

PERSPECTIVE VIEW



PERSPECTIVE VIEW

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET
APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS
SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER
DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE
CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS
PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL
RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS
NOT EXHIBITING THIS SEAL.

ISSUE DATE:	PROJECT NO: 25691.000
-------------	-----------------------

DESIGNED: HKS	ARCHITECT: HKS
---------------	----------------

MARK	DATE	DESCRIPTION
------	------	-------------

CONFIDENTIAL INFORMATION.
THIS DRAWING/DOCUMENT AND ALL DESIGNS, DETAILS,
INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED
THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY
OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL
RIGHTS IN THIS DRAWING/DOCUMENT. COPYING,
REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD
PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS
EXPRESSLY AUTHORIZED IN WRITING.

<u>MECHANICAL ENGINEER</u>	<u>ELECTRICAL ENGINEER</u>
ESD GLOBAL	ESD GLOBAL
MIKE YOUNG	REY BERNARDINO
(312) 372-1200	(312) 551-8612
233 South Wacker Drive	233 South Wacker Drive
Suite 5300	Suite 5300
Chicago, Illinois 60606	Chicago, Illinois 60606

CIVIL ENGINEER KIMLEY HORN ANTHONY VERA (925) 398-4840 4637 Chabot Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street Dallas, Texas 75201
--	---

ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
--	---

TELECOM ENGINEER	SECURITY ENGINEER
ESD GLOBAL	GUIDEPOST
TODD GRIMES	JON JOLIBOIS
(312) 372-1200	(415) 616-8822
233 South Wacker Drive	315 Montgomery Street
Suite 5300	10th Floor
Chicago, Illinois 60606	San Francisco, California

PROJECT:	BUILDING A SHELL
TITLE:	ARCHITECTURAL ELEVATION
DRAWING:	

DRAWING:		A608	
E1	SCALE:	AGILE No:	

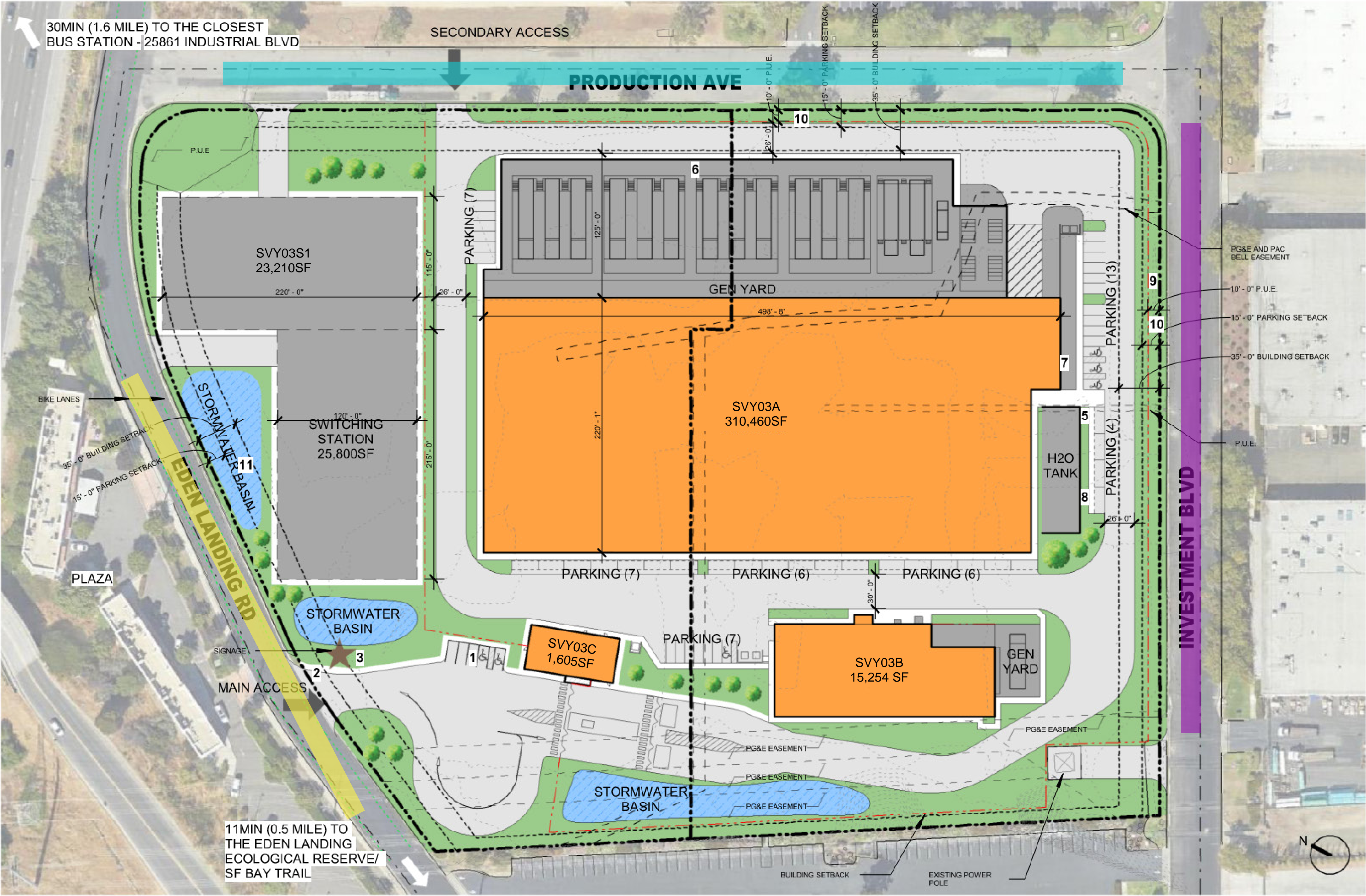
PROJECT:	BUILDING A SHELL
----------	------------------

TITLE: ARCHITECTURAL ELEVATION

DRAWING: A608

E1	SCALE:	AGILE No:
----	--------	-----------

SITE PLAN



FAR: 0.67
REQUIRED PARKING: 182 Spaces
PARKING PROVIDED: 64 Spaces
% LANDSCAPE: 33%



SVY03 STACK HAYWARD DATA CENTER

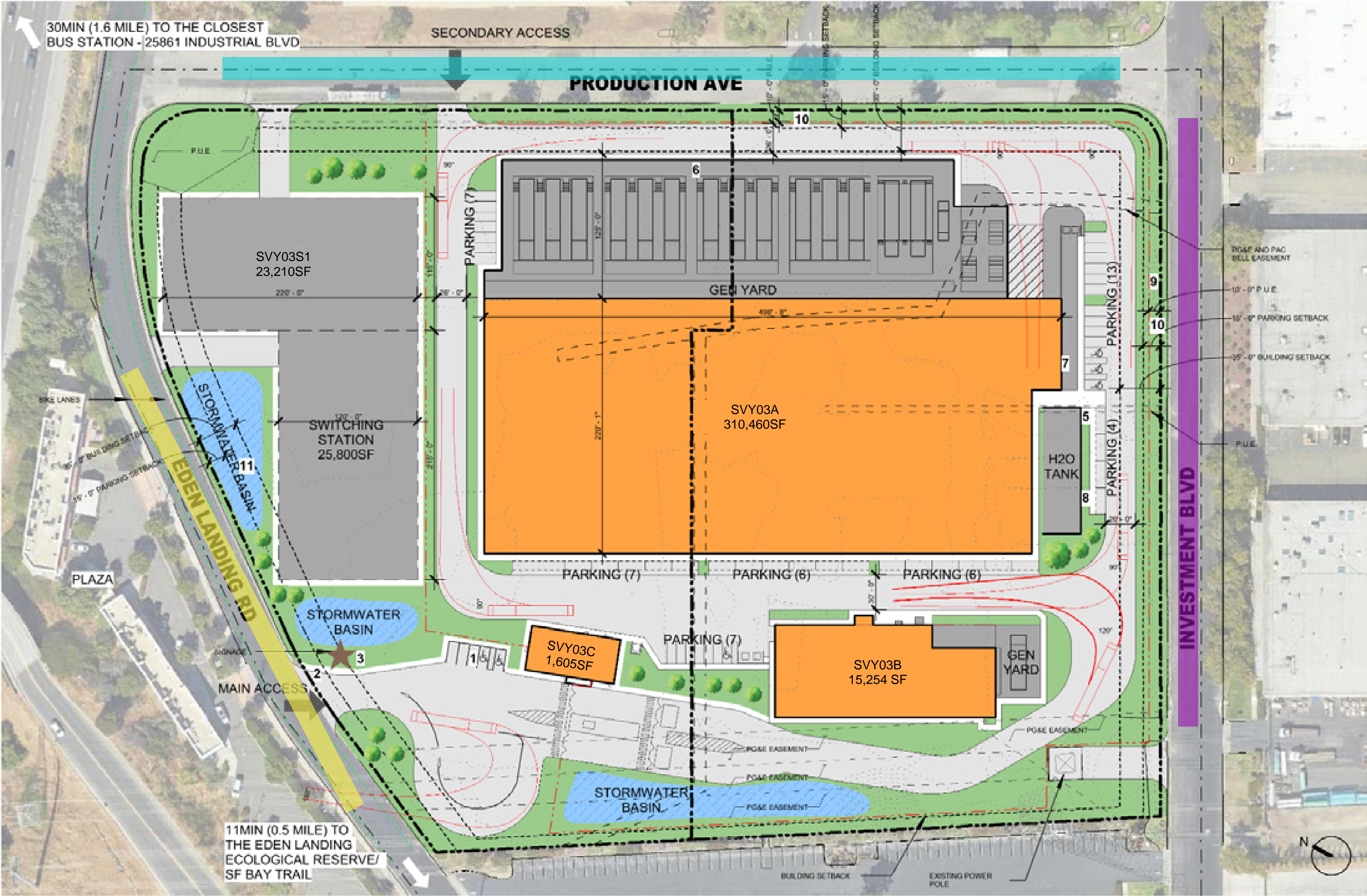
SITE PLAN - WB67 TURNING



PRODUCTION AVE



EDEN LANDING RD



INVESTMENT BLVD

PRECEDENCE - STACK PROJECTS



MATERIALS: METAL PANELS
GLAZING: TINTED
COLORS: LIGHT GREY, WHITE



MATERIALS: METAL PANELS, CONC PANELS
GLAZING: SPANDREL, TINTED
COLORS: SILVER, WHITE, DARK ACCENTS



MATERIALS: METAL PANELS
GLAZING: SPANDREL, TINTED
COLORS: GREY, BLUE, DARK ACCENTS



MATERIALS: METAL PANELS, CONC PANELS
GLAZING: SPANDREL, TINTED
COLORS: SILVER, BEIGE, BROWN ACCENTS

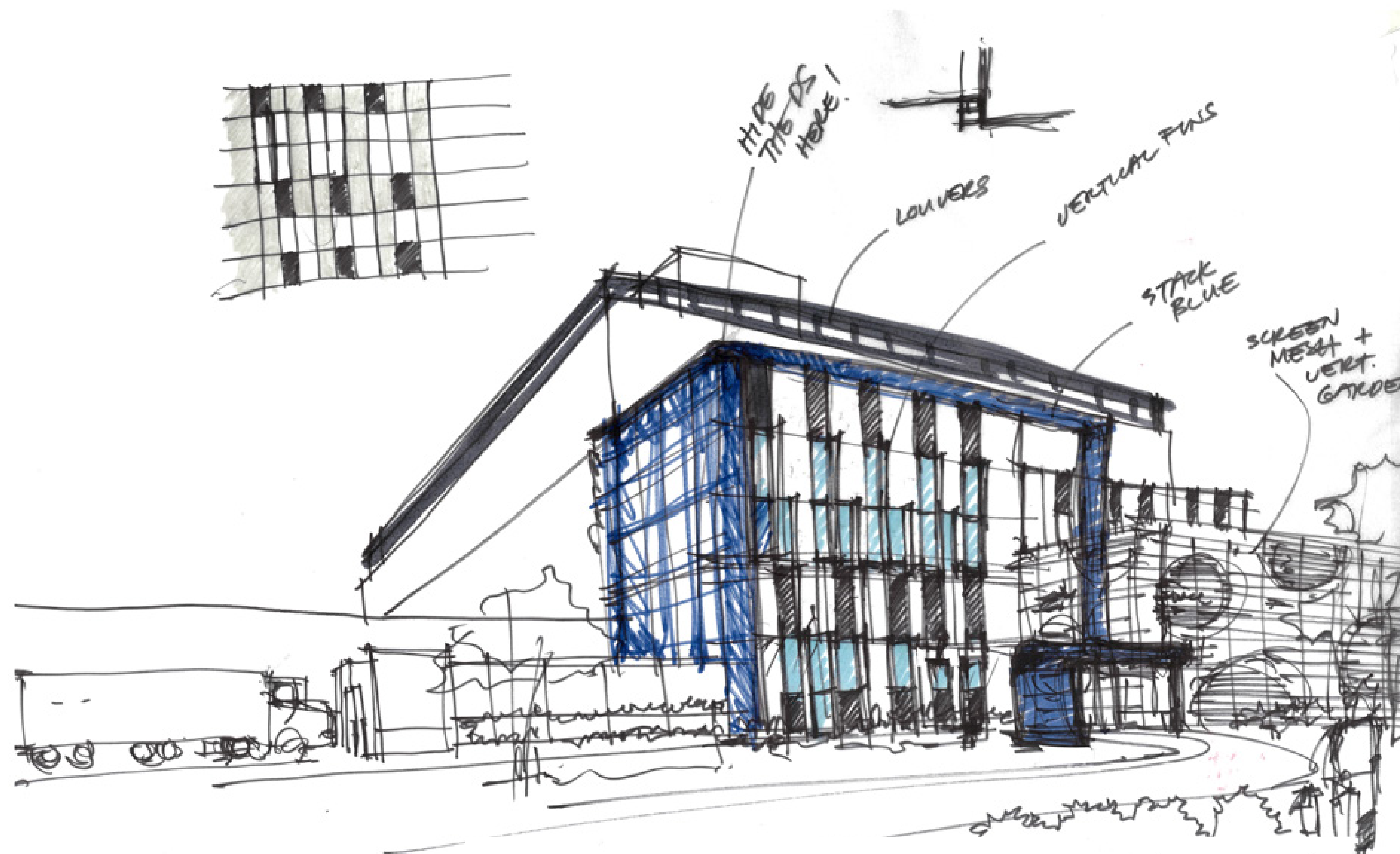


MATERIALS: METAL PANELS
GLAZING: TINTED
COLORS: GROWN, LIGHT GREY, WHITE



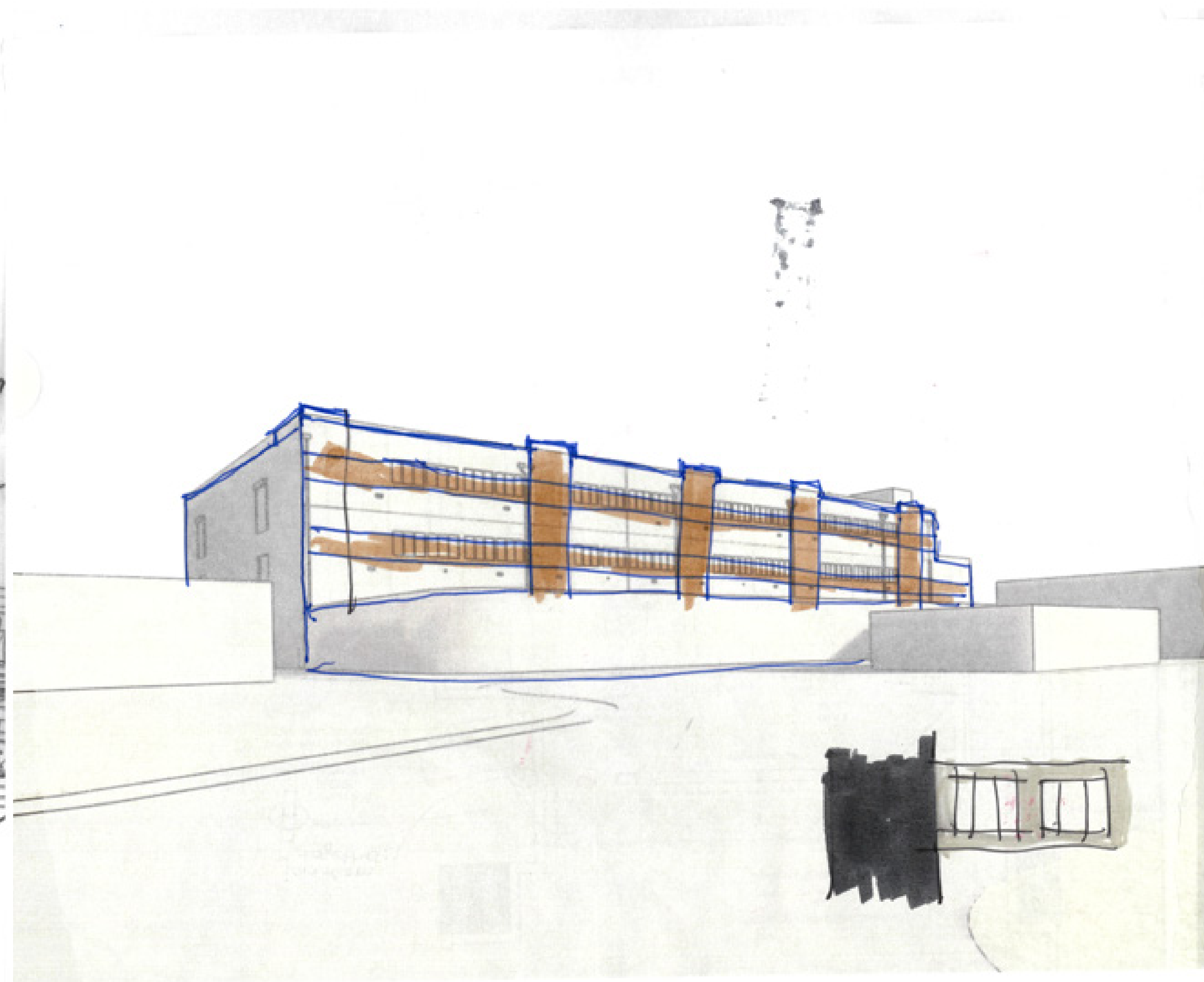
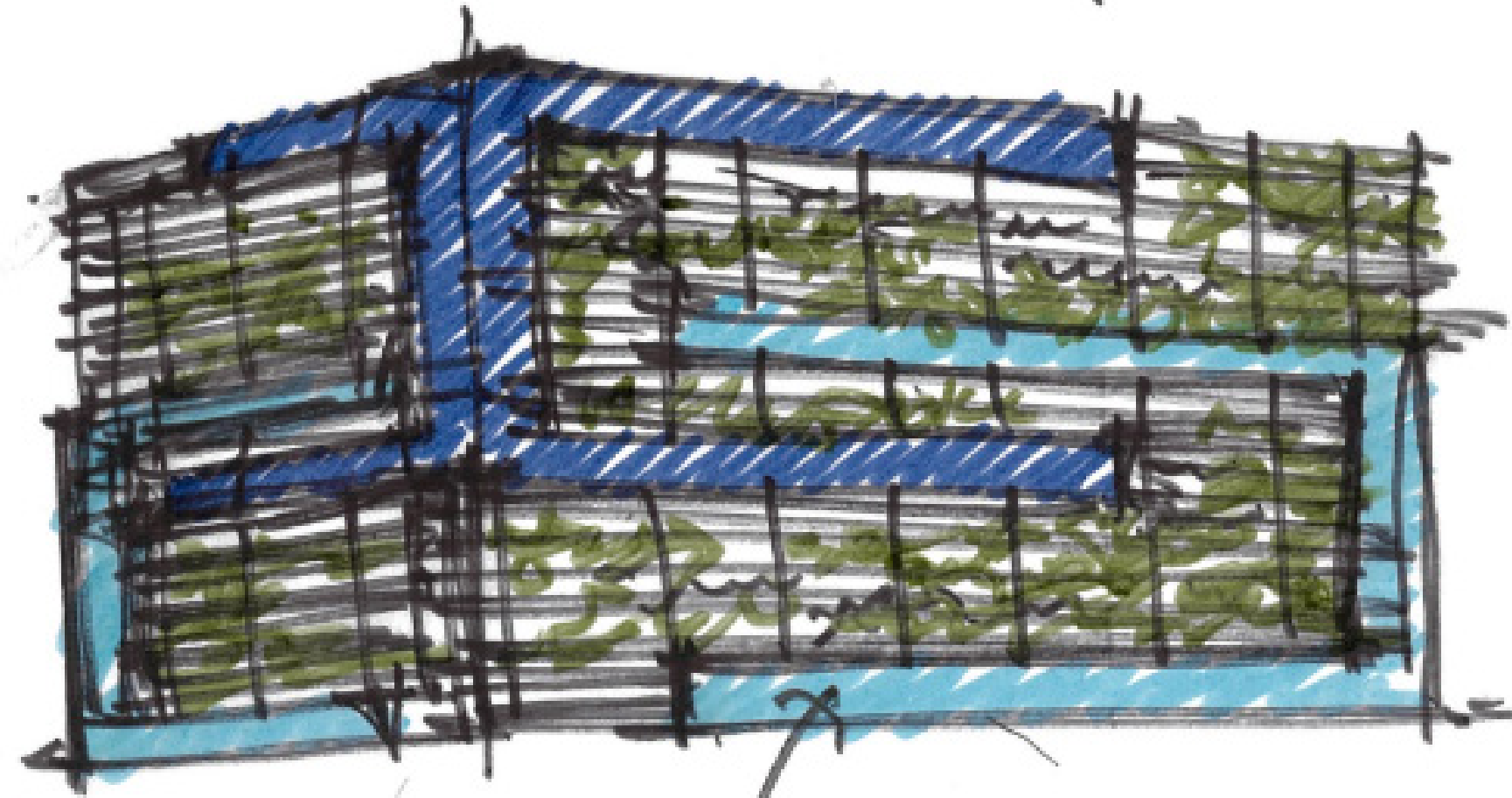
MATERIALS: METAL PANELS
GLAZING: SPANDREL, TINTED
COLORS: GOLD, SILVER

CONCEPT SKETCHES

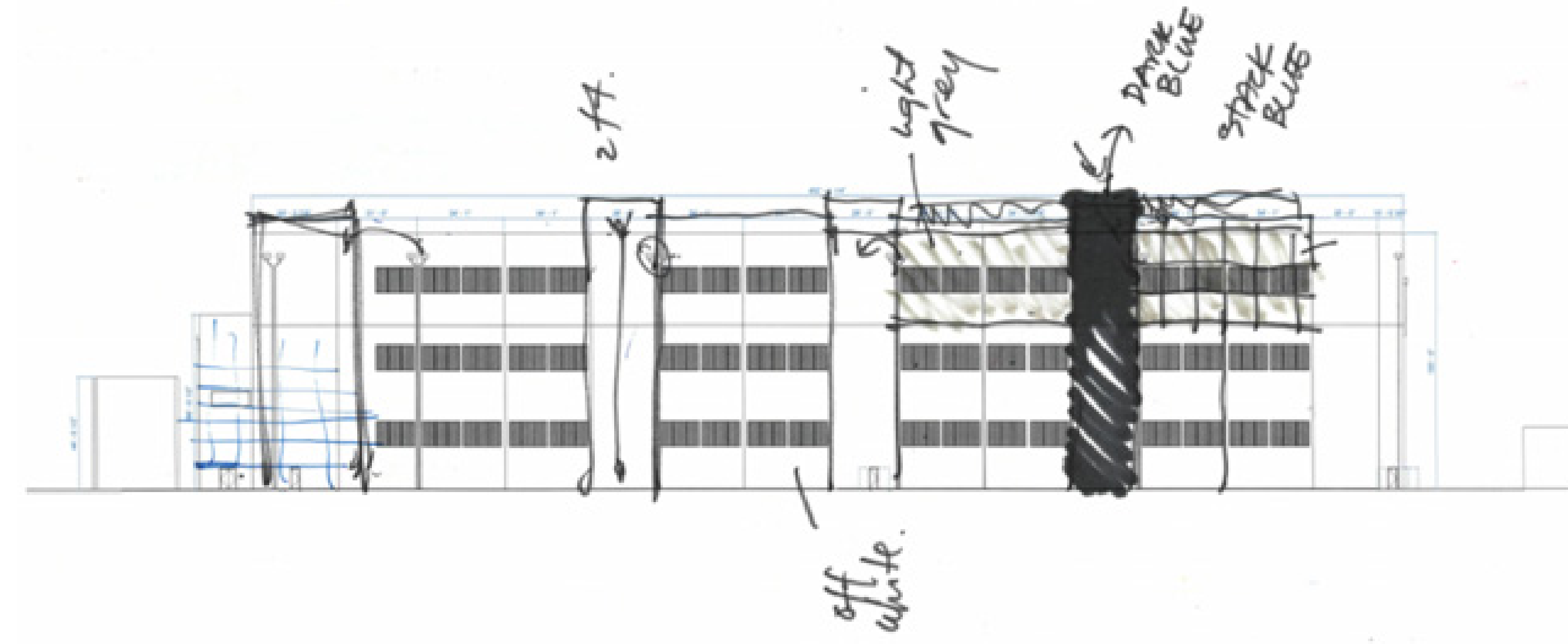


- ACCENTUATE AND FRAME OFFICE VOLUME
- REINTERPRET SCREEN WALL INTO FEATURE WALL
- IDENTIFY AND CREATE ENTRY PORTAL
- ARTICULATE WALL WITH PATTERN AND GLAZING

WATER TOWER
FENCE
PERF. METAL SCREEN
+ VERT. GARDEN



- ARTICULATE DATA HALL WALL WITH METAL PANELS
- ACCENTUATE HORIZONTAL LOUVERS
- CREATE AND ARTICULATE PATTERN TO CREATE COHESIVE DESIGN LANGUAGE



CONCEPT STUDY - ENTRANCE VIEW



COLOR CONSIDERATIONS



LIGHT BLUE LIGHT GREY LIGHT GREY

MATERIAL CONSIDERATIONS



PERFORATED
SCREEN



ARCHITECTURAL
LOUVERS



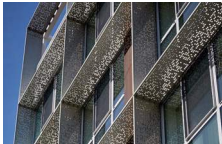
CONCRETE
PANEL



METAL PANEL

HAYWARD DESIGN GUIDELINES:

- 1 Incorporate architectural features such as awnings, canopies, trellises, and/or other treatments such as vertical architectural features or unique building colors or materials to clearly identify primary building entries.
- 2 Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.
- 3 Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, etc.



CONCEPT STUDY - DATA HALL VIEW



COLOR CONSIDERATIONS



LIGHT BLUE DARK GREY LIGHT GREY

MATERIAL CONSIDERATIONS



PERFORATED
SCREEN



ARCHITECTURAL
LOUVERS



CONCRETE
PANEL



METAL PANEL

HAYWARD DESIGN GUIDELINES:

4 Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height. In general, building wall planes visible from public street should not continue for more than 50 feet without a change in building wall plane direction of 2 feet for more



5 Articulation and detailing continue on side elevation through use of windows, awnings, and other detailing



6 Provide screening for mechanical and electrical equipment as an integral part of roof structure design.



COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE A

Parcel One-A:
Parcel 1 of Parcel Map No. 660, filed January 8, 1971, in Book 64, Page 100 of Maps, Alameda County Records.

Parcel One-B:
Being a portion of Production Avenue as dedicated, accepted, and shown on that certain map of Tract 2988, Eden Landing Industrial Park filed June 30, 1967, in Book 55 of Maps at Page 25, Alameda County Records, more particularly described as follows:

The beginning at that point lying on the Westernly line of said Production Avenue, said point being the Northwesternly terminus of that certain curve shown as North 31°37'51" West 744.11 feet on said map;

Thence along said Westernly line of Production Avenue the following four (4) courses, last said line being coincident with the general Northernly line of Parcel 1, as shown on Parcel Map 660, filed January 8, 1971, in Book 64 of Parcel Maps at Page 100, Alameda County Records;

1. South 67°43'45" West 40.00 feet;

2. North 62°21'43" West 63.60 feet;

3. North 30°56'51" West 16.37 feet to the Westernly boundary of said Tract 2988;

4. North 01°43'39" East 29.23 feet along said line to the Southerly line of Eden Landing Road as described in the Requisition of Highway Right of Way in the County of Alameda, Road 04-ALA-92-3-4-4.5 Request No. 31413 recorded January 25, 1968 on Reel 2114 at Image 872, Official Records of said County;

Thence North 01°43'39" East 8.94 feet along said line to the beginning of a curve concave Southerly and having a radius of 49.50 feet;

Thence Easterly and Southeasterly 75.03 feet along said curve through a central angle of 86°50'51" to the prolongation of said Westernly line of Production Avenue;

7. Thence South 31°37'51" East 52.05 feet along said line to the Point of Beginning;

As vacated by the City of Hayward, Resolution No. 19-041 recorded March 12, 2019 instrument No. 2019044285, of Alameda County Records.

APN: 461-0085-052-01

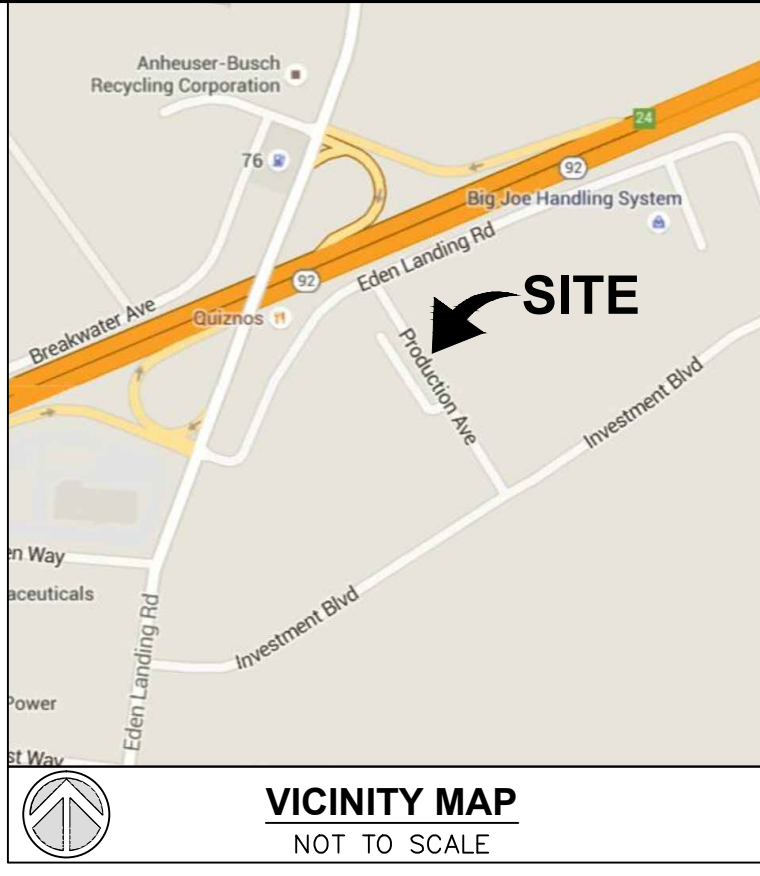
COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE B, SECTION II.

494,291 Square Feet
11.347 Acres

A	Subject's Building appears to lie a maximum distance of 0.5 feet over the 10' P.G.E. & E. P.T. & T. Easements recorded in Reel 3168, Page 294, and in Instrument #83-10663 of Alameda County Records.
B	Subject's Building appears to lie a maximum distance of 7.1 feet over the 27.5' P.G. & E. Easement recorded in Book 6811, Page 325 of Alameda County Records.
C	Subject's Building appears to lie a maximum distance of 801 feet over the 5' P.U.E. Easement, recorded in Book 64, Page 100 of Alameda County Records.
D	Subject's Building appears to lie a maximum distance of 81.7 feet over the 5' P.U.E. Easement, recorded in Book 64, Page 100 of Alameda County Records.

By: _____
S. Craig Davis, PLS
Licensed Land Surveyor No. 6262
within the State of California
For and on behalf of Millman Surveying, Inc.

REVISION HISTORY		
BY:	DATE:	COMMENT:
PWC	03/09/2021	Clerical Comments
PWC	04/05/2021	Client Comments
PWC	04/09/2021	Client Comments



SYMBOL LEGEND

- | | |
|----------|--------------------------------|
| | Centerline |
| | Surveyor's Observation |
| | Schedule B-Section II Item |
| Rad | Radius |
| Arc | Arc Length |
| Δ | Delta Angle |
| ChL | Chord Length |
| ChB | Chord Bearing |
| Calc. | Calculated |
| Msd. | Measured |
| Rec. | Record |
| | Monument in Monument Box |
| | Found As Noted |
| | No. of Regular Parking Spaces |
| | No. of Handicap Parking Spaces |
| | Cable TV Vault |
| | Curb Inlet Basin w/ Grate |
| | Catch Basin |
| | Cleanout |
| | Sanitary Manhole |
| | Fire Hydrant |
| | Water Meter |
| | Water Manhole |
| | Water Vault |
| | Gas Meter |
| | Electric Transformer |
| | Electric Vault |
| | Telephone Pedestal |
| | Telephone Vault |
| | Irrigation Valve |
| | Utility Vault |
| | Ballard Post |
| | Handicap Space |
| | Sign |
| | Light Pole |
| | Chainlink Fence |
| | Wall (As Noted) |
| | Overhead Utilities |
| | No Parking Area |
| | Building Area |

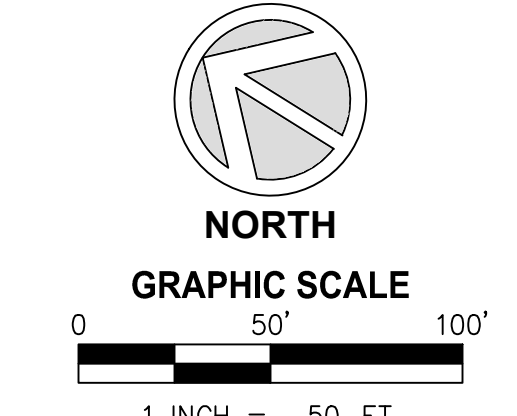


Transforming the Industry
Surveying
Zoning
Environmental
Real Support - Title Review
Millman Surveying, Inc.
Corporate Headquarters
4111 Bradley Circle NW
Canton, OH 44718
Phone: 800-520-1010
Fax: 330-342-0834
www.millmanland.com
landsurveyors@millmanland.com

ALTA/NSPS LAND TITLE
SURVEY PREPARED FOR:

CIP Real Estate

19762 MacArthur Boulevard
Suite 300
Irvine, California 92612



PRELIMINARY

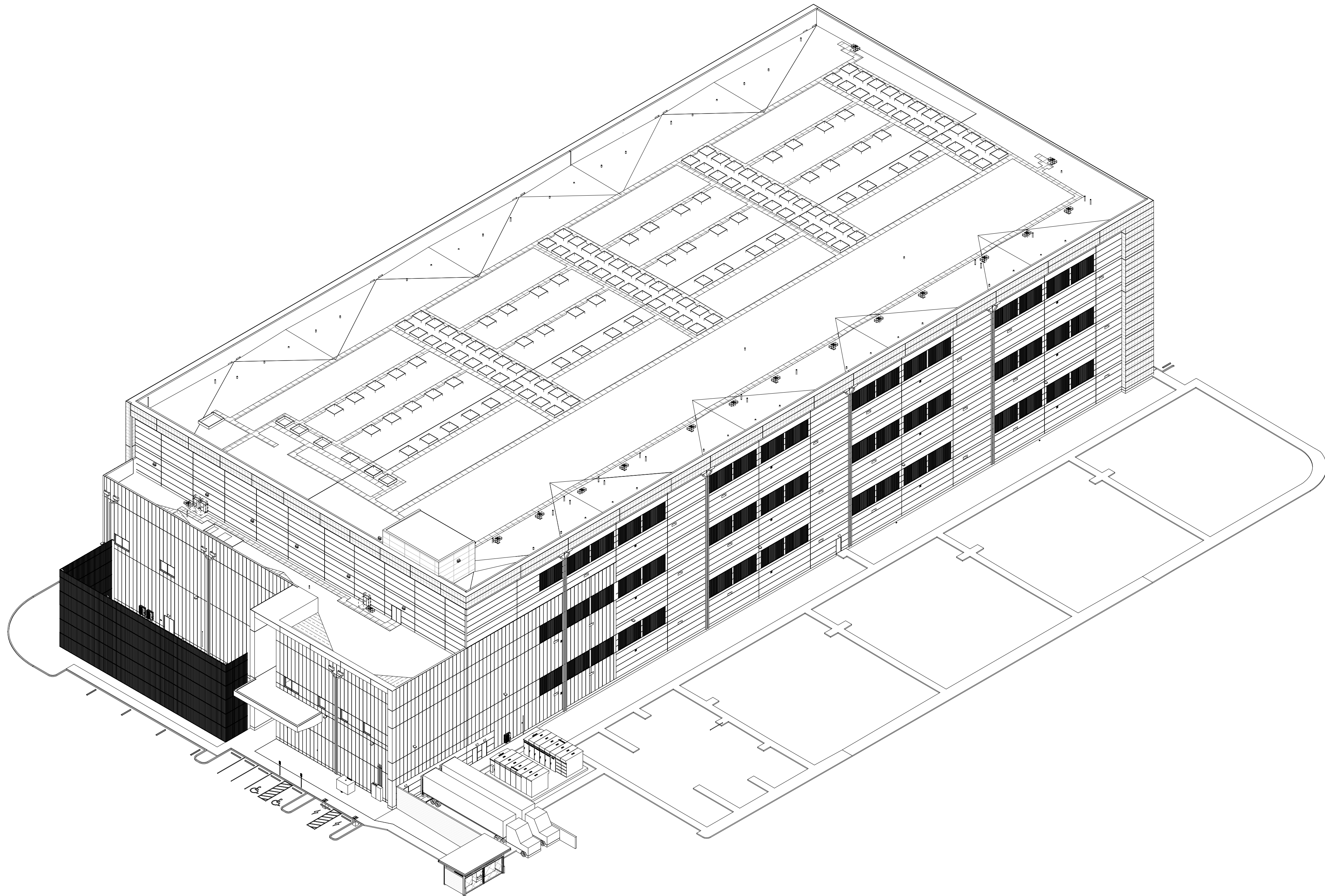
FOR REVIEW ONLY

Surveyor's Seal

Sheet No. **1** of **1**

MSI Project No. 49336
Prior MSI Project No. 41841

PC: ERF
PM: PWC Drafter: KHD



BUILDING A

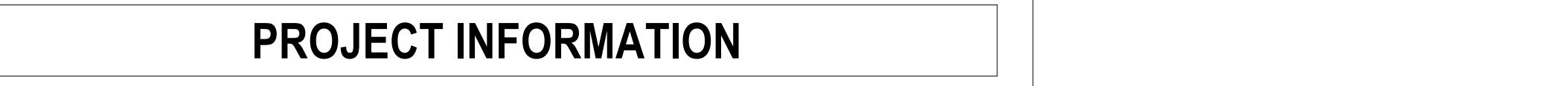
BUILDING DATA

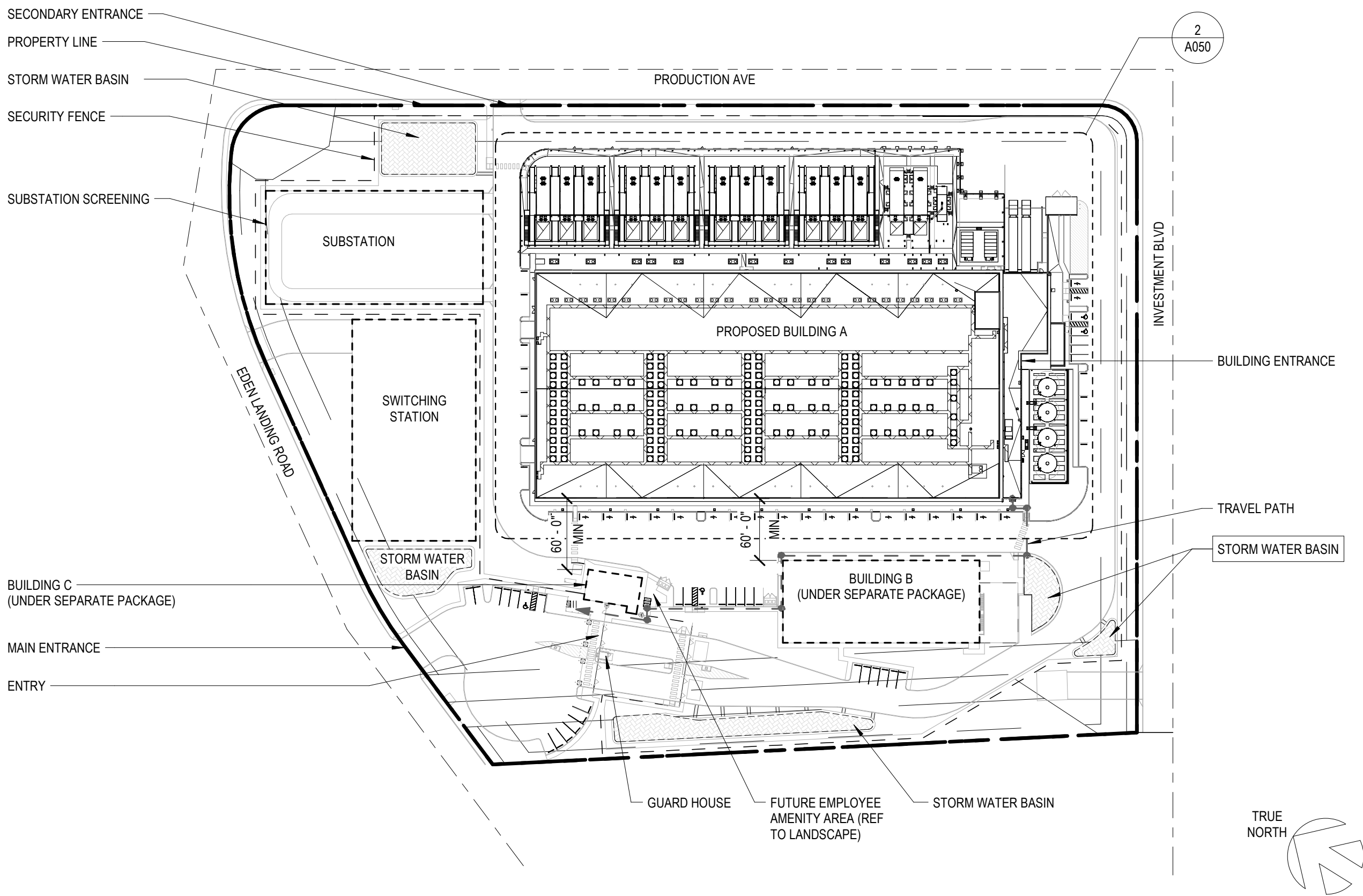
STRUCTURAL TYPE	FLEX WAREHOUSE AND COMMERCIAL OFFICE
	COMPUTER DATA CENTER AND RELATED OFFICE AREA
SCOPE OF WORK	NEW COLD DARK AND WET SHELL, TO HAVE SUBSEQUENT PHASED INTERIOR BUILD OUT
NOTES OF OCCUPANCY	STORAGE ROOMS ARE TO CONTAIN COMPUTER AND MECHANICAL EQUIPMENT SPARE PARTS AND COMPONENTS, STORAGE ROOMS ARE NOT INTENDED TO STORE ANY HAZARDOUS MATERIALS SUCH AS FLAMMABLE COMBUSTIBLE LIQUIDS OR CORROSIVE / TOXIC MATERIALS
	THE PRIMARY PURPOSE OF THIS PROJECT IS TO HOUSE COMPUTER EQUIPMENT AND ITS SUPPORTING INFRASTRUCTURE. THE DATA HALL WILL BE OCCUPIED ONLY DURING PERIODIC MAINTENANCE AND SERVICE WORK

PROJECT ADDRESS			
26062 EDEN LANDING ROAD HAYWARD, CA 94545			
PROJECT DELIVERY PACKAGE			
SEAL/SIGNATURE			
THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL.			
ISSUE DATE:	PROJECT NO: 25691.000		
DESIGNED: HK5	ARCHITECT: HK5		
MARK	DATE	DESCRIPTION	
CONFIDENTIAL INFORMATION THIS DRAWING/DRAWING AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING/DRAWING. COPYING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED IN WRITING.			
MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606		
CIVIL ENGINEER KIMLEY-HORN ANTHONY VERA (920) 398-4840 4537 Chabot Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HK5 CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201		
ARCHITECT HK5 DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606		
TELECOM ENGINEER ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104		
PROJECT: BUILDING A SHELL			
TITLE: PROJECT COVER SHEET			
DRAWING: G000.CS			
E1	SCALE:	AGILE No:	REV:

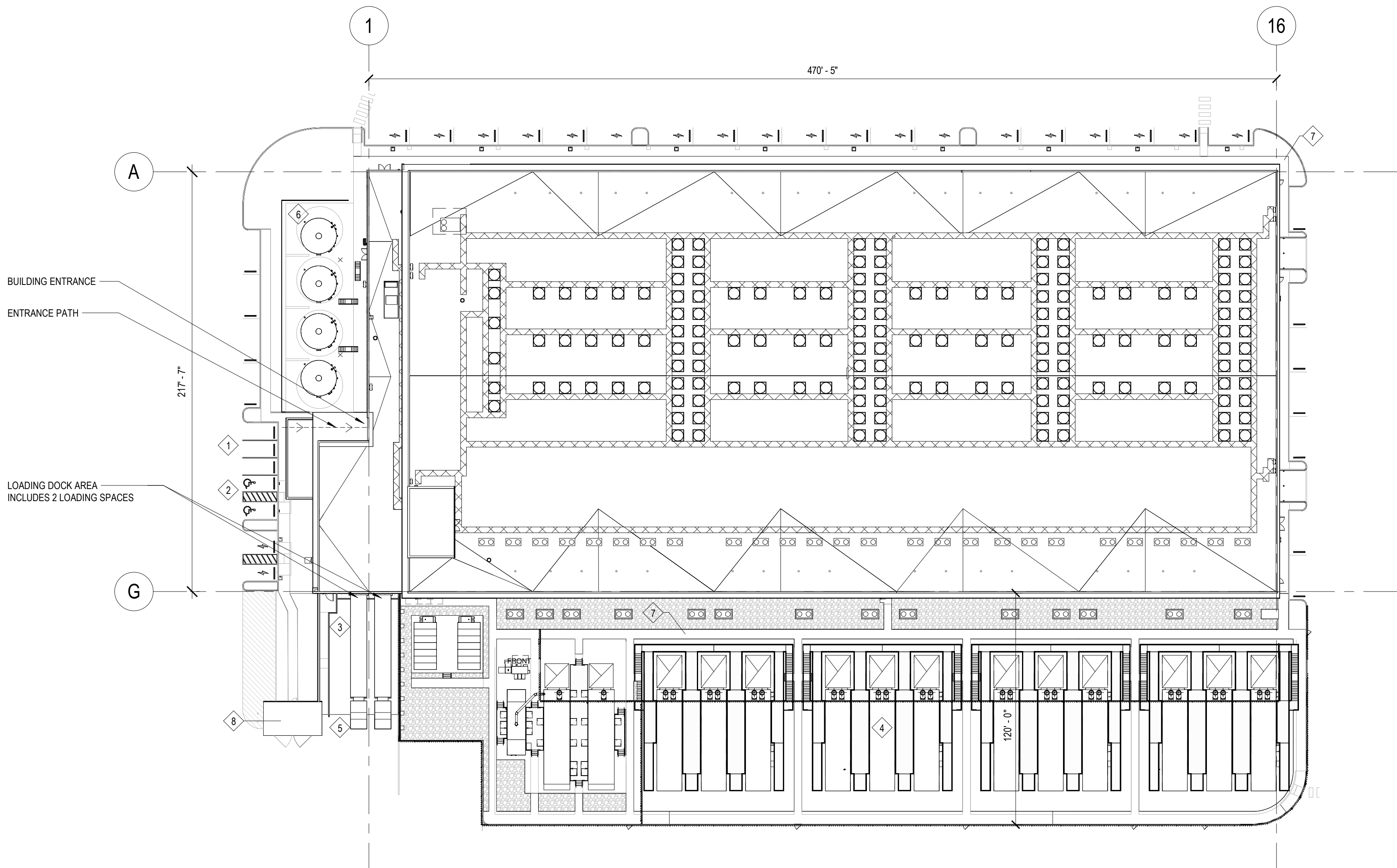
ARCHITECTURAL LEGEND

VICINITY MAP





1 ARCHITECTURAL CAMPUS PLAN
1" = 100'-0"



NOTES:
1. EQUIPMENT YARD STRUCTURAL FRAMING NOT SHOWN FOR CLARITY.
SEE STRUCTURAL DRAWINGS.

2 ARCHITECTURAL SITE PLAN
1" = 40'-0"

GENERAL NOTES - SITE PLAN

- 1 THESE ARE ARCHITECTURAL DRAWINGS ONLY AND ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FROM VARIOUS DISCIPLINES AS LISTED ON THE DRAWING INDEX.
- 2 ALL DEMOLITION OF EXISTING BUILDING SITE ELEMENTS ARE TO BE WITH IN A SEPARATE CONTRACT AND DRAWINGS (NOT INCLUDED HERE) PRIOR TO THE EXECUTION OF THE INDICATED NEW CONSTRUCTION AND SITEWORK.
- 3 OTHER BUILDINGS INDICATED ON SITE ARE FOR LOCATION REFERENCE PURPOSES ONLY. N.I.C.O. BUILDING GENERATOR PADS AND UPPER GENERATOR ACCESS STAIRS AND PLATFORM ARE NOT IN THIS CONTRACT.
- 4 BUILDING GENERATOR PADS AND UPPER GENERATOR ACCESS STAIRS AND PLATFORM ARE NOT IN THIS CONTRACT.
- 5 REFER TO CIVIL DRAWINGS FOR GRADING, MATERIALS SIGNAGE, CURBS, WHEELSTOPS AND STRIPING AT PARKING AREAS, PARKING LAYOUT AND STALLS TO BE FOUND IN CIVIL DRAWINGS. ADA AND STANDARD STALLS TO BE INSTALLED TO MEET ALL ADOPTED CODES.
- 6 SIDEWALK CONSTRUCTION AND DETAILS TO BE FOUND IN CIVIL DRAWINGS.
- 7 ALL LANDSCAPE AND PLANTING INFORMATION TO BE FOUND ON LANDSCAPE.
- 8 LOADING DOCK AREA ELEVATION OF PAVED LOADING DOCK IS 4'-0" BELOW SLAB HEIGHT AT FOUNDATION FACE TO ALLOW FOR EASE OF ACCESS.
- 9 ENSURE SMOOTH TRANSITION WHERE NEW ROADWAY PAVING OR SIDEWALK CONNECTS TO EXISTING WITH 1/4" MAXIMUM CHANGE IN LEVEL.
- 10 CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL LIGHTING, PLUMBING, MECHANICAL AND FIRE PROTECTION ELEMENTS.

OVERALL SITE PLAN NOTES

1. NEW PARKING STALLS
2. ADA PARKING
3. LOADING DOCK
4. GENERATOR YARD
5. CONCRETE DRIVE AND RAMP AT LOADING DOCK
6. WATER TANKS. REFER MECHANICAL DRAWINGS
7. 5'-0" SIDEWALK, TYP. UNO
8. 12'-6" YARD & 11'-0" YARD DUMPSTER WITH CHAINLINK FENCE TRASH ENCLOSURE. REFER CORE & SHELL PACKAGE.

SITE PLAN LEGEND

---	PROPERTY LINE
---	FENCE
CRUSHED ROCKS AREAS	CRUSHED ROCKS AREAS
STORM WATER BASIN	STORM WATER BASIN

KEYPLAN

OVERALL

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL.

ISSUE DATE: PROJECT NO: 25993.000

DESIGNED: HKHS ARCHITECT: HKHS

MARK DATE DESCRIPTION

CONFIDENTIAL INFORMATION
THIS DRAWING/DOCUMENT AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING/DOCUMENT. COPYING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED IN WRITING.

MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 351-8612 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
---	---

CIVIL ENGINEER KIMLEY-HORN ANTHONY VERA (920) 398-4940 4637 Chadok Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HKHS CLINT NASH (214) 969-5099 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas, Texas 75201
--	--

ARCHITECT HKHS DUTCH WICKES (214) 969-5599 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
--	---

TELECOM ENGINEER ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104
---	---

PARKING - BUILDING A

PARKING SCHEDULE : REFER CS PACKAGE

PROJECT: BUILDING A TI

TITLE: ARCHITECTURAL SITE PLAN

DRAWING:

A050

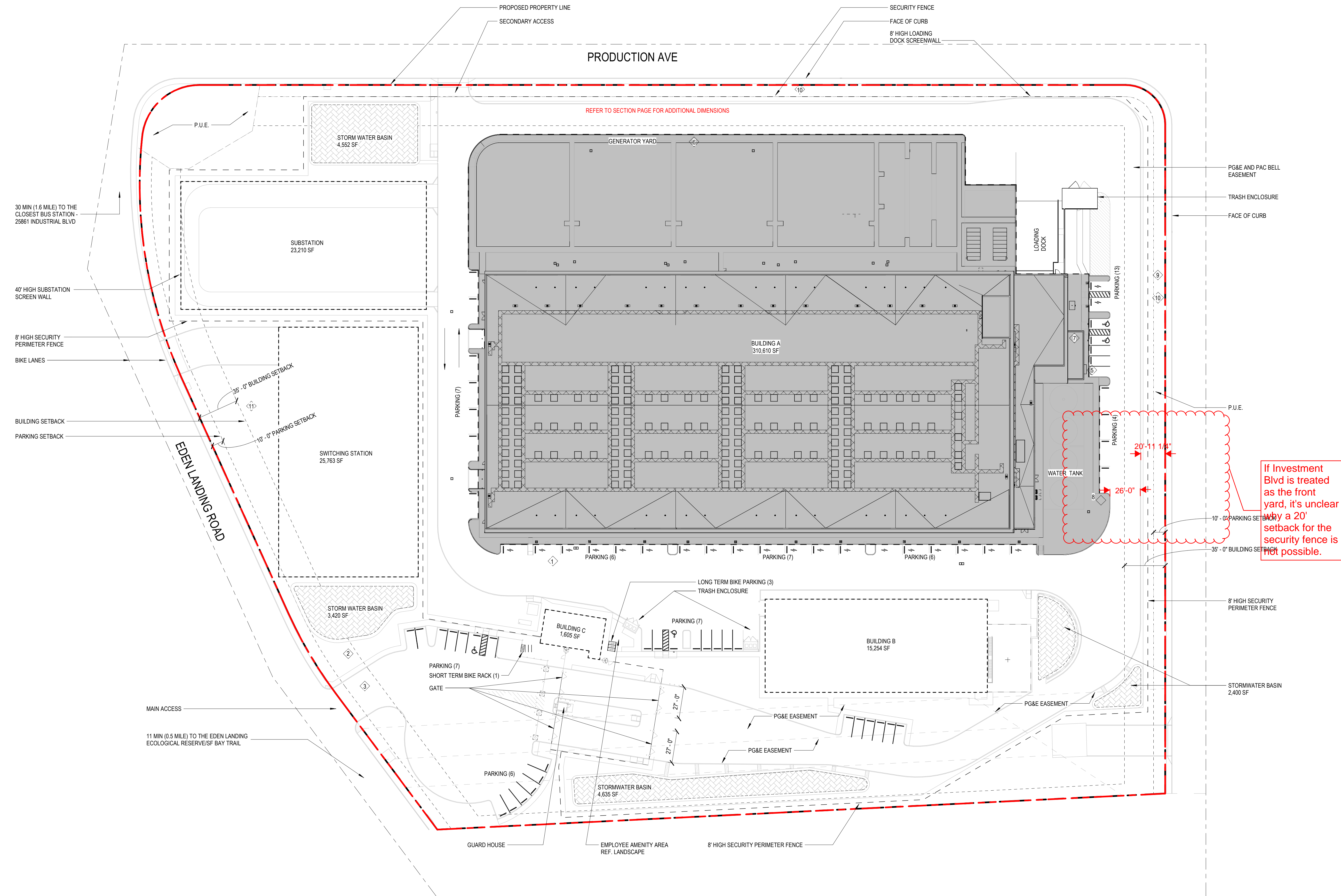
E1

SCALE: As indicated

AGILE No:

REV:

1 ARCHITECTURAL CAMPUS OVERALL PLAN
A054 1" = 40'-0"



HAYWARD INDUSTRIAL
DISTRICT DESIGN GUIDLINE:

1	LOCATE VISITOR PARKING TO BE CLEARLY IDENTIFIABLE AND PROVIDE EASE OF ACCESS TO THE PRIMARY ENTRY OF A BUILDING.
2	CONNECT SITE TO SURROUNDING AMENITIES SUCH AS SIDEWALKS, TRAILS, OR OTHER OPPORTUNITIES TO ENHANCE AREA CONNECTIVITY.
3	HIGHLIGHT SITE ENTRANCES THROUGH DRIVEWAY ENTRY TREATMENTS SUCH AS UNIQUE PAVING TREATMENTS, ACCENT LANDSCAPING, AND SIGNAGE THAT INFORM VISITORS OF ITS LOCATION AND ENHANCES THE OVERALL PROJECT DESIGN.
4	LOCATE EMPLOYEE OUTDOOR AREAS ADJACENT TO INDOOR BREAK AREAS
5	PLACE BICYCLE RACKS AND/OR BICYCLE LOCKERS ADJACENT TO BUILDING ENTRIES WHERE THEY ARE CLEARLY VISIBLE IN ORDER TO ENHANCE SAFETY AND SECURITY.
6	PLACE MECHANICAL/UTILITY EQUIPMENT INSIDE OF A BUILDING OR SCREEN WITH LANDSCAPING OR OTHER MATERIALS CONSISTENT WITH BUILDING DESIGN. IN INSTANCES WHERE MECHANICAL/UTILITY EQUIPMENT CANNOT BE LOCATED WITHIN BUILDINGS OR ADEQUATELY SCREENED, TRAIT IT WITH ART.
7	IN GENERAL, BUILDING WALL PLANES VISIBLE FROM PUBLIC STREET SHOULD NOT CONTINUE FOR MORE THAN 50 FEET WITHOUT A CHANGE IN BUILDING WALL PLANE DIRECTION OF 2 FEET FOR MORE
8	PORTIONS OF BUILDING FACING A PUBLIC STREET SHALL HAVE ONE OR MORE LANDSCAPED AREAS WITH A MINIMUM FIVE FOOT-WIDE LANDSCAPED AREA ALONG A MINIMUM 50 PERCENT OF THE BUILDING FACE
9	A MINIMUM OF 10' WIDE LANDSCAPED AREA IN FRONT OF WALLS ABUTTING A PUBLIC STREET
10	PROVIDE A 10' WIDE LANDSCAPED AREA IN FRONT OF WALLS ABUTTING A PUBLIC STREET
11	WHERE APPROPRIATE, UTILIZE RETENTION PONDS TO LESSEN RUNOFF

PROJECT SITE INFORMATION

SITE ADDRESS	26062 EDEN LANDING ROAD HAYWARD, CA 94545
APNs	481-0085-016-00 481-0085-052-01 481-0085-018-03
SITE AREA	11.485 AC / 500,287 SF
GENERAL PLAN DESIGNATION	IC (INDUSTRIAL TECHNOLOGY AND INNOVATION CORRIDOR)
ZONING DISTRICT	IP (INDUSTRIAL PARK)
PARKING SPACES	SPACES: 59 ADA: 5
BIKE PARKING	SHORT TERM: 1 RACK LONG TERM LOCKER: 3 LOCKERS
OPEN SPACE	68,945 SF
LOT COVERAGE	500,287 SF
FAR	0.76
LANDSCAPING AREA	165,557 SF

PROPOSED BUILDING INFORMATION

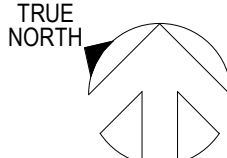
BUILDING A	GROSS FLOOR AREA: HEIGHT:	365,610 SF 100' (T.O. PARAPET)
BUILDING B	GROSS FLOOR AREA: HEIGHT:	15,254 SF 26'
BUILDING C	GROSS FLOOR AREA: HEIGHT:	1,659 SF 18'
GUARD HOUSE	GROSS FLOOR AREA: HEIGHT:	59 SF 8'-11 7/16"

TRASH CONTAINER CAPACITY CALCULATION:

	# of employees x ____ lbs. of trash generated per employee/week = 150 = ____ CY/week
BUILDING A	ENCLOSURE: 25' x 12' x 12'-6" (WxDxH) INTERNAL CLEAR TRASH: 6 CU BIN RECYCLABLES: 6 CU BIN ORGANICS: 3 CU BIN
BUILDING B	ENCLOSURE: 11'-6" x 6' x 10'-8" (WxDxH) INTERNAL CLEAR TRASH: 96 GAL CART RECYCLABLES: 96 GAL CART ORGANICS: 96 GAL CART
BUILDING C	ENCLOSURE: TRASH: 96 GAL CART RECYCLABLES: 96 GAL CART ORGANICS: 96 GAL CART

KEYPLAN

OVERALL



PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL.

ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKS ARCHITECT: HKS

MARK DATE DESCRIPTION

CONFIDENTIAL INFORMATION
THIS DRAWING/DOCUMENT AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING/DOCUMENT. COPYING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED IN WRITING.

MECHANICAL ENGINEER

ESD GLOBAL

MIKE YOUNG

(312) 372-1200

233 South Wacker Drive

Suite 5300

Chicago, Illinois 60606

ELECTRICAL ENGINEER

ESD GLOBAL

REY BERNARDINO

(312) 551-8612

233 South Wacker Drive

Suite 5300

Chicago, Illinois 60606

CIVIL ENGINEER

KIMLEY-HORN

ANTHONY VERA

(920) 398-4840

4537 Chabot Drive

Suite 300

Pleasanton, California 94588

STRUCTURAL ENGINEER

HKS

CLINT NASH

(214) 969-5599

One Dallas Center

350 N. Saint Paul Street, Suite 100

Dallas, Texas 75201

ARCHITECT

HKS

DUTCH WICKES

(214) 969-5599

One Dallas Center

350 N. Saint Paul Street, Suite 100

Dallas, Texas 75201

FIRE PROTECTION ENGINEER

ESD GLOBAL

MICHAEL PARAS

(312) 372-1200

233 South Wacker Drive

Suite 5300 Chicago,

Illinois 60606

TELECOM ENGINEER

ESD GLOBAL

TODD GRIMES

(312) 372-1200

233 South Wacker Drive

Suite 5300

Chicago, Illinois 60606

SECURITY ENGINEER

GUIDEPOST

JON JOLIBOIS

(415) 616-8822

315 Montgomery Street

10th Floor

San Francisco, California 94104

PROJECT:

BUILDING A SHELL

TITLE:

ARCHITECTURAL OVERALL CAMPUS PLAN

DRAWING:

A054

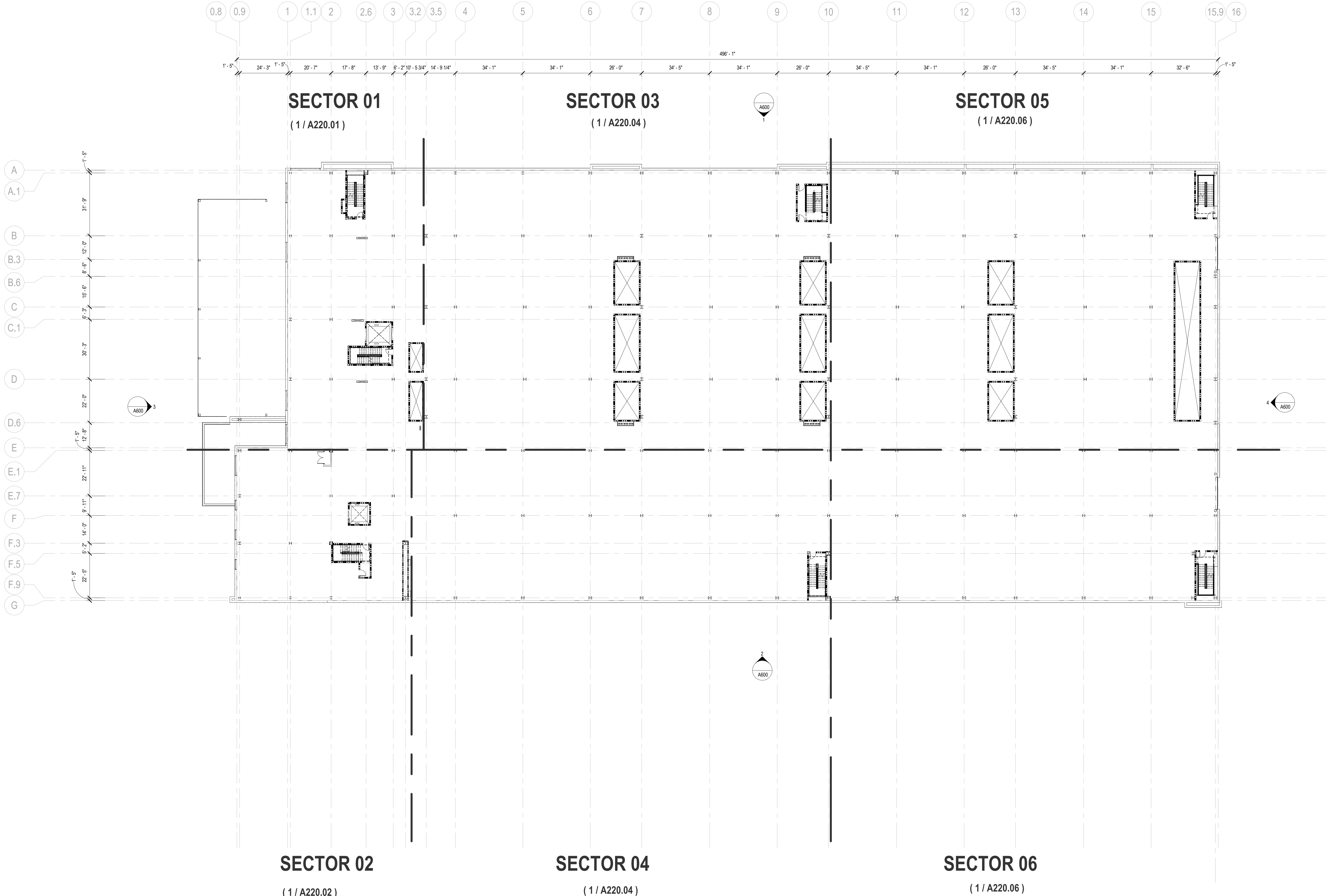
E1

SCALE:

As indicated

AGILE No:

REV:



1
A220.00
1" = 20'-0"

ARCHITECTURAL LEVEL 02 OVERALL CORE & SHELL FLOOR PLAN

GENERAL NOTES - FLOOR PLAN

- ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR PFE.
- DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN WHERE PROVIDED. UNO.
- REFER TO CIVIL ENGINEERING PLANS FOR FULL EXTENT OF SITE WORK BEYOND SCOPE SHOWN IN ARCHITECTURAL, STRUCTURAL, AND MEP ENGINEERING DRAWINGS.
- EXTERIOR WALLS ARE TO BE TYPE E01, UNO.
- REFER TO A700 SERIES FOR INTERIOR & EXTERIOR WALL ASSEMBLIES AND STANDARD INFORMATION.
- INTERIOR PARTITIONS ARE TO BE TYPE ABE, UNO.
- ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNO.
- CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
- REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD (W/IF) PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT / ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

GENERAL NOTES - FLOOR PLAN

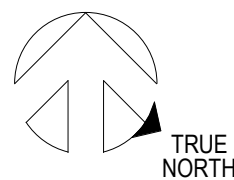
- COORDINATE AND PROVIDE ADEQUATE BLOCKING FOR ALL ITEMS ATTACHED OR MOUNTED TO PARTITIONS.
- EQUIPMENT ITEMS SHOWN FOR REFERENCE ONLY. COORDINATE FINAL LOCATIONS AND CONFIGURATIONS WITH MEP REQUIREMENTS AND DRAWINGS. REFER TO ENGINEERING DRAWINGS FOR FULL EXTENT OF WORK.
- PROVIDE STAINLESS STEEL CORNER GUARDS AT EACH OUTSIDE CORNER IN ALL CORRIDOR LOCATIONS.
- USE MOISTURE AND MOISTURE RESISTANT SUBSTRATE AND TILE BACKING PANELS AT ALL WET AND TILE LOCATIONS, RESPECTIVELY. LOCATIONS INCLUDE JANITOR CLOSETS, SHOWER ROOM WALLS AND CEILINGS, BEHIND ALL SINKS, TOILETS, URINALS, AND DRINKING FOUNTAIN LOCATIONS.

GENERAL NOTES - FLOOR PLAN

- DAHU GALLERY WATER DAM AT DOOR OPENINGS: 12" HIGH ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1 1/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT INTO ADJACENT ROOMS.
- ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK. SEE DETAILS ON A706.
- GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE BUILDING ENVELOPE.
- REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS
- ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.

KEYPLAN

OVERALL



PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL.

ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKIS ARCHITECT: HKIS

MARK DATE DESCRIPTION

CONFIDENTIAL INFORMATION
THIS DRAWING IS CONFIDENTIAL AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING/DOCUMENT. COPYING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED IN WRITING.

MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

KIMLEY-HORN
ANTHONY VERA
(920) 398-4940
4637 Chadok Drive
Suite 300
Pleasanton, California 94588

ARCHITECT

HKIS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

TELECOM ENGINEER

ESD GLOBAL
TODD GRAMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ARCHITECT

ESD GLOBAL
MICHAEL PARAS
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

SECURITY ENGINEER

GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT:

BUILDING A SHELL

TITLE:

ARCHITECTURAL LEVEL 02 CORE & SHELL

OVERALL FLOOR PLAN

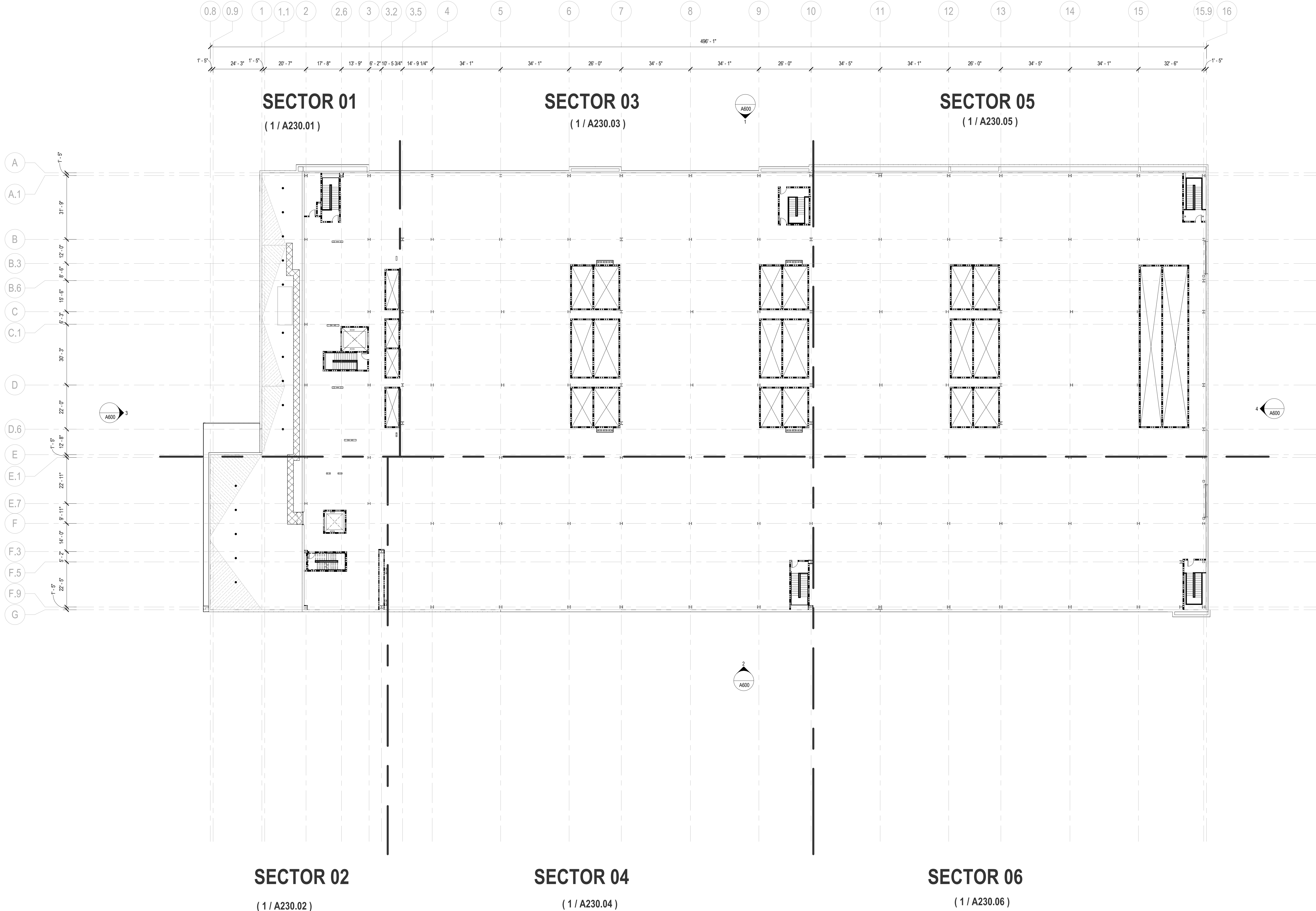
DRAWING:

A220.00

SCALE: 1" = 20'-0"

AGILE No:

REV:



1
A230.00
1" = 20'-0"

ARCHITECTURAL LEVEL 03 OVERALL CORE & SHELL FLOOR PLAN

GENERAL NOTES - FLOOR PLAN

- ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR PFE.
- DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN WHERE PROVIDED. UNO.
- REFER TO CIVIL ENGINEERING PLANS FOR FULL EXTENT OF SITE WORK BEYOND SCOPE SHOWN IN ARCHITECTURAL, STRUCTURAL, AND MEP ENGINEERING DRAWINGS.
- EXTERIOR WALLS ARE TO BE TYPE E01, UNO.
- REFER TO A700 SERIES FOR INTERIOR & EXTERIOR WALL ASSEMBLIES AND STANDARD INFORMATION.
- INTERIOR PARTITIONS ARE TO BE TYPE ABE, UNO.
- ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNO.
- CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
- REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD (W/IF) PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT / ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

GENERAL NOTES - FLOOR PLAN

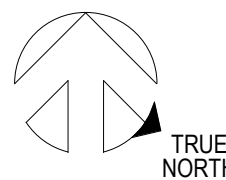
- COORDINATE AND PROVIDE ADEQUATE BLOCKING FOR ALL ITEMS ATTACHED OR MOUNTED TO PARTITIONS.
- EQUIPMENT ITEMS SHOWN FOR REFERENCE ONLY. COORDINATE FINAL LOCATIONS AND CONFIGURATIONS WITH MEP REQUIREMENTS AND DRAWINGS. REFER TO ENGINEERING DRAWINGS FOR FULL EXTENT OF WORK.
- PROVIDE STAINLESS STEEL CORNER GUARDS AT EACH OUTSIDE CORNER IN ALL CORRIDOR LOCATIONS.
- USE MOISTURE AND MOISTURE RESISTANT SUBSTRATE AND TILE BACKING PANELS AT ALL WET AND TILE LOCATIONS, RESPECTIVELY. LOCATIONS INCLUDE JANITOR CLOSETS, SHOWER ROOM WALLS AND CEILINGS, BEHIND ALL SINKS, TOILETS, URINALS, AND DRINKING FOUNTAIN LOCATIONS.

GENERAL NOTES - FLOOR PLAN

- DAHU GALLERY WATER DAM AT DOOR OPENINGS: 12" HIGH ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1' 1/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT INTO ADJACENT ROOMS.
- ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK. SEE DETAILS ON A706.
- GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE BUILDING ENVELOPE.
- REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS.
- ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.

KEYPLAN

OVERALL



PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL.

ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKIS ARCHITECT: HKIS

MARK DATE DESCRIPTION

CONFIDENTIAL INFORMATION
THIS DRAWING/DOCUMENT AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING/DOCUMENT. COPYING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED IN WRITING.

MECHANICAL ENGINEER
ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

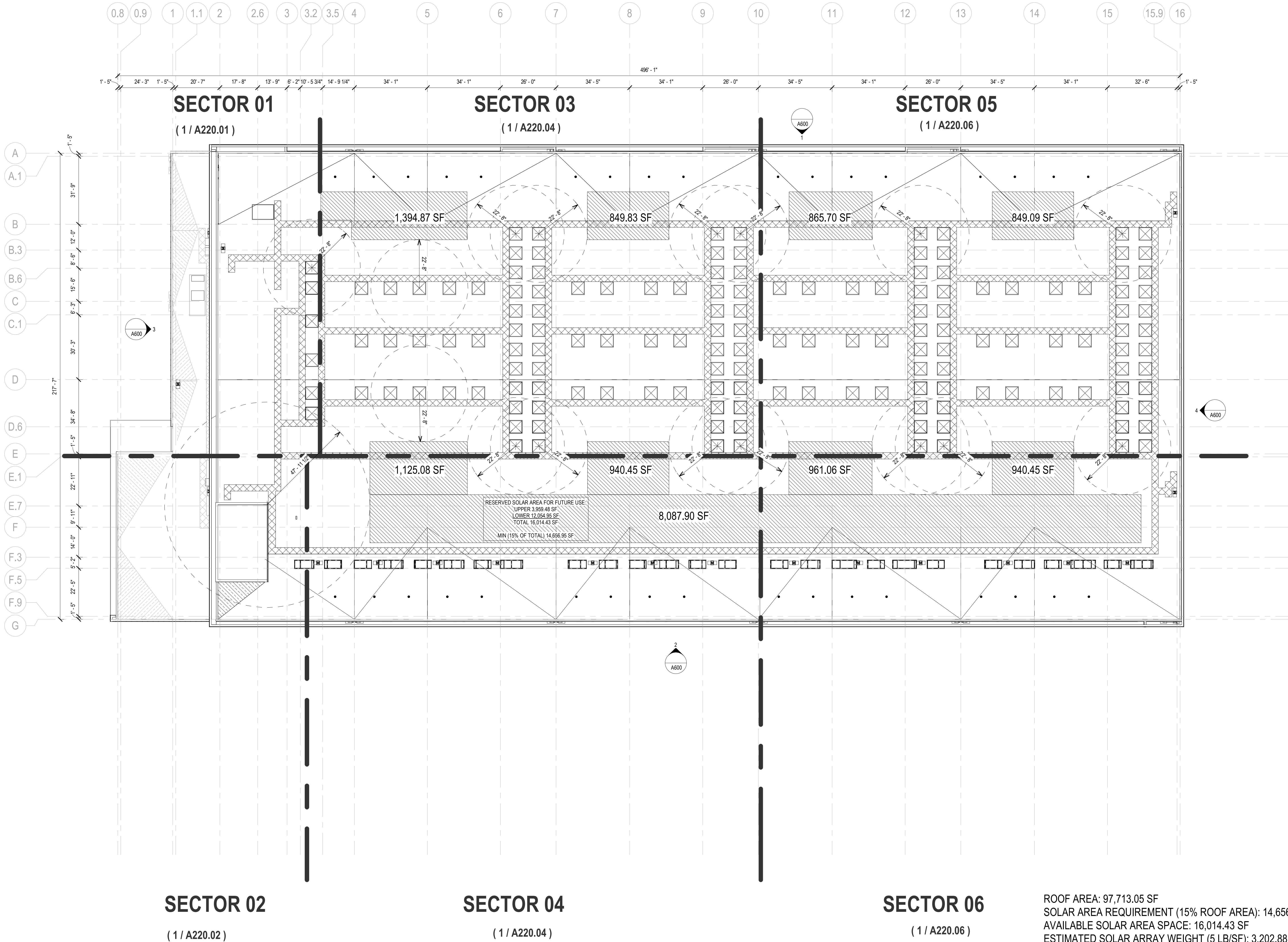
CIVIL ENGINEER
KIMLEY-HORN
ANTHONY VERA
(920) 398-4940
4637 Chadok Drive
Suite 300
Pleasanton, California 94588

ARCHITECT
HKIS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

TELECOM ENGINEER
ESD GLOBAL
TODD GRAMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

PROJECT:
BUILDING A SHELL
TITLE:
ARCHITECTURAL LEVEL 03 CORE & SHELL OVERALL FLOOR PLAN
DRAWING:
A230.00

E1 SCALE: 1" = 20'-0" AGILE No: REV:



SECTOR 06
(1 / A220.06)

ROOF AREA: 97,713.05 SF
SOLAR AREA REQUIREMENT (15% ROOF AREA): 14,656.95 SF
AVAILABLE SOLAR AREA SPACE: 16,014.43 SF
ESTIMATED SOLAR ARRAY WEIGHT (5 LB/SF): 3,202.88 LB

1 ARCHITECTURAL ROOF & PENTHOUSE OVERALL FLOOR PLAN
A290.00 1" = 20'-0"

LEGEND ROOF PLAN

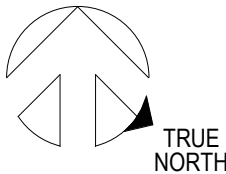
- WALKWAY PAD
- TAPERED ROOF INSULATION
- RESERVED SOLAR AREA FOR FUTURE USE

ROOF PLAN NOTES

- ALL ROOF TO BE KEPT SINGLE PLY ROOFING MEMBRANE WITH MINIMUM R20 INSULATION.
- HATCHING INDICATES AREAS WHERE THE ROOF SURFACE SLOPE IS ACHIEVED WITH TAPERED INSULATION. THE ROOF SURFACE SLOPE IN AREAS WITHOUT HATCHING IS ACHIEVED WITH SLOPING STRUCTURE.
- PROVIDE WALKWAYS PROTECTION TO MAJOR MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT AS REQUIRED TO PROVIDE SERVICE ACCESS. WALKWAYS PROTECTION IS INDICATED AS A GENERAL LAYOUT AND MAY NOT SHOW ALL FINAL LOCATIONS OF ALL EQUIPMENT.
- TAPERED INSULATION SHALL PROVIDE A MINIMUM OF 1/4" - INCH PER FOOT OF SLOPE TO ROOF DRAINS, UNLESS NOTED OTHERWISE.
- ALL ROOF CURBS TO BE A MINIMUM OF 6" ABOVE ROOFING LEVELS. PROVIDE TAPERED INSULATION ROOF SADDLES AT ROOF CURBS TO PROVIDE DRAINAGE AROUND CURB.
- SEE STRUCTURAL DRAWINGS FOR FRAMING AROUND ROOF PENETRATIONS.
- ALL ROOF TOP MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT SHOWN FOR INFORMATION ONLY COORDINATION THE SIZE AND LOCATION OF ROOF.
- PENETRATIONS FOR MECHANICAL AND ELECTRICAL EQUIPMENT, REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR PENETRATIONS NOT SHOWN ON THIS DRAWING.
- FLASH DRAINS, CURBS, VENTS AND STACKS PER MANUFACTURER'S RECOMMENDATIONS IF DETAIL NOT SHOWN ON DRAWINGS.
- NO ROOF PENETRATIONS ALLOWED WITHIN 4'-0" EACH SIDE OF FOREWALL. SEE CODE PLAN FOR FIRE WALL LOCATIONS.
- REFER TO SHEET A732, A733 FOR TYPICAL ROOF DETAILS.

KEYPLAN

OVERALL



PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THIS PROFESSIONAL AND THIS PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL.

ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKS ARCHITECT: HKS

MARK DATE DESCRIPTION

CONFIDENTIAL INFORMATION
THIS DRAWING/DOCUMENT AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING/DOCUMENT. COPYING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED IN WRITING.

MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

KIMLEY-HORN
ANTHONY VERA
(920) 398-4940
4637 Chabot Drive
Suite 300
Pleasanton, California 94588

ARCHITECT

HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

TELECOM ENGINEER

ESD GLOBAL
TODD GRIMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

SECURITY ENGINEER

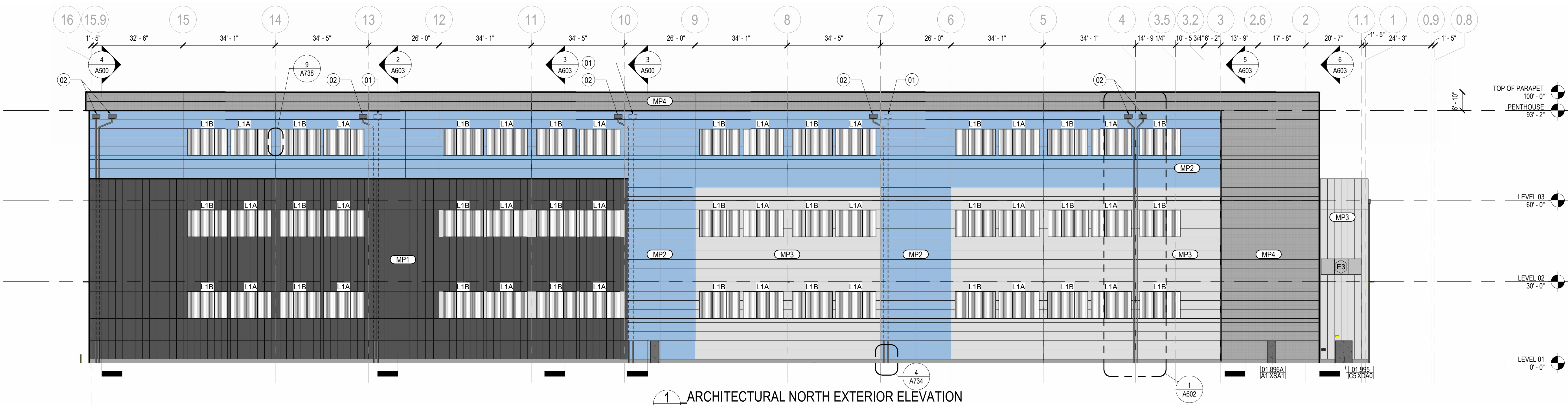
GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING A SHELL

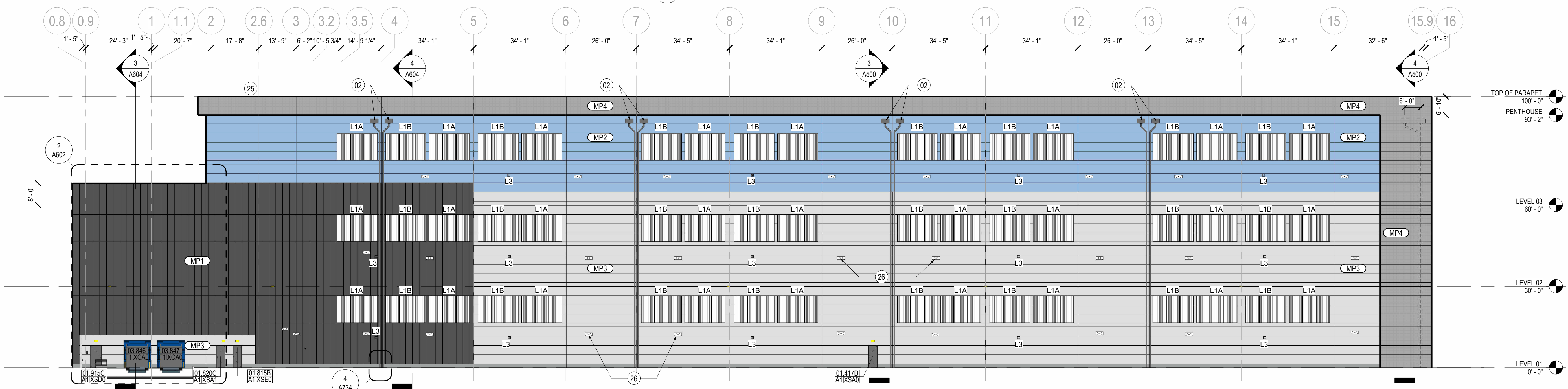
TITLE: ARCHITECTURAL ROOF & PENTHOUSE CORE & SHELL OVERALL PLAN

DRAWING: A290.00

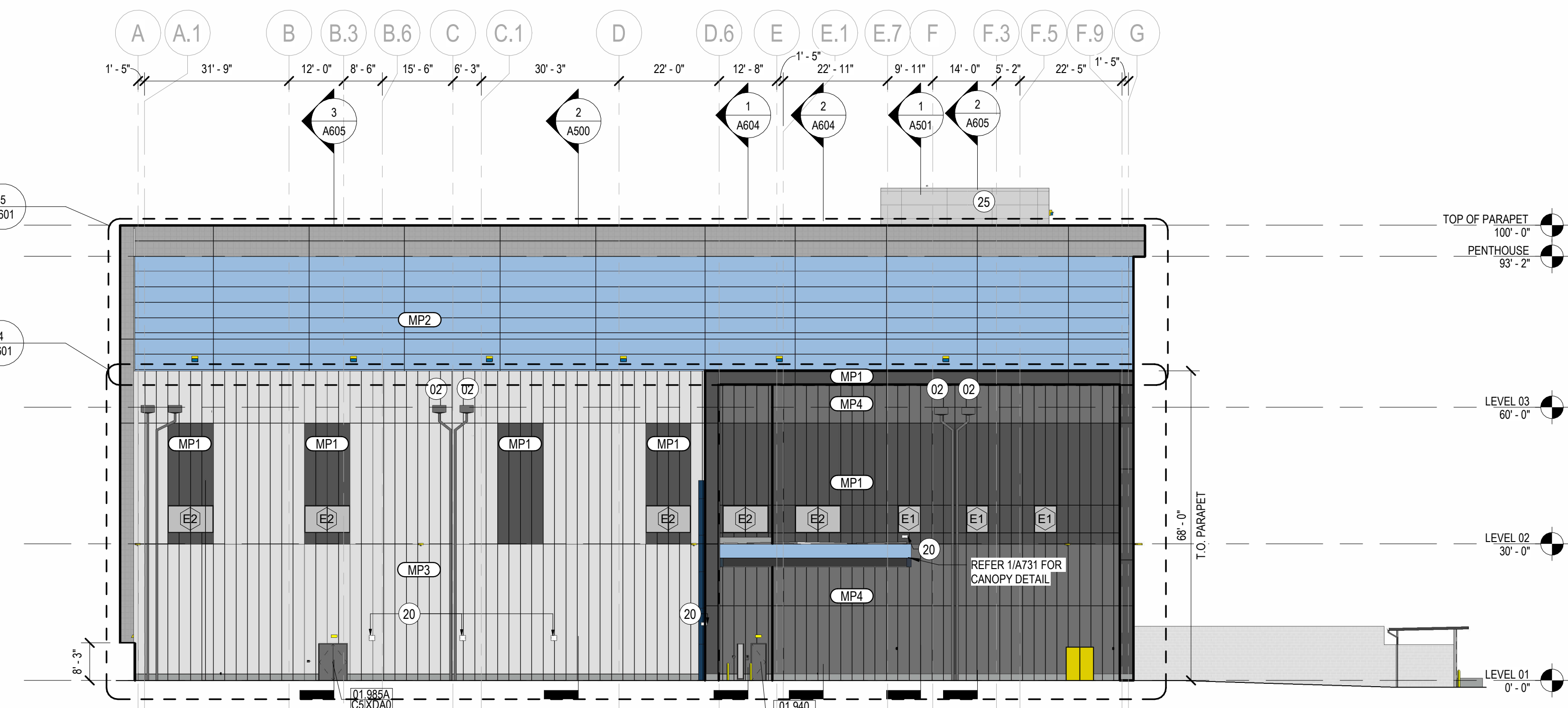
E1 SCALE: As indicated AGILE No: REV:



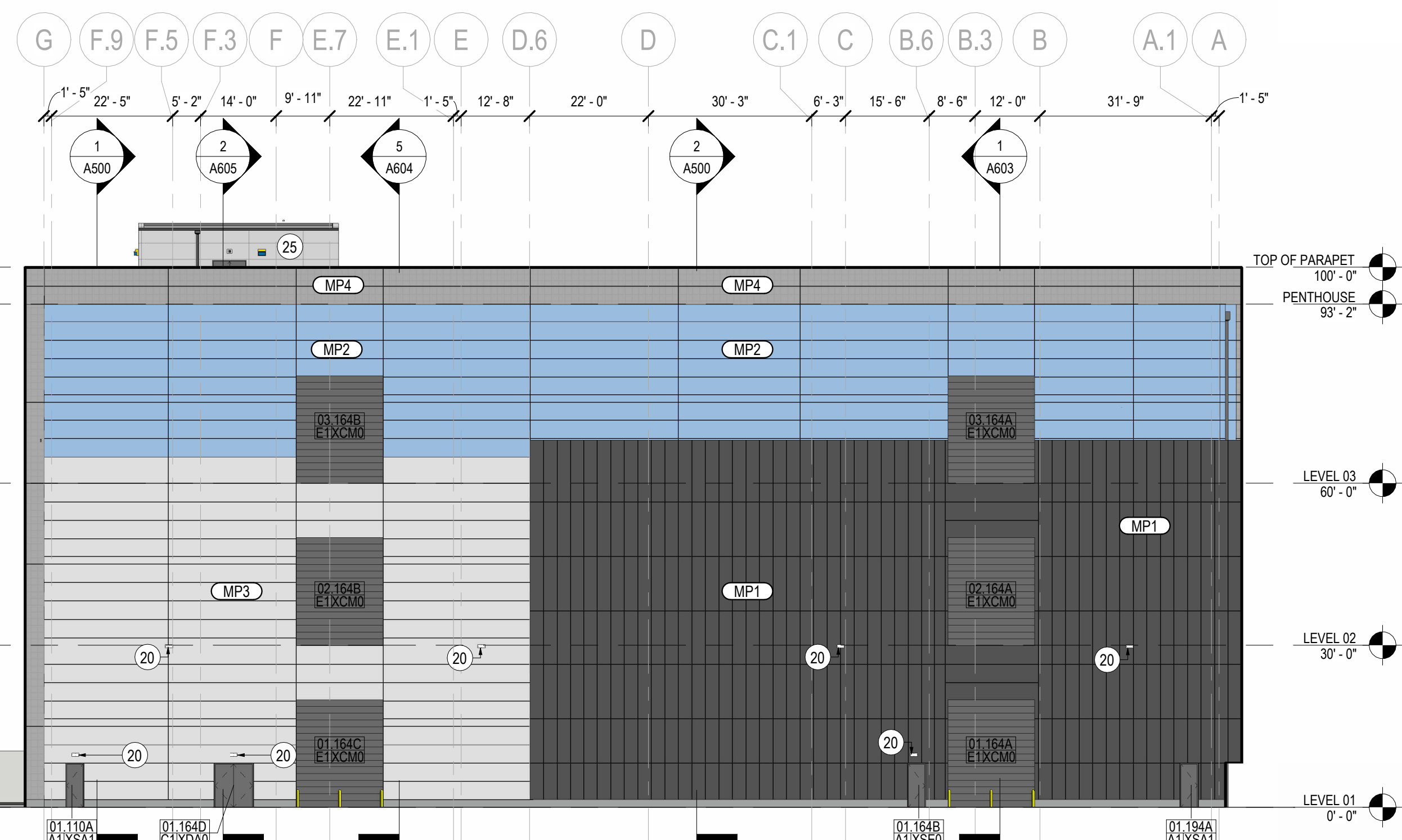
1 ARCHITECTURAL NORTH EXTERIOR ELEVATION
1" = 20'-0"



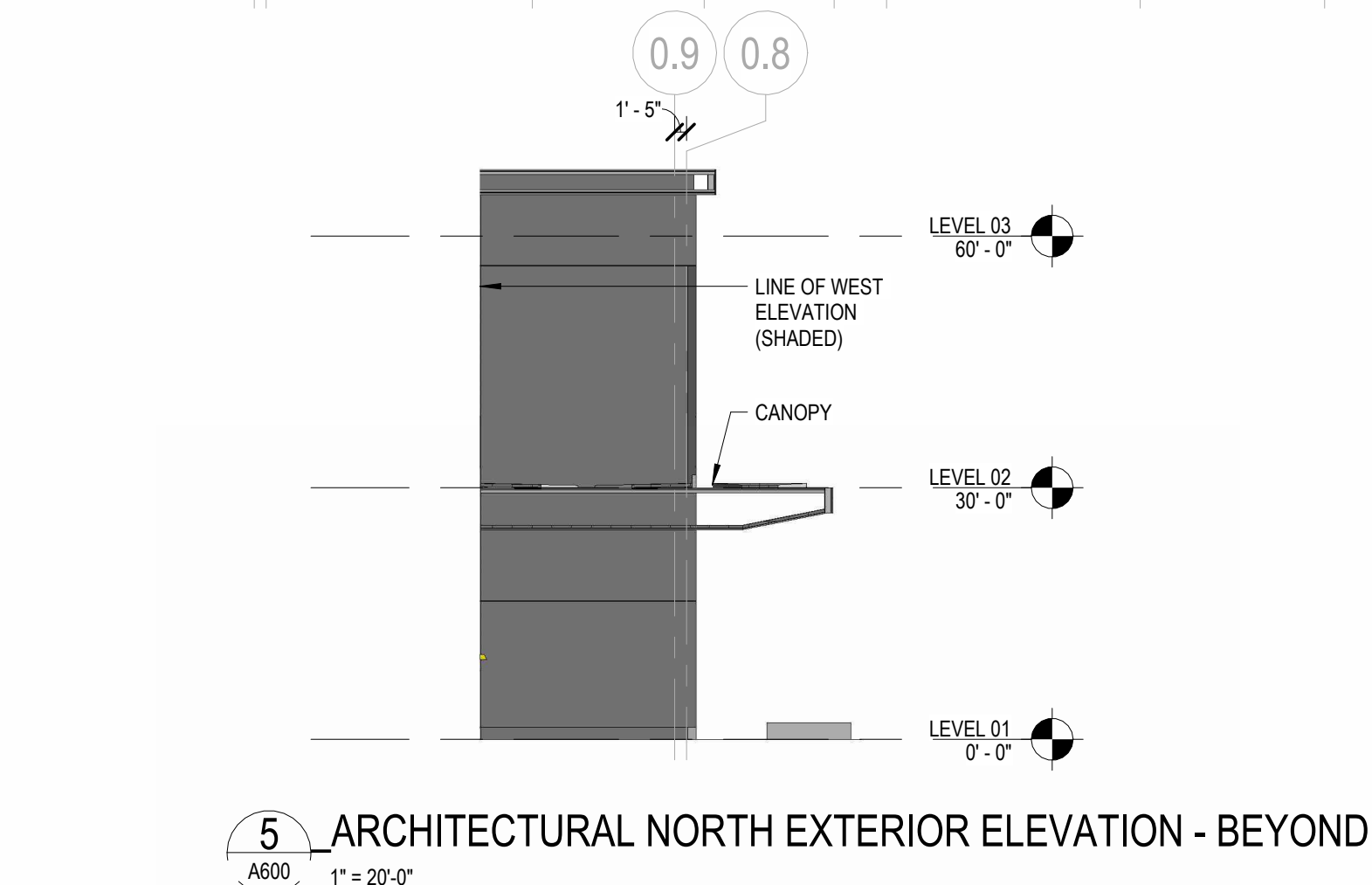
2 ARCHITECTURAL SOUTH EXTERIOR ELEVATION
1" = 20'-0"



3 ARCHITECTURAL WEST EXTERIOR ELEVATION
1" = 20'-0"



4 ARCHITECTURAL EAST EXTERIOR ELEVATION
1" = 20'-0"

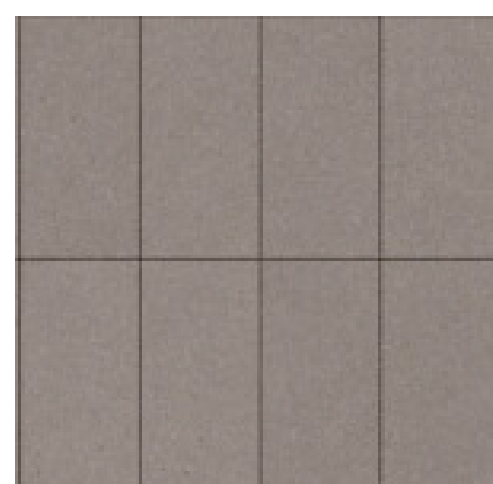


5 ARCHITECTURAL NORTH EXTERIOR ELEVATION - BEYOND
1" = 20'-0"

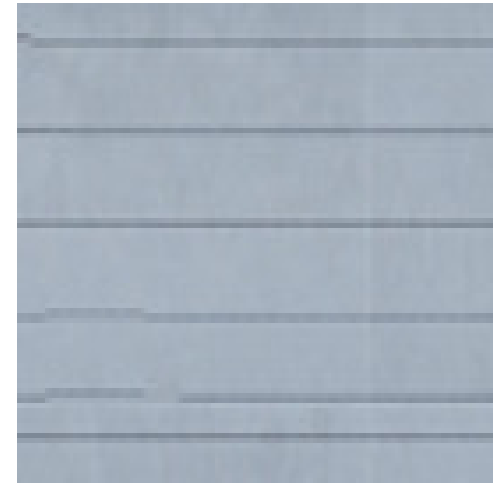
EXTERIOR FINISH LEGEND:

MP1	BOD: CENTRIA FORMA WALL DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL DARK BRONZE
MP2	BOD: CENTRIA FORMA WALL DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 200 DEEP BLUE SEA
MP3	BOD: CENTRIA FORMA WALL WHITE COLOR SMOOTH EXTERIOR TEXTURE 179 REGAL WHITE
MP4	BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL MEDIUM GRAY
MP5	BOD: CENTRIA PARADIGM METAL PANEL 9918 DOVE GRAY; 9989 PLATINUM SUNDACNE AM COATING; 9989 PLATINUM SUNDANCE MICA COATING

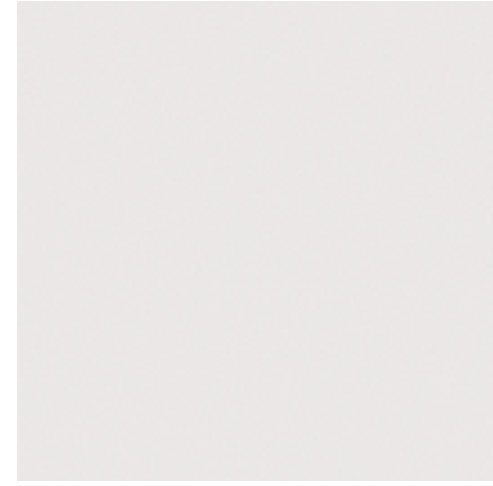
EXTERIOR FINISH LEGEND



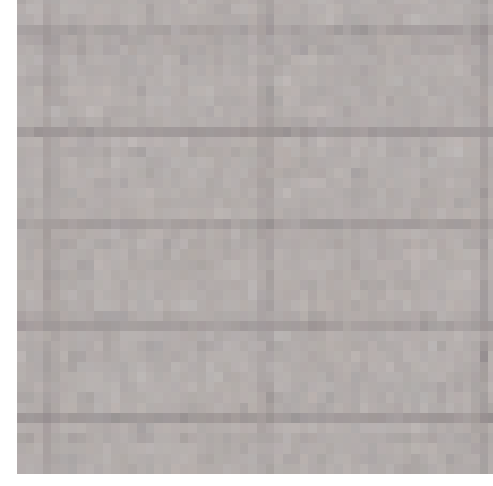
MP1



MP2



MP3



MP4

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET
APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS
SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER
DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE
CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS
PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL
RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS
NOT EXHIBITING THIS SEAL.

ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKS ARCHITECT: HKS

MARK DATE DESCRIPTION

CONFIDENTIAL INFORMATION
THIS DRAWING, DOCUMENT AND ALL DESIGNS, DETAILS,
INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED
THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY
OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL
RIGHTS IN THIS DRAWING/DOCUMENT. COPYING,
REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD
PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS
EXPRESSLY AUTHORIZED IN WRITING.

MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

KIMLEY-HORN
ANTHONY VERA
(920) 398-4840
4637 Chabot Drive
Suite 300
Pleasanton, California 94588

ARCHITECT

HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

TELECOM ENGINEER

ESD GLOBAL
TODD GRIMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

SECURITY ENGINEER

GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL EXTERIOR ELEVATIONS

DRAWING: A600

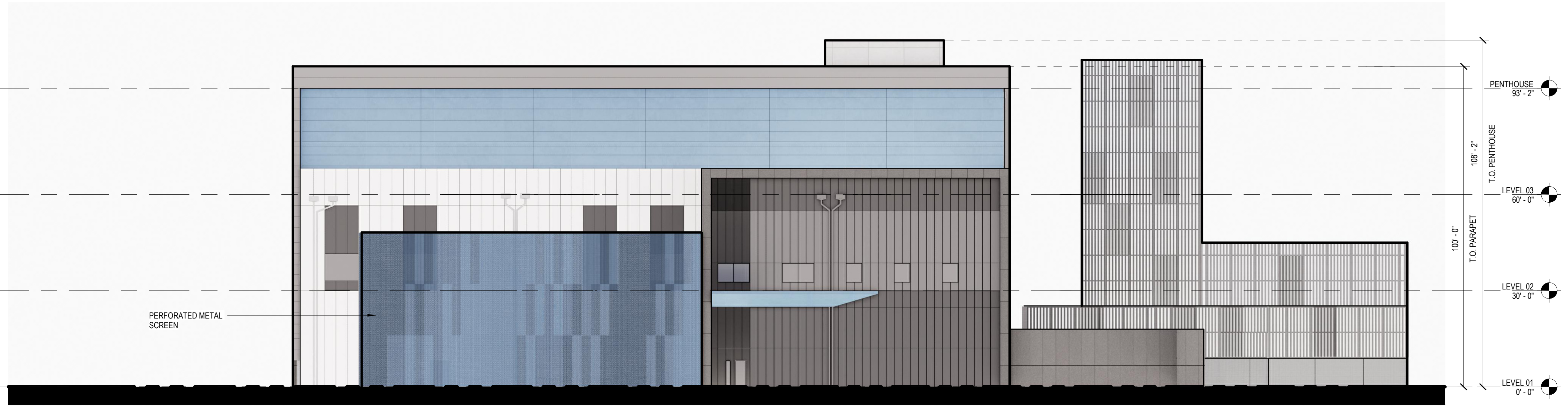
E1 SCALE: As indicated

AGILE No:

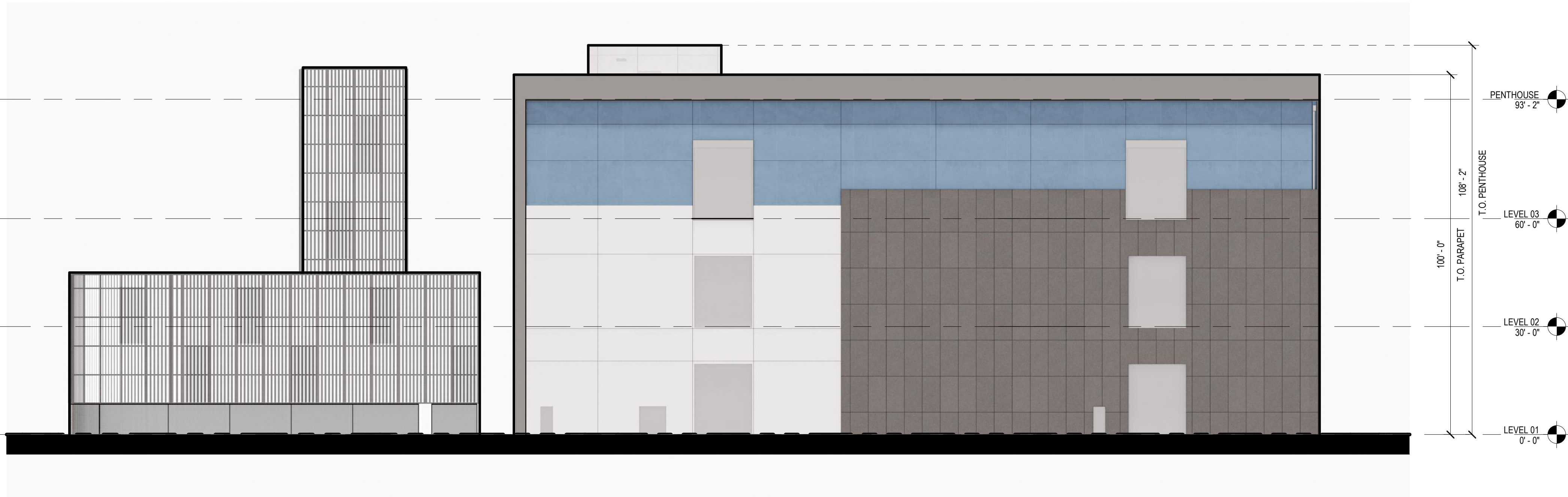
REV:

SHEET NOTES - EXTERIOR ELEVATIONS

#	NOTE
01	THROUGH WALL SCUPPER AND DOWN BEHIND METAL PANEL. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS PREFINISHED TO MATCH ADJACENT LOUVER COLOR. TYP.
02	THROUGH WALL SCUPPER AND DOWN SPOUT. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS BELOW. PREFINISHED TO MATCH ADJACENT WALL COLOR. TYP.
03	DOCK SEAL. TYP.
04	WINDOW TYPE 'E1': RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
05	WINDOW TYPE 'E2': RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
06	EXTERIOR DOORS TO BE PAINTED TO MATCH COLOR OF WALL IN WHICH THEY OCCUR TYP.
07	METAL PANEL SYSTEM REVEALS TYP.
12	BUILDING ENTRY STOREFRONT DOOR AND GLAZING.
13	LINE OF SCREEN WALL (DASHED). REFER TO PROVIDED ELEVATIONS FOR ADDITIONAL INFORMATION.
18	1/8" HIGH STEEL LETTERS, PIN MOUNTED TO TILT UP PANEL. PAINTED TO MATCH EPT3.
20	WALL PACK EXTERIOR LIGHT FIXTURE. CENTER OVER DOOR OR OVER LOUVERS OR WITHIN PANEL, WHERE APPLICABLE; RE: ELECTRICAL DRAWINGS
25	METAL PANEL TYPE 5 (TO BE DETERMINED).
26	WALL CUTOUTS TO BE COORDINATED WITH MEP.



1 ARCHITECTURAL WEST EXTERIOR ELEVATION
A610 1" = 20'-0"



2 ARCHITECTURAL EAST EXTERIOR ELEVATION
A610 1" = 20'-0"

EXTERIOR MATERIALS LEGEND:

EXTERIOR GLAZING (GL):

GL-01 PVB LAMINATED GLASS
COLOR: FROSTED/TINTED

METAL PANEL (MP):

MP-01 DARK BRONZE COLOR SMOOTH
EXTERIOR TEXTURE FLUOROFINISH
COATING
9960 XL DARK BRONZE

MP-02 DEEP BLUE COLOR EMBOSSED
EXTERIOR TEXTURE FLUOROFINISH
COATING
200 DEEP BLUE SEA

MP-03 WHITE COLOR SMOOTH EXTERIOR
TEXTURE
179 REGAL WHITE

MP-04 MEDIUM GRAY COLOR EMBOSSED
EXTERIOR TEXTURE FLUOROFINISH
COATING
9960 XL MEDIUM GRAY

PERFORATED METAL SCREEN

A METAL SCREEN STANDALONE
STRUCTURE

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET
APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS
SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER
DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE
CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS
PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL
RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS
NOT EXHIBITING THIS SEAL.

ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKS ARCHITECT: HKS

MARK DATE DESCRIPTION

CONFIDENTIAL INFORMATION
THIS DRAWING/DRAWING AND ALL DESIGNS, DETAILS,
INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED
THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY
OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL
RIGHTS IN THIS DRAWING/DRAWING. COPYING,
REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD
PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS
EXPRESSLY AUTHORIZED IN WRITING.

MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

KIMLEY-HORN
ANTHONY VERA
(920) 398-4840
4637 Chadok Drive
Suite 300
Pleasanton, California 94588

ARCHITECT

HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

TELECOM ENGINEER

ESD GLOBAL
TODD GRIMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER

ESD GLOBAL
REY BERNARDINO
(312) 551-8612
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

STRUCTURAL ENGINEER

HKS
CLINT NASH
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

FIRE PROTECTION ENGINEER

ESD GLOBAL
MICHAEL PARAS
(312) 372-1200
233 South Wacker Drive
Suite 5300 Chicago,
Illinois 60606

SECURITY ENGINEER

GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL EXTERIOR ELEVATION

DRAWING: A610

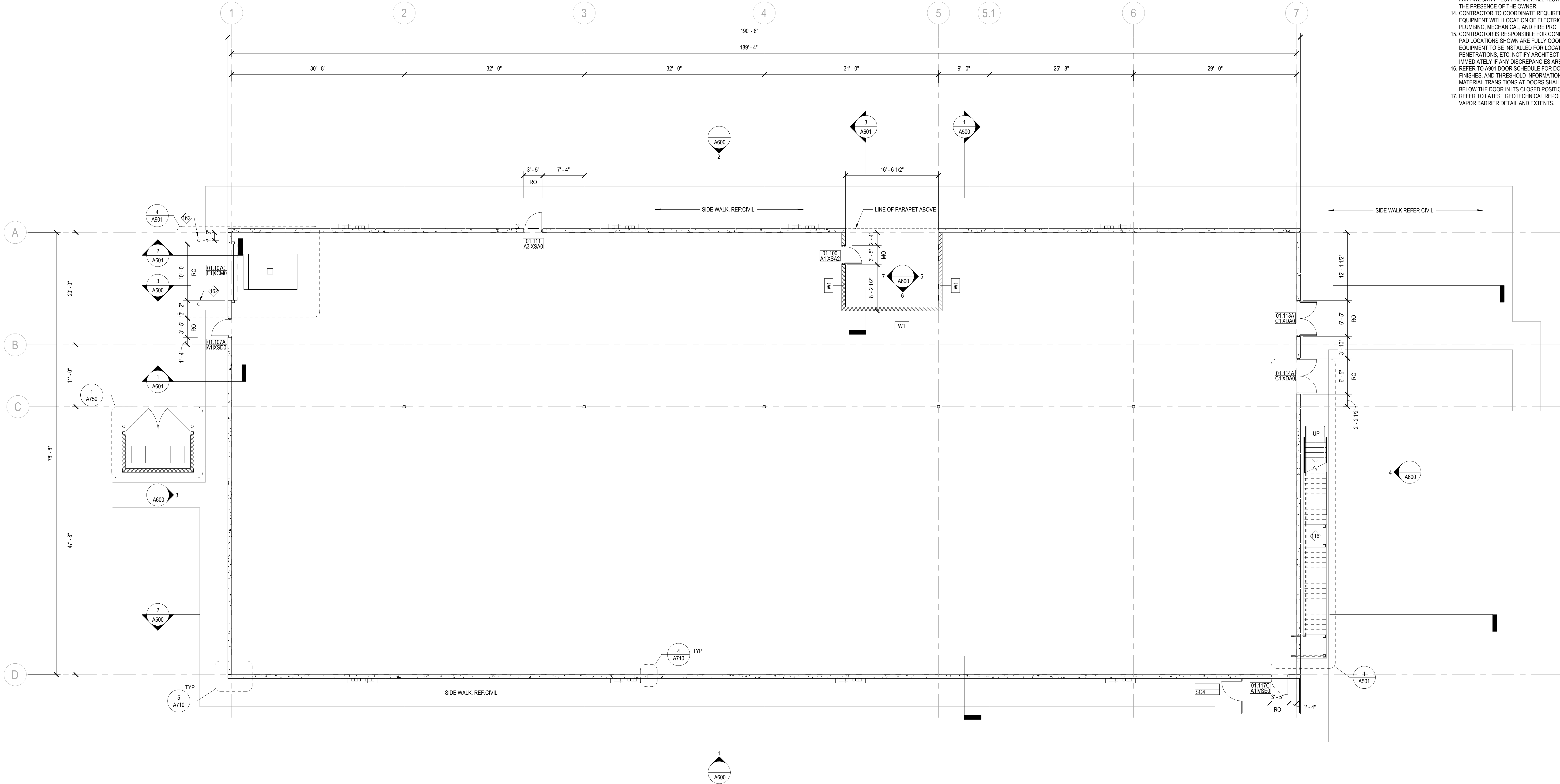
E1

SCALE:

As indicated

AGILE No:

REV:



1 ARCHITECTURAL CS LEVEL 01 OVERALL PLAN
A210 1/8" = 1'-0"

FLOOR PLAN LEGEND

	1HR FIRE BARRIER
	2HR FIRE BARRIER
	BRACKET MOUNTED PORTABLE FIRE EXTINGUISHER
	CARD READER
	DOOR NUMBER
	DOOR HARDWARE SET NUMBER
	DOOR ELEVATION
	STANDARD LOCKER SYSTEM

SHEET KEYNOTE LEGEND

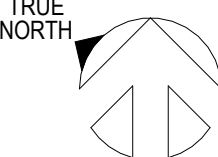
KEY	KEYNOTE TEXT
116	STEEL STAIR AND ACCESS PLATFORMS ARE BY DELEGATED DESIGN. REFER TO EXTERIOR STAIR AND EQUIPMENT ACCESS PLATFORM GENERAL NOTES ON THIS SHEET
162	TYP. NON REMOVABLE BOLLARD, SEE DETAIL 11/A750

GENERAL NOTES - FLOOR PLAN

1. ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL (0'-0" = CIVIL FINISH FLOOR ELEVATION, SEE CIVIL OR F.F.E.
2. WHERE ENLARGED PLANS ARE PROVIDED, DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN, UNLESS OTHERWISE INDICATED.
3. ALL STRUCTURAL STEEL EXPOSED TO VIEW WILL CONFORM TO A.E.S.S. SPECIFICATIONS.
4. REFER TO A710 FOR EXTERIOR WALL, ROOF AND FLOOR ASSEMBLIES.
5. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
6. CONTRACTOR MUST VERIFY (IN FIELD (W/F) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
7. LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.
8. 15 MIL VAPOR BARRIER TO BE PLACED UNDER THE BUILDING SLAB ON GRADE.
9. REFER TO SHEET A750 FOR SITE DETAILS.
10. ALL FIBER AND CABLE PENETRATIONS THROUGH RATED WALLS TO HAVE APPROVED ASSEMBLIES. VERIFY WITH AWS DE.
11. PURCHASE AND INSTALL ADHERED 48" TALL STAINLESS STEEL CORNER GUARDS ABOVE THE WALL BASE, TIGHT TO THE WALL, AT ALL OUTSIDE CORNERS.
12. PROVIDE ROOF DAVITS FOR FUTURE MAINTENANCE TIE-OFF. G.C. SHALL COORDINATE EXACT INSTALL DIMENSIONS IN FIELD TO ENSURE DAVIT IS 8" ABOVE THE ROOF SURFACE AND PROPERLY FLASHED.
13. CONTRACTOR IS RESPONSIBLE FOR PROVIDING WALL, DOOR, AND FIRE/SMOKE STOPPING CONSTRUCTION THROUGHOUT THE BUILDING, WHICH MEETS THE REQUIREMENTS OF THE UL LISTED ASSEMBLIES SPECIFIED. UPON COMPLETION OF THIS CONSTRUCTION, THE FIRE PROTECTION CONTRACTOR WILL PROVIDE FAN INTEGRITY TESTING IN COMPLIANCE WITH NFPA-2001 AND THE REQUIREMENTS SET FORTH IN THE FIRE SUPPRESSION DRAWINGS & OWNER'S NETWORK STANDARDS. SHOULD A SPACE NOT MEET THE REQUIREMENTS OF THE TESTING, THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER, SHALL PROVIDE FOR ANY MODIFICATIONS REQUIRED IN THE CONSTRUCTION (WHICH MEET THE SPECIFICATIONS FOR THE PROJECT) TO ENSURE THE REQUIREMENTS OF THE FAN INTEGRITY TEST ARE MET. ALL TESTING SHALL BE DONE IN THE PRESENCE OF THE OWNER.
14. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
15. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT THE PAD LOCATIONS SHOWN ARE FULLY COORDINATED WITH THE EQUIPMENT TO BE INSTALLED FOR LOCATION, SIZE, PENETRATIONS, ETC. NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
16. REFER TO A501 DOOR SCHEDULE FOR DOOR & FRAME FINISHES, AND THRESHOLD INFORMATION. ALL THRESHOLDS & MATERIAL TRANSITIONS AT DOORS SHALL BE CENTERED BELOW THE DOOR IN ITS CLOSED POSITION.
17. REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS.

KEYPLAN

OVERALL



PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL.

ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKS ARCHITECT: HKS

MARK DATE DESCRIPTION

CONFIDENTIAL INFORMATION
THIS DRAWING OR DOCUMENT AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING/DOCUMENT. COPYING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED IN WRITING.

MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

HKS
KIMLEY HORN
ANTHONY VERA
(925) 398-4840
4637 Chabot Drive
Suite 300
Pleasanton, California 94588

ARCHITECT

HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

TELECOM ENGINEER

ESD GLOBAL
TODD GRAMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER

ESD GLOBAL
REY BERNARDINO
(312) 551-8612
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

STRUCTURAL ENGINEER

HKS
CLINT NASH
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

FIRE PROTECTION ENGINEER

ESD GLOBAL
MICHAEL PARAS
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

SECURITY ENGINEER

GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT:

BUILDING B SHELL

TITLE:

ARCHITECTURAL CORE & SHELL OVERALL FLOOR PLAN

DRAWING:

A210

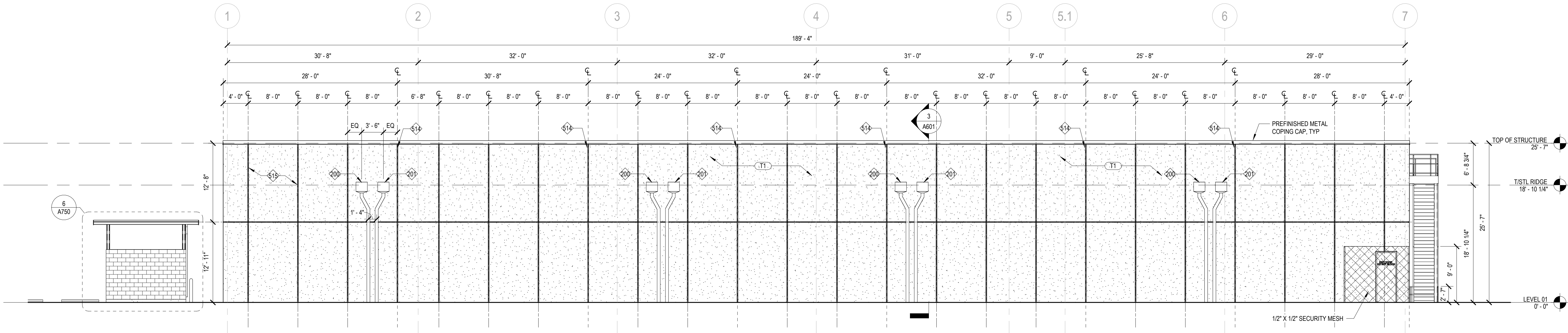
E1

SCALE: As indicated

AGILE No:

REV:

0



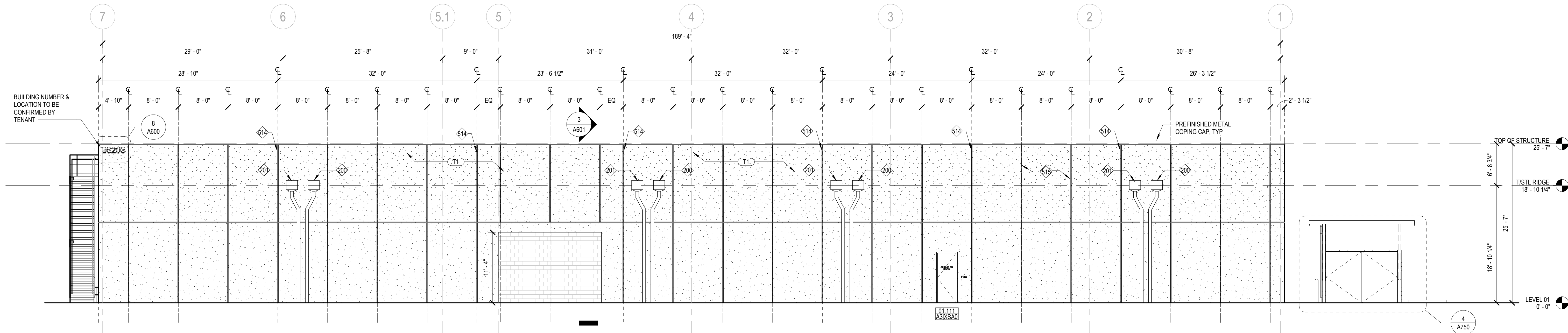
GENERAL NOTES

1. ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR FFE.
2. ALL STRUCTURAL STEEL EXPOSED TO VIEW WILL CONFORM TO A.E.S.S. SPECIFICATIONS.
3. REFER TO A710 FOR EXTERIOR WALL, ROOF ASSEMBLIES.
4. EXTERIOR WALLS ARE TILT-UP WALL ASSEMBLIES AND FOR ROUGH OPENING DIMENSIONS OF LOUVERS AND HOLLOW METAL DOOR/WINDOWS, REFER A601.
5. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
6. CONTRACTOR MUST VERIFY IN FIELD (VFI) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
7. EXTERIOR CONCRETE WALLS ARE TO RECEIVE TEXTURED PAINT OR CONCRETE SEALER TO MATCH EXISTING CAMPUS BUILDINGS.
8. REFER TO PANEL JOINT DETAILS SHEET A710.

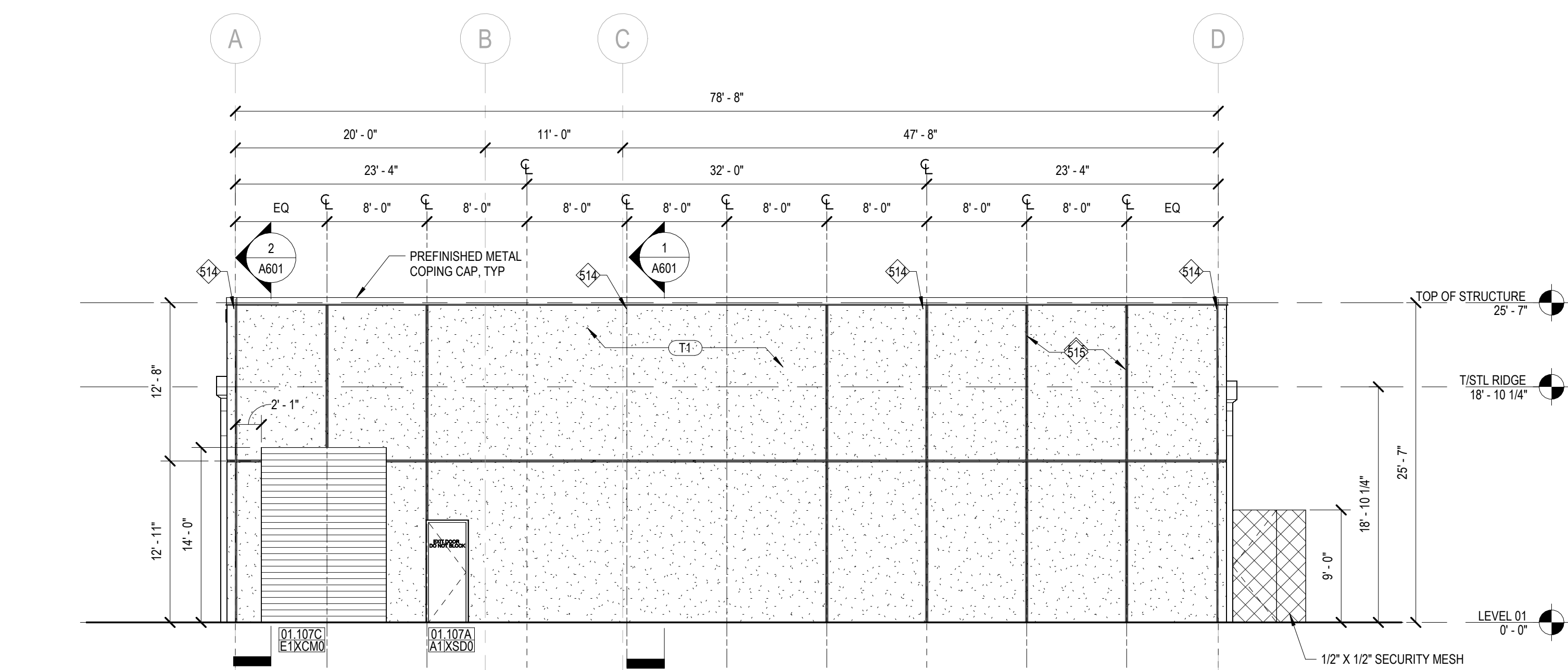
SHEET KEYNOTE LEGEND

KEY	KEYNOTE TEXT
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOUT ON EXTERIOR FACE OF BUILDING
201	OVERFLOW THROUGH WALL SCUPPER. LOCATE 1 FOOT TO SIDE OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE
514	CONCRETE PANEL CONTROL JOINT TYP. REF. A7A710
515	CONCRETE PANEL REVEAL TYP. REF. 6A710
527	WALL CUTOUTS TO BE COORDINATED WITH MEP.

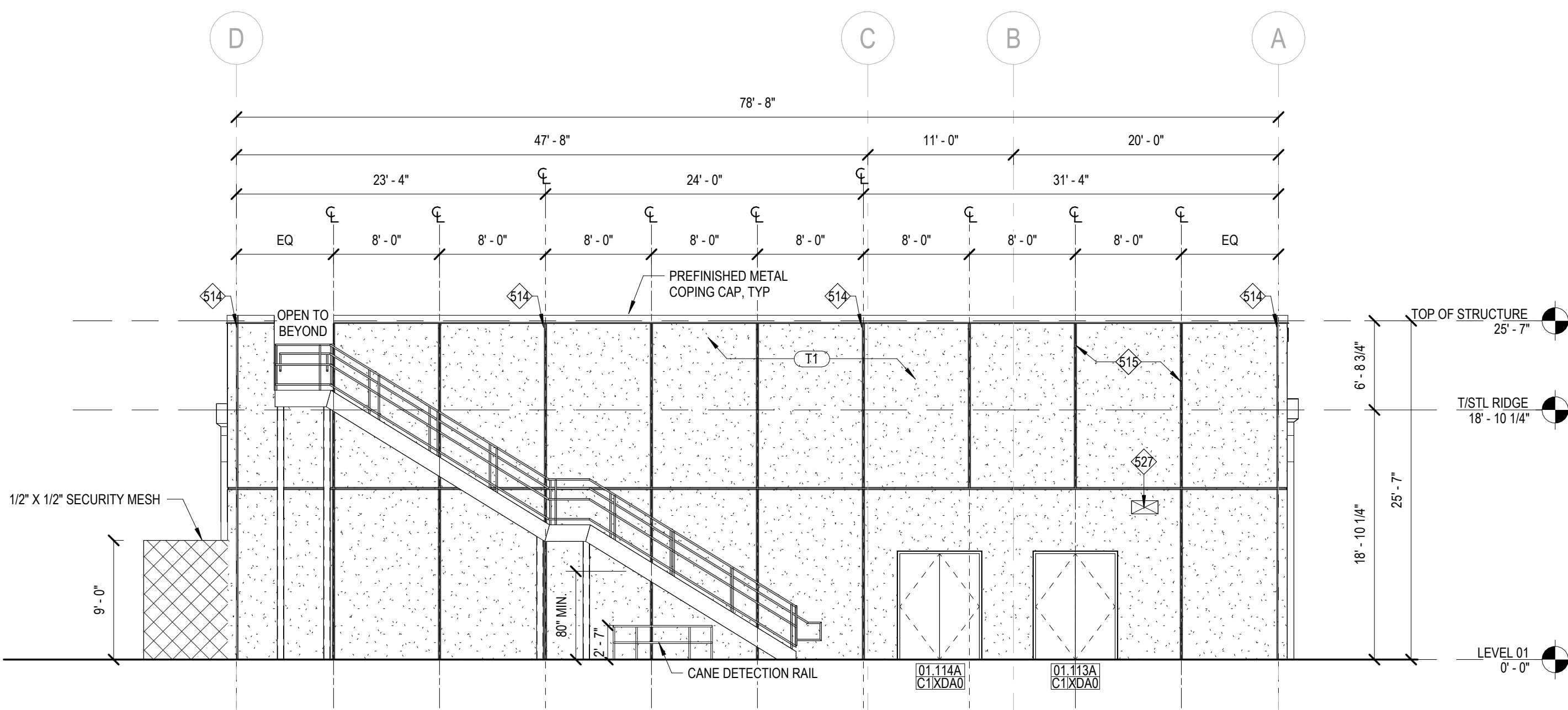
1 ARCHITECTURAL CS SOUTH ELEVATION
A600 1/8" = 1'-0"



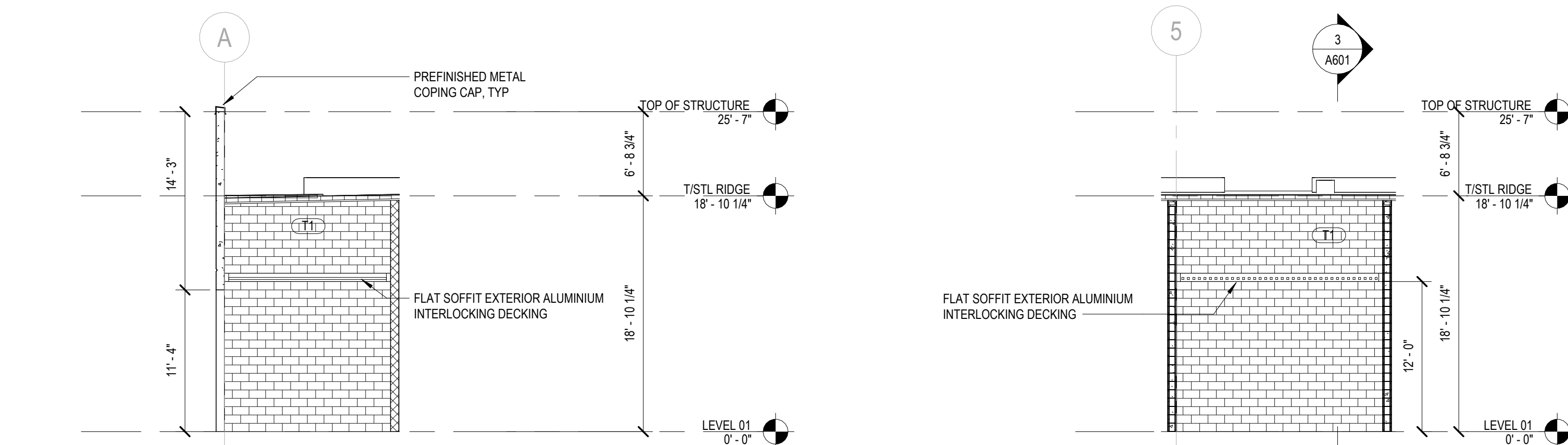
2 ARCHITECTURAL CS NORTH ELEVATION
A600 1/8" = 1'-0"



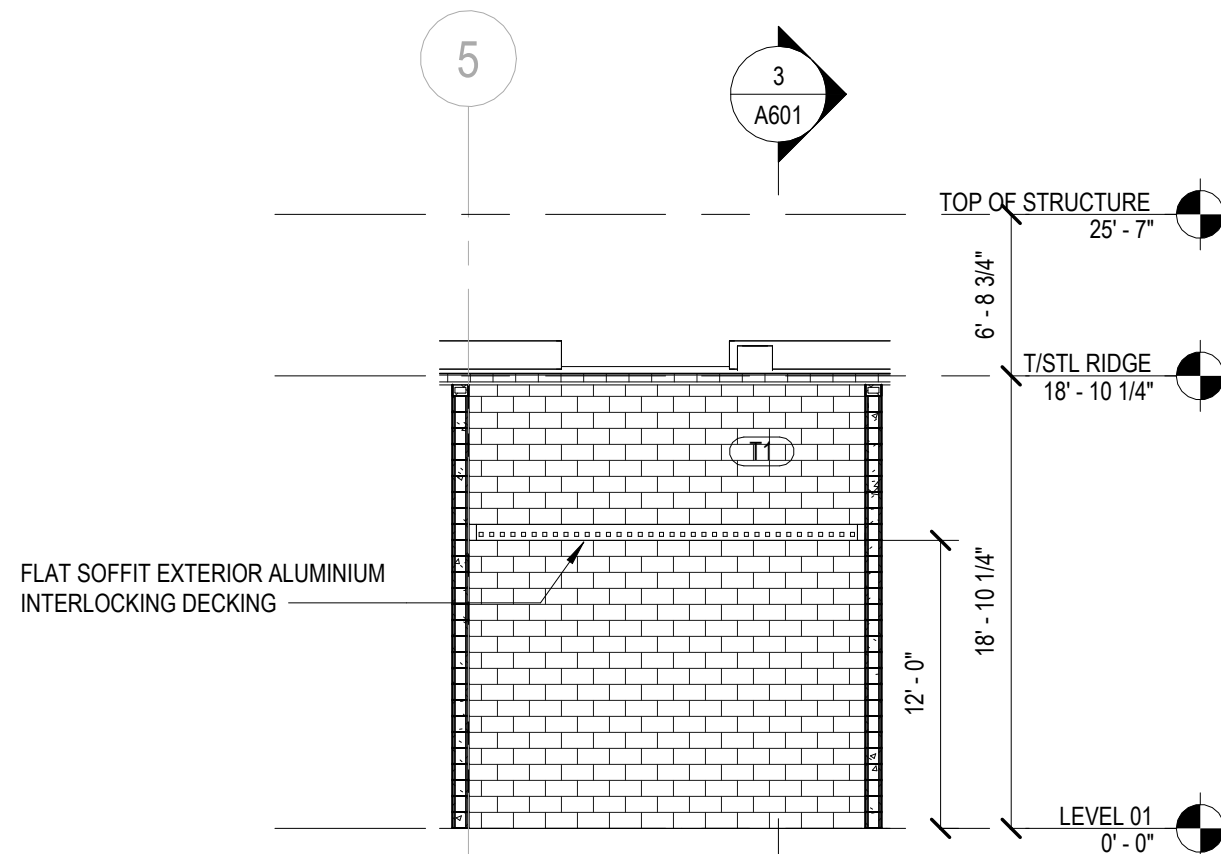
3 ARCHITECTURAL CS WEST ELEVATION
A600 1/8" = 1'-0"



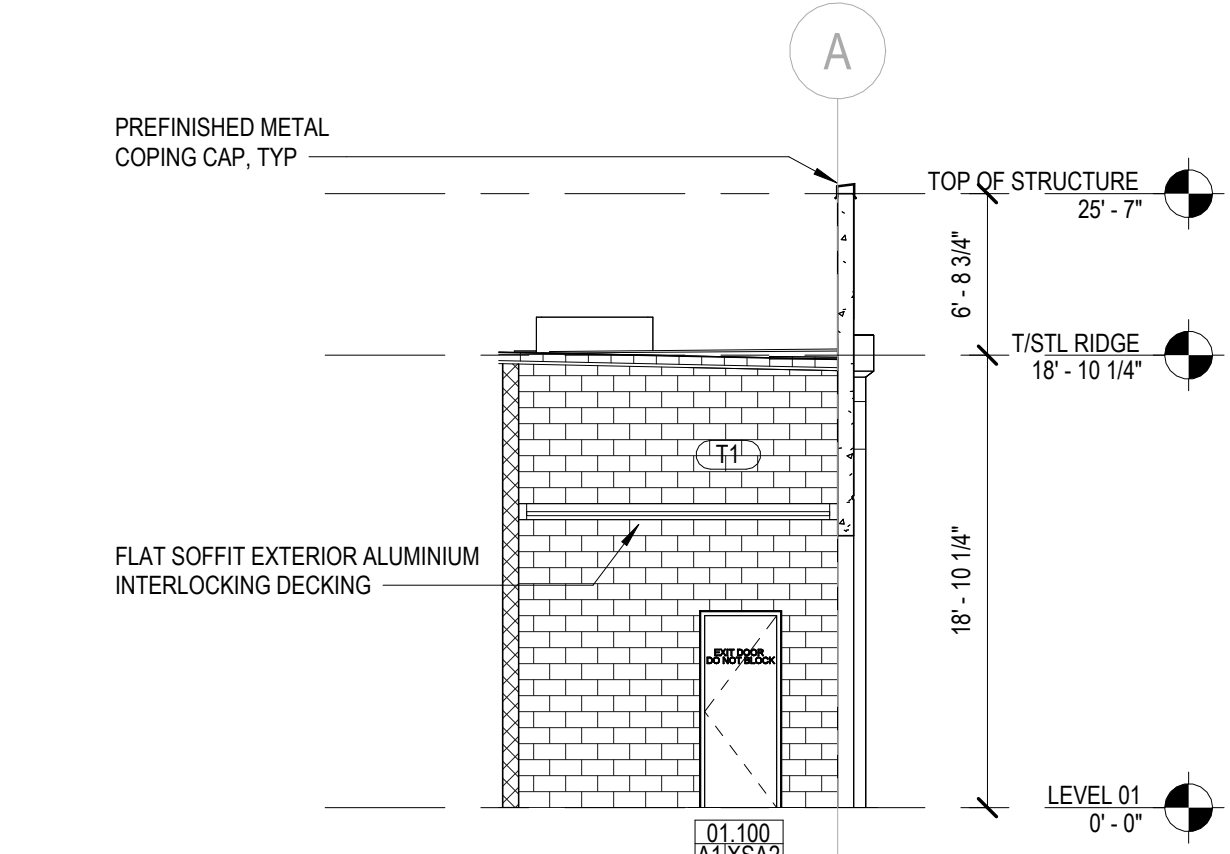
4 ARCHITECTURAL CS EAST ELEVATION
A600 1/8" = 1'-0"



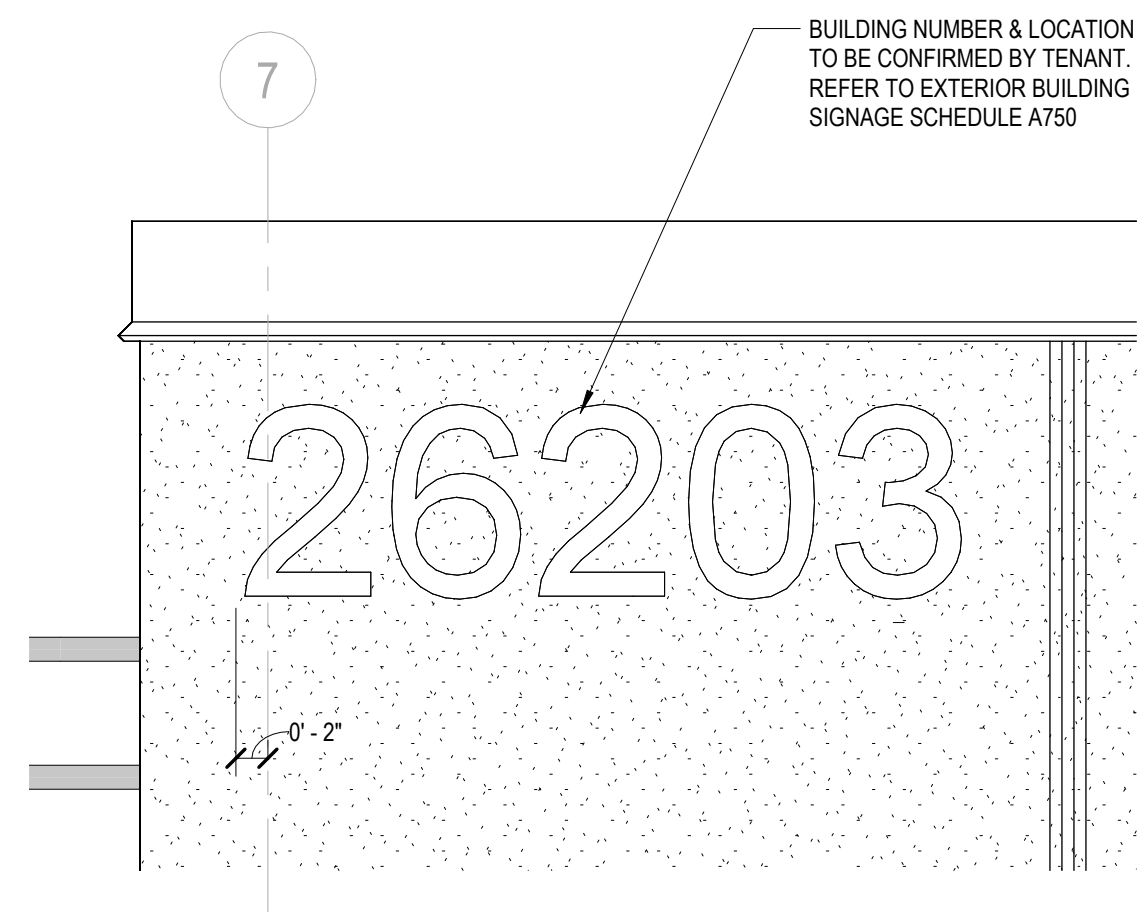
5 ENTRY VESTIBULE WEST ELEVATION
A600 1/8" = 1'-0"



6 ENTRY VESTIBULE NORTH ELEVATION
A600 1/8" = 1'-0"



7 ENTRY VESTIBULE EAST ELEVATION
A600 1/8" = 1'-0"



8 EXTERIOR SIGNAGE DETAIL
A600 1" = 1'-0"

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL.

ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKS ARCHITECT: HKS

MARK DATE DESCRIPTION

CONFIDENTIAL INFORMATION
THIS DRAWING IS DOCUMENT AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING DOCUMENT, COPYING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED IN WRITING.

MECHANICAL ENGINEER
ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER
ESD GLOBAL
REY BERNARDINO
(312) 551-8512
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER
HKS
KIMLEY HORN
ANTHONY VERA
(925) 398-4840
4537 Chabot Drive
Suite 300
Pleasanton, California 94588

STRUCTURAL ENGINEER
HKS
CLINT NASH
(214) 969-5599
One Dallas Center
Suite 5300
Dallas, Texas 75201

ARCHITECT
HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
Suite 5300
Dallas, Texas 75201

FIRE PROTECTION ENGINEER
ESD GLOBAL
MICHAEL PARAS
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

TELECOM ENGINEER
ESD GLOBAL
TODD GRAMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

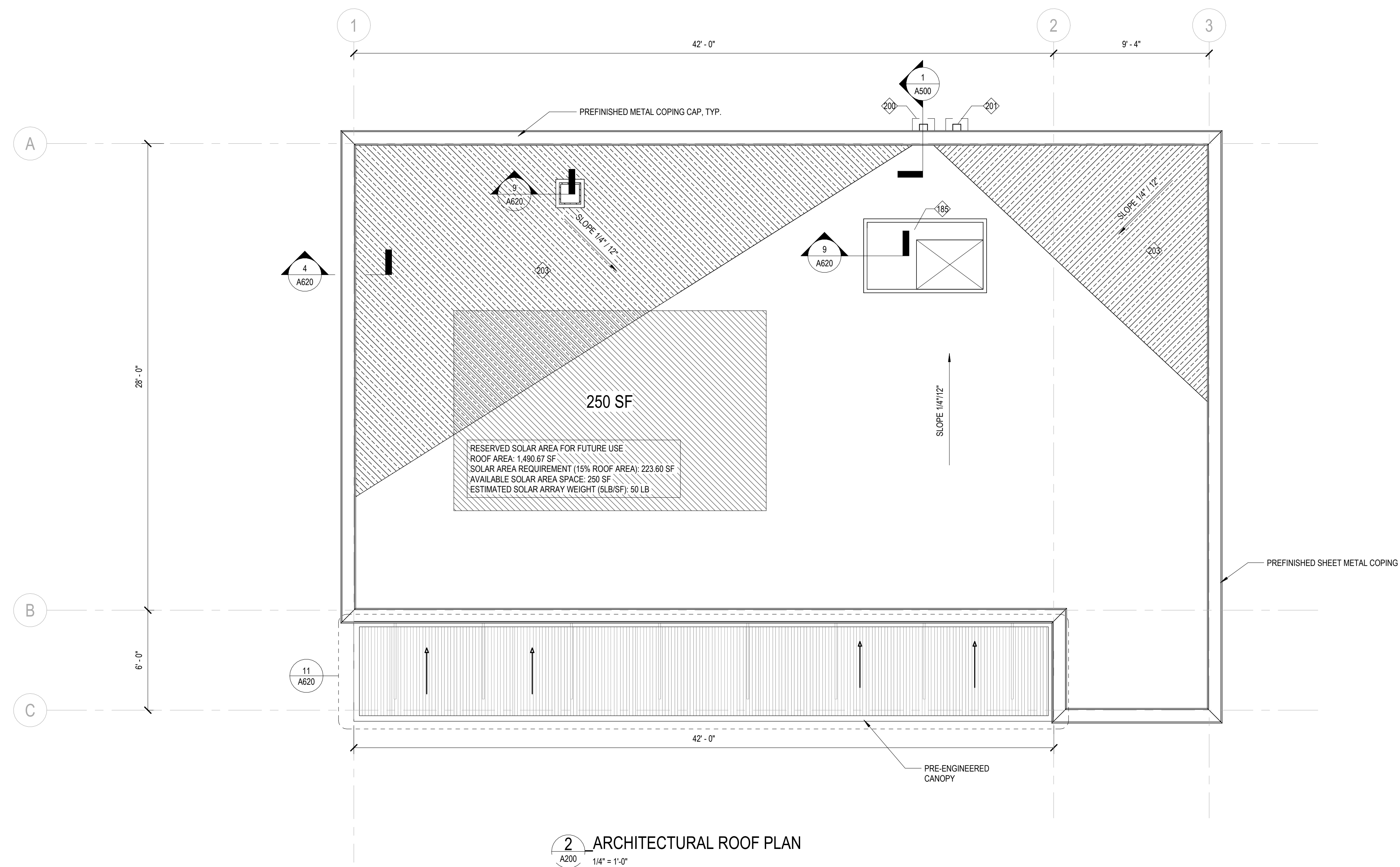
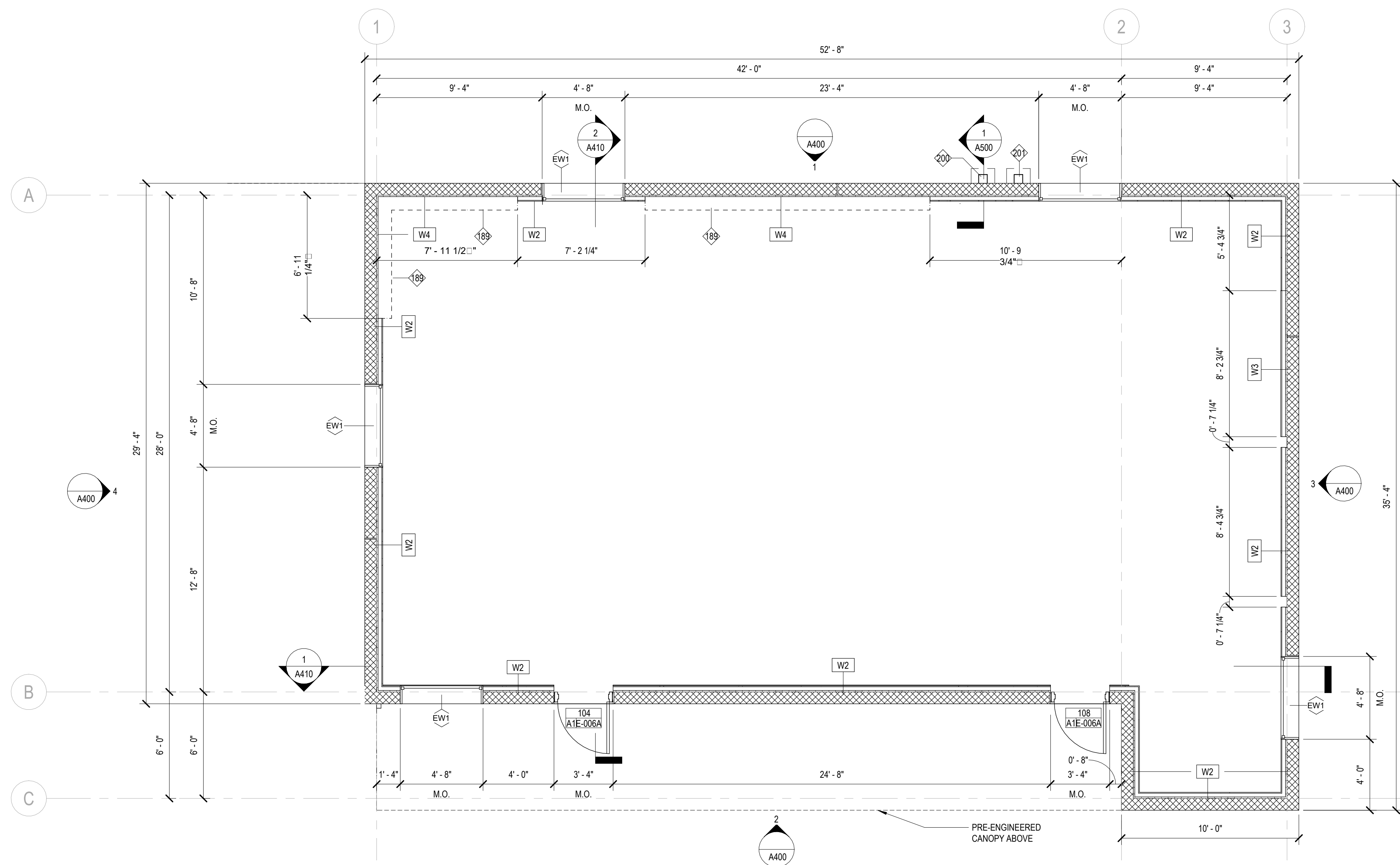
SECURITY ENGINEER
GUIDEPOST
JON LUBOWSKI
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

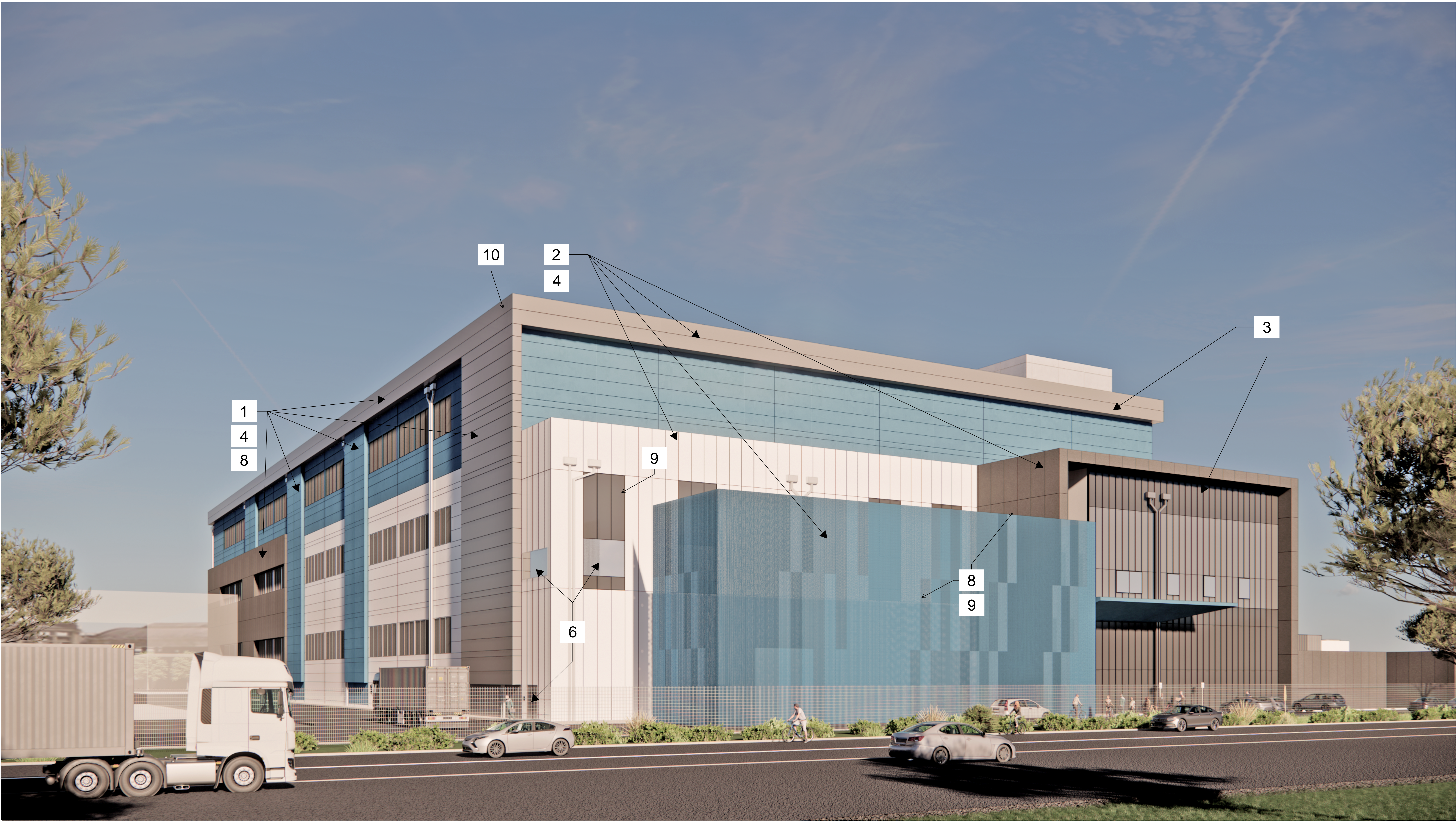
PROJECT: BUILDING B SHELL
TITLE: ARCHITECTURAL EXTERIOR ELEVATIONS
DRAWING: A600
E1 SCALE: As indicated ASILE No: REV: 0

EXTERIOR FINISH LEGEND

T1	TYPICAL OFF-WHITE FIELD COLOR EXTERIOR TEXTURE ACRYLIC COATING
SW 7043 WORDLY GRAY	

T1 SW 7043 'WORDLY GRAY'





HAYWARD INDUSTRIAL DESIGN GUIDELINES - BUILDING DESIGN

MASSING & ARTICULATION

1. Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height, and roofs located at different levels in order to minimize the overall appearance of the elevation. In general, building wall planes visible from a public street should not continue for more than 50-feet without a change in building wall plane direction of 2-feet or more.
2. Design massing elements to be properly scaled and in proportion to one another in order to provide a balance between horizontal and vertical emphasis.
3. Organize street facing building massing so as to emphasize interior uses of a building, such as the primary entry, building corners, or office space, through the use of varying roof height, windows, variation in materials, and other design treatments.

4. Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, or other features to create shadow patterns and depth on building elevations. Reuse of existing buildings may also include wall art or sculptural art elements.
5. Minimize blank wall planes on all elevations through the use of wall plane variation, trim or reveals, entry and window openings, and/or varying colors and materials.

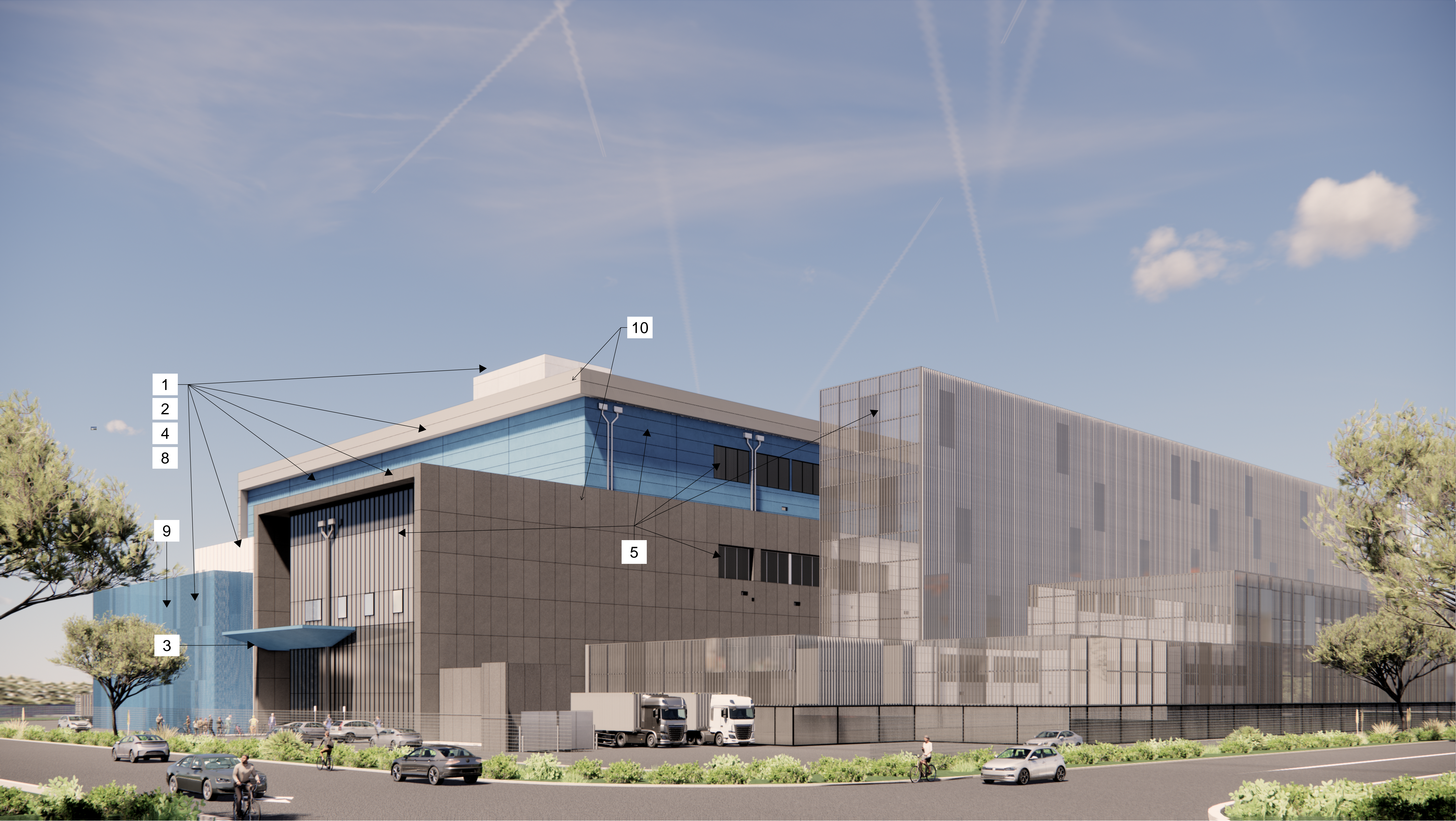
WINDOWS & DOORS

6. Use window and door type, proportion, and colors and materials to complement the overall architectural style of the building.
7. Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.

COLORS AND MATERIALS

8. Select building colors and materials to reinforce building design, detailing, and architectural form in order to achieve harmony and continuity of the overall design.
9. Utilize accent colors for trim, windows, doors, and other key architectural elements, such as primary building entries, to add visual interest to a building.
10. Apply materials in a manner that corresponds to variation in building massing. Wrap outside corners to avoid a tacked-on appearance

11. Use durable and high quality materials on building exteriors, especially in areas near ground level.



HAYWARD INDUSTRIAL DESIGN GUIDELINES - BUILDING DESIGN

MASSING & ARTICULATION

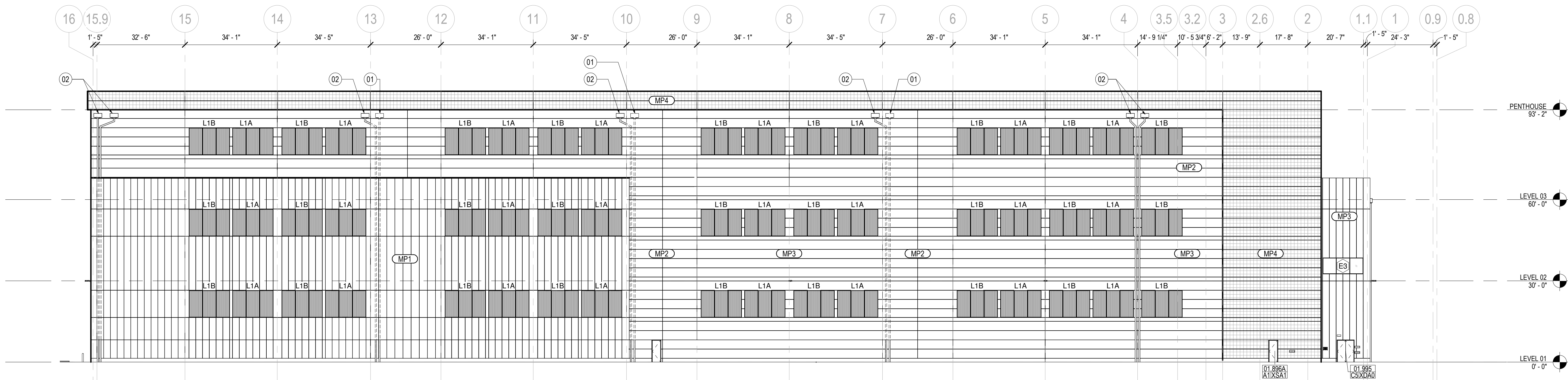
1. Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height, and roofs located at different levels in order to minimize the overall appearance of the elevation. In general, building wall planes visible from a public street should not continue for more than 50-feet without a change in building wall plane direction of 2-feet or more.
2. Design massing elements to be properly scaled and in proportion to one another in order to provide a balance between horizontal and vertical emphasis.
3. Organize street facing building massing so as to emphasize interior uses of a building, such as the primary entry, building corners, or office space, through the use of varying roof height, windows, variation in materials, and other design treatments.
4. Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, or other features to create shadow patterns and depth on building elevations. Reuse of existing buildings may also include wall art or sculptural art elements.
5. Minimize blank wall planes on all elevations through the use of wall plane variation, trim or reveals, entry and window openings, and/or varying colors and materials.

WINDOWS & DOORS

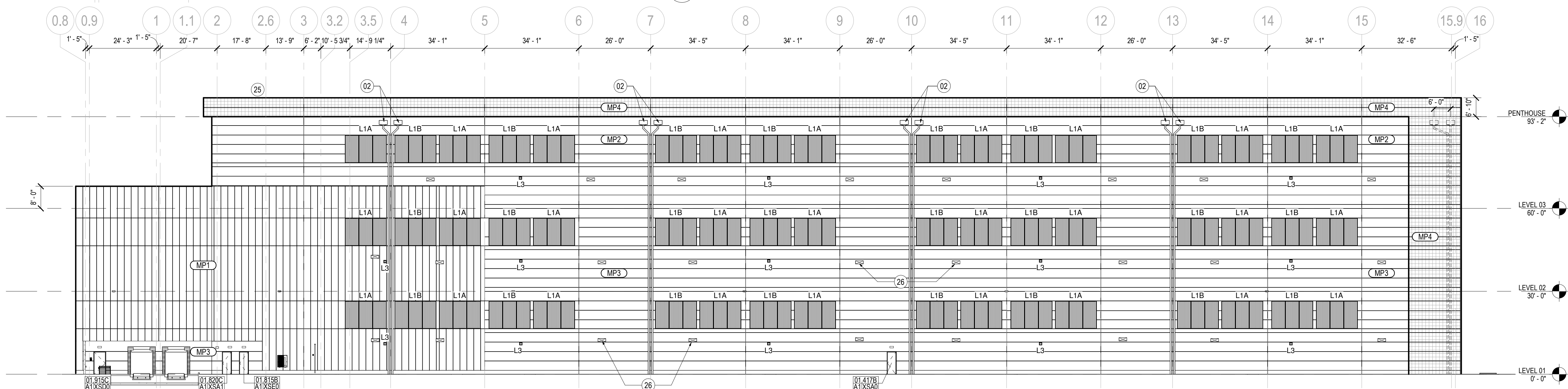
6. Use window and door type, proportion, and colors and materials to complement the overall architectural style of the building.
7. Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.

COLORS AND MATERIALS

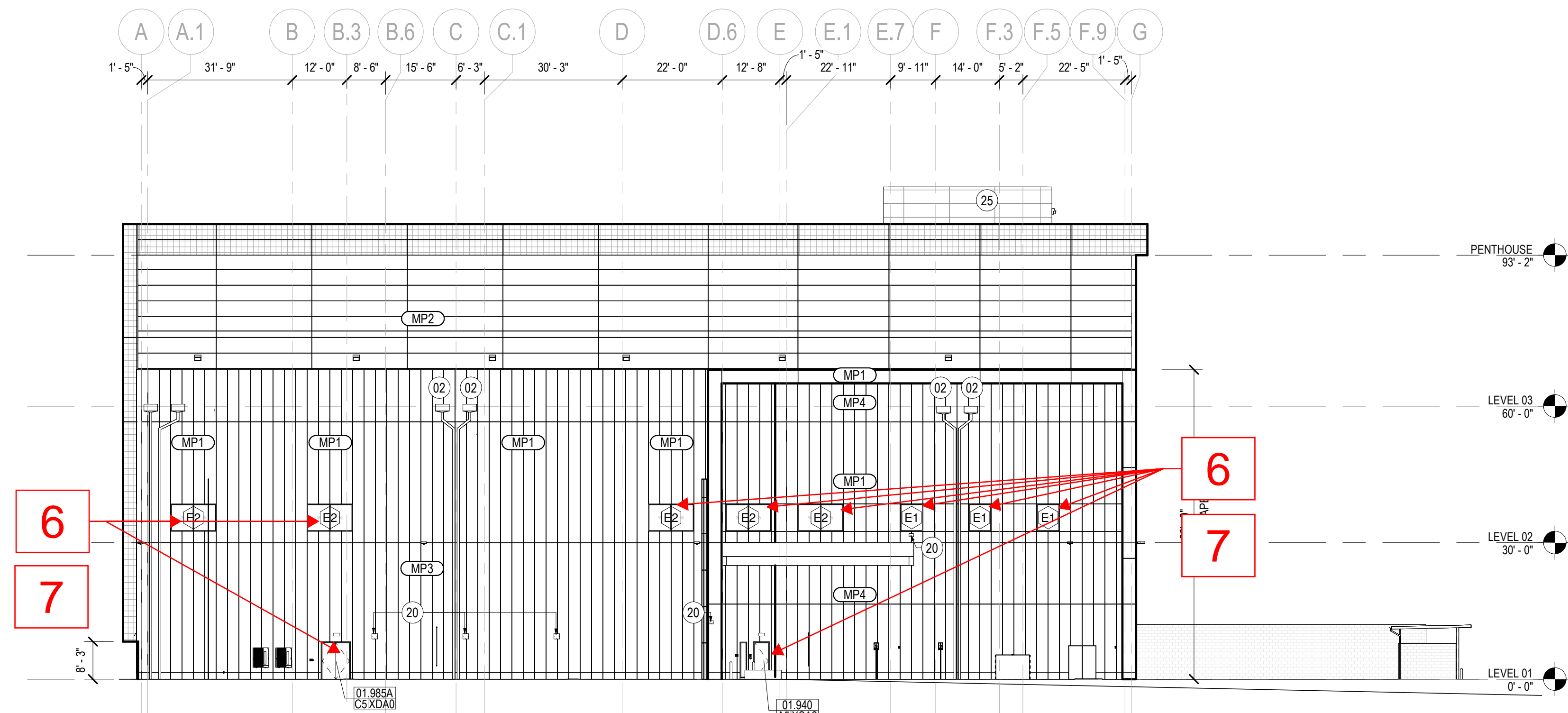
8. Select building colors and materials to reinforce building design, detailing, and architectural form in order to achieve harmony and continuity of the overall design.
9. Utilize accent colors for trim, windows, doors, and other key architectural elements, such as primary building entries, to add visual interest to a building.
10. Apply materials in a manner that corresponds to variation in building massing. Wrap outside corners to avoid a tacked-on appearance
11. Use durable and high quality materials on building exteriors, especially in areas near ground level.



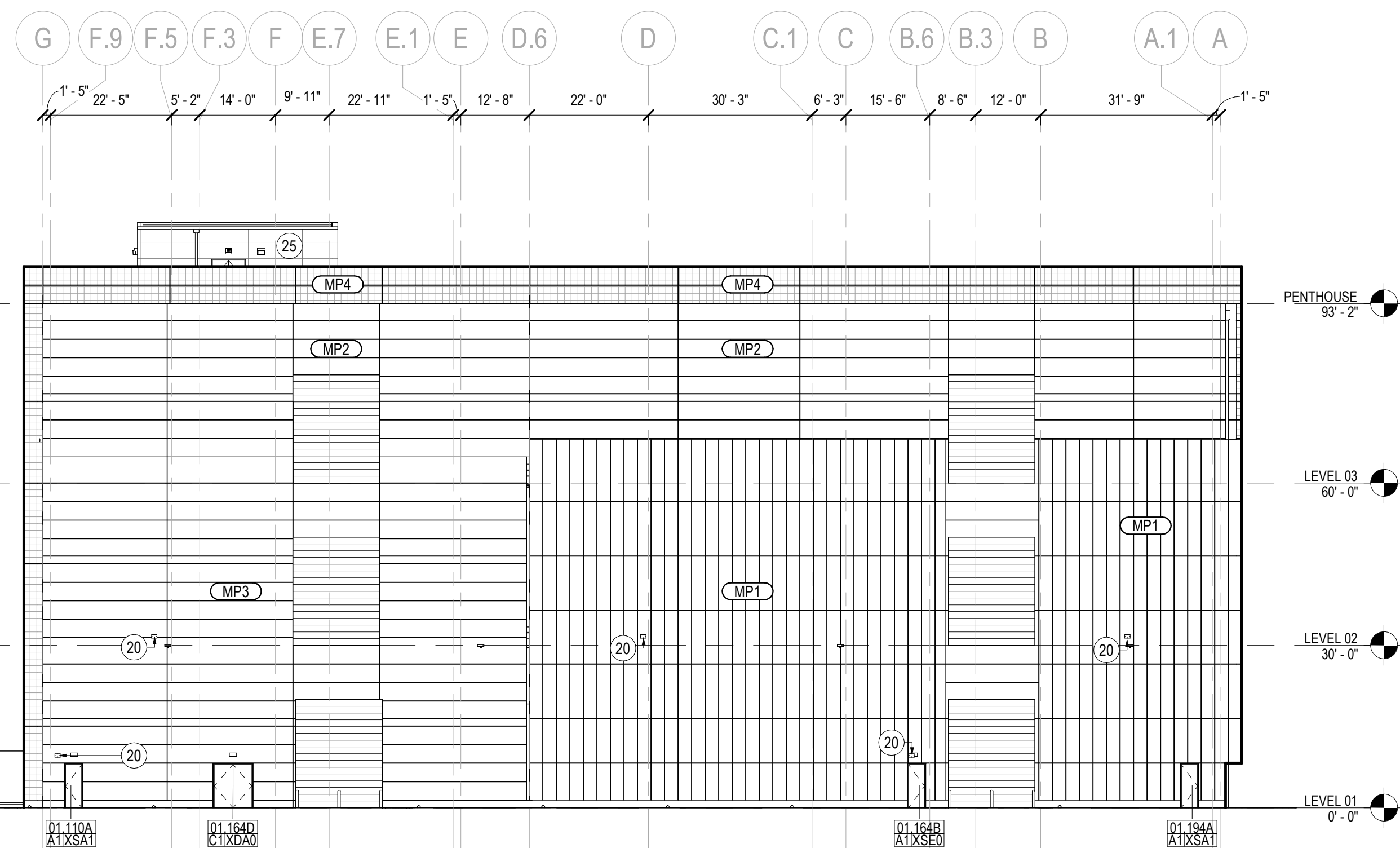
1 ARCHITECTURAL NORTH EXTERIOR ELEVATION



2 ARCHITECTURAL SOUTH EXTERIOR ELEVATION



3 ARCHITECTURAL WEST EXTERIOR ELEVATION



4 ARCHITECTURAL EAST EXTERIOR ELEVATION

SHEET NOTES - EXTERIOR ELEVATIONS

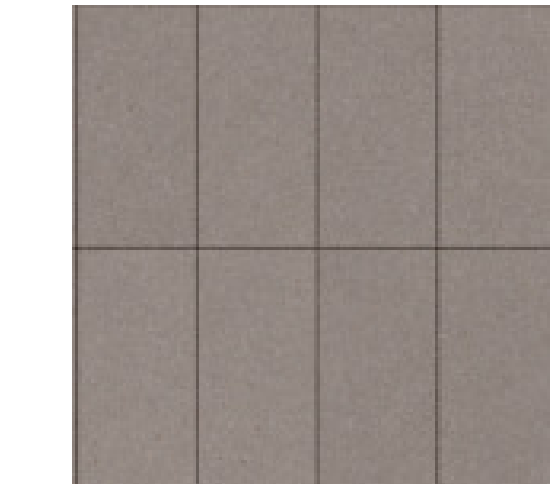
#	NOTE
01	THROUGH WALL SCUPPER AND DOWN BEHIND METAL PANEL. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS PREFINISHED TO MATCH ADJACENT LOUVER COLOR. TYP.
02	THROUGH WALL SCUPPER AND DOWN SPOUT. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS BELOW. PREFINISHED TO MATCH ADJACENT WALL COLOR. TYP.
03	DOCK SEAL. TYP.
04	WINDOW TYPE E1; RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
05	WINDOW TYPE E2; RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
06	EXTERIOR DOORS TO BE PAINTED TO MATCH COLOR OF WALL IN WHICH THEY OCCUR TYP.
07	METAL PANEL. SYSTEM REVEALS TYP.
08	BUILDING ENTRY STOREFRONT DOOR AND GLAZING.
09	LINE OF SCREEN WALL (DASHED), REFER TO PROVIDED ELEVATIONS FOR ADDITIONAL INFORMATION.
10	6" HIGH STEEL LETTERS, PIN MOUNTED TO TILT UP PANEL. PAINTED TO MATCH EPT3
11	WALL PACK EXTERIOR LIGHT FIXTURE, CENTER OVER DOOR OR OVER LOUVERS OR WITHIN PANEL, WHERE APPLICABLE; RE: ELECTRICAL DRAWINGS
12	METAL PANEL. TYPE 5 (TO BE DETERMINED)
13	WALL CUTOUTS TO BE COORDINATED WITH MEP.

11

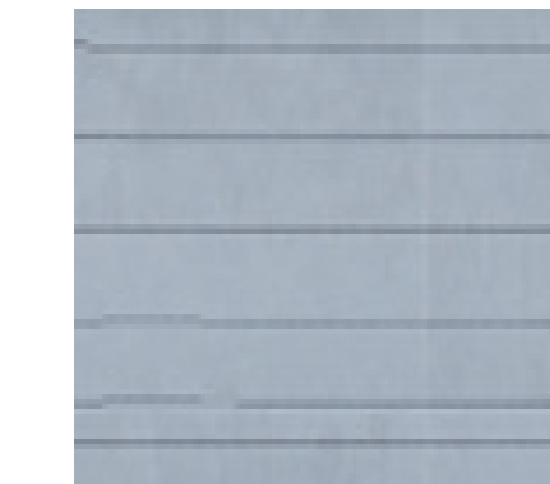
EXTERIOR FINISH LEGEND:

MP1	BOD: CENTRIA FORMA WALL DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL DARK BRONZE
MP2	BOD: CENTRIA FORMA WALL DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 200 DEEP BLUE SEA
MP3	BOD: CENTRIA FORMA WALL WHITE COLOR SMOOTH EXTERIOR TEXTURE 179 REGAL WHITE
MP4	BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL MEDIUM GRAY
MP5	BOD: CENTRIA PARADIGM METAL PANEL 9918 DOVE GRAY; 9989 PLATINUM SUNDACNE AM COATING; 9989 PLATINUM SUNDANCE MICA COATING

EXTERIOR FINISH LEGEND



MP1



MP2



MP3



MP4

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET
APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS
SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER
DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE
CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS
PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL
RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS
NOT EXHIBITING THIS SEAL.

ISSUE DATE: PROJECT NO: 25691.000
DESIGNED: HKS ARCHITECT: HKS
MARK DATE DESCRIPTION

CONFIDENTIAL INFORMATION
THIS DRAWING/DRAWINGS AND ALL DESIGNS, DETAILS,
INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED
THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY
OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL
RIGHTS IN THIS DRAWING/DRAWINGS. COPYING,
REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD
PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS
EXPRESSLY AUTHORIZED IN WRITING.

MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

HKS
KIMLEY-HORN
ANTHONY VERA
(920) 398-4840
4637 Chabot Drive
Suite 300
Pleasanton, California 94588

ARCHITECT

HKS
DUTCH WICKES
(214) 969-5599
350 N. Saint Paul Street, Suite 100
Suite 5300 Chicago,
Dallas, Texas 75201

TELECOM ENGINEER

ESD GLOBAL
GUIDEPOST
TODD GRIMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER

ESD GLOBAL
REY BERNARDINO
(312) 551-8612
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

STRUCTURAL ENGINEER

HKS
CLINT NASH
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

FIRE PROTECTION ENGINEER

ESD GLOBAL
MICHAEL PARAS
(312) 372-1200
233 South Wacker Drive
Suite 5300 Chicago,
Dallas, Texas 75201

SECURITY ENGINEER

GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL EXTERIOR ELEVATIONS

DRAWING:

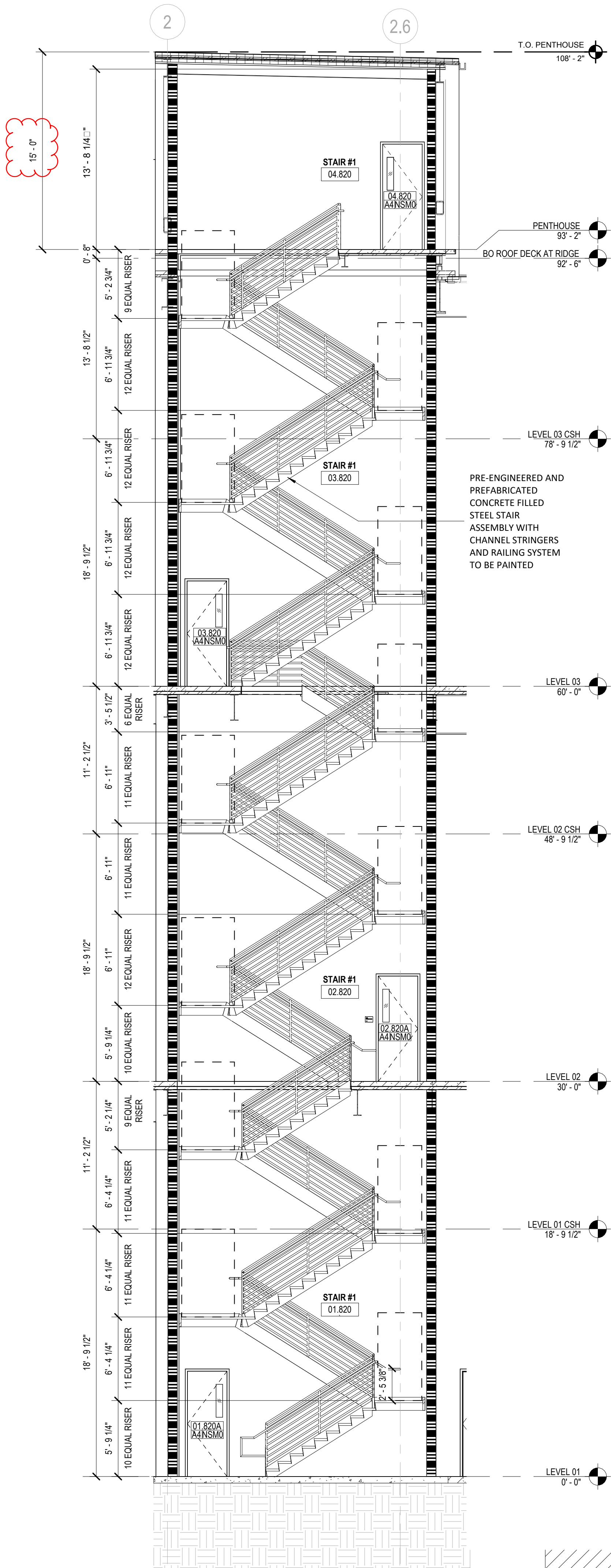
A600

E1

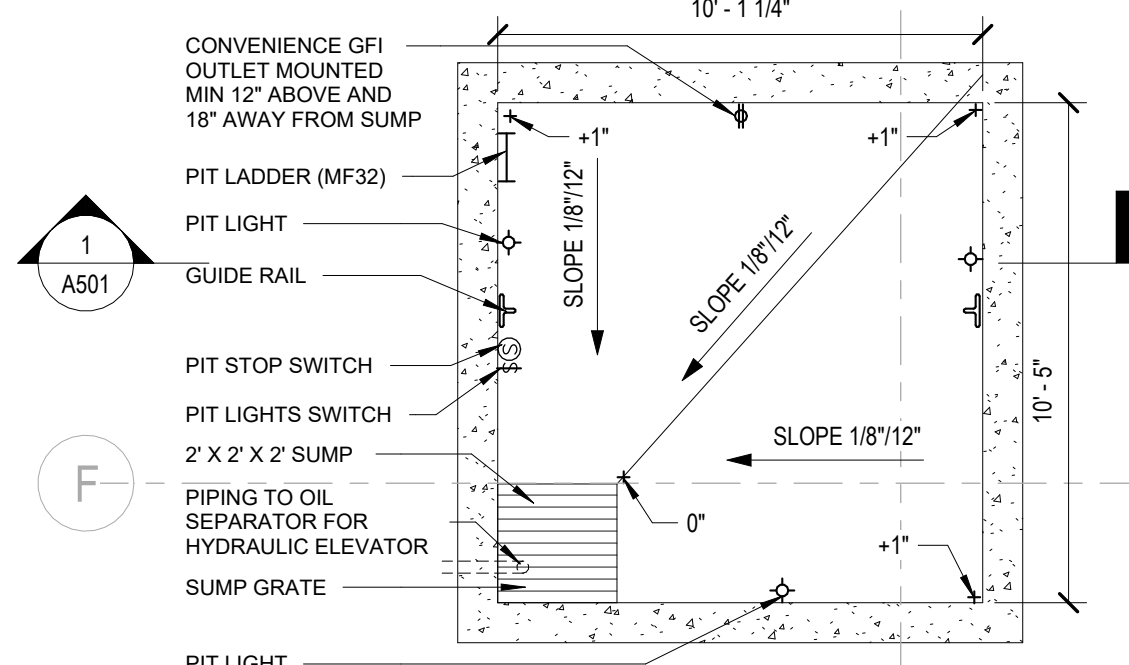
SCALE: As indicated

AGLE No:

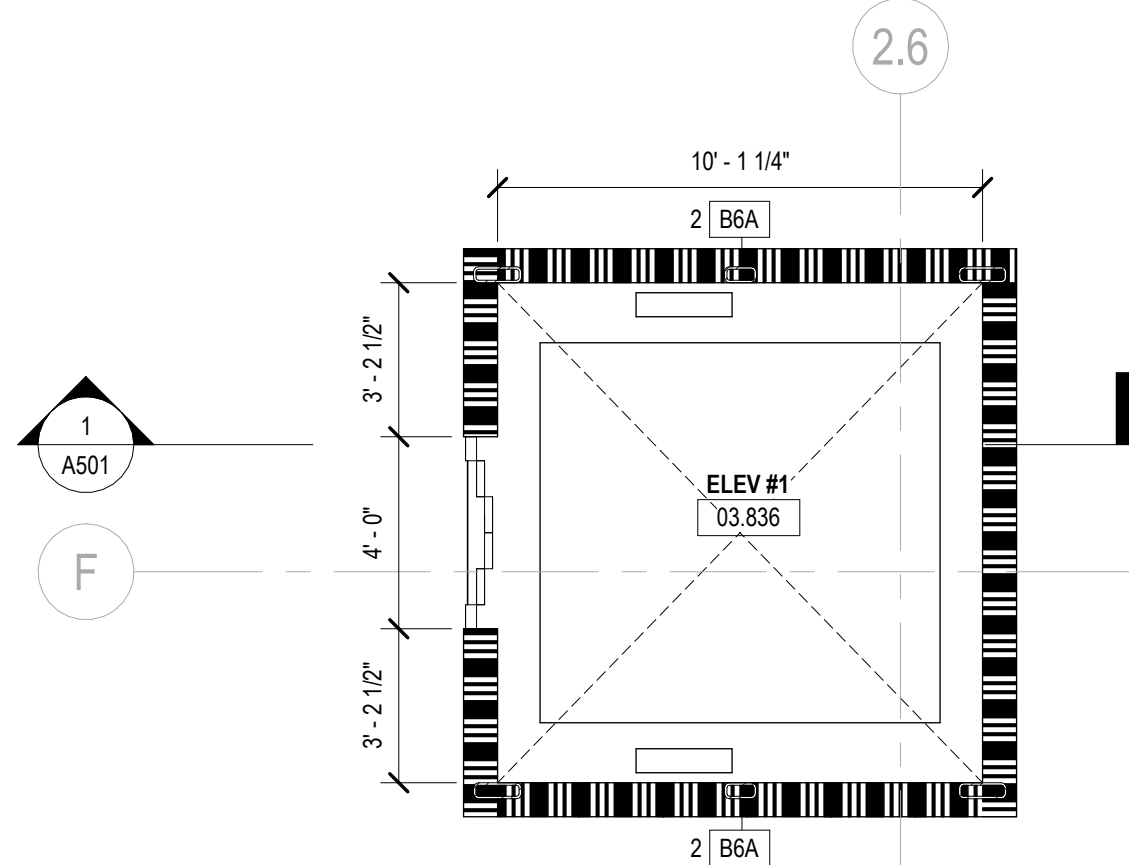
REV:



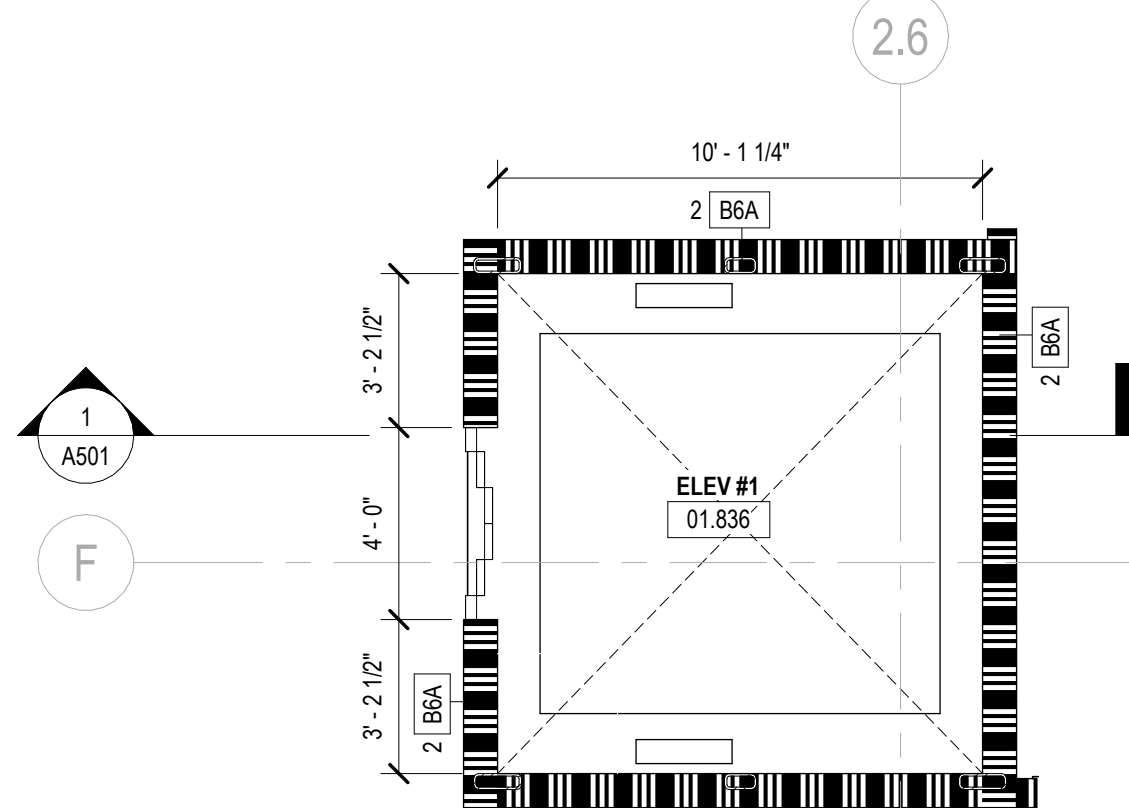
2 SECTION - STAIR #1
A501 3/16" = 1'-0"



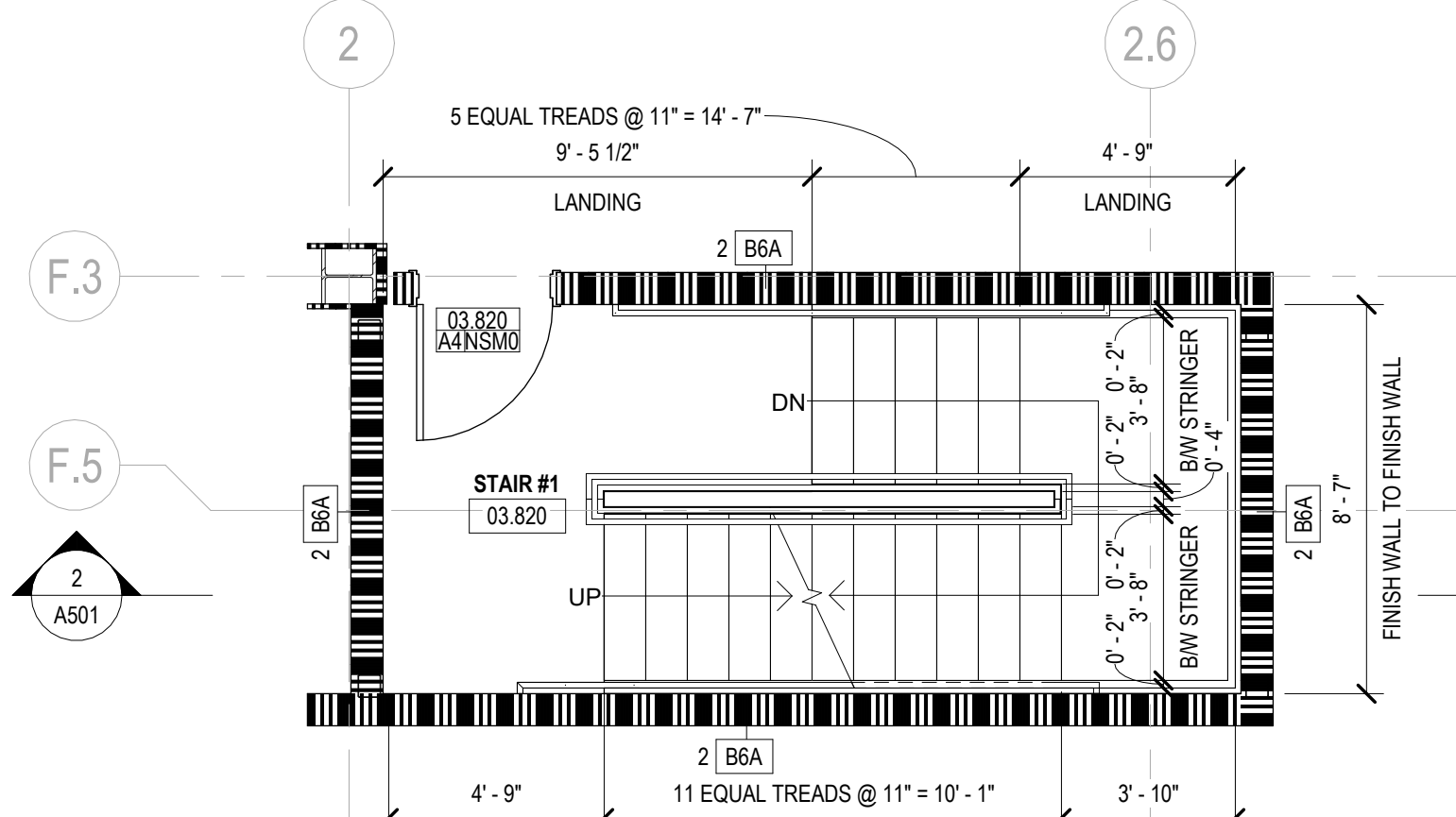
12 ENLARGED PLAN - ELEVATOR #1 - PIT PLAN
A501 1/4" = 1'-0"



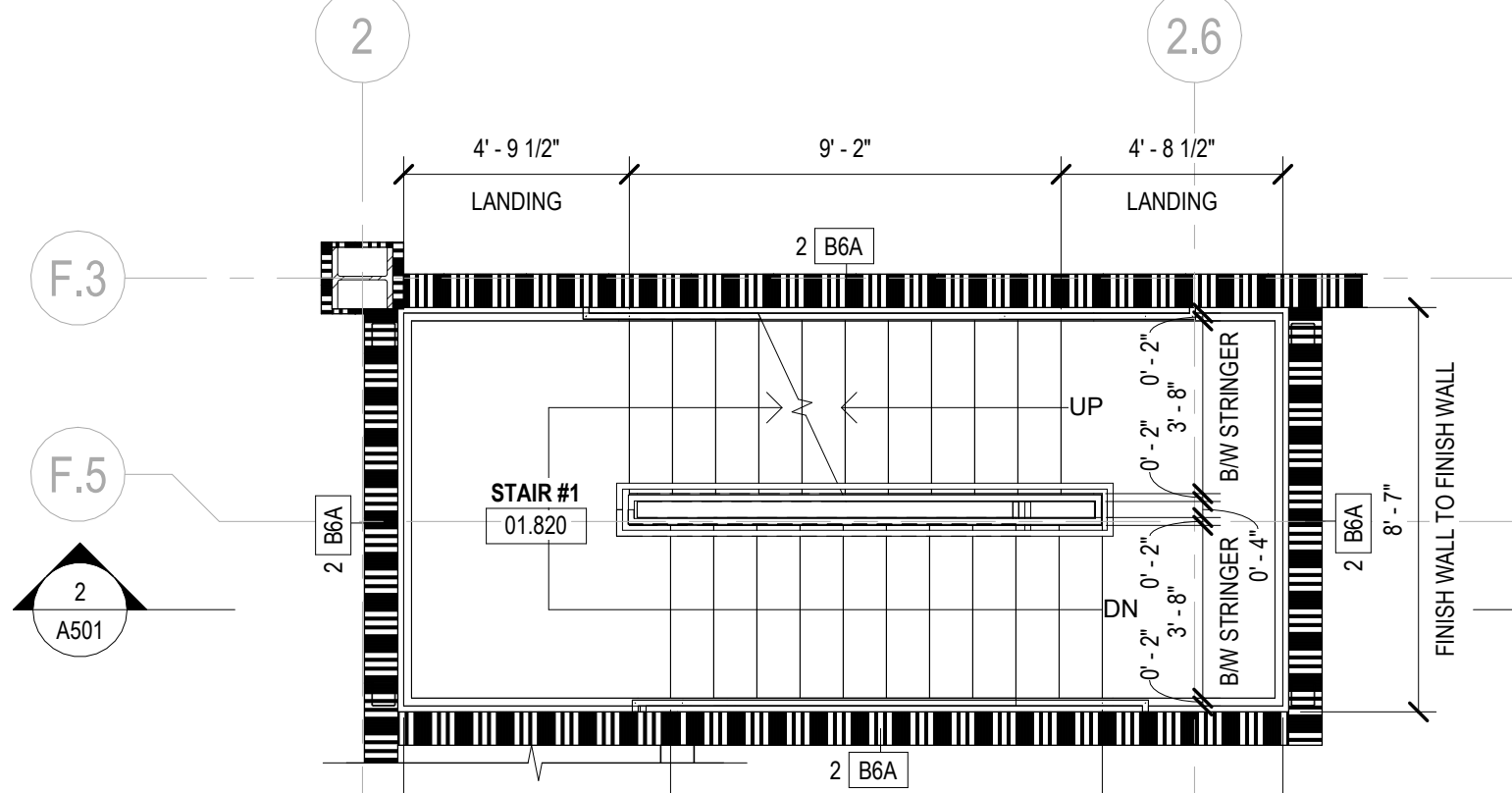
5 ENLARGED PLAN - ELEVATOR #1 - LEVEL 03
A501 1/4" = 1'-0"



9 ENLARGED PLAN - ELEVATOR #1 - LEVEL 01
A501 1/4" = 1'-0"



6 ENLARGED PLAN - STAIR #1 - LEVEL 03
A501 1/4" = 1'-0"



10 ENLARGED PLAN - STAIR #1 - TYPICAL CSH
A501 1/4" = 1'-0"



DRAWING: A501			
E1	SCALE: As indicated	AGILE No:	REV: C

SVY03A

TOTAL FOOTPRINT		
BUILDING A	105,750	SF
GEN YARD	55,150	SF
TOTAL	160,900	SF

GFA		
LEVEL 01	105,750	SF
LEVEL 02	105,750	SF
LEVEL 03	98,960	SF
TOTAL	310,460	SF
GEN YARD	55,150	SF
TOTAL(DH + GEN. YARD)	365,610	SF

ROOMS
DATA HALL + DAHU
ELECTRIC ROOMS
OFFICE/LOBBY
STORAGE
STAIRS +LIFT WELL+SHAFTS

SVY03B

TOTAL FOOTPRINT		
BUILDING B	15,254	SF

GFA		
BUILDING C	15,254	SF

SVY03C

TOTAL FOOTPRINT		
BUILDING C	1,605	SF

GFA		
BUILDING C	1,605	SF

SITE

Landscaped Area	165,557	SF
Total Open Space	68,945	SF
Substation SVY03S1 Area	23,210	SF
Switching Station	25,800	SF
Lot Coverage	500,287	SF

Parking Requirements		
	57	Spaces
	6	ADA
Total	63	Spaces

Bike Requirements		
Long Term	3	EA
Short Term	2	EA
Total	5	Total

SVY03A AREA BREAKDOWN

LEVEL 01	LEVEL 02	LEVEL 03	PENTHOUSE	TOTAL	
69,278	65,809	62,519	0	197,606	SF
16,776	16,776	16,772	0	50,324	SF
13,100	14,379	7,261	0	34,740	SF
2,423	1,070	1,183	0	4,676	SF
4,148	7,691	11,215	884	23,938	SF
105,725	105,725	98,950	884	311,284	