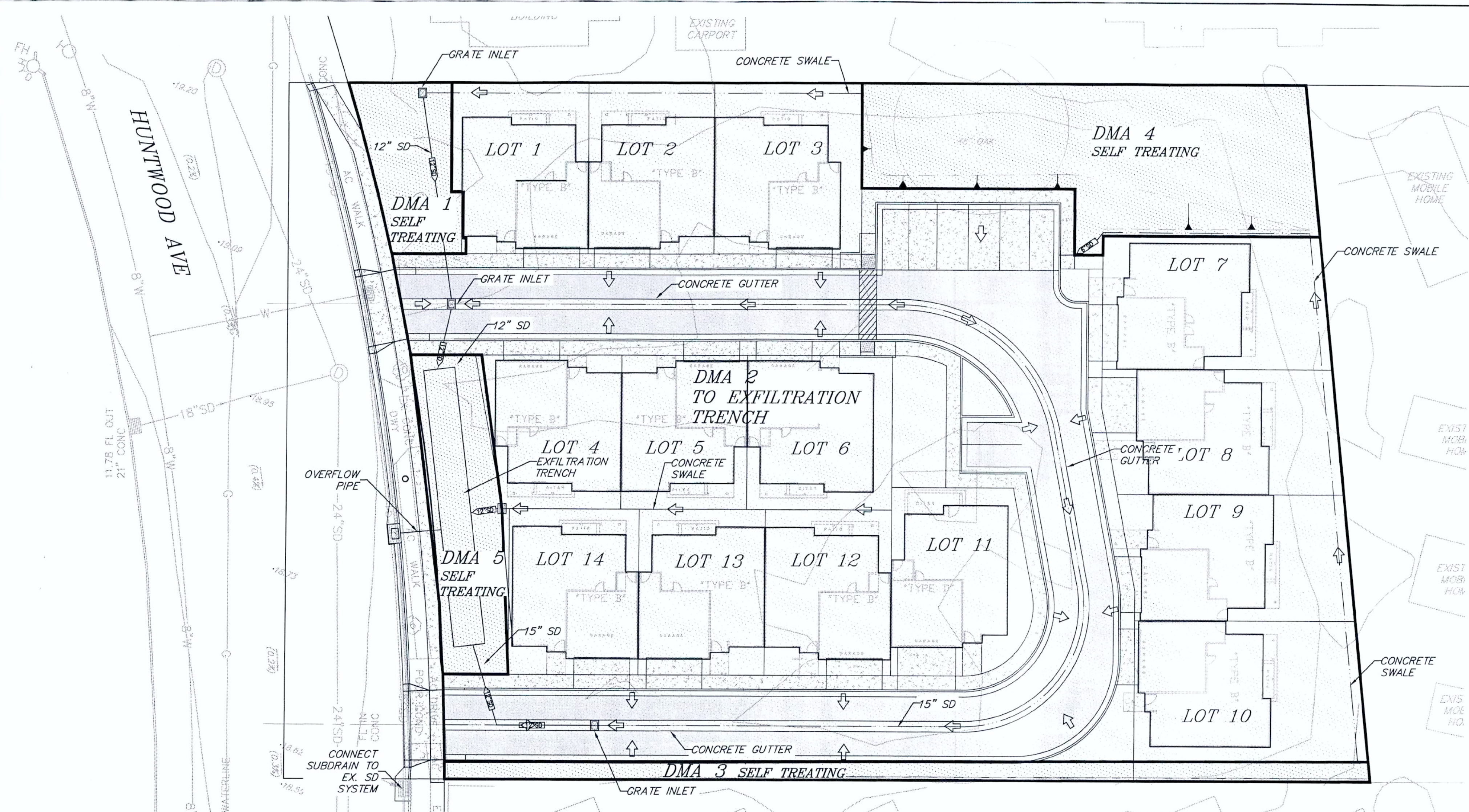
DATE: 08/22/2019
 SCALE: 1" = 20'
 DRAWN: MF
 JOB NO.: 07.00193-1
 DWG: TTM3

PROPOSED CONSTRUCTION

- (20) SANITARY SEWER MANHOLE
- (21) 8" SANITARY SEWER LINE
- (22) 4" SANITARY SEWER LATERAL
- (23) FIRE HYDRANT
- (24) 1" WATER LATERAL AND METER
- (25) 8" WATER MAIN
- (26) SANITARY SEWER CLEANOUT

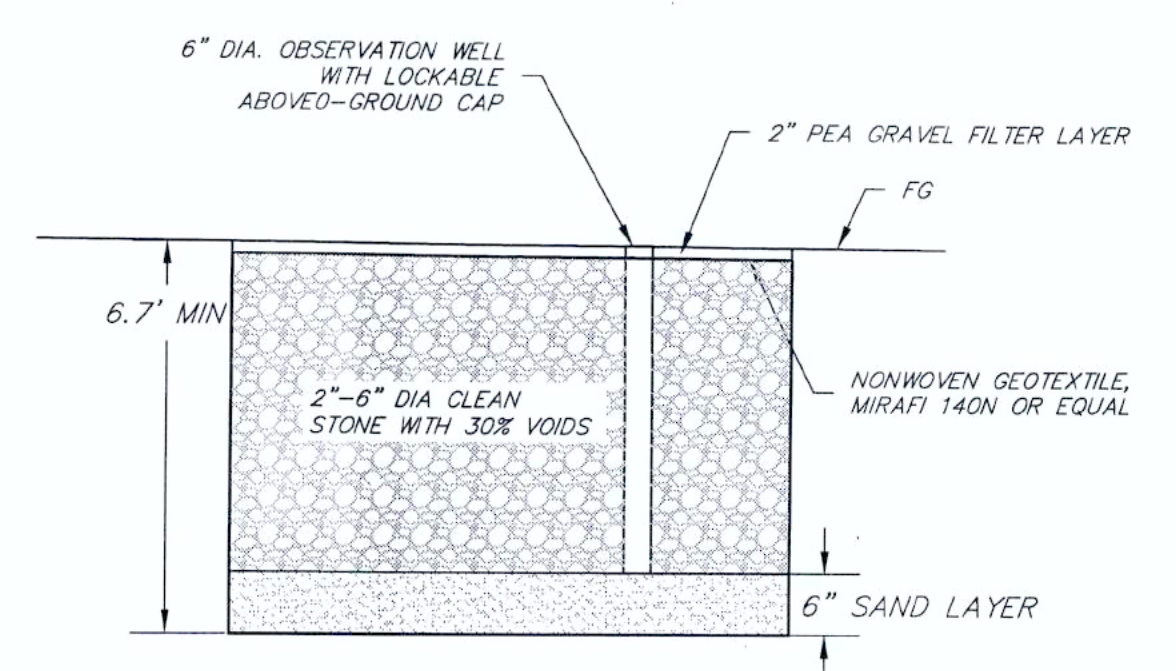


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LEGEND

- PARKWAY/ LANDSCAPED (DMA 1, 3-5 SELF TREATING)
- DMA 2 (TREATMENT BY EXFILTRATION TRENCH)
- PERVIOUS AC PAVEMENT
- PERVIOUS CONCRETE PAVEMENT
- DIRECTION OF SURFACE FLOW



NOTE: EXFILTRATION TRENCH WILL BE DEEPENED IF NECESSARY TO SET THE BOTTOM OF THE TRENCH BELOW THE CLAY LAYER.

Worksheet for Calculating the Water Quality Design Volume (80 percent capture method)

Instructions: After completing Section 1, make a copy of this Excel file for each Drainage Management Area within the project. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

1.0 Project Information

1-1 Project Name: **Huntwood Town Homes**

1-2 City application ID: **28538 Huntwood Ave, Hayward**

1-3 Site Address or APN: **28538 Huntwood Ave, Hayward**

1-4 Tract or Parcel Map No: **18.5** inches

1-5 Site Mean Annual Precip. (MAP)¹: **18.5** inches

1-6 Applicable Rain Gauge²: **Oakland**

MAP adjustment factor is automatically calculated as: **1.01**

(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain gauge, shown in Table 5.2, below.)

The calculations presented here are based on the 80% capture method of sizing volume-based treatment measures provided in the Clean Water Program Alameda County C.3 Technical Guidance, v. 4.0. The steps presented below are explained in Chapter 5, Section 5.1 of the guidance manual, applicable portions of which are included in this file, in the tab called "Guidance from"

DRAINAGE MANAGEMENT AREA (DMA)	TREATMENT CONTROL MEASURES (TCM)	a	b	c	d	e	f	TREATMENT AREA PROVIDED (SF)	DEPTH OF PONDING (IN)	TREATMENT TYPE	SIZING METHOD
1	SELF TREATING	1,199	1,199	-	-	-	SELF	1,199	3	SELF	SELF TREATING
2	EXFILTRATION TRENCH	43,580	15,294	28,286	1,529	45,109	SELF	716	3	EXFILTRATION TRENCH	VOLUME BASED
3	SELF TREATING	1,418	1,418	-	-	-	SELF	1,418	3	SELF	SELF TREATING
4	SELF TREATING	4,853	4,853	-	-	-	SELF	4,853	3	SELF	SELF TREATING
5	SELF TREATING	1,838	1,838	-	-	-	SELF	1,838	3	SELF	SELF TREATING

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2-1 Name of DMA: **DMA 2**

For items 2-2 and 2-3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft)	Adjust Pervious Surface	Effective Impervious Area
2-2 Impervious surface	28,286	1.0	28,286
2-3 Pervious service	15,294	0.1	1,529
Total DMA Area (square feet) =		43,580	

2-4 **Total Effective Impervious Area (EIA) = 29,815** Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff	Coefficient of 1.00
Oakland Airport	18.35		0.67
San Jose	14.4		0.56

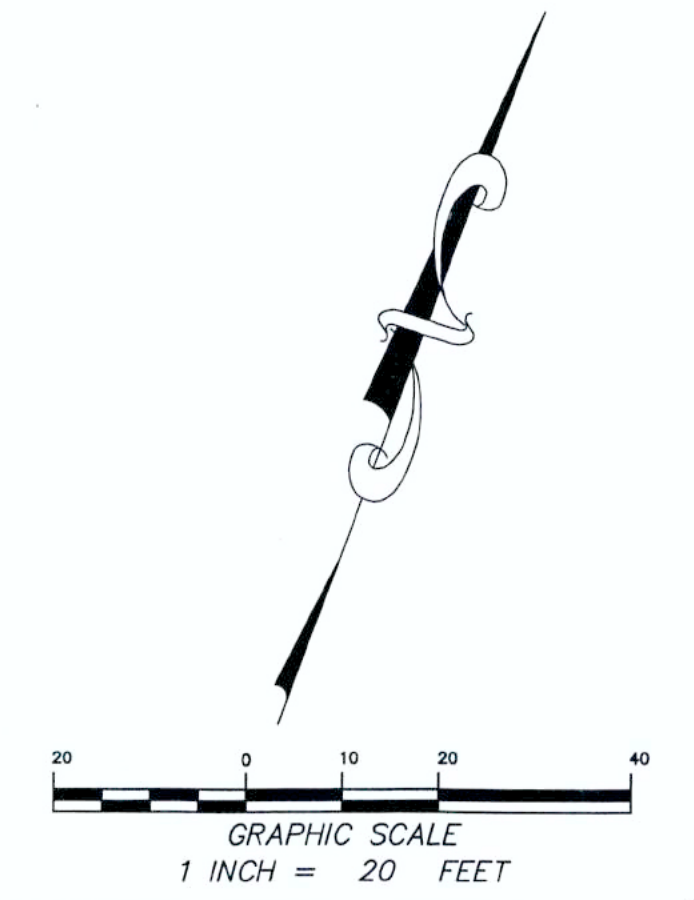
3-1 Unit basin storage volume from Table 5.2: **0.67** Inches
(The coefficient for this method is 1.00, due to the conversion of any landscaping to effective impervious area.)

3-2 Adjusted unit basin storage volume: **0.68** Inches
(The unit basin storage volume is adjusted by applying the MAP adjustment factor.)

3-3 Required Capture Volume (in cubic feet): **1,678** Cubic feet
(The adjusted unit basin sizing volume [inches] is multiplied by the size of the DMA and converted to feet.)

3-4 To size an infiltration trench, enter the surface area available: **716** Square feet

3-5 Required depth of infiltration trench, given the surface area available (in 3-4): **6.70** Feet
(Assumes 35% void space in rectangular trench with vertical sides.)
(Note: Infiltration trench depths are typically between 3 and 8 feet.)



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MAMMOTH LAKES
BISHOP
REDWOOD CITY
SAN LUIS OBISPO

PREPARED & SUBMITTED BY:
THOMAS A. PLATZ
NO. C 41039
REGISTERED PROFESSIONAL ENGINEER
CIVIL
STATE OF CALIFORNIA

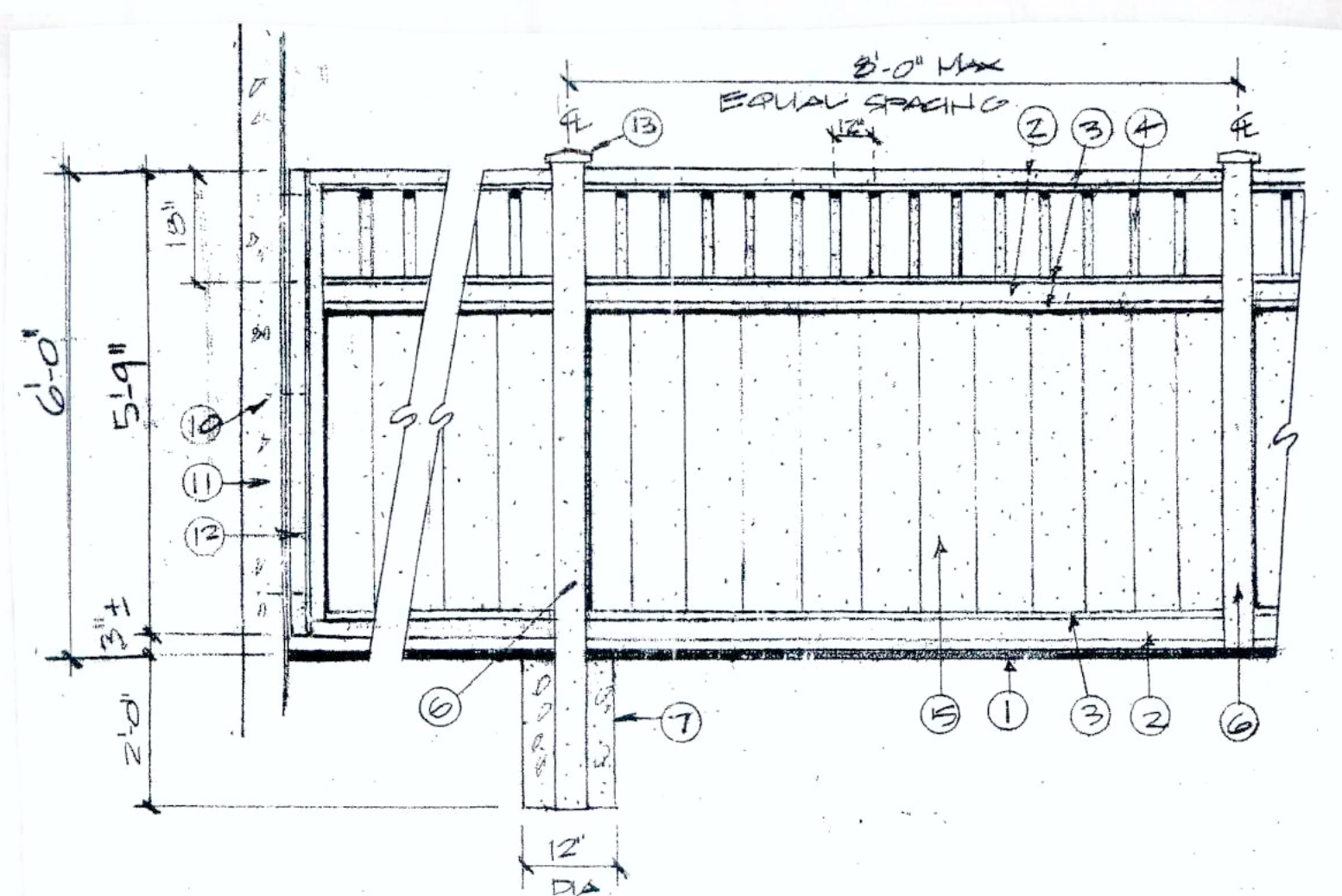
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ERIC TANG

HUNTWOOD TOWN HOMES
VESTING TENTATIVE TRACT MAP 8456
PRELIMINARY STORMWATER CONTROL PLAN

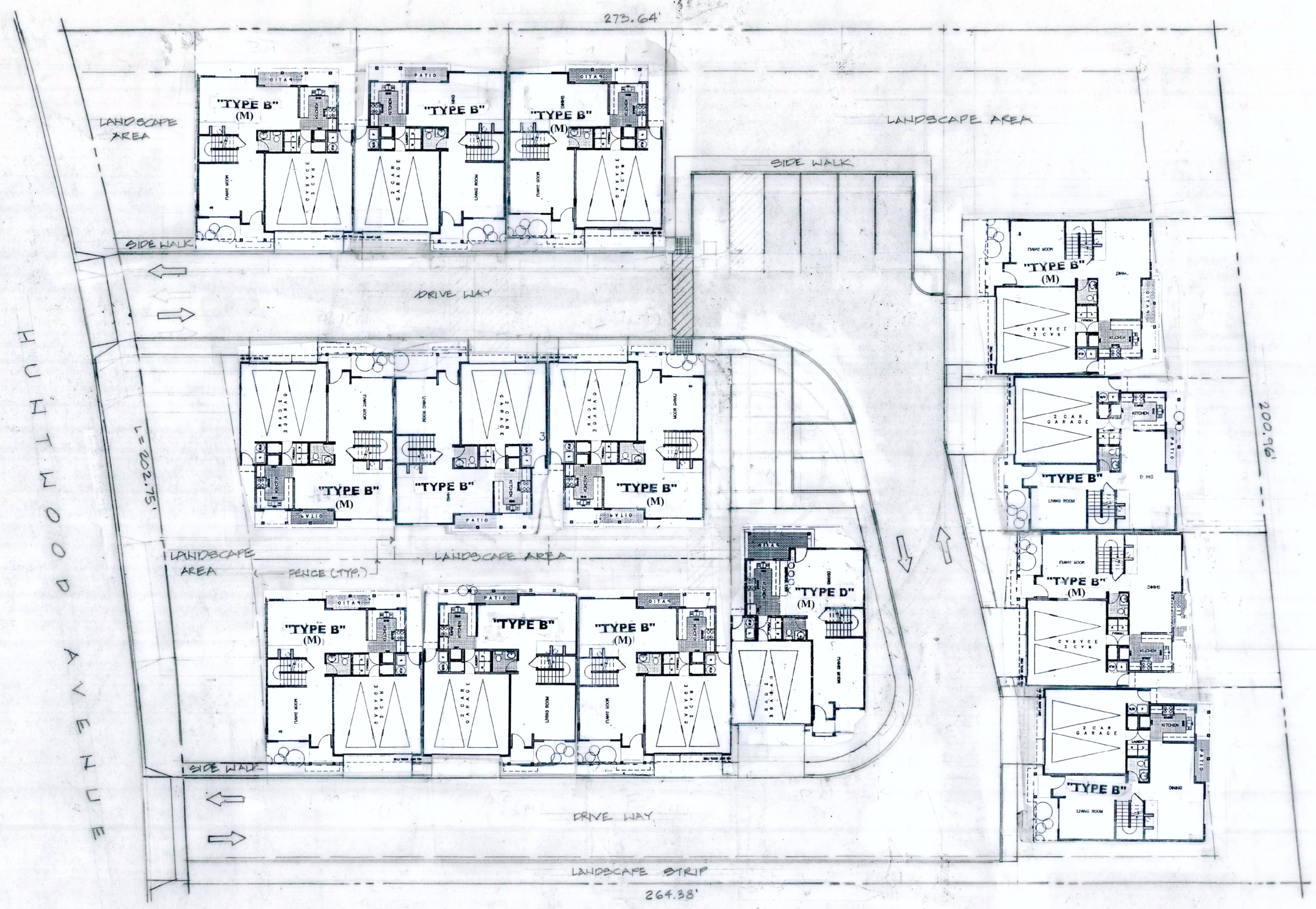
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JOB NO.: 07.00193-1
DWG: TTM4
SHEET 4 OF 4



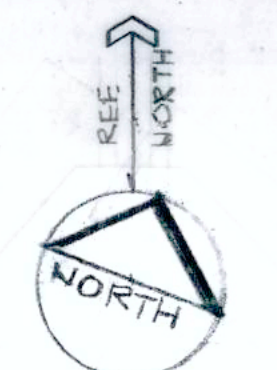
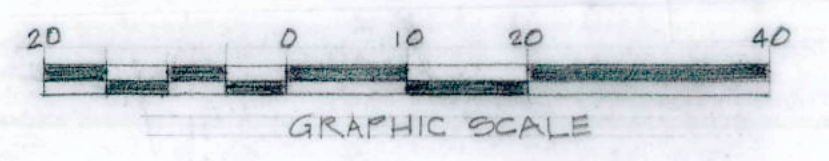
- ① FINISH GRADE
- ② 2" X 4" RAIL
- ③ 1" X 2" FURRING EACH SIDE
- ④ 2" X 4" RICKETS
- ⑤ 1" X 8" T & G FENCING
- ⑥ 4" X 4" POST
- ⑦ CONCRETE FOOTING
- ⑧ BELT TO WALL
- ⑨ BUILDING WALL
- ⑩ 2" X 4" SLEEPER
- ⑪ 6" X 6" BEVELED CAP

FENCE DETAIL
1/2" = 1'-0"

- NOTES:**
- 1) ALL HARDWARE GALV.
 - 2) ALL WOOD SAs CONST. HT REDWOOD
 - 3) STAIN W/ 2 COATS CRYSTIC SEMI-TRANSPARENT COLOR AS APPROVED BY OWNER
 - 4) USE ONLY GALV. OR STAINLESS STEEL SCREWS FOR FASTENING DO NOT USE NAILS.
 - 5) FENCE WITHIN FRONT YARD SET BACK AREA ALONG HUNTWOOD AVENUE TO BE 4'-0" H. HEIGHT.



SITE PLAN SCALE: 1/16" = 1'-0"



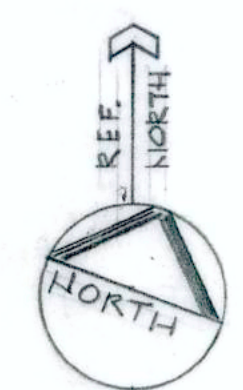
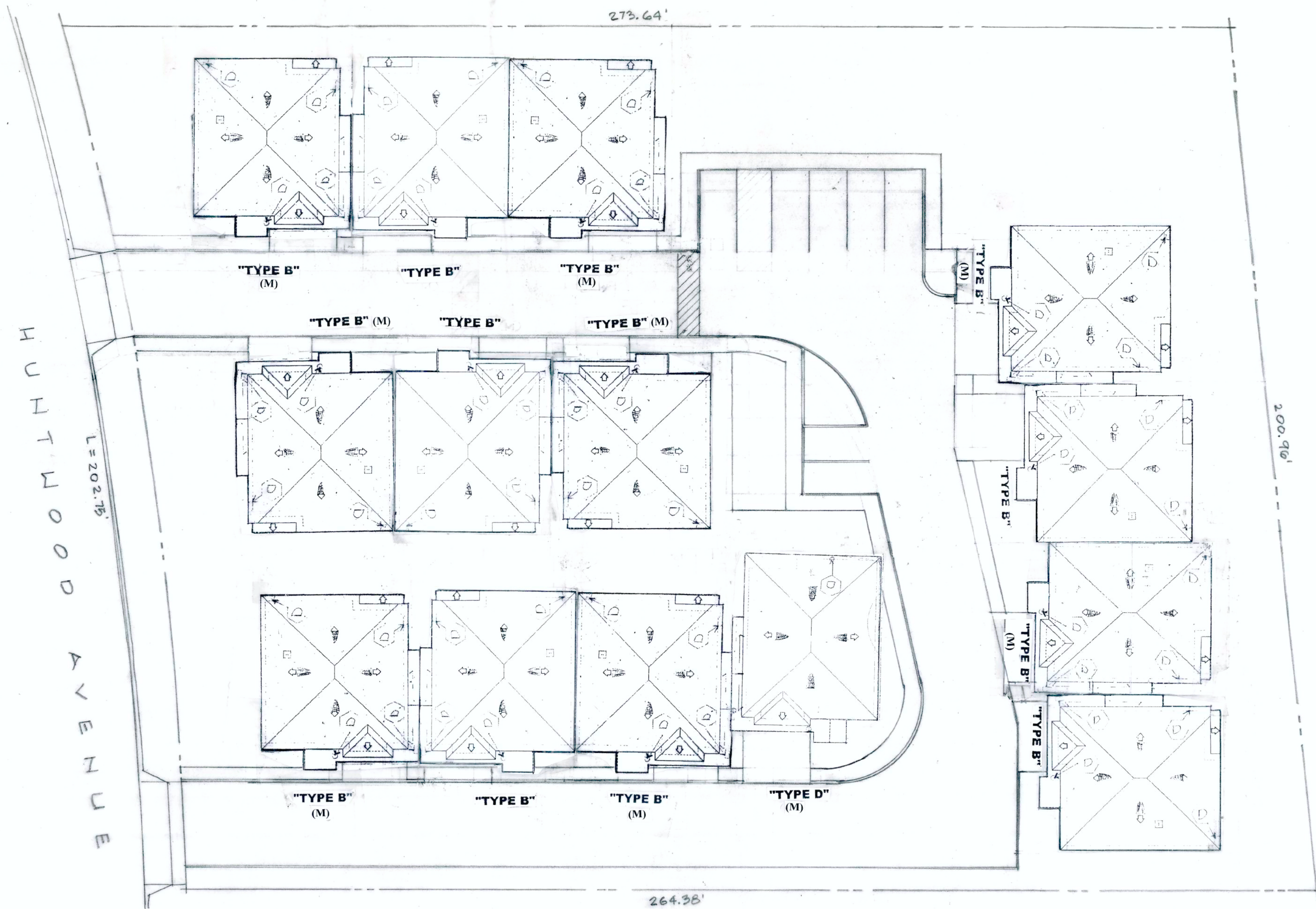
NOTE:
SEE CIVIL PLANS FOR SITE DIMENSION INFORMATION.
(M) = MIRROR IMAGE

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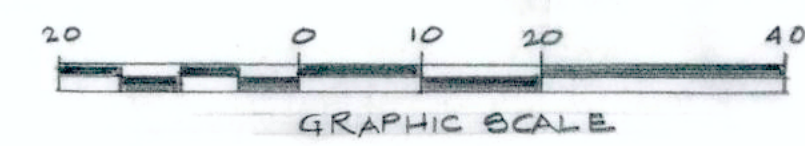
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SHEET
A - 1
OF SHEETS



ROOF PLAN SCALE: 1/16" = 1'-0"



NOTES:
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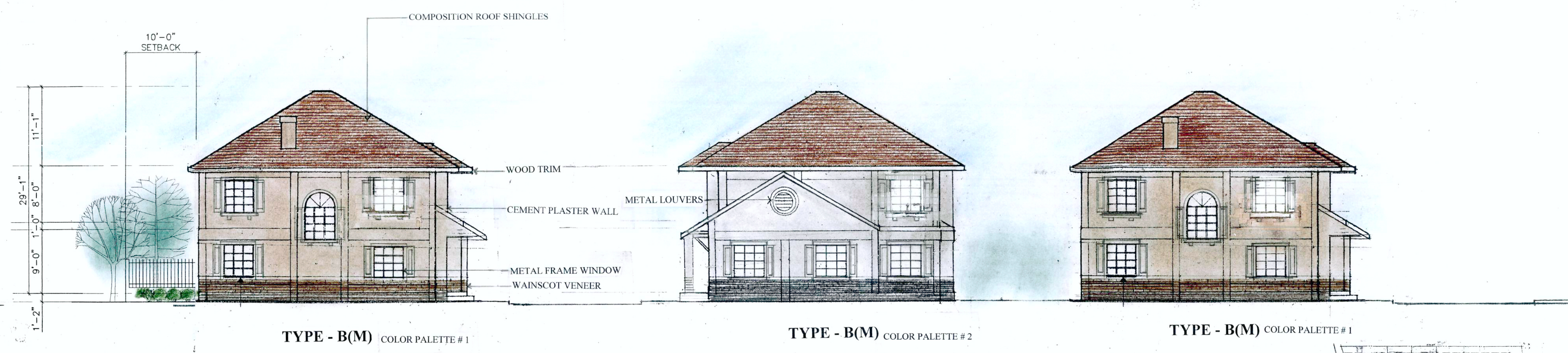
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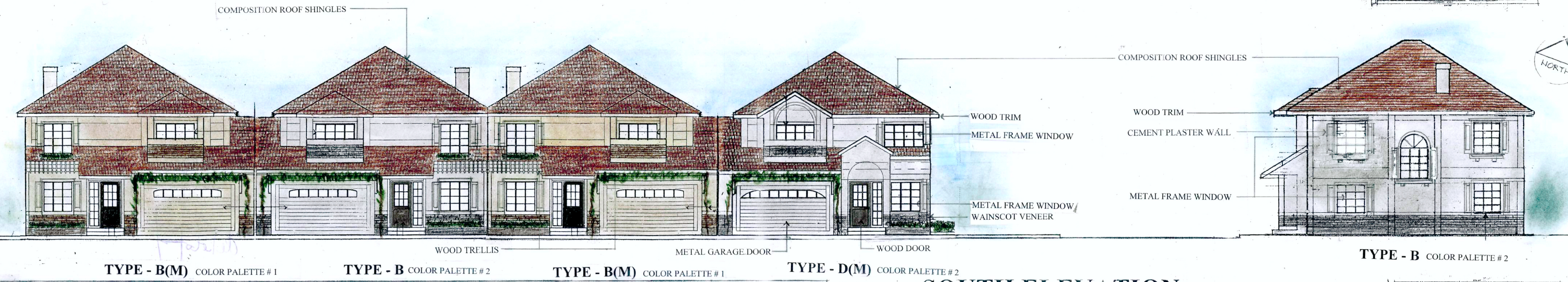
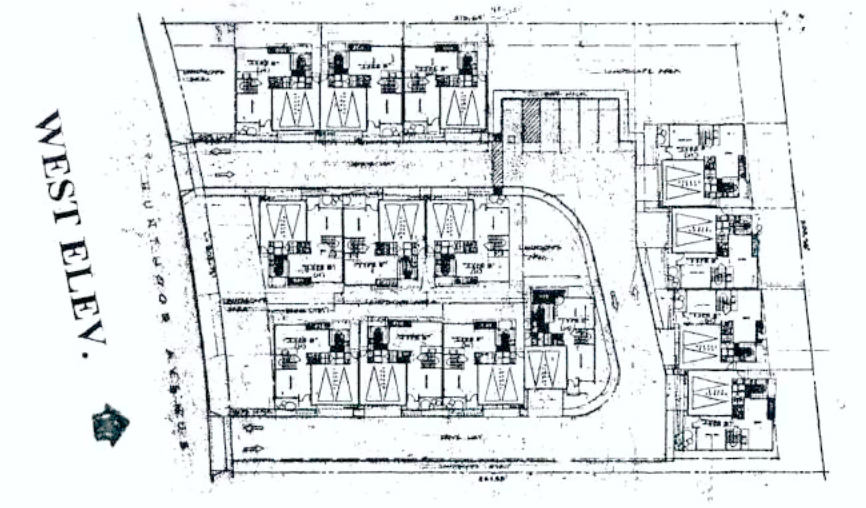
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SCALE
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SHEET A - 2
OF SHEETS

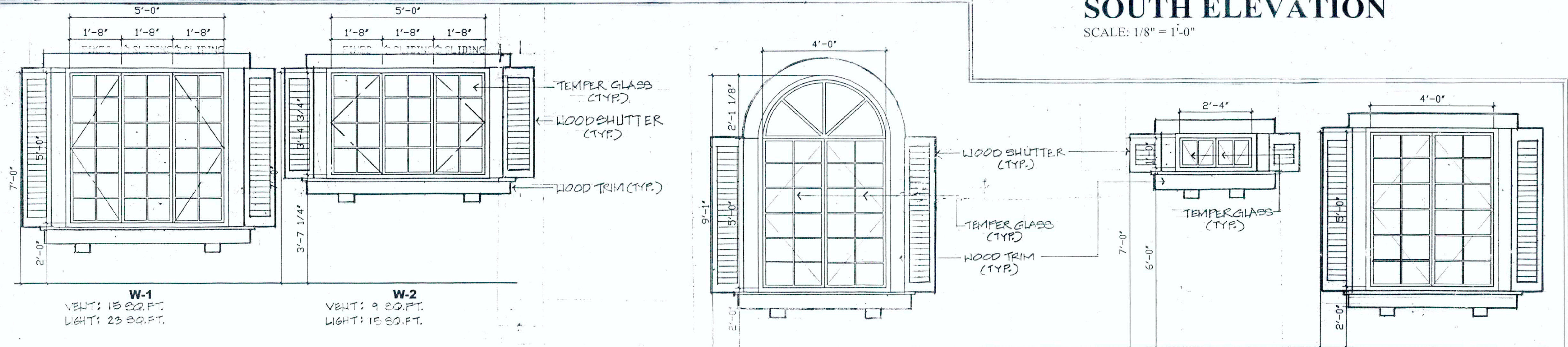
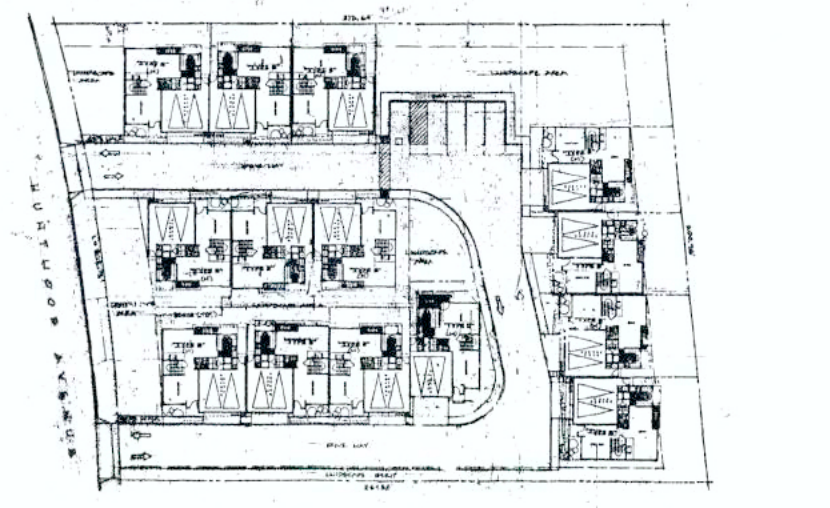
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WEST ELEVATION (STREET FRONTAGE)
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WINDOW SCHEDULE
SCALE: 1/2" = 1'-0"

Window Type	Vent Area (sq. ft.)	Light Area (sq. ft.)
W-1	15	23
W-2	9	15
W-4	20	24
W-6	2.3	2.1
W-3	-	-

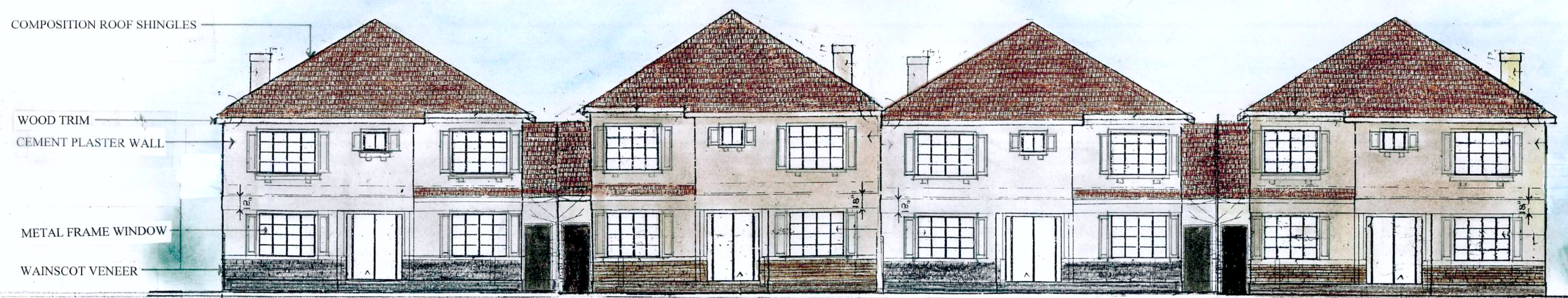
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A - 3
OF SHEETS

CITY/VALUERSLINE

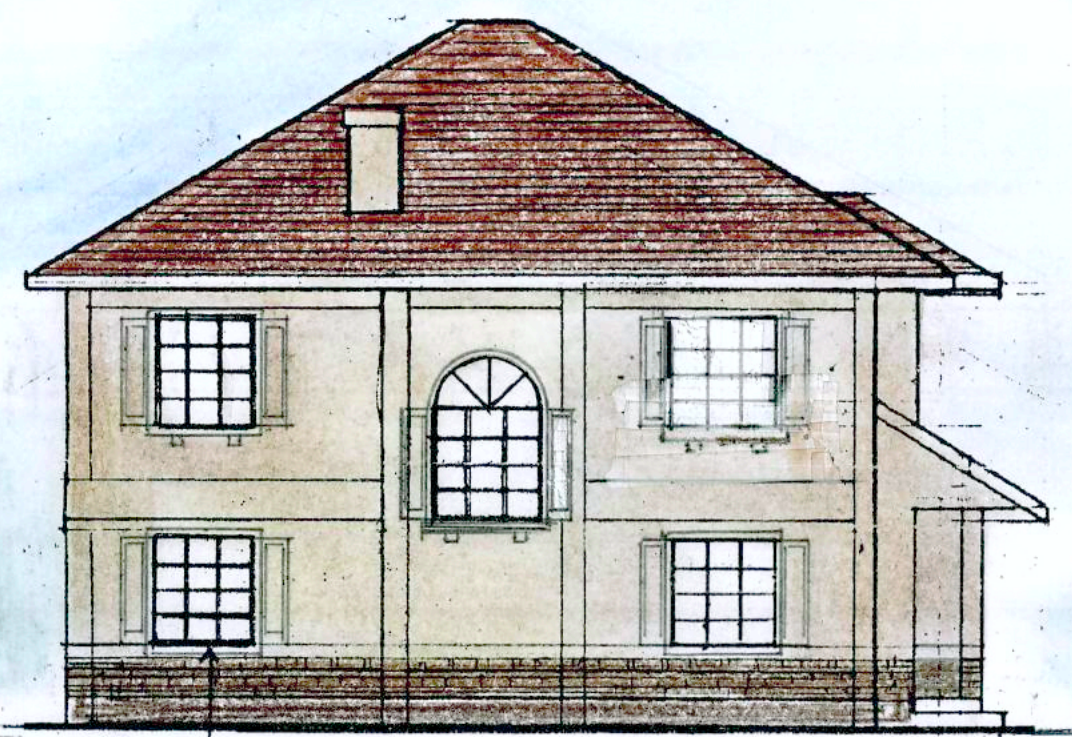
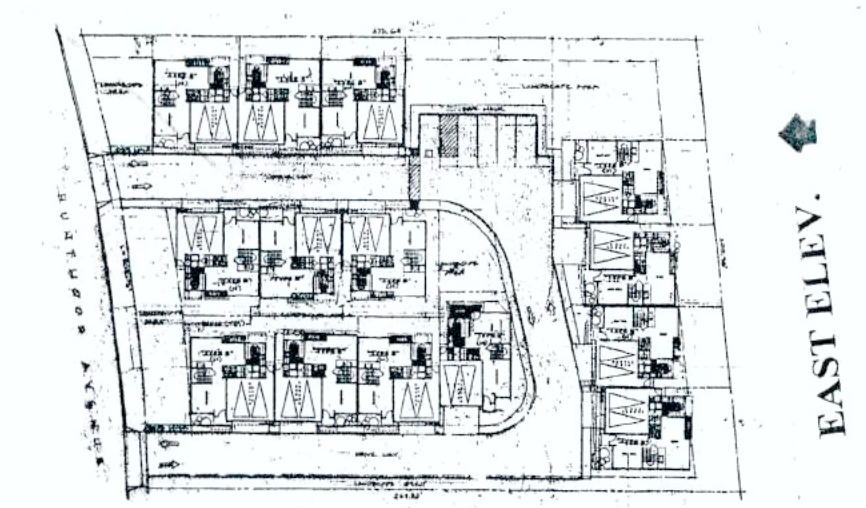
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TYPE - B COLOR PALETTE #2 TYPE - B(M) COLOR PALETTE #1 TYPE - B COLOR PALETTE #2 TYPE - B(M) COLOR PALETTE #1

EAST ELEVATION

SCALE: 1/8" = 1'-0"



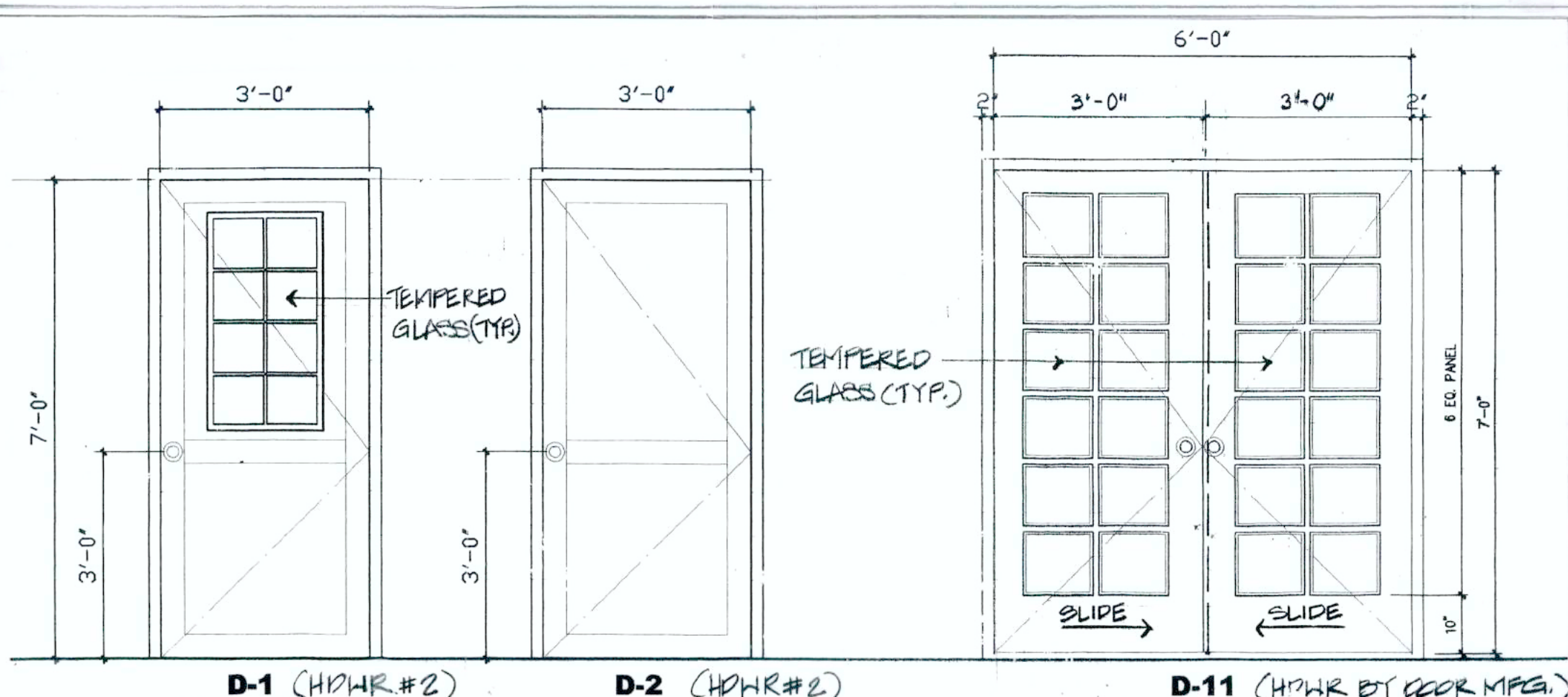
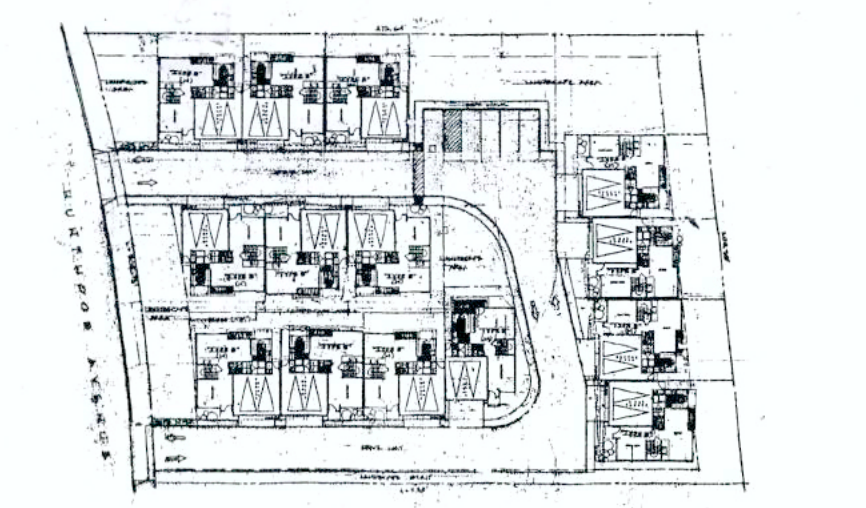
TYPE - B(M) COLOR PALETTE #1



TYPE - B(M) COLOR PALETTE #1 TYPE - B COLOR PALETTE #2 TYPE - B(M) COLOR PALETTE #1

NORTH ELEVATION

SCALE: 1/8" = 1'-0"



DOOR SCHEDULE

SCALE: 1/2" = 1'-0"

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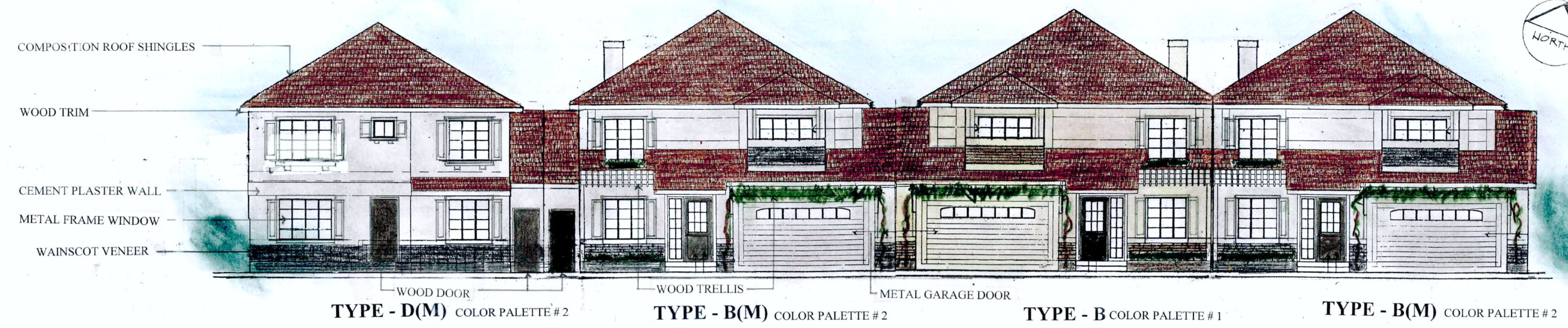
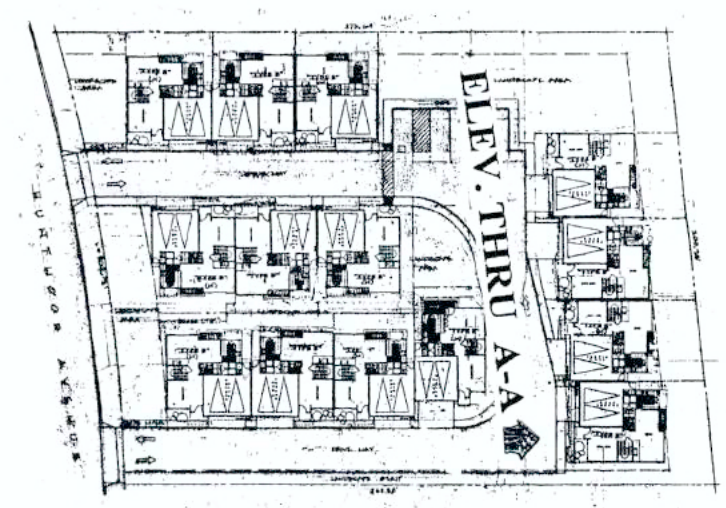
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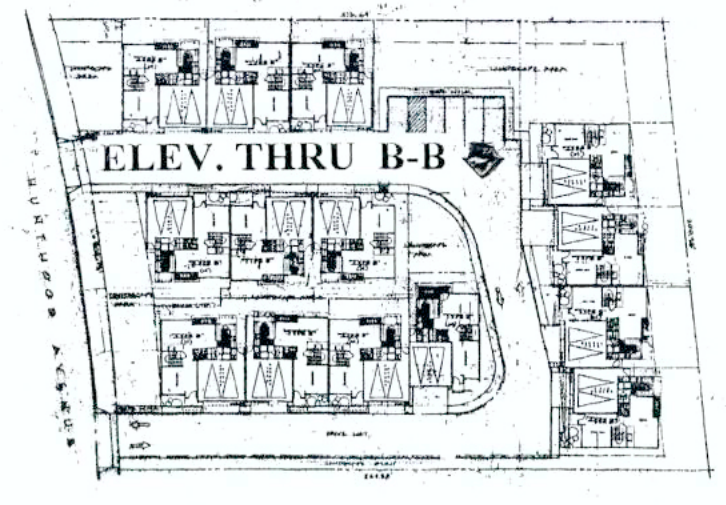
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ELEVATION THRU A-A
SCALE: 1/8" = 1'-0"



ELEVATION THRU B-B
SCALE: 1/8" = 1'-0"

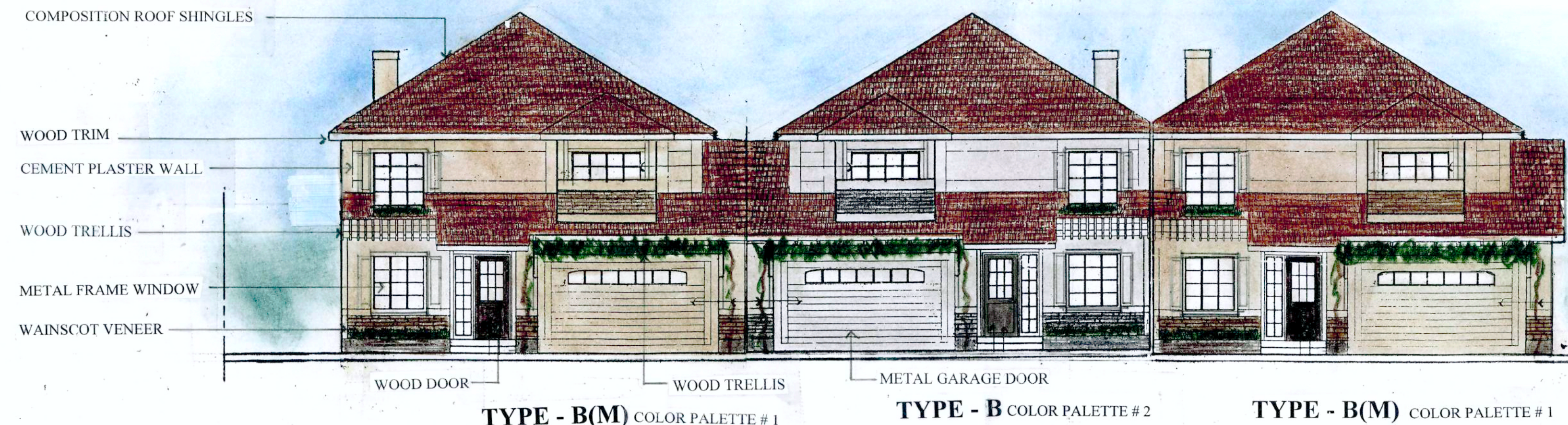


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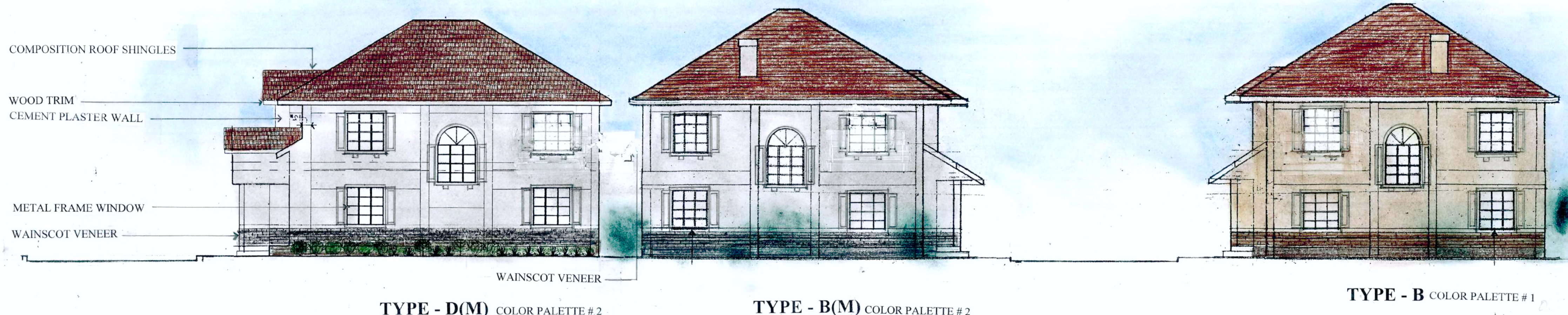
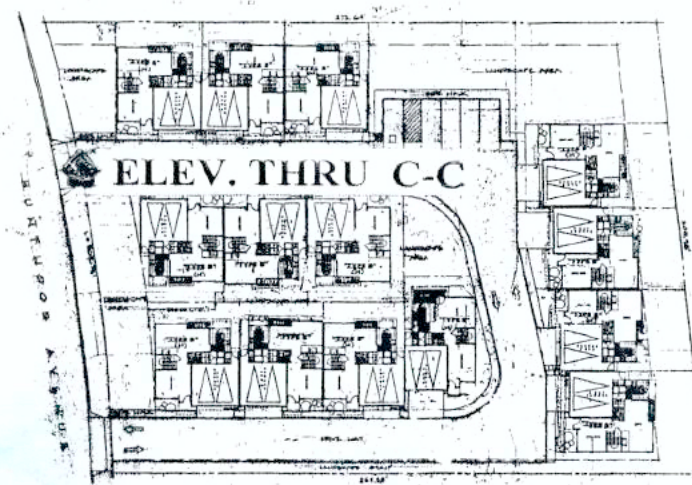
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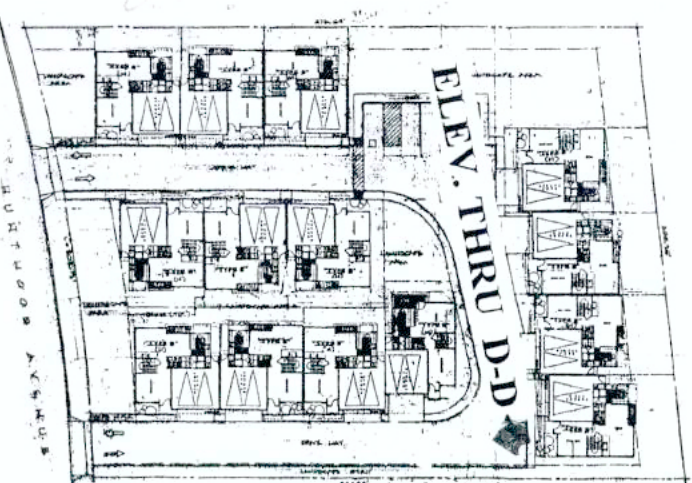
CTI/VALUENINE



ELEVATION THRU C-C
SCALE: 1/8" = 1'-0"



ELEVATION THRU D-D
SCALE: 1/8" = 1'-0"



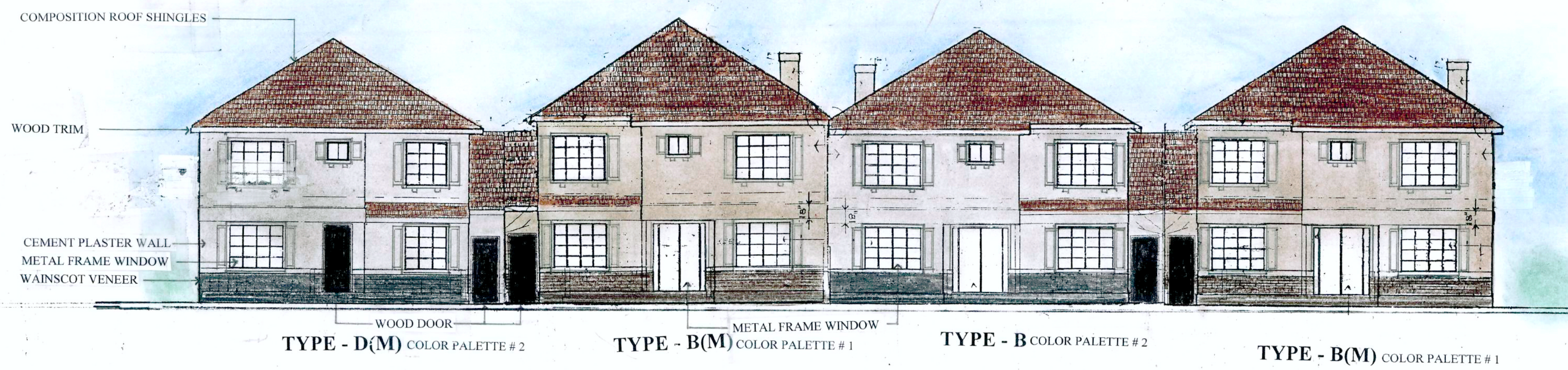
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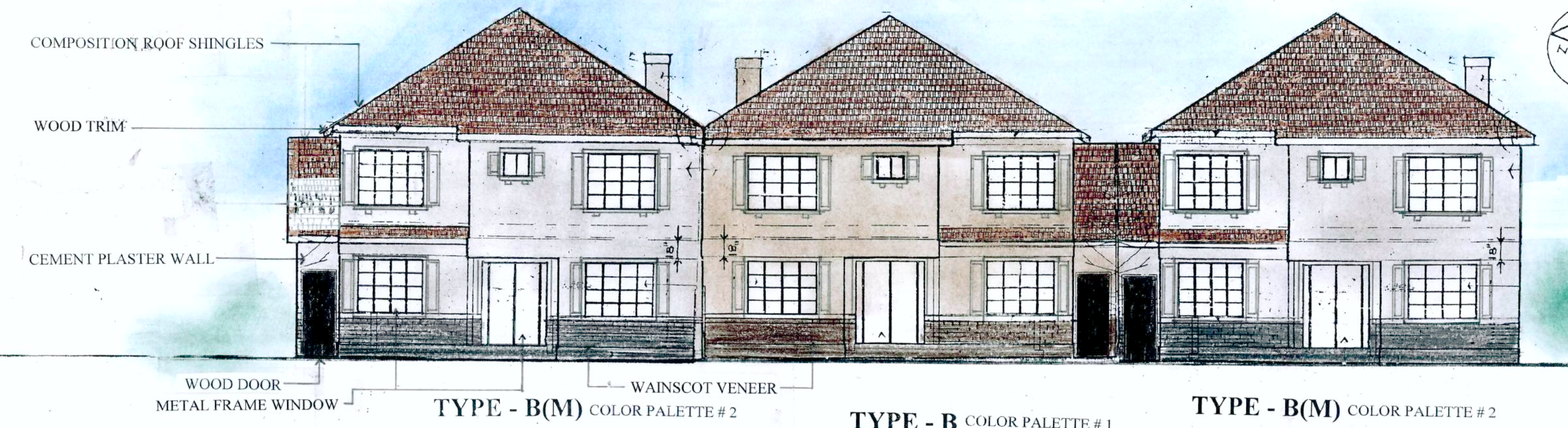
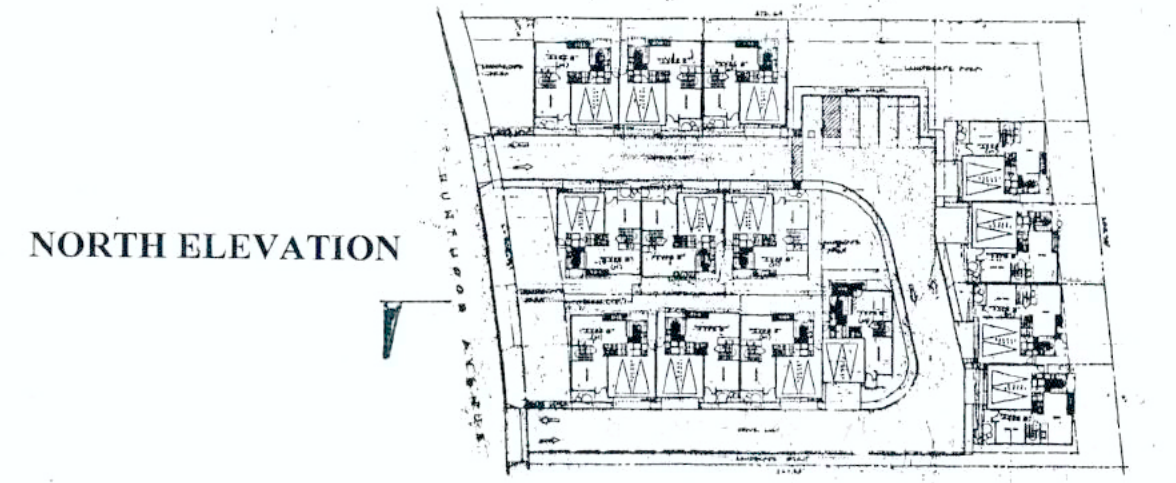
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OF SHEETS

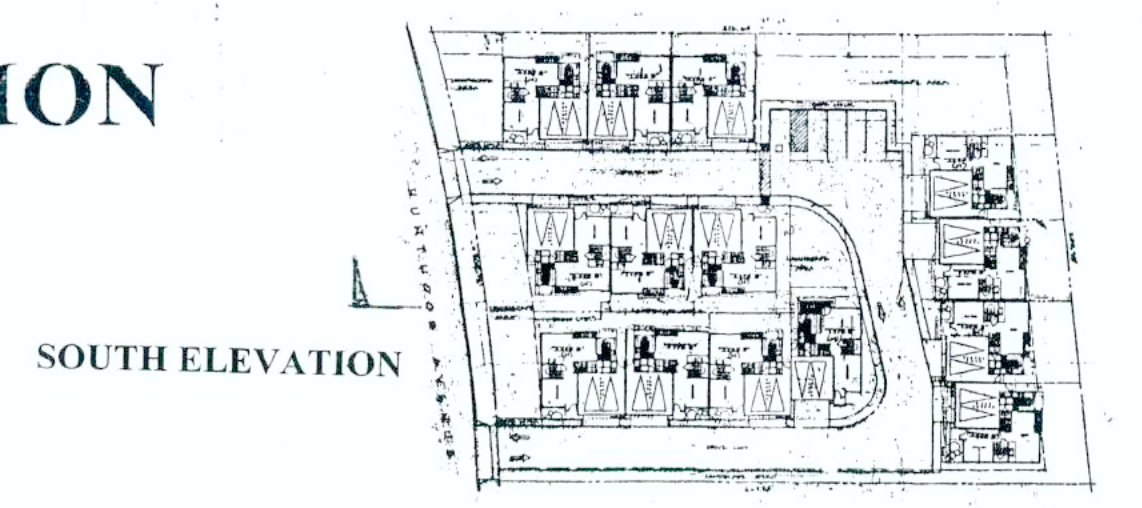
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NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



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A - 7
OF SHEETS

CITY/VALUENAME

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" HUNTWOOD TOWN HOUSE "

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28538 HUNTWOOD AVENUE

HAYWARD, CALIFORNIA

JAMES M.T. CHAO, ARCHITECT

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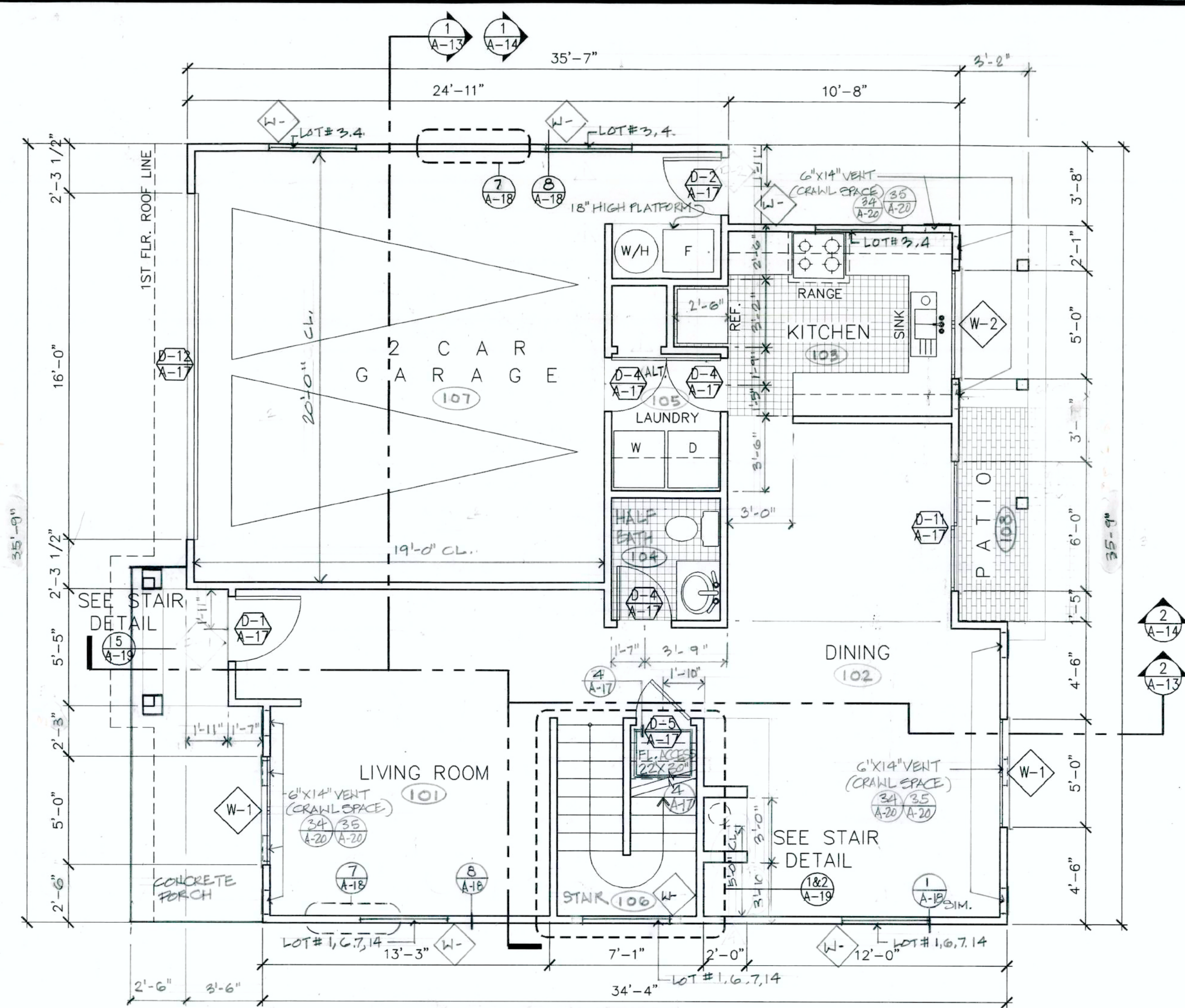
DATE: FEB 4, 2019

SCALE: _____

JOB NO. _____

SHEET NO. _____

A-8



FLOOR AREA / LIGHT / VENTILATION

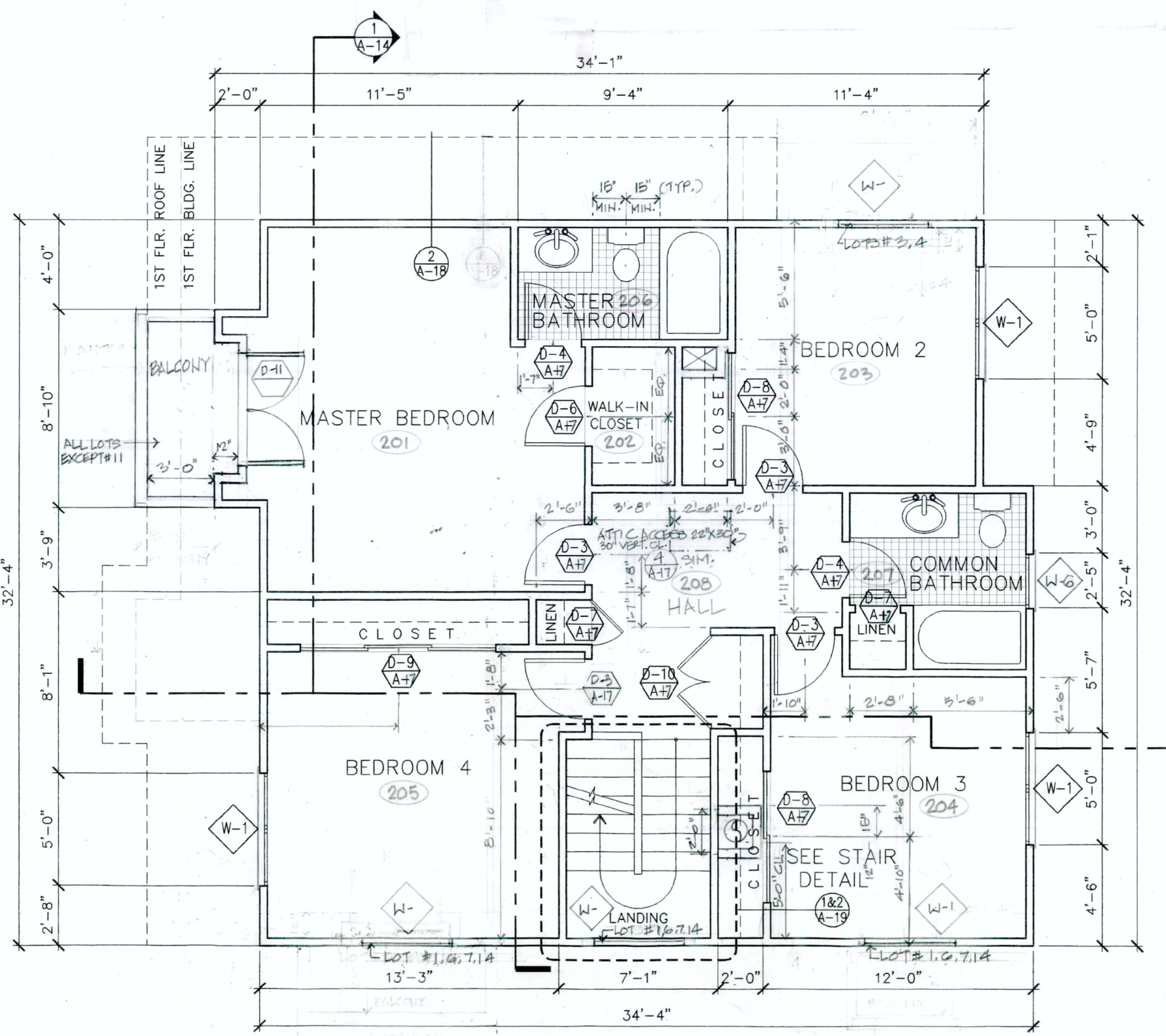
ROOM NAME	FLOOR AREA	LIGHT	VENTILATION
LIVING ROOM	217.5 SF	23 SF	15 SF
DINING ROOM	284.7 SF	61 SF	35 SF
KITCHEN	89.25 SF	15 SF	9 SF
MASTER BR. RM.	228.65 SF	23 SF	15 SF
BED RM. # 2	124.12 SF	23 SF	15 SF
BED RM. # 3	137.97 SF	23 SF	15 SF
BED RM. # 4	169.25 SF	23 SF	15 SF
COMMON BATH	52.75 SF	2.1 SF	2.3 SF

ATTIC & CRAWL SPACE VENT:

CRAWL SPACE: 10 VENTS @ 6"X14" EA. = 840 / 144 = 5.83 SF (AVAIL.) > 5.33 SF (REQ'D)

ATTIC SPACE: 4 - HALF ROUND 15"X30" W = 4 @ 2.45 SF EACH = 9.80 SF (AVAIL.) > 7.34 SF (REQ'D)

(ATTIC SPACE AREA = 1,106.93 SF / 150 = 7.34 SF REQ'D ATTIC VENTILATION)



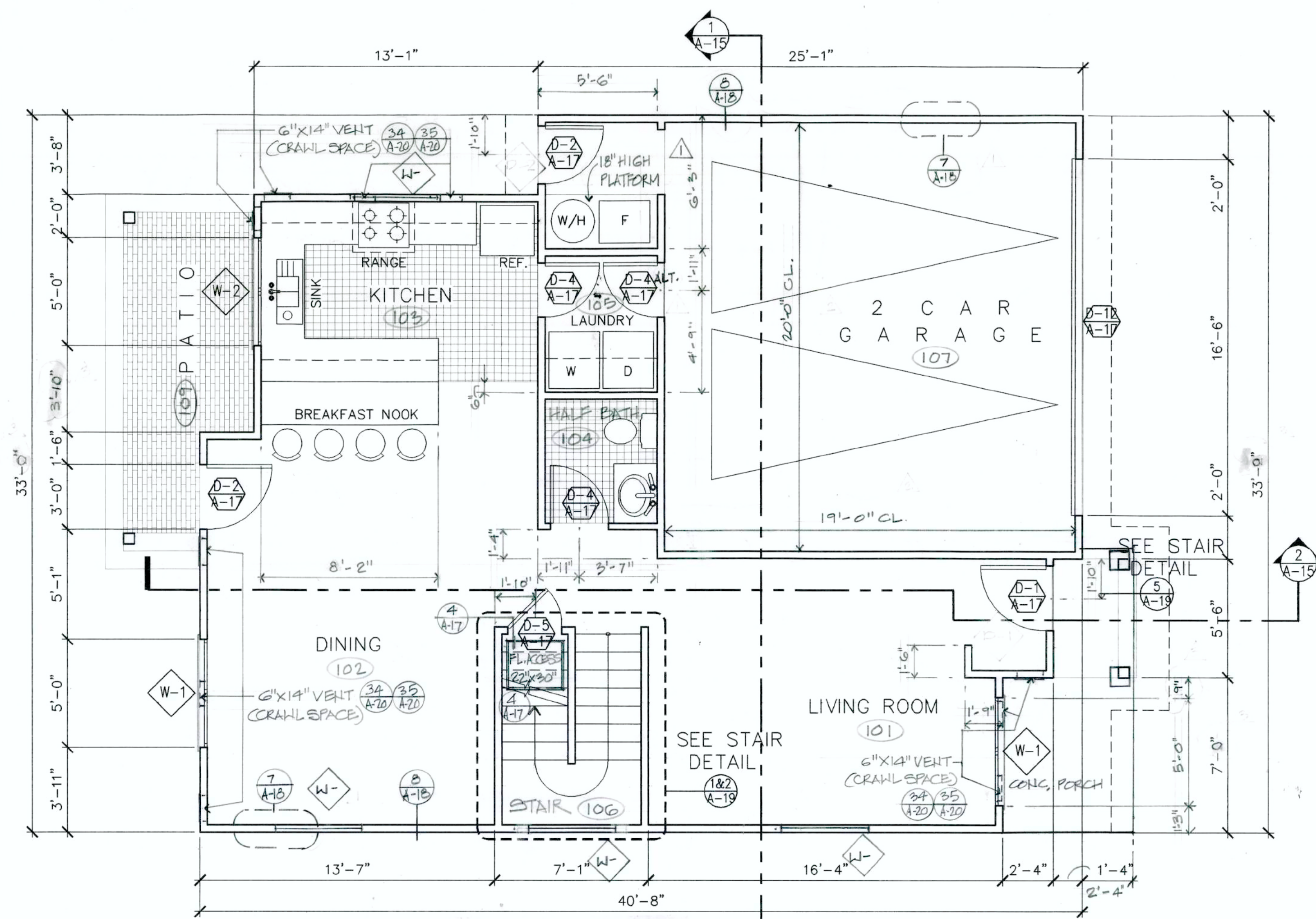
" TYPE B" SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

REVISIONS	BY

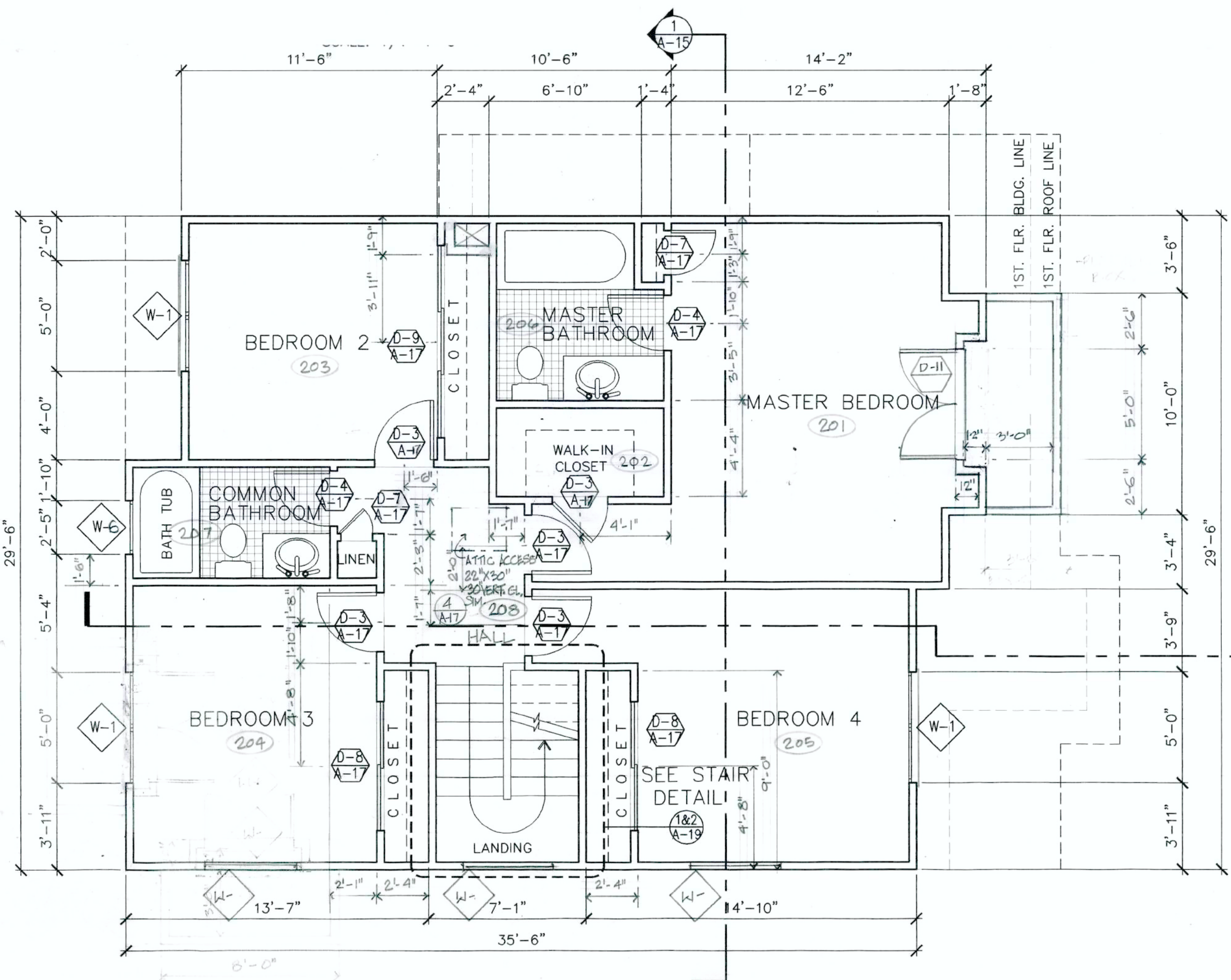
" HUNTWOOD TOWN HOUSE "

13 UNIT TOWN HOUSE
28538 HUNTWOOD AVENUE
HAYWARD, CALIFORNIA



" TYPE D" GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"



" TYPE D" SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

ROOM NAME	FLOOR AREA	LIGHT	VENTILATION
LIVING ROOM	208.3 SF	23 SF	15 SF
DINING/KITCHEN	380.0 SF	38 SF	24 SF
MASTER BD. RM.	227.4 SF	23 SF	15 SF
BEDRM # 2	121.98 SF	23 SF	15 SF
BEDRM # 3	137.5 SF	23 SF	15 SF
BEDRM # 4	167.12 SF	23 SF	15 SF
COMMON BATH	44.0 SF	2.1 SF	2.3 SF

ATTIC & CRAWL SPACE VENT:

CRAWL SPACE: 10 VENTS @ 6"X14" EA = 840/144 = 5.83 SF (AVAIL.)

ATTIC SPACE: 4-HALF ROUND 15"X30" H=4 @ 2.45 SF EACH = 9.80 SF (AVAIL.)

(ATTIC SPACE AREA = 1,061.95 SF / 150 = 7.08 SF REQ'D VENT.) > 7.08 SF CREQ'D

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