



PERSPECTIVE VIEW



PERSPECTIVE VIEW

PROJECT ADDRESS
26062 EDEN LANDING ROAD HAYWARD, CA 94545
PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

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ISSUE DATE: PROJECT NO: 25691.000
DESIGNED: HKS ARCHITECT: HKS
MARK DATE DESCRIPTION

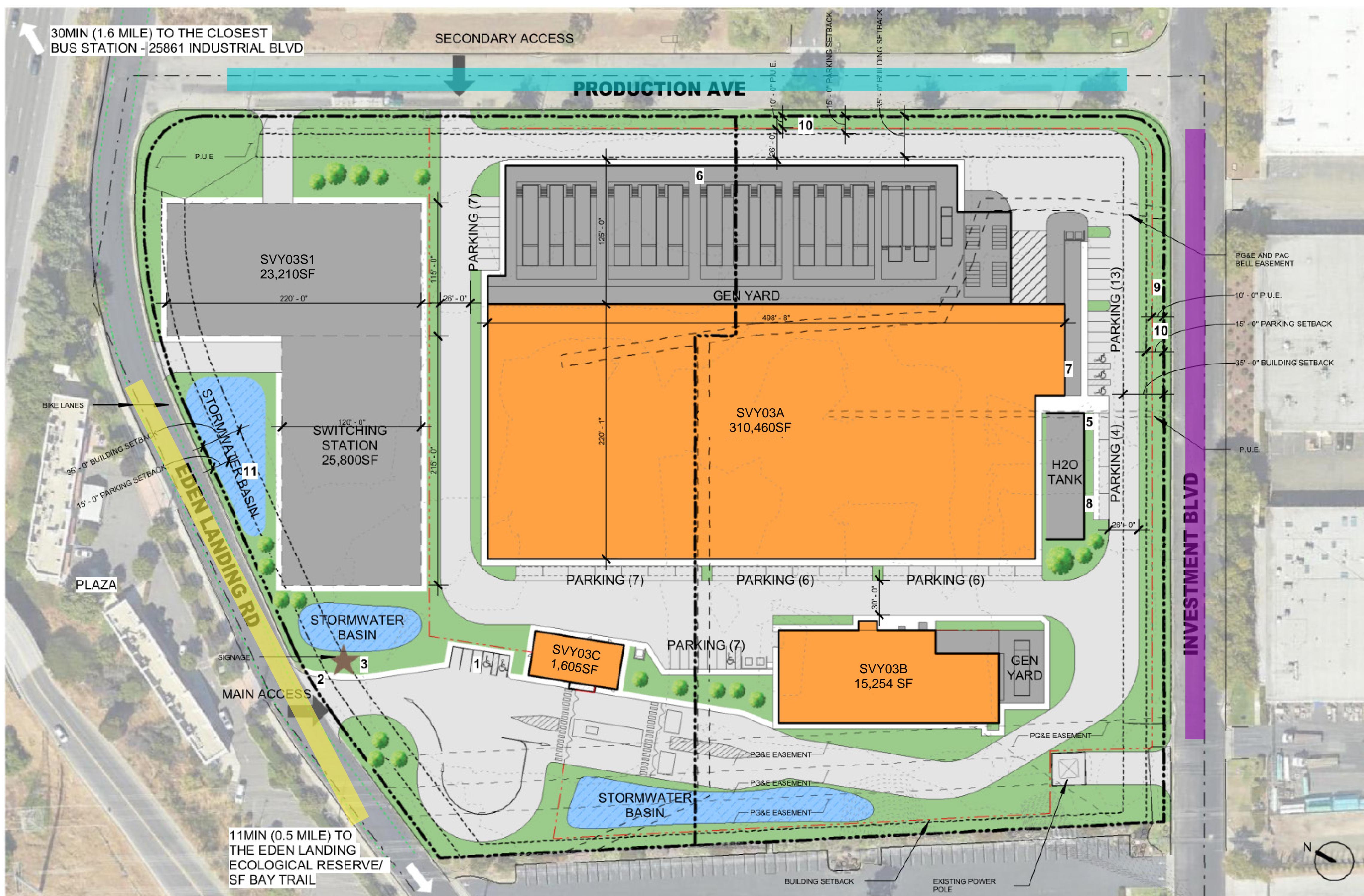
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315 Montgomery Street
10th Floor
San Francisco, California 94104
PROJECT: BUILDING A SHELL
TITLE: ARCHITECTURAL ELEVATION
DRAWING: A608

E1 SCALE: AGILE No: REV:
PDF VERSION: OPT0021
PRINT DATE: 2/1/2024 1:36:37 PM

SITE PLAN



FAR: 0.67

REQUIRED PARKING: 182 Spaces
PARKING PROVIDED: 64 Spaces
% LANDSCAPE: 33%

SVY03 STACK HAYWARD DATA CENTER

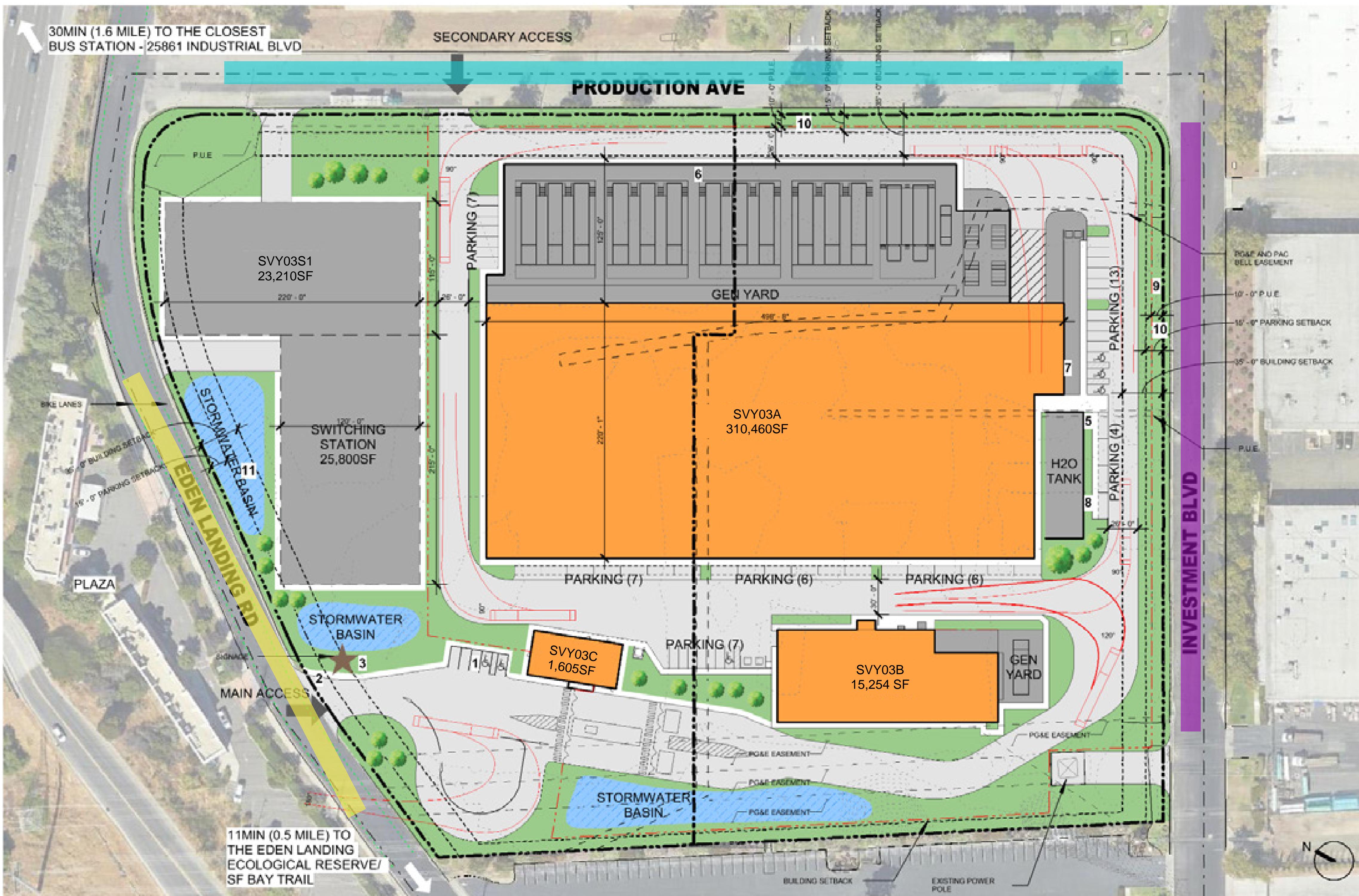
SITE PLAN - WB67 TURNING



PRODUCTION AVE



<divED[[{"text": "EDEN LANDING RD"}]]



<div



INVESTMENT BLVD

PRECEDENCE - STACK PROJECTS



MATERIALS: METAL PANELS
GLAZING: TINTED
COLORS: LIGHT GREY, WHITE



MATERIALS: METAL PANELS, CONC PANELS
GLAZING: SPANDREL, TINTED
COLORS: SILVER, WHITE, DARK ACCENTS



MATERIALS: METAL PANELS
GLAZING: SPANDREL, TINTED
COLORS: GREY, BLUE, DARK ACCENTS



MATERIALS: METAL PANELS, CONC PANELS
GLAZING: SPANDREL, TINTED
COLORS: SILVER, BEIGE, BROWN ACCENTS

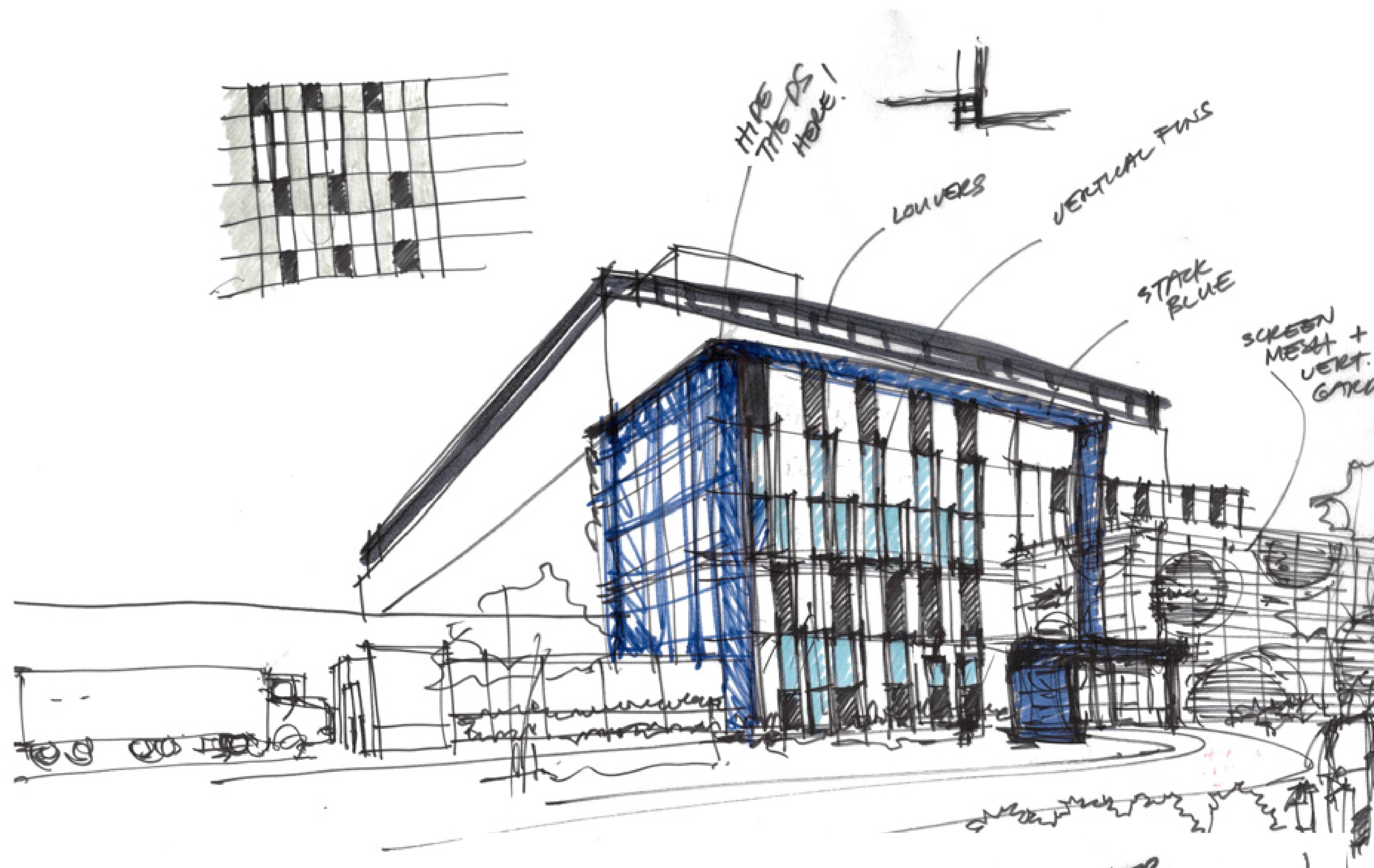


MATERIALS: METAL PANELS
GLAZING: TINTED
COLORS: GROWN, LIGHT GREY, WHITE

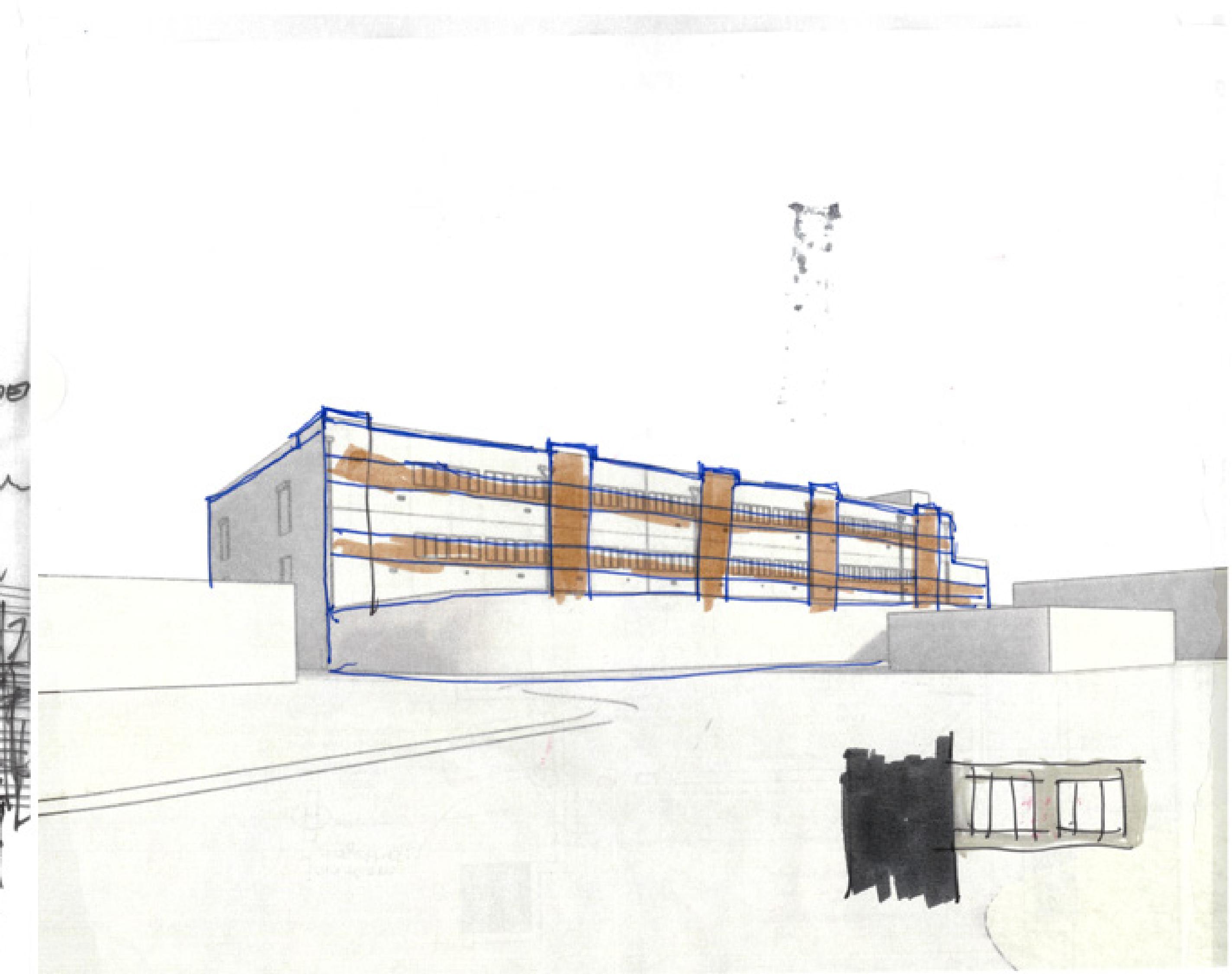


MATERIALS: METAL PANELS
GLAZING: SPANDREL, TINTED
COLORS: GOLD, SILVER

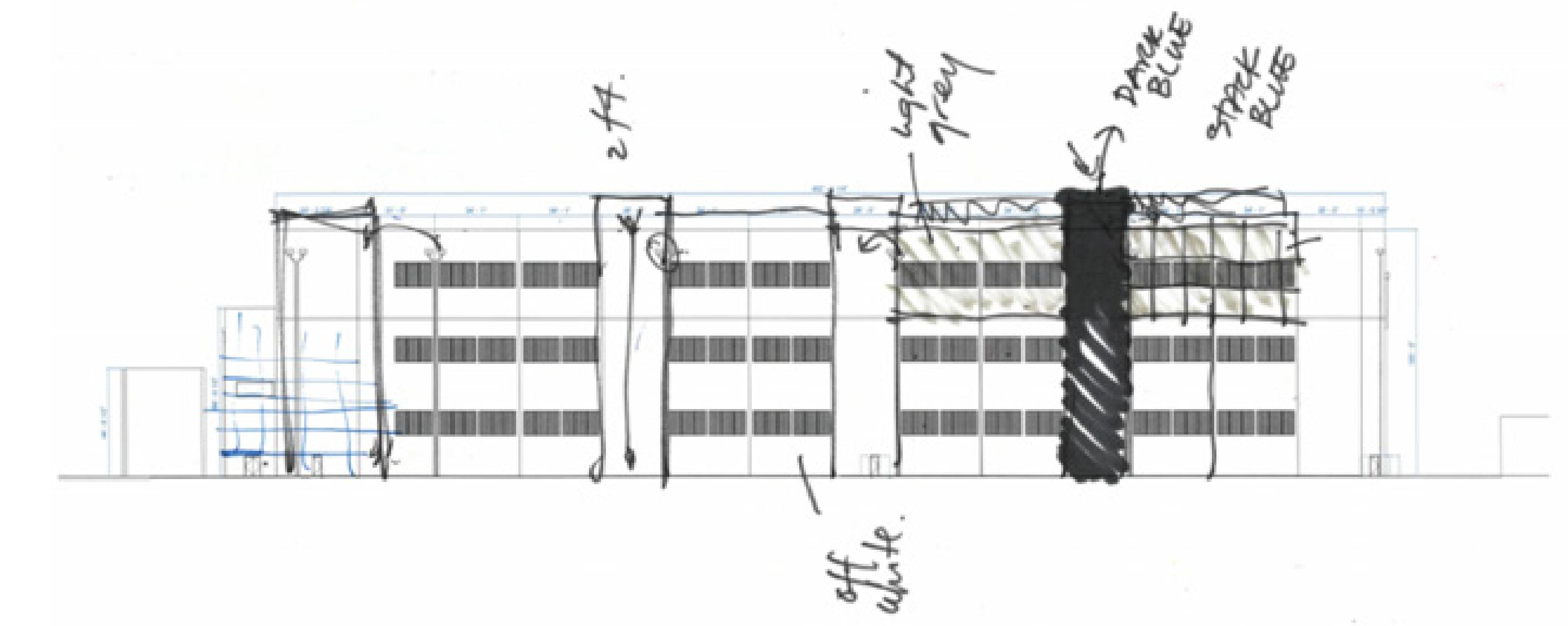
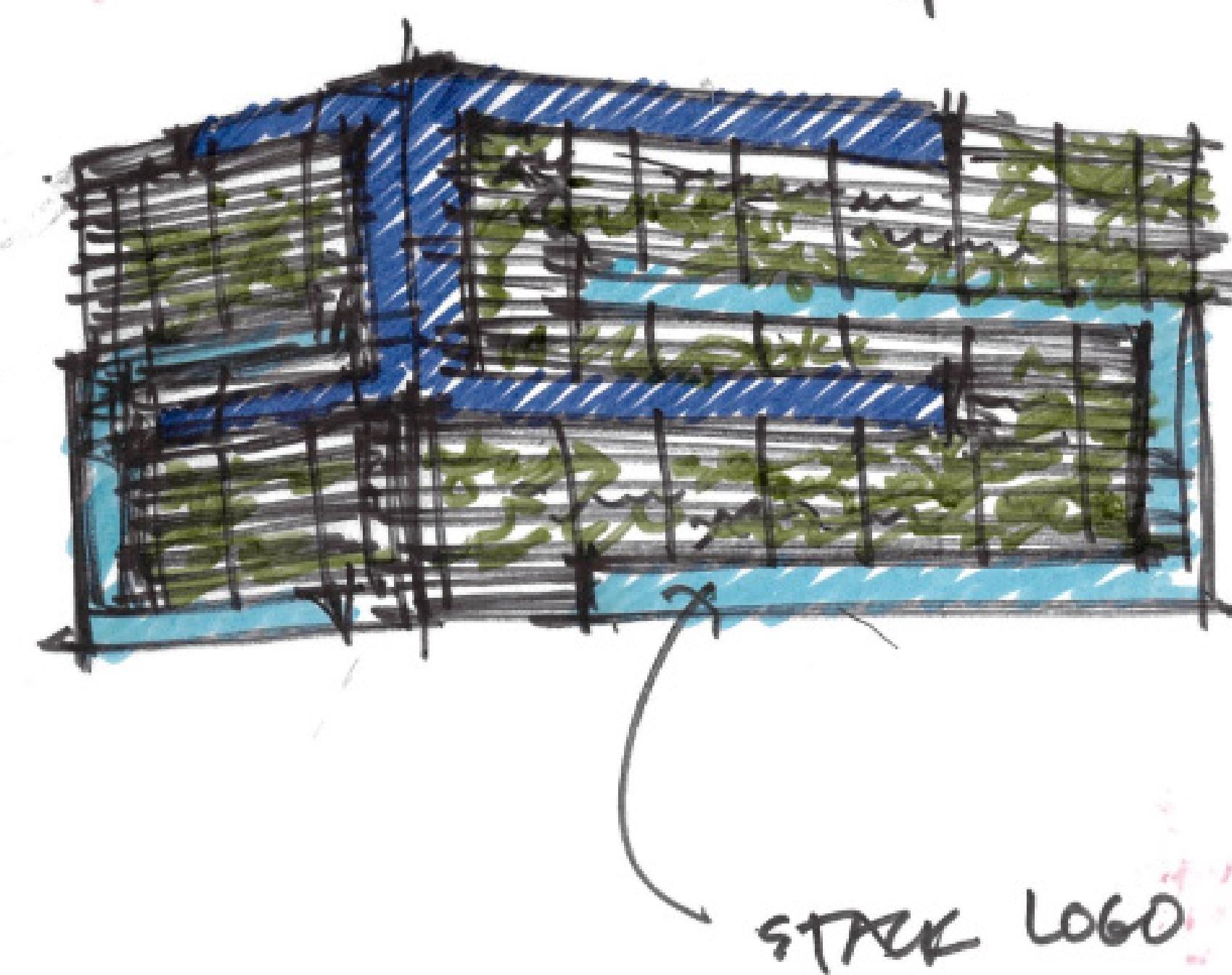
CONCEPT SKETCHES



- ACCENTUATE AND FRAME OFFICE VOLUME
- REINTERPRET SCREEN WALL INTO FEATURE WALL
- IDENTIFY AND CREATE ENTRY PORTAL
- ARTICULATE WALL WITH PATTERN AND GLAZING



- ARTICULATE DATA HALL WALL WITH METAL PANELS
- ACCENTUATE HORIZONTAL LOUVERS
- CREATE AND ARTICULATE PATTERN TO CREATE COHESIVE DESIGN LANGUAGE



CONCEPT STUDY - ENTRANCE VIEW



COLOR CONSIDERATIONS



LIGHT BLUE LIGHT GREY LIGHT GREY

MATERIAL CONSIDERATIONS



PERFORATED SCREEN



ARCHITECTURAL LOUVERS



CONCRETE PANEL



METAL PANEL

HAYWARD DESIGN GUIDELINES:

1 Incorporate architectural features such as awnings, canopies, trellises, and/or other treatments such as vertical architectural features or unique building colors or materials to clearly identify primary building entries.



2 Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.



3 Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting,etc.



SVY03 STACK HAYWARD DATA CENTER

CONCEPT STUDY - DATA HALL VIEW



HAYWARD DESIGN GUIDELINES:

④ Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height. In general, building wall planes visible from public street should not continue for more than 50 feet without a change in building wall plane direction of 2 feet or more



⑤ Articulation and detailing continue on side elevation through use of windows, awnings, and other detailing



⑥ Provide screening for mechanical and electrical equipment as an integral part of roof structure design.



PERFORATED SCREEN



ARCHITECTURAL LOUVERS



CONCRETE PANEL



METAL PANEL

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE A:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF HAYWARD, IN THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

Parcel One-A:
Parcel One of Parcel Map No. 660, filed January 8, 1971, in Book 64, Page 100 of Maps, Alameda County Records.
Parcel One-B:
Being a portion of Production Avenue as dedicated, accepted, and shown on that certain map of Tract 2898 Eden Landing Industrial Park filed June 30, 1967, in Book 55 of Maps at Page 25, Alameda County Records, more particularly described as follows:
Beginning at a point lying on the Westerly line of said Production Avenue, said point being the Northwest terminus of that certain course shown as North 31°37'51" East 75°04'13" E on said map;
Thence along said Westerly line of Production Avenue the following four (4) courses, last said line being coincident with the general Northerly line of Parcel 1, as shown on Parcel Map 660, filed January 8, 1971, in Book 64 of Parcel Maps of Page 100, Alameda County Records;
1. South 67°43'45" West 40.00 feet;
2. North 62°21'43" West 63.60 feet;
3. North 30°56'51" West 16.37 feet;
4. North 01°43'39" East 29.23 feet along last said line to the Southerly line of Eden Landing Road as described in the Relinquishment of Highway Right of Way in the County of Alameda, Road 04-ALA-92-3.4-4.5 Request No. 31413 recorded January 25, 1968 on Reel 2114 at Image 872, Official Records of said County;
5. Thence North 61°31'18" East 8.94 feet along last said line to the beginning of a curve concave Southerly and having a radius of 49.56 feet;
6. Thence Easterly and Southeasterly 75.03 feet along said curve through a central angle of 86°50'51" to the prolongation of said Westerly line of Production Avenue;
7. Thence South 13°37'51" East 52.05 feet along last said line to the Point of Beginning;
As recorded in the City of Hayward in Resolution No. 19-041 recorded March 12, 2019 Instrument No. 2019041285, of Alameda County Records.
APN: 461-0085-052-01

Parcel Two:
Parcel 2 of Parcel Map No. 660, filed January 8, 1971, in Book 64, Page 100 of Maps, Alameda County Records.
APN: 461-0085-016-00

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE B, SECTION II:

Numbers correspond with survey-related Schedule B exception items contained in the above referenced Title Commitment.

7. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: December 19, 1910
Recording No.: Book 1844 of Deeds, Page 278
Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660 filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

8. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: March 5, 1958
Recording No.: Book 8611, Page 323, of Official Records
Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660, filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

9. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: March 5, 1958
Recording No.: Book 8611, Page 325, of Official Records
Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660, filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

10. A waiver of any claims for damages by reason of the location, construction, landscaping or maintenance of a contiguous freeway, highway or roadway, as contained in the Document Records November 27, 1963, Book/Reel 1055, Page/Image 981, Official Records.
(BENEFITS THE SUBJECT PROPERTY - AREA DESCRIBED IS WITHIN THE CURRENT DEDICATED RIGHT-OF-WAY OF EDEN LANDING ROAD)

11. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: May 22, 1967
Recording No.: Reel 1967, Image 510, of Official Records
Affects: Portion of Parcel Two, and as shown on Parcel Map 660, filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

12. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document

Recording Date: June 30, 1967
Recording No.: Reel 1991, Image 793, of Official Records

Modification(s) of said covenants, conditions and restrictions

Recording Date: March 30, 1973
Recording No.: Reel 3378, Image 850, of Official Records

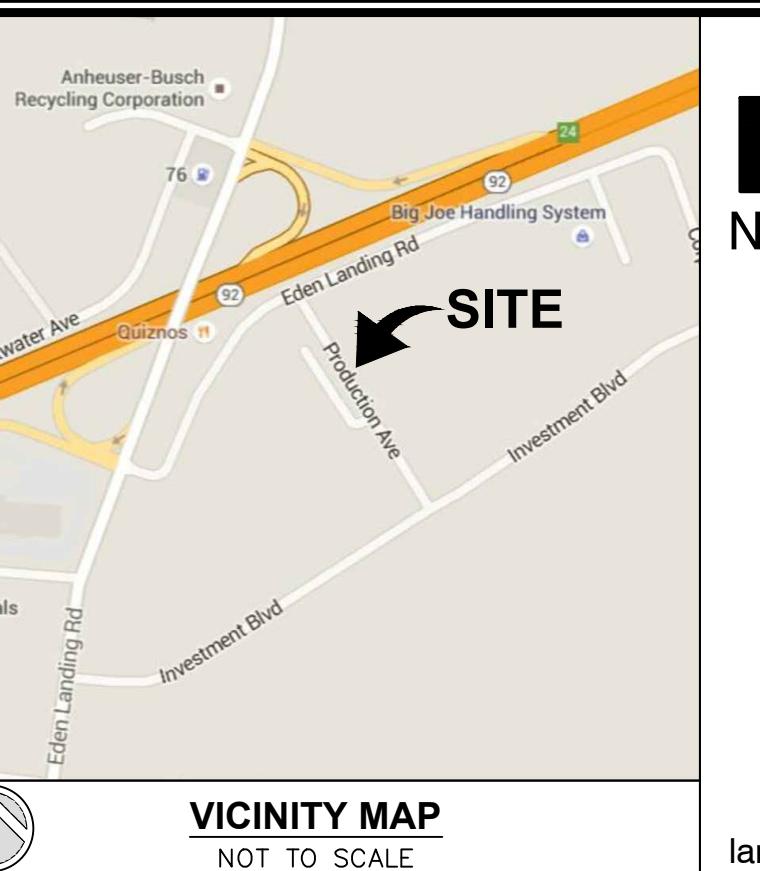
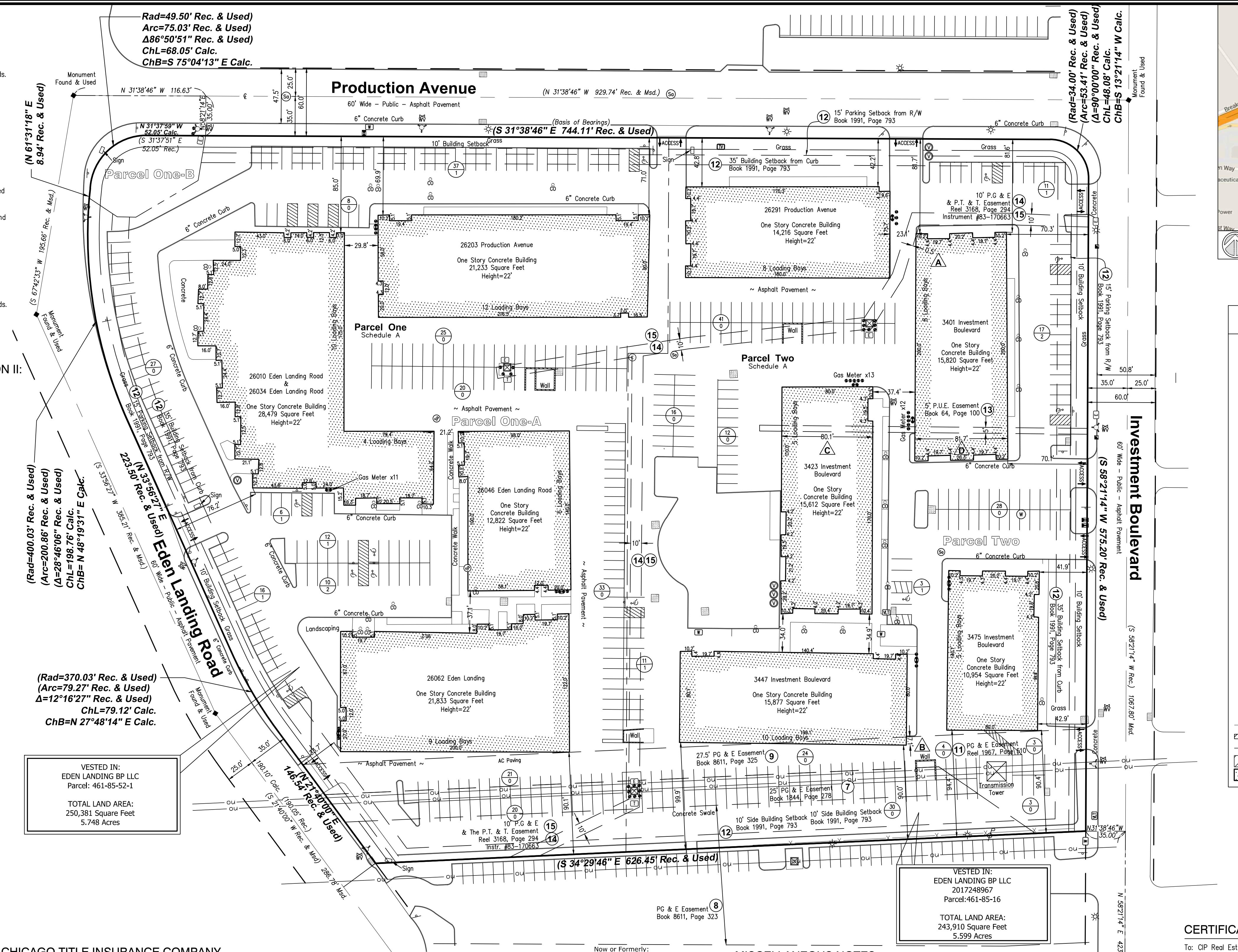
Modification(s) of said covenants, conditions and restrictions

Recording Date: May 18, 1973
Recording No.: Reel 3420, Image 499, of Official Records

(Affects Parcels One and Two)
(AFFECTS THE SUBJECT PROPERTY AS TO BUILDING AND PARKING SETBACKS - PLOTTED AND SHOWN HEREON)

13. Easement(s) for the purpose(s) shown below and rights incidental thereto as delineated or as offered for dedication, on the map of said tract/plot;

Purpose: Public utilities
Affects: Portion of Parcels One and Two, as shown on Parcel Map 660, filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)



SYMBOL LEGEND	
€	Centerline
Ⓐ	Surveyor's Observation
⊖	Schedule B-Section II Item
Rod	Rod
Arc	Arc
Δ	Delta Length
CHL	Chord Length
ChB	Chord Bearing
Calc.	Calculated
Msd.	Measured
Rec.	Record
■	Monument in Monument Box Found As Noted
XX	No. of Regular Parking Spaces
YY	No. of Handicap Parking Spaces
⊖	Cable TV Vault
⊖	Curb Inlet Basin w/ Grate
⊖	Catch Basin
⊖	Cleanout
⊖	Sanitary Manhole
⊖	Fire Hydrant
⊖	Water Valve
⊖	Water Meter
⊖	Water Manhole
⊖	Water Vault
⊖	Gas Meter
⊖	Electric Transformer
⊖	Electric Vault
⊖	Telephone Pedestal
⊖	Telephone Vault
⊖	Irrigation Valve
⊖	Utility Vault
⊖	Bollard Post
⊖	Handicap Space
⊖	Sign
⊖	Light Pole
⊖	Chainlink Fence
⊖	Wall (As Noted)
⊖	Overhead Utilities
⊖	No Parking Area
⊖	Building Area

ALTA/NSPS LAND TITLE SURVEY PREPARED FOR:

CIP Real Estate
19762 MacArthur Boulevard
Suite 300
Irvine, California 92612

26010, 26034, 26046 & 26062 Eden Landing Road; 3401, 3423, 3447 & 3475 Investment Boulevard; 26203 & 26291 Production Avenue
City of Hayward
County of Alameda
State of California

NORTH
GRAPHIC SCALE
0 50' 100'
1 INCH = 50 FT.

PRELIMINARY FOR REVIEW ONLY
Surveyor's Seal

Sheet No. 1 of 1

MSI Project No. 49336
Prior MSI Project No. 41841

PC: ERF
PM: PWC
Drafter: KHD

millman
National Land Services
Transforming the Industry
Surveying
Zoning
Environmental
Real Support - Title Review
Millman Surveying, Inc.
Corporate Headquarters
4111 Bradley Circle NW
Canton, OH 44718
Phone: 800-520-1010
Fax: 330-342-0834
www.millmanland.com
landsurveyors@millmanland.com

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE B, SECTION II:

14. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: March 5, 1958
Recording No.: Book 8611, Page 323, of Official Records
Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660, filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

15. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: The Pacific Telephone & Telegraph Company
Purpose: Public Utilities
Recording Date: September 15, 1963
Recording No.: Reel 170653, of Official Records
Affects: Portion of Parcels One and Two, whose exact location cannot be determined by record.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

16. Easement(s) for the purpose(s) shown below and rights incidental thereto, as delineated or as offered for dedication, on the map of said tract/plot;

Purpose: Public utilities
Affects: Portion of Parcels One and Two, as shown on Parcel Map 660, filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

MISCELLANEOUS NOTES:

1. There is direct access to the subject property via Investment Boulevard, Production avenue and Eden Landing Road, all being public roads of the County of Alameda.
2. The locations of all utilities shown on the survey are from visible surface evidence only.
3. The posted address on site is 26010, 26034, 26046 & 26062 Eden Landing Road; 3401, 3423, 3447 & 3475 Investment Boulevard, 26203 & 26291 Production Avenue, Hayward, California.
4. At the time of this survey, there was no observable surface evidence of earth moving work, building construction or building additions within recent months.
5. At the time of this survey, there was no observable evidence of the subject property being used as a solid waste dump, sump or sanitary landfill.
6. At the time of this survey, there was no observable evidence of any recent changes in street right-of-way lines either completed or proposed, and available from the controlling jurisdiction.
7. At the time of this survey, there was no observable evidence of any recent street or sidewalk construction or repairs.
8. At the time of this survey, no party walls were observed.
9. The terms and provisions contained in the Document Entitled "Relocation Agreement" Recorded June 20, 1997, as Instrument No. 97-154100, of Official Records.
10. The property surveyed and shown herein is the same property described in Schedule A of Chicago Title Company (issuing agent for Chicago Title Insurance Company) Preliminary Report No. 15607853-156-TJK-JM, Effective Date: February 18, 2021.

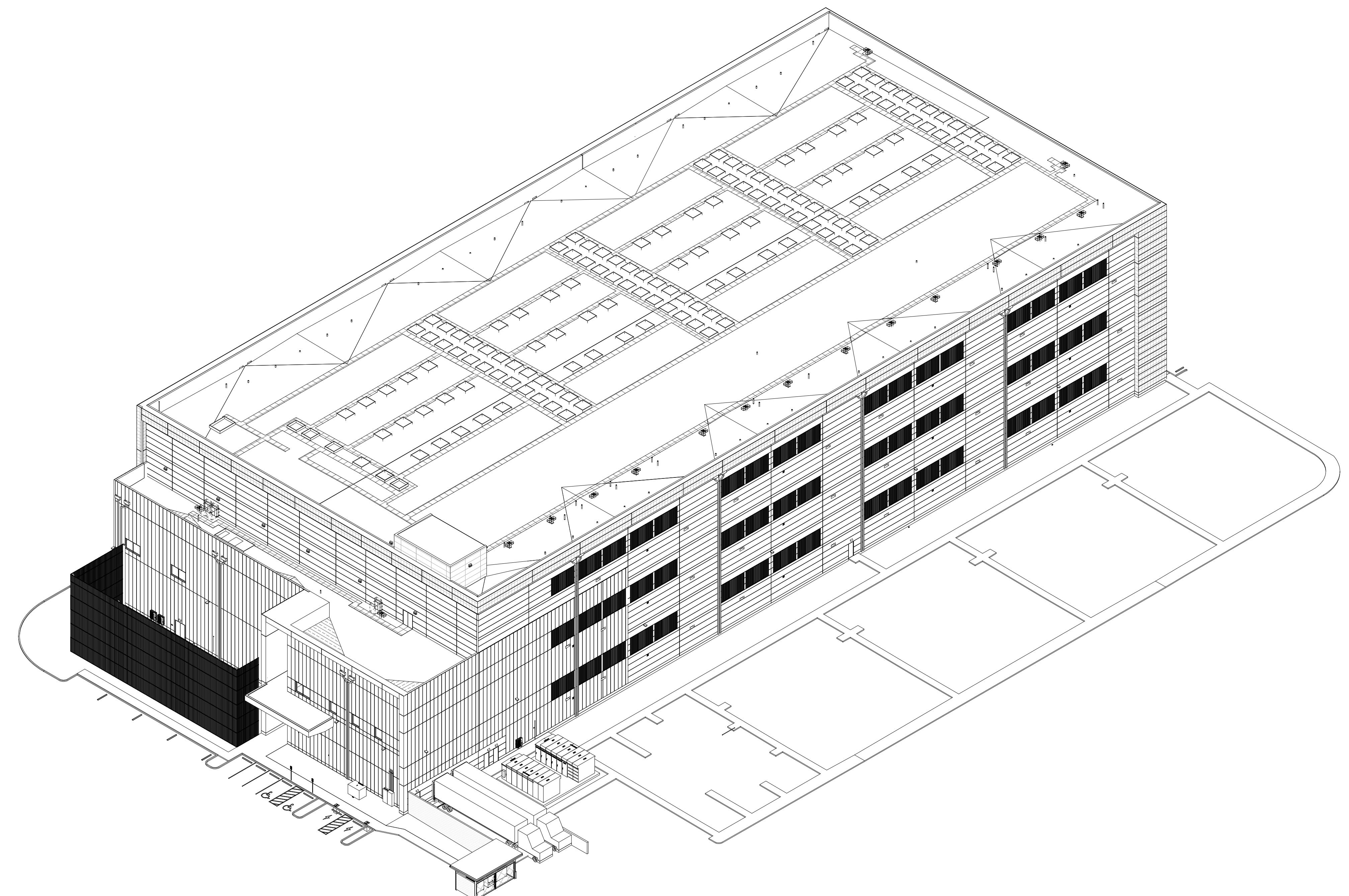
SURVEYOR'S OBSERVATIONS:

Subject's Building appears to lie a maximum distance of 0.5 feet over the 10' P.G. & E. and P.T. & E. Easements recorded in Reel 3168, Page 294, and in Instrument #83-170663 of Alameda County Records.
Subject's Building appears to lie a maximum distance of 7.1 feet over the 27.5' P.G. & E. Easement recorded in Book 8811, Page 325 of Alameda County Records.
Subject's Building appears to lie a maximum distance of 80.1 feet over the 5' P.U.E. Easement, recorded in Book 64, Page 100 of Alameda County Records.
Subject's Building appears to lie a maximum distance of 81.7 feet over the 5' P.U.E. Easement, recorded in Book 64, Page 100 of Alameda County Records.

By: S. Craig Davis, PLS
Licensed Land Surveyor No. 6262
within the State of California
For and on behalf of Millman Surveying, Inc.

REVISION HISTORY

BY:	DATE:	COMMENT:
PWC	03/09/2021	Clerical Comments
PWC	04/05/2021	Client Comments
PWC	04/09/2021	Client Comments



BUILDING A

BUILDING DATA

STRUCTURAL TYPE	FLEX WAREHOUSE AND COMMERCIAL OFFICE COMPUTER DATA CENTER AND RELATED OFFICE AREA
SCOPE OF WORK	NEW COLD DARK AND WET SHELL, TO HAVE SUBSEQUENT PHASED INTERIOR BUILD OUT
NOTES OF OCCUPANCY	STORAGE ROOMS ARE TO CONTAIN COMPUTER AND MECHANICAL EQUIPMENT SPARE PARTS AND COMPONENTS, STORAGE ROOMS ARE NOT INTENDED TO STORE ANY HAZARDOUS MATERIALS SUCH AS FLAMMABLE COMBUSTIBLE LIQUIDS OR CORROSIVE / TOXIC MATERIALS THE PRIMARY PURPOSE OF THIS PROJECT IS TO HOUSE COMPUTER EQUIPMENT AND ITS SUPPORTING INFRASTRUCTURE. THE DATA HALL WILL BE OCCUPIED ONLY DURING PERIODIC MAINTENANCE AND SERVICE WORK

PROJECT ADDRESS	26062 EDEN LANDING ROAD HAYWARD, CA 94545
PROJECT DELIVERY PACKAGE	
SEAL/SIGNATURE	

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ISSUE DATE: PROJECT NO: 25691.000
DESIGNED: HKS ARCHITECT: HKS
MARK DATE DESCRIPTION

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CIVIL ENGINEER	KIMLEY HORN ANTHONY CERA (937) 298-8440 4637 Chabot Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER	HKS JIM NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201
ARCHITECT	HKS DUSTY WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 5300 Dallas, Texas 75201	FIRE PROTECTION ENGINEER	ESI GLOBAL GREGORY M. RODAS (312) 527-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
TELECOM ENGINEER	ESI GLOBAL TODD GOMES (312) 527-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER	ESI GLOBAL GREGORY M. RODAS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104

PROJECT:	BUILDING A SHELL
TITLE:	PROJECT COVER SHEET
DRAWING:	G000.CS

E1	SCALE:	AGILE No:	REV:
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ARCHITECTURAL LEGEND

REFERENCE SYMBOLS

	DET# SHEET#	REFER TO DETAILING ON DRAWING INDICATED NOT ALL DETAIL REFERENCES ARE SHOWN. ALL DETAILS APPLY TO ALL APPLICABLE SITUATIONS, UNLESS OTHERWISE SPECIFIED.
	ELEVATION TAG: REFER TO ELEVATION NUMBER ON DRAWING INDICATED	
	SECTION TAG: REFER TO SECTION NUMBER ON DRAWING INDICATED	
	1 TITLE SHEET#	DRAWING TITLE, NUMBER, AND SCALE
	TRUE NORTH	NORTH REFERENCE
	91578 A1 INSET	DOOR IDENTIFICATION TAG
	1 A2A	PARTITION TYPE IDENTIFICATION TAG
	11	WINDOW TYPE IDENTIFICATION TAG
	00.000	ROOM NAME IDENTIFICATION TAG
	PLO1	BATHROOM ACCESSORIES TAG
	1	BATHROOM ACCESSORIES TAG
	1 / A201.01	SHEET REFERENCE AND MATCHLINE

REFLECTED CEILING

	ACOUSTICAL CEILING AND GRID
	ALUMINUM
	BRICK
	CARPET
	CONCRETE
	CONCRETE MASONRY UNIT
	CUT STONE
	EARTH
	FABRIC WRAPPED PANEL
	Glass
	GRAVEL
	GYPSUM PLASTER
	INSULATION (LOOSE OR BATT)
	INSULATION (RIGID)
	METAL
	PLASTIC
	PLYWOOD
	PRE-CAST PANELS
	SAND OR GROUT
	STONE
	WOOD (FINISHED)
	WOOD (CONTINUOUS MEMBER)
	WOOD (INTERRUPTED MEMBER)

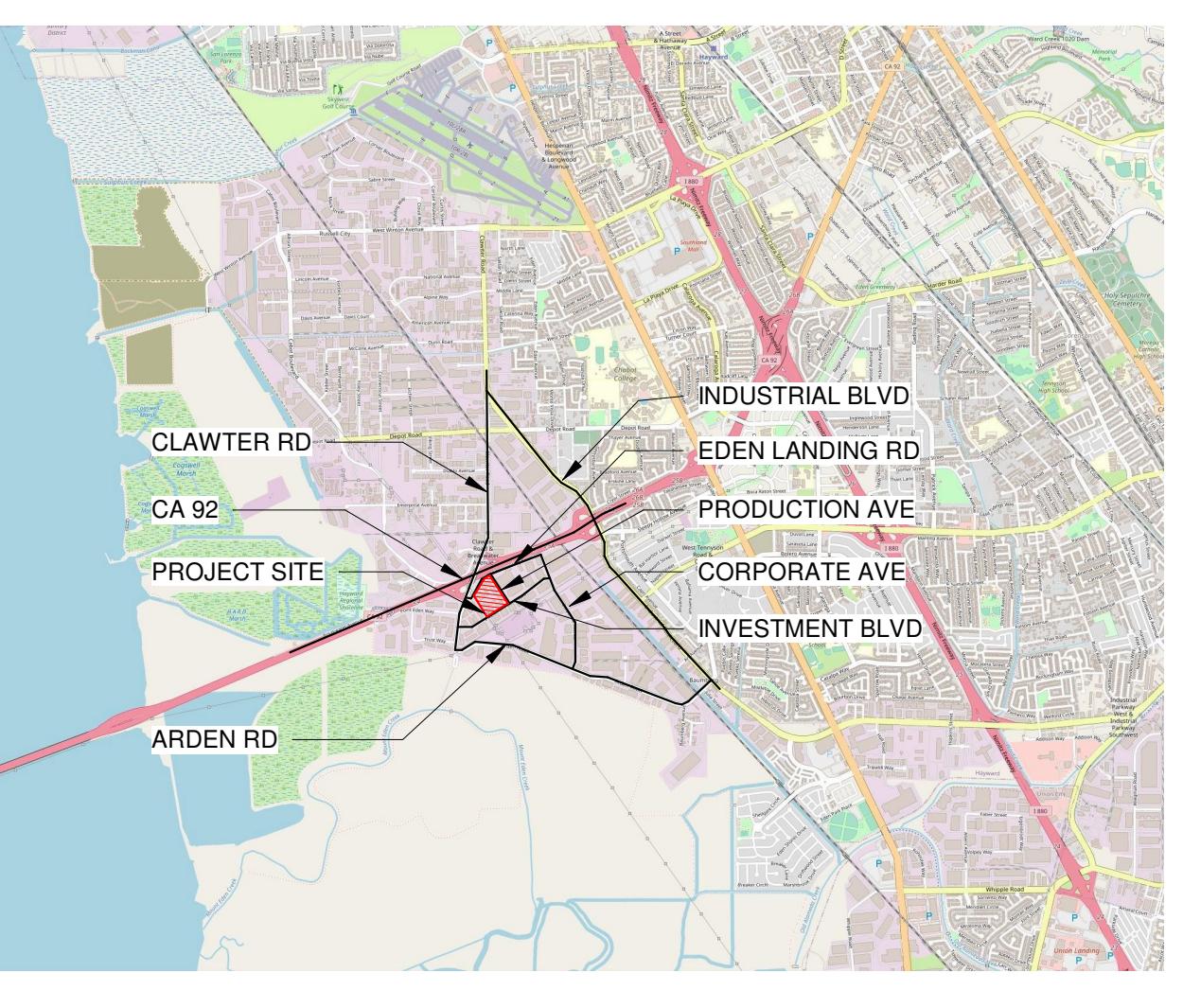
SECTIONS INDICATIONS

	COLUMN GRID REFERENCE NUMBER
	COLUMN GRID LINES AND REFERENCE NUMBER
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	1 HR. RATED PARTITION
	2 HR. RATED PARTITION
	3 HR. RATED PARTITION
	4 HR. RATED PARTITION
	MILLWORK
	MILLWORK ABOVE
	DETAIL NUMBER
	Sheet Number
	DESCRIPTION OF SIMILAR OR OPPOSITE
	AREA TO BE DETAILED
	LOCATION ON SHEET WHERE ELEVATION IS SHOWN
	DIRECTION OF ELEVATION
	Sheet Number Where Elevation Is Shown
	INTERIOR AND EXTERIOR ELEVATION MARKER
	REVISION REFERENCE NUMBER
	REVISION CLOUD DEPICTING AREA REVISED
	NAME
	ROOM NAME
	ROOM NUMBER
	SHETNOTE REFERENCE
	WALL TYPE REFERENCE
	FIRE RATING
	DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)
	WINDOW REFERENCE NUMBER (REFER TO WINDOW SCHEDULE)
	MILLWORK REFERENCE NUMBER (REFER TO MILLWORK SCHEDULE)
	100'-0" AFF
	ELEVATION DATUM REFERENCE
	MATCH LINE SEE XXXX
	MATCH LINE SYMBOL
	ALIGN WITH ESTABLISHED / ADJACENT SURFACES

CONSTRUCTION

	COLUMN GRID REFERENCE NUMBER
	COLUMN GRID LINES AND REFERENCE NUMBER
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	1 HR. RATED PARTITION
	2 HR. RATED PARTITION
	3 HR. RATED PARTITION
	4 HR. RATED PARTITION
	MILLWORK
	MILLWORK ABOVE
	DETAIL NUMBER
	Sheet Number
	DESCRIPTION OF SIMILAR OR OPPOSITE
	AREA TO BE DETAILED
	LOCATION ON SHEET WHERE ELEVATION IS SHOWN
	DIRECTION OF ELEVATION
	Sheet Number Where Elevation Is Shown
	INTERIOR AND EXTERIOR ELEVATION MARKER
	REVISION REFERENCE NUMBER
	REVISION CLOUD DEPICTING AREA REVISED
	NAME
	ROOM NAME
	ROOM NUMBER
	SHETNOTE REFERENCE
	WALL TYPE REFERENCE
	FIRE RATING
	DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)
	WINDOW REFERENCE NUMBER (REFER TO WINDOW SCHEDULE)
	MILLWORK REFERENCE NUMBER (REFER TO MILLWORK SCHEDULE)
	100'-0" AFF
	ELEVATION DATUM REFERENCE
	MATCH LINE SEE XXXX
	MATCH LINE SYMBOL
	ALIGN WITH ESTABLISHED / ADJACENT SURFACES

VICINITY MAP



PROJECT INFORMATION

FOLLOWING ARE THE PLANS OUTLINING THE SCOPE OF WORK REQUIRED FOR A NEW DATA CENTER BUILDING. WORK INCLUDES CONSTRUCTION OF NEW EXTERIOR AND INTERIOR PARTITIONS, CEILINGS, FINISHES, MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION AS INDICATED ON DRAWINGS.

THE DRAWINGS, IN CONCERT WITH THE PROJECT MANUAL, COMprise THE CONTRACT DOCUMENTS OUTLINING THE DESIGN INTENT AND PROJECT SCOPE, WHICH MAY BE SUPPLEMENTED BY FURTHER INFORMATION ISSUED BY ARCHITECT.

THE DRAWINGS ARE ARRANGED IN GENERAL TO SPECIFIC ORDER, FOLLOWING A TOP TO BOTTOM, LEFT TO RIGHT FORMAT. CONTRACTORS ARE ADVISED TO READ AND FAMILIARIZE THEMSELVES WITH THE INFORMATION IN THE PROJECT MANUAL AS WELL AS THE GENERAL LEGENDS CONTAINED IN THE G SERIES OF DRAWINGS. PRIOR TO REVIEW OF THE PLANS, ELEVATIONS AND DETAILS, ADVISE THE ARCHITECT WHERE INTENT IS NOT CLEARLY PERCEIVED, PRIOR TO PROCEEDING WITH WORK.

BUILDING ADDRESS:	2602 EDEN LANDING ROAD (BUILDING A ON CAMPUS) HAYWARD, CALIFORNIA 94545
BUILDING JURISDICTION:	CITY OF HAYWARD, CALIFORNIA
APPLICABLE CODES:	2023 CALIFORNIA BUILDING CODE (VOLUMES 1 AND 2) 2023 CALIFORNIA BUILDING CODE FOR ACCESSIBILITY (CHAPTER 11B) 2023 CALIFORNIA MECHANICAL CODE 2023 CALIFORNIA PLUMBING CODE 2023 CALIFORNIA ELECTRICAL CODE 2023 CALIFORNIA ENERGY CODE 2023 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
STRUCTURE TYPE:	FLEX WAREHOUSE AND COMMERCIAL OFFICE
PURPOSE OF SPACE:	SINGLE-TENANT COMPUTER DATA CENTER

SCOPE OF WORK:	DEMOLITION • DEMOLITION OF THE EXISTING SITE ELEMENTS BUT NOT LIMITED TO BUILDINGS, PAVING AND VEGETATION
SITE:	GRADING, EXCAVATION AND SOIL IMPROVEMENTS AS REQUIRED FOR NEW CONSTRUCTION OF EXTERIOR AND ALL SUPPORTING EXTERIOR FEATURES.
• INSTALLATION OF NEW UTILITIES SYSTEMS TO SUPPORT THE BUILDINGS FOR INTENDED USE, SUCH AS ELECTRICAL, WATER, SEWER, AND STORM WATER FEATURES	
• INSTALLATION OF NEW SITE CIRCULATION FEATURES (WALKWAYS, RAMPS, ACCESS ROADWAYS AND PARKING FEATURES)	
• PROVIDE LANDSCAPING AND OTHER PERVIOUS AREAS	

BUILDING CONSTRUCTION
• PROVIDE A STRUCTURAL STEEL FRAMEWORK, EXTERIOR WALL SYSTEM, ROOF WITH SLOPED DRAINAGE, SCUPPERS AND DOWNSPOUTS.

• GENERATOR YARD TO SUPPORT BUILDINGS INTENDED FUNCTIONS

• INSTALLATION OF FIRE SPRINKLER SYSTEMS FOR SPRINKLER I-B(?)

• CONSTRUCTION PER CEC 90.1

• INSTALLATION OF CIRCULATION SYSTEMS INCLUDING 2 ELEVATORS

• INSTALLATION OF ALL UTILITY AND MECHANICAL SYSTEMS NECESSARY FOR THE BUILDINGS INTENDED FUNCTIONS

OCCUPANCY / USE: GROUP B (ELECTRONIC DATA PROCESSING)

CONSTRUCTION TYPE: TYPE I-B

HEIGHT OF BUILDING: TOP OF MAIN PARAPET = 100' 00"

TOP OF MAIN ROOF = 98' 2"

NUMBER OF STORIES IN BUILDING: 3 (ABOVE GRADE), 0 BELOW GRADE

TOTAL FLOOR AREA: LEVEL 01: 105,793 SF

LEVEL 02: 105,793 SF

LEVEL 03: 98,990 SF

FIRE SUPPRESSION: 100% SPRINKLED PER NFPA 13 & DRY STANDPIPE SYSTEMS

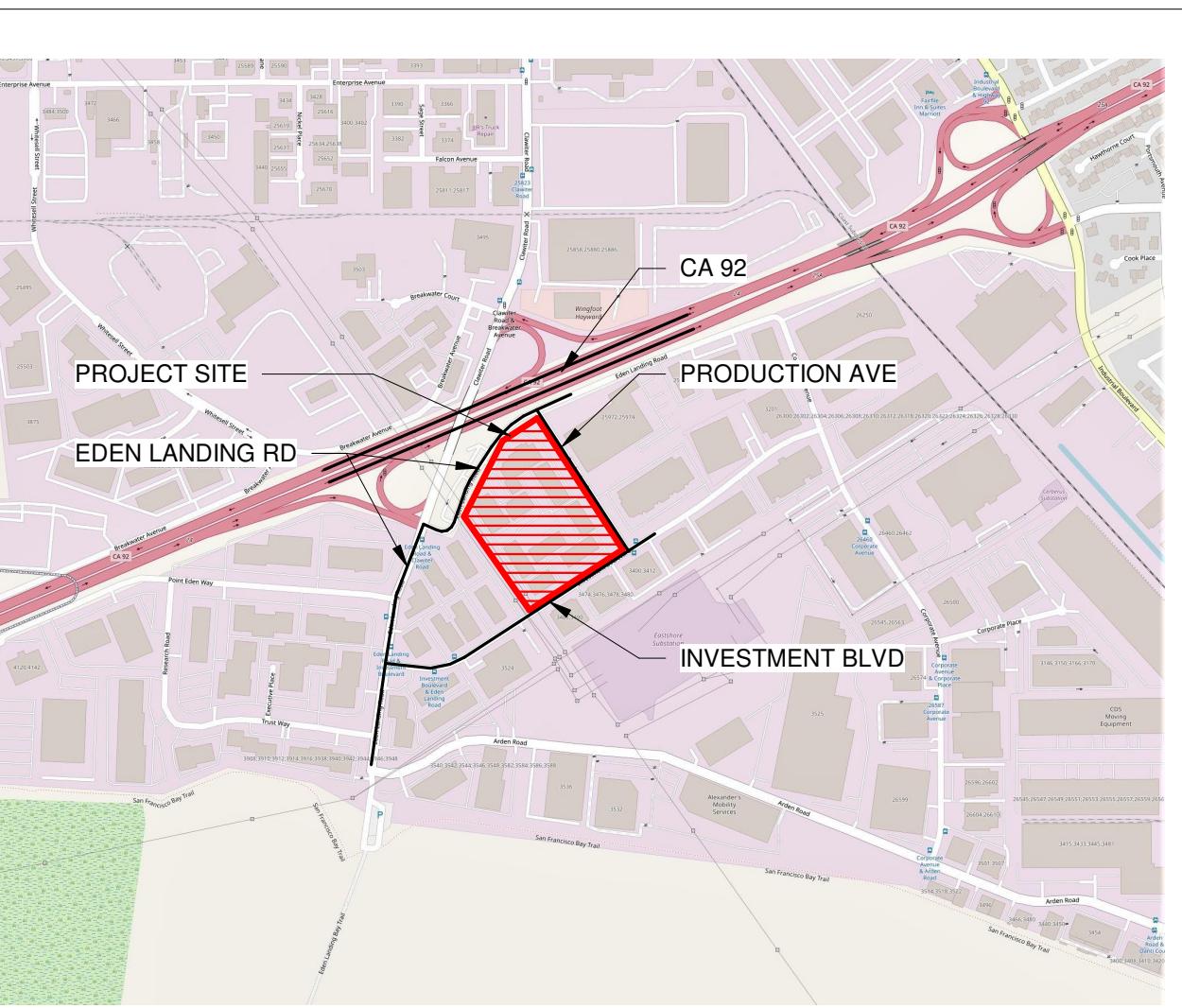
FIRE ALARM SYSTEM: FIRE ALARM SYSTEM FOR SUPPRESSION SYSTEM MONITORING AND ELEVATOR RECALL PER CEC 90.7 AND NFPA 72

PROJECT ADDRESS: 26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

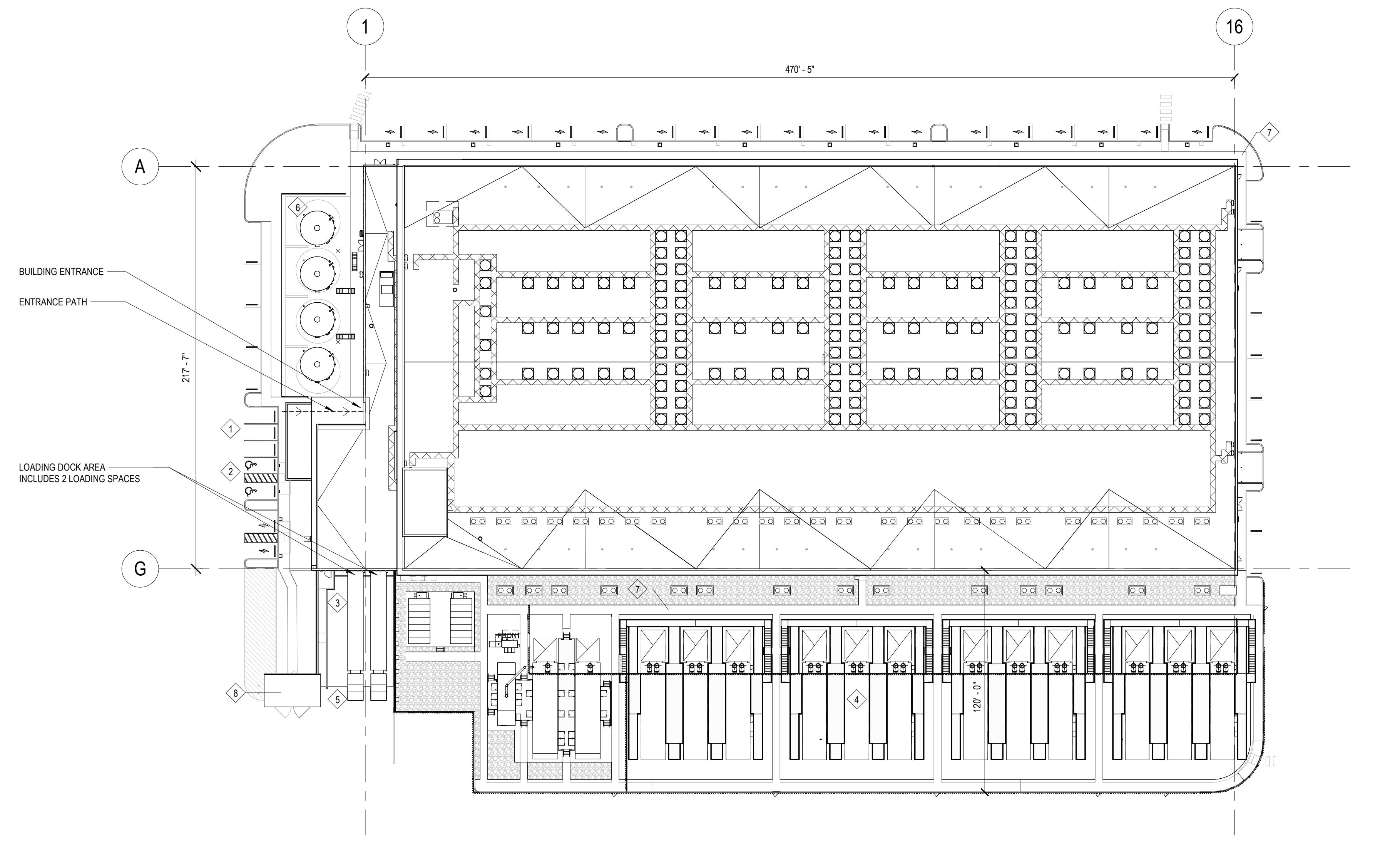
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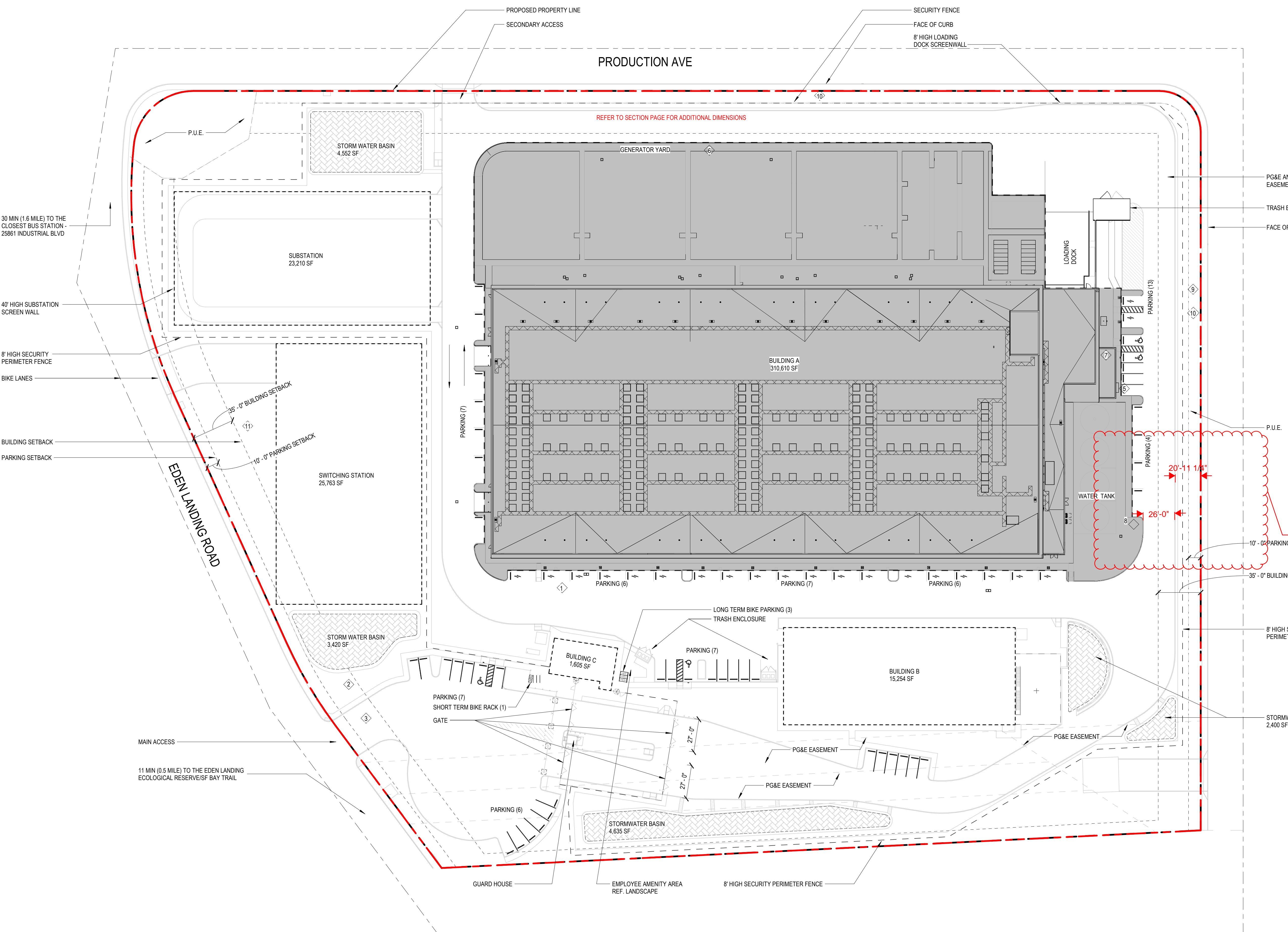
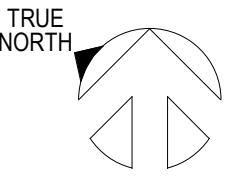
LOCATION MAP

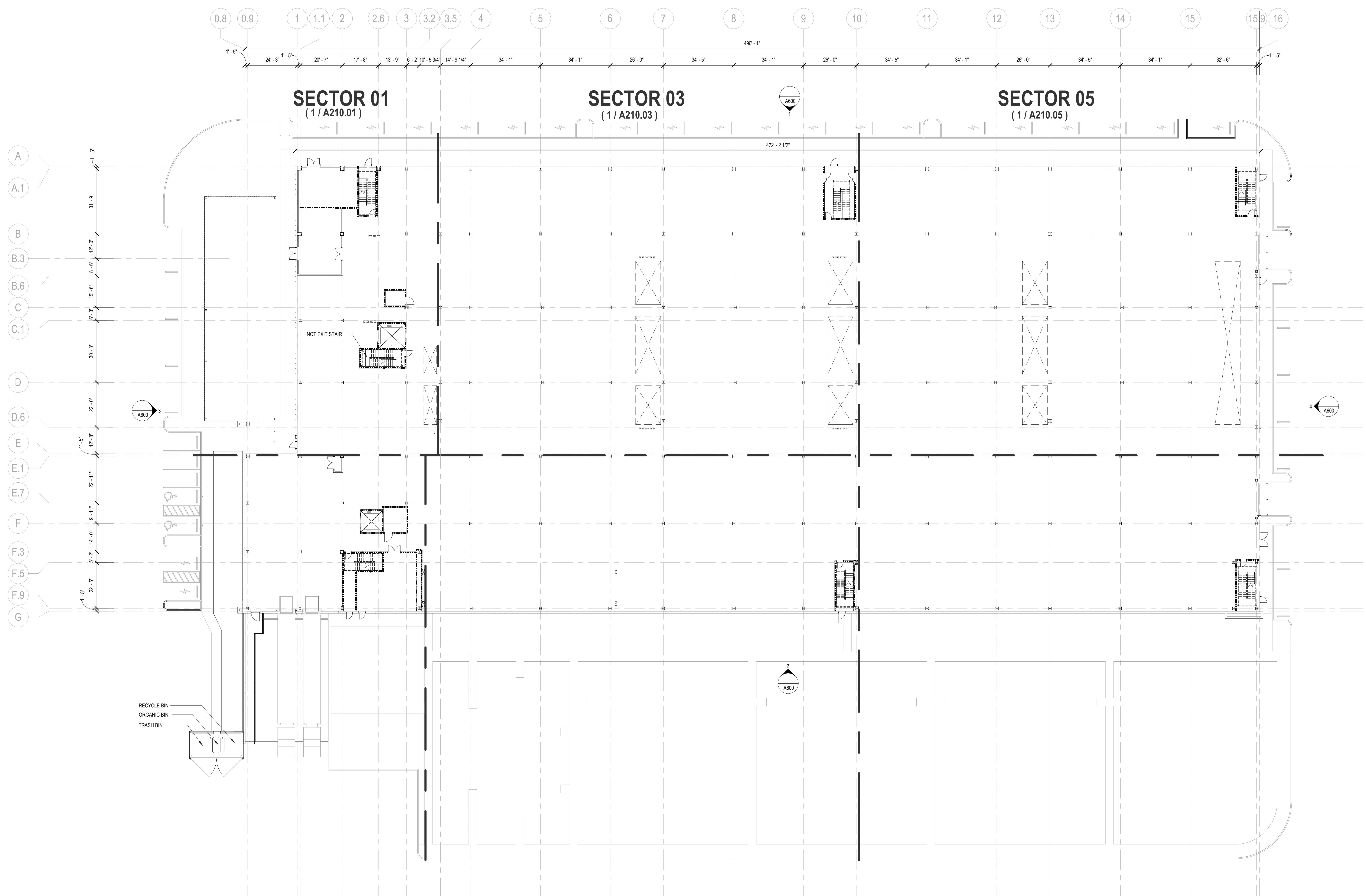


PROJECT TEAM

Architectural Firm: HKS	Mechanical Firm: ESD GLOBAL
Architect Engineer: DUTCH WICKES	Mechanical Engineer of Record: MIKE YOUNG
Architect Firm's Phone Number: (214) 959-5599	Mechanical Firm's Phone Number: (312) 372-1200
Architect Firm's Address: ONE DALLAS CENTER 320N, SAINT PAUL STREET, SUITE 100, DALLAS, TEXAS 75201	Mechanical Firm's Address: 233 SOUTH WACKER DRIVE SUITE 5300, CHICAGO, ILLINOIS 60606
Civil Engineer: KIMLEY HORN	Fire Protection Firm: ESD GLOBAL
Civil Engineer of Record: CLINT NASH	Fire Protection Engineer of Record: MICHAEL PARAS
Civil Firm's Phone Number: (914) 899-5599	Civil Firm's Phone Number: (312) 372-1200
Civil Firm's Address: ONE DALLAS CENTER 350N, SAINT PAUL STREET, SUITE 100, DALLAS, TEXAS 75201	Civil Firm's Address: 233 SOUTH WACKER DRIVE SUITE 5300, CHICAGO, ILLINOIS 60606
Structural Firm: HKS	Telecom Firm: ESD GLOBAL
Structural Engineer: DUTCH WICKES	Telecom Engineer of Record: TODD CRIMES
Structural Firm's Phone Number: (214) 959-5599	Telecom Firm's Phone Number: (312) 372-1200
Structural Firm's Address: ONE DALLAS CENTER 350N, SAINT PAUL STREET, SUITE 100, DALLAS, TEXAS 75201	Telecom Firm's Address: 233 SOUTH WACKER DRIVE SUITE 5300, CHICAGO, ILLINOIS 60606
Civil Firm: KIMLEY HORN	Fire Protection Firm: ESD GLOBAL
Civil Engineer of Record: ANTHONY VERA	Fire Protection Engineer of Record: MICHAEL PARAS
Civil	







1 ARCHITECTURAL LEVEL 01 OVERALL CORE & SHELL FLOOR PLAN
A210.00 1" = 20' 0"

SECTOR 02

(1 / A210.02)

SECTOR 04

(1 / A210.04)

SECTOR 06

(1 / A210.06)

SECTOR C

(1 / A210.01)

(1/A2)

SECTOR 03

(1 / A210.03)

(1 / A210)

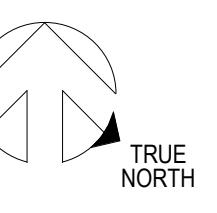
SECTOR 05

(1 / A210.05)

(1 / A210)

KEYPLAN

OVERALL



JECT ADDRESS
062 EDEN LANDING ROAD
YWARD, CA 94545

JECT DELIVERY PACKAGE

L/SIGNATURE

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<u>ENGINEER</u> Y HORN ONY VERA 98-4840 habot Drive 00	<u>STRUCTURAL ENGINEER</u> HKS CLINT NASH (214) 969-5599 One Dallas Center 250 N. Saint Paul Street, Suite 100

TECT	<u>FIRE PROTECTION ENGINEER</u>
H WICKES	ESD GLOBAL
69-5599	MICHAEL PARAS
allas Center	(312) 372-1200
Saint Paul Street, Suite 100	233 South Wacker Drive
Texas 75201	Suite 5300 chicago,
	Illinois 60606
<u>OM ENGINEER</u>	<u>SECURITY ENGINEER</u>
LOBAL	GUIDEPOST
GRIMES	JON JOLIBOIS
72-1200	(415) 616-8822

600 Wacker Drive 510 Montgomery Street
300 10th Floor
o, Illinois 60606 San Francisco, California 94104

ECT:

BUILDING A SHELL

ARCHITECTURAL LEVEL 01 CORE & SHELL

OVERALL FLOOR PLAN

ING:

A210.00

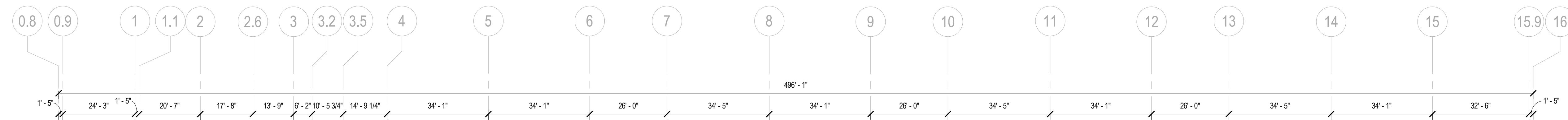
GENERAL NOTES - FLOOR PLAN

<u>GENERAL NOTES - FLOOR PLAN</u>	
1 ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION, SEE CIVIL FOR FFE.	12 COORDINATE AND PROVIDE ADEQUATE BLOCKING FOR ALL ITEMS ATTACHED OR MOUNTED TO PARTITIONS.
2 DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN, WHERE PROVIDED, UNO.	13 EQUIPMENT ITEMS SHOWN FOR REFERENCE ONLY. COORDINATE FINAL LOCATIONS AND CONFIGURATIONS WITH MEP REQUIREMENTS AND DRAWINGS. REFER TO ENGINEERING DRAWINGS FOR FULL EXTENT OF WORK.
3 REFER TO CIVIL ENGINEERING PLANS FOR FULL EXTENT OF SITE WORK BEYOND SCOPE SHOWN IN ARCHITECTURAL, STRUCTURAL, AND MEP ENGINEERING DRAWINGS.	14 PROVIDE STAINLESS STEEL CORNER GUARDS AT EACH OUTSIDE CORNER IN ALL CORRIDOR LOCATIONS.
4 EXTERIOR WALLS ARE TO BE TYPE E01, UNO.	15 USE MOISTURE AND MOISTURE RESISTANT SUBSTRATE AND TILE BACKING PANELS AT ALL WET AND TILE LOCATIONS, RESPECTIVELY. LOCATIONS INCLUDE JANITOR CLOSETS, SHOWER ROOM WALLS AND CEILINGS, BEHIND ALL SINKS, TOILETS, URINALS, AND DRINKING FOUNTAIN LOCATIONS.
5 REFER TO A700 SERIES FOR INTERIOR & EXTERIOR WALL ASSEMBLIES AND STANDARD INFORMATION.	16 DAHU GALLERY WATER DAM AT DOOR OPENINGS: 1/2" HIGH ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1 1/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT INTO ADJACENT ROOMS.
6 INTERIOR PARTITIONS ARE TO BE TYPE A6E, UNO.	17 ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK, SEE DETAILS ON A736.
7 ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNO.	18 GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE BUILDING ENVELOPE.
8 CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.	19 REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS
9 REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.	20 ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.
10 CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD (VIF) PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT / ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.	
11 LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.	

GENERAL NOTES - FLOOR PLAN

<u>GENERAL NOTES - FLOOR PLAN</u>		<u>GENERAL NOTES - FLOOR PLAN</u>	
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GENERAL NOTES - FLOOR PLAN



SECTOR 01

(1 / A220.01)

SECTOR 03

(1 / A220.04)

SECTOR 05

(1 / A220.06)

SECTOR 02

(1 / A220.02)

SECTOR 04

(1 / A220.04)

SECTOR 06

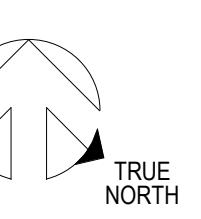
(1 / A220.06)

1 ARCHITECTURAL LEVEL 02 OVERALL CORE & SHELL FLOOR PLAN

A220.00 1" = 20'-0"

KEYPLAN

OVERALL



PROJECT ADDRESS
26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

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ISSUE DATE: PROJECT NO: 25691.000
DESIGNED: HKS ARCHITECT: HKS
MARK DATE DESCRIPTION

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GILBERT BERNARDINO
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Suite 5300
Chicago, Illinois 60606

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ANTHONY CERA
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Pleasanton, California 94588

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Dallas, Texas 75201

ARCHITECT
HKS
DUSTIN NICKLES
(214) 969-5599
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Dallas, Texas 75201

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GILBERT BERNARDINO
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Suite 5300
Chicago, Illinois 60606

TELECOM ENGINEER
ESI GLOBAL
DUSTIN NICKLES
(415) 461-8822
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Suite 5300
Chicago, Illinois 60606

SECURITY ENGINEER
ESI GLOBAL
GILBERT BERNARDINO
(415) 461-8805
(415) 461-8822
233 South Wacker Drive
35th Montgomery Street
Suite 5300
San Francisco, California 94104

PROJECT:
BUILDING A SHELL

TITLE:
ARCHITECTURAL LEVEL 02 CORE & SHELL
OVERALL FLOOR PLAN

DRAWING:
A220.00

SCALE:
1" = 20'-0"

AGILE No:
REV:

GENERAL NOTES - FLOOR PLAN

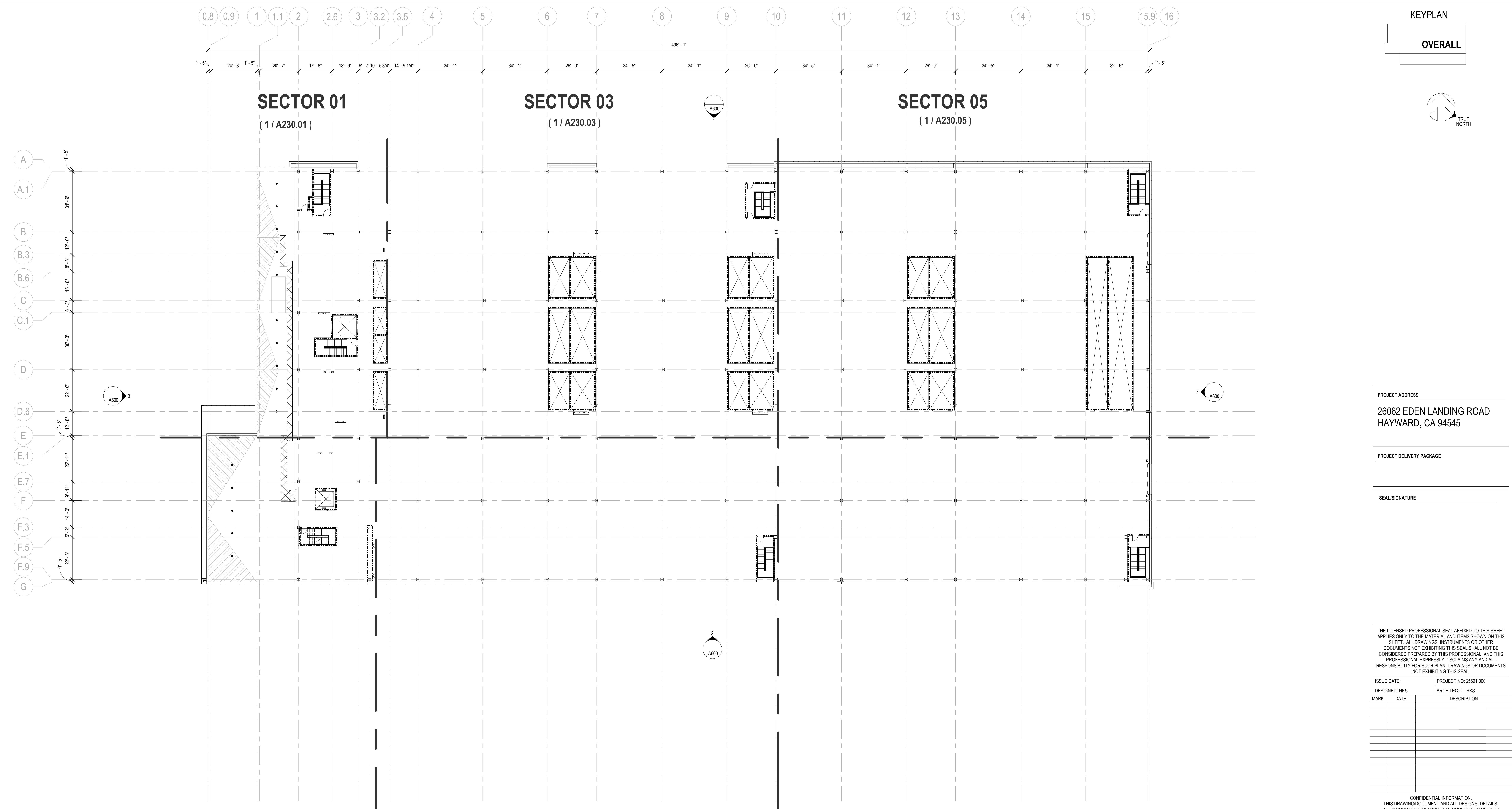
1 ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL.
0'-0" = CIVIL FINISH FLOOR ELEVATION, SEE CIVIL FOR FFE.
2 DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE APPROPRIATE SEPARATE SHEETS PROVIDED.
3 REFER TO CIVIL ENGINEERING PLANS FOR FULL EXTENT OF SITE WORK BEYOND SCOPE SHOWN IN ARCHITECTURAL, STRUCTURAL, AND MEP ENGINEERING DRAWINGS.
4 EXTERIOR WALLS ARE TO TYPE E01, UNO.
5 REFER TO A701 SERIES FOR INTERIOR & EXTERIOR WALL BATTING, INSULATION, AND STAINLESS STEEL LOCATIONS.
6 INTERIOR PARTITIONS ARE TO BE TYPE A01, UNO.
7 ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNO.
8 CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
9 REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.
10 CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. CONTRACTOR TO FURNISH AND INSTALL EQUIPMENT/ARCHITECT/ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
11 LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

GENERAL NOTES - FLOOR PLAN

12 COORDINATE AND PROVIDE ADEQUATE BLOCKING FOR ALL ITEMS ATTACHED OR MOUNTED TO PARTITION.
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14 PROVIDE STAINLESS STEEL CORNER GUARDS AT EACH OUTSIDE CORNER IN ALL CORRIDOR LOCATIONS.
15 USE MOISTURE AND MOISTURE RESISTANT SUBSTRATE AND TILE BACKER BOARD IN ALL BATH AND KITCHEN LOCATIONS. RESPECTIVE LOCATIONS INCLUDE JANITOR CLOSETS, SHOWER ROOM WALLS, AND CEILINGS, BEHIND ALL SINKS, TOILETS, URINALS, AND DRINKING FOUNTAIN LOCATIONS.
16 ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK. SEE DETAILS ON A736.
17 CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVER OVER CABLE DUCTS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE BUILDING ENVELOPE.
18 REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VACUUM PUMP LOCATIONS AND EXCAVATION AREAS.
20 ALL FLOOR OPENINGS NOT FLOORED WITH A FIRE-RATED ASSEMBLY TO HAVE REMOVABLE FIRE-RATED CAPS INSTALLED.

GENERAL NOTES - FLOOR PLAN

1 COORDINATE AND PROVIDE ADEQUATE BLOCKING FOR ALL ITEMS ATTACHED OR MOUNTED TO PARTITION.
2 DAHU GALLERY WATER DAM AT DOOR OPENINGS: 1/2" HIGH ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP BAR SEAL. THE DOOR IS ACTUATED BY A MOTOR AND COULD SWING THE DAM AS THE DOOR SWINGS, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 11" BEYOND THE EDGE OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT INTO ADJACENT ROOMS.
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1 ARCHITECTURAL LEVEL 03 OVERALL CORE & SHELL FLOOR PLAN

A230.00 1" = 20'-0"

GENERAL NOTES - FLOOR PLAN

- 1 ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL. 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR FFE.
- 2 DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE APPROPRIATE DRAWINGS PROVIDED UNO.
- 3 REFER TO CIVIL ENGINEERING PLANS FOR FULL EXTENT OF SITE WORK BEYOND SCOPE SHOWN IN ARCHITECTURAL, STRUCTURAL, AND MEP ENGINEERING DRAWINGS.
- 4 EXTERIOR WALLS ARE TO BE TYPE E01, UNO.
- 5 REFER TO A701 SERIES FOR INTERIOR & EXTERIOR WALL TYPES.
- 6 INTERIOR PARTITIONS ARE TO BE TYPE A01, UNO.
- 7 ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNO.
- 8 CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
- 9 REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.
- 10 CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY THE ARCHITECT / ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- 11 LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

GENERAL NOTES - FLOOR PLAN

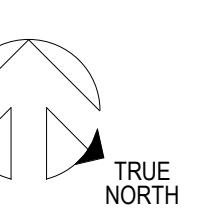
- 12 COORDINATE AND PROVIDE ADEQUATE BLOCKING FOR ALL ITEMS ATTACHED OR MOUNTED TO PARTITION.
- 13 EQUIPMENT ITEMS SHOWN FOR REFERENCE ONLY. COORDINATE FINISH SIZES AND CONFIGURATIONS WITH MEP REQUIREMENTS AND DRAWINGS. REFER TO ENGINEERING DRAWINGS FOR FULL EXTENT OF WORK.
- 14 PROVIDE STAINLESS STEEL CORNER GUARDS AT EACH OUTSIDE CORNER IN ALL CORRIDOR LOCATIONS.
- 15 USE MOISTURE AND MOISTURE RESISTANT SUBSTRATE AND TILE BATHROOMS AND MASONRY LOCATIONS RESPECTIVELY. LOCATIONS INCLUDE JANITOR CLOSETS, SHOWER ROOM WALLS, AND CEILINGS, BEHIND ALL SINKS, TOILETS, URINALS, AND DRINKING FOUNTAIN LOCATIONS.
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- 17 ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK. SEE DETAILS ON A736.
- 18 CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE DUCT OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE BUILDING ENVELOPE.
- 19 REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR MITIGATION AND EXCAVATION REQUIREMENTS.
- 20 ALL FLOOR OPENINGS NOT PROVIDED WITH A FIRE-RATED ASSEMBLY TO HAVE REMOVABLE FIRE-RATED CAPS INSTALLED.

GENERAL NOTES - FLOOR PLAN

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KEYPLAN

OVERALL



PROJECT ADDRESS
26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

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DESIGNED: HKS ARCHITECT: HKS
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DUSTY WICKES
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San Francisco, California 94104

PROJECT:
BUILDING A SHELL

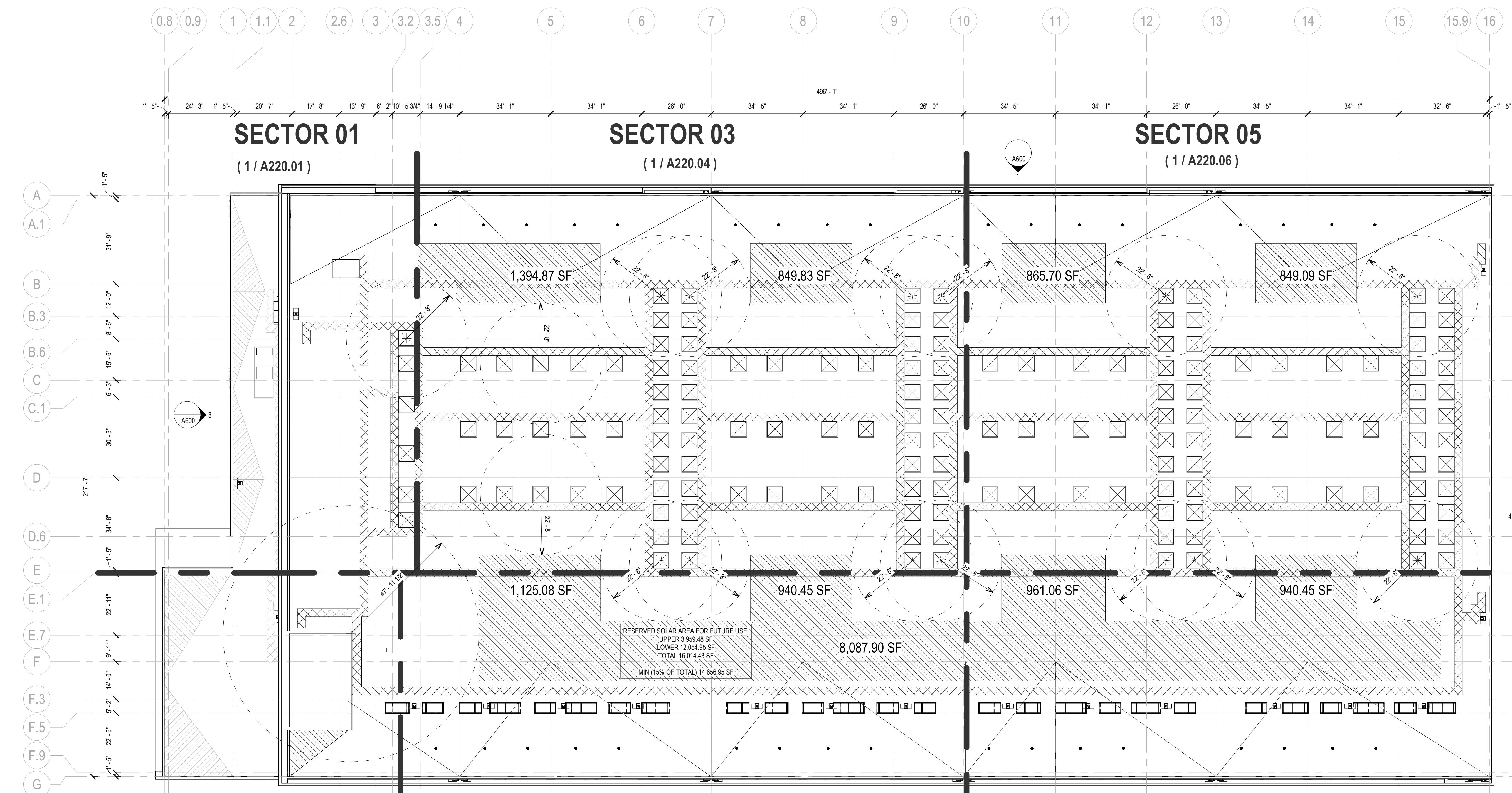
TITLE:
ARCHITECTURAL LEVEL 03 CORE & SHELL
OVERALL FLOOR PLAN

DRAWING:
A230.00

SCALE:
1" = 20'-0"

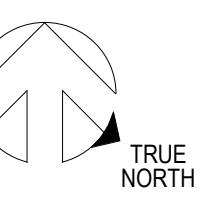
AGILE No:

REV:



KEYPLAN

OVERALL



PROJECT ADDRESS
26062 EDEN LANDING ROAD
HAYWARD, CA 94545

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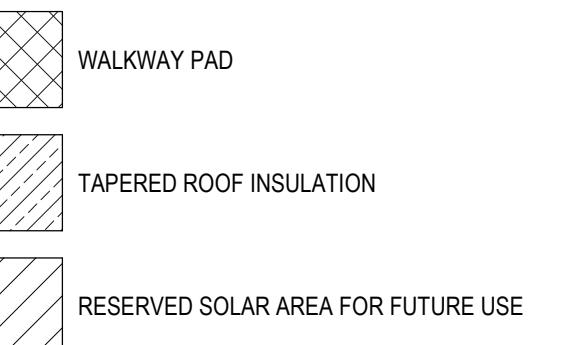
PROJECT:
BUILDING A SHELL

TITLE:
ARCHITECTURAL ROOF & PENTHOUSE CORE &
SHELL OVERALL PLAN

DRAWING:
A290.00

1 ARCHITECTURAL ROOF & PENTHOUSE OVERALL FLOOR PLAN

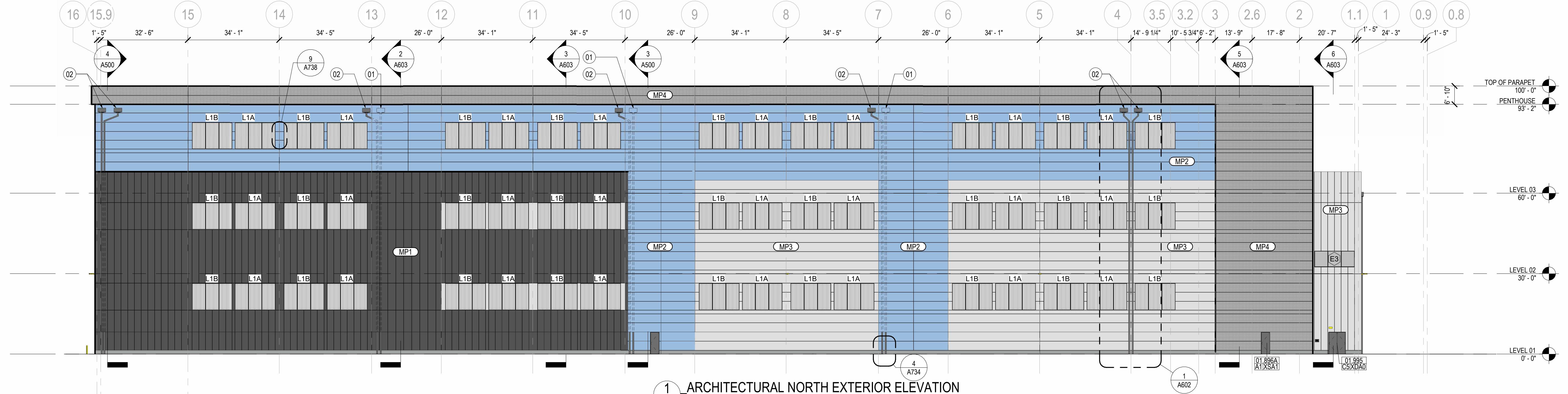
LEGEND ROOF PLAN



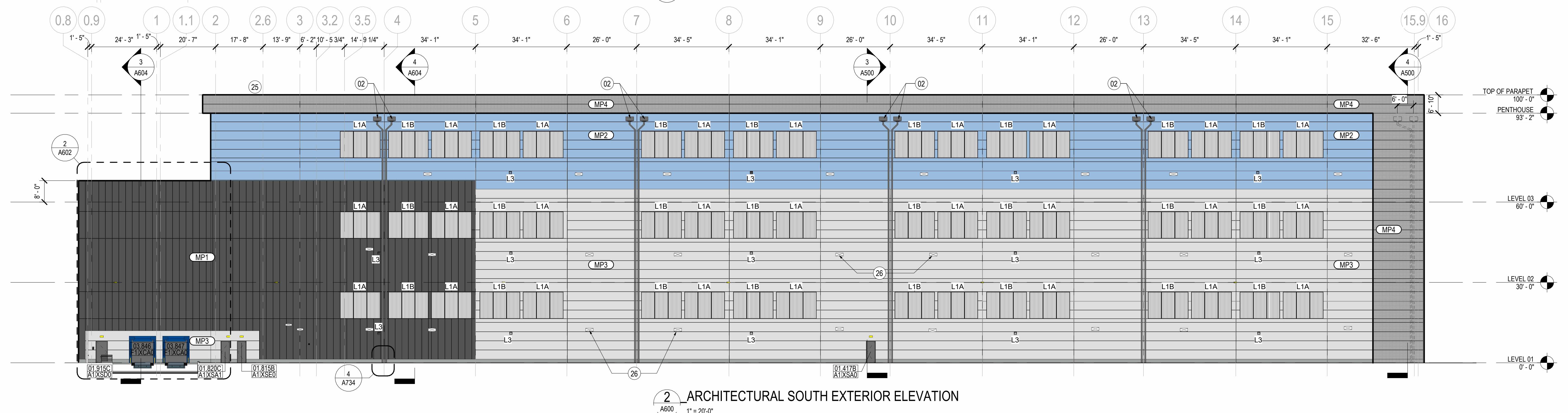
ROOF PLAN NOTES

- ALL ROOF TO BE KEPT SINGLE PLY ROOFING MEMBRANE WITH MINIMUM R20 INSULATION.
- HATCHING INDICATES AREAS WHERE THE ROOF SURFACE SLOPE IS ACHIEVED WITH TAPERED INSULATION. THE ROOF SURFACE SLOPE IN AREAS WITHOUT HATCHING IS ACHIEVED WITH SLOPING STRUCTURE.
- PROVIDE WALKWAYS PROTECTION TO MAJOR MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT AS REQUIRED TO PROVIDE SERVICE ACCESS. WALKWAYS PROTECTION IS INDICATED AS A GENERAL LAYOUT AND MAY NOT SHOW ALL FINAL LOCATIONS OF ALL EQUIPMENT.
- WALKWAY PADS SHALL PROVIDE A MINIMUM OF 1/4" INCH PER FOOT OF SLOPE TO ROOF DRAINS, UNLESS NOTED OTHERWISE.
- ALL ROOF CURBS TO BE A MINIMUM OF 8" ABOVE ROOFING LEVELS. PROVIDE TAPERED INSULATION ROOF SADDLES AT ROOF CURBS TO PROVIDE DRAINAGE AROUND CURB.
- ALL ROOF TOP MECHANICAL, ELECTRICAL AND IOR PLUMBING EQUIPMENT SHOWN FOR INFORMATION ONLY. COORDINATION THE SIZE AND LOCATION OF ROOF EQUIPMENT.
- PENETRATIONS FOR MECHANICAL AND ELECTRICAL EQUIPMENT, REFER TO MECHANICAL AND ELECTRICAL PLANS FOR PENETRATION LOCATIONS.
- FLASH DRAINS, CURSE VENT, VENT STACKS PER MANUFACTURER'S RECOMMENDATIONS IF DETAIL NOT SHOWN ON DRAWINGS.
- NO ROOF PENETRATIONS ALLOWED WITHIN 4'-0" EACH SIDE OF FOREWALL. SEE CODE PLAN FOR FIRE WALL LOCATIONS.
- REFER TO SHEET A732, A733 FOR TYPICAL ROOF DETAILS.

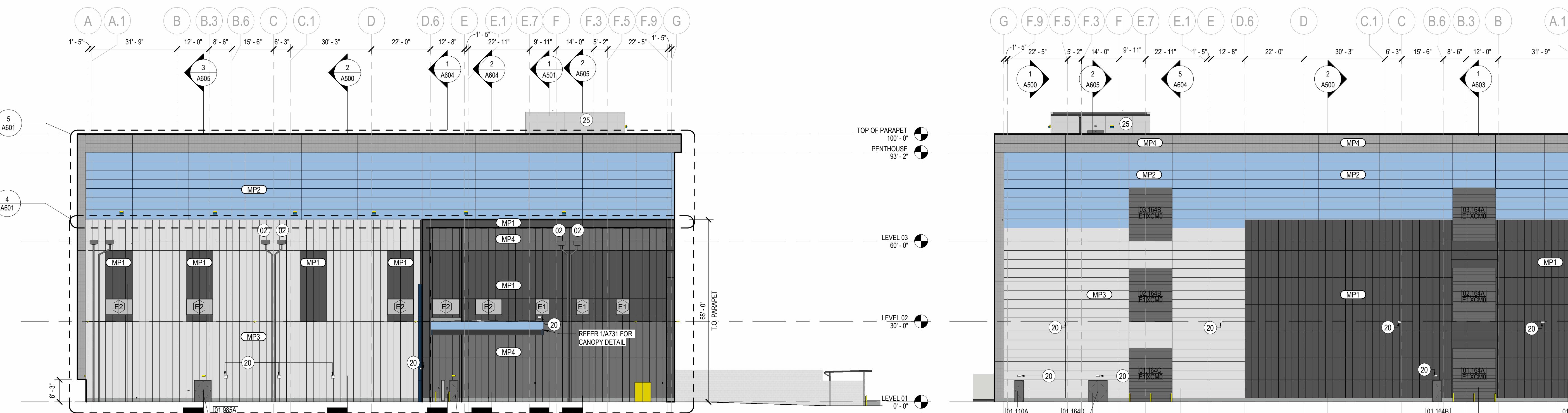
E1 SCALE: As indicated AGILE No: REV:



1 ARCHITECTURAL NORTH EXTERIOR ELEVATION



2 ARCHITECTURAL SOUTH EXTERIOR ELEVATION



3 ARCHITECTURAL WEST EXTERIOR ELEVATION



4 ARCHITECTURAL EAST EXTERIOR ELEVATION

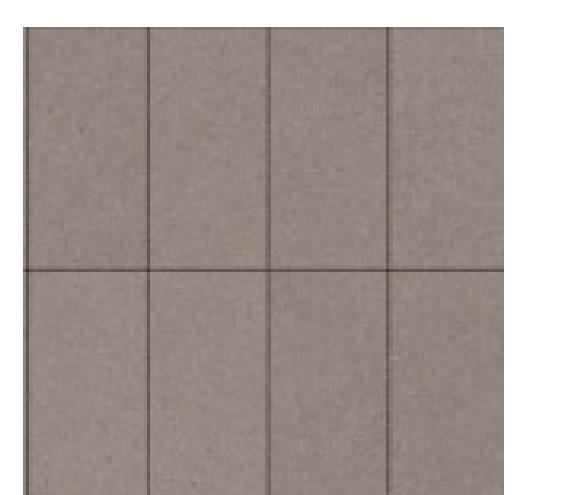
5 ARCHITECTURAL NORTH EXTERIOR ELEVATION - BEYOND

A600 1" = 20'-0"

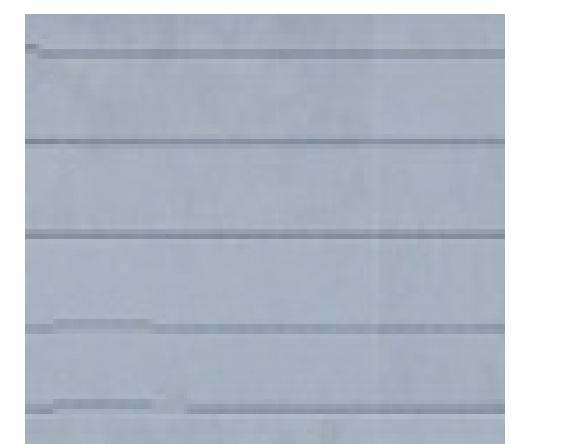
EXTERIOR FINISH LEGEND:

MP1	BOD: CENTRIA FORMA WALL DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL DARK BRONZE
MP2	BOD: CENTRIA FORMA WALL DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 200 DEEP BLUE SEA
MP3	BOD: CENTRIA FORMA WALL WHITE COLOR SMOOTH EXTERIOR TEXTURE 179 REGAL WHITE
MP4	BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL MEDIUM GRAY
MP5	BOD: CENTRIA PARADIGM METAL PANEL 9218 DOVE GRAY; 9999 PLATINUM SUNDAGNE AM COATING; 9989 PLATINUM SUNDAGNE MCA COATING

EXTERIOR FINISH LEGEND



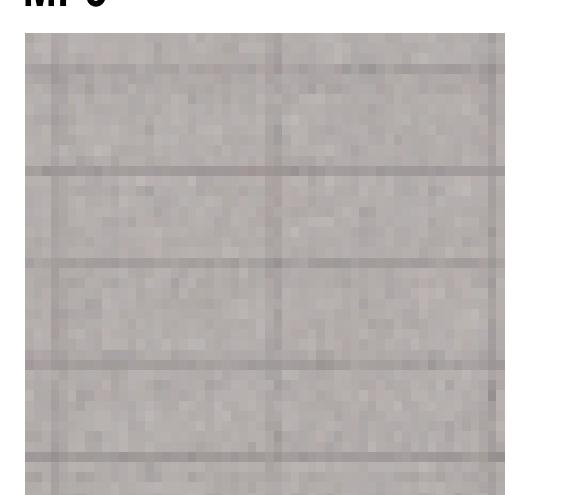
MP1



MP2



MP3



MP4

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DESIGNED: HKS ARCHITECT: HKS

MARK DATE DESCRIPTION

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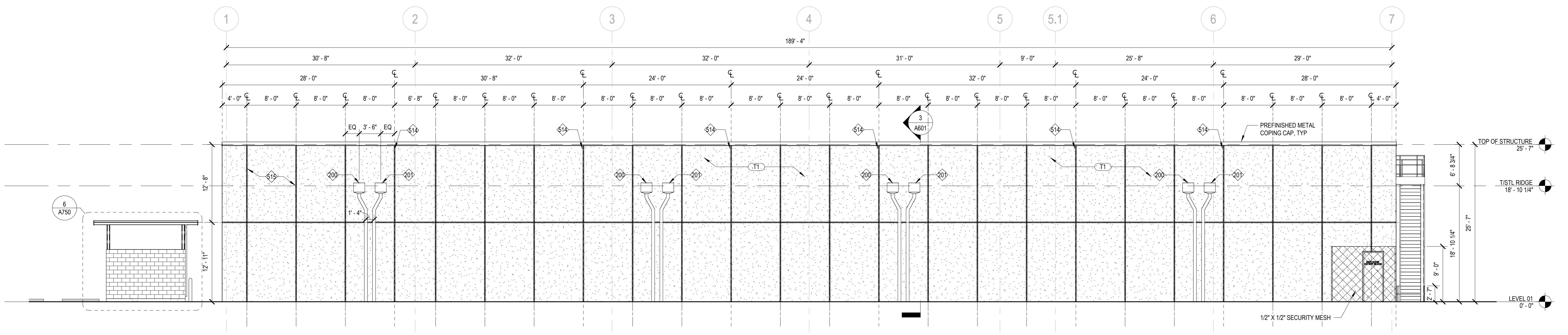
PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL EXTERIOR ELEVATIONS

DRAWING: A600

E1 SCALE: As indicated AGILE No: REV:

SHEET NOTES - EXTERIOR ELEVATIONS	
SHEET NOTE	
01	THROUGH WALL SCUPPER AND DOWN BEHIND METAL PANEL. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS PREFINISHED TO MATCH ADJACENT LOUVER COLOR. TYP.
02	THROUGH WALL SCUPPER AND DOWN SPOUT. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS BELOW. PREFINISHED TO MATCH ADJACENT WALL COLOR. TYP.
03	DOCK SEAL, TYP.
04	WINDOW TYPE E1', RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
05	WINDOW TYPE E3', RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
06	EXTERIOR DOORS TO BE PAINTED TO MATCH COLOR OF WALL IN WHICH THEY OCCUR TYP.
07	DOOR SCUPPER AND DOWNSPOUT TYP.
08	BUILDING ENTRY STOREFRONT DOOR AND GLAZING.
09	LINE OF SCREEN WALL (DASHED). REFER TO PROVIDED ELEVATIONS FOR ADDITIONAL INFORMATION.
10	6" HIGH STEEL LETTERS, PIN MOUNTED TO TILT UP PANEL. PAINTED TO MATCH EPT3.
11	WALL PACK EXTERIOR LIGHT FIXTURE: CENTER OVER DOOR OR OVER LOUVERS OR WITHIN PANEL, WHERE APPLICABLE; RE: ELECTRICAL DRAWINGS
12	METAL PANEL TYPE 5 TO BE DETERMINED
13	WALL CUTOUTS TO BE COORDINATED WITH MEP.



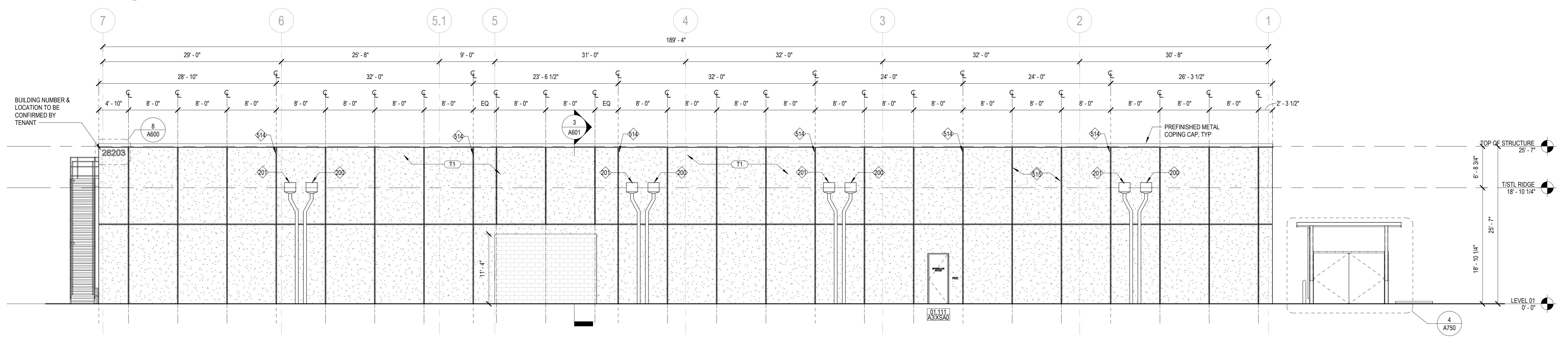
GENERAL NOTES

1. ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR FFE.
2. ALL STRUCTURAL STEEL EXPOSED TO VIEW WILL CONFORM TO A.E.S.S. SPECIFICATIONS.
3. REFER TO A710 FOR EXTERIOR WALL, ROOF ASSEMBLIES.
4. EXTERIOR WALLS ARE TILT-UP WALL ASSEMBLIES UNO FOR DOORS, DOOR FRAMES, DOOR HEADERS AND HOLLOW METAL DOOR WINDOWS. REFER A514.
5. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
6. COORDINATE ALL EXISTING EQUIPMENT LOCATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
7. EXTERIOR CONCRETE WALLS ARE TO RECEIVE TEXTURED PAINT OR CONCRETE SEALER TO MATCH EXISTING CAMPUS BUILDINGS.
8. REFER TO CONCRETE WALLS ARE TO RECEIVE TEXTURED PAINT OR CONCRETE SEALER TO MATCH EXISTING CAMPUS BUILDINGS.
9. REFER TO PANEL JOINT DETAILS SHEET A710.

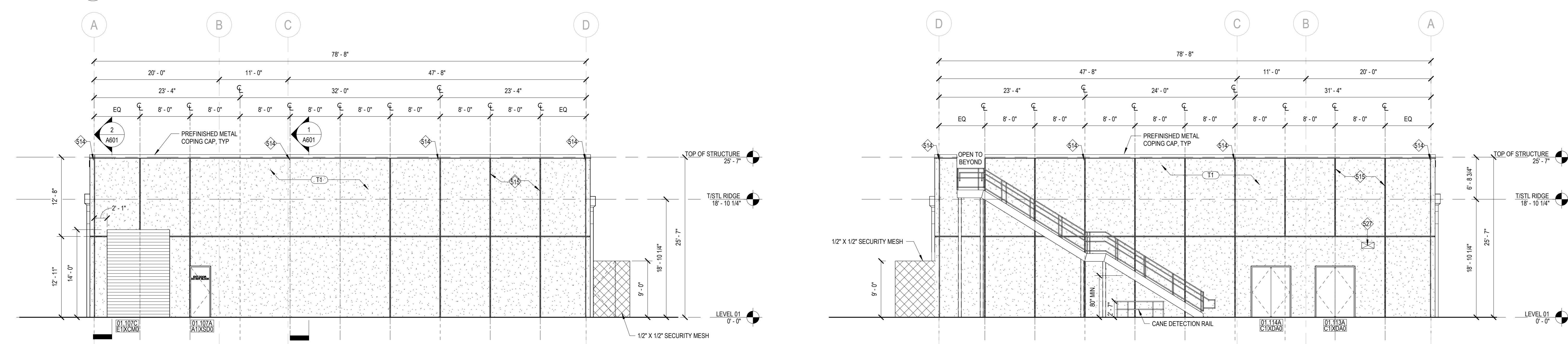
SHEET KEYNOTE LEGEND

KEY	KEYNOTE TEXT
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOUT ON EXTERIOR FACES OF BUILDING
201	OPEN TO BEYOND THRU-WALL SCUPPER, LOCATE 1 FOOT TO SIDE OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE
514	CONCRETE PANEL CONTROL JOINT TYP. REF. A710
515	CONCRETE PANEL REVEAL TYP. REF. 6A710
527	WALL CUTOUTS TO BE COORDINATED WITH MEP

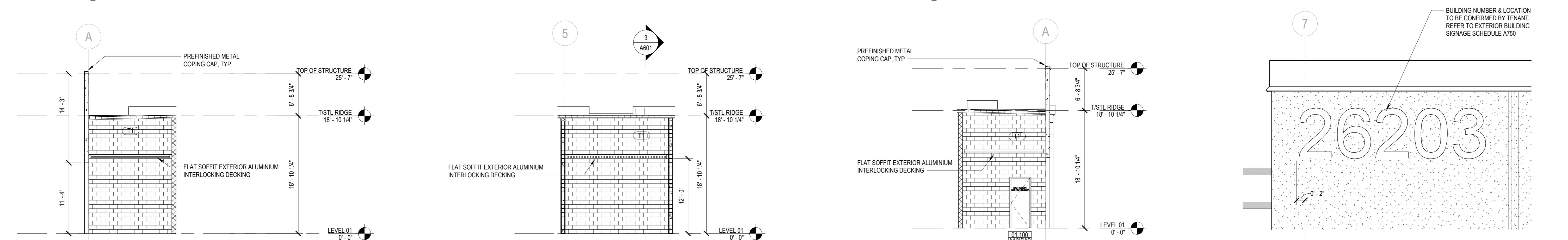
1 ARCHITECTURAL CS SOUTH ELEVATION
A600 1/8" = 1'-0"



2 ARCHITECTURAL CS NORTH ELEVATION
A600 1/8" = 1'-0"



3 ARCHITECTURAL CS WEST ELEVATION
A600 1/8" = 1'-0"



4 ARCHITECTURAL CS EAST ELEVATION
A600 1/8" = 1'-0"

5 ENTRY VESTIBULE WEST ELEVATION
A600 1/8" = 1'-0"

6 ENTRY VESTIBULE NORTH ELEVATION
A600 1/8" = 1'-0"

7 ENTRY VESTIBULE EAST ELEVATION
A600 1/8" = 1'-0"

8 EXTERIOR SIGNAGE DETAIL
A600 1" = 1'-0"

PROJECT ADDRESS
26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

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DESIGNED: HKS ARCHITECT: HKS

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PROJECT:
BUILDING B SHELL

TITLE:
ARCHITECTURAL EXTERIOR ELEVATIONS

DRAWING:
A600

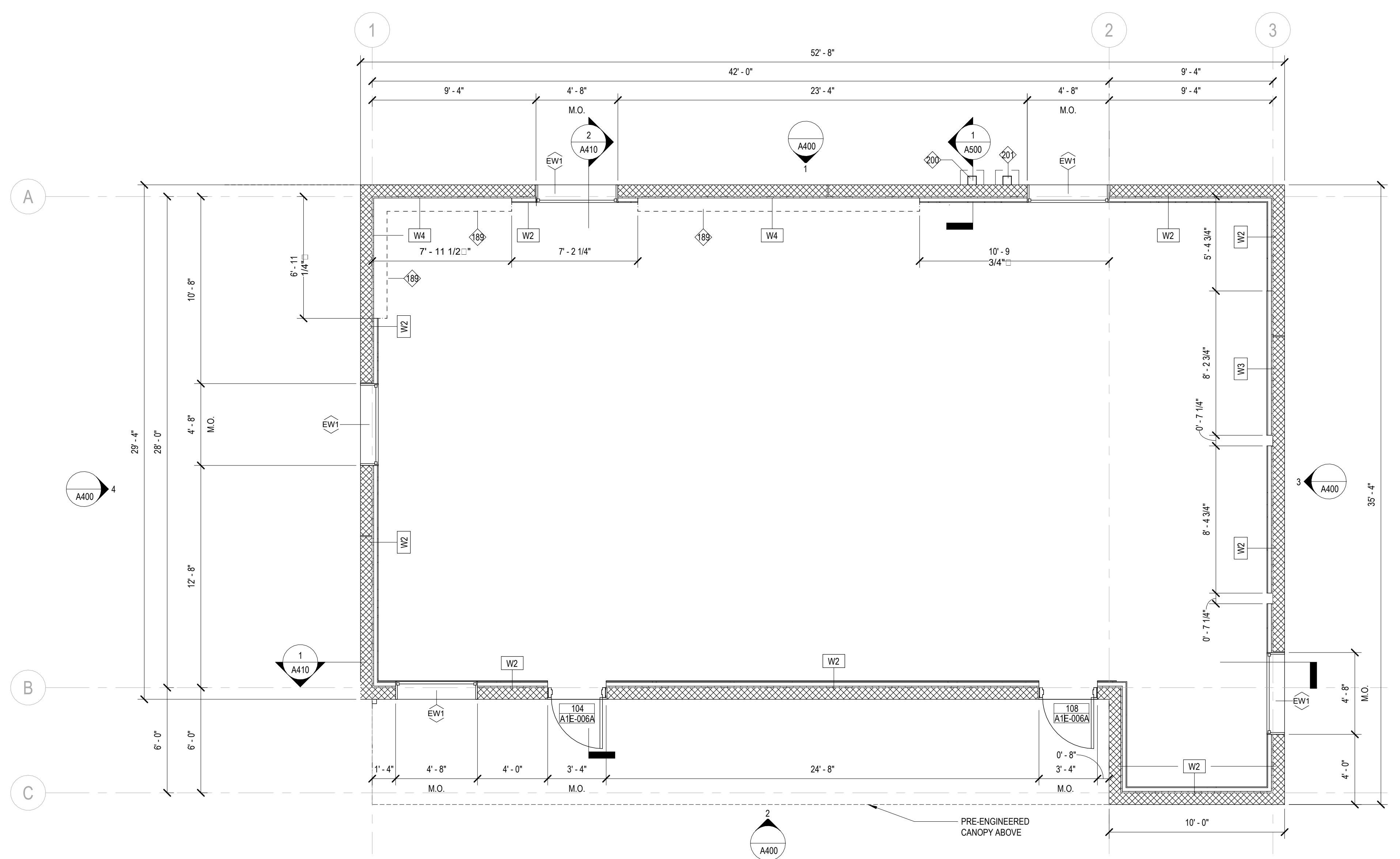
E1 SCALE: As Indicated AGILE No: REV: 0



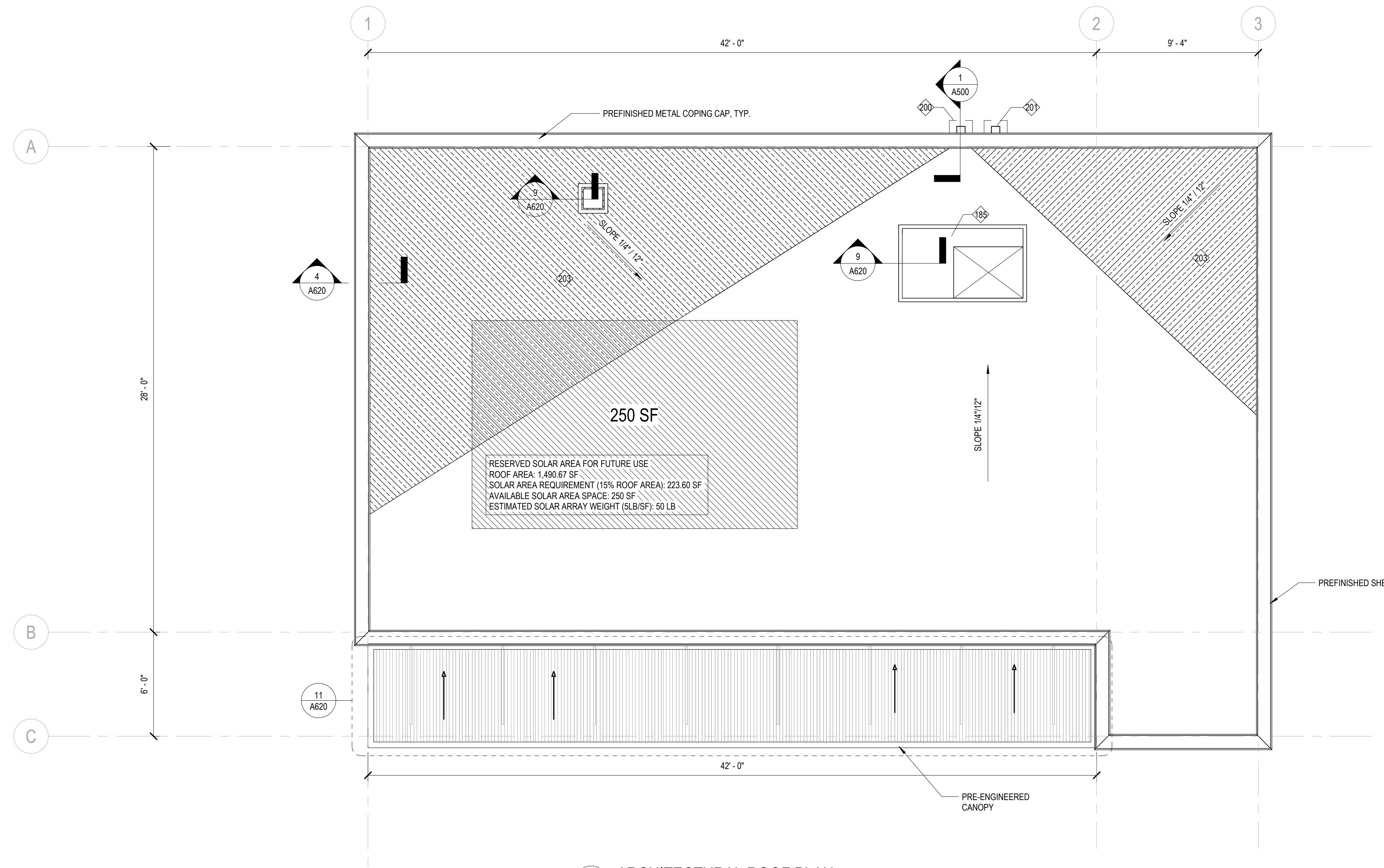
T1 SW 7043 'WORDLY GRAY'



EXTERIOR FINISH LEGEND
T1 TYPICAL OFF-WHITE FIELD COLOR EXTERIOR
TEXTURE ACRYLIC COATING
SW 7043 'WORDLY GRAY'



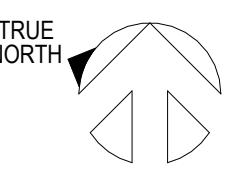
1 ARCHITECTURAL FLOOR PLAN
A200 1/4" = 1'-0"



2 ARCHITECTURAL ROOF PLAN
A200 1/4" = 1'-0"

GENERAL NOTES - FLOOR PLAN

- REFER TO GENERAL NOTES ON A001
- REFER TO A010 FOR FIRE RATING AND LIFE SAFETY INFORMATION
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE, UOI
- REFER TO A001 FOR EXTERIOR WALL ASSEMBLIES
- REFER TO A001 FOR ROOF & FLOOR ASSEMBLIES
- ALL SCAFFOLDING LOCATIONS ARE TO TOP OF ROOFING MEMBRANE OR TOP OF PARAPET COPING
- CONTRACTORS TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
- COORDINATE ALL EQUIPMENT LOCATIONS, DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
- PTD1' IS TYPICAL PAINT FINISH FOR ALL SPACES. 'P3' TO BE APPLIED UNLESS OTHERWISE NOTED ON PLANS FOLLOW FINISH SCHEDULE PER FINISH LEGEND.
- REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS.



KEYNOTE LEGEND

Key Value	Keynote Text
185	PREMANUFACTURED CURB FOR FUTURE EQUIPMENT, RE-MECHANICAL FOR DIMENSIONS AND LOCATIONS, GC TO COORDINATE FINAL OPENINGS WITH EQUIPMENT MANUFACTURER. PROVIDE CURB CAPS FOR ALL EQUIPMENT NOT INSTALLED DURING INITIAL BUILD-OUT PHASE.
189	FURRING WALL TO BE CONSTRUCTED IN TI PHASE
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOUT ON ROOF. PROVIDE DOWNSPOUTS TO GUTTER. OVERFLOW THROUGH WALL SCUPPER LOCATE 1 FOOT TO SIDE OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE
201	CRICKET GRAPHICALLY INDICATED TO PROPERLY SLOPE STORM WATER TO THRU-WALL SCUPPERS AND GENERALLY CREATE EQUAL STORM WATER DISTRIBUTION TO THE ROOF SCUPPERS

FLOOR PLAN LEGEND

	1HR FIRE BARRIER
	DOOR NUMBER
	DOOR HARDWARE SET NUMBER
	DOOR ELEVATION
	PARTITION TAG
	WINDOW TAG
	CMU

PROJECT ADDRESS
26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

GENERAL NOTES - ROOF PLAN

- CONTRACTOR MUST VERIFY IN FIELD ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION, AND NOTIFY THE ARCHITECT/ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF WORK.
- ROOF CURBS FOR EQUIPMENT SHALL BE FURNISHED WITH WEATHERPROOF CAPS.
- COORDINATE ALL REQUIRED ROOF SCOPE w/ MEP TRADES, INCLUDING BUT NOT LIMITED TO PLUMBING, VENTS, POWER CONDUITS, ETC.
- ALL PENETRATIONS (PIPING, VENTS, ETC.) CREATED IN THE ROOF SHALL BE DETAILED IN ACCORDANCE WITH THE ROOFING CONTRACTOR. ALL ROOFING CONTRACTOR DETAILS SHALL BE CONSISTENT w/ THE WARRANTY OF THE ROOFING ASSEMBLY, AND SHALL NOT REDUCE OR VOID THE WARRANTY IN ANY MANNER.
- PROVIDE ROOF DAVITS FOR FUTURE MAINTENANCE TIE-OFF. G.C. SHALL COORDINATE TO ENSURE DIMENSIONS IN FIELD TO ENSURE DAVIT IS 8' ABOVE THE ROOF SURFACE AND PROPERLY FLASHED.

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ROOF PLAN LEGEND

	TAPERED ROOF INSULATION
	RESERVED SOLAR AREA FOR FUTURE USE

ISSUE DATE: PROJECT NO: 25691.000
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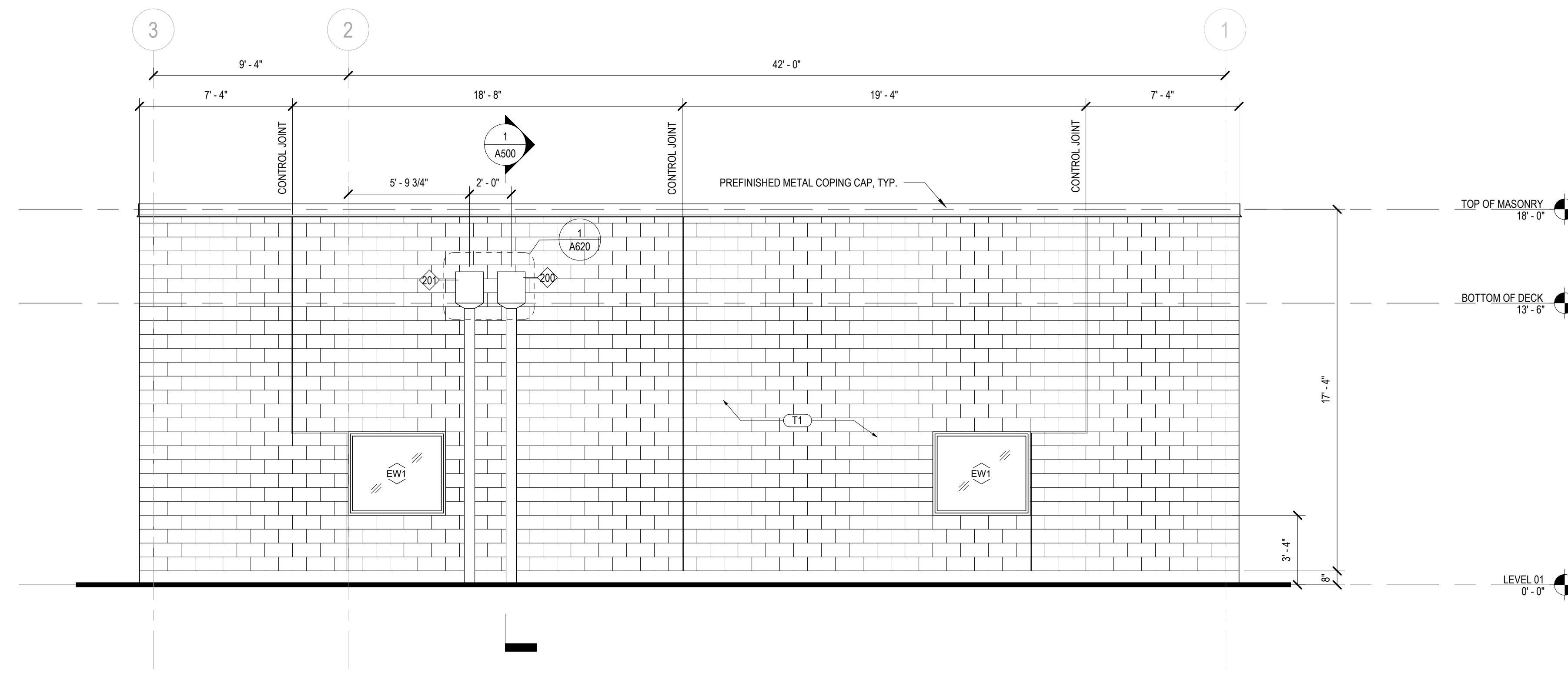
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PROJECT: BUILDING C SHELL

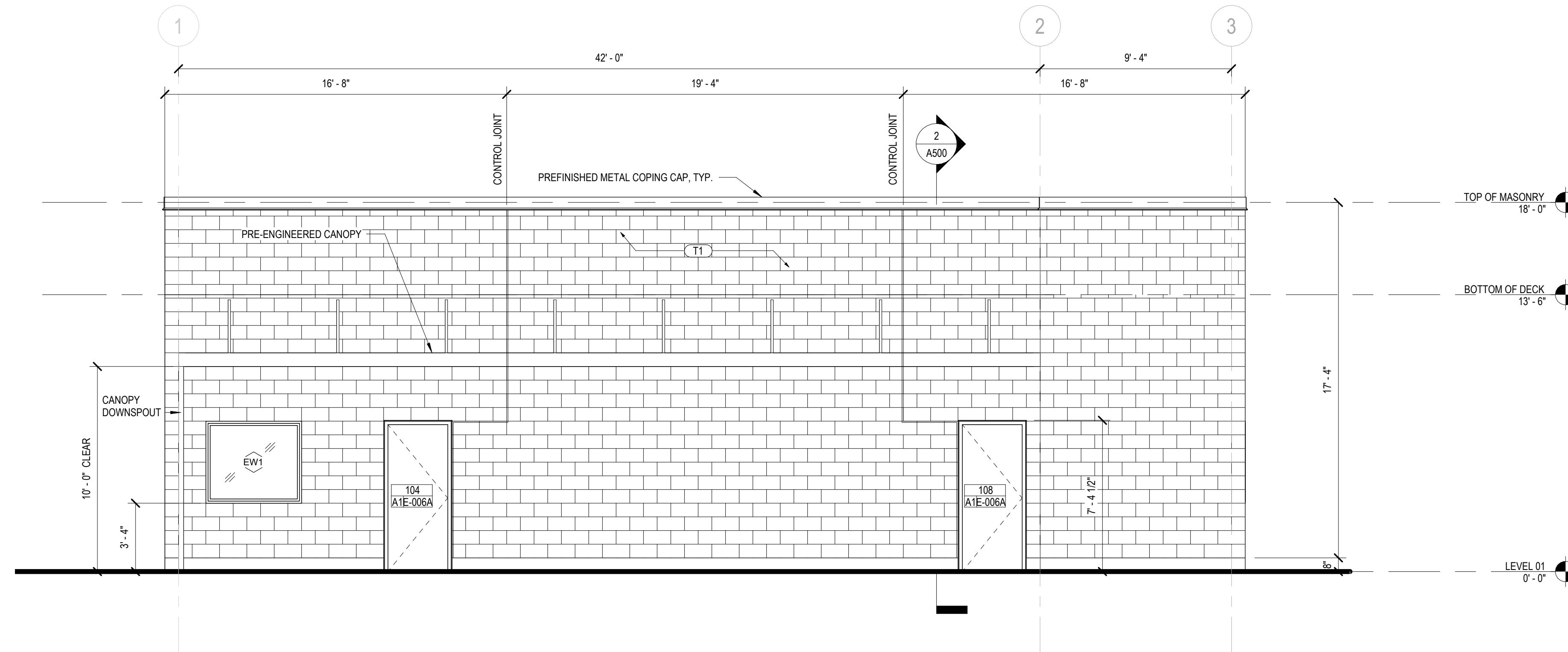
TITLE: ARCHITECTURAL CORE & SHELL OVERALL FLOOR PLAN

DRAWING: A200

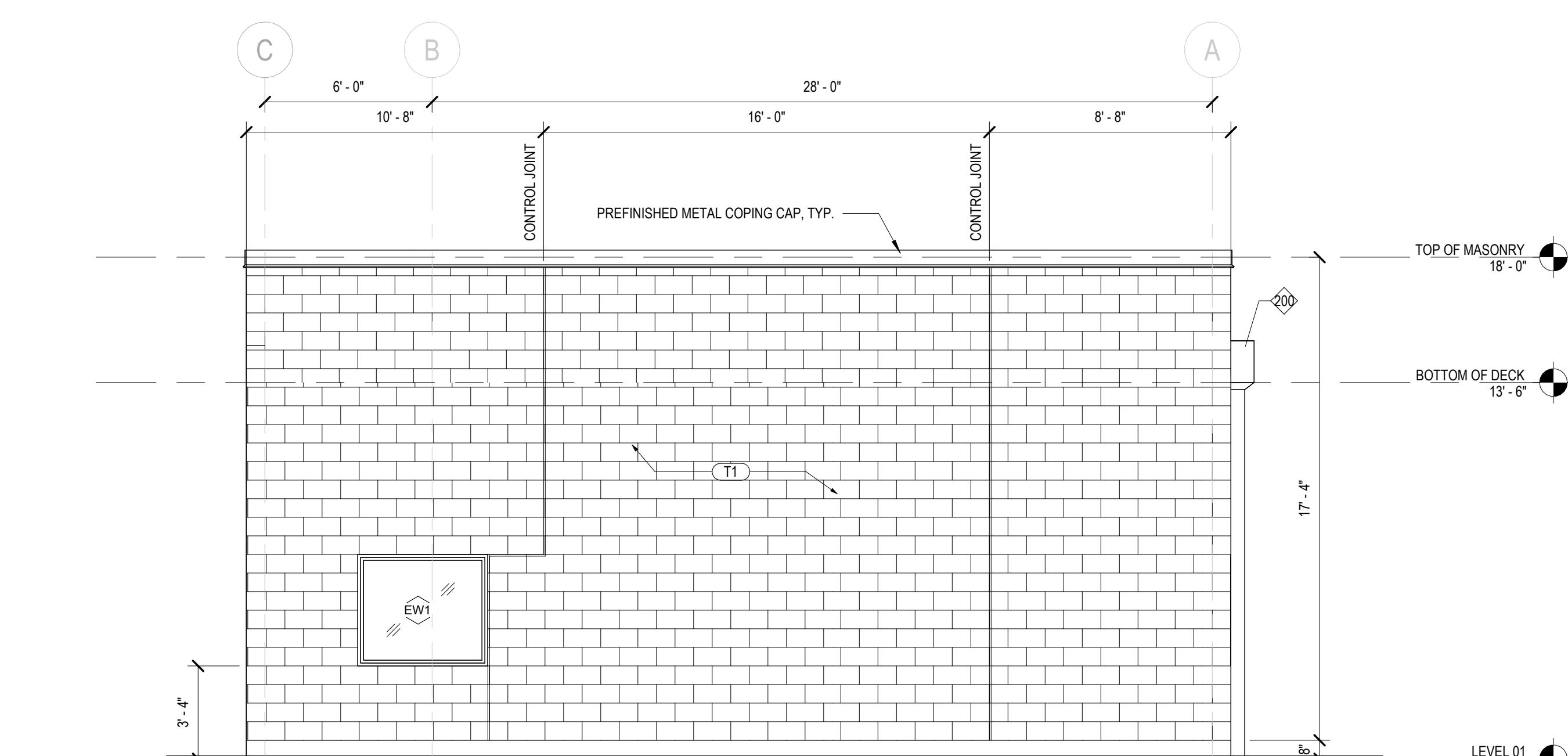
E1 SCALE: As indicated AGILE No: REV: 0



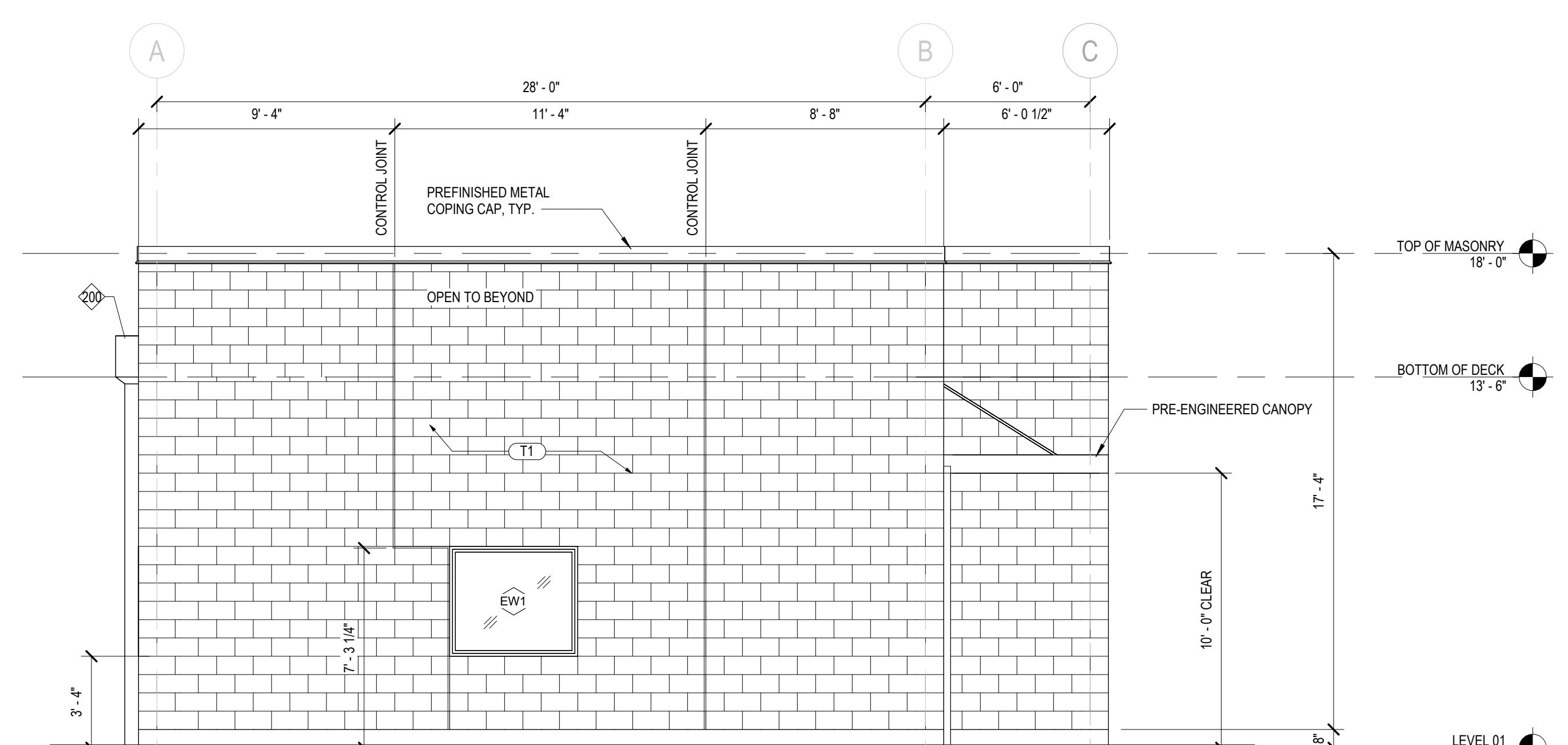
1 BUILDING ELEVATION- NORTH
A400 1/4" = 1'-0"



2 BUILDING ELEVATION- SOUTH
A400 1/4" = 1'-0"



3 BUILDING ELEVATION- EAST
A400 1/4" = 1'-0"



4 BUILDING ELEVATION- WEST
A400 1/4" = 1'-0"

GENERAL NOTES

1. CHAMFER ALL EXPOSED CONCRETE EDGES.
2. LINE OF FOOTINGS / FOUNDATIONS SHOWN (DASHED) ARE FOR REFERENCE ONLY. REFER TO STRUCTURAL FOR FOOTING / FOUNDATION ELEVATIONS, SIZES AND DETAILS.
3. ALL EXPOSED METAL TO BE PAINTED, UON, TYP.

KEYNOTE LEGEND	
Key Value	Keynote Text
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOUT ON EXTERIOR FACE OF BUILDING
201	OVERFLOW THROUGH WALL SCUPPER. LOCATE 1 FOOT TO SIDE OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE

PROJECT ADDRESS
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HAYWARD, CA 94545

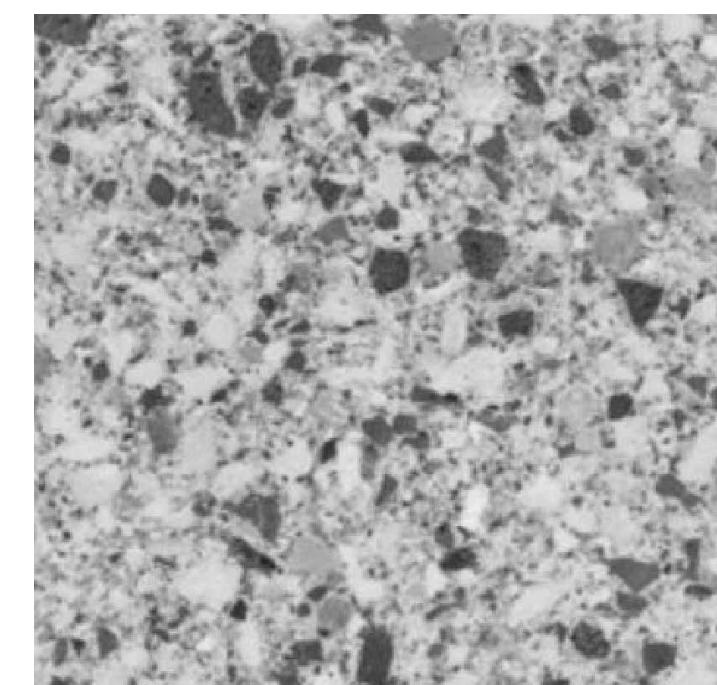
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ISSUE DATE: PROJECT NO. 25691.000
DESIGNED: HKS ARCHITECT: HKS
MARK DATE DESCRIPTION

T1 TRENDSSTONE GROUND FACE
CMU - 'OREO CREAM'



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PROJECT:
BUILDING C SHELL

TITLE:
ARCHITECTURAL EXTERIOR ELEVATIONS

DRAWING:
A400

E1 SCALE:
As indicated

AGILE No:

REV: 0



HAYWARD INDUSTRIAL DESIGN GUIDELINES - BUILDING DESIGN

MASSING & ARTICULATION

1. Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height, and roofs located at different levels in order to minimize the overall appearance of the elevation. In general, building wall planes visible from a public street should not continue for more than 50-feet without a change in building wall plane direction of 2-feet or more.

2. Design massing elements to be properly scaled and in proportion to one another in order to provide a balance between horizontal and vertical emphasis.

3. Organize street facing building massing so as to emphasize interior uses of a building, such as the primary entry, building corners, or office space, through the use of varying roof height, windows, variation in materials, and other design treatments.

4. Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, or other features to create shadow patterns and depth on building elevations. Reuse of existing buildings may also include wall art or sculptural art elements.

5. Minimize blank wall planes on all elevations through the use of wall plane variation, trim or reveals, entry and window openings, and/or varying colors and materials.

WINDOWS & DOORS

6. Use window and door type, proportion, and colors and materials to complement the overall architectural style of the building.

7. Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.

COLORS AND MATERIALS

8. Select building colors and materials to reinforce building design, detailing, and architectural form in order to achieve harmony and continuity of the overall design.

9. Utilize accent colors for trim, windows, doors, and other key architectural elements, such as primary building entries, to add visual interest to a building.

10. Apply materials in a manner that corresponds to variation in building massing. Wrap outside corners to avoid a tacked-on appearance

11. Use durable and high quality materials on building exteriors, especially in areas near ground level.



HAYWARD INDUSTRIAL DESIGN GUIDELINES - BUILDING DESIGN

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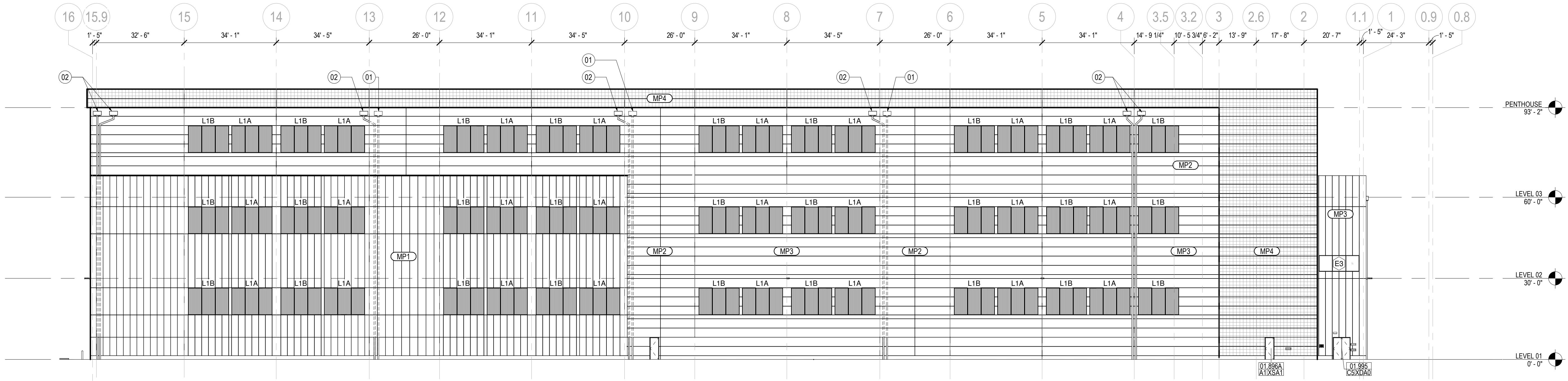
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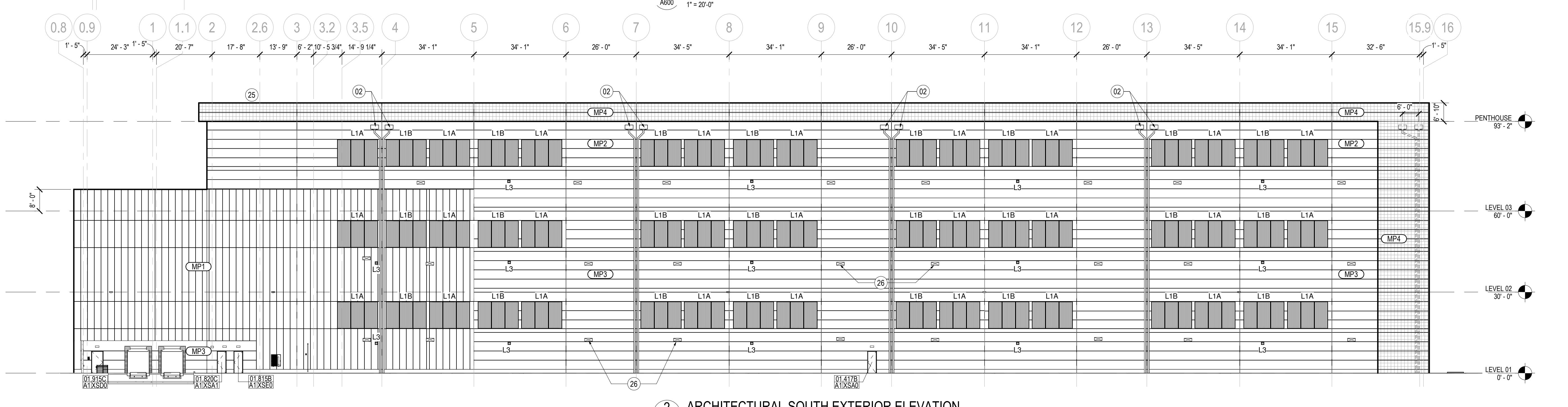
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10. Apply materials in a manner that corresponds to variation in building massing. Wrap outside corners to avoid a tacked-on appearance

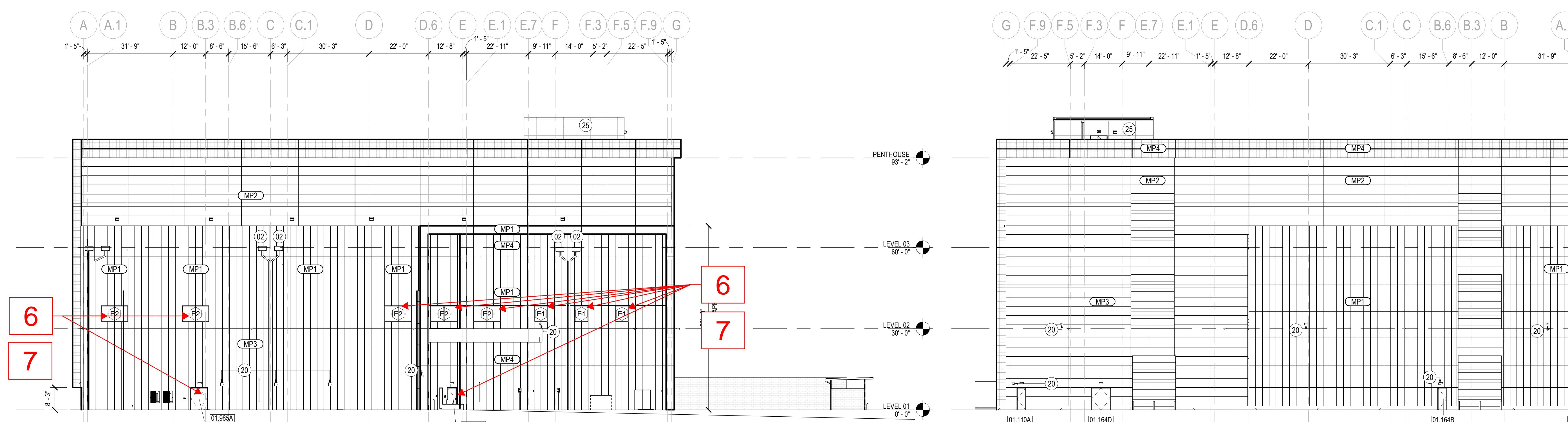
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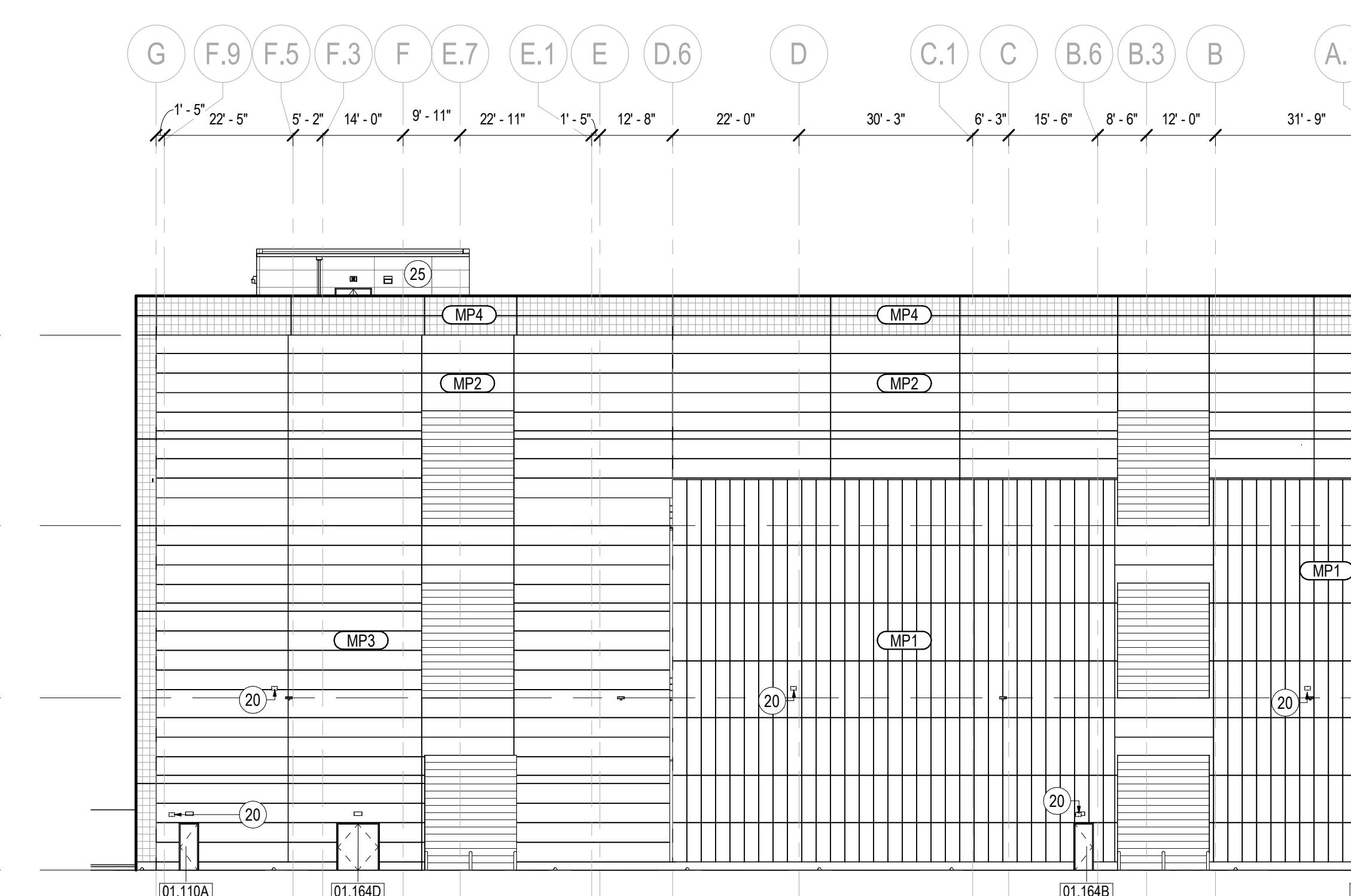
1 ARCHITECTURAL NORTH EXTERIOR ELEVATION



2 ARCHITECTURAL SOUTH EXTERIOR ELEVATION



3 ARCHITECTURAL WEST EXTERIOR ELEVATION



4 ARCHITECTURAL EAST EXTERIOR ELEVATION

11

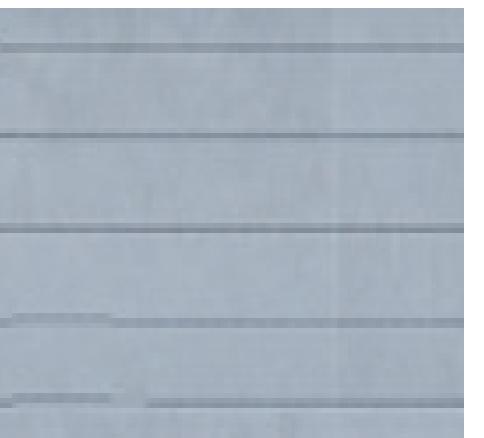
EXTERIOR FINISH LEGEND:

	BOD: CENTRIA FORMA WALL DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL DARK BRONZE
	BOD: CENTRIA FORMA WALL DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 200 DEEP BLUE SEA
	BOD: CENTRIA FORMA WALL WHITE COLOR SMOOTH EXTERIOR TEXTURE 179 REGAL WHITE
	BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL MEDIUM GRAY
	BOD: CENTRIA PARADIGM METAL PANEL 9918 DOVE GRAY; 9999 PLATINUM SUNDAGENE AM COATING; 9989 PLATINUM SUNDAGENE MCA COATING

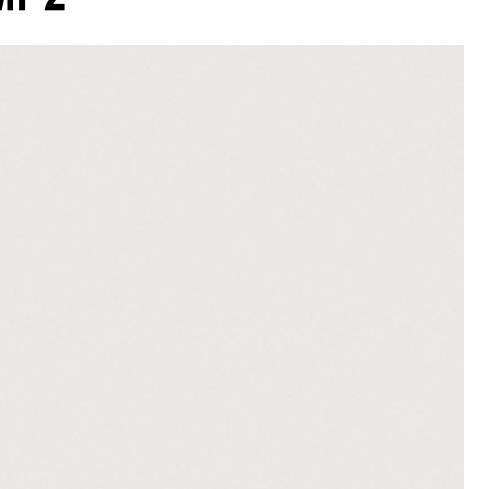
EXTERIOR FINISH LEGEND



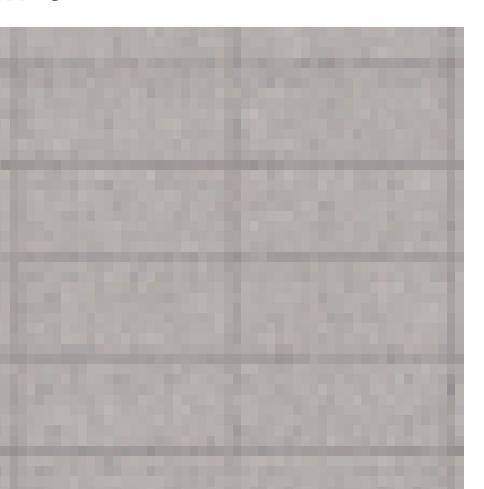
MP1



MP2



MP3



MP4

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DESIGNED: HKS ARCHITECT: HKS

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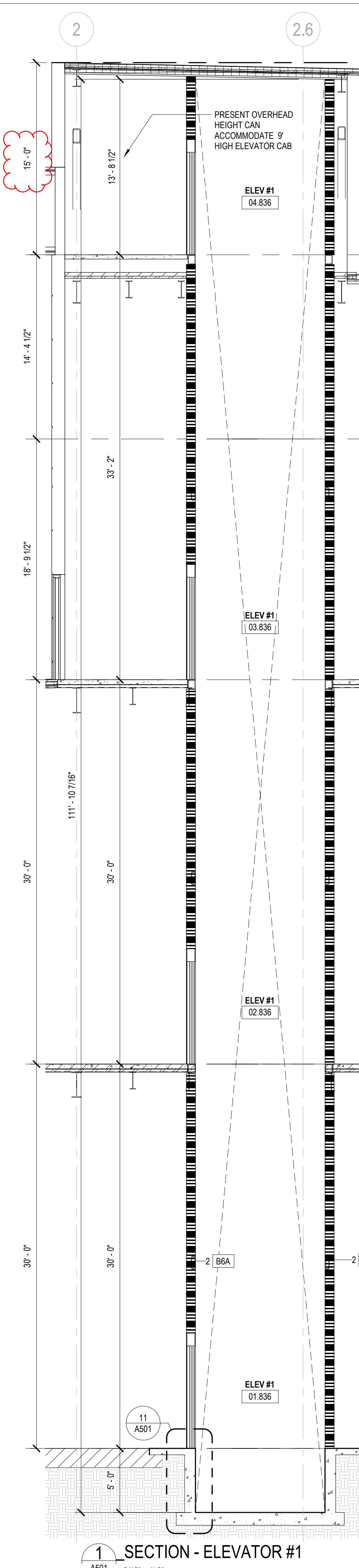
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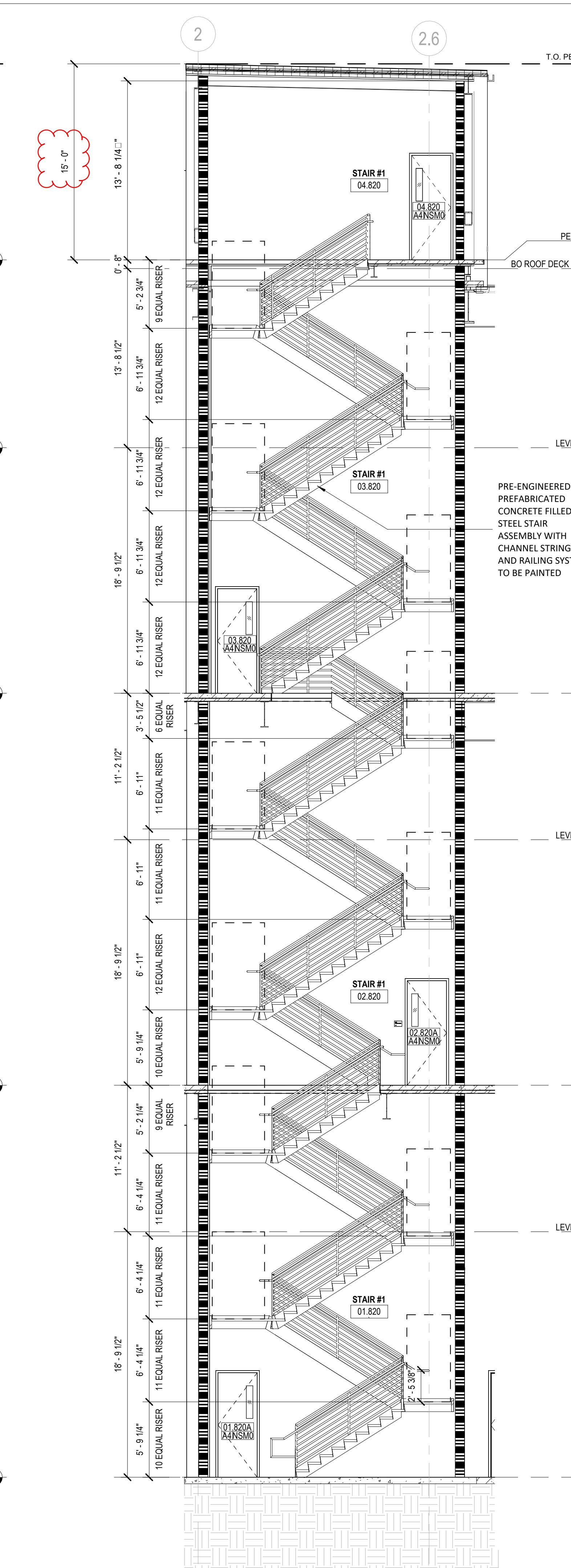
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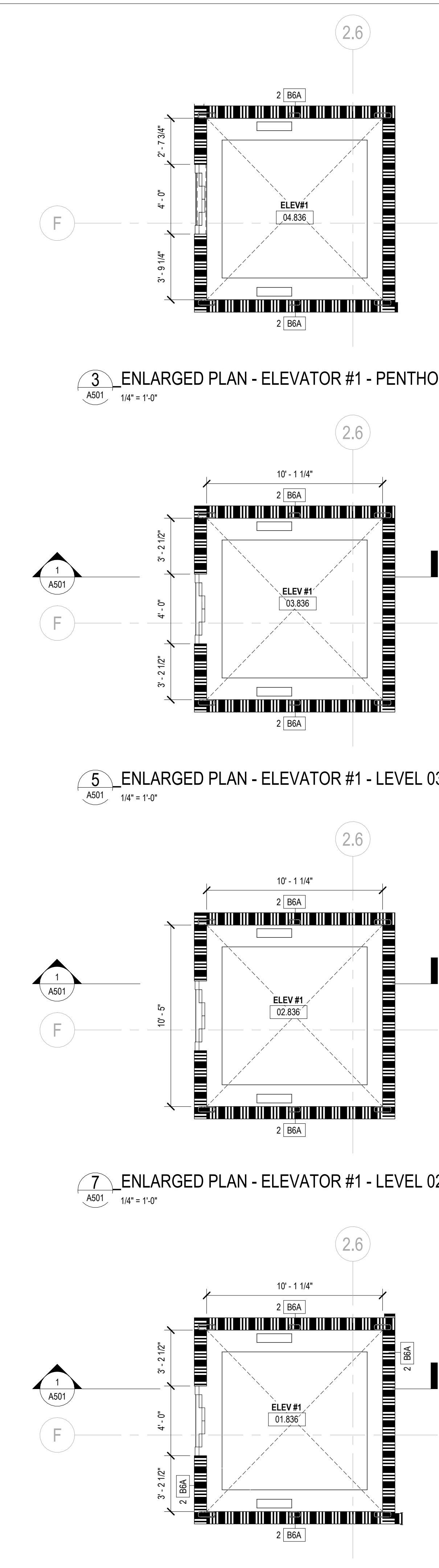
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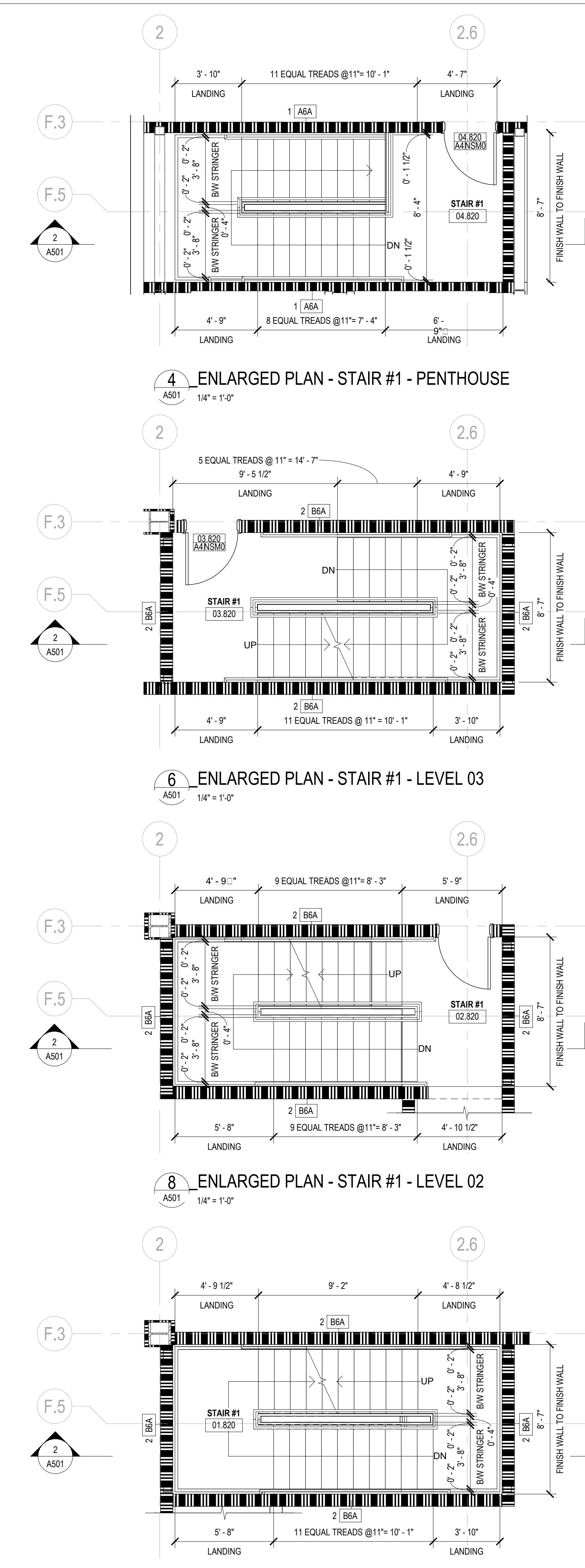
1 SECTION - ELEVATOR #1



2 SECTION - STAIR #1

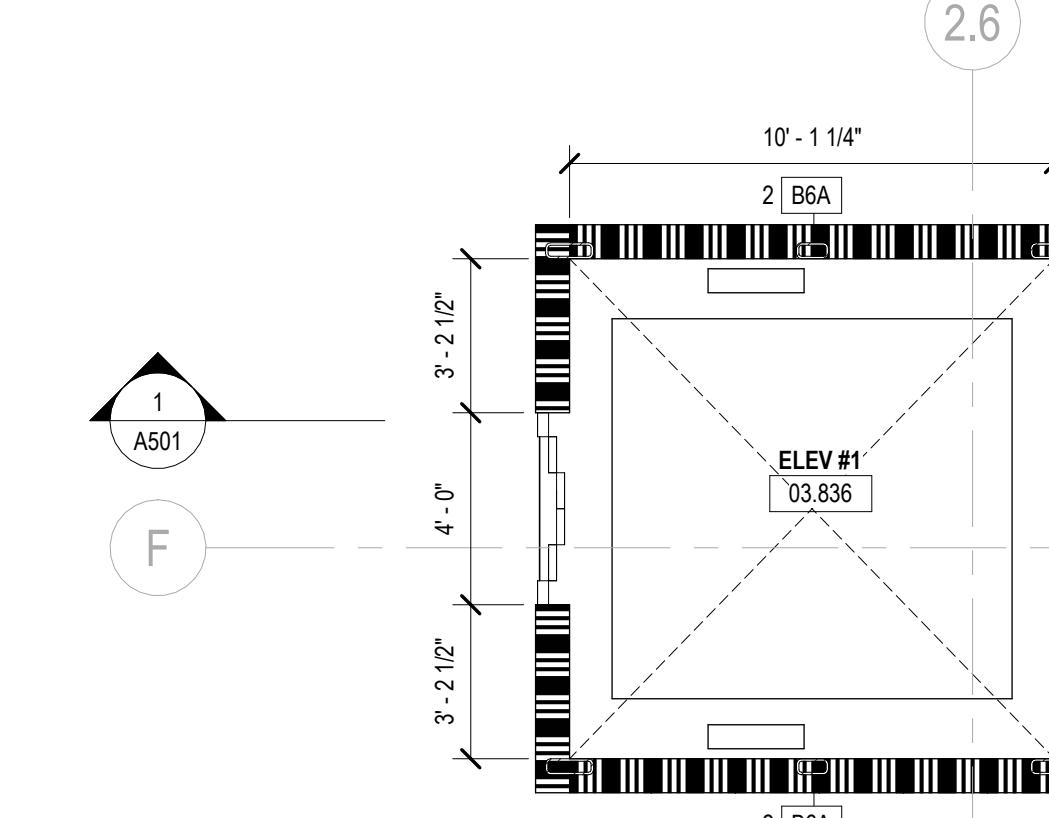


12 ENLARGED PLAN - ELEVATOR #1 - PIT PLAN

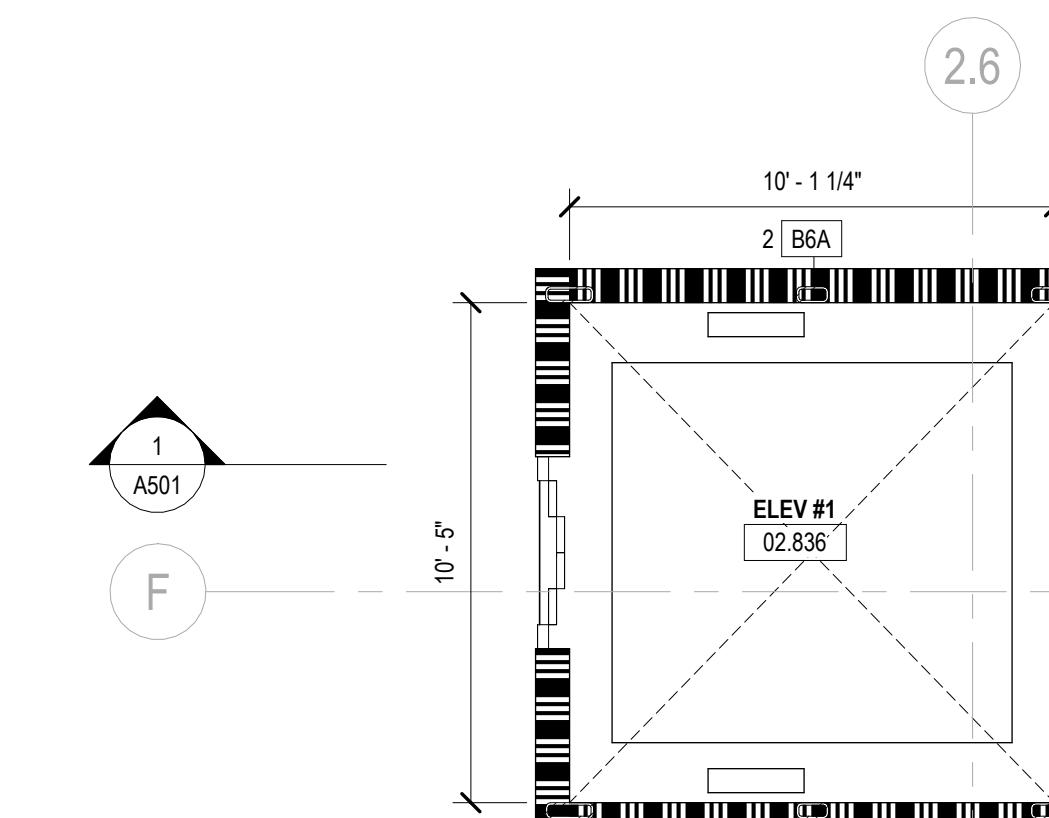


13 ENLARGED PLAN - STAIR #1 - PIT PLAN

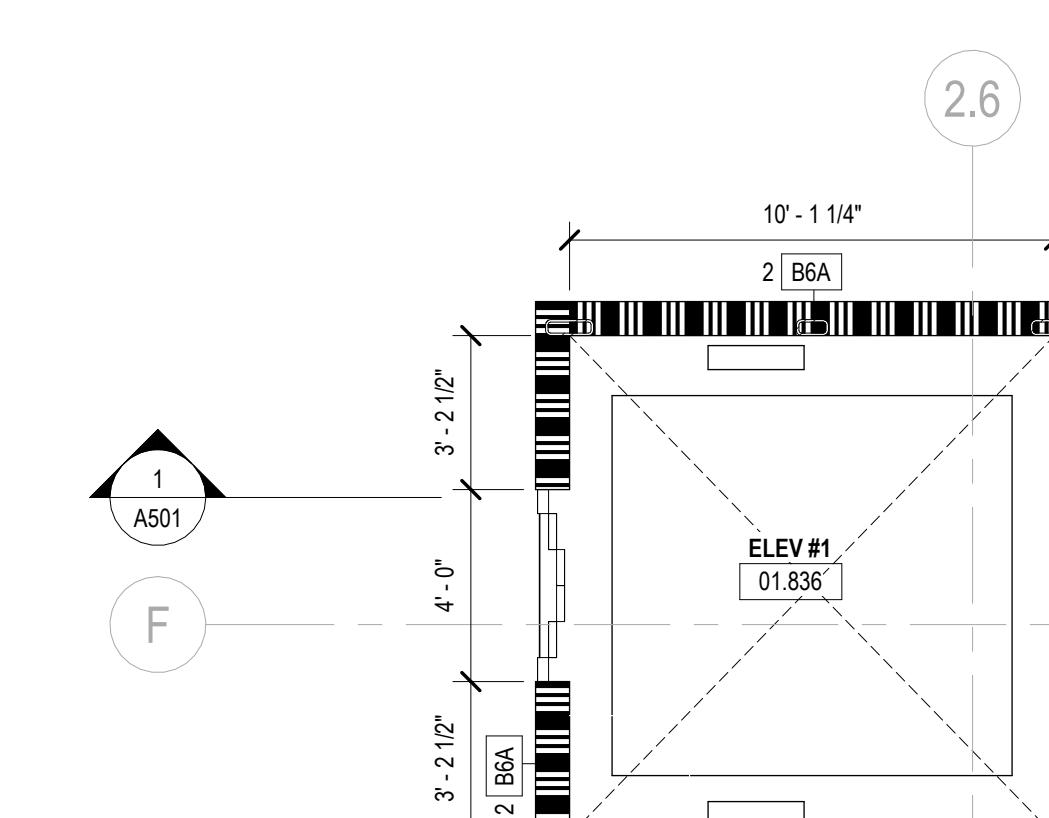
3 ENLARGED PLAN - ELEVATOR #1 - PENTHOUSE



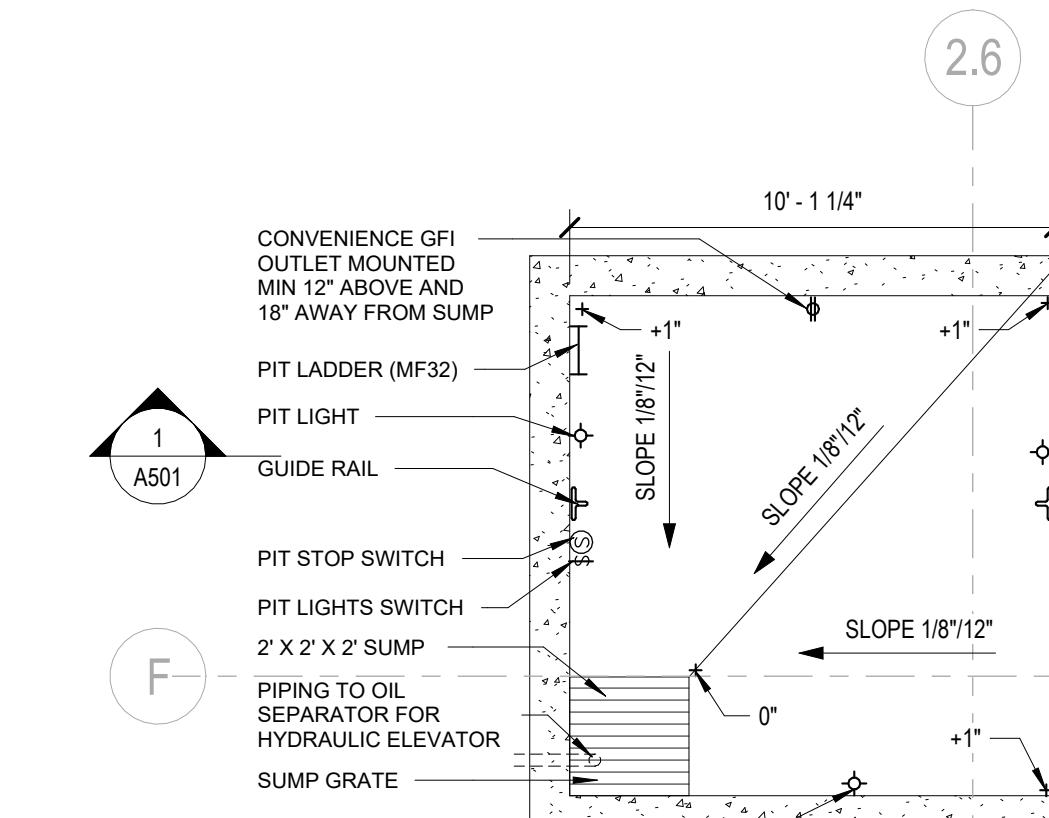
5 ENLARGED PLAN - ELEVATOR #1 - LEVEL 03



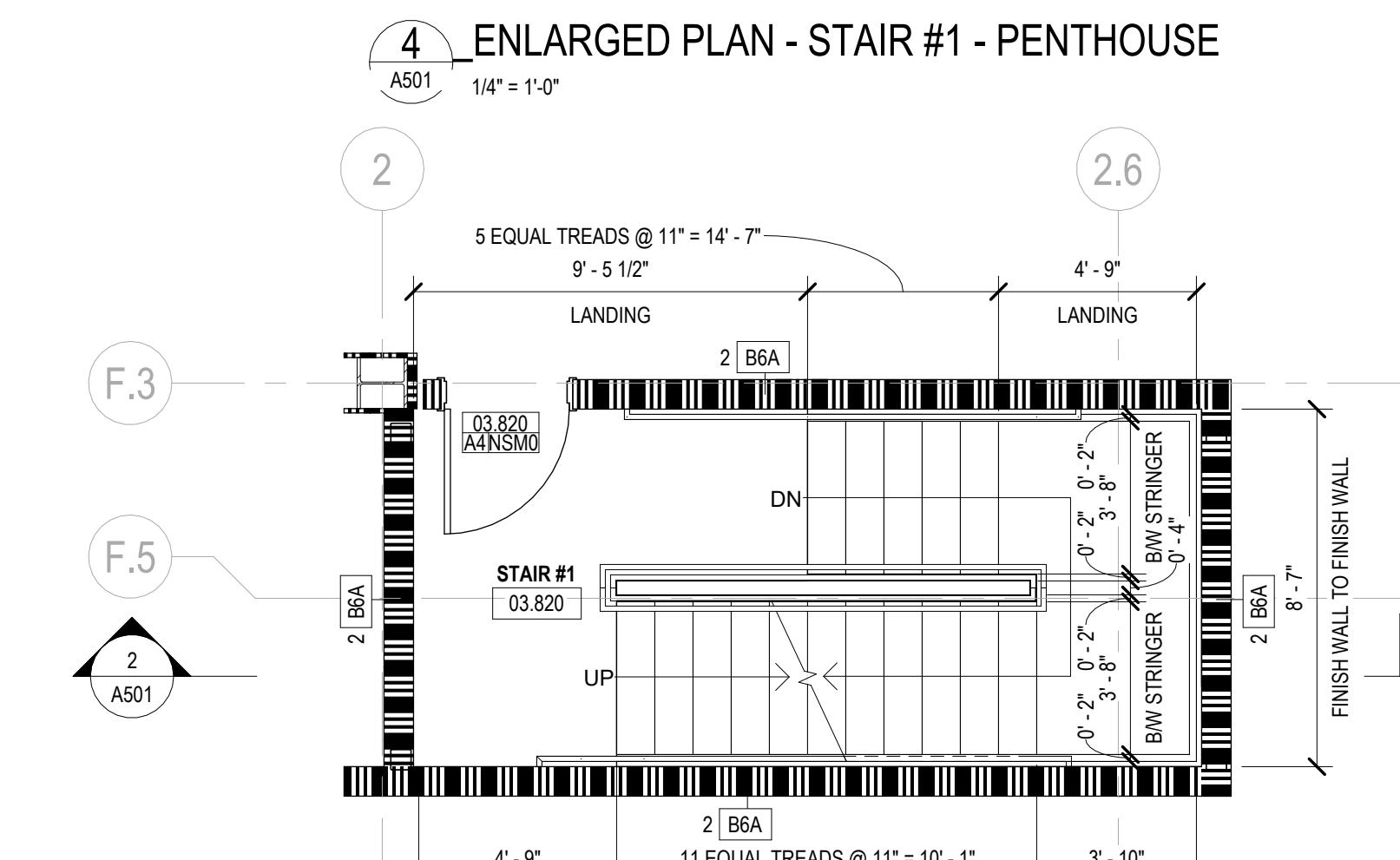
7 ENLARGED PLAN - ELEVATOR #1 - LEVEL 02



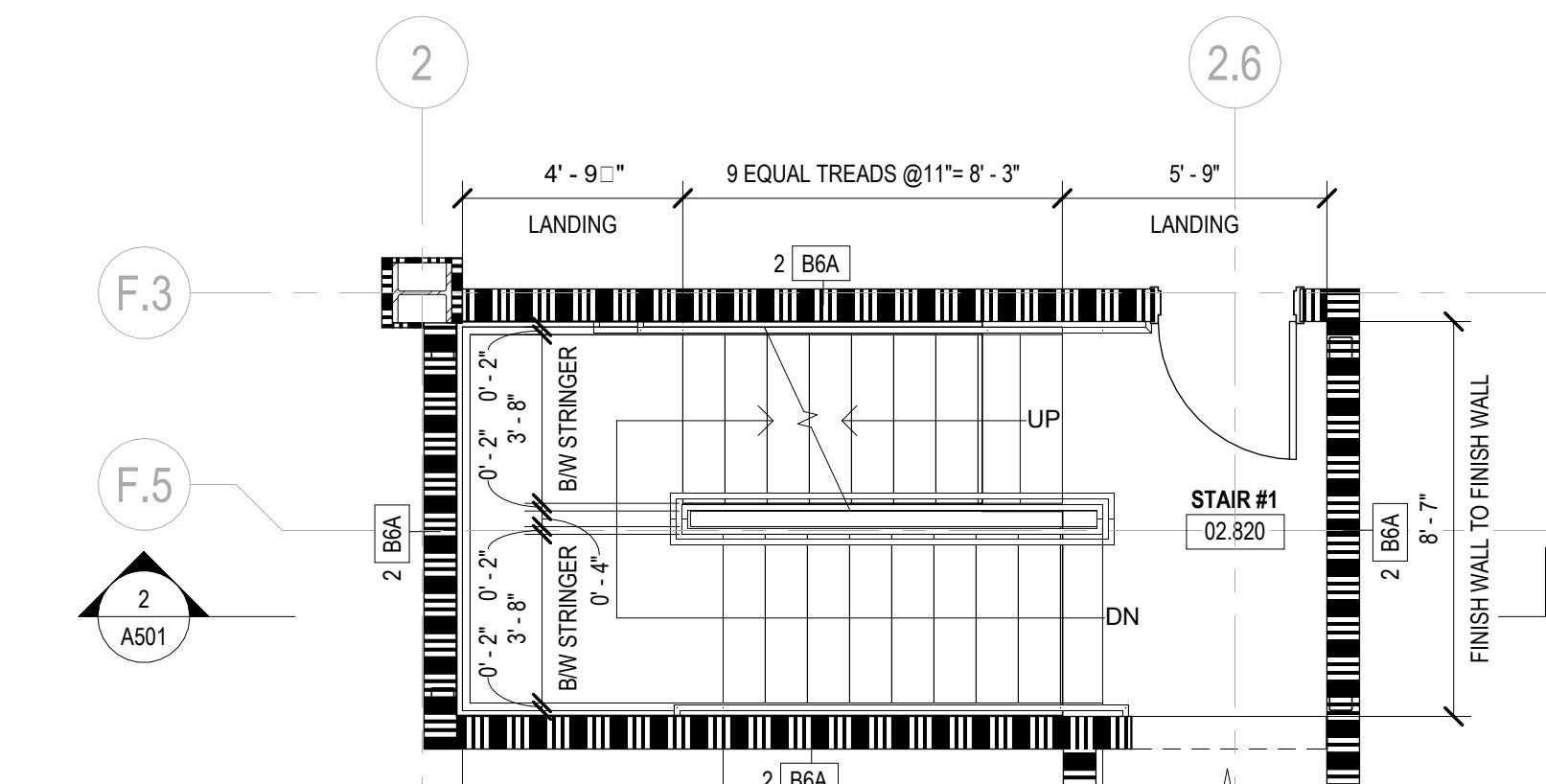
9 ENLARGED PLAN - ELEVATOR #1 - LEVEL 01



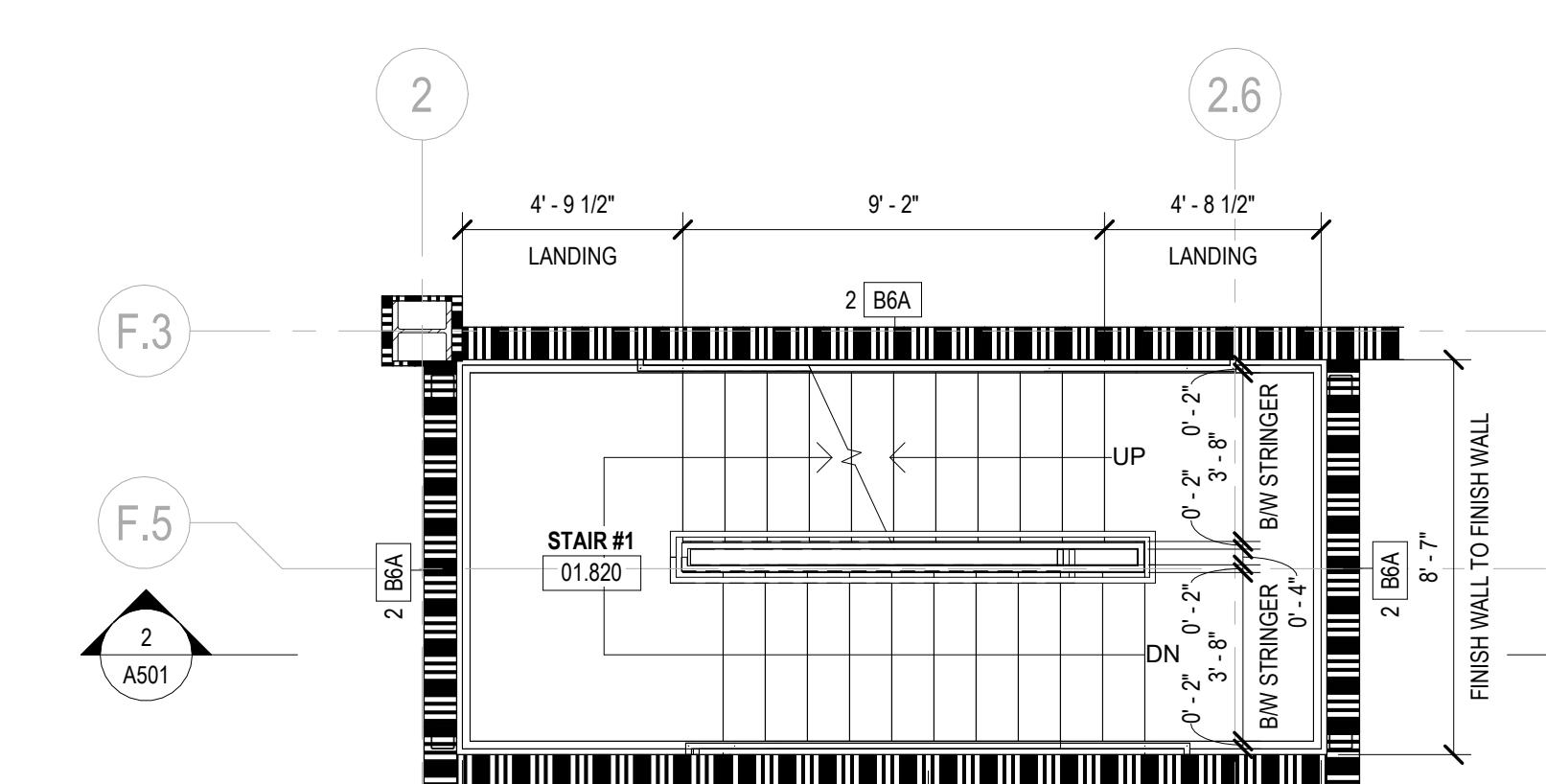
11 PIT SECTION WITH SHEET WATERPROOFING



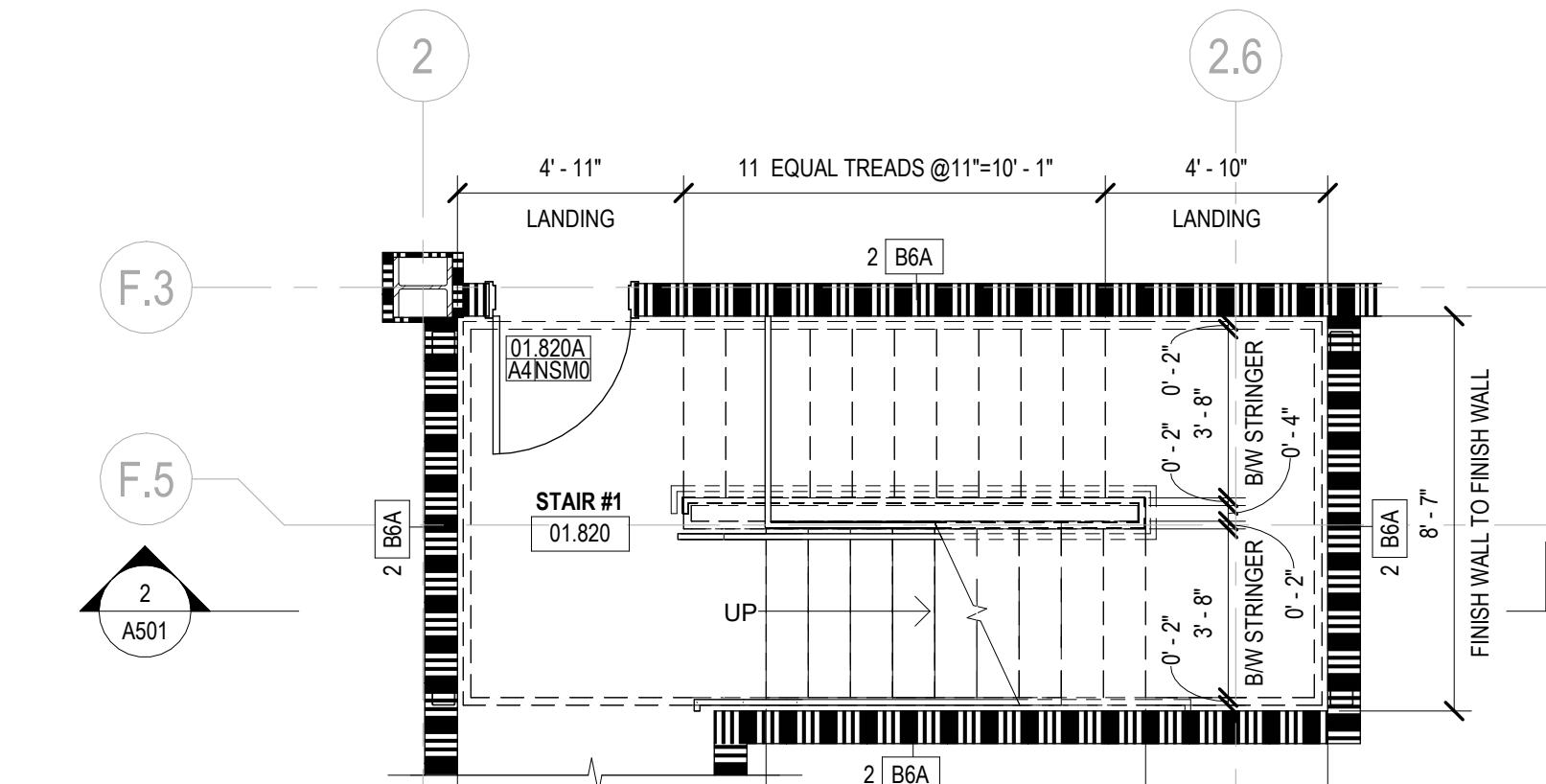
6 ENLARGED PLAN - STAIR #1 - LEVEL 03



8 ENLARGED PLAN - STAIR #1 - LEVEL 02



10 ENLARGED PLAN - STAIR #1 - TYPICAL CSH



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PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL ELEVATOR & STAIR PLANS & SECTIONS

DRAWING: A501

E1 SCALE: AS Indicated AGILE No: REV: C

SVY03A

TOTAL FOOTPRINT		
BUILDING A	105,750	SF
GEN YARD	55,150	SF
TOTAL	160,900	SF

GFA		
LEVEL 01	105,750	SF
LEVEL 02	105,750	SF
LEVEL 03	98,960	SF
TOTAL	310,460	SF
GEN YARD	55,150	SF
TOTAL(DH + GEN. YARD)	365,610	SF

ROOMS
DATA HALL + DAHU
ELECTRIC ROOMS
OFFICE/LOBBY
STORAGE
STAIRS +LIFT WELL+SHAFTS

SVY03B

TOTAL FOOTPRINT		
BUILDING B	15,254	SF

GFA		
BUILDING C	15,254	SF

SVY03C

TOTAL FOOTPRINT		
BUILDING C	1,605	SF

GFA		
BUILDING C	1,605	SF

SITE

Landscaped Area	165,557	SF
Total Open Space	68,945	SF
Substation SVY03S1 Area	23,210	SF
Switching Station	25,800	SF
Lot Coverage	500,287	SF

Parking Requirements		
	57	Spaces
	6	ADA
Total	63	Spaces

Bike Requirements		
Long Term	3	EA
Short Term	2	EA
Total	5	Total

SVY03A AREA BREAKDOWN

LEVEL 01	LEVEL 02	LEVEL 03	PENTHOUSE	TOTAL	
69,278	65,809	62,519	0	197,606	SF
16,776	16,776	16,772	0	50,324	SF
13,100	14,379	7,261	0	34,740	SF
2,423	1,070	1,183	0	4,676	SF
4,148	7,691	11,215	884	23,938	SF
105,725	105,725	98,950	884	311,284	