



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
 MAIN OFFICE: 18000 RAVEN HILL BLVD., SUITE 100, HAYWARD, CALIFORNIA 94545
 (510) 887-4086
 WWW.LEA-BRAZE.COM

SEQUOIA GROVE
 123 A STREET
 HAYWARD, CALIFORNIA
 HABITAT FOR HUMANITY EAST BAY/SILICON VALLEY INC.
 ALAMEDA COUNTY APN: 431-0016-088-03

VESTING TENTATIVE MAP
TRACT MAP #8104
TITLE SHEET

REVISIONS	BY
2 PERMIT REV 2 2023-08-03	VA
1 PERMIT REV 1 2023-06-13	VA
DATE	02-10-23
SCALE	AS NOTED
DESIGN BY:	PT/VA
CHECKED BY:	JH/PC
SHEET NO:	
TM-1	
01 OF 06 SHEETS	

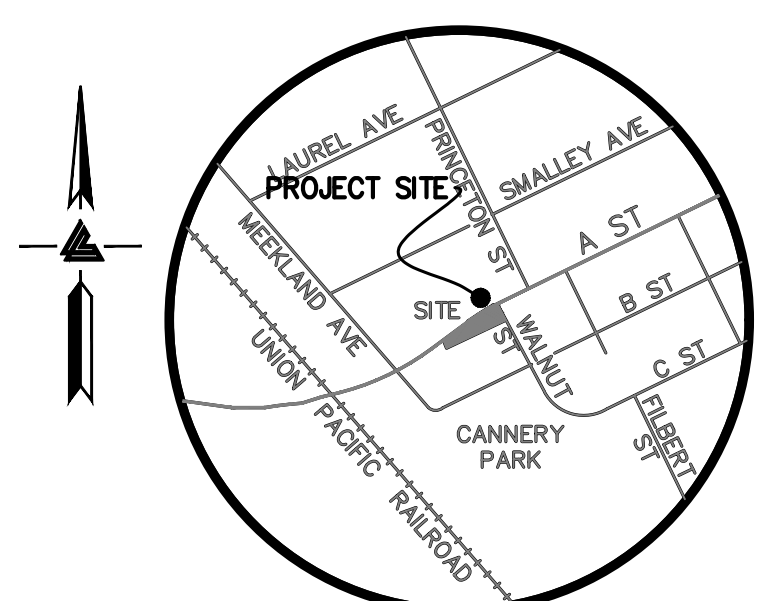
VESTING TENTATIVE MAP

TRACT MAP # 8104

SEQUOIA GROVE

123 A STREET

HAYWARD, CALIFORNIA



VICINITY MAP

OWNER'S INFORMATION

OWNER: CITY OF HAYWARD
 777 "B" STREET
 HAYWARD, CA 94541

APPLICANT: HABITAT FOR HUMANITY
 EAST BAY / SILICON VALLEY
 2619 BROADWAY
 OAKLAND, CA 94612
 PH. 510 251-6304

ENGINEER: LEA & BRAZE ENGINEERING, INC.
 2495 INDUSTRIAL PARKWAY WEST
 HAYWARD, CA 94545
 (510) 887-4086

APN: 431-0016-088-03

ZONING INFORMATION
 EXISTING ZONING: RM/SD4
 PROPOSED ZONING: PD

FEMA NOTES

SUBJECT SITE IS LOCATED WITHIN FEMA FLOOD ZONE "X". ZONE "X" IS DESIGNATED AS: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD; WITH AVERAGE OF LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. BASE FLOOD ELEVATION FOR SUBJECT SITE IS NOT SHOWN ON FLOOD INSURANCE RATE MAP NO. 06001C0286G, AUGUST 3, 2009.

REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA AND BRAZE ENGINEERING, ENTITLED: "TOPOGRAPHIC SURVEY" 123 A STREET HAYWARD, CALIFORNIA DATED: TBD JOB#: 2230238
 - SITE PLAN BY GEOFFREY HOLTON AND ASSOCIATES ENTITLED: "SITE PLAN - HABITAT FOR HUMANITY EAST BAY/ SILICON VALLEY, INC., SEQUOIA GROVE" "A" STREET & WALNUT STREET HAYWARD, CALIFORNIA
 - CITY OF HAYWARD BASE MAPS FOR STORM DRAIN, SANITARY SEWER AND WATER.
 - SOIL REPORT BY ROCKRIDGE GEOTECHNICAL ENTITLED: "GEOTECHNICAL INVESTIGATION" 123 A STREET HAYWARD, CALIFORNIA DATED: 7-19-12 JOB #: 11-354

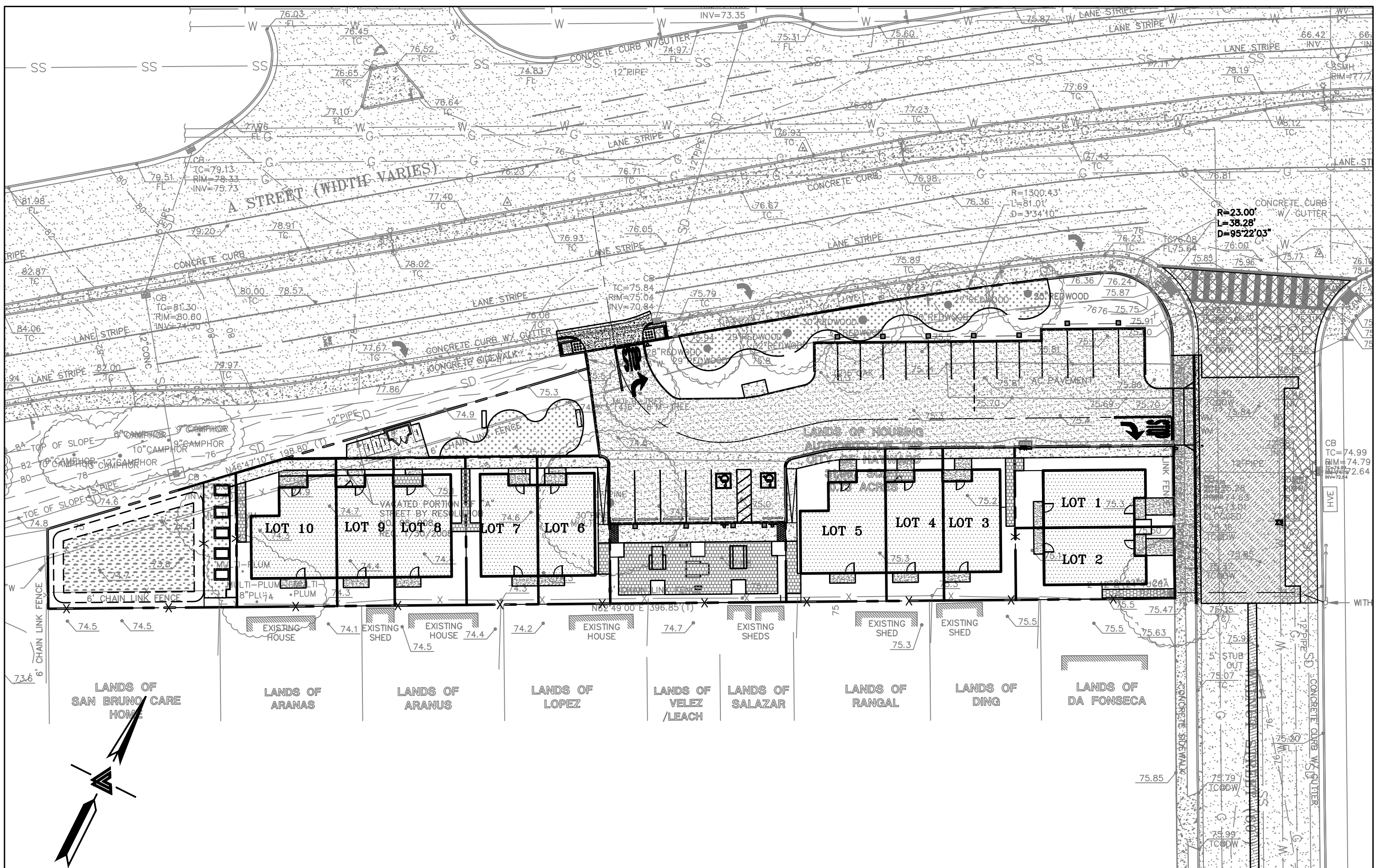
THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

UTILITIES / SERVICES

UTILITIES / SERVICES	CITY OF HAYWARD
WATER	CITY OF HAYWARD
SEWER	CITY OF HAYWARD
GAS	PACIFIC GAS AND ELECTRIC (PG&E)
ELECTRICITY	PACIFIC GAS AND ELECTRIC (PG&E)
TELEPHONE	AT&T
FIRE PROTECTION	CITY OF HAYWARD
STORM WATER	CITY OF HAYWARD

SHEET INDEX

TM-1	TITLE SHEET
TM-2	LOT LAYOUT PLAN
TM-3	PRELIMINARY GRADING PLAN
TM-4	PRELIMINARY UTILITY PLAN
TM-5	SITE SECTIONS
TM-6	STORM WATER CONTROL PLAN



KEY MAP

DATE	CIVIL ENGINEER	79555
	PETER CARLINO	
DATE	LAND SURVEYOR	7623
	GREGORY F. BRAZE	
DATE	GEOTECHNICAL ENGINEER	

ESTIMATED EARTHWORK QUANTITIES

CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	270	645	915
FILL	0	0	0
EXPORT			915

NOTE:
 GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

OWNER'S STATEMENT

I, _____ (AN AUTHORIZED SIGNING AGENT FOR HABITAT FOR HUMANITY EAST BAY/SILICON VALLEY, INC.) AGREE TO THE FILING OF SAID MAP AND AGREE TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.

AS OWNER:
 _____ DATE _____

NOTE:
 HOMEOWNERS' ASSOCIATION WILL OWN AND MAINTAIN ALL COMMON LOTS, PRIVATE DRIVEWAY, PRIVATE STREET LIGHTS, PRIVATE STORM DRAIN SYSTEM, WATER QUALITY TREATMENT FACILITIES AND COMMON AMENITIES



*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
 UNDERGROUND UTILITY LOCATION IS BASED ON CITY OF HAYWARD AS-BUILT PLANS.
 BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.

BENCHMARK

CITY OF HAYWARD BENCHMARK MON (PLATE) NEAR INTERSECTION "A" STREET & "WALNUT STREET" (FORMERLY BURBANK) 5'± N FROM N SIDE ISLAND CURB ELEVATION = 75.375' (CITY OF HAYWARD DATUM)

EASEMENT NOTE

TITLE REPORT PREPARED BY OLD REPUBLIC TITLE COMPANY DATED MAY 22, 2015 ORDER NO. 1117010856-JM. EXCEPTION #3: "RIGHTS OF THE PUBLIC, COUNTY AND/OR CITY, IN AND TO THAT PORTION OF SAID LAND LYING WITHIN THE LINES OF A STREET." THERE ARE NO OTHER EASEMENTS LISTED IN SAID REPORT.

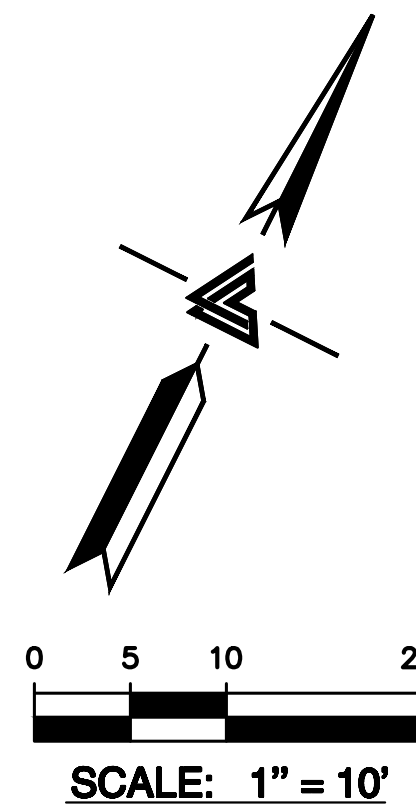
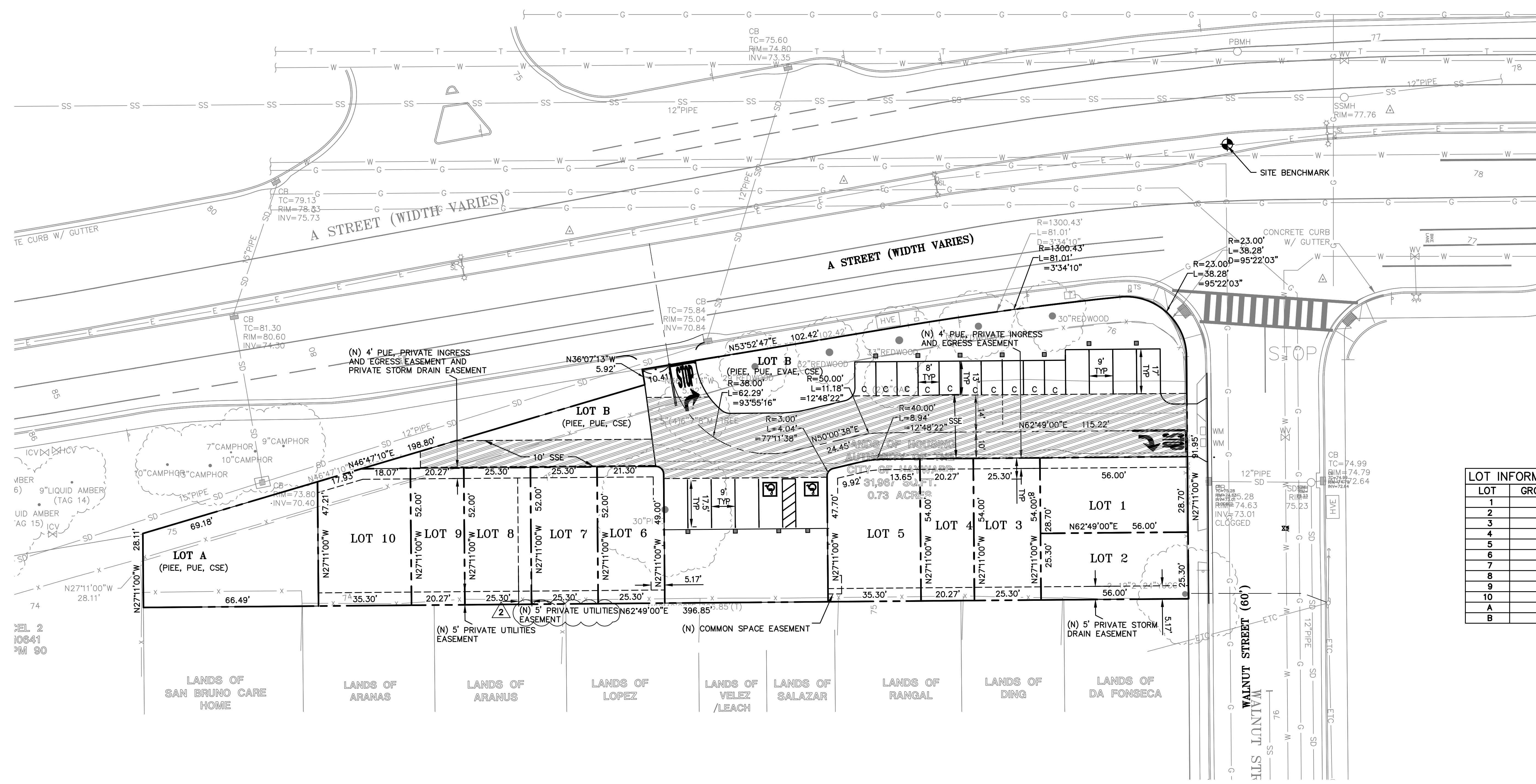
SITE BENCHMARK

SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT ELEVATION = 77.92' (CITY OF HAYWARD DATUM)

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	STORM DRAIN PRESSURE LINE
---	---	SANITARY SEWER PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED
---	---	TREE PROTECTION FENCING

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
CL	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PE	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	R	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EW	EACH WAY	SDMH	STORM DRAIN MANHOLE
(E)	EXISTING	SHT	SHEET
FC	FACE OF CURB	S.L.D.	SEE LANDSCAPE DRAWINGS
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FG	FINISHED GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST.	STREET
G	GAGE OR GAUGE	STA	STATION
GB	GRADE BREAK	STD	STANDARD
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STR	STRUCTURAL
HORIZ	HORIZONTAL	T	TELEPHONE
HI PT	HIGH POINT	TC	TOP OF CURB
H&T	HUB & TACK	TOW	TOP OF WALL
ID	INSIDE DIAMETER	TEMP	TEMPORARY
INV	INVERT ELEVATION	TP	TOP OF PAVEMENT
JB	JUNCTION BOX	TW/FG	TOP OF WALL/FINISH GRADE
JT	JOINT TRENCH	TYP	TYPICAL
JP	JOINT UTILITY POLE	VC	VERTICAL CURVE
L	LENGTH	VCP	VITRIFIED CLAY PIPE
LNDG	LANDING	VERT	VERTICAL
		W/	WITH
		W.WL	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC



LOT	GROSS AREA (SF)
1	1,607
2	1,417
3	1,366
4	1,095
5	1,871
6	1,314
7	1,316
8	1,316
9	1,054
10	1,796
A	2,504
B	15,303

EASEMENT ABBREVIATIONS

CSE COMMON SPACE EASEMENT
 EVAE EMERGENCY VEHICLE ACCESS EASEMENT
 PIEE PRIVATE INGRESS/EGRESS EASEMENT
 PSDE PRIVATE STORM DRAIN EASEMENT
 PUE PUBLIC UTILITY EASEMENT
 SSE SANITARY SEWER EASEMENT
 WLE WATER LINE EASEMENT



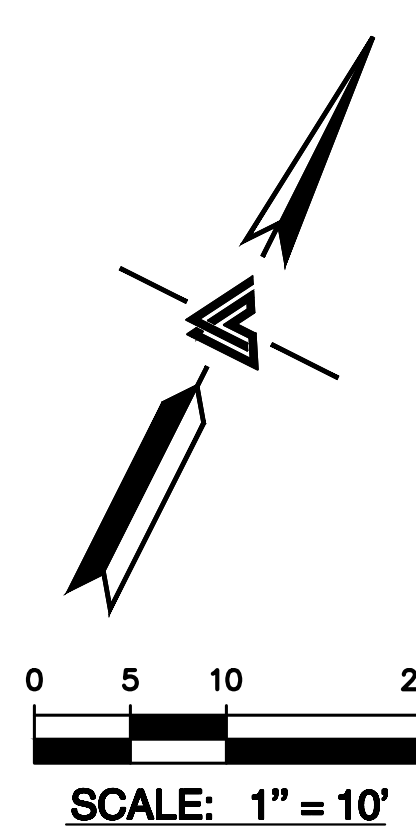
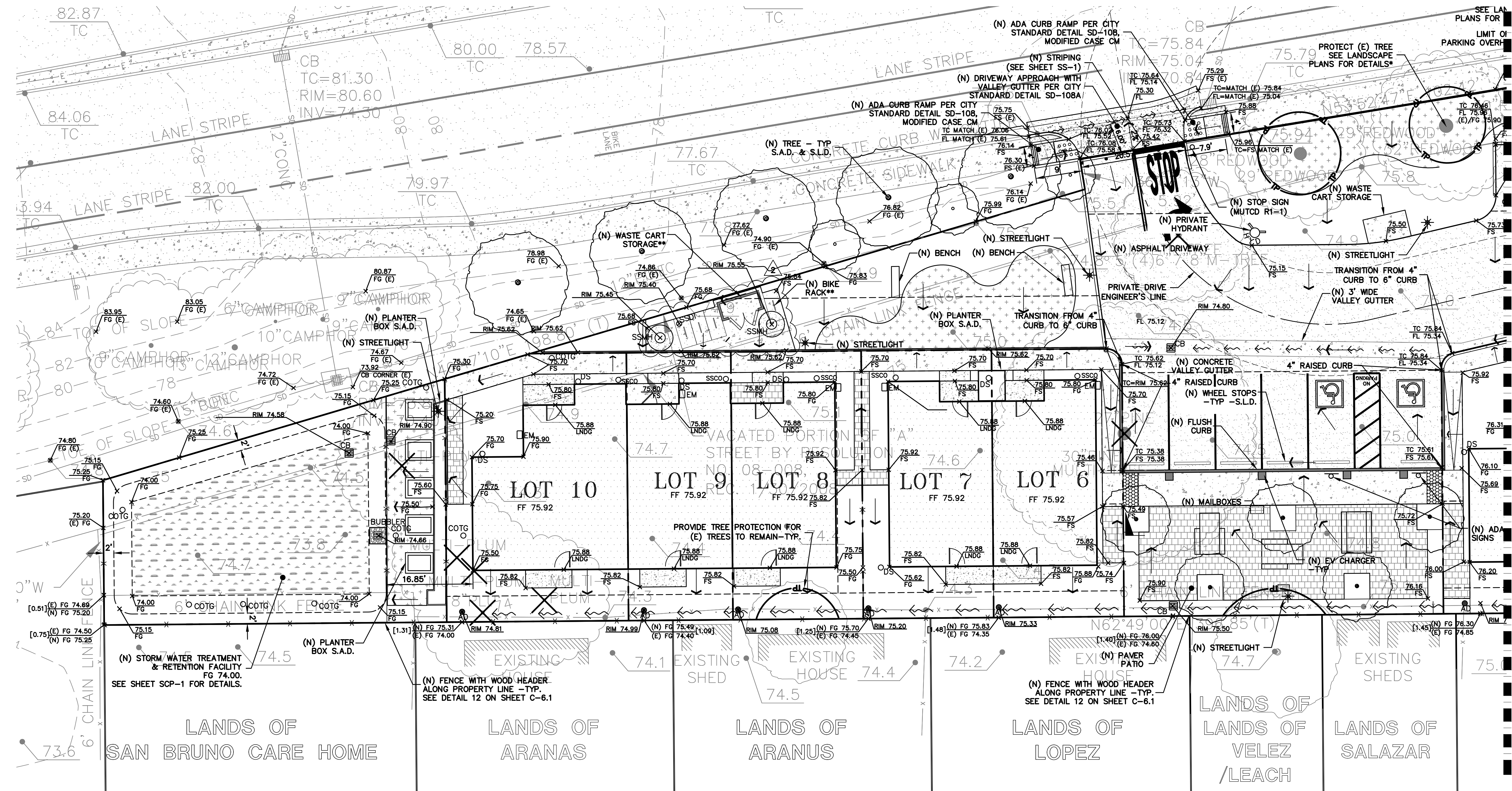
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VESTING TENTATIVE MAP
TRACT MAP #8104
LOT LAYOUT PLAN

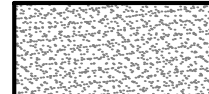


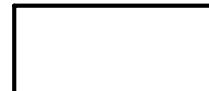
REVISIONS	BY
2	PERMIT REV 2 2023-08-03
1	PERMIT REV 1 2023-06-13

JOB NO: 2230237PH1
 DATE: 02-10-23
 SCALE: AS NOTED
 DESIGN BY: PT/VA
 CHECKED BY: JH/PC
 SHEET NO:



SEE SHEET TM-4

HATCHING LEGEND

-  ASPHALT PAVEMENT
-  CONCRETE SURFACE
-  PAVERS SET ON SAND
-  SLURRY SEAL (E) ASPHALT PAVEMENT

NOTE:
ALL EXISTING DRIVEWAY APPROACHES NO LONGER IN USE SHALL BE REMOVED AND REPLACED WITH CITY STANDARD CONCRETE CURB, GUTTER AND SIDEWALK. EXISTING BROKEN CURB AND GUTTER ALONG WALNUT STREET FRONTAGE SHALL BE REPLACED PER CITY STANDARDS

*NOTE:
EXISTING REDWOOD TREES ALONG A STREET TO REMAIN. THEIR PRESERVATION IS PENDING ARBORIST OBSERVATION AT INITIAL EXCAVATION.

**NOTE:
SCREENING AND BIKE RACKS TO BE REMOVABLE DUE TO LOCATION IN THE SANITARY SEWER EASEMENT (SSE)



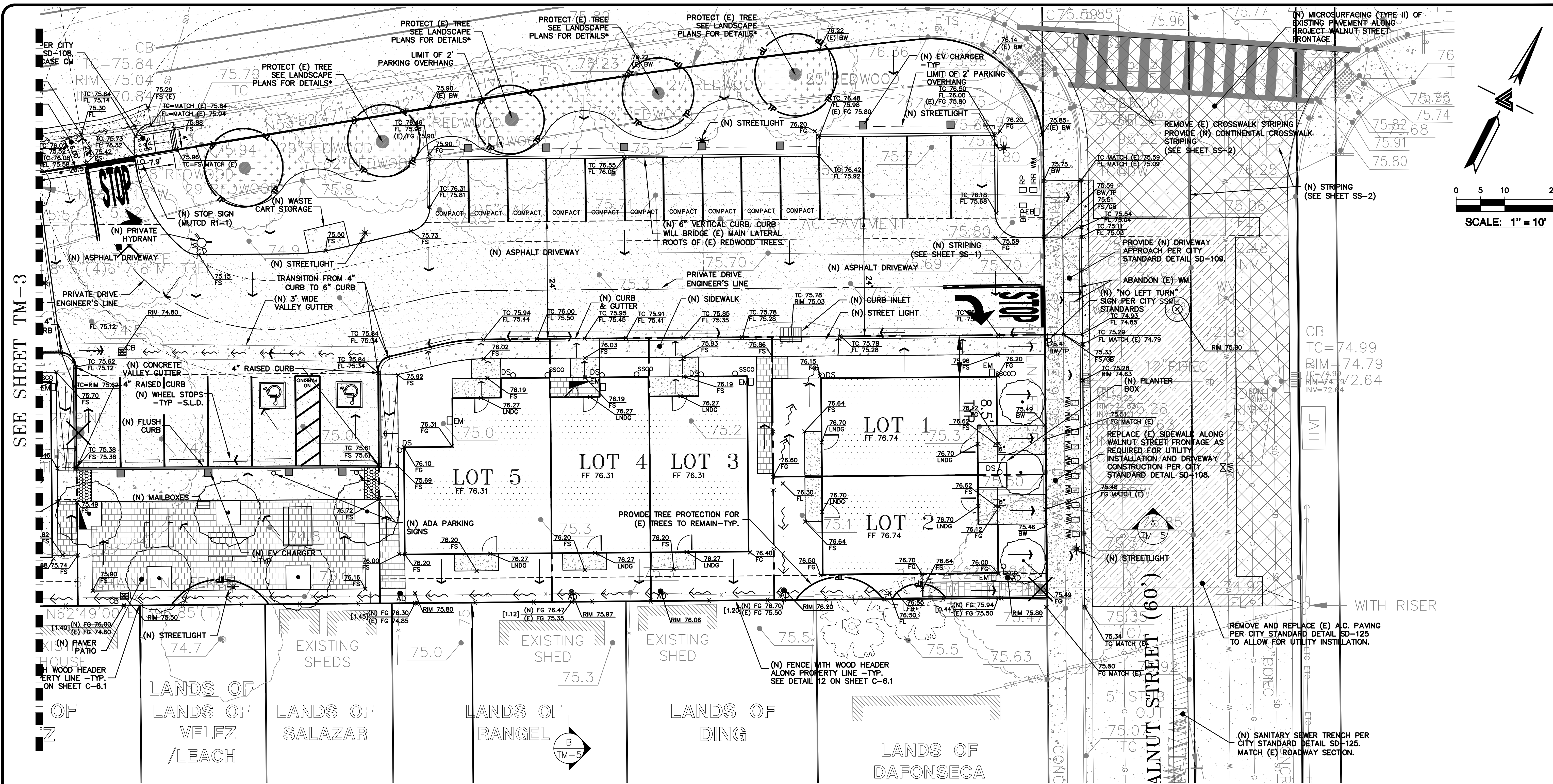
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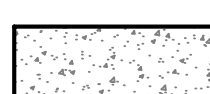


VESTING TENTATIVE MAP
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PRELIMINARY GRADING
PLAN

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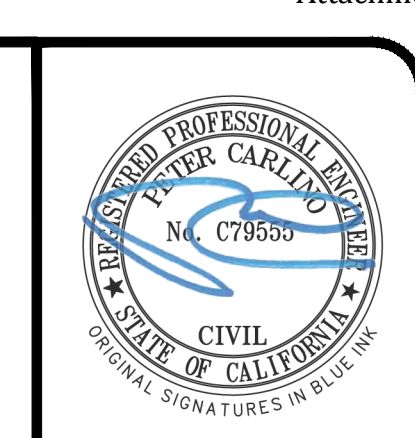
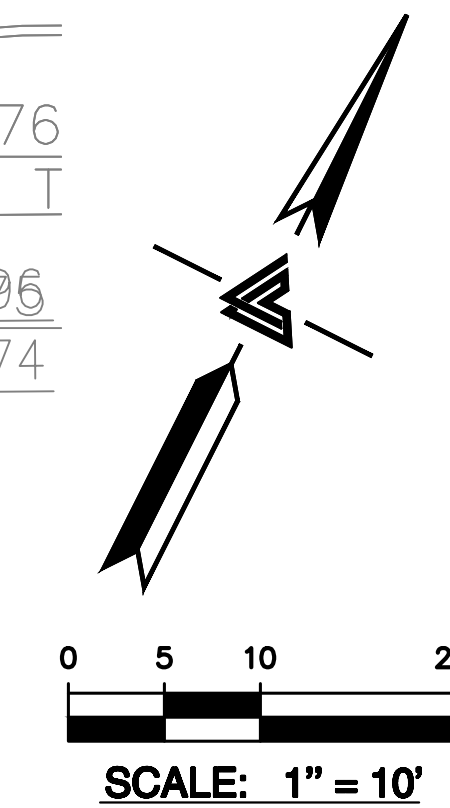
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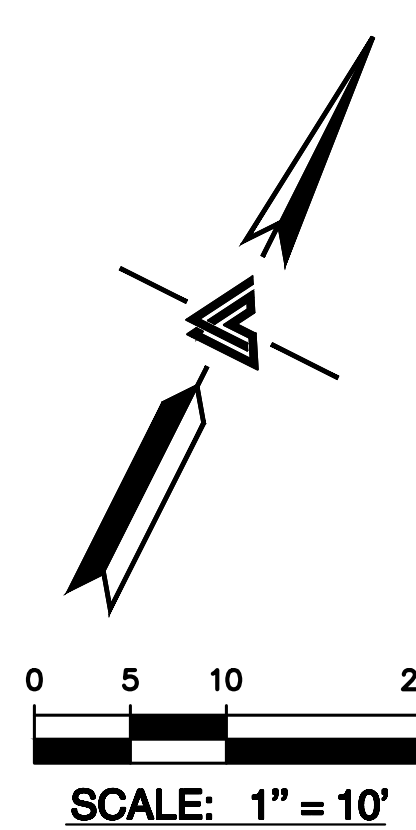
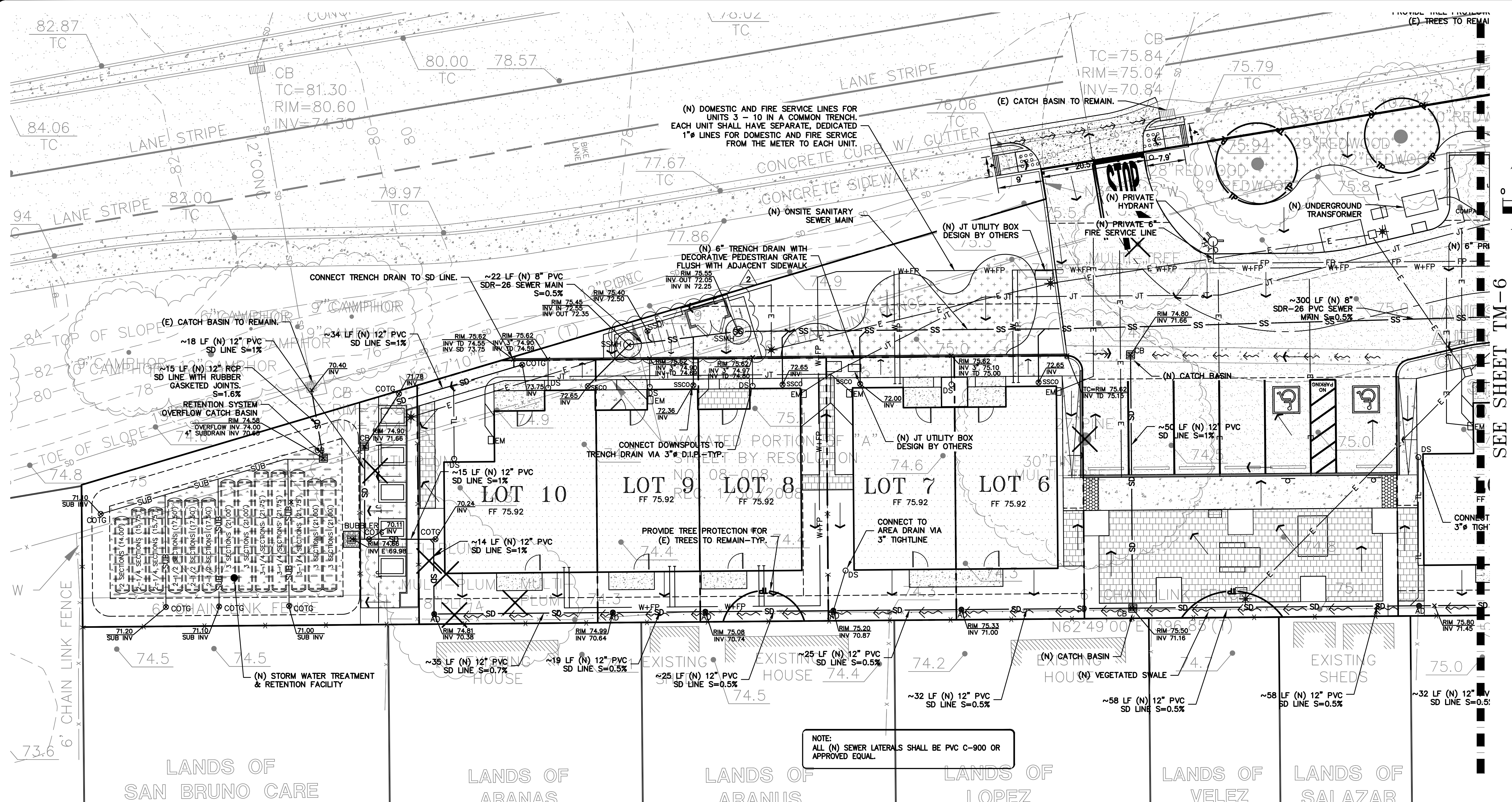
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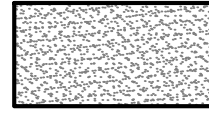
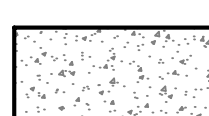




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PRELIMINARY UTILITY
PLAN

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****NOTE:**
 SCREENING AND BIKE RACKS TO BE REMOVABLE DUE TO LOCATION IN THE SANITARY SEWER EASEMENT (SSE)

NOTE:
 ALL (N) SEWER LATERALS SHALL BE PVC C-900 OR APPROVED EQUAL.

SEE SHEET TM-6

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 05 OF 06 SHEETS



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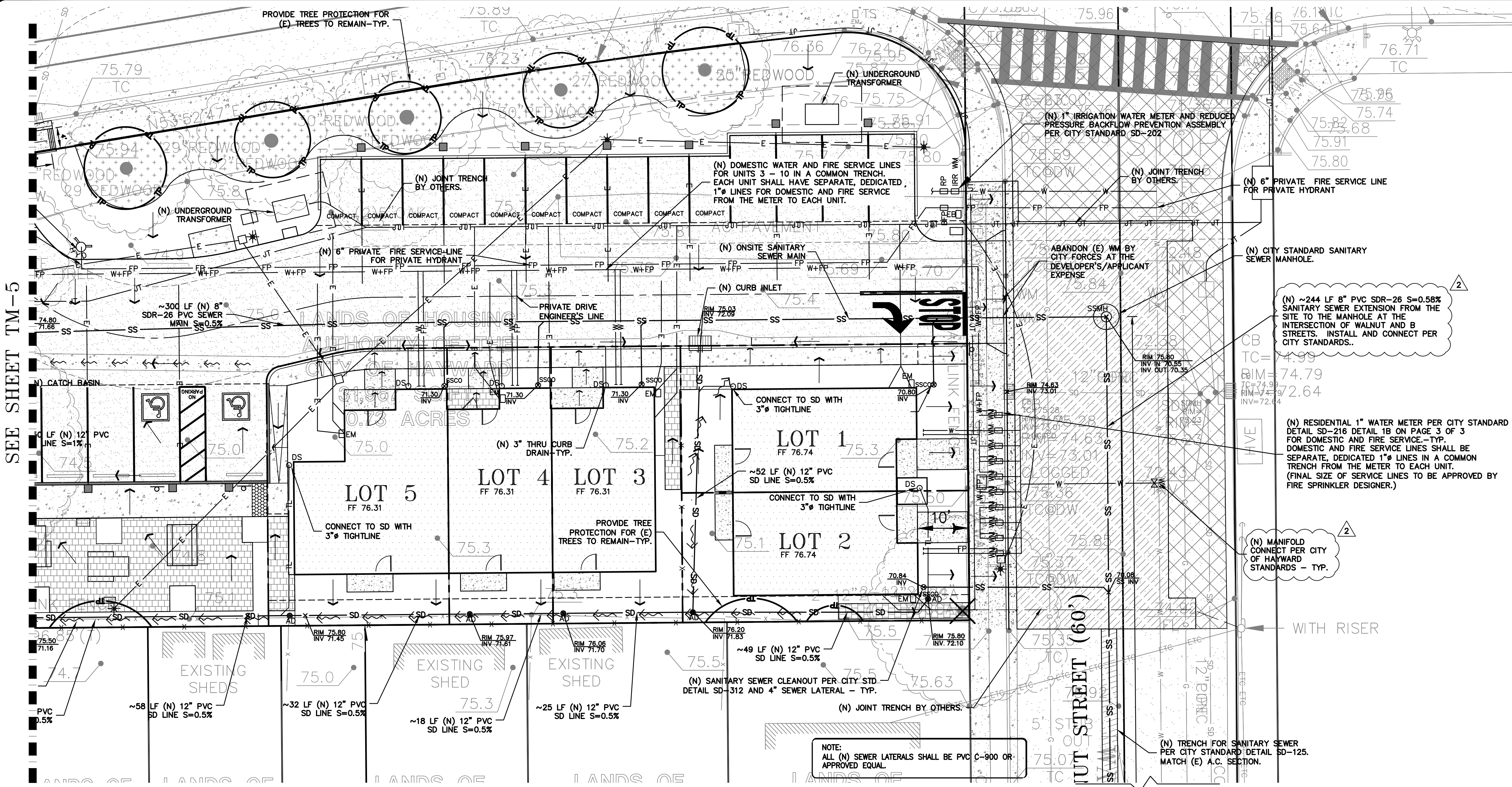
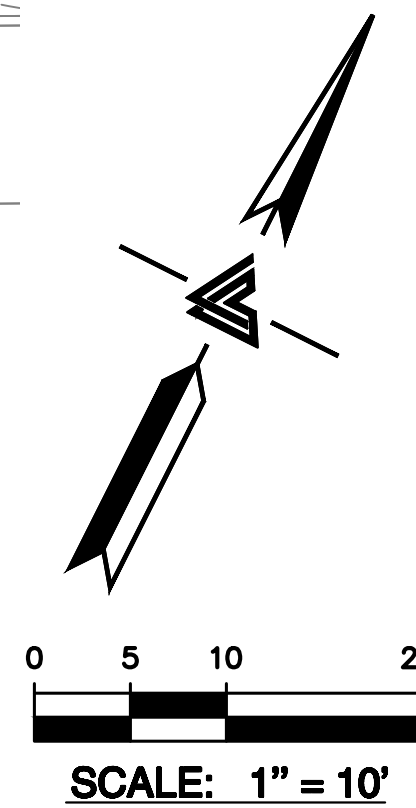
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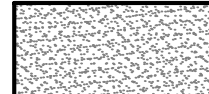
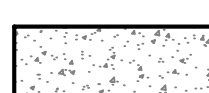


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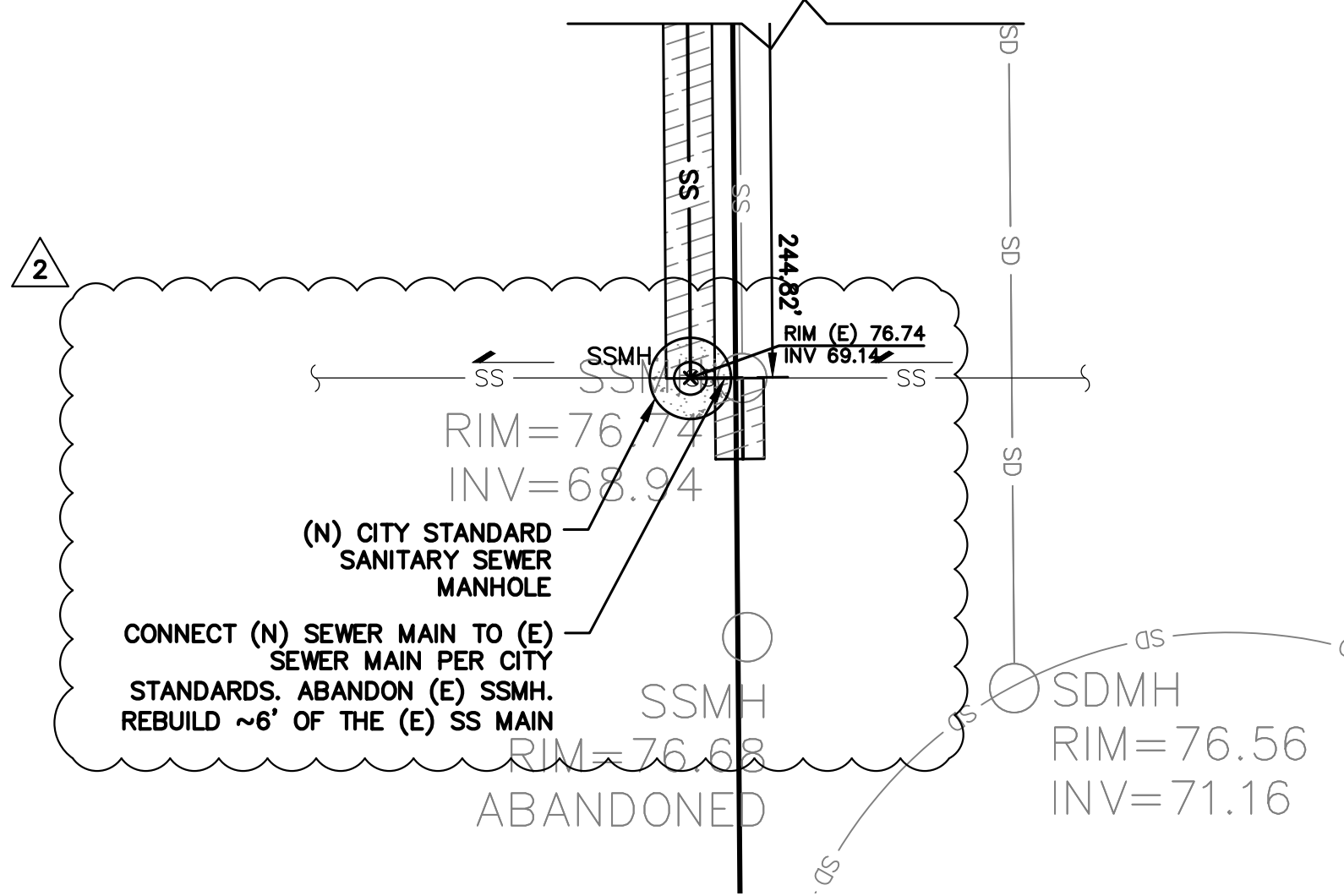
TM-6
 06 OF 06 SHEETS



HATCHING LEGEND

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-  CONCRETE SURFACE
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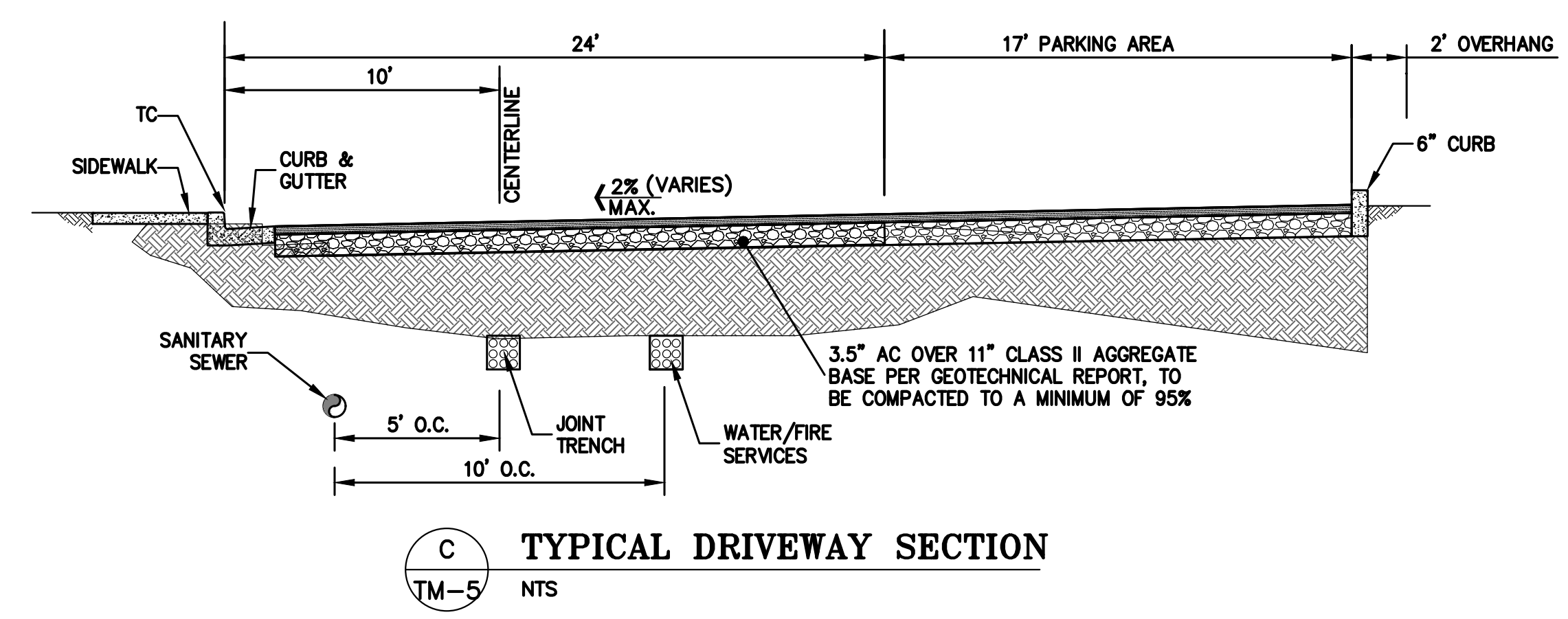
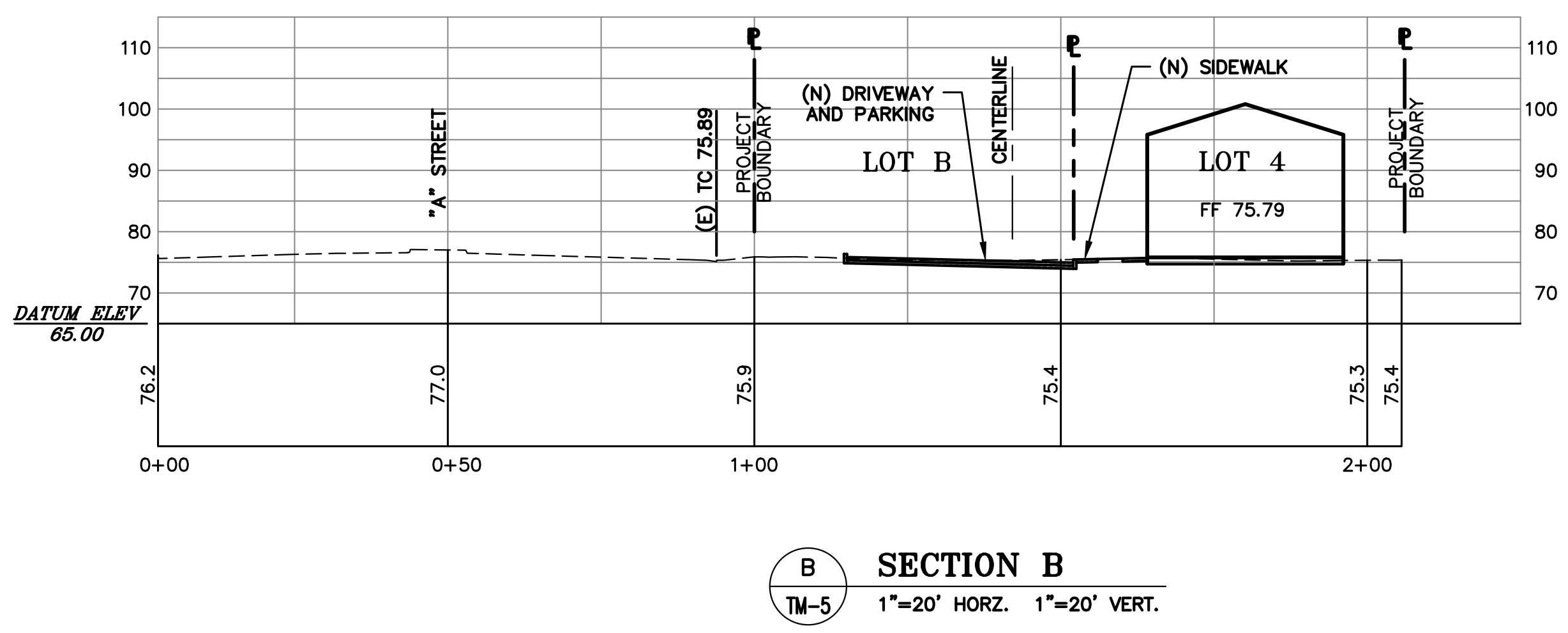
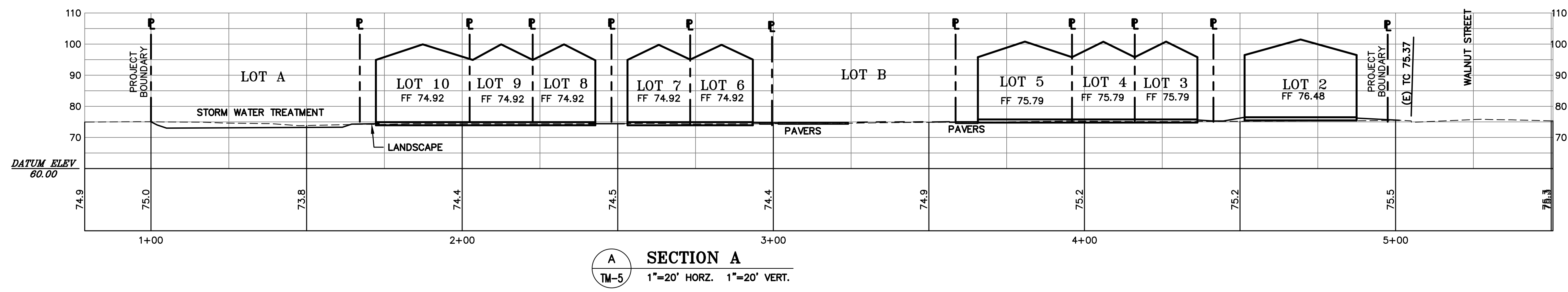
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PLAN

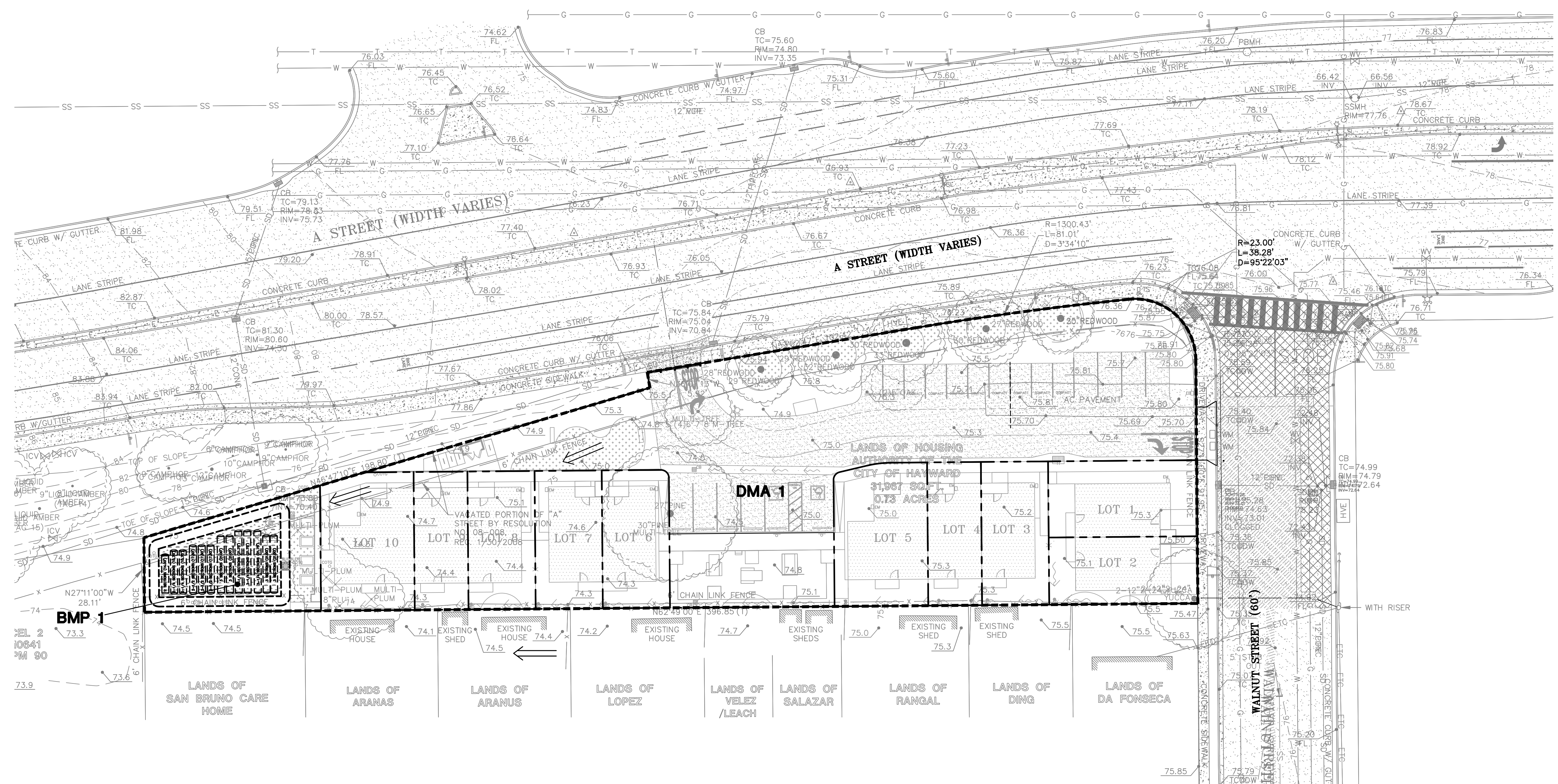
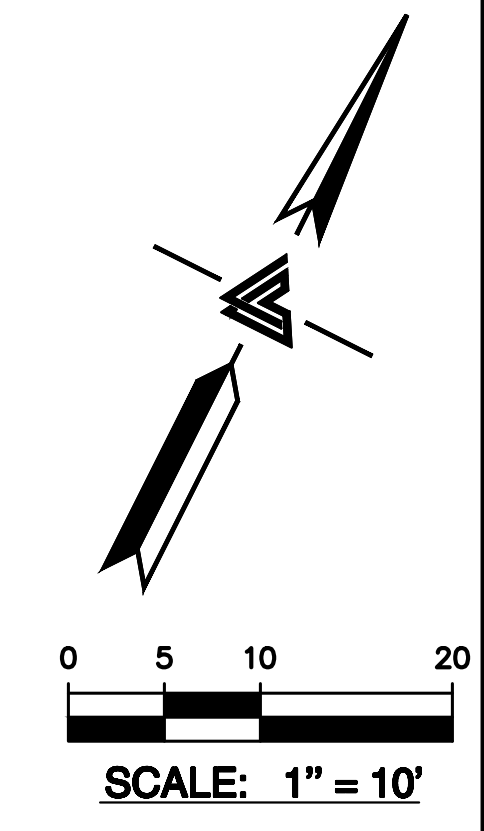
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	DATE:	02-10-23	
	SCALE:	AS NOTED	
	DESIGN BY:	PT/VA	
	CHECKED BY:	JH/PC	
	SHEET NO:		

TM-7
 07 OF 06 SHEETS



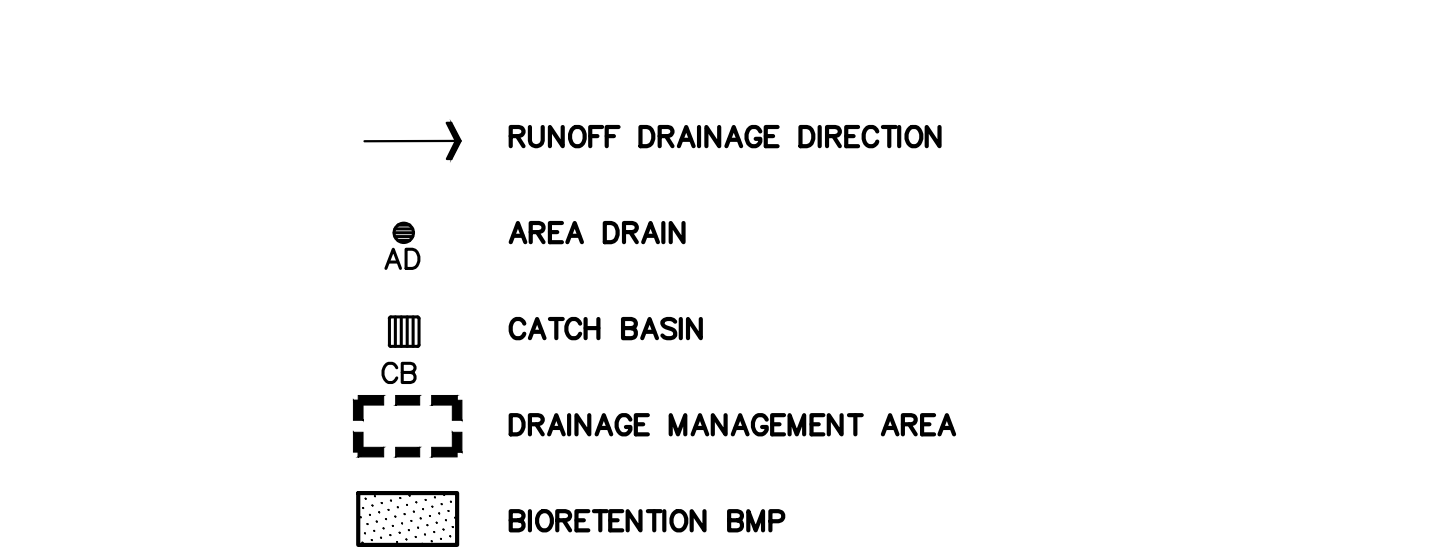


LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
 DUBLIN, CALIFORNIA 94568
 HAYWARD, CALIFORNIA 94545
 SAN JOSE
 (510) 887-4086
 WWW.LEABRAZE.COM



**STORMWATER MANAGEMENT PLAN
TREATMENT AREA TABLE**

DRAINAGE MANAGEMENT AREAS (DMA)	TOTAL IMPERVIOUS AREA	REQUIRED TREATMENT AREA (4%)	* AVAILABLE TREATMENT AREA
DMA-1	19,718 SF	789 SF	1,285 SF



PROJECT DESCRIPTION:

123 A STREET
 HAYWARD, CA 94541
 APN: 431-0016-088-03

DESCRIPTION OF FACILITY ACTIVITY:

CONSTRUCT HOUSING AND EXTEND UTILITIES TO SERVE THE RESIDENTS. FRONTAGE IMPROVEMENTS, ROUGH GRADING, DRIVEWAY, AND UTILITY STUBS WILL BE INSTALLED FOR THESE IMPROVEMENTS.

DESCRIPTION OF WATER BODIES:

THE PROJECT WILL TIE INTO THE CITY'S EXISTING STORM DRAIN SYSTEM.

IDENTIFICATION OF POTENTIAL POLLUTANTS:

POSSIBLE POLLUTANTS FOR THIS SITE INCLUDE TRASH, SEDIMENTS, NUTRIENTS, DUST, CONSTRUCTION DEBRIS, AUTOMOBILE DEBRIS, AND PESTICIDES. THE CONSTRUCTION OF THE PROJECT AND THE LONG TERM MAINTENANCE SHOULD NOT ADD ANY OF THE FOLLOWING: COPPER, NICKEL, DIAZINON, MERCURY, CHLORIDANE, DDT, DIELDRIN, AND PCB'S.

BMP DESCRIPTION

THIS PROJECT USES BMP RECOMMENDATIONS FROM THE ALAMEDA COUNTYWIDE CLEAN WATER PROGRAM INCLUDING A BIO-RETENTION AREA.

THE SITE IS APPROXIMATELY 31,984 SF. THE DEVELOPMENT WILL ADD APPROXIMATELY 19,104 SF OF IMPERVIOUS SURFACE. THE SITE WILL RETAIN APPROXIMATELY 40% PERVIOUS SURFACES, INCLUDING LANDSCAPING AREA AND PERVIOUS PAVING MATERIALS.

THE SITE IS COMPRISED OF ONE DRAINAGE MANAGEMENT AREA (DMA). AREA 1 USES A BIO-RETENTION AREA. BIORETENTION AREA SHALL USE A BIORETENTION MIX PER ATTACHMENT L OF THE E.3 TECHNICAL GUIDANCE DATED MAY 14, 2013.

POST CONSTRUCTION BMP MAINTENANCE AND/OR SOURCE CONTROL

FUEL, OIL, PETROLEUM PRODUCTS, PESTICIDES, AND OTHER STORM DRAINAGE POLLUTANT SPILLS NEED TO BE CONTAINED. OWNERS SHALL USE ABSORBENT MATERIAL ON SMALL SPILLS RATHER THEN HOSING SPILLS DOWN. REMOVE THE ABSORBENT MATERIAL PROMPTLY AND DISPOSE OF PROPERLY, AS REQUIRED BY CITY, STATE AND FEDERAL REGULATIONS.

DRAINAGE INLETS SHALL BE INSPECTED MONTHLY AND KEPT CLEAN OF ANY TRASH THAT MAY HAVE ACCUMULATED. IT IS THE RESPONSIBILITY OF THE PROPERTY MANAGER/OWNER TO HAVE THOSE INSPECTIONS PERFORMED, DOCUMENTED AND ANY REPAIRS MADE.

A. LANDSCAPE MAINTENANCE

LANDSCAPE AREAS SHALL BE COVERED WITH PLANTS OR SOME TYPE OF GROUND COVER TO MINIMIZE EROSION. NO AREAS ARE TO BE LEFT AS BARE DIRT THAT COULD ERODE. MOUNDING SLOPES SHALL NOT EXCEED 2 HORIZONTAL TO 1 VERTICAL.

PESTICIDES AND FERTILIZERS SHALL BE STORED AS HAZARDOUS MATERIALS AND IN APPROPRIATE PACKAGING. OVER SPRAYING ONTO PAVED AREAS SHALL BE AVOIDED WHEN APPLYING FERTILIZERS AND PESTICIDES. PESTICIDES AND FERTILIZERS WILL BE PROHIBITED FROM STORAGE OUTSIDE.

THE LANDSCAPE AREAS SHALL BE INSPECTED AND ALL TRASH PICKED UP AND OBSTRUCTIONS TO THE DRAINAGE FLOW REMOVED ON A MONTHLY BASIS MINIMUM. THIS SITE HAS BEEN DESIGNED WITH EFFICIENT IRRIGATION AND DRAINAGE TO REDUCE PESTICIDE USE. PLANTS HAVE BEEN SELECTED BASED ON SIZE AND ARE SITUATED TO REDUCE MAINTENANCE AND ROUTINE PRUNING.

THE INTEGRATED PEST MANAGEMENT INFORMATION ATTACHED WILL BE PROVIDED TO BUILDING MANAGEMENT.

B. DRAINAGE COLLECTION MANAGEMENT

THE STORM DRAINAGE SYSTEM CONSISTS OF AREA DRAINS, CATCH BASINS, COLLECTION AND DISTRIBUTION PIPING, SWALES, AND CLEAN OUTS. ALL STORM DRAIN INLETS MUST BE LABELED "NO DUMPING-DRAINS TO BAY" USING CITY APPROVED METHODS.

THE STORM DRAINAGE COLLECTION SYSTEM SHALL BE CLEANED YEARLY BY THE PROPERTY MANAGEMENT/OWNER. THE INSPECTION SHALL BE PERFORMED DURING THE DRY SEASON. THIS INCLUDES THE FOLLOWING:

*ALL TRASH AND OBSTRUCTIONS SHALL BE REMOVED FROM AREA DRAINS, BUBBLERS, CLEAN OUTS, AND CATCH BASINS.

C. BIO-RETENTION AREA

MAINTENANCE AGREEMENT UPON ACCEPTANCE OF THE DESIGN CONCEPT. A MAINTENANCE AGREEMENT WILL BE DEVELOPED REQUIRING THE PROPERTY MANAGER/OWNER TO PROVIDE THE FOLLOWING INFORMATION ON A ROUTINE BASIS. THESE REQUIREMENTS APPLY ONLY TO THE PORTION OF THE BIORETENTION AREA USED FOR STORM WATER TREATMENT.

MAINTENANCE STANDARDS:

*SOILS AND PLANTINGS MUST BE MAINTAINED, INCLUDING ROUTINE PRUNING, MOWING, IRRIGATION, REPLISHMENT OF MULCH, WEEDING, AND FERTILIZING WITH A SLOW-RELEASE FERTILIZER WITH TRACE ELEMENTS.

*REMOVE OBSTRUCTIONS AND TRASH FROM BIORETENTION AREA.

*ONLY PESTICIDES AND FERTILIZERS THAT ARE ACCEPTED WITHIN THE INTEGRATED PEST MANAGEMENT APPROACH FOR USE IN BIORETENTION AREA SHALL BE USED.

*EROSION AT INFLOW POINTS MUST BE REPAIRED.

BIORETENTION AREAS SHALL BE INSPECTED AND MAINTAINED MONTHLY TO REVIEW:

*OBSTRUCTION AND TRASH

*IF PONDED WATER IS OBSERVED, THE SURFACE SOILS SHALL BE REMOVED AND REPLACED AND SUBDRAIN SYSTEM INSPECTED.

*CONDITION OF GRASSES.

D. TRAINING PROGRAM

A COPY OF THE STORM WATER MANAGEMENT PLANS (SWMP) WILL BE MADE AVAILABLE TO PERSONNEL IN CHARGE OF FACILITY MAINTENANCE AND WILL BE DISTRIBUTED TO THE SUBCONTRACTOR REPRESENTATIVE ENGAGED IN THE MAINTENANCE OR INSTALLATION OF THE BMP'S.

MATERIAL PRESENTED IN THE INTEGRATED PEST MANAGEMENT PROGRAM WILL BE MADE AVAILABLE TO PERSONNEL IN CHARGE OF FACILITY MAINTENANCE AND WILL BE DISTRIBUTED TO THE SUBCONTRACTOR REPRESENTATIVE ENGAGED IN THE MAINTENANCE OR INSTALLATION OF THE BMP'S.

A COPY OF THE YEARLY INSPECTION REPORTS SHALL BE MANAGED BY THE PROPERTY MANAGER/OWNER.

VESTING TENTATIVE MAP
TRACT MAP #8104
PRELIMINARY UTILITY PLAN

SEQUOIA GROVE
 123 A STREET
 HAYWARD, CALIFORNIA
 HABITAT FOR HUMANITY EAST
 BAY/SILICON VALLEY INC.
 ALAMEDA COUNTY
 APN: 431-0016-088-03

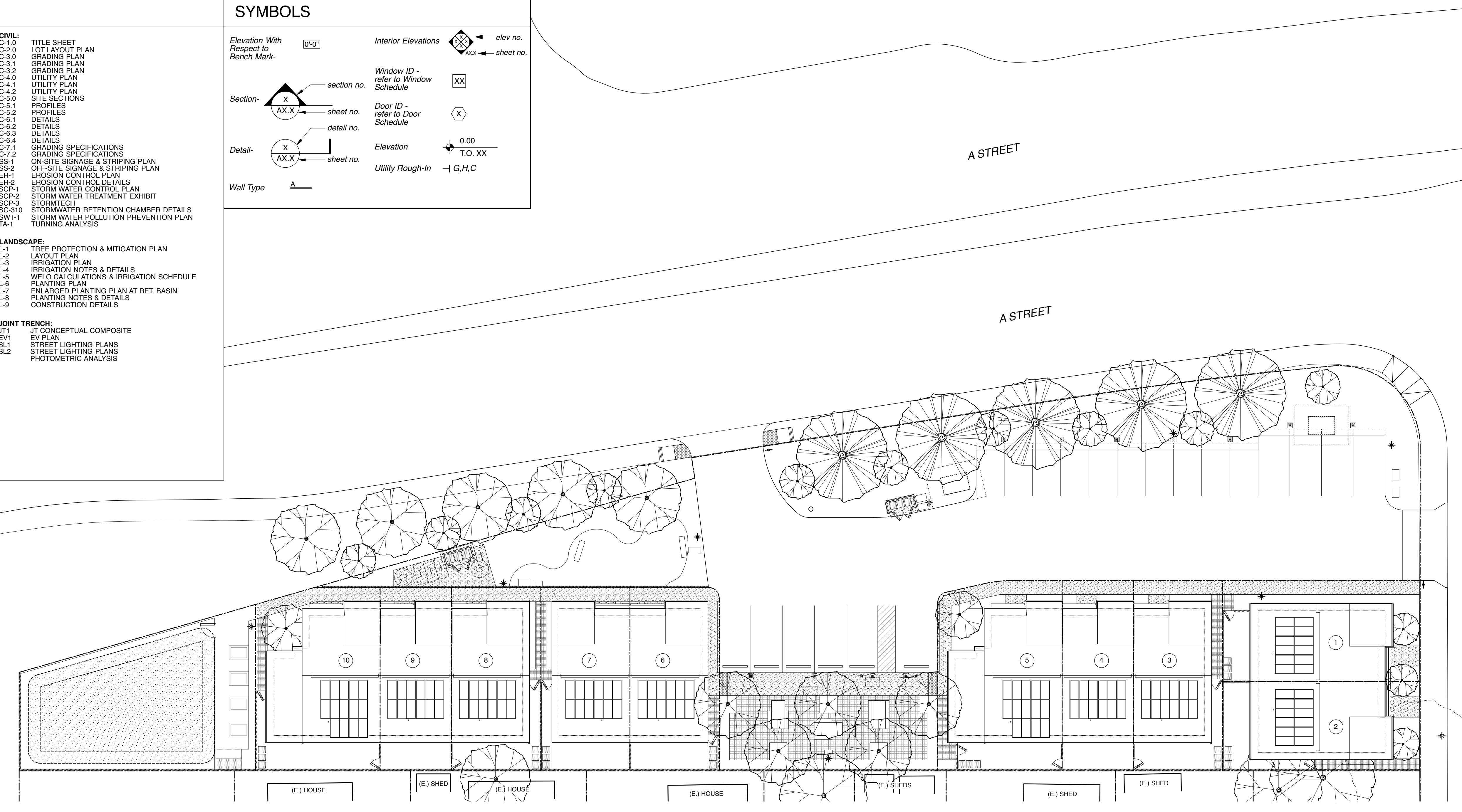
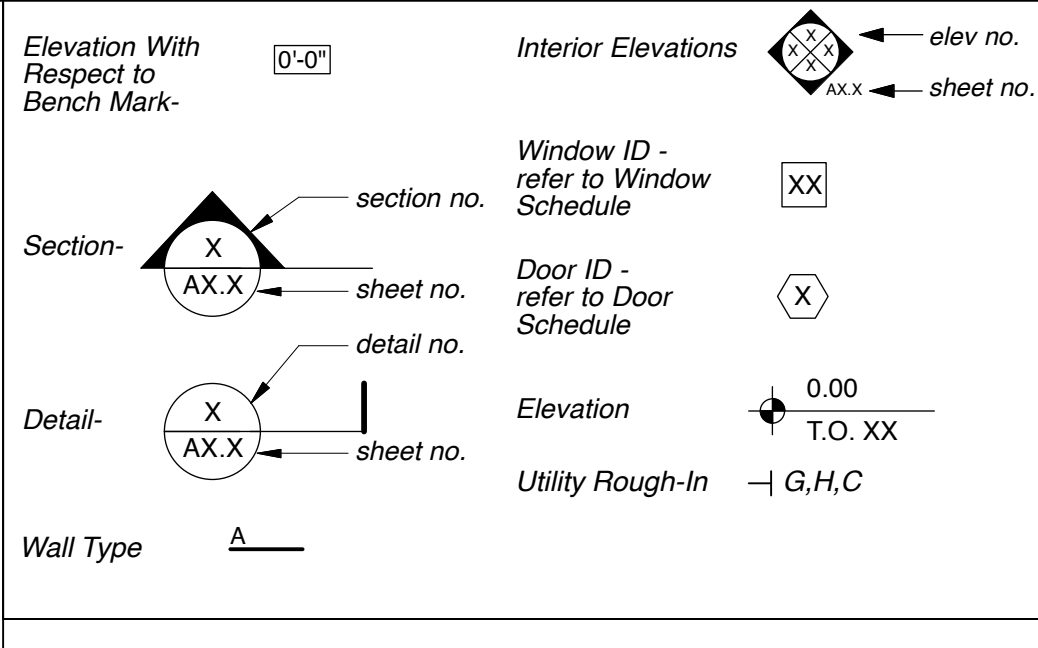
REVISIONS	BY
2	PERMIT REV 2 2023-08-03 VA
1	PERMIT REV 1 2023-06-13 VA

JOB NO: 2230237PH1
 DATE: 02-10-23
 SCALE: AS NOTED
 DESIGN BY: PT/VA
 CHECKED BY: JH/PC
 SHEET NO:

SHEET INDEX

Table with columns for ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, and PLUMBING categories, listing various drawing sheets and their titles.

SYMBOLS



HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - SEQUOIA GROVE - SITE PLAN. 123 A STREET, APN 431-0016-088-03. SCALE: 1" = 16'-0"

DEFERRED SUBMITTALS

- SPRINKLERS (NOTE UNIT 10 TO INCLUDE ALARMS W/ VISUAL COMMUNICATIONS FEATURES (PER CBC 11B-809.5))
- PHOTOVOLTAICS
- SITE SIGNAGE

GENERAL NOTES

- 1. All work shall comply with all applicable codes, amendments, and ordinances as adopted by the City of Hayward, including but not limited to the following:
2022 California Building Code
2022 California Plumbing Code
2022 California Electrical Code
2022 California Mechanical Code
2022 California Energy Code
2022 California Green Building Standards Code
2022 California Fire Code
2022 California Residential Code
Hayward Planning Code
2. Builder should verify all dimensions and conditions at the job site before starting work and notify architect of any discrepancies or errors.
3. All subcontractors are to compare architectural drawings with the structural drawings as well as any supplemental drawings prior to commencing work.
4. DO NOT SCALE DRAWINGS. Follow figure dimensions in preference to scaled measurements; details to general drawings.
5. All dimensions to face of stud, as indicated on drawings, u.o.n.
6. Any work interfacing with City property or City services shall be performed per City standards.
7. No work defective in construction or quality or deficient in any requirements of drawings and specifications will be acceptable, despite owner's or architect's failure to discover such defects or deficiencies during construction.
8. Builder & all subcontractors must comply with CALGreen Mandatory Measures on sheet A0.7.

ABBREVIATIONS AND SYMBOLS

Table mapping symbols to abbreviations and their full names, such as Unit Number, Centerline, Sanitary or Storm Sewer, etc.

HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY, INC.

SEQUOIA GROVE
123 A STREET,
HAYWARD, CA 94541

Table listing professional credentials for Civil Engineer, Landscape Architect, Structural Engineer, MEP Engineer, Title-24 Energy Analyst, and Solar Design/Build.

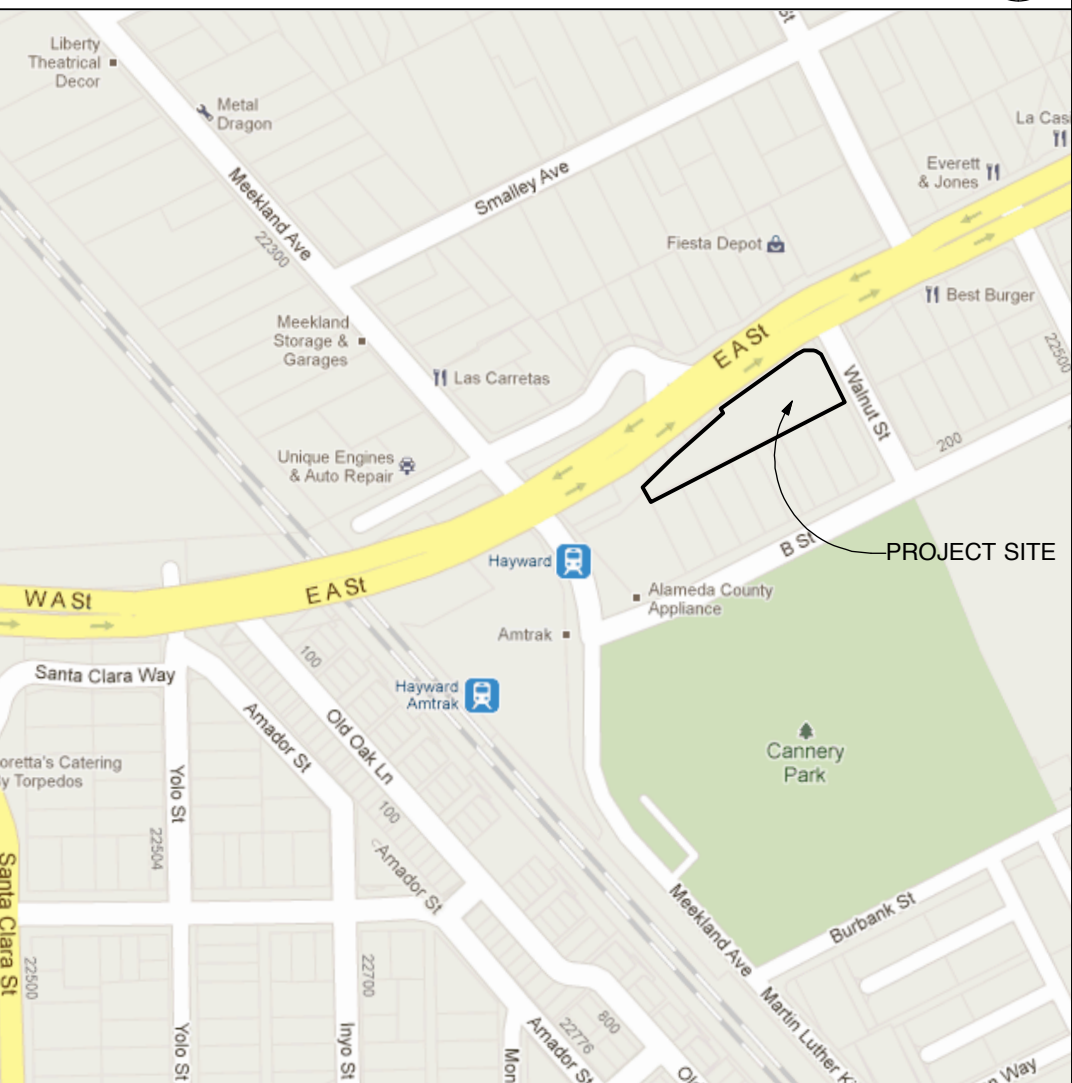
PROJECT SUMMARY

ADDRESS: 123 A Street, Hayward, CA 94541
A.P.N.#: 431-0016-088-03
ZONING: RM/SD4, Medium Density Residential
OCCUPANCY GROUP: R-3, Re-zoned to Planned Unit Development (PUD)
OWNER: City of Hayward
APPLICANT: Habitat for Humanity East Bay/Silicon Valley, Inc.
PROPOSED: (10) Single family residences on individual lots separated by (2) 1-hour party walls, one on each side of property line. Wood frame, 2-story, type V-B construction
MIN. PRIVATE OPEN SPACE: 100 sf/unit required
MIN. PUBLIC OPEN SPACE: 2730 sf total provided by (3) common areas
HEIGHT: 40'-0" MAXIMUM, pitched roof; 26'-4" proposed height to peak
REQUIRED SETBACKS: Front - 20'-0" MINIMUM; Back - 20'-0" MINIMUM; Side - 5'-0" MINIMUM
PROPOSED SETBACKS: Front - 6'-0" MINIMUM; Back - 10'-0" MINIMUM; Side - 4'-2" MINIMUM
PARKING: Required: 2.1 parking spaces per unit; Provided: 2 spaces per unit, 20 spaces total.
SPRINKLERS: All units are to be fully sprinklered with NFPA 13D type sprinkler system (per 2022 CRC section R313.1.1, definition of "townhome", and per CRC R302.2.)
ACCESSIBILITY: Accessibility requirements from 2022 CBC Ch. 11A do not apply to individual single-family homes on separate sites, bounded by property lines.

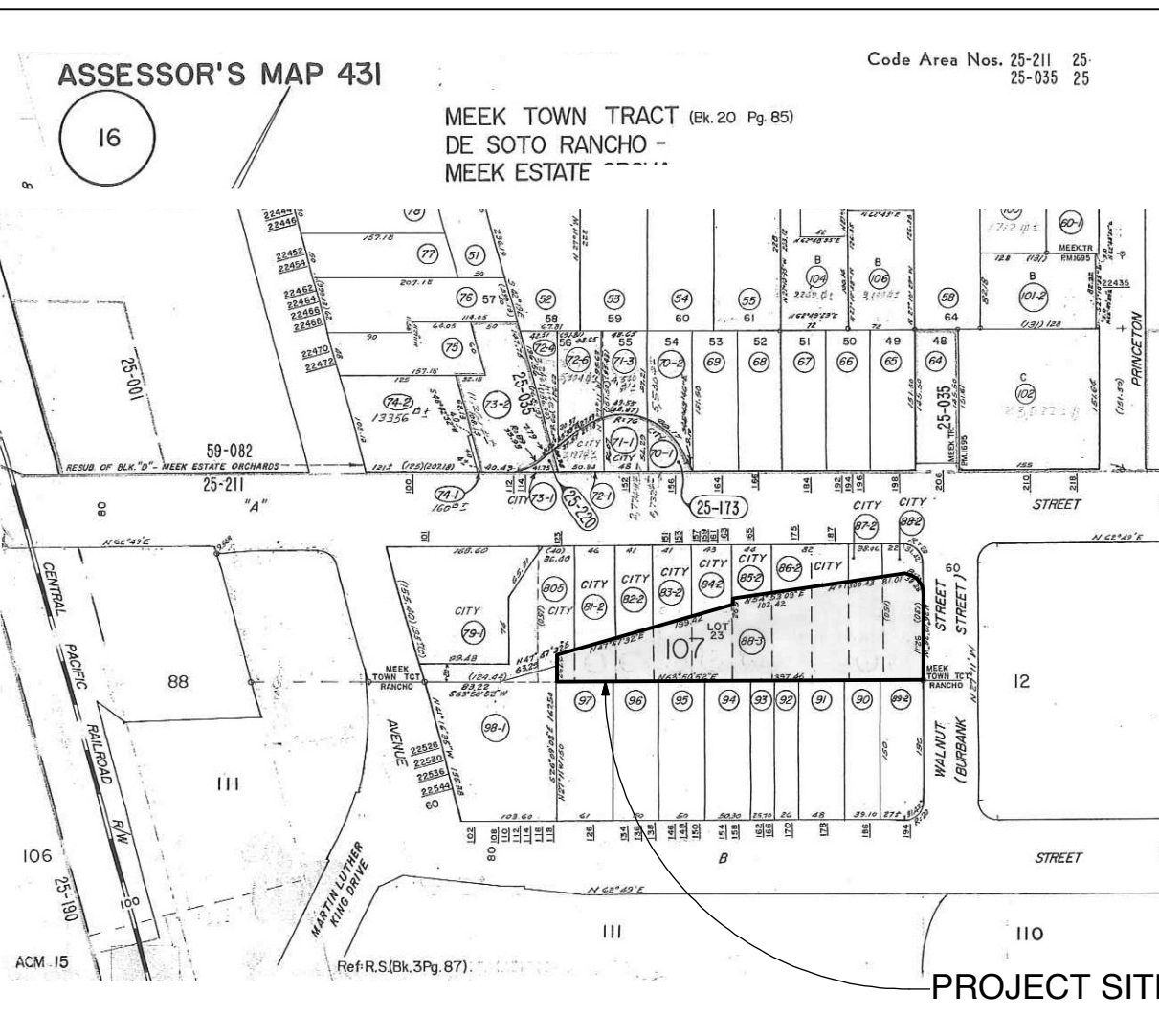
PROJECT DATA

Table with columns: UNIT TYPES, # OF HOMES, FOOTPRINT, GROSS FLOOR AREA / UNIT, BUILDING TYPES, QUANTITY, GROSS FLOOR AREA / BUILDING, PARKING, QUANTITY, DIMENSION.

REGIONAL MAP



ASSESSOR'S PARCEL MAP

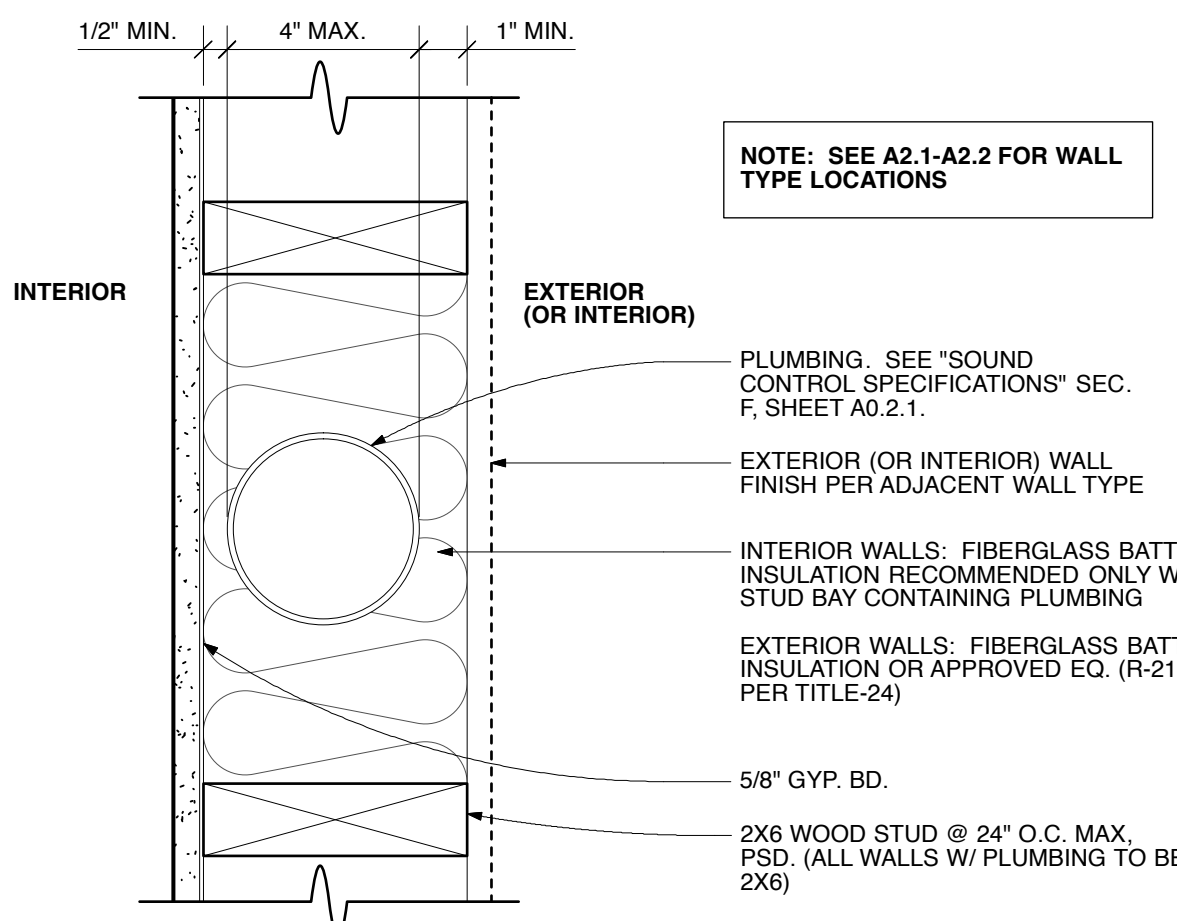


HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY, INC. 123 A STREET, HAYWARD, CA 94541 SEQUOIA GROVE

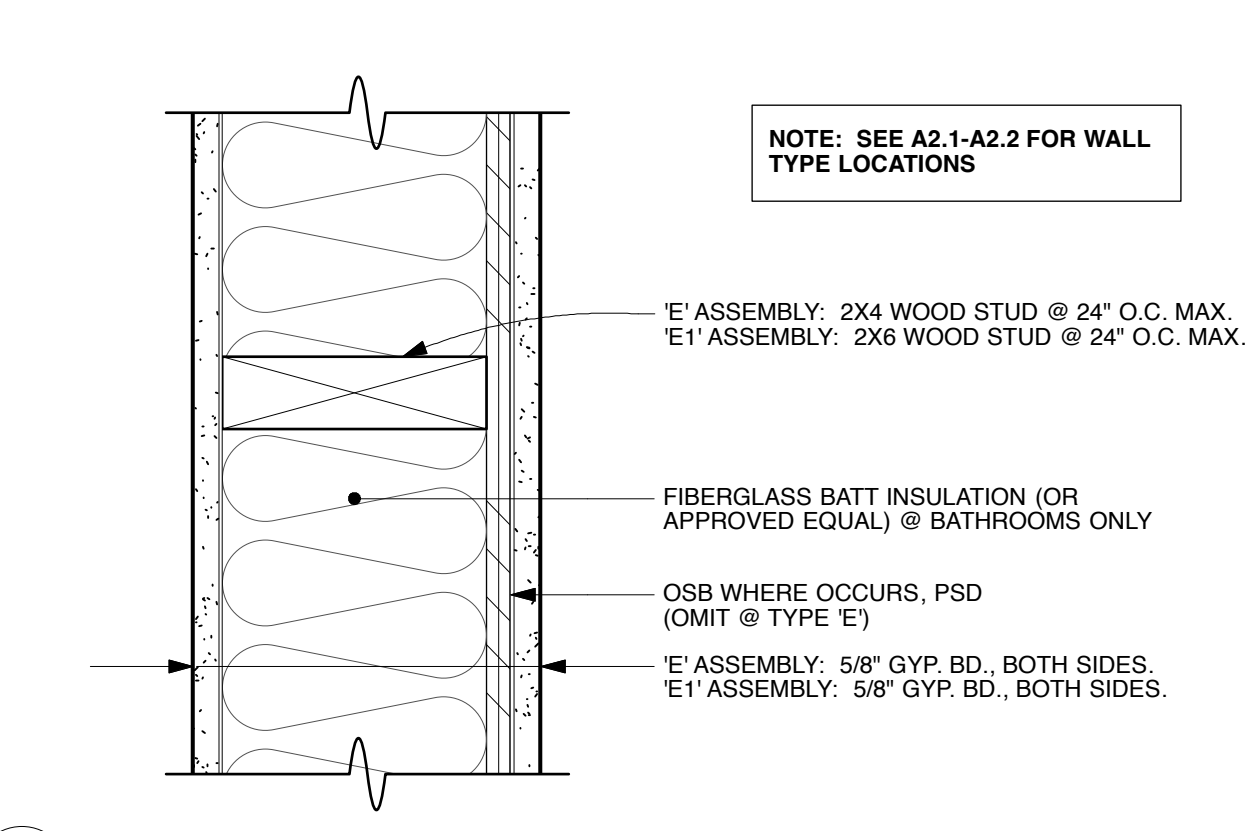
GHA GEOFFREY HOLTON & ASSOCIATES logo and contact information: 1743 Alcatraz Avenue, Berkeley, CA 94703, tel: 510.663.9797, fax: 510.663.1807, http://www.ghadesign.net

LICENSED ARCHITECT logo for Geoffrey Holton, State of California, No. 13125.

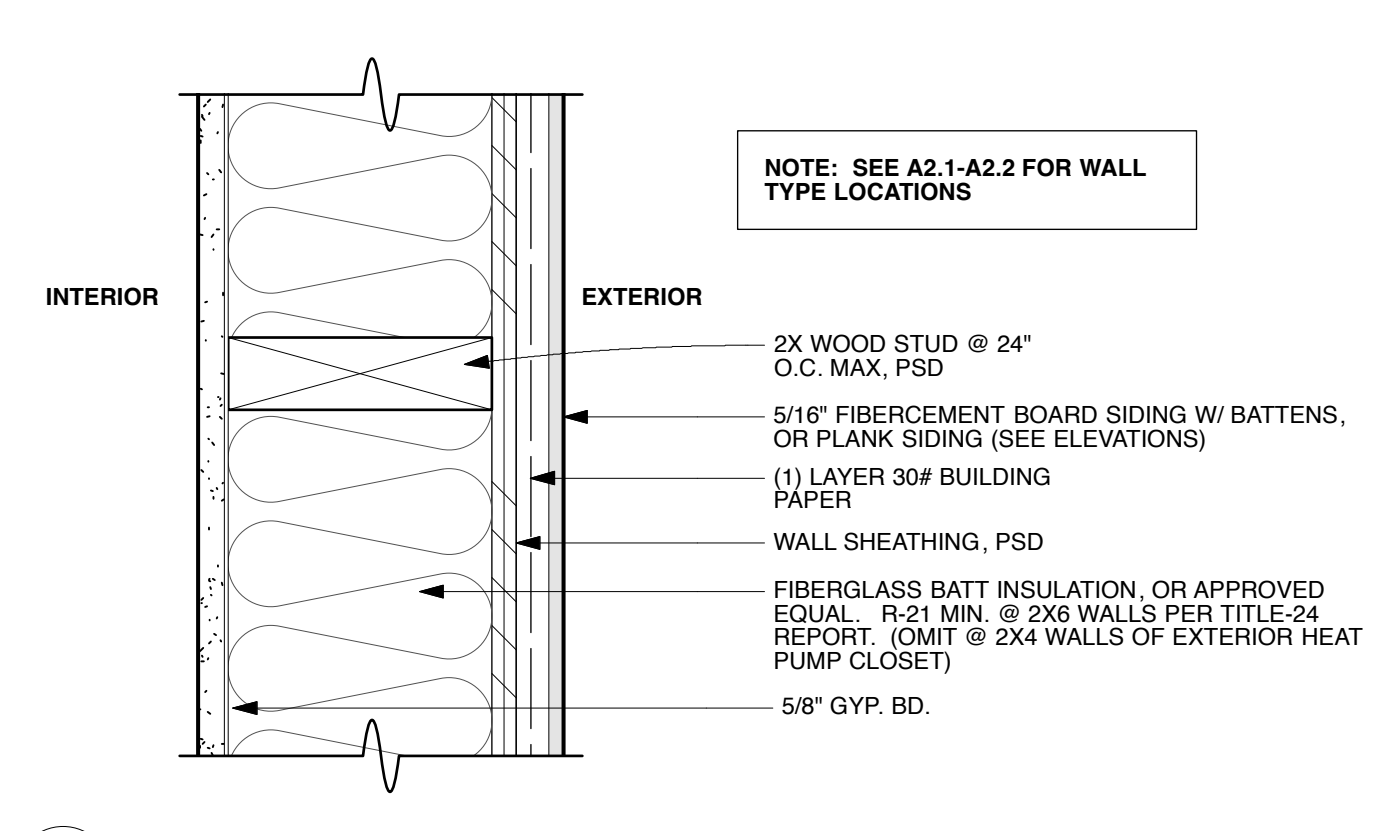
Project schedule and sheet information: CURRENT ISSUE DATE 8/4/2023, INITIAL SUBMITTAL DATE 6.7.2023, REVISIONS SPR/ITM RESUBMITTAL 6.7.2023, SPR/ITM RESUBMITTAL 8.4.2023, SHEET NO. A0.0 ROOF PLAN



D PLAN DETAIL - 2x6 WALL with PLUMBING - NR
SCALE: 3" = 1'-0"



E1 PLAN DETAIL - 2x6 INTERIOR WALL - NR
E PLAN DETAIL - 2x4 INTERIOR WALL - NR
SCALE: 3" = 1'-0"



A1 2x4 EXTERIOR WALL - NR
A 2x6 EXTERIOR WALL - NR (non rated)
SCALE: 3" = 1'-0"

FIRE RATING:
UL U305

1. Wood Studs — Nom 2 by 4 in. spaced 16 in. OC max, effectively firestopped.

2. Joints and Nail-Heads — Joints covered with joint compound and paper tape. Joint compound and paper tape may be omitted when square edge boards are used. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with the joints reinforced with paper tape. Nailheads exposed or covered with joint compound.

3. Gypsum Board — 5/8 in. thick paper or vinyl surfaced, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads. When used in widths other than 48 in., gypsum panels are to be installed horizontally.

4. Steel Corner Fasteners — (Optional) — For use at wall corners. Channel shaped, 2 in. long by 1 in. high on the back side with two 1/8 in. wide cleats protruding into the 5/8 in. wide channel, fabricated from 24 gauge galv steel. Fasteners applied only to the end or cut edge (not along tapered edges) of the gypsum board, no greater than 2 in. from corner of gypsum board, max spacing 16 in. OC. Nailed to adjacent stud through tab using one No. 6d cement coated nail per fastener. Corners of wall board shall be nailed to top and bottom plate using No. 6d cement coated nails.

5. Batts and Blankets — (Optional) — Required when Item 6A is used (RC-1) — Glass fiber or mineral wool insulation shall be friction-fitted to completely fill the stud cavities.

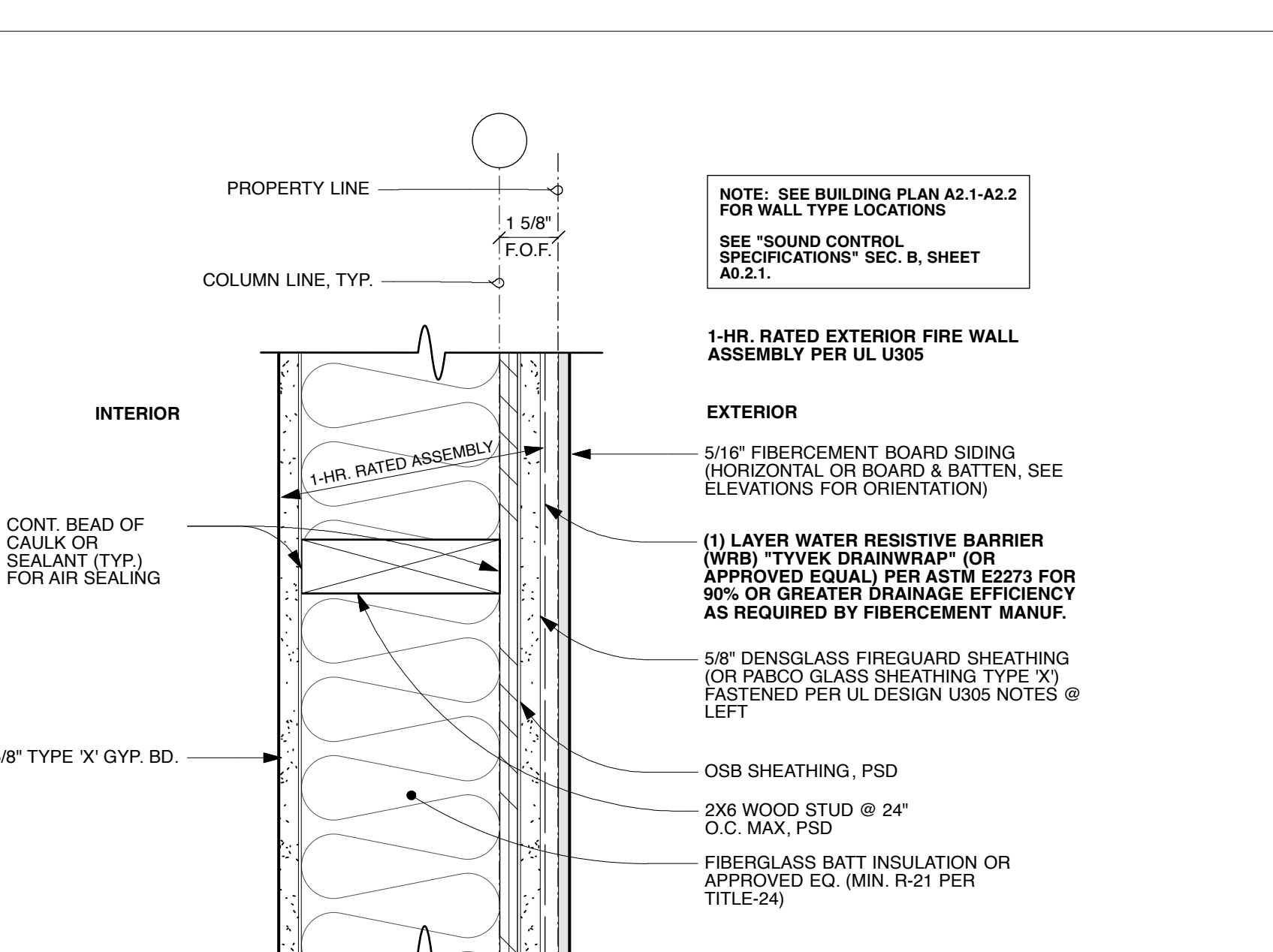
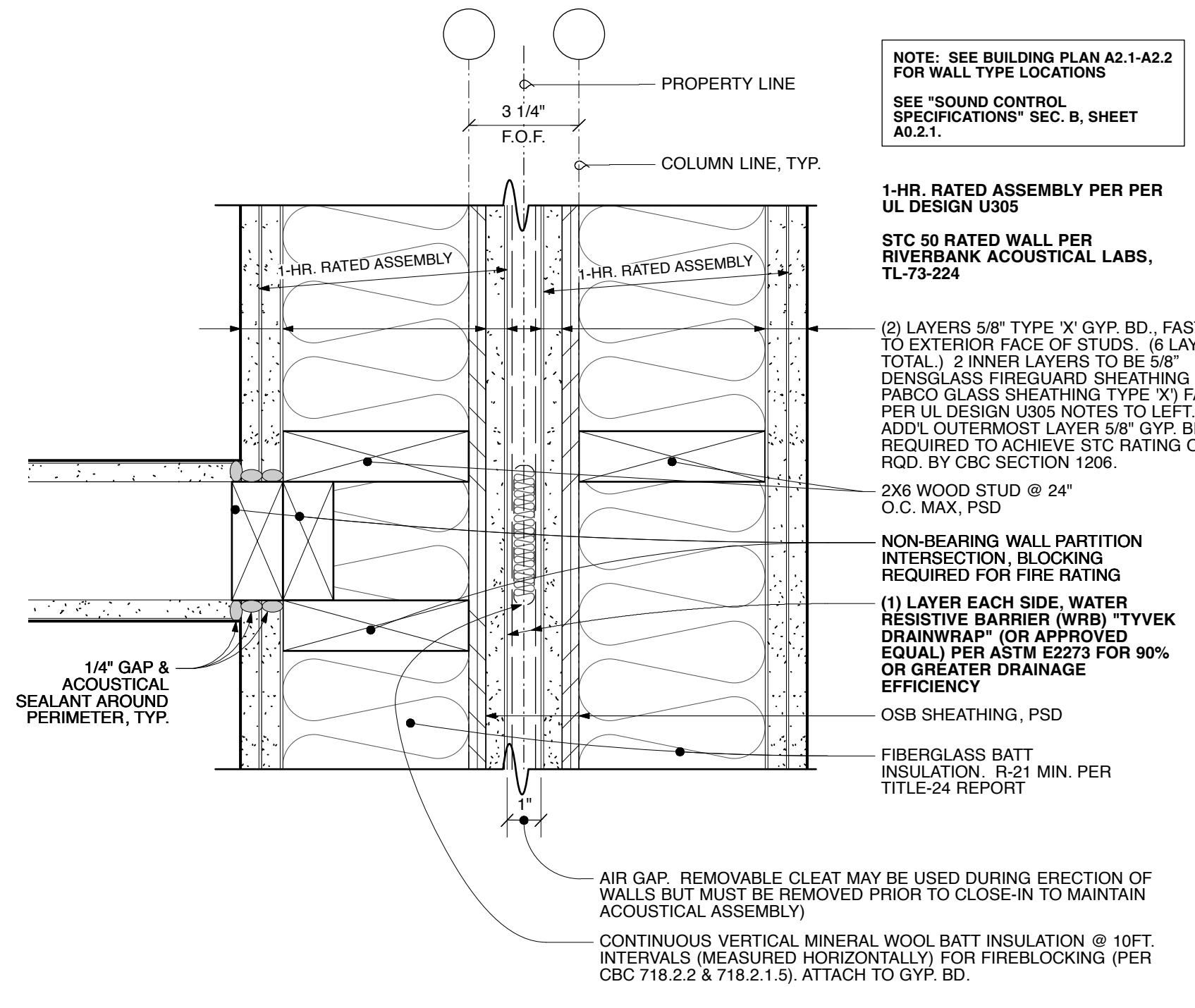
12. Non-Bearing Wall Partition Intersection — (Optional) — Two nominal 2 by 4 in. studs or nominal 2 by 6 in. studs nailed together with two 3 in. long 10d nails spaced a max. 16 in. OC, vertically and fastened to one side of the minimum 2 by 4 in. stud with 3 in. long 10d nails spaced a max. 16 in. OC, vertically. Intersection between partition wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed by with a second 2 by 4 in. wood stud fastened with 3 in. long 10d nails spaced a max. 16 in. OC, vertically. Maximum one non-bearing wall partition intersection per stud cavity. Non-bearing wall partition stud depth shall be at a minimum equal to the depth of the bearing wall.

PENETRATIONS:
PENETRATIONS IN 1-HR. FIRE RATED ASSEMBLIES SHOULD BE PROTECTED WITH 1-HR. FIRE RATED CAULK (ASTM E814 OR UL 1478). THIS INCLUDES, BUT IS NOT LIMITED TO, CALK AROUND PLUMBING, OUTLET BOXES, SWITCHING BOXES, LIGHT FIXTURES, CABLE BOXES, DATA BOXES, ETC. SEE A0.2.1 FOR MORE INFORMATION ON ACOUSTICAL & FIREPROOF SEALANTS.

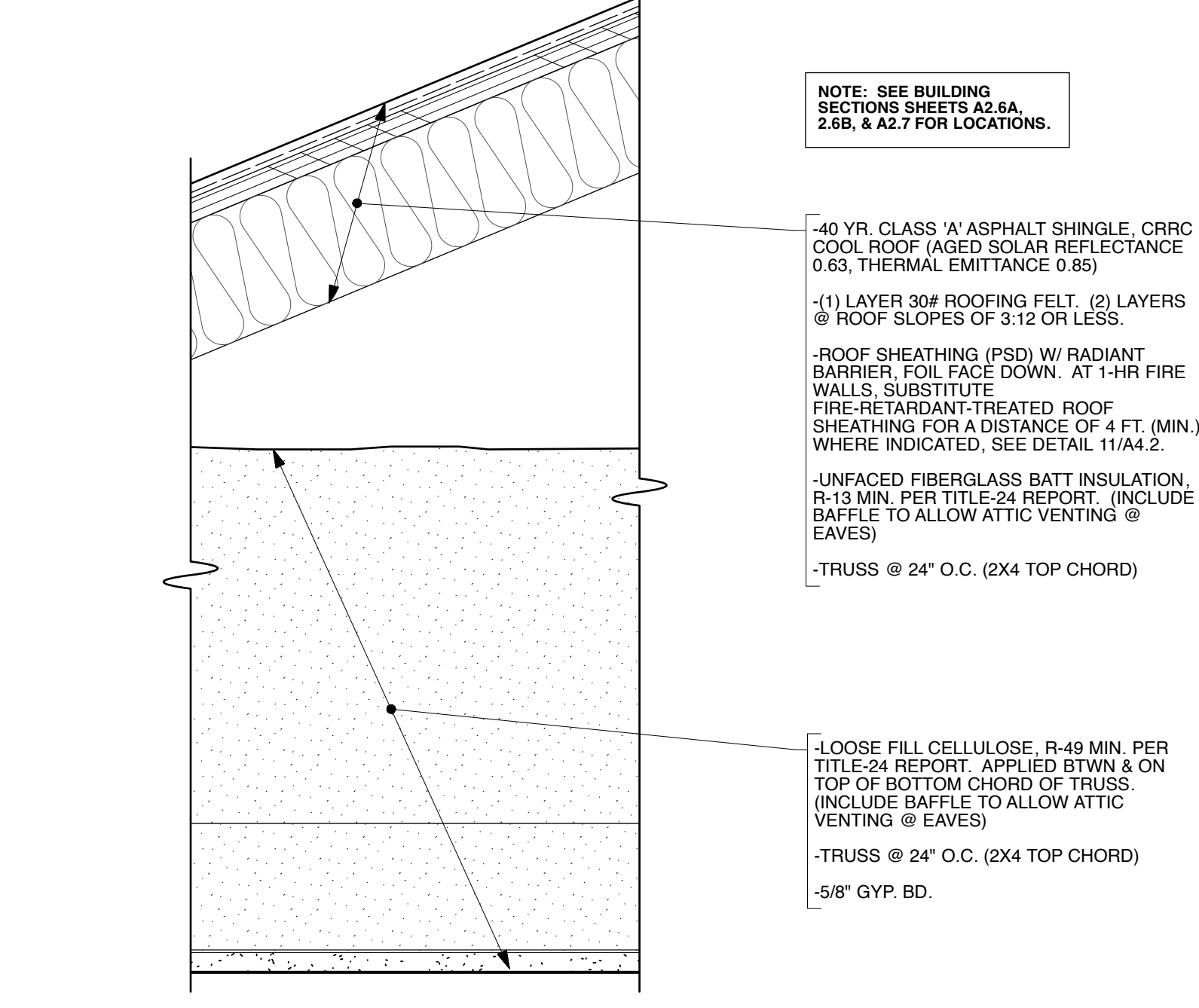
PLUMBING PENETRATIONS TO BE CAST IRON, COPPER, OR IRON PIPE. SEALED W/ MIN. 1-HR RATED FIRE CAULK.

NO PLUMBING IN PARTY WALLS TO MAINTAIN ACOUSTICAL SEPARATION AND PER CRC R302.2 FOR FIRE-RATED PARTY WALLS IN TOWNHOUSES.
EXCEPTION: SMALL-DIAMETER COPPER CONDENSATE DRAIN LINE MAY RUN FROM HOT WATER HEATER CLOSET IN 3 BEDR. UNITS TO EXTERIOR (SEE PLUMBING DWGS.) FIRE CAULK/SEAL PENETRATION.

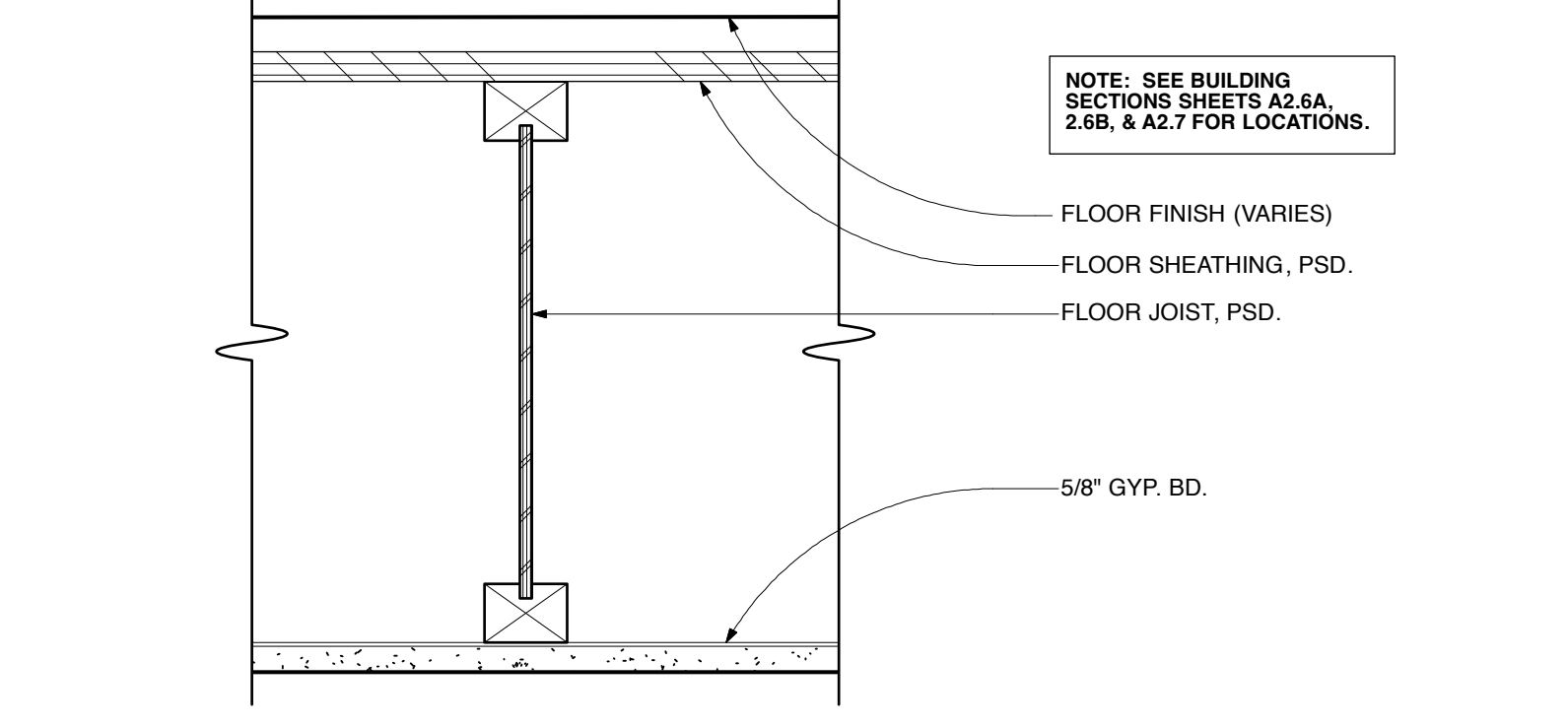
C PLAN DETAIL
(2) 1-HR RATED FIRE WALLS, 50 STC TOTAL
SCALE: 3" = 1'-0"



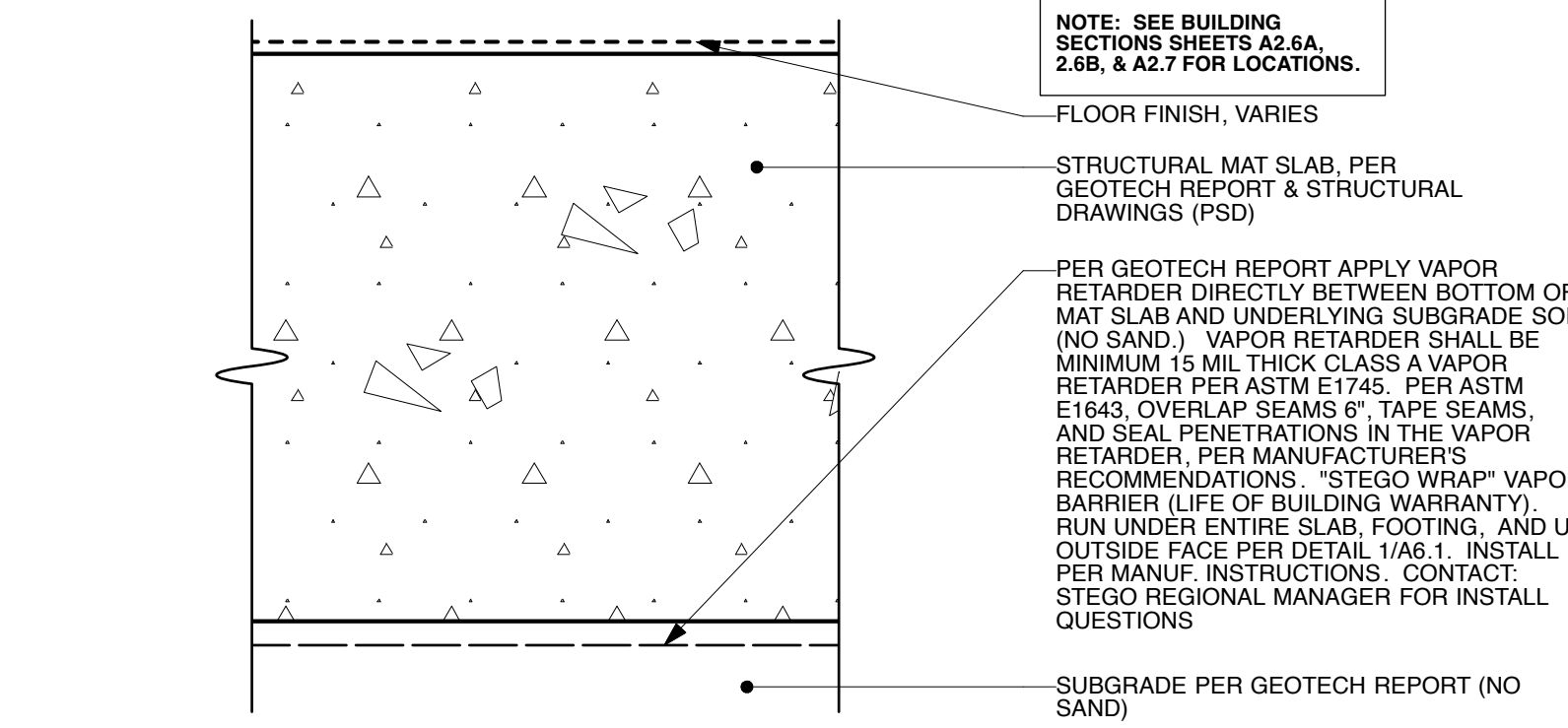
B PLAN DETAIL
2x6 EXTERIOR WALL - 1 HR. RATED
SCALE: 3" = 1'-0"



3 SECTION DETAIL - ROOF/CEILING - NR
SCALE: 3" = 1'-0"



2 SECTION DETAIL - FLOOR / CEILING - NR
SCALE: 3" = 1'-0"



1 SECTION DETAIL - FLOOR SLAB ON GRADE - NR (non rated)
SCALE: 3" = 1'-0"

HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.
123 A STREET, HAYWARD, CA 94541
SEQUOIA GROVE

GH^A
GEOFFREY HOLTON & ASSOCIATES
1743 Alcatraz Avenue
Berkeley, CA 94703
tel: 510.863.9787
fax: 510.863.1807
http://www.ghadesign.net



CURRENT ISSUE DATE
8.4.2023
INITIAL SUBMITTAL DATE
6.7.2023
REVISIONS
SPR/TTM RESUBMITTAL 6.7.2023
SPR/TTM RESUBMITTAL 8.4.2023

SHEET NO.
A0.2
WALL ASSEMBLIES

HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY, INC. 123 A STREET, HAYWARD, CA 94541 SEQUOIA GROVE

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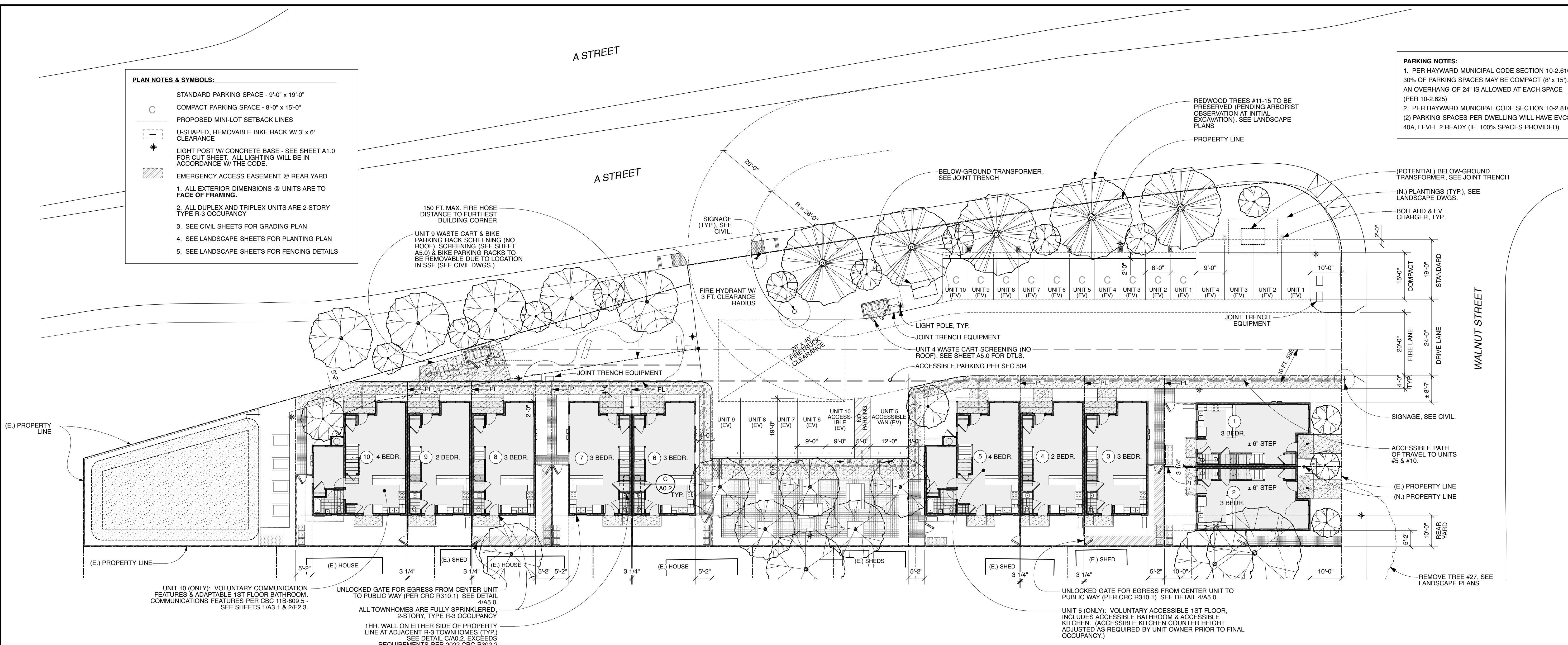
1743 Alcatraz Avenue Berkeley, CA 94703 tel: 510.663.9797 fax: 510.663.1807 http://www.ghadesign.net



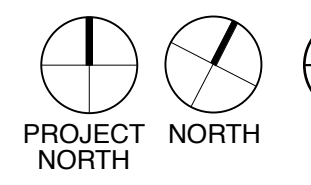
CURRENT ISSUE DATE 8/4/2023 INITIAL SUBMITTAL DATE 6.7.2023 REVISIONS SP/ITM RESUBMITTAL 6.7.2023 SP/ITM RESUBMITTAL 8.4.2023

- PLAN NOTES & SYMBOLS: STANDARD PARKING SPACE - 9'-0" x 19'-0" COMPACT PARKING SPACE - 8'-0" x 15'-0" PROPOSED MINI-LOT SETBACK LINES U-SHAPED, REMOVABLE BIKE RACK W/ 3' x 6' CLEARANCE LIGHT POST W/ CONCRETE BASE - SEE SHEET A1.0 FOR CUT SHEET. ALL LIGHTING WILL BE IN ACCORDANCE W/ THE CODE. EMERGENCY ACCESS EASEMENT @ REAR YARD 1. ALL EXTERIOR DIMENSIONS @ UNITS ARE TO FACE OF FRAMING. 2. ALL DUPLEX AND TRIPLEX UNITS ARE 2-STORY TYPE R-3 OCCUPANCY 3. SEE CIVIL SHEETS FOR GRADING PLAN 4. SEE LANDSCAPE SHEETS FOR PLANTING PLAN 5. SEE LANDSCAPE SHEETS FOR FENCING DETAILS

- PARKING NOTES: 1. PER HAYWARD MUNICIPAL CODE SECTION 10-2.610, 30% OF PARKING SPACES MAY BE COMPACT (8' x 15') AN OVERHANG OF 24" IS ALLOWED AT EACH SPACE (PER 10-2.625) 2. PER HAYWARD MUNICIPAL CODE SECTION 10-2.810 (2) PARKING SPACES PER DWELLING WILL HAVE EVCS, 40A, LEVEL 2 READY (IE. 100% SPACES PROVIDED)



HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - SEQUOIA GROVE - GRAPHIC CODE ANALYSIS



123 A STREET, APN 431-0016-088-03

SCALE: 1" = 16'-0"

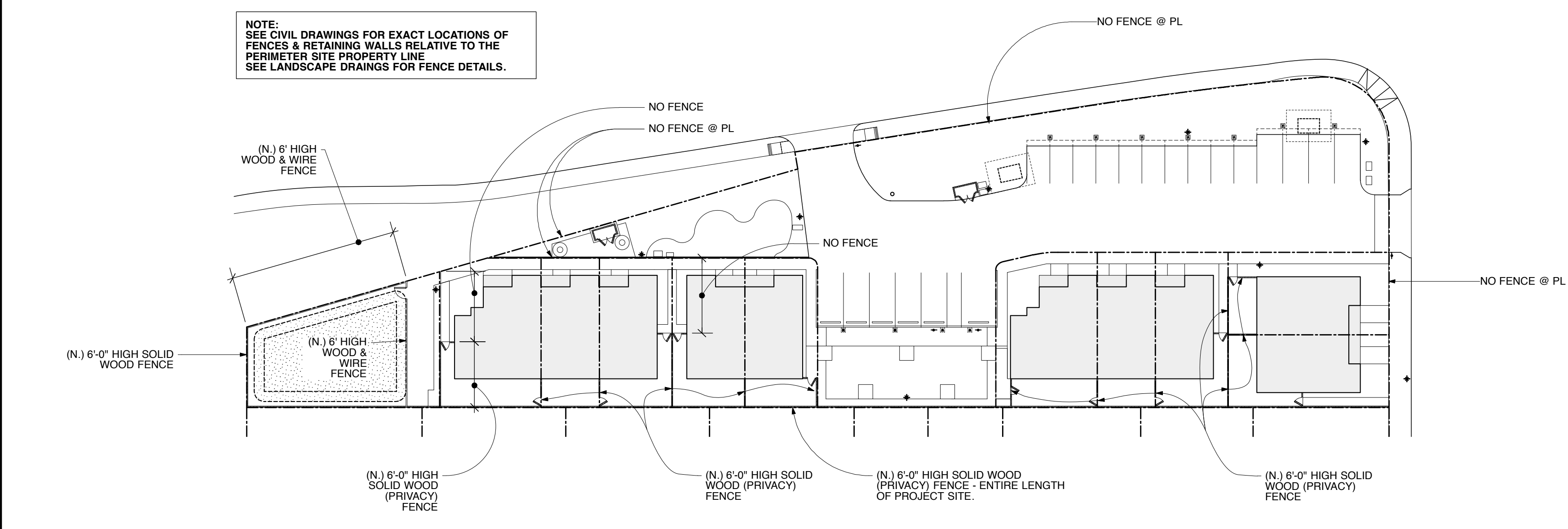
HOME CODE ANALYSIS: PER 2022 CALIFORNIA RESIDENTIAL CODE Accessibility requirements from 2022 CBC Chapter 11A do not apply to individual single-family homes on separate sites, bounded by property lines. Per CBC 1102A.1 "Each building on a building site shall be considered separately when determining the requirements contained in this chapter..."

TABLE R302.1(2) EXTERIOR WALLS—DWELLINGS AND ACCESSORY BUILDINGS WITH AUTOMATIC RESIDENTIAL FIRE SPRINKLER PROTECTION

Table with 4 columns: EXTERIOR WALL ELEMENT, FIRE-RESISTANCE RATED, MINIMUM FIRE-RESISTANCE RATING, MINIMUM FIRE SEPARATION DISTANCE. Rows include Walls, Projections, Openings in walls, and Penetrations.

CRC R302.1 Exterior Walls Construction, projections, openings and penetrations of exterior walls of dwellings equipped throughout with an automatic sprinkler system installed in accordance with Section R313 shall comply with Table R302.1(2). CRC R302.2 Townhouses The definition of townhouse will apply to all buildings (per CRC Ch. 2 Definitions.) Therefore a MINIMUM 1-hr. fire resistance rated COMMON wall is adequate between adjacent units as long as this wall does not contain plumbing or mechanical equipment. CRC R302.2.1 Continuity Per this section, the common wall must extend up to the underside of the roof. CRC R302.2.2 Parapets Per the exception in this section, parapets are not required through the use of a minimum Class C roof covering AND the roof decking (or sheathing) is of non-combustible materials (or approved fire retardant-treated wood) for a distance of 4 ft. on each side of the common wall or walls. CRC R302.2.4 Structural independence Per exception 1, the project is not required to separate the foundations of 2 units at the common wall. CRC R310.1 Emergency escape and rescue required. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way. AN UNLOCKED GATE BETWEEN REAR YARDS IS SHOWN ON THE SITE PLAN A0.0 & A1.0 PER 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) All subcontractors must comply with CALIFORNIA GREEN BUILDING STANDARDS CODE Mandatory Measures on sheet A0.7.

NOTE: SEE CIVIL DRAWINGS FOR EXACT LOCATIONS OF FENCES & RETAINING WALLS RELATIVE TO THE PERIMETER SITE PROPERTY LINE SEE LANDSCAPE DRAINGS FOR FENCE DETAILS.



PROPOSED FENCING PLAN

2 A0.4

SCALE: 1" = 30'-0"

HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY, INC. 123 A STREET, HAYWARD, CA 94541 SEQUOIA GROVE

GHA GEOFFREY HOLTON & ASSOCIATES

1743 Alcatraz Avenue Berkeley, CA 94703 tel: 510.663.9797 fax: 510.663.1807 http://www.ghadesign.net

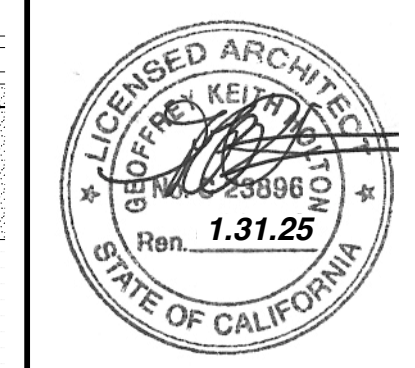


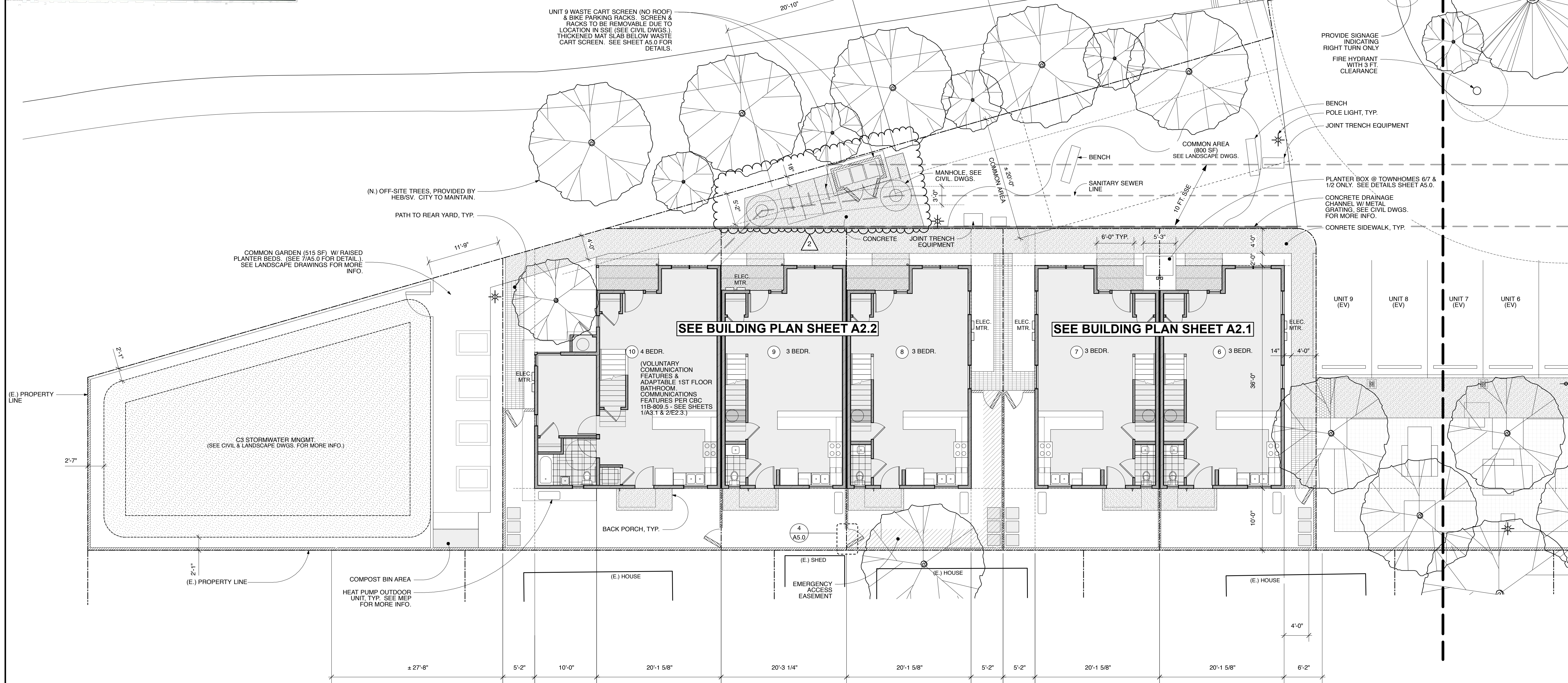
Table with 2 columns: Revisions, and 2 rows of revision details including dates and descriptions like 'SPR/TTM RESUBMITTAL 6.7.2023'.

SHEET NO. A1.0A SITE PLAN

Technical drawing details including 'Luminaire Detail Scale: 1/2"', 'PHILIPS HADCO' logo, and various specifications for lighting fixtures and electrical components.

- PLAN NOTES & SYMBOLS: STANDARD PARKING SPACE - 9'-0" x 19'-0", COMPACT PARKING SPACE - 8'-0" x 15'-0", PROPOSED SETBACK LINES, U-SHAPED, REMOVABLE BIKE RACK W/ 3' x 6' CLEARANCE, LIGHT POST W/ CONCRETE BASE - SEE SHEET A1.0 FOR CUT SHEET. ALL LIGHTING WILL BE IN ACCORDANCE W/ THE CODE, EMERGENCY ACCESS EASEMENT @ REAR YARDS, 1. ALL EXTERIOR DIMENSIONS @ UNITS ARE TO FACE OF FRAMING, 2. ALL DUPLEX AND TRIPLEX UNITS ARE 2-STORY TYPE R-3 OCCUPANCY, 3. SEE CIVIL SHEETS FOR GRADING PLAN, 4. SEE LANDSCAPE SHEETS FOR PLANTING PLAN, 5. SEE LANDSCAPE SHEETS FOR FENCING DETAILS

- EXTERIOR PAINT COLOR DESIGNATION PER LOT: LOT 1 - COLOR SET 3, LOT 2 - COLOR SET 2, LOT 3 - COLOR SET 1, LOT 4 - COLOR SET 2, LOT 5 - COLOR SET 3, LOT 6 - COLOR SET 2, LOT 7 - COLOR SET 1, LOT 8 - COLOR SET 3, LOT 9 - COLOR SET 2, LOT 10 - COLOR SET 1



HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - SEQUOIA GROVE - PRELIMINARY SITE PLAN



SCALE: 1/8" = 1'-0"

HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY, INC.

123 A STREET, HAYWARD, CA 94541
SEQUOIA GROVE



1743 Alcatraz Avenue
Berkeley, CA 94703
tel: 510.663.9797
fax: 510.663.1807
http://www.gghadesign.net

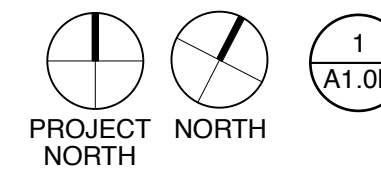
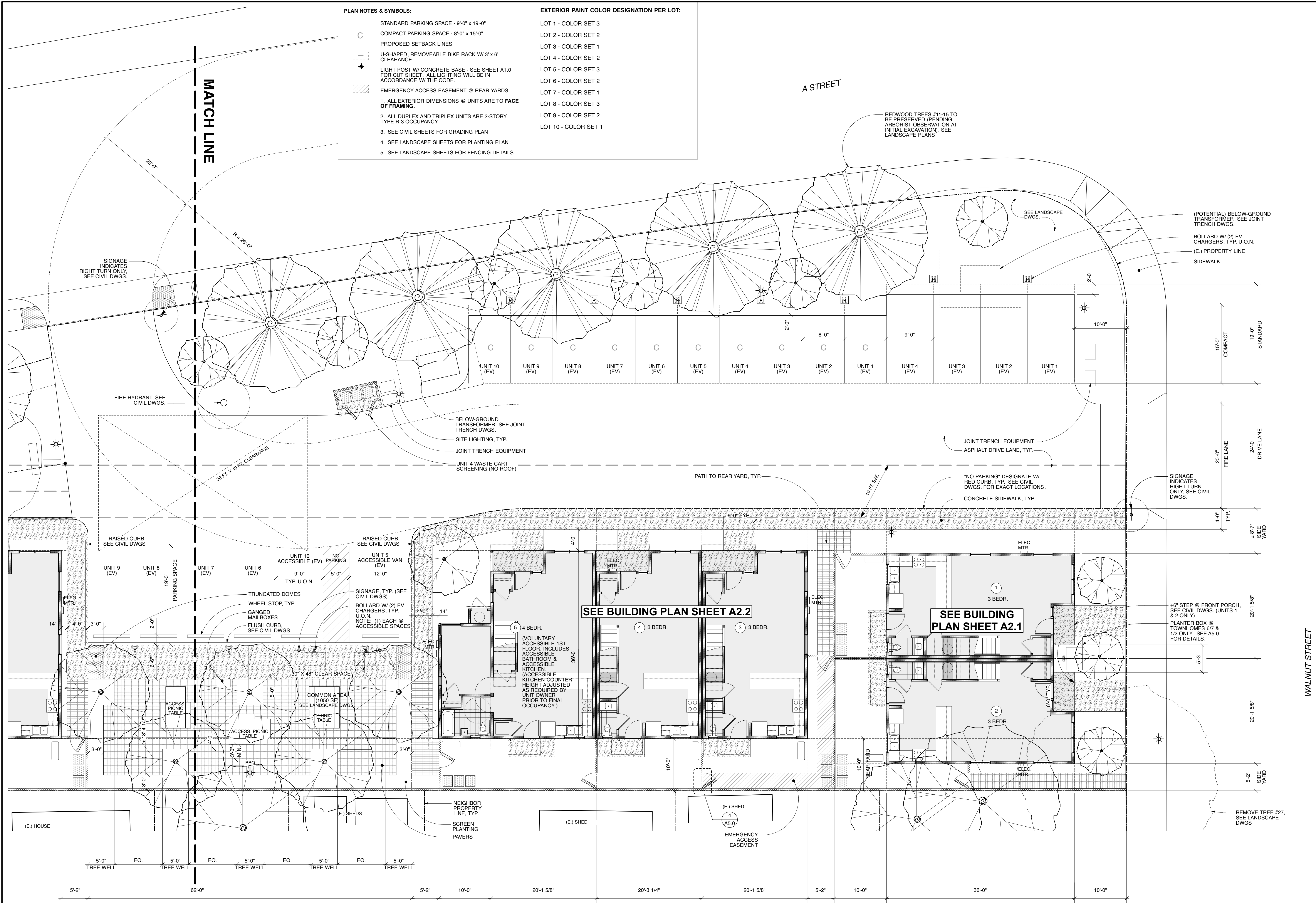


CURRENT ISSUE DATE
8/4/2023
INITIAL SUBMITTAL DATE
6.7.2023
REVISIONS
1 SPR/TTM RESUBMITTAL 6.7.2023
2 SPR/TTM RESUBMITTAL 8.4.2023

SHEET NO.
A1.0B
SITE PLAN

- PLAN NOTES & SYMBOLS:**
- STANDARD PARKING SPACE - 9'-0" x 19'-0"
 - COMPACT PARKING SPACE - 8'-0" x 15'-0"
 - PROPOSED SETBACK LINES
 - U-SHAPED, REMOVEABLE BIKE RACK W/ 3' x 6' CLEARANCE
 - LIGHT POST W/ CONCRETE BASE - SEE SHEET A1.0 FOR CUT SHEET. ALL LIGHTING WILL BE IN ACCORDANCE W/ THE CODE.
 - EMERGENCY ACCESS EASEMENT @ REAR YARDS
- ALL EXTERIOR DIMENSIONS @ UNITS ARE TO FACE OF FRAMING.
 - ALL DUPLEX AND TRIPLEX UNITS ARE 2-STORY TYPE R-3 OCCUPANCY.
 - SEE CIVIL SHEETS FOR GRADING PLAN.
 - SEE LANDSCAPE SHEETS FOR PLANTING PLAN.
 - SEE LANDSCAPE SHEETS FOR FENCING DETAILS.

- EXTERIOR PAINT COLOR DESIGNATION PER LOT:**
- LOT 1 - COLOR SET 3
 - LOT 2 - COLOR SET 2
 - LOT 3 - COLOR SET 1
 - LOT 4 - COLOR SET 2
 - LOT 5 - COLOR SET 3
 - LOT 6 - COLOR SET 2
 - LOT 7 - COLOR SET 1
 - LOT 8 - COLOR SET 3
 - LOT 9 - COLOR SET 2
 - LOT 10 - COLOR SET 1



HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - SEQUOIA GROVE - PRELIMINARY SITE PLAN
123 A STREET, APN 431-0016-088-03

SCALE: 1/8" = 1'-0"

WALNUT STREET

A STREET

MATCH LINE

SEE BUILDING PLAN SHEET A2.2

SEE BUILDING PLAN SHEET A2.1

REDWOOD TREES #11-15 TO BE PRESERVED (PENDING ARBORIST OBSERVATION AT INITIAL EXCAVATION). SEE LANDSCAPE PLANS.

(POTENTIAL) BELOW-GROUND TRANSFORMER. SEE JOINT TRENCH DWGS.

BOLLARD W/ (2) EV CHARGERS, TYP. U.O.N. (E.) PROPERTY LINE

SIDEWALK

BELOW-GROUND TRANSFORMER. SEE JOINT TRENCH DWGS.

SITE LIGHTING, TYP.

JOINT TRENCH EQUIPMENT

UNIT 4 WASTE CART SCREENING (NO ROOF)

PATH TO REAR YARD, TYP.

JOINT TRENCH EQUIPMENT ASPHALT DRIVE LANE, TYP.

"NO PARKING" DESIGNATE W/ RED CURB, TYP. SEE CIVIL DWGS. FOR EXACT LOCATIONS.

CONCRETE SIDEWALK, TYP.

SIGNAGE INDICATES RIGHT TURN ONLY. SEE CIVIL DWGS.

FIRE HYDRANT, SEE CIVIL DWGS.

28 FT. X 40 FT. CLEARANCE

RAISED CURB, SEE CIVIL DWGS.

RAISED CURB, SEE CIVIL DWGS.

SIGNAGE, TYP. (SEE CIVIL DWGS)

BOLLARD W/ (2) EV CHARGERS, TYP. U.O.N. NOTE: (1) EACH @ ACCESSIBLE SPACES

(VOLUNTARY ACCESSIBLE 1ST FLOOR INCLUDES ACCESSIBLE BATHROOM & ACCESSIBLE KITCHEN (ACCESSIBLE KITCHEN COUNTER HEIGHT ADJUSTED AS REQUIRED BY UNIT OWNER PRIOR TO FINAL OCCUPANCY).)

+6" STEP @ FRONT PORCH, SEE CIVIL DWGS. (UNITS 1 & 2 ONLY)

PLANTER BOX @ TOWNHOMES 6/7 & 1/2 ONLY. SEE A5.0 FOR DETAILS.

REMOVE TREE #27, SEE LANDSCAPE DWGS.

(E.) HOUSE

NEIGHBOR PROPERTY LINE, TYP.

SCREEN PLANTING PAVERS

(E.) SHED

EMERGENCY ACCESS EASEMENT

(E.) SHED

5'-0" EQ. TREE WELL 5'-0" EQ. TREE WELL 5'-0" EQ. TREE WELL 5'-0" EQ. TREE WELL 5'-0" EQ. TREE WELL

15'-0" COMPACT

STANDARD

19'-0"

DRIVE LANE

20'-0"

FIRE LANE

20'-0"

4'-0" TYP.

± 8'-7" SIDE YARD

20'-1 5/8"

20'-1 5/8"

5'-3"

20'-1 5/8"

20'-1 5/8"

5'-2"

10'-0"

36'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

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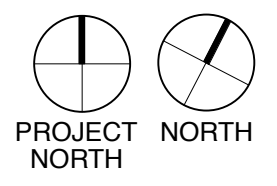
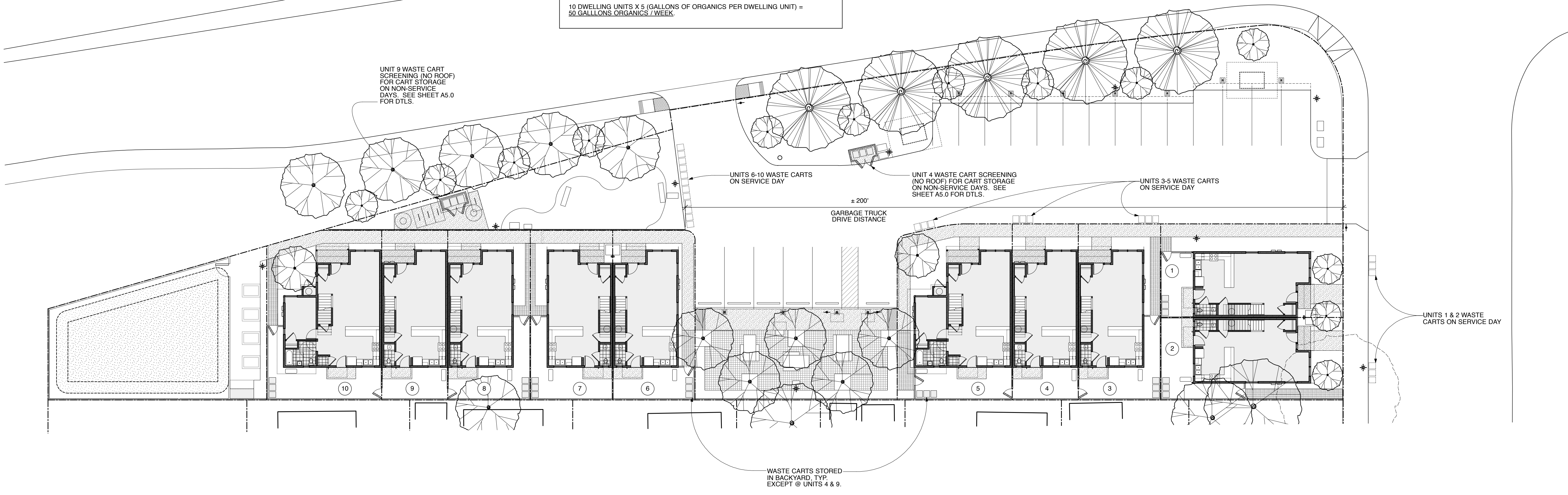
10'-0"

10'-0"

**HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.**

NOTE:

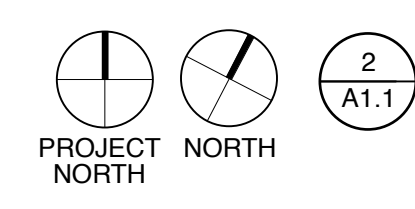
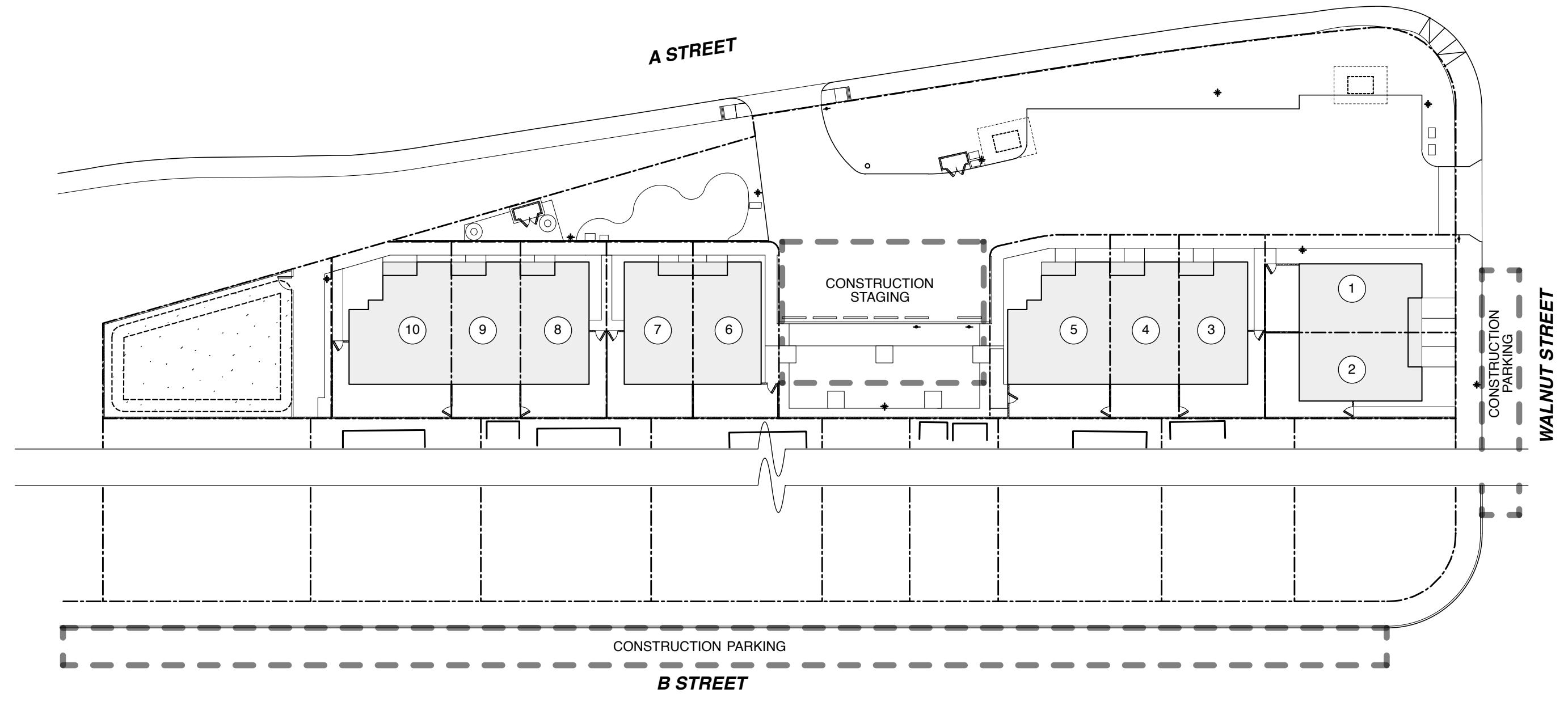
1. PLAN INCLUDES (3) 32 GAL. WASTE CARTS PER DWELLING UNIT FOR LANDFILL, RECYCLING, AND ORGANICS.
2. FORMULA TO DETERMINE MULTI-FAMILY LANDFILL CONTAINER CAPACITY IN CUBIC YARDS:
10 DWELLING UNITS X 1.2 (MOVE IN/OUT FACTOR) X 32 (GAL. PER UNIT) / 200 = 1.92 CY LANDFILL / WEEK.
3. CONTAINER CAPACITY FOR RECYCLABLES MUST BE EQUIVALENT TO CAPACITY ALLOCATED FOR LANDFILL. LANDFILL CY/WEEK CALCULATION FROM ABOVE = 1.92 CY RECYCLABLES / WEEK.
4. FORMULA TO DETERMINE MULTI-FAMILY ORGANIC CONTAINER CAPACITY IN GALLONS:
10 DWELLING UNITS X 5 (GALLONS OF ORGANICS PER DWELLING UNIT) = 50 GALLONS ORGANICS / WEEK.



1 HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - SEQUOIA GROVE - LANDFILL, RECYCLE, AND ORGANICS CARTS PLAN & CALCULATIONS

123 A STREET, APN 431-0016-088-03

SCALE: 1" = 16'-0"



2 CONSTRUCTION STAGING & PARKING PLAN

SCALE: 1" = 32'-0"

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1743 Alcatraz Avenue
Berkeley, CA 94703
tel: 510.663.9797
fax: 510.663.1807
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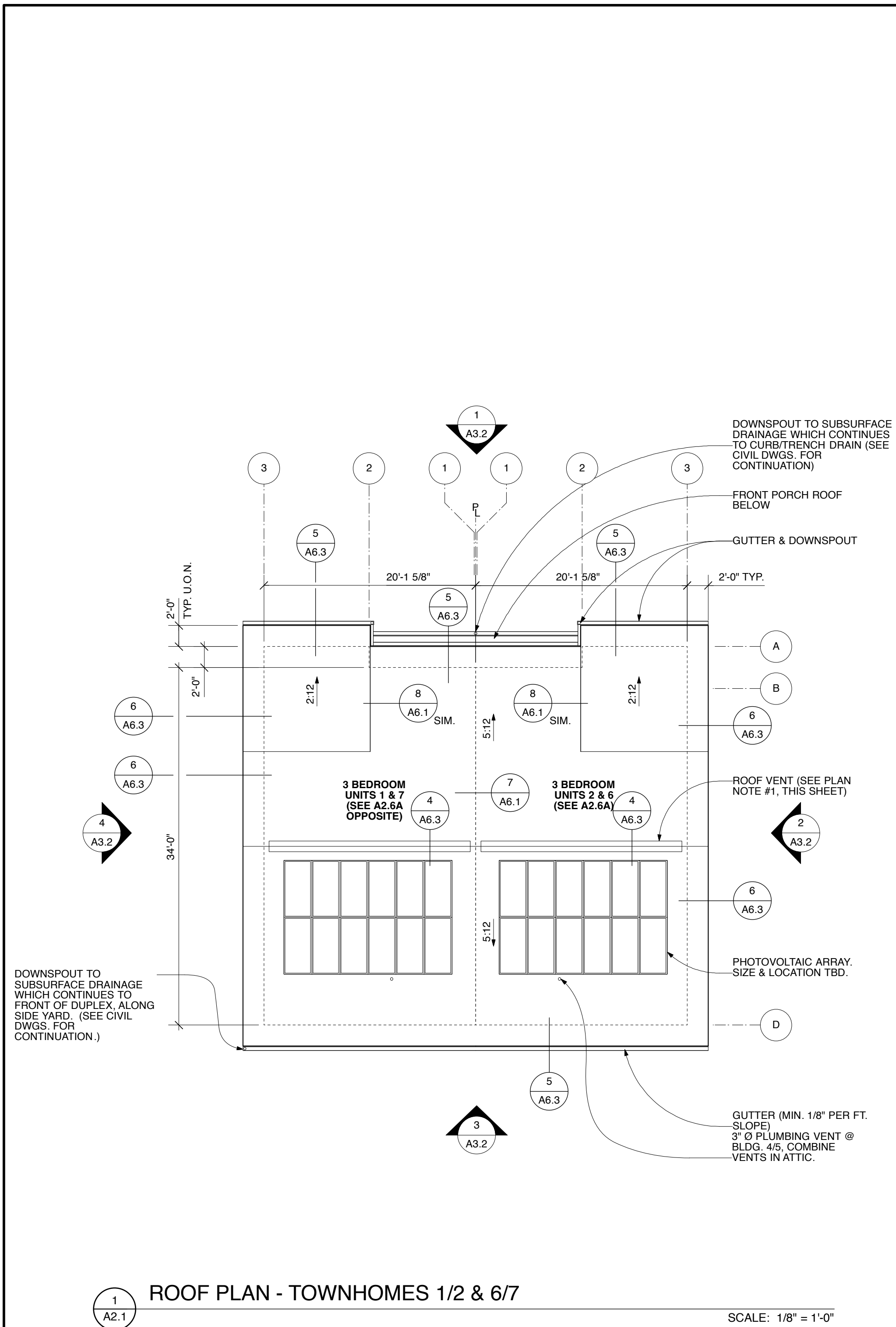
CURRENT ISSUE DATE
8/4/2023

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6.7.2023

REVISIONS

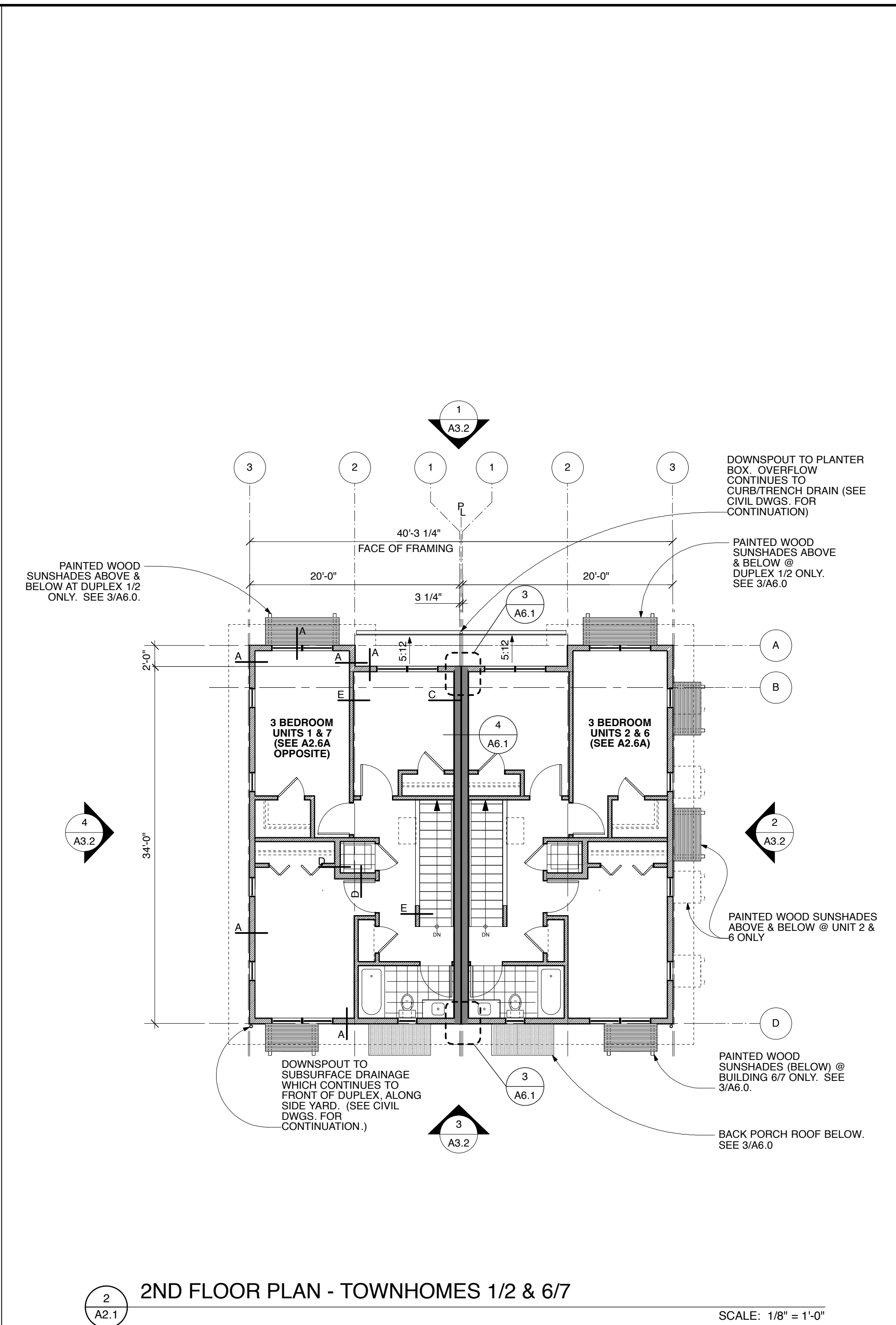
1	SPR/TTM RESUBMITTAL 6.7.2023
2	SPR/TTM RESUBMITTAL 8.4.2023

SHEET NO.
A1.1
RECYCLE & WASTE PLAN



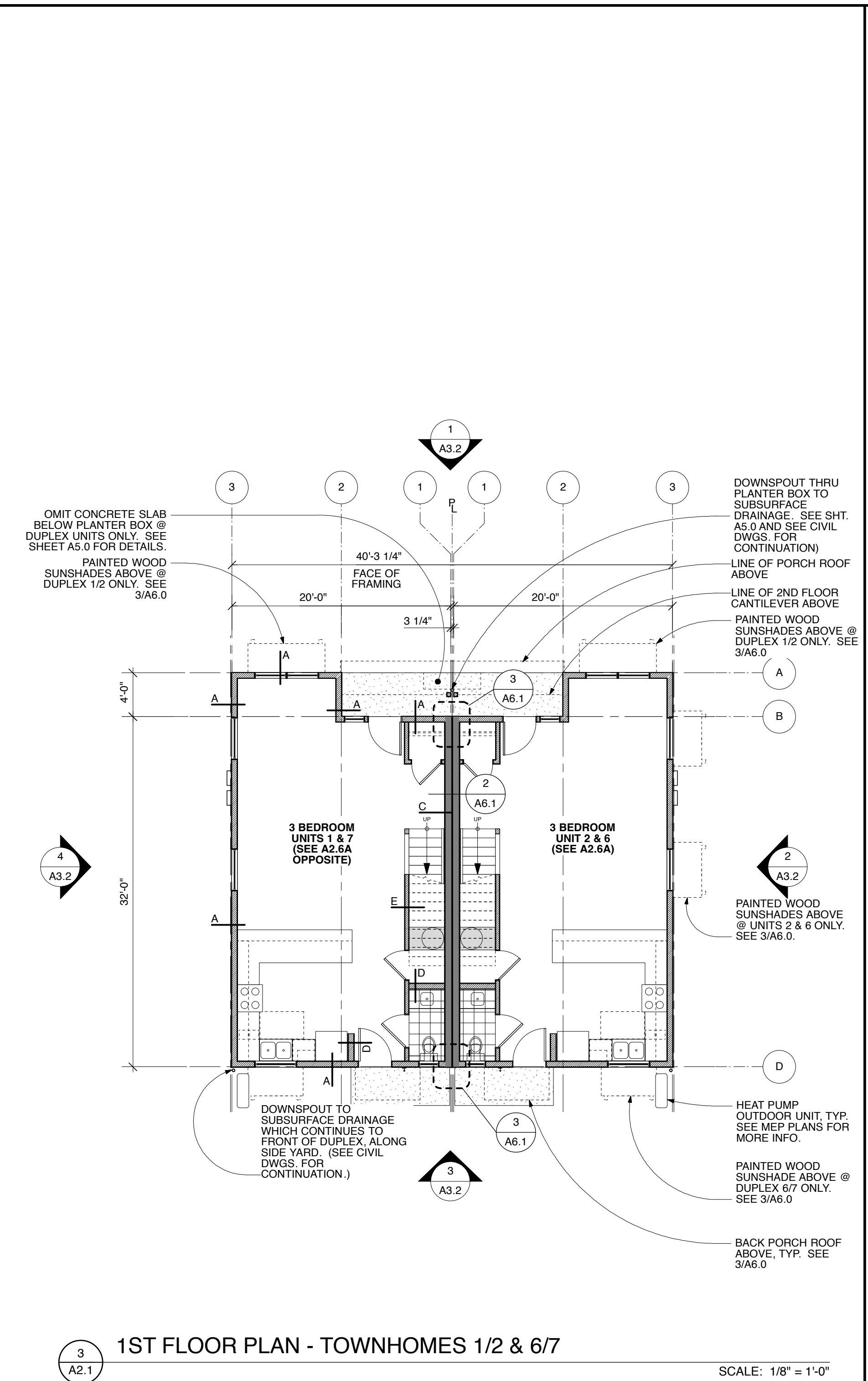
1
A2.1 ROOF PLAN - TOWNHOMES 1/2 & 6/7

SCALE: 1/8" = 1'-0"



2
A2.1 2ND FLOOR PLAN - TOWNHOMES 1/2 & 6/7

SCALE: 1/8" = 1'-0"



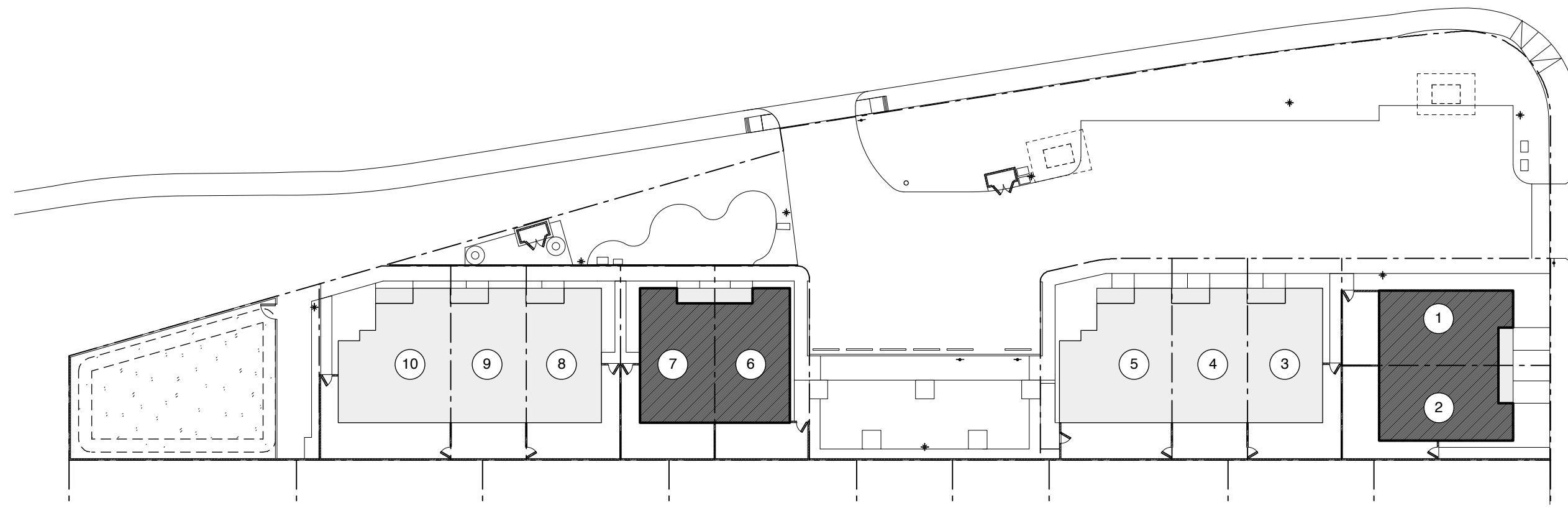
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A2.1 1ST FLOOR PLAN - TOWNHOMES 1/2 & 6/7

SCALE: 1/8" = 1'-0"

PLAN NOTES & SYMBOLS:

PER 2022 CBC SECTION 1203.2, THE NET FREE VENTILATION AREA (NFVA) SHALL BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, WITH 50% OF THE REQUIRED VENTILATION AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FT. ABOVE EAVE OR CORNICE VENTS W/ THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

- VENTING AREA OF 3 BEDR. UNIT ATTIC = 705 SF / 300 = 338 SQ. IN. / 2 = 169 SQ. IN. REQUIRED AT UPPER AND LOWER PORTION OF ROOF.
UPPER: (1) CONTINUOUS ROOF RIDGE VENT @ 12 SQ. IN NFVA / 1 LINEAL FT. = 12 SQ. IN. x 20 FT. = 240 SQ. IN.
LOWER: (8) 2" O HOLES (3.14 SQ. IN.) @ 18 TRUSS BAYS = 169 SQ. IN.
- ALL DIMENSIONS ARE MEASURED TO FACE OF FRAMING (F.O.F.), UNLESS OTHERWISE NOTED. (U.O.N.)



4
A2.1 KEY SITE PLAN

SCALE: 1/32" = 1'-0"

PER 2022 CBC SECTION 1203.2, THE NET FREE VENTILATION AREA (NFVA) SHALL BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, WITH 50% OF THE REQUIRED VENTILATION AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FT. ABOVE EAVE OR CORNICE VENTS W/ THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

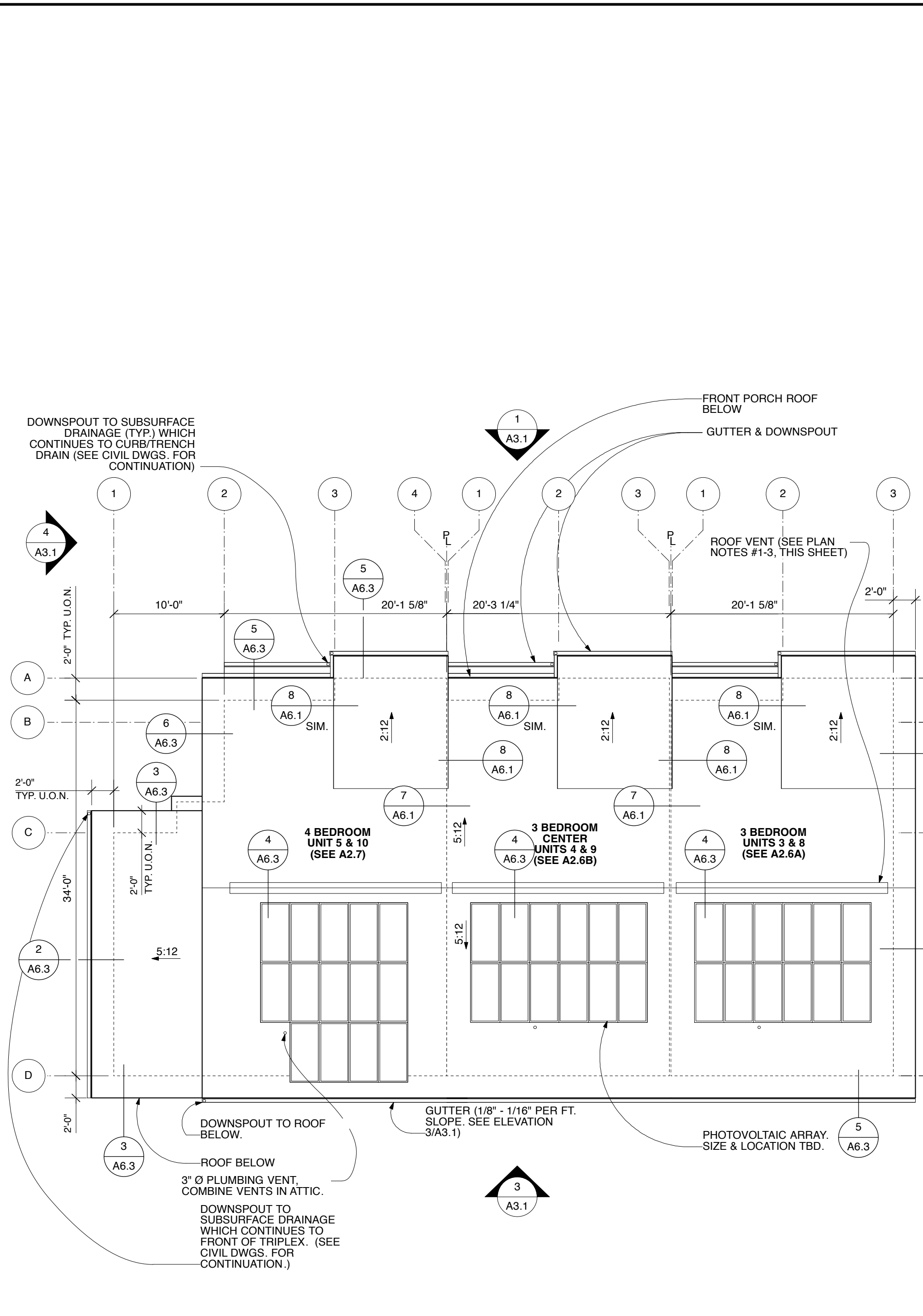
HABITAT FOR HUMANITY
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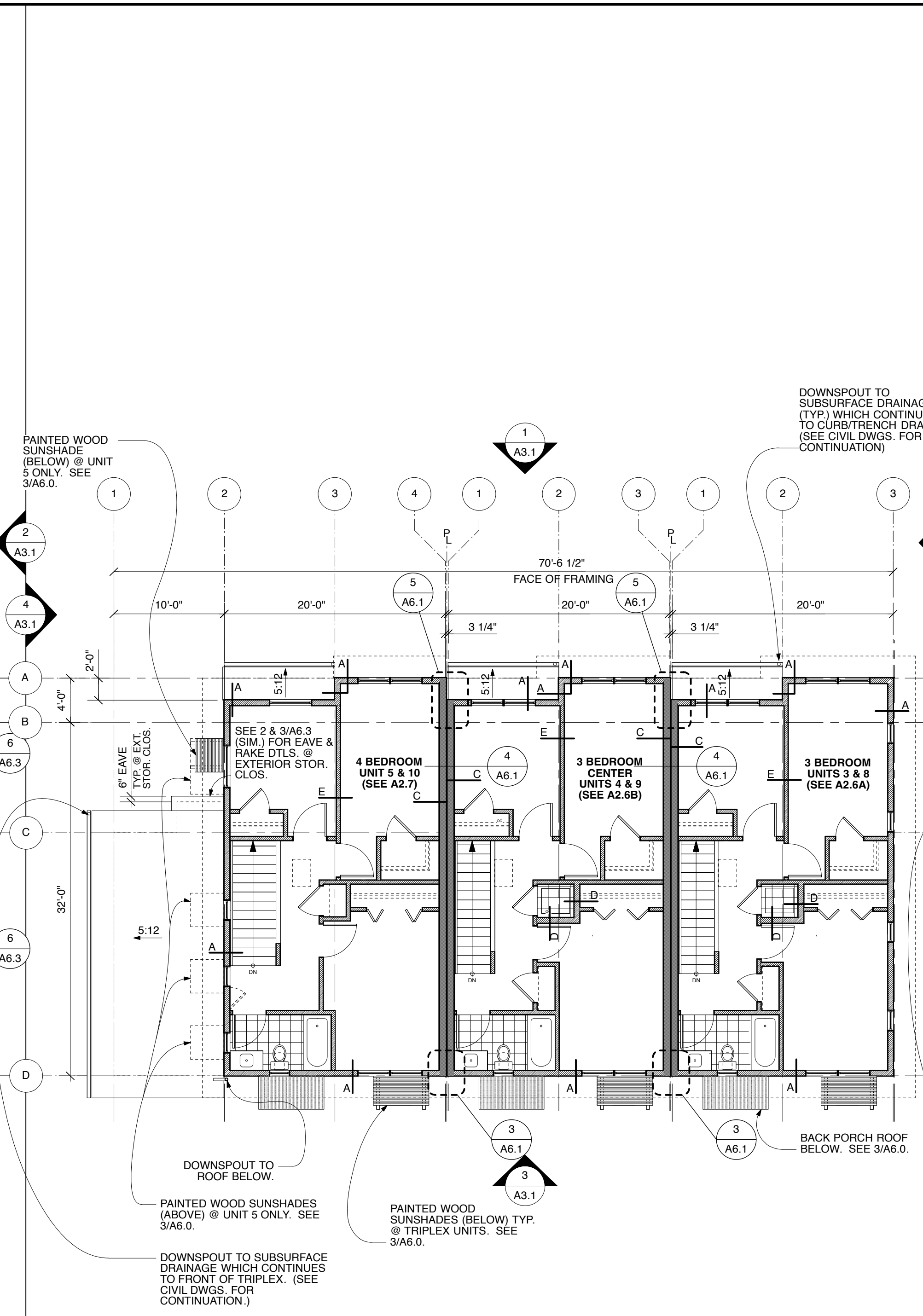


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REVISIONS
SPR/TTM RESUBMITTAL 6.7.2023
SPR/TTM RESUBMITTAL 8.4.2023

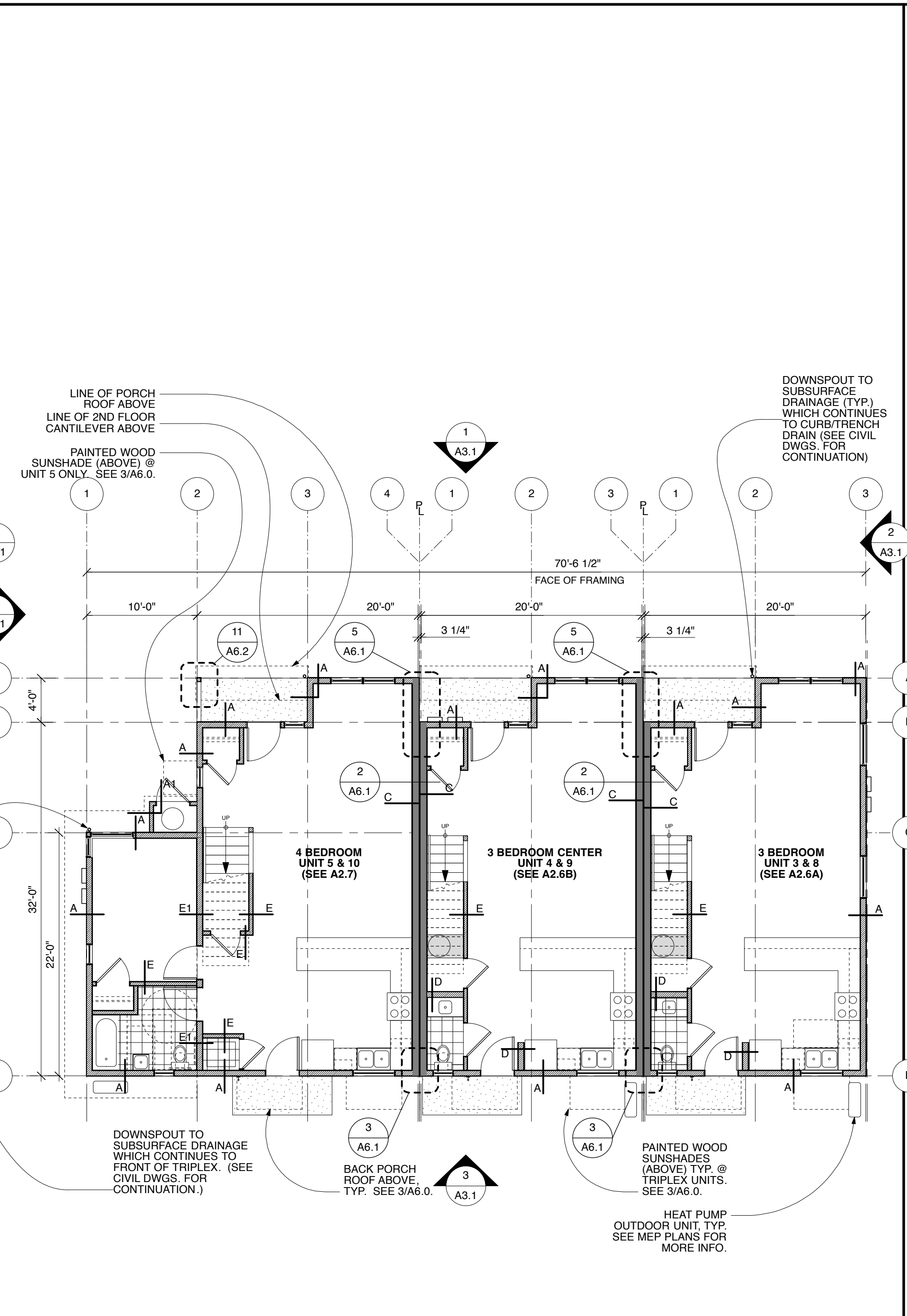
SHEET NO.
A2.2
BUILDING PLANS



1 A2.2 ROOF PLAN - TOWNHOMES 3/4/5 & 8/9/10
SCALE: 1/8" = 1'-0"



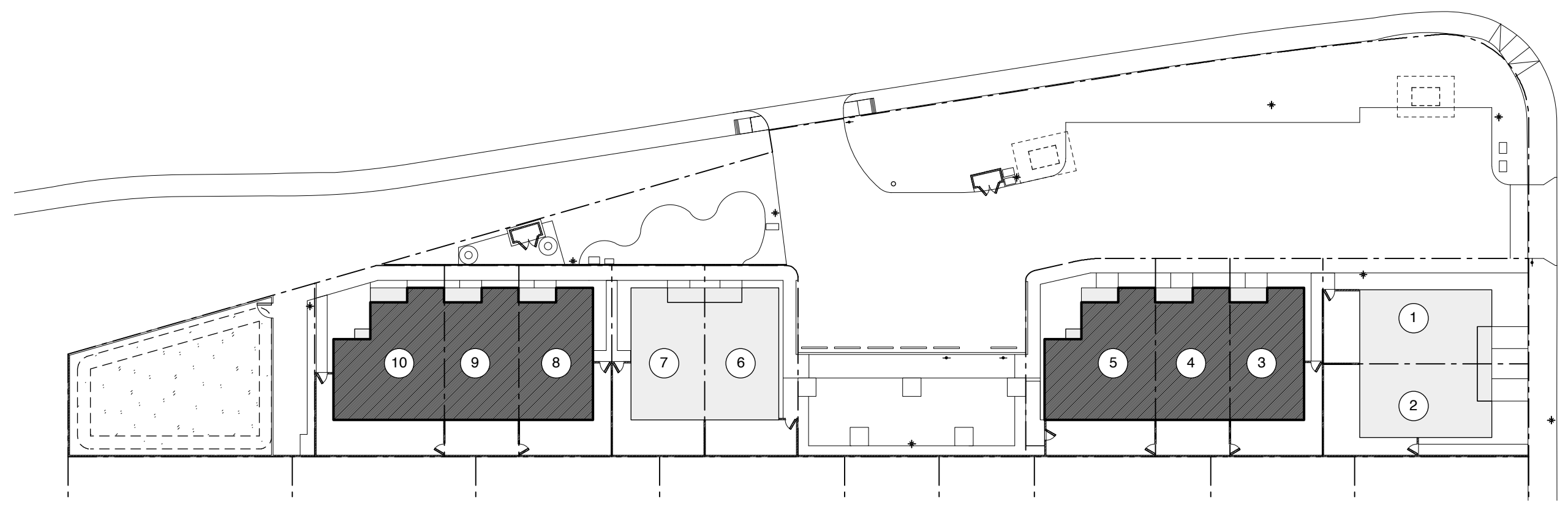
2 A2.2 2ND FLOOR PLAN - TOWNHOMES 3/4/5 & 8/9/10
SCALE: 1/8" = 1'-0"



3 A2.2 1ST FLOOR PLAN - TOWNHOMES 3/4/5 & 8/9/10
SCALE: 1/8" = 1'-0"

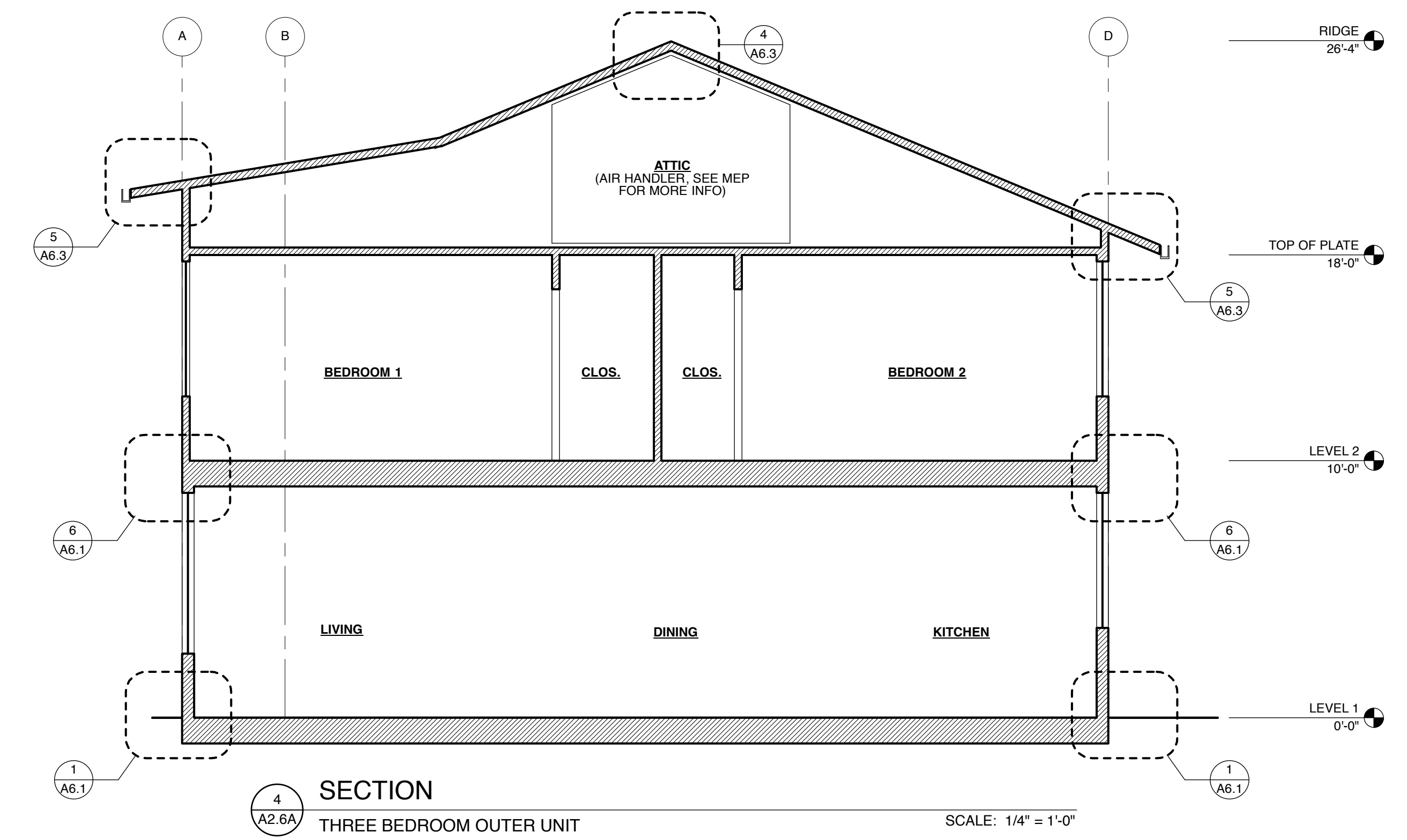
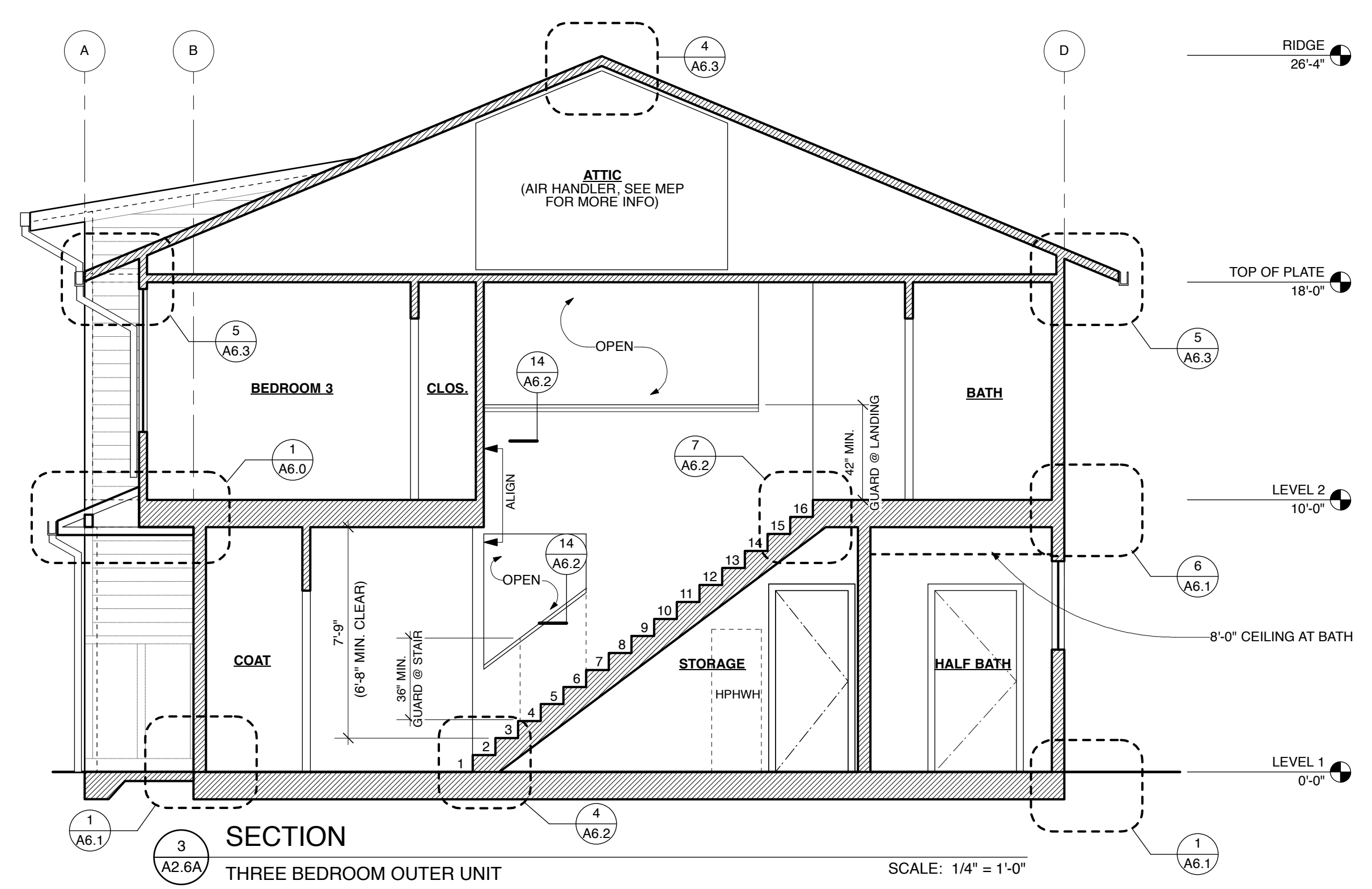
PLAN NOTES & SYMBOLS:

- PER 2022 CBC SECTION 1203.2, THE NET FREE VENTILATION AREA (NFVA) SHALL BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, WITH 50% OF THE REQUIRED VENTILATION AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FT. ABOVE EAVE OR CORNICE VENTS W/ THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
- VENTING AREA OF 3 BEDR. UNIT ATTIC = 705 SF / 300 = 338 SQ. IN. / 2 = 169 SQ. IN. REQUIRED AT UPPER AND LOWER PORTION OF ROOF.
UPPER: (1) CONTINUOUS ROOF RIDGE VENT @ 12 SQ. IN NFVA / 1 LINEAL FT. = 12 SQ. IN. x 20 FT. = 240 SQ. IN.
LOWER: (3) 2" Ø HOLES (3.14 SQ. IN.) @ 18 TRUSS BAYS = 169 SQ. IN.
 - VENTING AREA OF 4 BEDR. UNIT 2nd FLOOR ATTIC = 705 SF / 300 = 338 SQ. IN. / 2 = 169 SQ. IN. REQUIRED AT UPPER AND LOWER PORTION OF ROOF.
UPPER: (1) CONTINUOUS ROOF RIDGE VENT @ 12 SQ. IN NFVA / 1 LINEAL FT. = 12 SQ. IN. x 20 FT. = 240 SQ. IN.
LOWER: (3) 2" Ø HOLES (3.14 SQ. IN.) @ 18 TRUSS BAYS = 169 SQ. IN.
 - VENTING AREA OF 4 BEDR. UNIT 1st FLOOR ATTIC = 220 SF / 300 = 106 SQ. IN. / 2 = 53 SQ. IN. REQUIRED AT UPPER AND LOWER PORTION OF ROOF.
UPPER: (1) CONTINUOUS ROOF/WALL VENT @ 8.5 SQ. IN NFVA / 1 LINEAL FT. = 8.5 SQ. IN. x 22 FT. = 187 SQ. IN.
LOWER: (3) 2" Ø HOLES (3.14 SQ. IN.) @ 11 JOIST BAYS = 104 SQ. IN.
 - ALL DIMENSIONS MEASURED TO FACE OF FRAMING (F.O.F.), UNLESS OTHERWISE NOTED (U.O.N.)

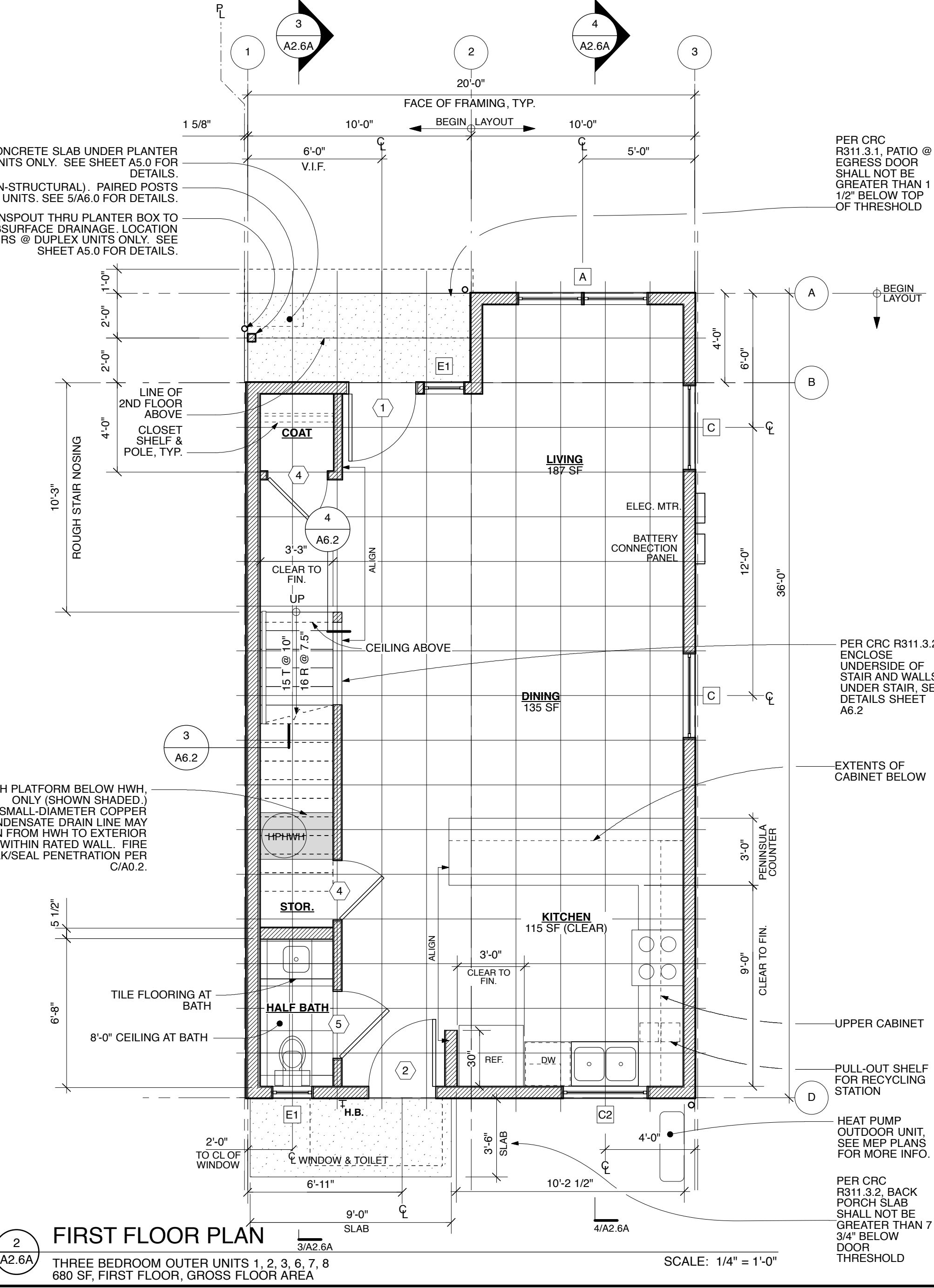
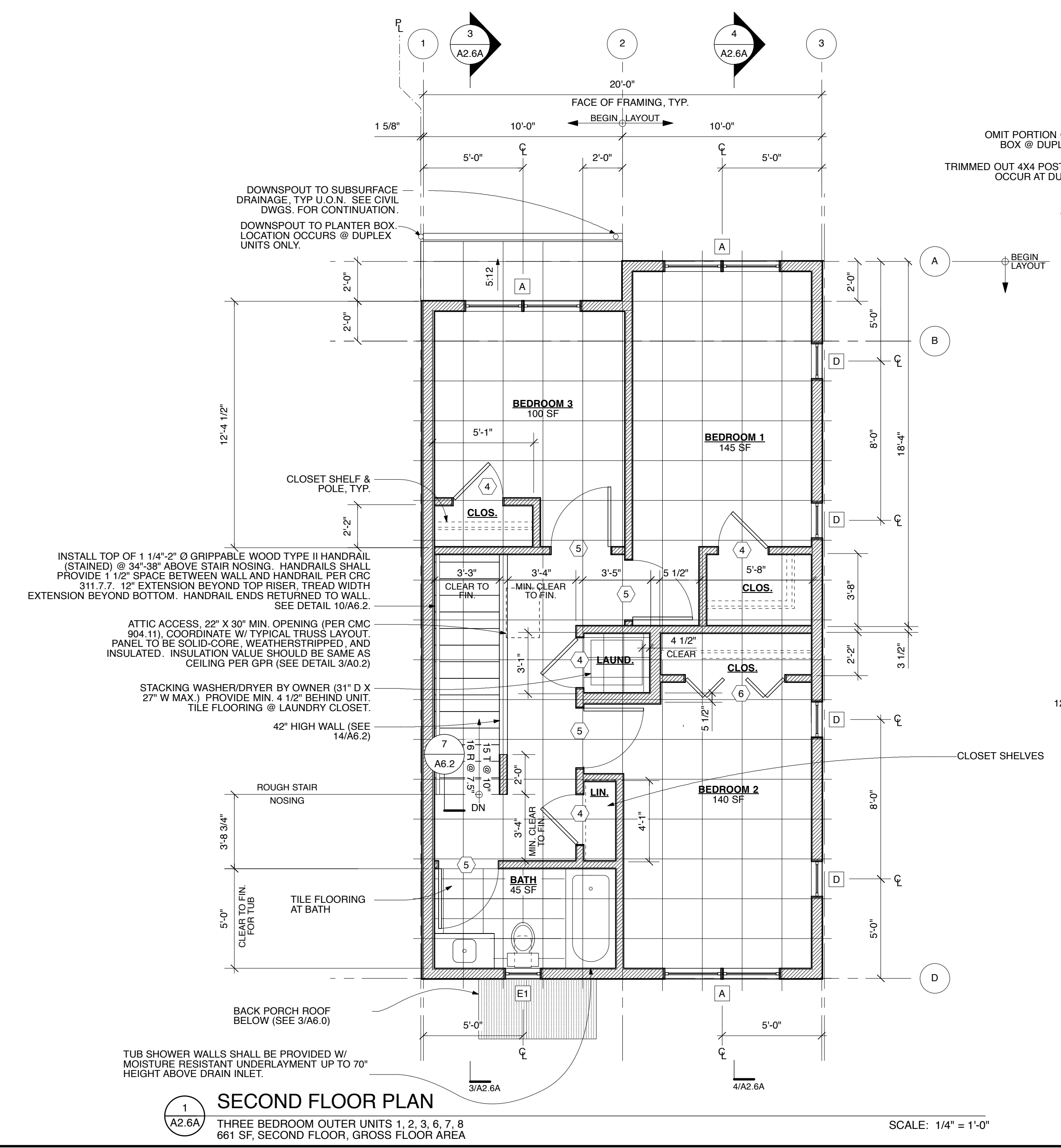


4 A2.2 KEY SITE PLAN
PROJECT NORTH NORTH

SCALE: 1/32" = 1'-0"



- PLAN NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED.
 2. SEE FINISH WINDOW & DOOR SCHEDULES ON SHEET A0.3.
 3. SEE A0.2 FOR WALL TYPES. SEE A2.1-A2.2 FOR WALL TYPE LOCATIONS.
 4. ALL ROOF TRUSSES, WALL STUDS, & FLOOR JOISTS FALL ON 2' X 2' FRAMING LAYOUT GRID, U.O.N.
 5. ALL SUBCONTRACTORS MUST COMPLY W/ CALGREEN MANDATORY MEASURES ON SHEET A0.7
- PLAN KEY:**
- 2X6 OR WET WALL @ SECOND FLOOR



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 SEQUOIA GROVE

GH^A
GEOFFREY HOLTON & ASSOCIATES
 1743 Alcatraz Avenue
 Berkeley, CA 94703
 tel: 510.663.9797
 fax: 510.663.1807
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 GEOFFREY HOLTON
 No. 20896
 State of California
 Exp. 1.31.25

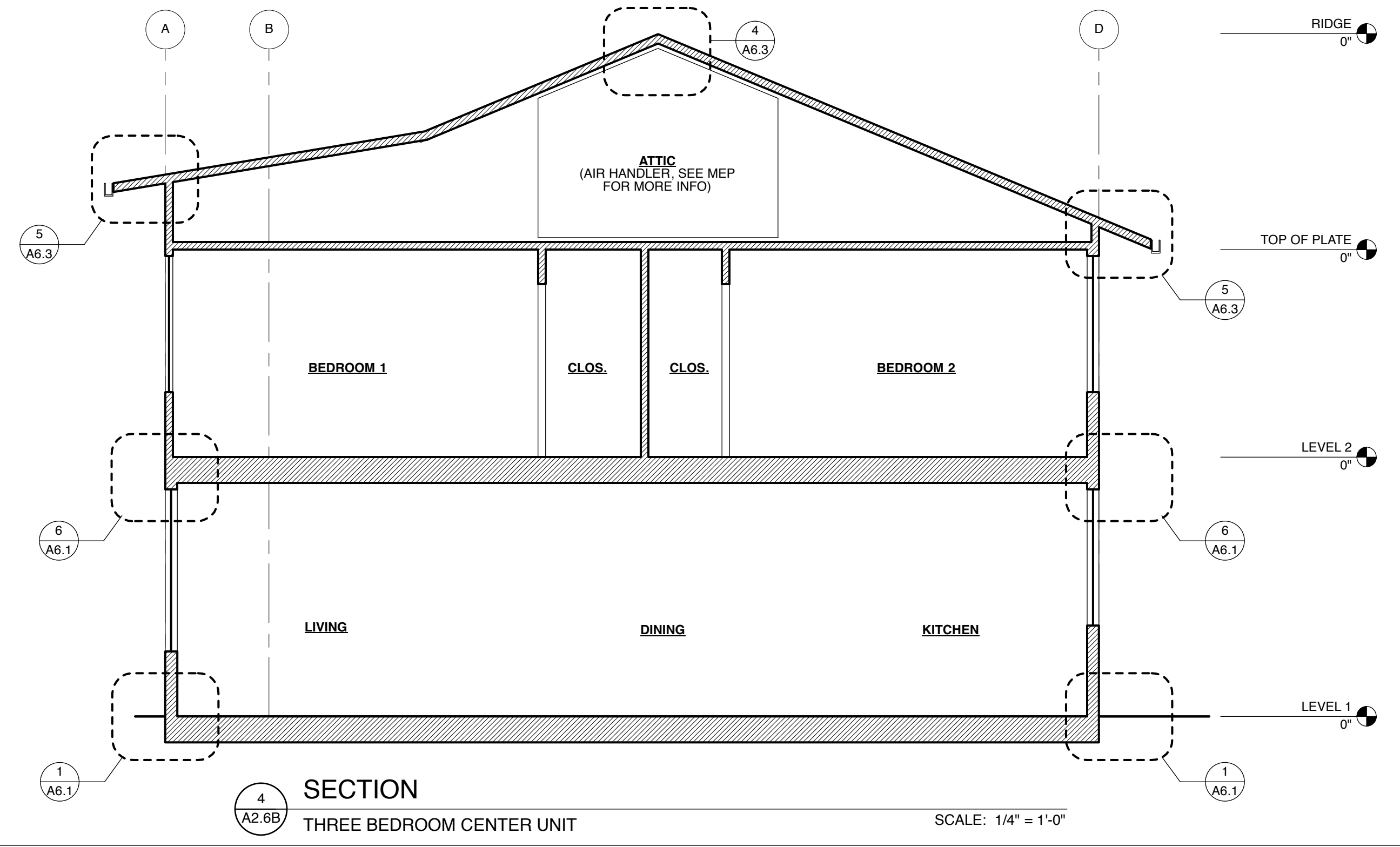
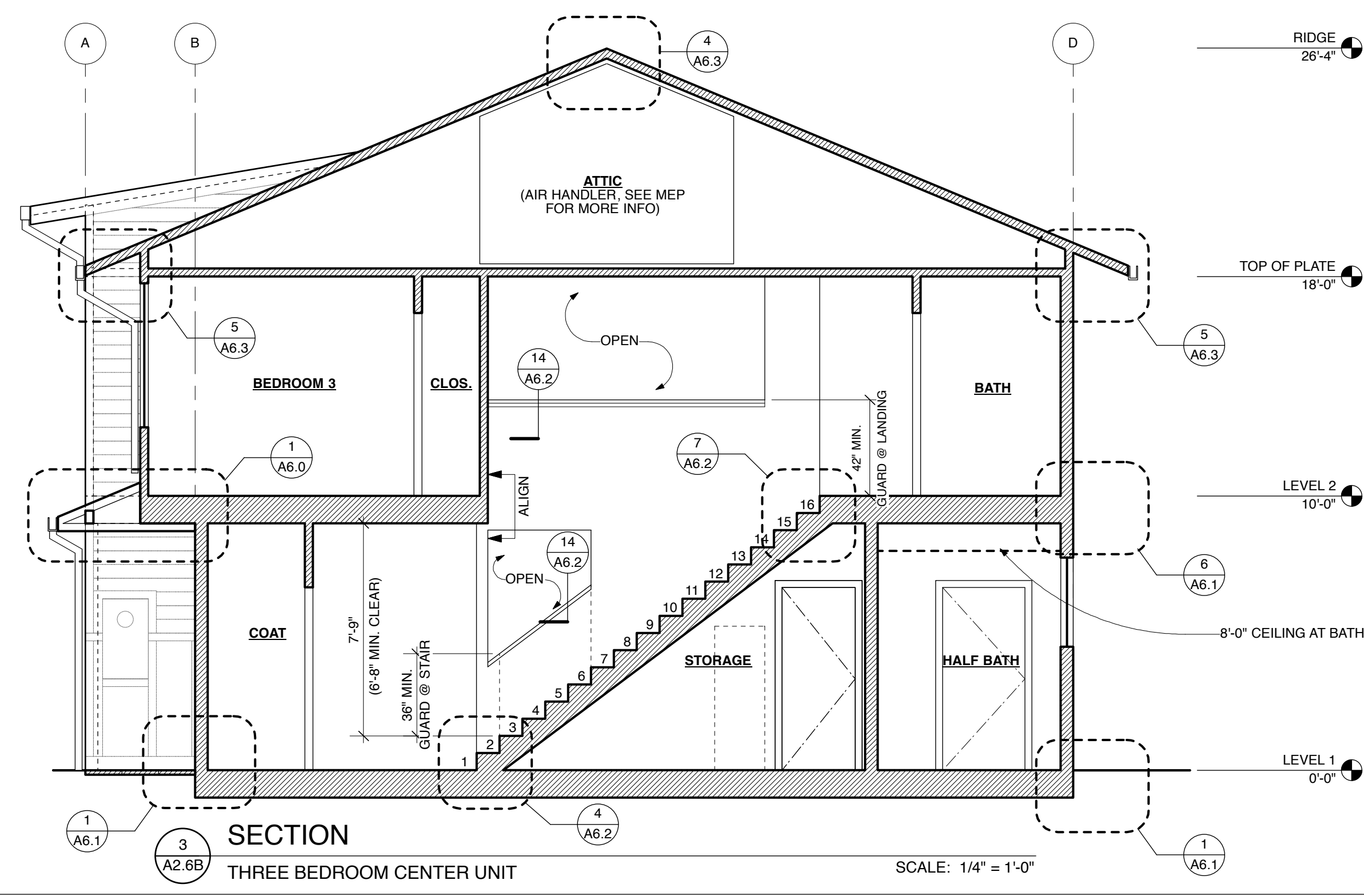
CURRENT ISSUE DATE
8.4.2023

INITIAL SUBMITTAL DATE
3.31.2023

REVISIONS

1	SPR/TTM RESUBMITTAL	6.7.2023
2	SPR/TTM RESUBMITTAL	8.4.2023

SHEET NO.
A2.6A
 3-BEDROOM OUTER UNIT PLANS

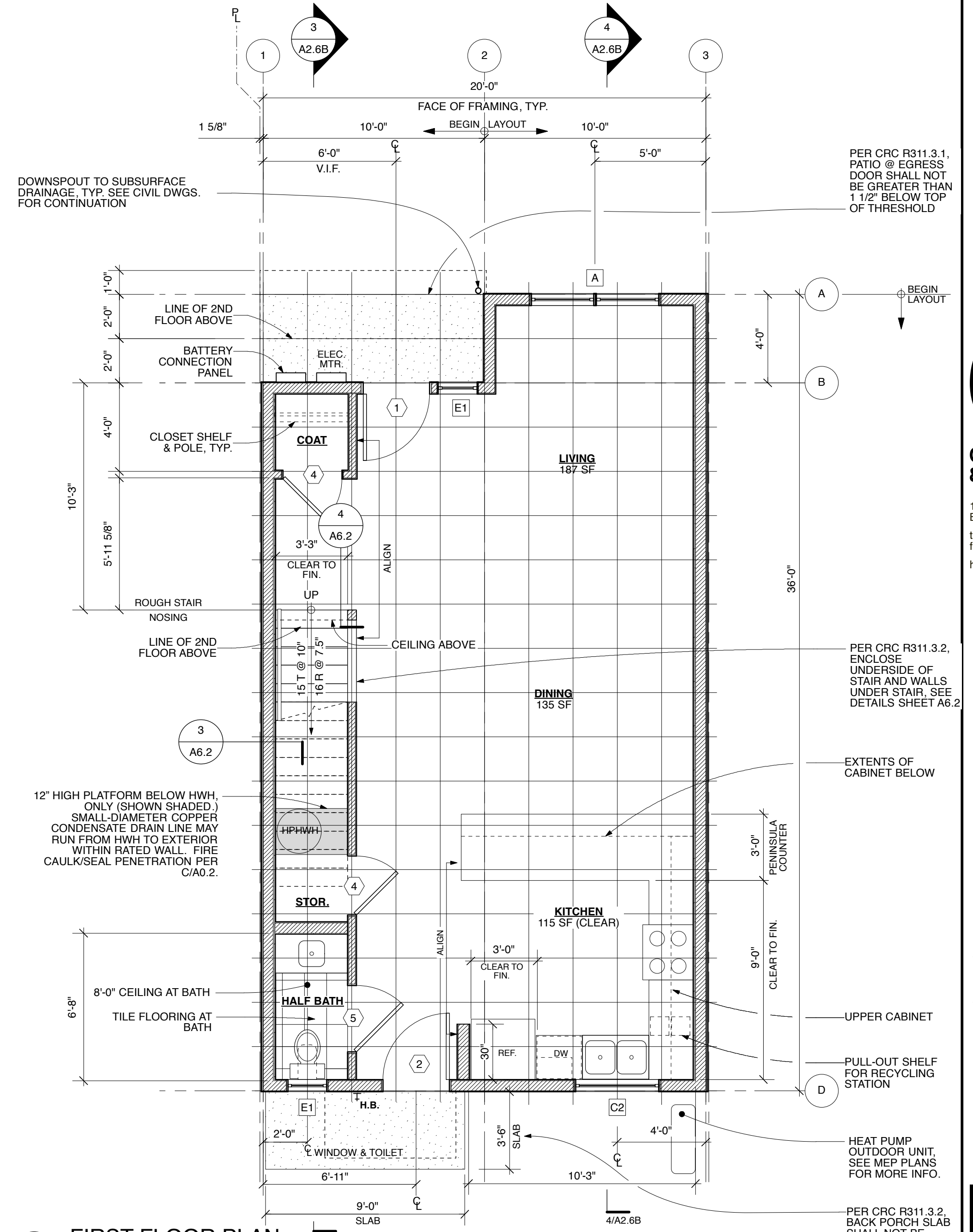
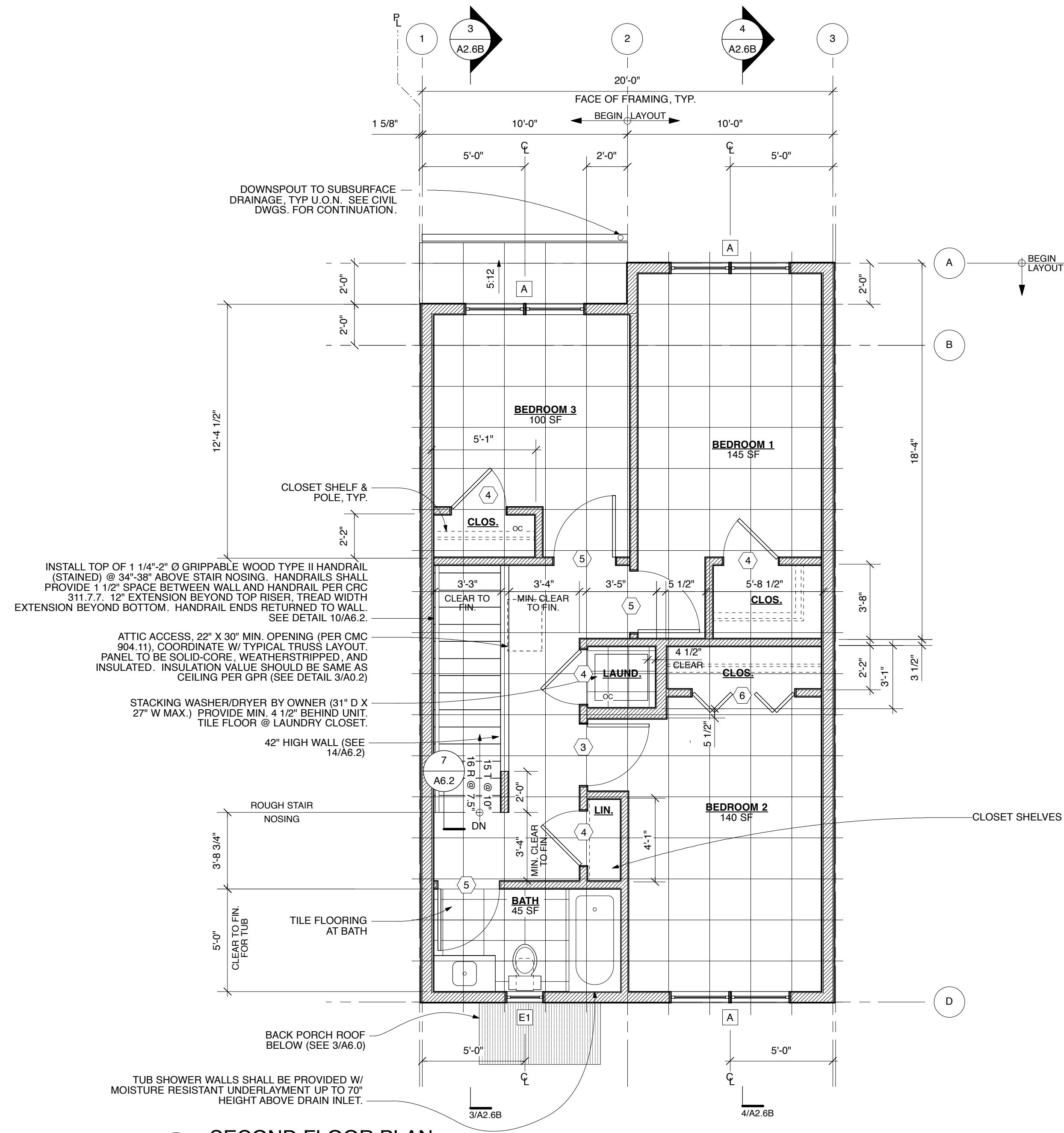


PLAN NOTES:

- ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED.
- SEE FINISH WINDOW & DOOR SCHEDULES ON SHEET A0.3.
- SEE A0.2 FOR WALL TYPES. SEE A2.1-A2.2 FOR WALL TYPE LOCATIONS.
- ALL ROOF TRUSSES, WALL STUDS, & FLOOR JOISTS FALL ON 2' X 2' FRAMING LAYOUT GRID, U.O.N.
- ALL SUBCONTRACTORS MUST COMPLY W/ CALGREEN MANDATORY MEASURES ON SHEET A0.7

PLAN KEY:

2X6 OR WET WALL @ SECOND FLOOR

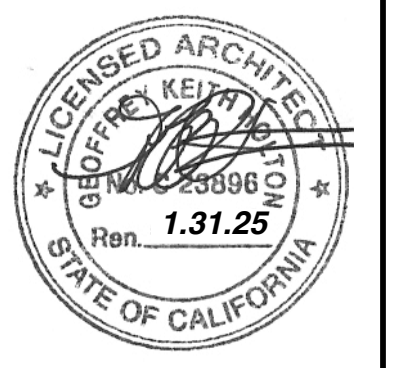


1 SECOND FLOOR PLAN
THREE BEDROOM CENTER UNITS 4 & 9
661 SF, SECOND FLOOR, GROSS FLOOR AREA

2 FIRST FLOOR PLAN
THREE BEDROOM CENTER UNITS 4 & 9
680 SF, FIRST FLOOR, GROSS FLOOR AREA

**HABITAT FOR HUMANITY
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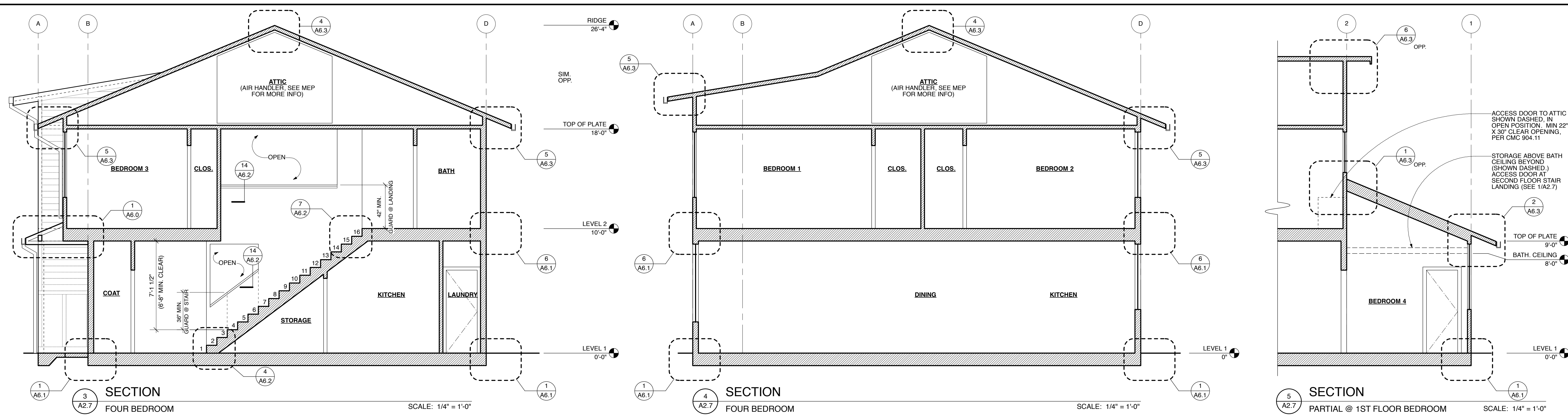
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REVISIONS

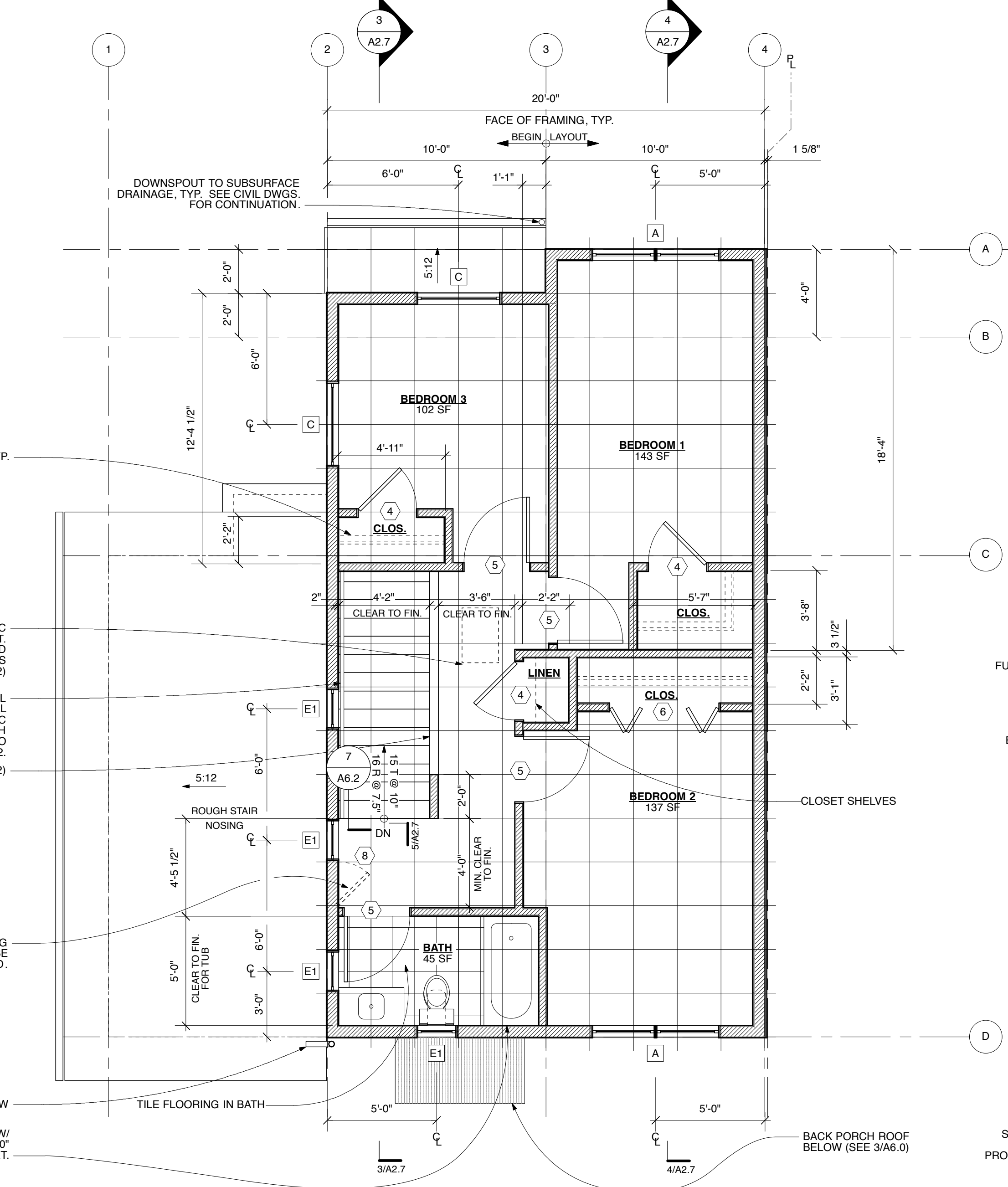
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2	SPR/TTM RESUBMITTAL 8.4.2023

SHEET NO.
A2.6B
3-BEDROOM CENTER UNIT PLANS

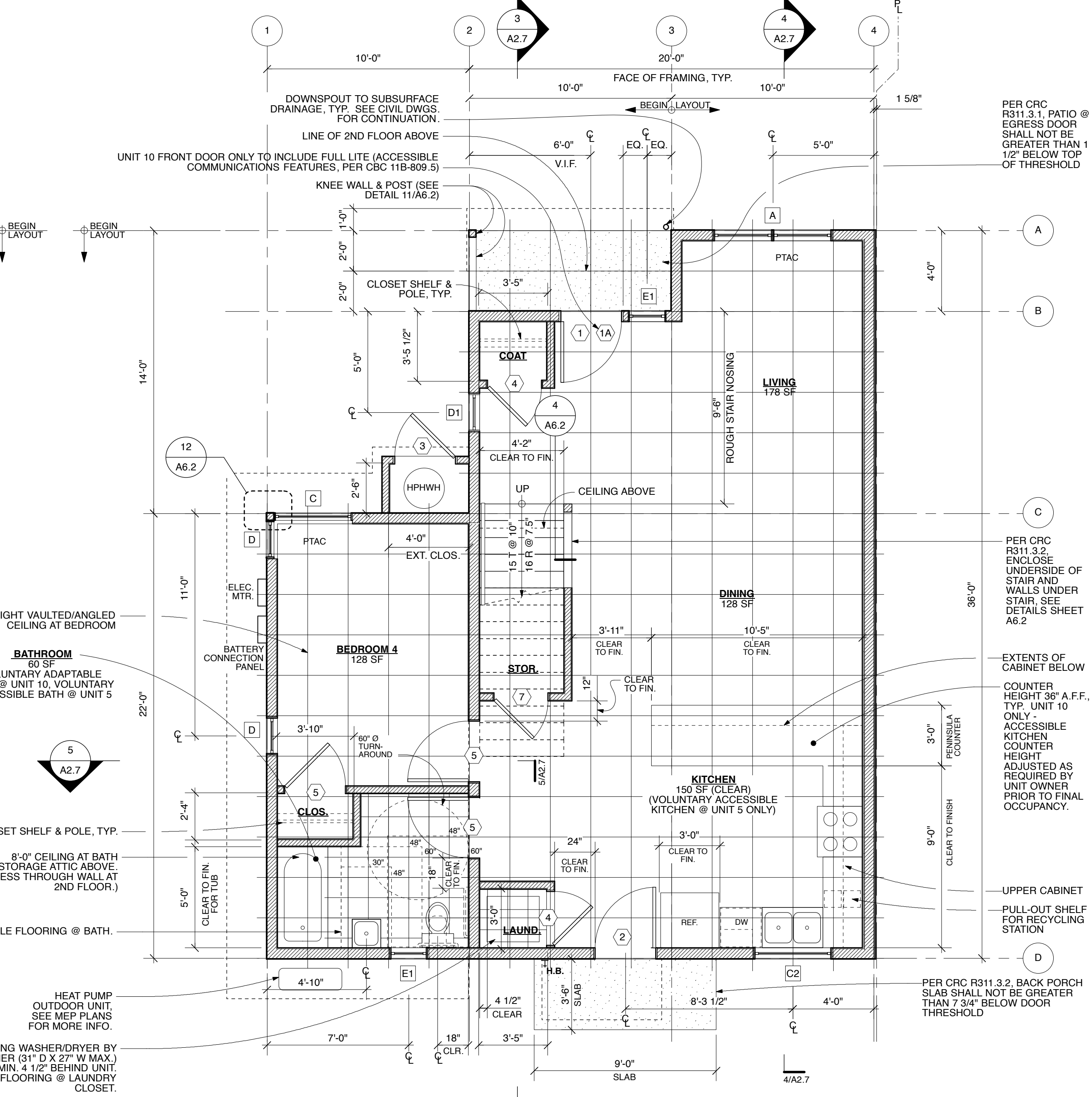


PLAN NOTES:
1. ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED.
2. SEE FINISH WINDOW & DOOR SCHEDULES ON SHEET A0.3.
3. SEE A0.2 FOR WALL TYPES. SEE A2.1-A2.2 FOR WALL TYPE LOCATIONS.
4. ALL ROOF TRUSSES, WALL STUDS, & FLOOR JOISTS FALL ON 2' X 2' FRAMING LAYOUT GRID, U.O.N.
5. ALL SUBCONTRACTORS MUST COMPLY W/ CALGREEN MANDATORY MEASURES ON SHEET A0.7

PLAN KEY:
2X6 OR WET WALL @ SECOND FLOOR



1 SECOND FLOOR PLAN
FOUR BEDROOM UNITS 5 & 10
653 SF, SECOND FLOOR, GROSS FLOOR AREA
SCALE: 1/4" = 1'-0"



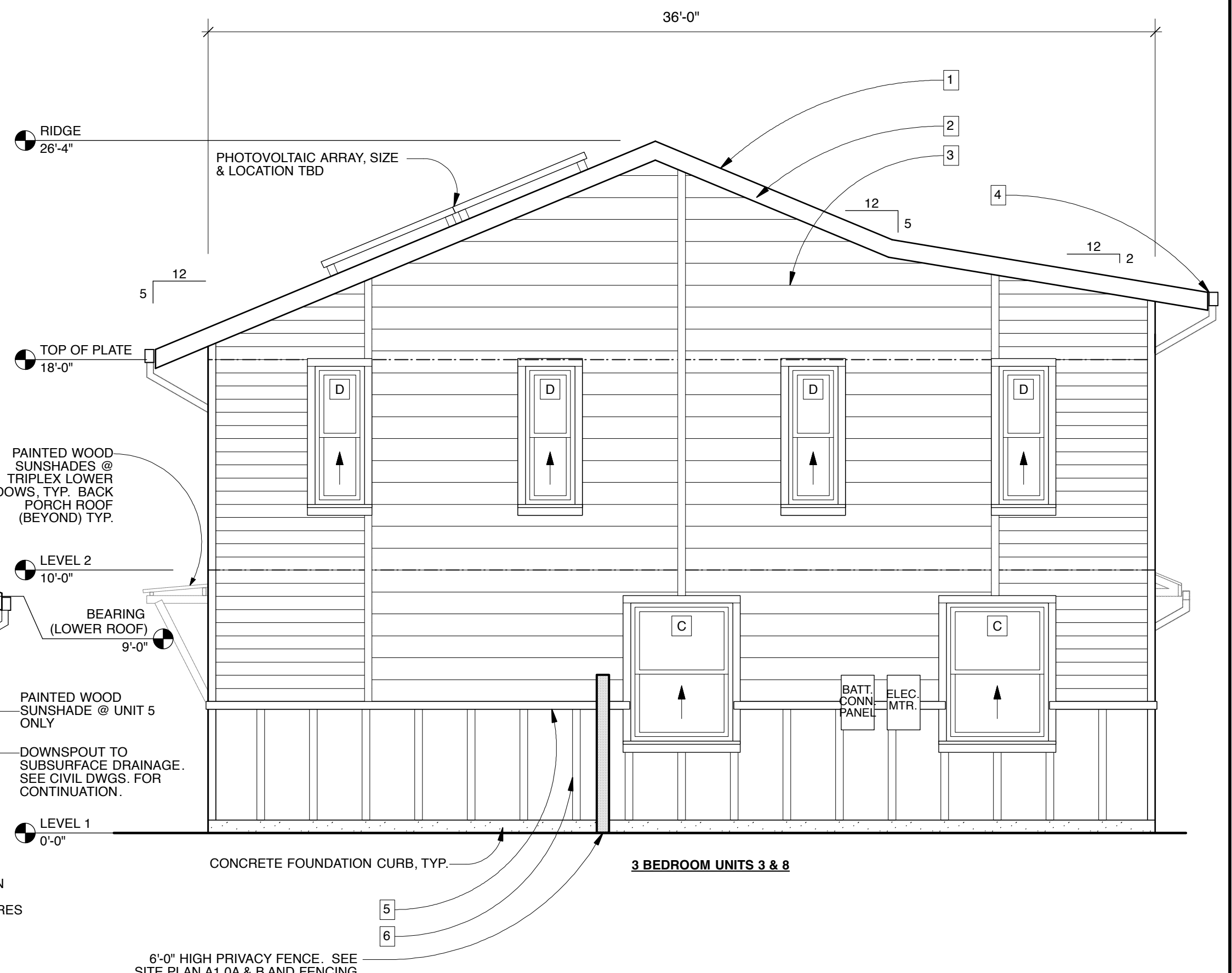
2 FIRST FLOOR PLAN
FOUR BEDROOM UNITS 5 & 10
900 SF, FIRST FLOOR, GROSS FLOOR AREA
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION - TOWNHOMES 3/4/5 & 8/9/10
A3.1

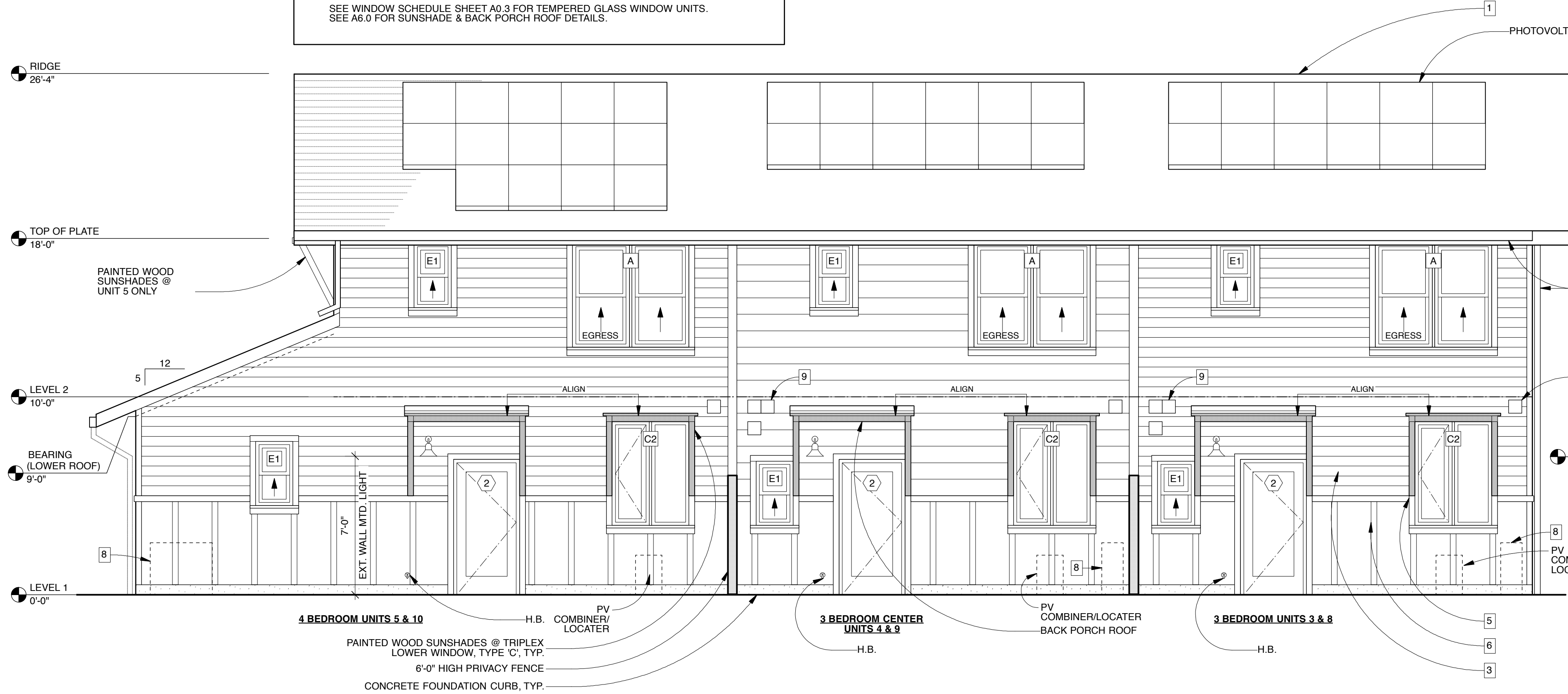
SCALE: 1/4" = 1'-0"

- SHEET NOTES:**
1. CLASS 'A' ASPHALT ROOF SHINGLES (40 YEAR)
 2. PAINTED WOOD FASCIA
 3. PAINTED FIBERCEMENT HORIZONTAL SIDING, 'SMOOTH' - (2) DIFFERENT WIDTHS: 6" & 10"
 4. 3" Ø ROUND DOWNSPOUT & 4"x6" FASCIA GUTTER (BONDERIZED METAL, NO OGEE), TYP. U.O.N. 6"x8" GUTTER & 4" Ø D.S. @ PORCH ROOF (ONLY)
 5. 2x4 TRIM, PAINTED
 6. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4x8' FIBERCEMENT PANEL WAINSCOTT, PAINTED. SEE DETAIL 3/A6.1 FOR MORE INFO.
 7. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4x8' FIBER CEMENT PANELING, PAINTED. HEAT PUMP OUTDOOR UNIT. SEE MEP PLANS FOR MORE INFO.
 8. ELECTRIC HEAT PUMP WATER HEATER VENT, DRYER VENT, OR BATH FAN VENT (36" MIN. CLEAR TO OPENING). SEE MEP DRAWINGS FOR MORE INFO.
 9. SEE WINDOW SCHEDULE SHEET A0.3 FOR TEMPERED GLASS WINDOW UNITS. SEE A6.0 FOR SUNSHADE & BACK PORCH ROOF DETAILS.



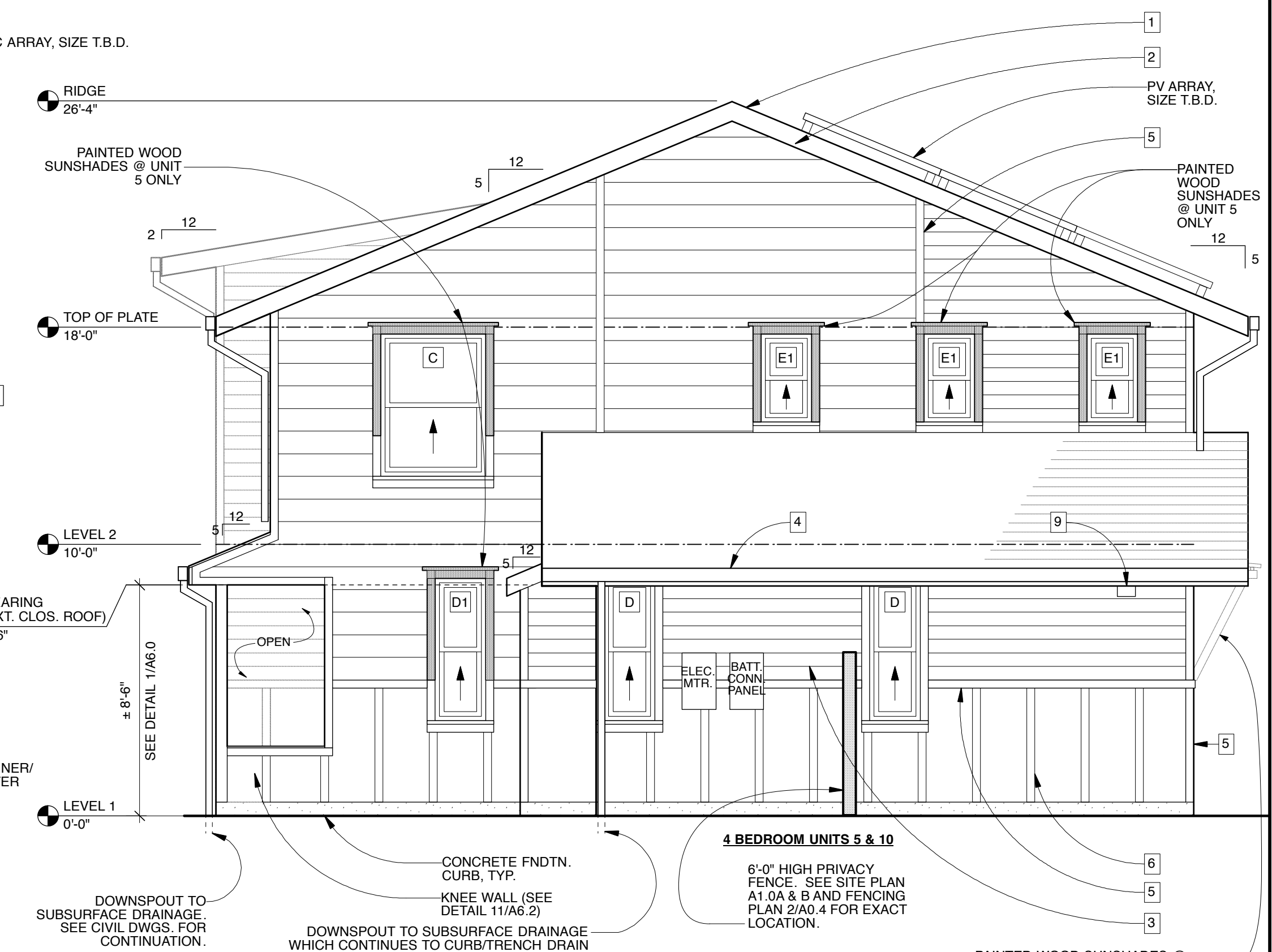
2 EAST ELEVATION - UNITS 3 & 8
A3.1

SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION - TOWNHOMES 3/4/5 & 8/9/10
A3.1

SCALE: 1/4" = 1'-0"



4 WEST ELEVATION - UNITS 5 & 10
A3.1

SCALE: 1/4" = 1'-0"

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1743 Alcatraz Avenue
Berkeley, CA 94703
tel: 510.663.9797
fax: 510.663.1807
http://www.ghadesign.net



CURRENT ISSUE DATE
8.4.2023

INITIAL SUBMITTAL DATE
6.7.2023

REVISIONS

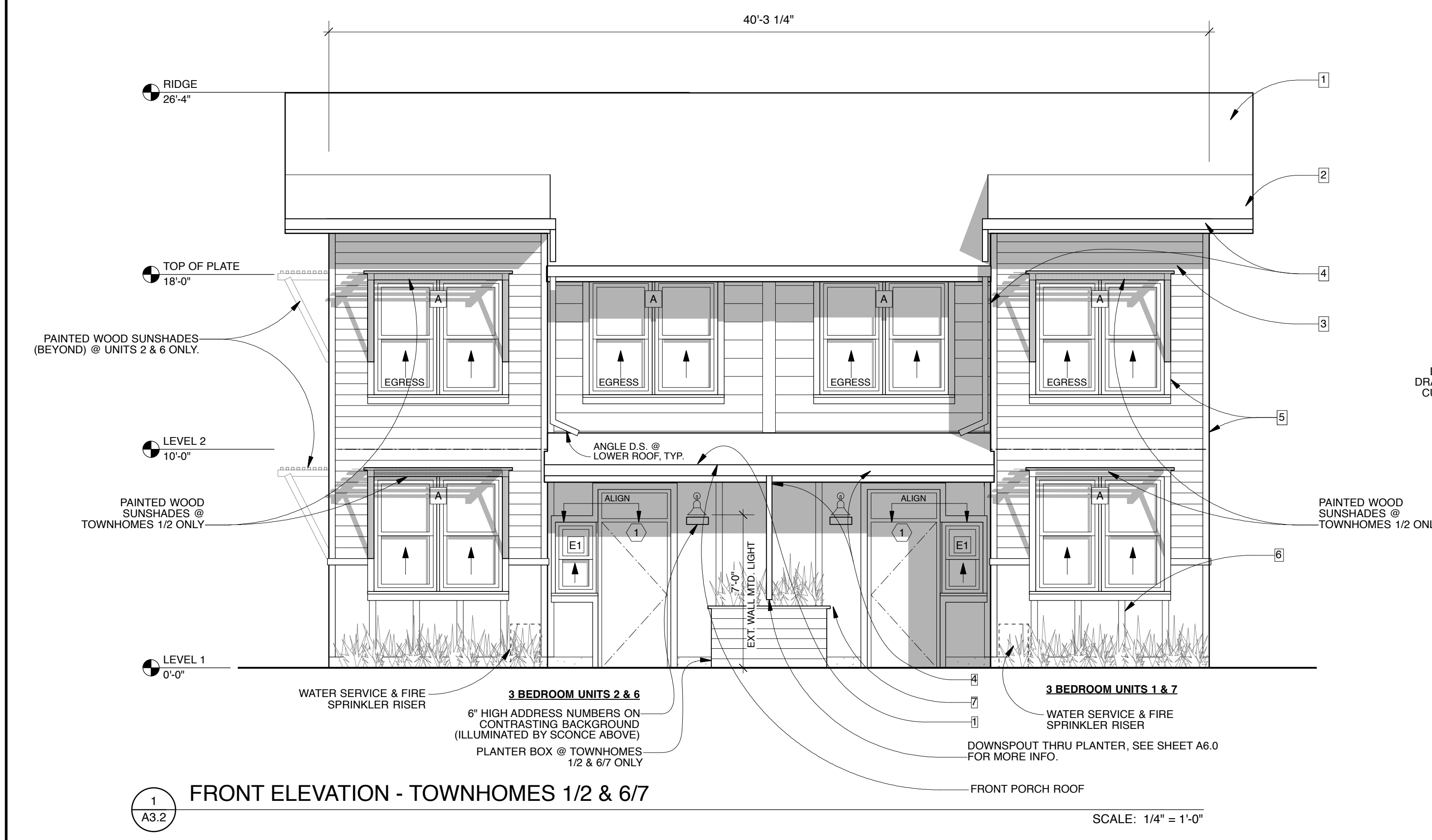
1	SPR/TTM RESUBMITTAL	6.7.2023
2	SPR/TTM RESUBMITTAL	8.4.2023



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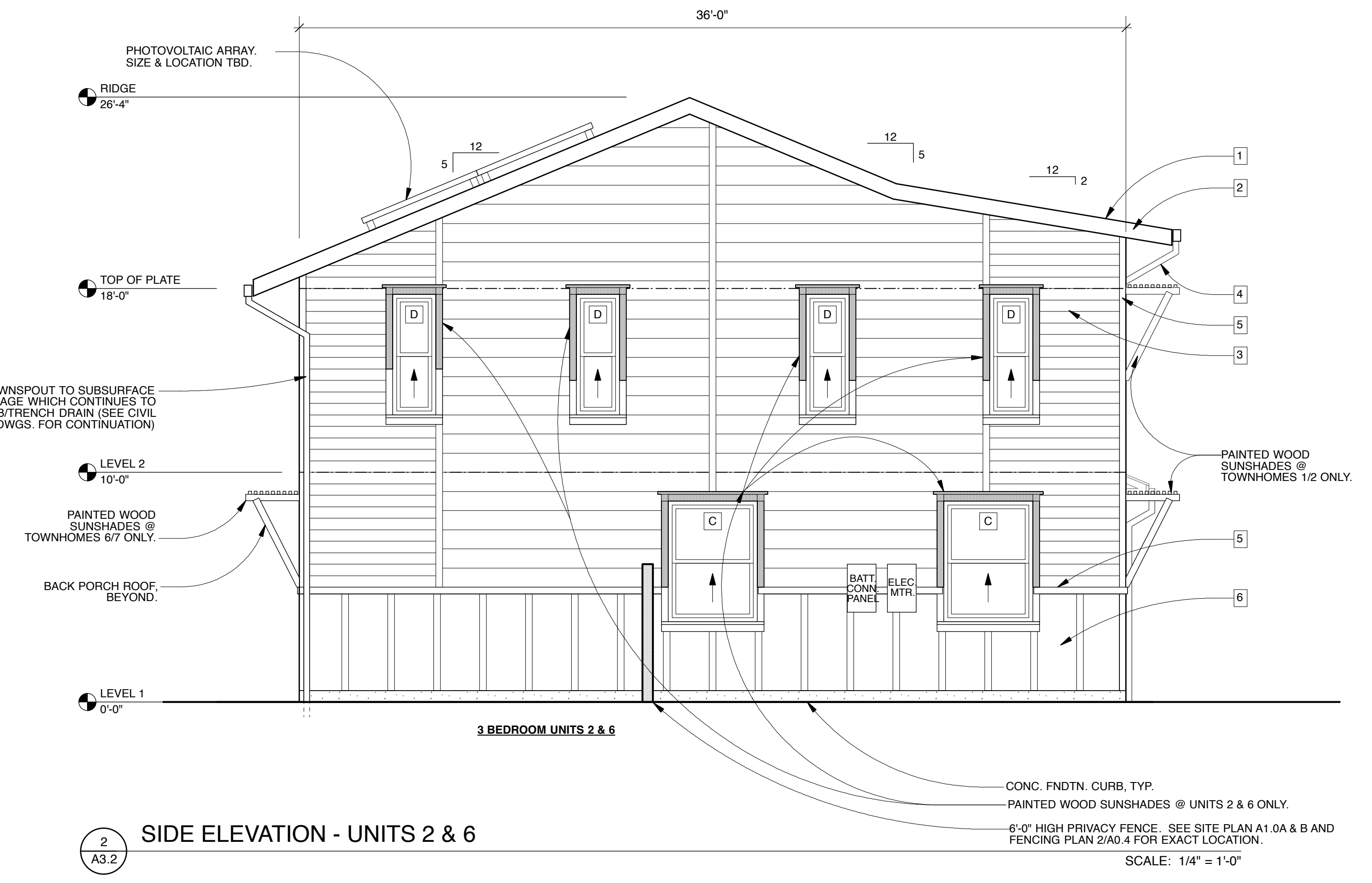


CURRENT ISSUE DATE
8.4.2023
INITIAL SUBMITTAL DATE
6.7.2023
REVISIONS
1 SPR/TTM RESUBMITTAL 6.7.2023
2 SPR/TTM RESUBMITTAL 8.4.2023



1 FRONT ELEVATION - TOWNHOMES 1/2 & 6/7

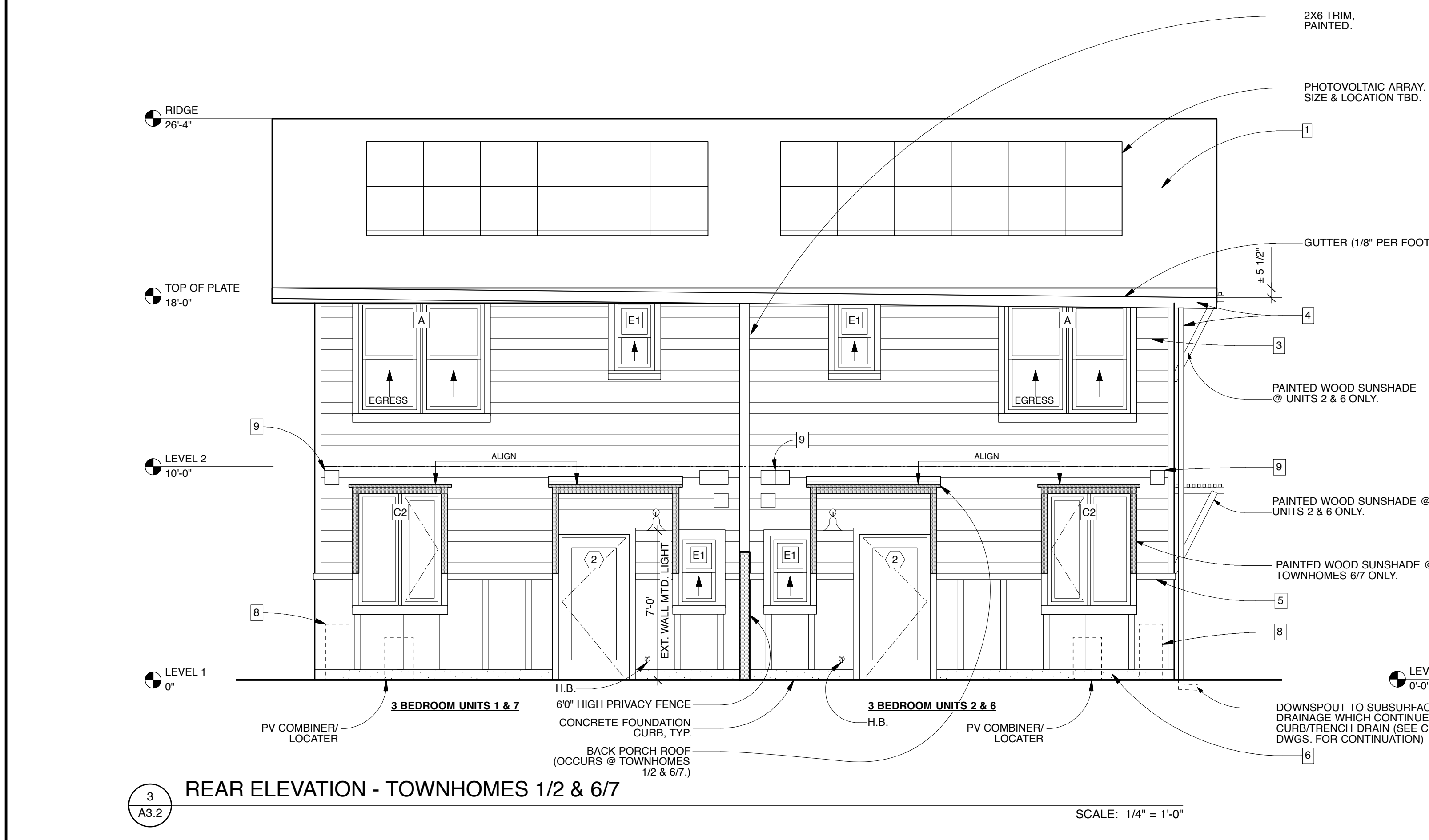
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION - UNITS 2 & 6

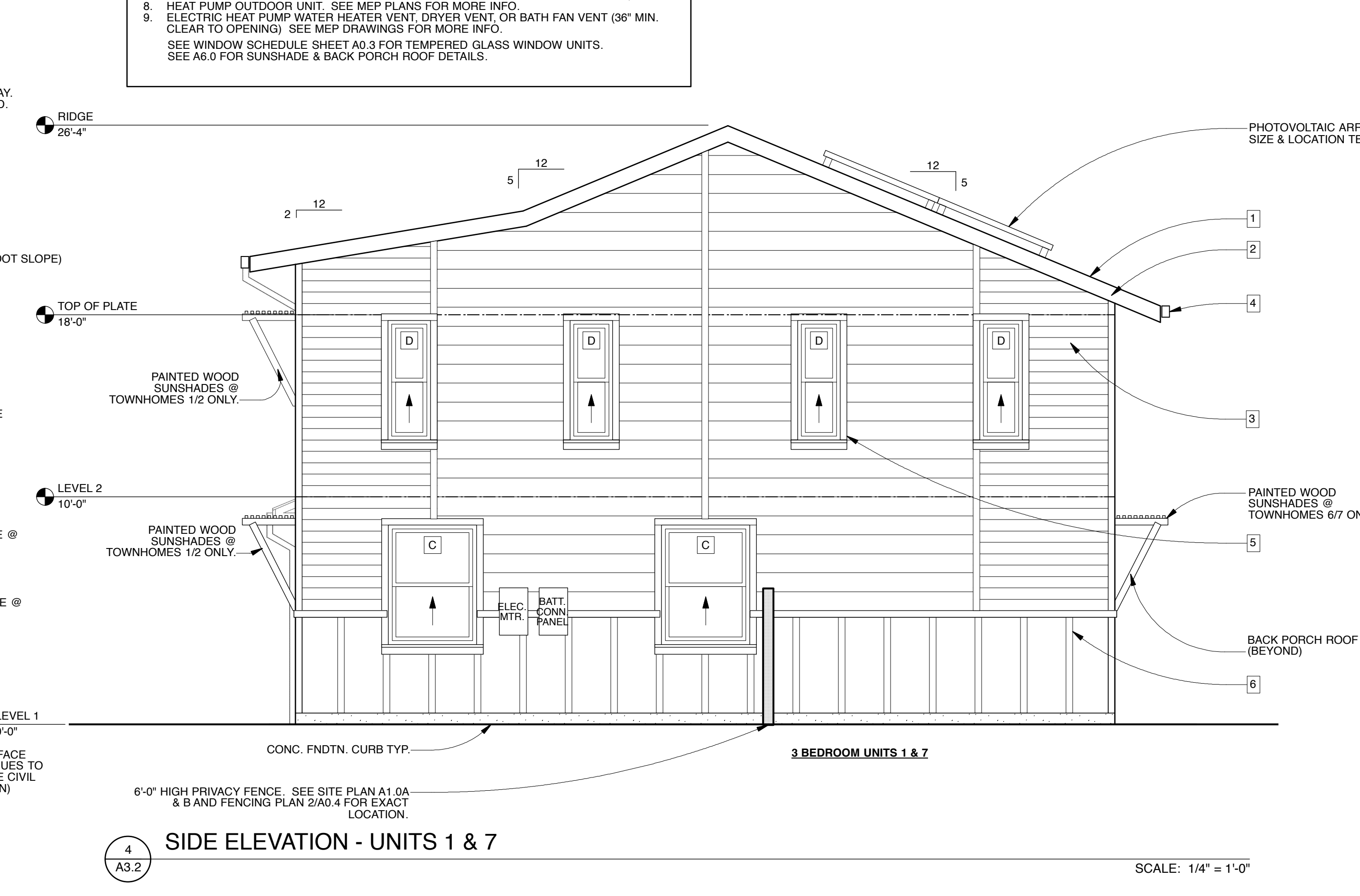
SCALE: 1/4" = 1'-0"

SHEET NOTES:
1. CLASS 'A' ASPHALT ROOF SHINGLES (40 YEAR)
2. PAINTED WOOD FASCIA
3. PAINTED FIBERCEMENT HORIZONTAL SIDING, 'SMOOTH' - (2) DIFFERENT WIDTHS: 6" & 10"
4. 3" O' ROUND DOWNSPOUT & 4"x6" FASCIA GUTTER (BONDERIZED METAL, NO OGEE), TYP. U.O.N. 6"x8" GUTTER & 4" O.D.S. @ PORCH ROOF (ONLY)
5. 2x4 TRIM, PAINTED
6. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4x8' FIBERCEMENT PANEL WAINSCOTT, PAINTED. SEE DETAIL 3/A5.1 FOR MORE INFO.
7. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4x8' FIBER CEMENT PANELING, PAINTED.
8. HEAT PUMP OUTDOOR UNIT. SEE MEP PLANS FOR MORE INFO.
9. ELECTRIC HEAT PUMP WATER HEATER VENT, DRYER VENT, OR BATH FAN VENT (36" MIN. CLEAR TO OPENING) SEE MEP DRAWINGS FOR MORE INFO.
SEE WINDOW SCHEDULE SHEET A0.3 FOR TEMPERED GLASS WINDOW UNITS.
SEE A6.0 FOR SUNSHADE & BACK PORCH ROOF DETAILS.



3 REAR ELEVATION - TOWNHOMES 1/2 & 6/7

SCALE: 1/4" = 1'-0"



4 SIDE ELEVATION - UNITS 1 & 7

SCALE: 1/4" = 1'-0"



1
A3.3

INTERIOR STREET ELEVATION - LOOKING SOUTH

SCALE: 3/16" = 1'-0"



2
A3.3

INTERIOR STREET ELEVATION - LOOKING SOUTH

SCALE: 3/16" = 1'-0"



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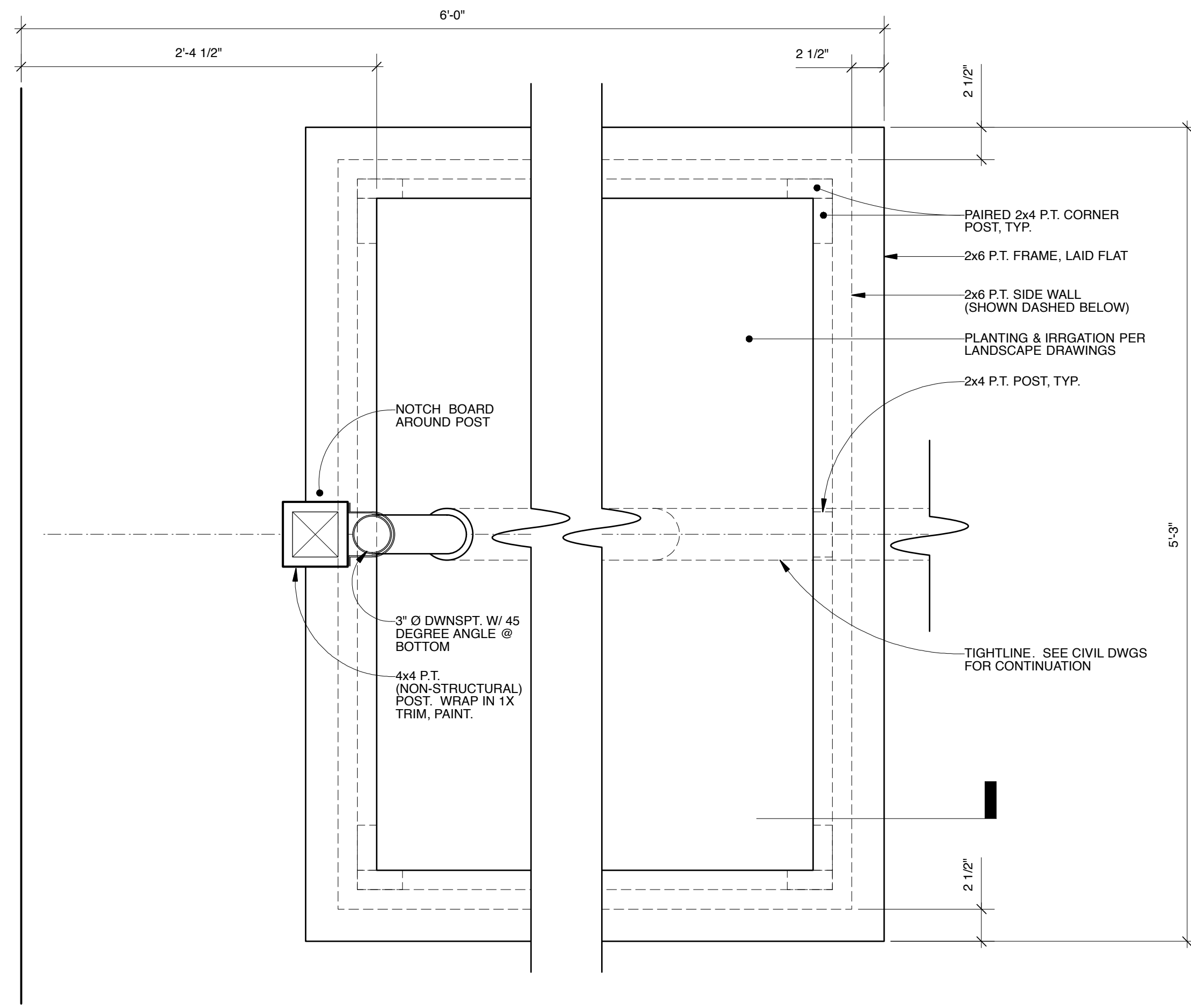
CURRENT ISSUE DATE
8.4.2023

INITIAL SUBMITTAL DATE
6.7.2023

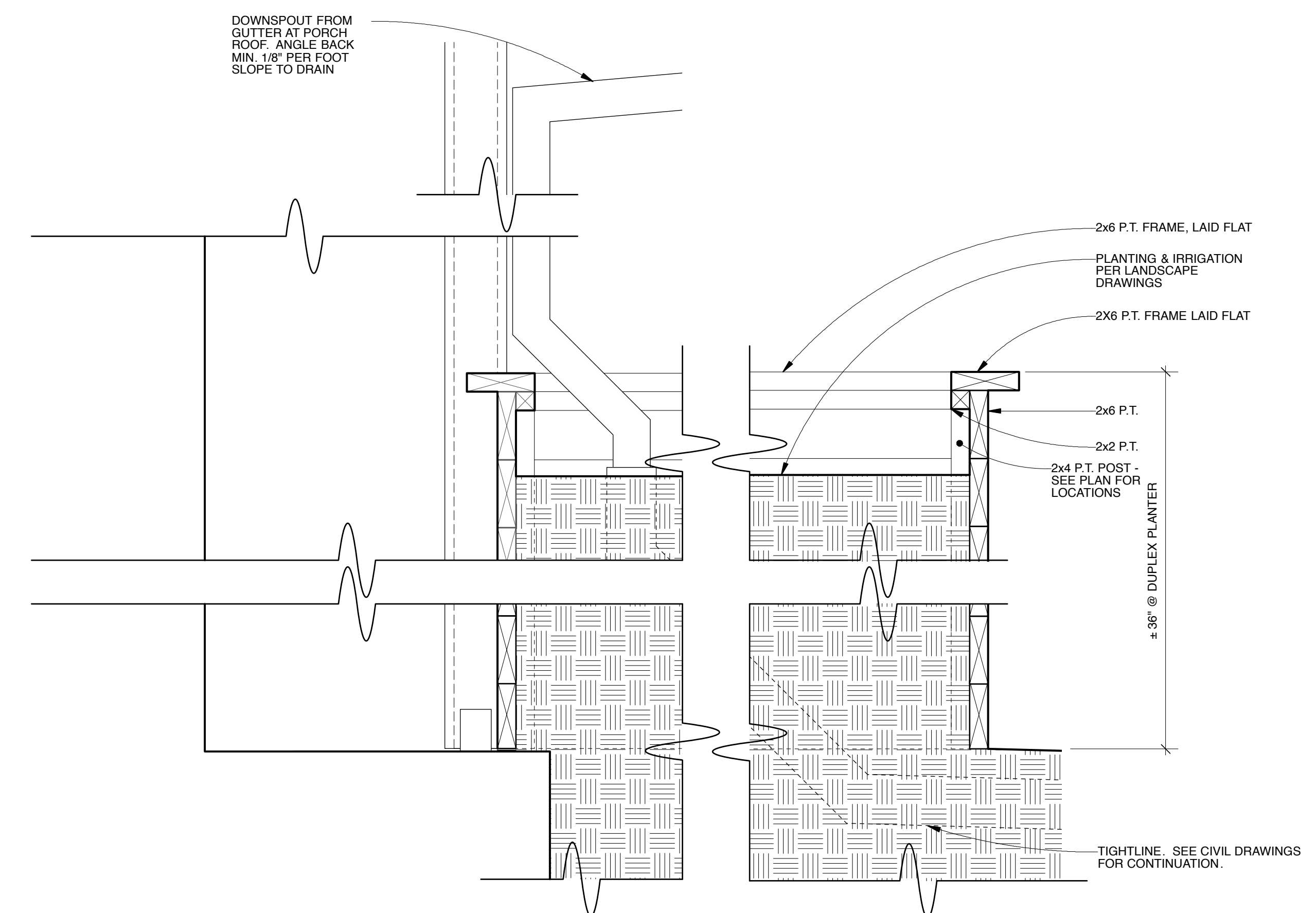
REVISIONS
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2 SPR/ITM RESUBMITTAL 8.4.2023

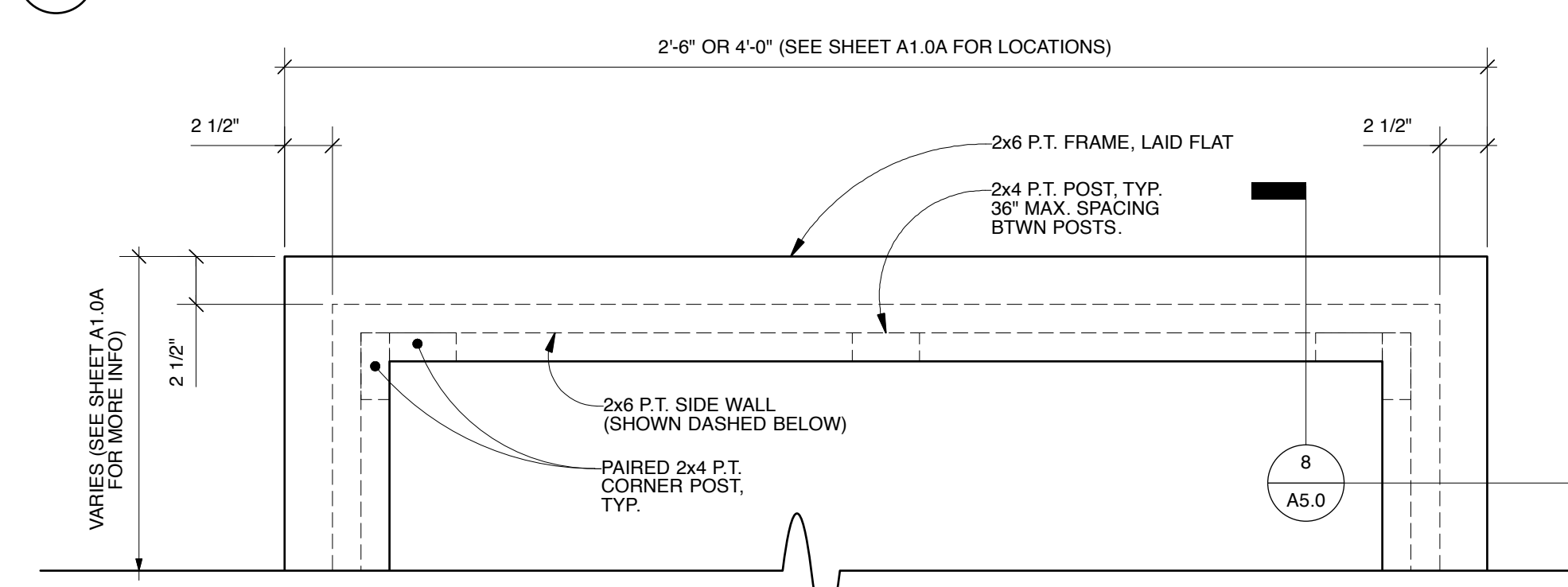
**HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.**



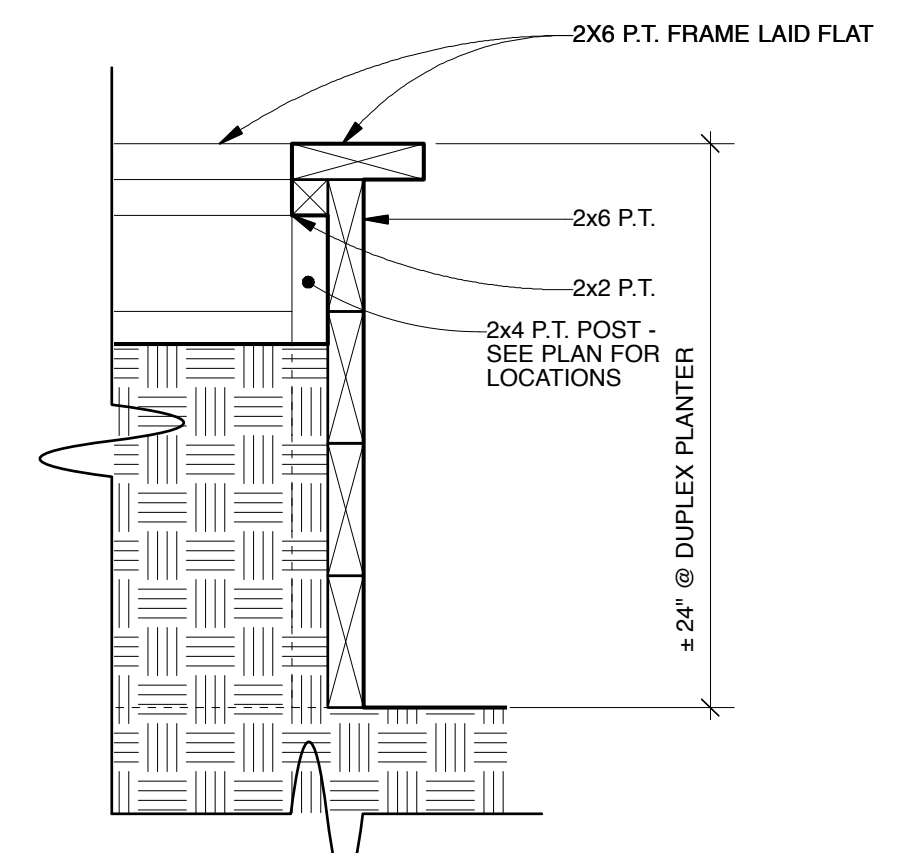
5
A5.0
DETAIL PLAN @ DUPLEX PLANTER BOX
SCALE: 1 1/2" = 1'-0"



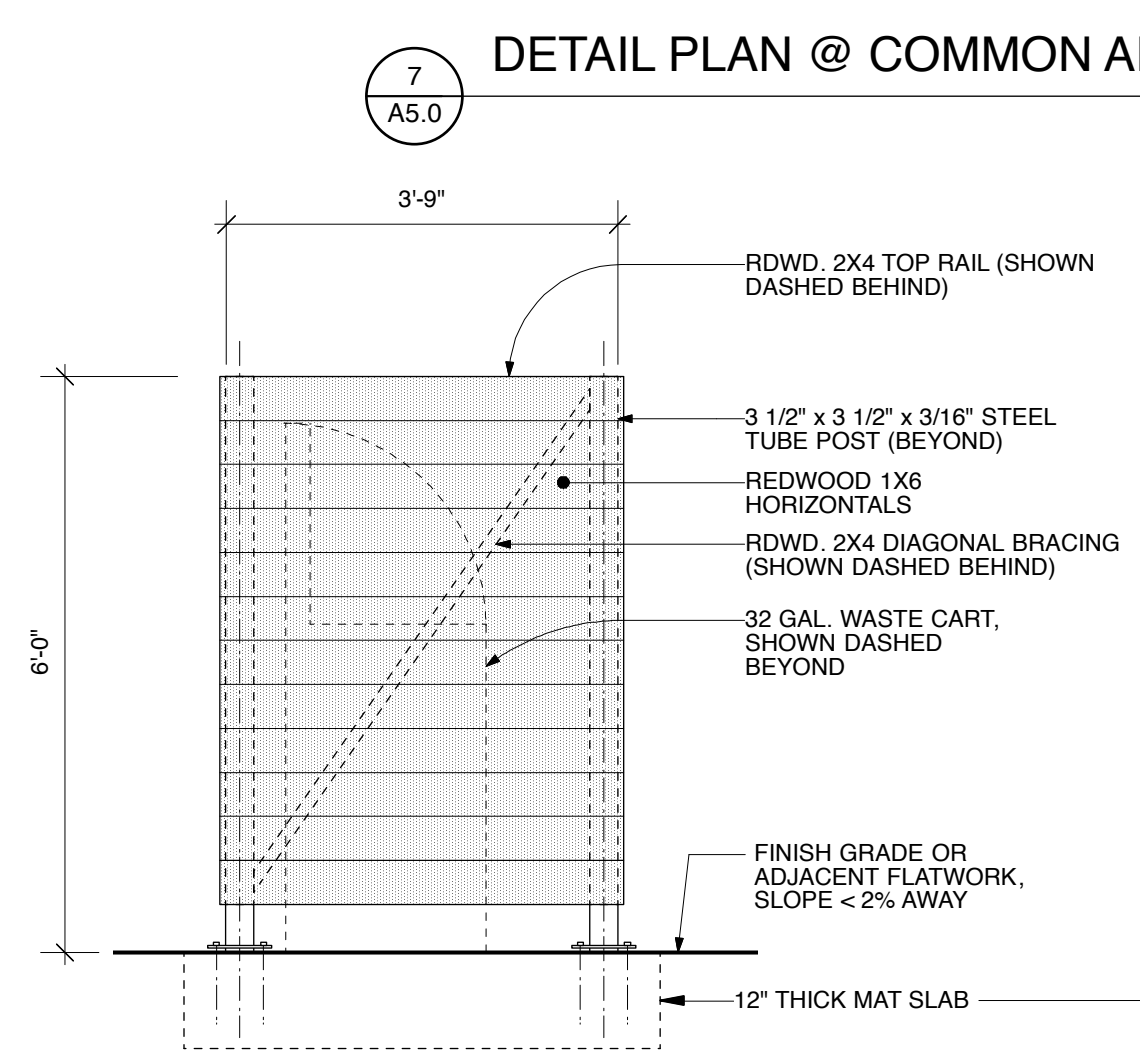
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A5.0
SECTION DETAIL @ DUPLEX PLANTER BOX
SCALE: 1 1/2" = 1'-0"



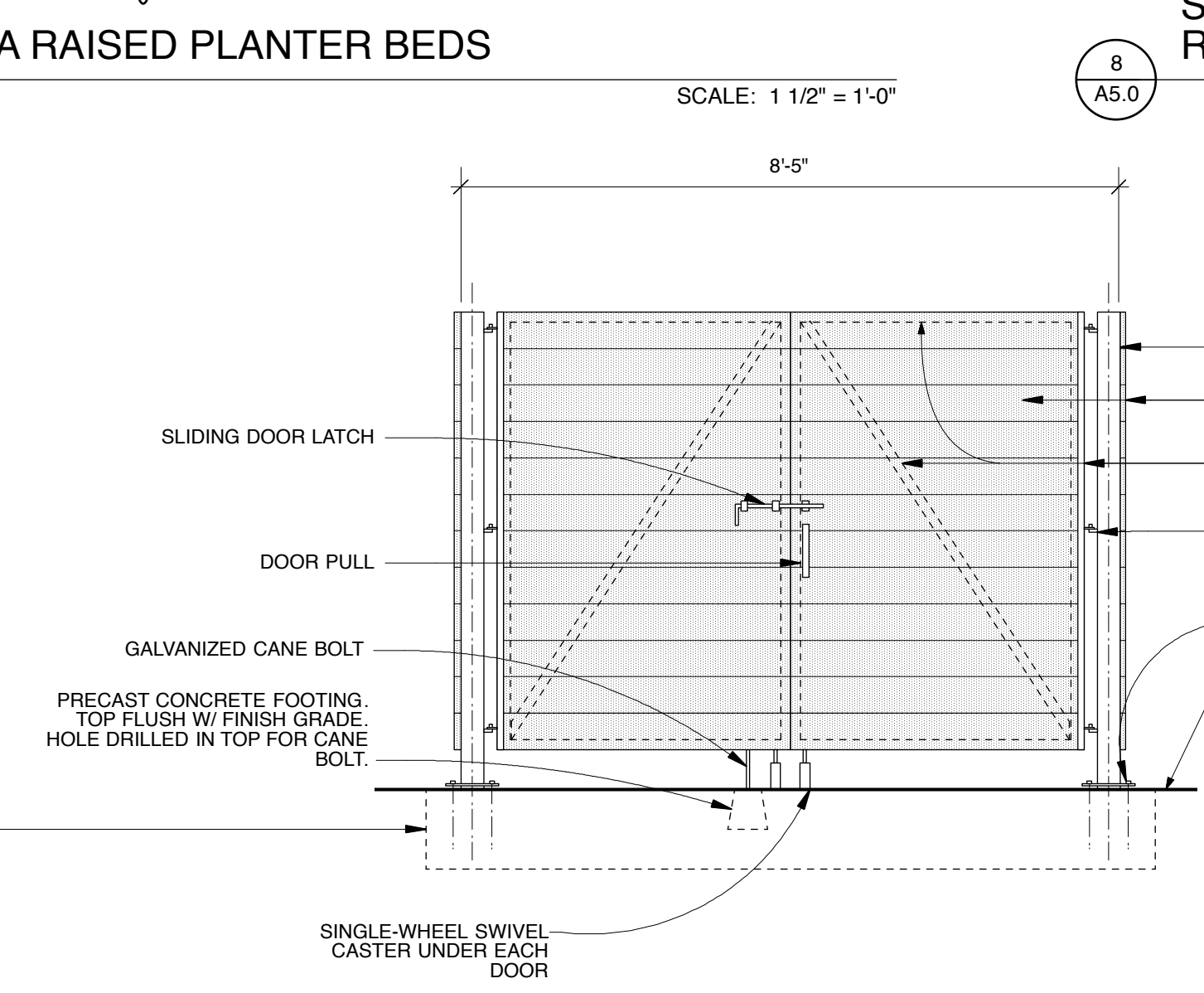
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A5.0
DETAIL PLAN @ COMMON AREA RAISED PLANTER BEDS
SCALE: 1 1/2" = 1'-0"



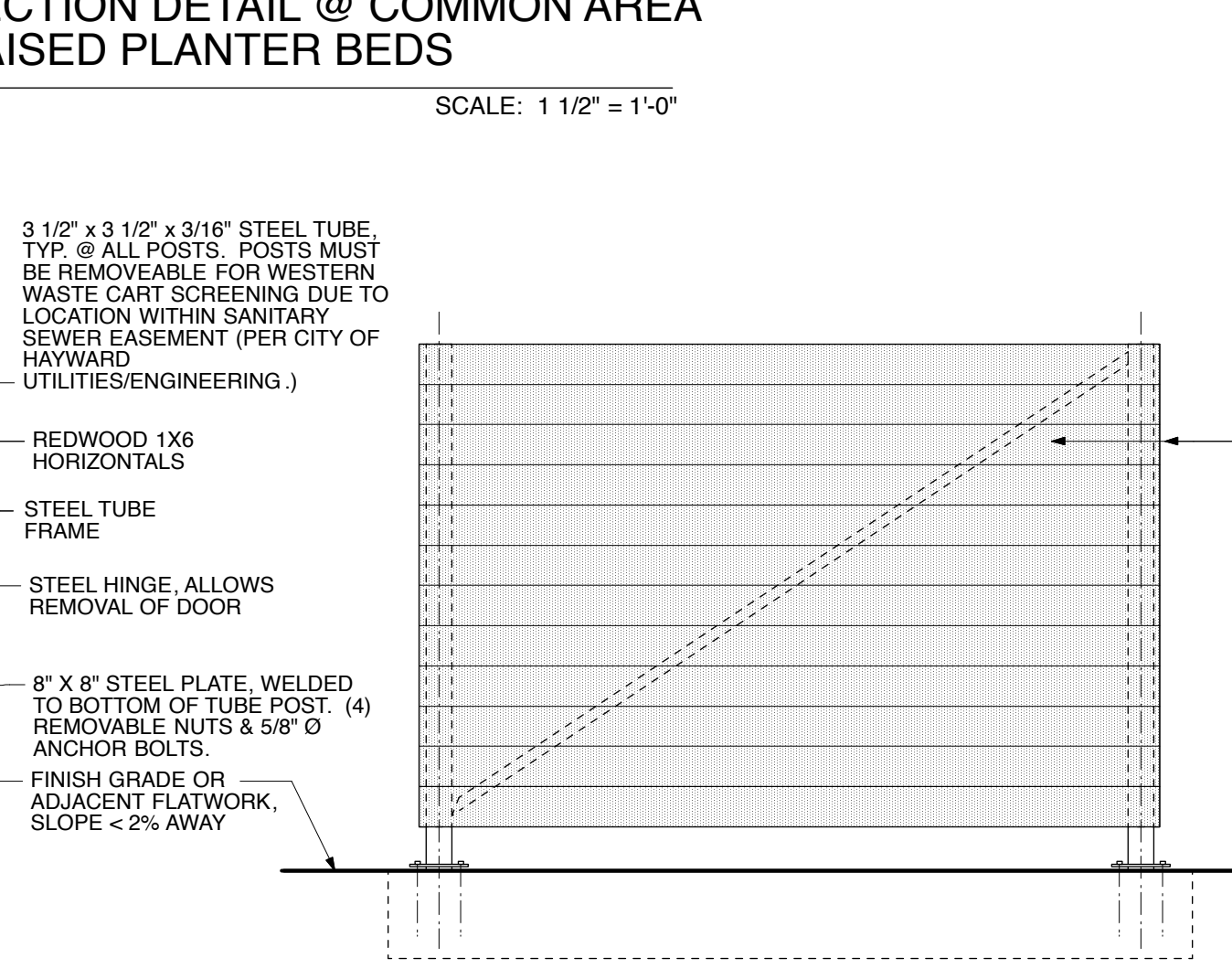
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A5.0
SECTION DETAIL @ COMMON AREA RAISED PLANTER BEDS
SCALE: 1 1/2" = 1'-0"



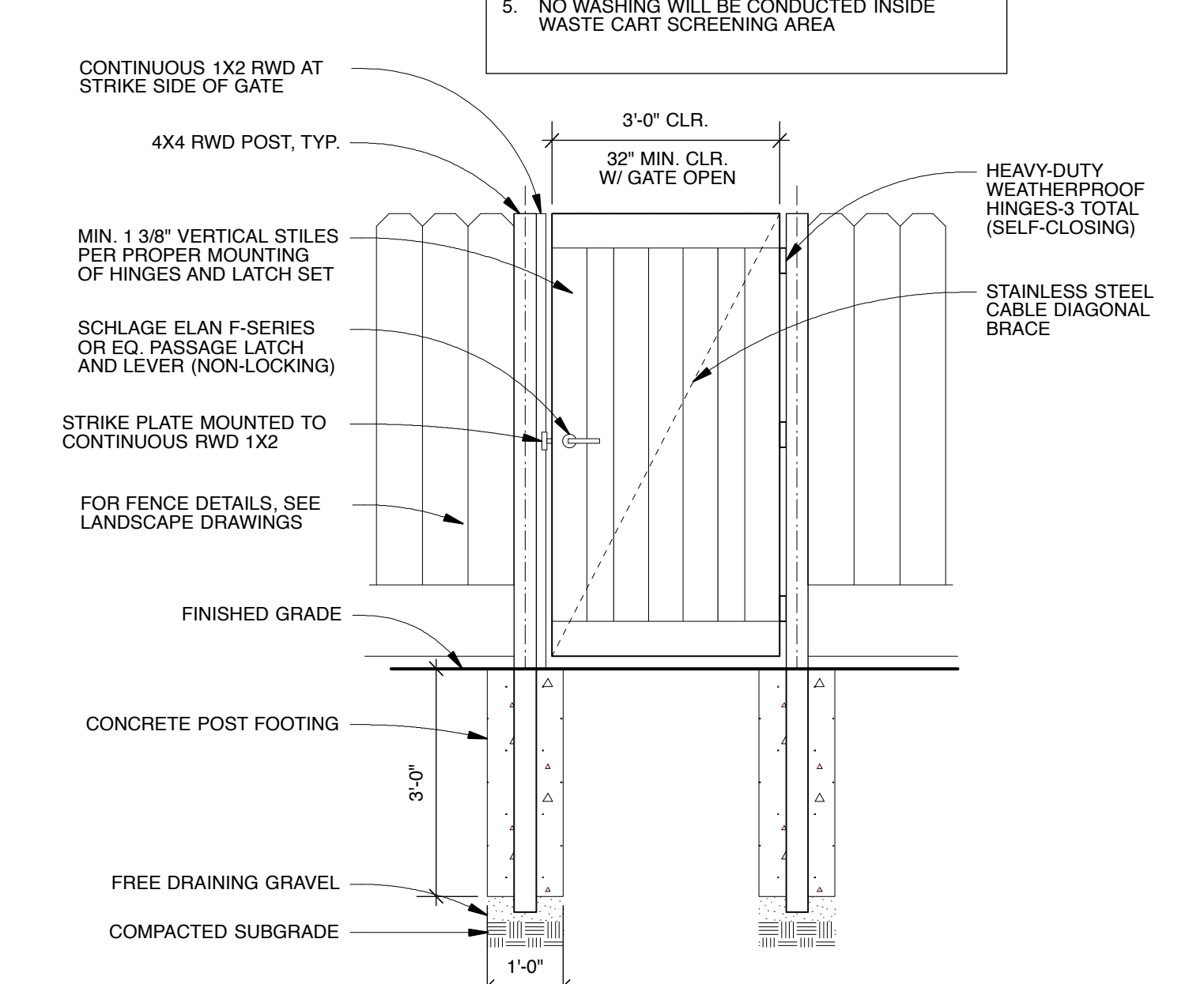
1
A5.0
TYPICAL WASTE CART SCREENING - SIDE ELEVATION
SCALE: 1/2" = 1'-0"



2
A5.0
TYPICAL WASTE CART SCREENING - FRONT ELEVATION
SCALE: 1/2" = 1'-0"



3
A5.0
TYPICAL WASTE CART SCREENING - REAR ELEVATION
SCALE: 1/2" = 1'-0"



4
A5.0
EMERGENCY EGRESS GATE - ELEVATION @ REAR YARDS
SCALE: 1/2" = 1'-0"

- NOTES:**
- EMERGENCY EGRESS GATE TO OPEN IN THE DIRECTION OF EGRESS, TRAVEL, TYP.
 - EMERGENCY EGRESS GATE TO COMPLY WITH SECTION R311.2 OF THE 2022 CRC
 - ALL STEEL TO BE HOT-DIP GALVANIZED
 - WASTE CART SCREENING GATES SHALL OPEN TO A MIN. OF 90 DEGREES TO ALLOW WASTE CARTS TO BE PULLED STRAIGHT OUT.
 - NO WASHING WILL BE CONDUCTED INSIDE WASTE CART SCREENING AREA

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GEOFFREY HOLTON & ASSOCIATES
1743 Alcatraz Avenue
Berkeley, CA 94703
tel: 510.663.9797
fax: 510.663.1807
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LICENSED ARCHITECT
No. 23696
REB. 1.31.25
STATE OF CALIFORNIA

CURRENT ISSUE DATE
8.5.2023
INITIAL SUBMITTAL DATE
6.7.2023
REVISIONS
1 SPR/TTM RESUBMITTAL 6.7.2023
2 SPR/TTM RESUBMITTAL 8.4.2023

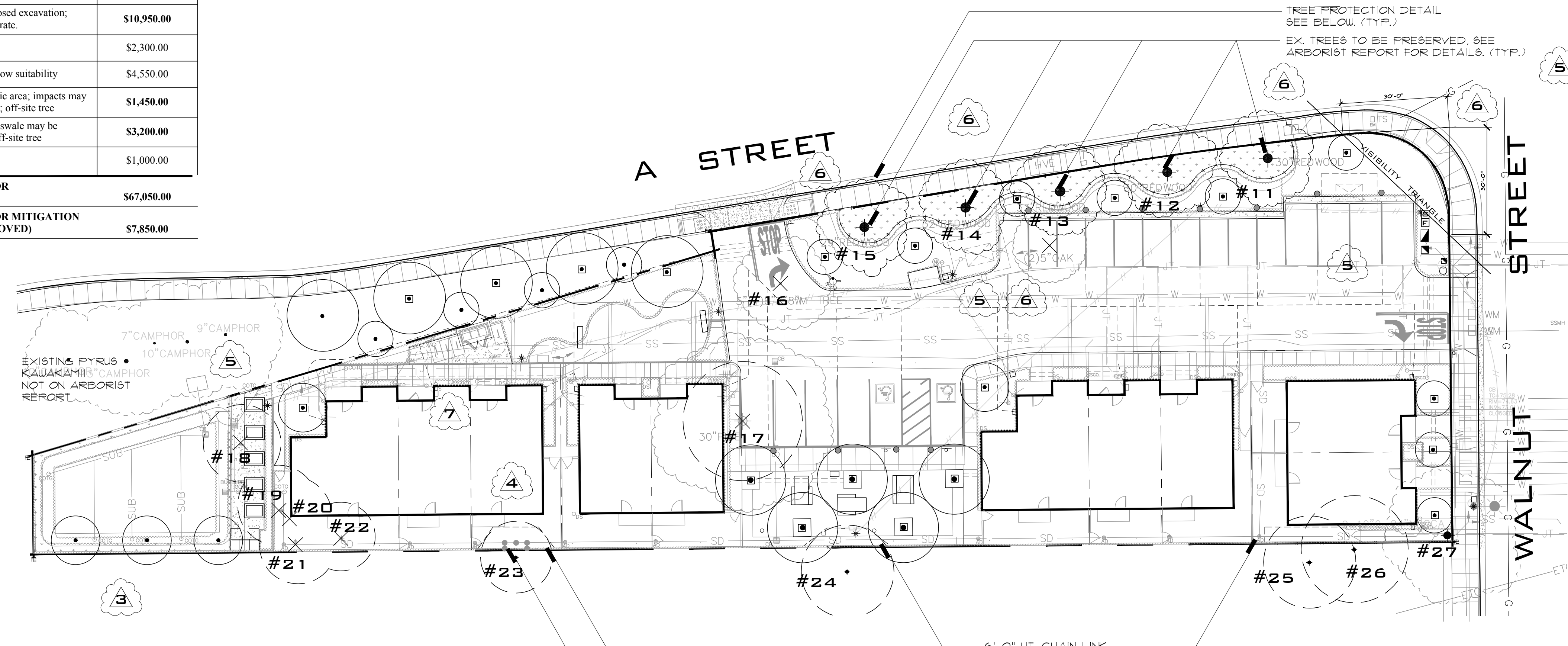
EXISTING TREE INVENTORY LIST FROM ARBORIST REPORT

TREE IDENTIFICATION #	TREE SPECIES	TRUNK DIAMETER (INCHES)	PROTECTED	STATUS / DISPOSITION	COMMENTS	APPRAISED VALUE (\$)
11	COAST REDWOOD	32	YES	*PRESERVE	10' from proposed excavation; impacts will likely exceed tolerance threshold	\$12,450.00
12	COAST REDWOOD	31	YES	*PRESERVE	10' from proposed excavation; impacts will likely exceed tolerance threshold	\$11,700.00
13	COAST REDWOOD	34	YES	*PRESERVE	4.5' from proposed excavation; impacts will likely exceed tolerance threshold.	\$14,050.00
14	COAST REDWOOD	33	YES	*PRESERVE	8.5' from proposed excavation; impacts will likely exceed tolerance threshold.	\$13,250.00
15	COAST REDWOOD	30	YES	PRESERVE	17' and 20' from proposed excavation; impacts may be moderate.	\$10,950.00
16	HOLLY OAK	6,6,6,6,6,5,5	YES	REMOVE	Within driveway	\$2,300.00
17	MONTEREY PINE	32	YES	REMOVE	Within construction; low suitability	\$4,550.00
23	COAST LIVE OAK	16	YES	PRESERVE	5' from proposed picnic area; impacts may be moderate to severe; off-site tree	\$1,450.00
26	AVOCADO	14,12,6	YES	PRESERVE	Impacts from earthen swale may be moderate to severe; off-site tree	\$3,200.00
27	SPANISH DAGGER YUCCA	28,25,11,11	YES	REMOVE	Low suitability	\$1,000.00

TOTAL VALUE FOR PRESERVATION \$67,050.00

TOTAL VALUE FOR MITIGATION (FOR TREES REMOVED) \$7,850.00

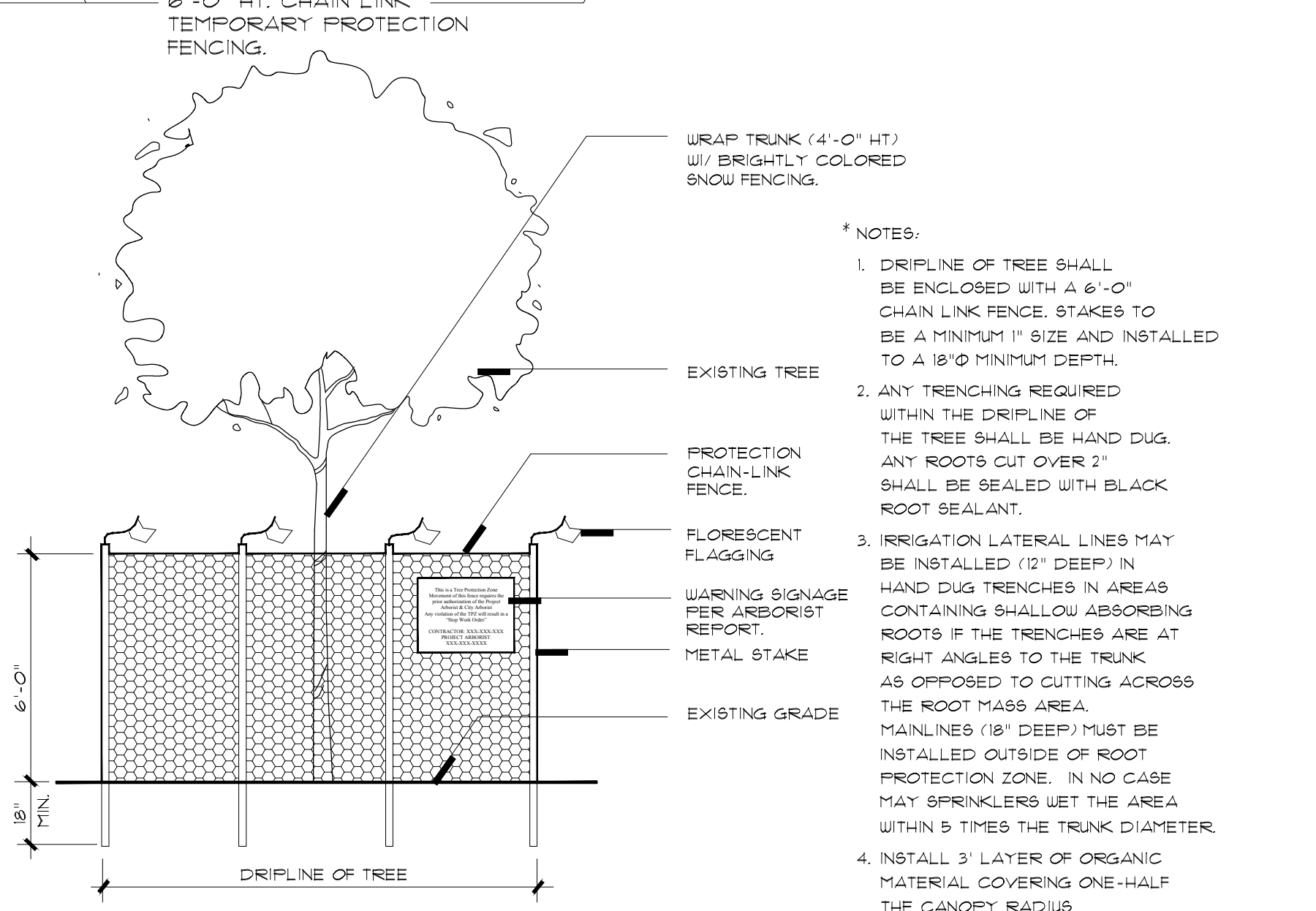
* PENDING ARBORIST REVIEW OF SUBSURFACE CONDITIONS DURING CONSTRUCTION.



4 FENCE CONC. FOOTING @ EXISTING TREE #23 SHALL BE LOCATED CENTERED AROUND THE TREE #23 TO MINIMIZE IMPACT TO THE TREE. CUTS TO THE ROOTS SHALL BE CLEAN AND THE TREATMENT TO THE ROOTS AFTER THE CUTS SHALL BE DONE UNDER THE PROJECT ARBORIST'S RECOMMENDATIONS.

TREE PROTECTION NOTES:

- HAND DIG OR USE AN AIRSPADE TO TRENCH ADJACENT TO REDWOODS #1-15 ALONG THE PROPOSED PERIMETER FOOTING FOR THE DRIVEWAY WHERE WITHIN 12' OF THE TREES. THE TRENCHING SHALL AVOID ANY DAMAGE TO ROOTS OVER 2" IN DIAMETER AND SHALL EXTEND DOWN TO THE DEPTH OF THE PROPOSED FOOTING. DESIGN ADJUSTMENTS, SUCH AS BRIDGING THE ROOTS, TO AVOID DAMAGE TO ROOTS OVER 2" WILL BE NECESSARY TO AVOID SIGNIFICANT DAMAGE TO THE TREES.
- ESTABLISH A TREE PROTECTION ZONE (TPZ) AROUND TREES #1-15, 23, 24 AND 26 AS INDICATED ON THE TREE INVENTORY MAP USING 6" CHAIN-LINK FENCING ATTACHED TO METAL STAKES DRIVEN FIRMLY INTO THE GROUND.
- APPLY A 4" LAYER OF CHIPPED MULCH THROUGHOUT THE TREE PROTECTION ZONE.
- IRRIGATE TREES TO A DEPTH OF 14" THROUGHOUT THEIR DRIFLINES WHERE EXTENDING OVER THE PROJECT PROPERTY 2 WEEKS PRIOR TO GRADING.
- KEEP ALL EQUIPMENT, DEBRIS, SUPPLIES, TRENCHING, GRADING, STOCKPILING, OR ANY OTHER ENCROACHMENTS OUTSIDE OF THE TPZ. ANY DESIRED ADJUSTMENT OR ENCROACHMENT WITHIN THE TPZ SHALL REQUIRE CONSULT WITH AN ARBORIST.
- ALL PRUNING SHALL BE PERFORMED BY ISA CERTIFIED ARBORISTS OR CERTIFIED TREE WORKERS UNDER THE PROJECT ARBORIST'S SUPERVISION. PRUNING TO COMPLY WITH ALL ISA AND ANSI PRUNING STANDARDS AND BEST MANAGEMENT PRACTICES.
- TREES #1-15, 24, AND 26 SHALL BE IRRIGATED WEEKLY TO A DEPTH OF 12-14" THROUGHOUT ALL ACCESSIBLE DRIFLINES, AND AT MINIMUM THE ENTIRE TPZ.
- SINCE TREES #23, 24, 25 AND 2 ARE ALL OFF SITE TREES THAT HANG OVER THE PROJECT, WRITTEN PERMISSION FROM THE TREE OWNERS WILL NEED TO BE GRANTED PRIOR TO ACCESSING THEIR CANOPIES.



TREE PROTECTION DETAIL

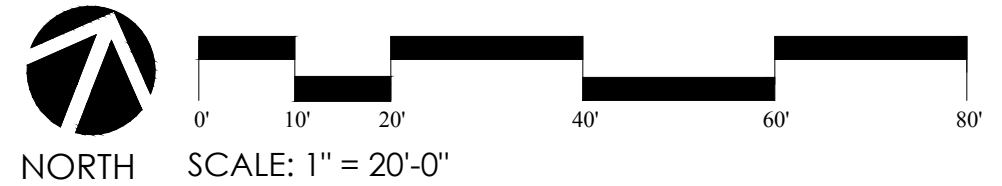
NOT TO SCALE 425.B2 TREE PROTECTION DETAIL

TREE MITIGATION SUMMARY CHART

REQUIRED TREES	REQUIRED TREE QUANTITY / SIZE / INSTALLED UNIT COST	PROPOSED TREE QUANTITY / SIZE / INSTALLED UNIT COST	UNIT COST DIFFERENCE (PROPOSED SIZE - REQUIRED SIZE)	MITIGATION VALUE
PARKING LOT TREES	6 / 15 GALLON / \$300	4 / 36" BOX / \$2,307	\$2,007.00	\$7,428.00
SCREENING TREES	10 / 15 GALLON / \$300	10 / 15 GALLON / \$300	\$0.00	\$0.00
ADDITIONAL TREES FOR MITIGATION	14 / 15 GALLON / \$300	14 / 24" BOX / \$870	\$570.00	\$7,980.00
TOTAL			\$15,408.00	
MITIGATION GOAL				\$7,850.00

SIGNATURE BLOCK

DATE: _____
 MS. MICHELLE KOO | LANDSCAPE ARCHITECT | EXP: XX-XXXX | CITY OF HAYWARD |
 SIGNATURE: _____
 DATE: _____
 MR. SAIED SAEBI | CITY ENGINEER | EXP: XX-XXXX | CITY OF HAYWARD |



ROBERT MOWAT ASSOCIATES
 LANDSCAPE ARCHITECTURE + LAND PLANNING
 1501 N. Broadway Suite 400 Walnut Creek, CA 94596
 Phone: 925.705.7424 Fax: 925.954.1390
 www.rmlandscape.com

Habitat for Humanity
 East Bay/Silicon Valley

Sequoia Grove
 Hayward, CA

TREE PROTECTION & MITIGATION PLAN

DATE: 10-26-15
 REVISIONS: BASIN REV. 08-22-18
 #3 CITY COMMENTS 08-26-19
 #5 UTILITY REV. & REDWOOD REV. 03-29-23
 #6 CITY COMMENTS #4 6-6-23
 #7 CITY COMMENTS #5 8-2-23

SHEET **L-1** OF 9

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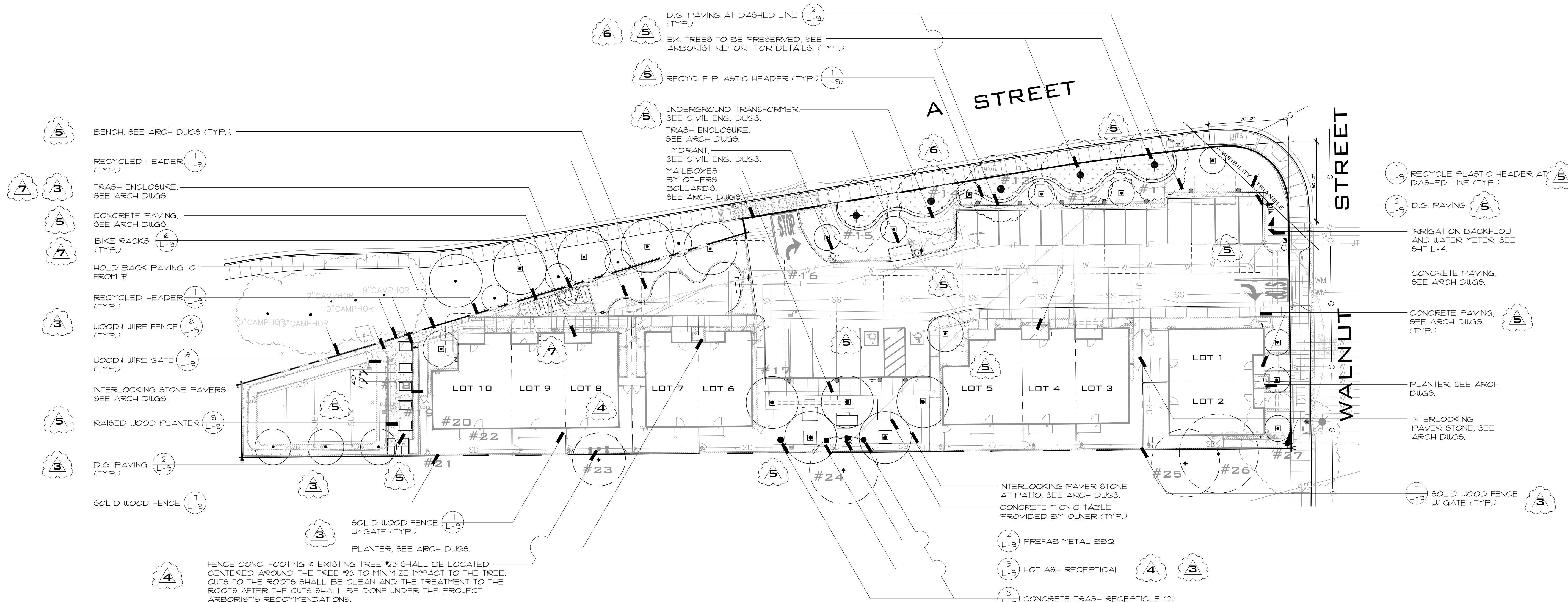
Sequoia Grove
 Hayward, CA

LAYOUT PLAN

DATE: 10-26-15
 REVISIONS: BASIN REV. 08-20-18
 #3 CITY COMMENTS 08-26-19
 #4 UTILITY REV. & REDWOOD REV. 03-29-23
 #5 CITY COMMENTS #4 6-6-23
 #7 CITY COMMENTS #5 8-2-23

SHEET
L-2
 OF 9

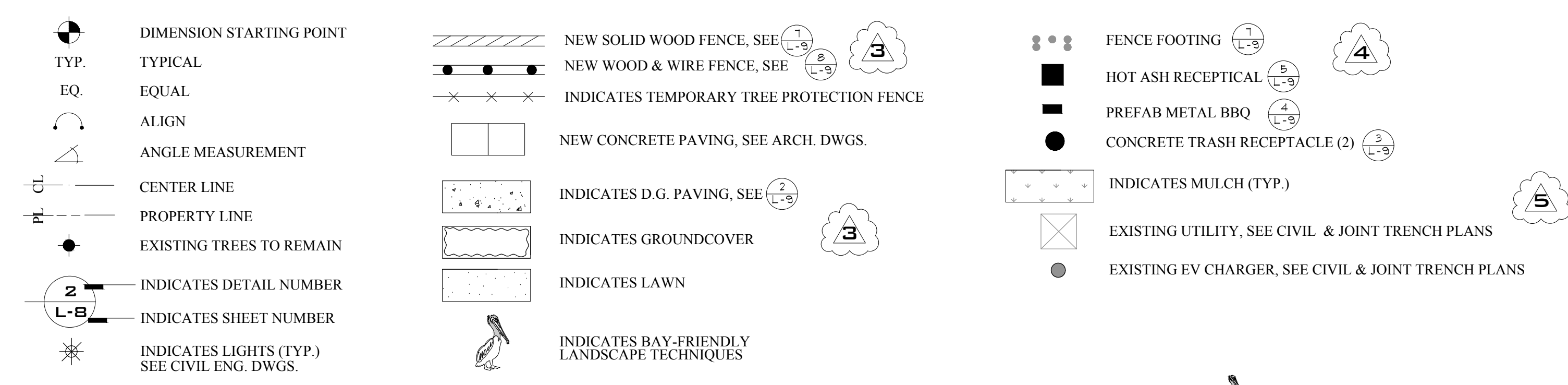
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LAYOUT NOTES

- ALL WRITTEN DIMENSIONS SUPERCEDE SCALED DISTANCE AND DIMENSION.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF CURB, WALL, OR BUILDING ETC.
- ALL CURVED PORTIONS OF REDWOOD HEADER OR WALKS ARE TO BE SMOOTH AND CONTINUOUS CURVES.
- THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL DISTANCES AND DIMENSIONS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- SITE INFORMATION WAS TAKEN FROM ARCHITECTS AND CIVIL ENG. PLANS PREPARED BY: GEOFFREY HOLTON AND ASSOCIATES - RECEIVED 9-18-15 1743 ALCATRAZ AVE, BERKELEY, CA 94703 TEL: 510.663.9797 LEA & BRAZE ENGINEERING INC - RECEIVED 9-18-15 2495 INDUSTRIAL PKWY W, HAYWARD, CA 94545 (510) 887-4086 VERIFY ALL DISTANCES AND DIMENSIONS PRIOR TO STARTING ANY WORK AND BRING ANY DISCREPANCIES TO THE OWNER AND LANDSCAPE ARCHITECT FOR A DECISION.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND PROTECT THEM AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO UTILITIES AND/OR PAVEMENT IN THE COURSE OF THEIR WORK.
- THE OWNER'S REPRESENTATIVE SHALL APPROVE THE LAYOUT OF ALL WALKS AND PAVING FEATURES PRIOR TO CONSTRUCTION. CALL OWNER'S REPRESENTATIVE WITH 2 DAYS PRIOR NOTICE TO POURS.
- ANY REQUIREMENTS IN THE PLANS AND/OR SPECS. SHALL BE CONSIDERED BINDING. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY FOR A DECISION.
- THE CONTRACTOR SHALL PERIODICALLY CLEAN THE SITE OF THEIR DEBRIS CREATED IN THE COURSE OF THEIR WORK. THE CONTRACTOR SHALL REMOVE ALL OF THEIR WASTE GENERATED BY THEIR WORK AT THE END OF THEIR CONTRACT.
- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES BY EXPERIENCED INSTALLERS AND A LICENSED LANDSCAPE CONTRACTOR.
- ALL SCORES AND EXPANSION JOINTS SHALL BE LOCATED WHERE INDICATED ON PLANS.
- CONTRACTOR SHALL NOT MAKE ANY FIELD CHANGES UNLESS AUTHORIZED BY THE OWNER & LANDSCAPE ARCHITECT. ANY UNAUTHORIZED CHANGES SHALL BE CORRECTED TO CONFORM WITH THE PLANS AT NO COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UTILITIES AND PROTECT AT ALL TIMES. CONTRACTOR TO PAY FOR ANY DAMAGE TO UTILITIES. TELEPHONE U.S. ALERT TO LOCATE ANY UTILITY LOCATION IN DOUBT. ALLOW TWO DAYS LEAD TIME. (800) 227-2600. (811)

LAYOUT LEGEND

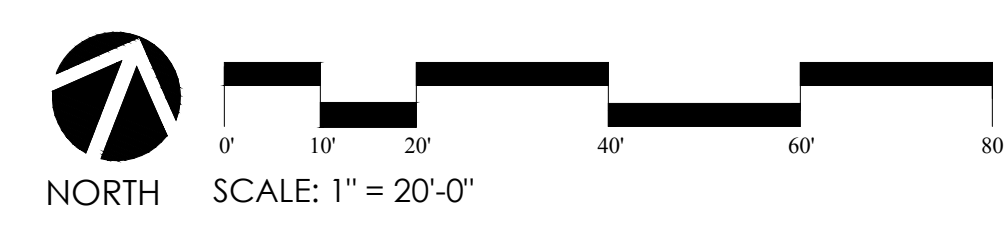


BAY-FRIENDLY NOTES

- USE OF A SMART IRRIGATION CONTROLLER.
- RAIN SENSING OVERRIDE DEVICE INCLUDED.
- CONTROLLER CAN DETECT AND RESPOND TO PROBLEMS SUCH AS BROKEN SPRINKLER HEADS.
- A COVERAGE TEST/ AUDIT TO BE PERFORMED AT TIME OF COMPLETION.

DEBRIS RECYCLING

- THE CONTRACTOR SHALL RECYCLE A MINIMUM OF 50% OF THE DEBRIS GENERATED BY THEIR WORK. SEPARATE OUT GREEN WASTE AND OFF-HAUL TO LOCAL GREEN WASTE RECYCLER.
- ALL PLASTIC CONTAINERS SHALL BE SEPARATED AND OFF-HAULED TO RECYCLE CENTER OR RETURNED TO NURSERY. ALL BOX AND WOOD DEBRIS SHALL BE CLEANED AND SORTED FOR OFF-HAUL TO LOCAL WOOD CHIP RECYCLE CENTER.
- ALL METAL DEBRIS TO BE SEPARATED AND OFF-HAULED TO METAL RECYCLING CENTER.



SIGNATURE BLOCK

Professional signature block for Robert Mowat Associates, including fields for the date, signature of MS. MICHELLE KOO (Landscape Architect), and signature of MR. SAEED SAEBI (City Engineer).

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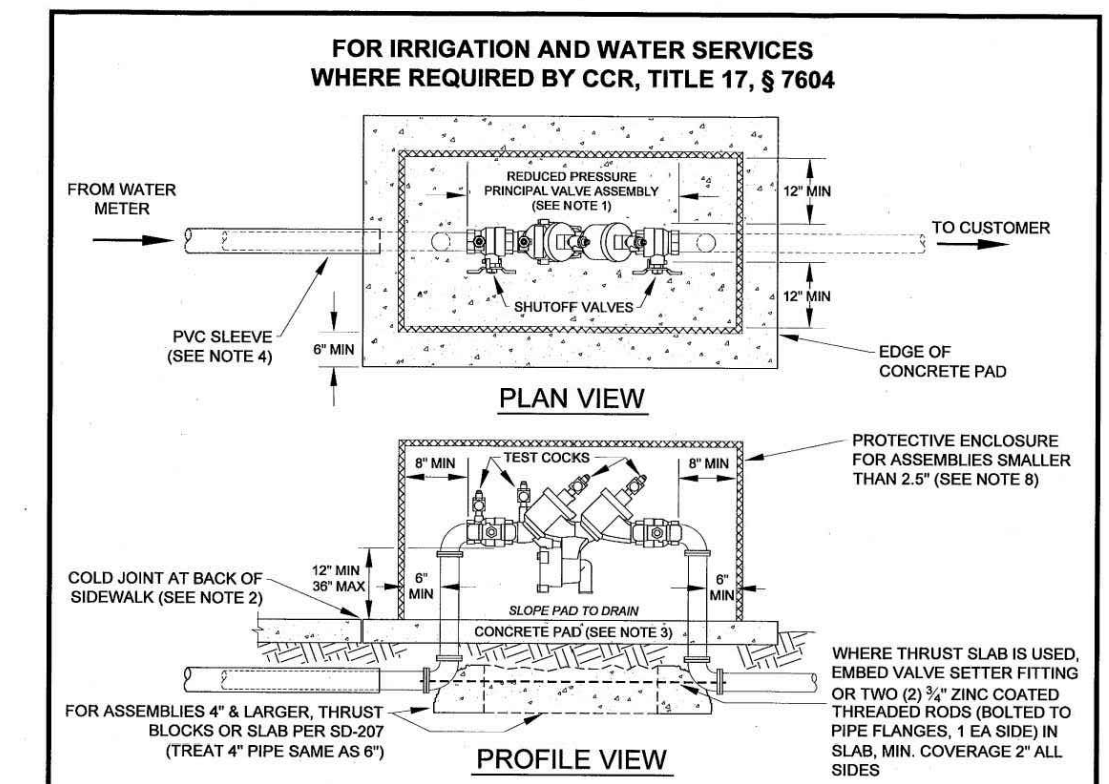
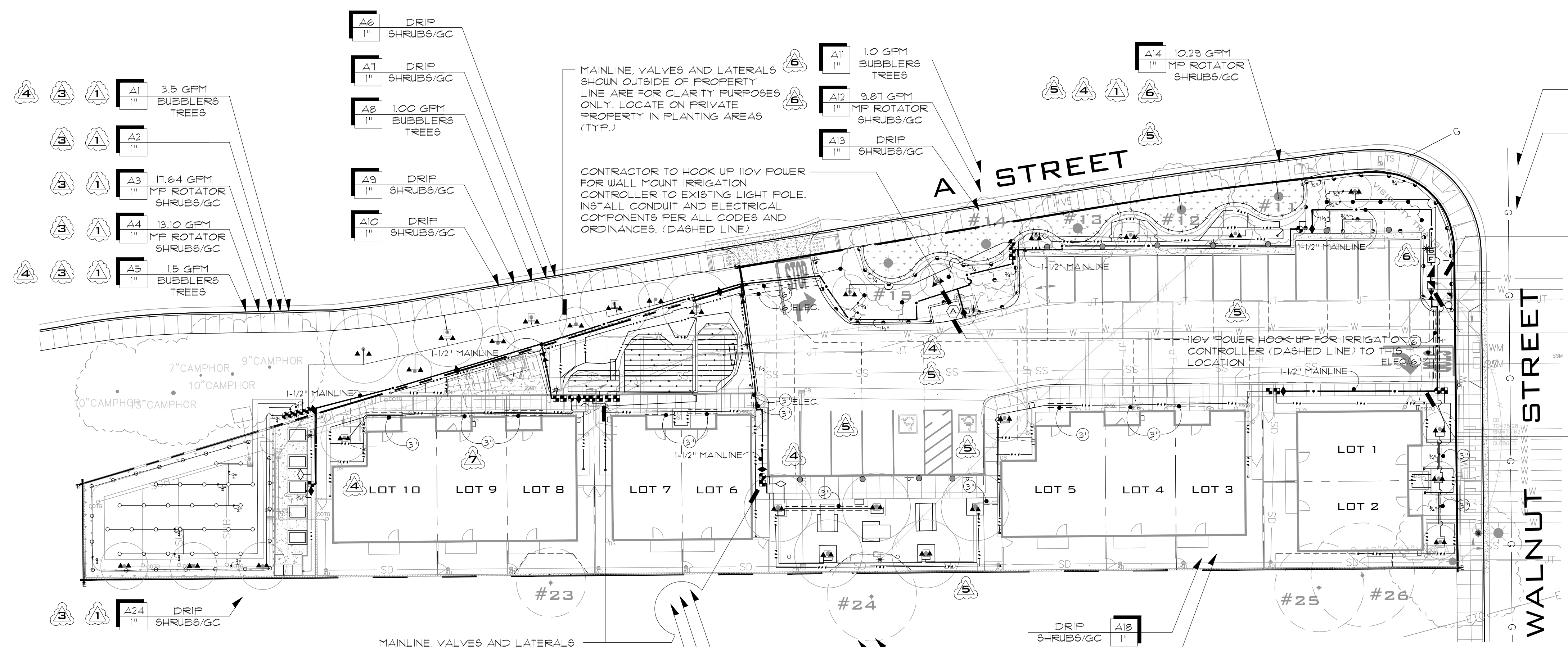
Sequoia Grove
 Hayward, CA

IRRIGATION PLAN

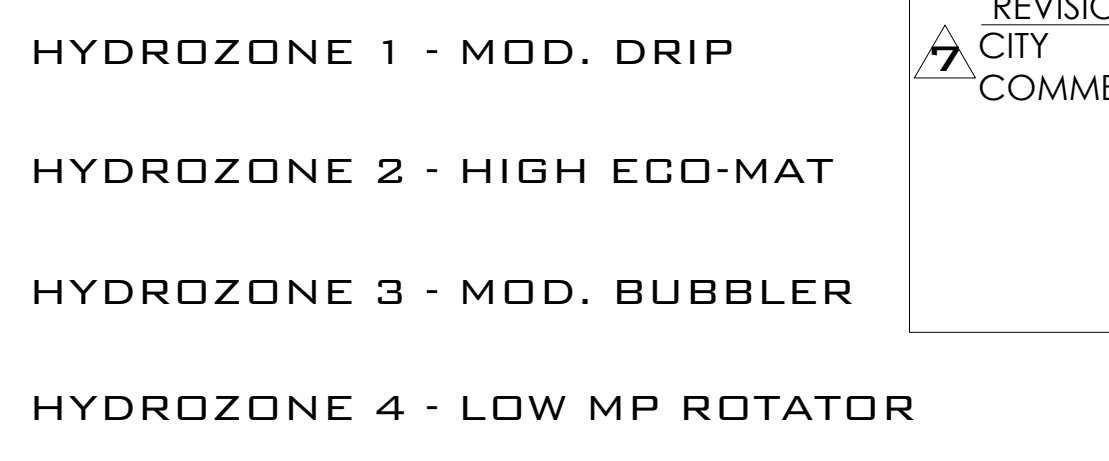
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 REVISIONS: #1 12-16-15
 #2 02-09-16
 #3 08-26-19
 #4 03-29-23
 #5 6-6-23

SHEET: **L-3**
 OF 9

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HAYWARD STANDARD - REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTION ASSEMBLIES		SD-202
REV	DATE	BY
01	08/15/2011	MS
02	08/15/2011	MS
03	08/15/2011	MS
04	08/15/2011	MS
05	08/15/2011	MS
06	08/15/2011	MS
07	08/15/2011	MS
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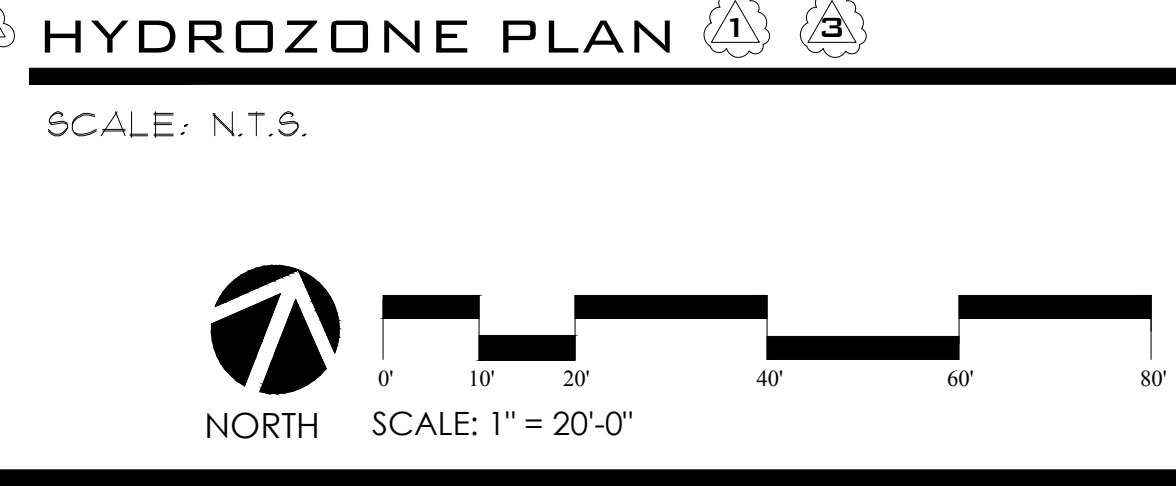
DATE: _____

MS. MICHELLE KOO | LANDSCAPE ARCHITECT | EXP: XX-XXXX | CITY OF HAYWARD |

DATE: _____

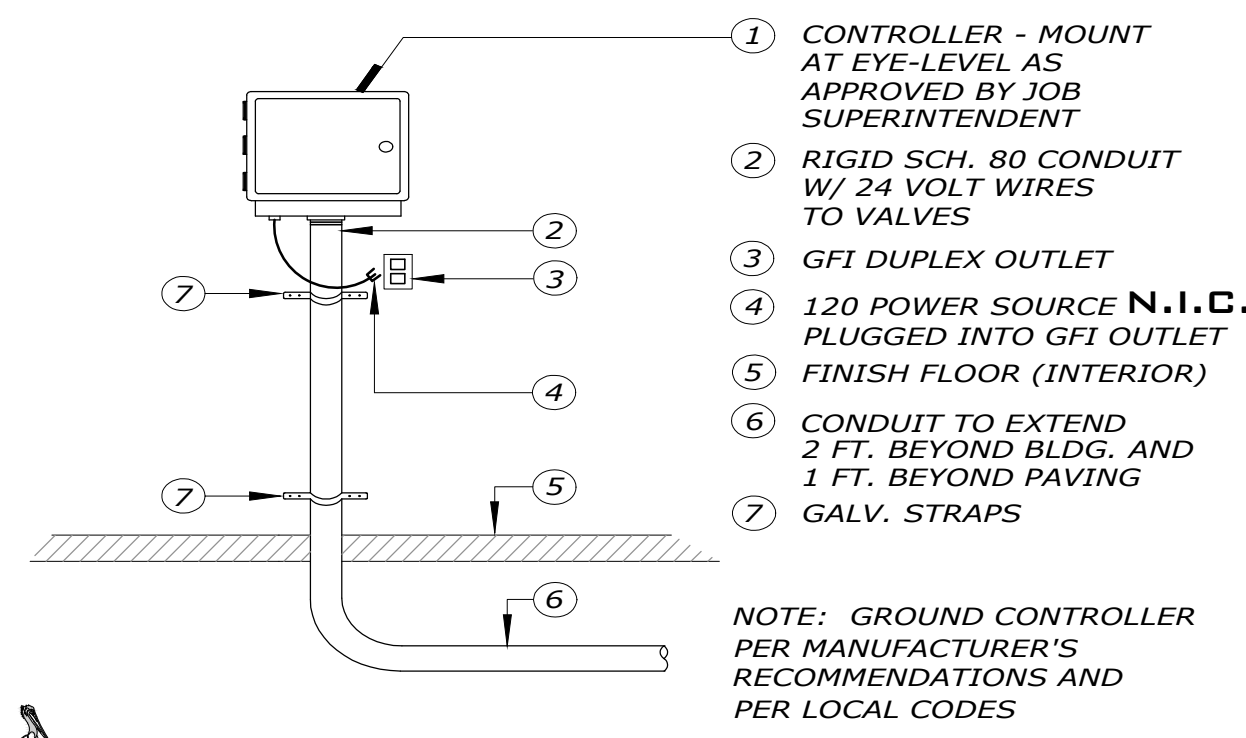
MR. SAIED SAEBI | CITY ENGINEER | EXP: XX-XXXX | CITY OF HAYWARD |

- IRRIGATION LEGEND**
- HUNTER I-CORE CONTROLLER, MODEL # IC-6000-M (WALL MOUNT METAL CABINET) INSTALL WITH RAIN CLIP AND TWO SEPARATE SOIL MOISTURE PROBES 25' AWAY. INSTALL PER MFG.'S SPECS; SEE PLAN FOR LOCATION.
 - NEW 1" IRRIGATION WATER METER, SEE CIVIL PLANS.
 - REDUCED PRESSURE FEBCO 1-1/2" #825Y BACKFLOW PREVENTER ASSEMBLY W/ PRIME 2X PAINTED 2X DARK GREEN, GALV. STEEL ENCLOSURE WITH FROST BLANKET (OR EQ.) WILKINS (OR EQ.) PRESSURE REDUCER ASSEMBLY IS REQUIRED IF PRESSURE EXCEEDS 80 P.S.I.; SET TO 70 P.S.I.
 - 1-1/2" BRONZE GATE VALVE IN AMETEK BOX W/ GRAVEL.
 - 1-1/2" FLOW CONTROL VALVE, GRISWOOD MODEL 2160 W/ FLOW SENSOR, MASTER CONTROL VALVE (NORMALLY CLOSED) AND FLOW CONTROL SENSOR AT EACH POINT OF CONNECTION W/ SCH 40 PVC (GREY) CONDUIT FROM MASTER CONTROL VALVE TO CONTROLLER.
 - 1-1/2" NIBCO FULL PORT BALL ISOLATION VALVE (2 T - 585-70) (OR EQ.) IN AMETEK BOX WITH GRAVEL. SIZE PER IRRIGATION MAINLINE SEE PLAN.
 - TORO REMOTE CONTROL VALVE MODEL # 9220-27-EZR-100-0-4. SIZE PER PLAN (OR EQ.)
 - 1" TORO DRIP VALVE KIT, MODEL # DZK-TPV-1-MF. SIZE PER PLAN (OR EQ.)
 - HUNTER 3/4" QUICK COUPLER VALVE W/ YELLOW RUBBER COVER, MODEL # HQ-44 (OR EQ.)
 - HOSE BIBB ON WOOD RISER.
 - SCH 40 PVC MAINLINE, BURY MIN. 18" DEEP (MIN. 24" DEEP ROADWAYS). SIZE PER PLAN. ALL MAINLINE FITTINGS SCH 80. PRESSURE TEST 100 PSI FOR 48 HRS UNDER CITY PROJECT MANAGER'S DIRECTION.
 - SCH 40 PVC LATERAL, BURY 12" DEEP, SIZE PER PLAN.
 - SCH 40 PVC SLEEVE, BURY 18" DEEP, SIZE PER PLAN, MIN. 24" UNDER ROADWAYS (EXCEPT IF NOTED). EXTEND 12" PAST HARDSCAPED EDGES.
 - BLACK POLYETHYLENE 1/2" DRIP TUBING W/ 1/4" TUBES TO PLANTS. EMITTERS PER DETAIL. INSTALL FLUSHING MECHANISM AT END OF LINE. NOTE: INSTALL CLASS 200 PVC LATERAL FROM DRIP VALVE TO BLACK POLYETHYLENE DRIP TUBING W/ CONNECTOR / COMPRESSION COUPLING
 - HUNTER PLD-ESD17 *NO KNOWN EQUAL SUB SURFACE - BURY 3" DEEP (TYP.)
 - THREADED CAP DRIP FLUSHING ASSEMBLY
 - 12" POP-UP SHRUB MP ROTATOR
 - HUNTER MPR PROS - 12 - PRS40 - CV - MP2000-360 (OR EQ.) LOW VOLUME HEADS 1.47 GPM @ 40 P.S.I.
 - HUNTER MPR PROS - 12 - PRS40 - CV - MP2000-270 (OR EQ.) 1.10 GPM @ 40 P.S.I.
 - HUNTER MPR PROS - 12 - PRS40 - CV - MP2000-180 (OR EQ.) 0.74 GPM @ 40 P.S.I.
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 - HUNTER MP ROTATOR, MP2000 NOZZLE - 13-21" RADIUS
 - HUNTER PROS-12-PRS40-CV-MP1000360 8" 360° 12" POP-UP SHRUB MP ROTOR HEAD 0.84 GPM @ 40 P.S.I.
 - HUNTER PROS-12-PRS40-CV-MP1000180 8" 180° 12" POP-UP SHRUB MP ROTOR HEAD 0.42 GPM @ 40 P.S.I.
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 - HUNTER BUBBLER - PCN - 10 (OR EQ.) 6" POP-UP FLOOD BUBBLER 0.25 GPM @ 40 P.S.I.
 - * ADJUST ALL RADIUS'S TO ELIMINATE OVERSPRAY. USE HUNTER MP800 SR FOR ALL SHORT RADIUS THROW REQUIRED AREAS.
- INDICATES STATION NUMBER
 INDICATES GPM DEMAND PER VALVE
 INDICATES PERCIPITATION RATE PER VALVE
 INDICATES IRRIGATION HEAD TYPE
 INDICATED VALVE SIZE
- INDICATES BAY-FRIENDLY LANDSCAPE TECHNIQUES



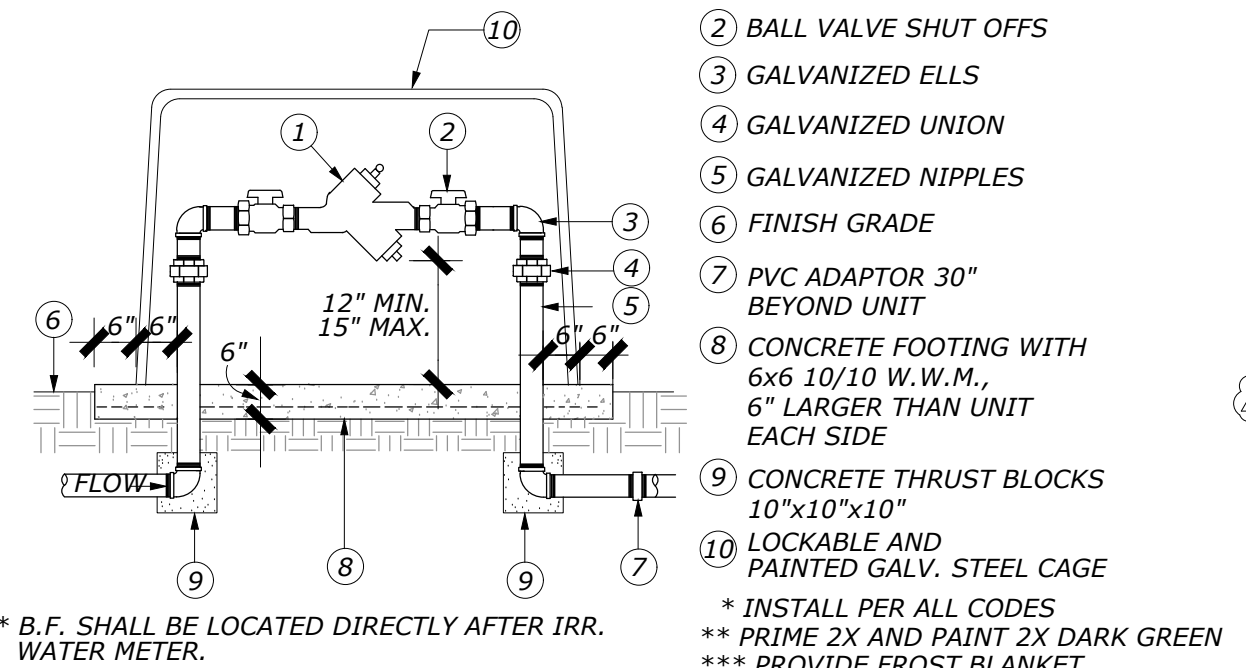
SEE SHEET L-5 FOR WELD, IRRIGATION SPECS & SCHEDULES

SEE SHEET L-4 FOR IRRIGATION NOTES, LEGEND & DETAILS



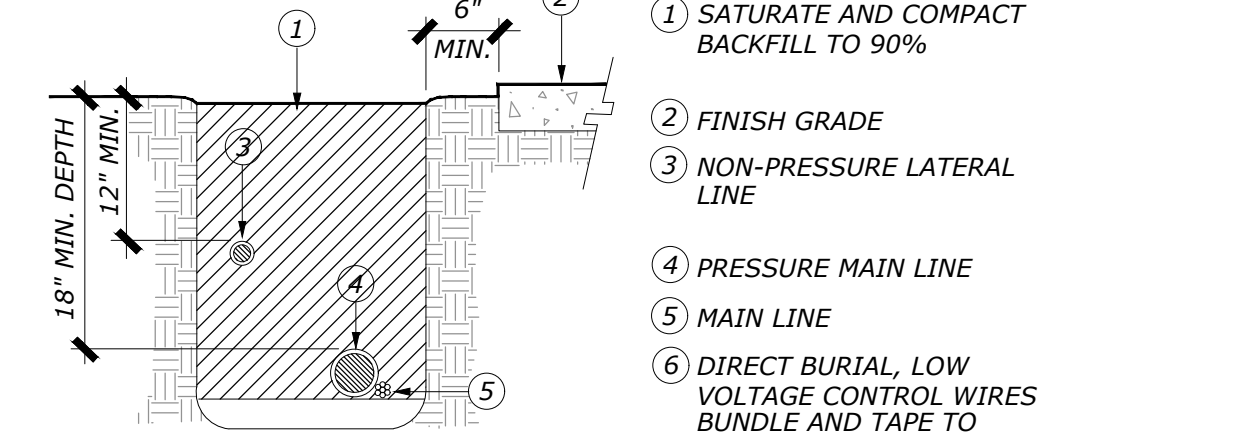
WALL MOUNT CONTROLLER

NOT TO SCALE



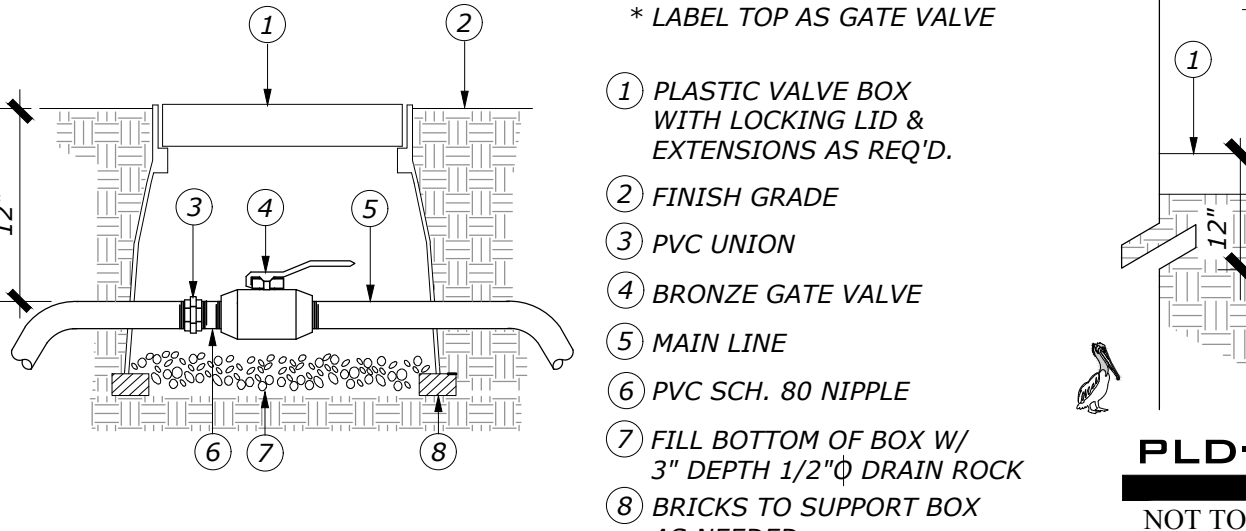
REDUCED PRESSURE BACKFLOW

NOT TO SCALE



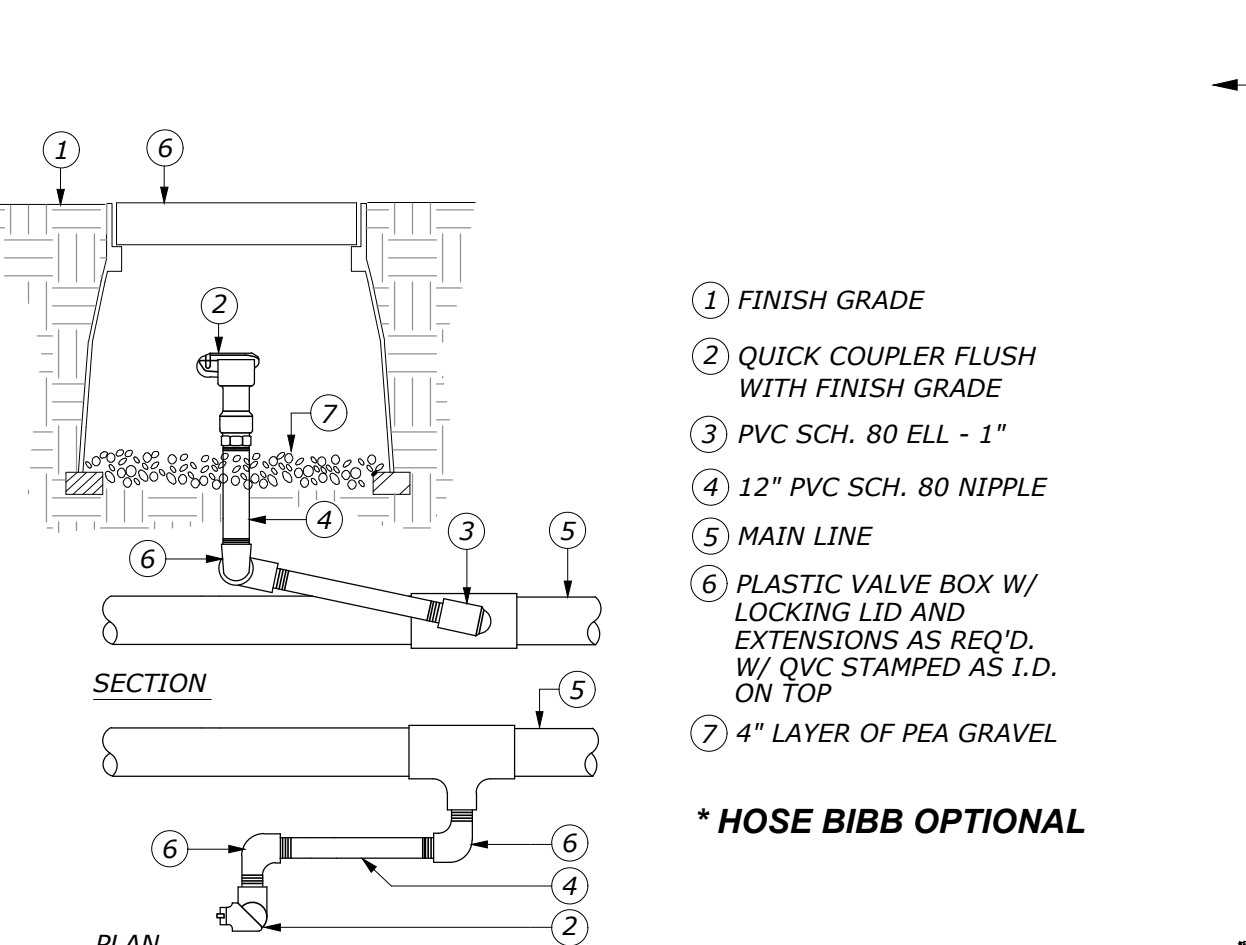
TRENCH LAYOUT

NOT TO SCALE



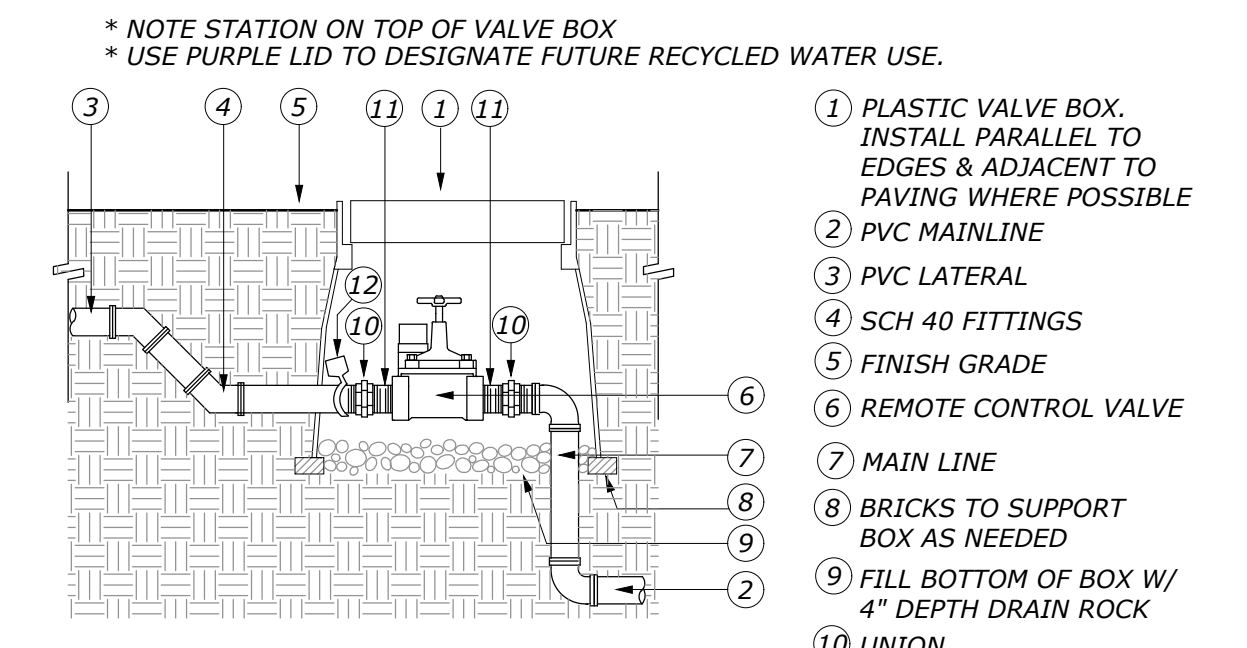
GATE VALVE

NOT TO SCALE



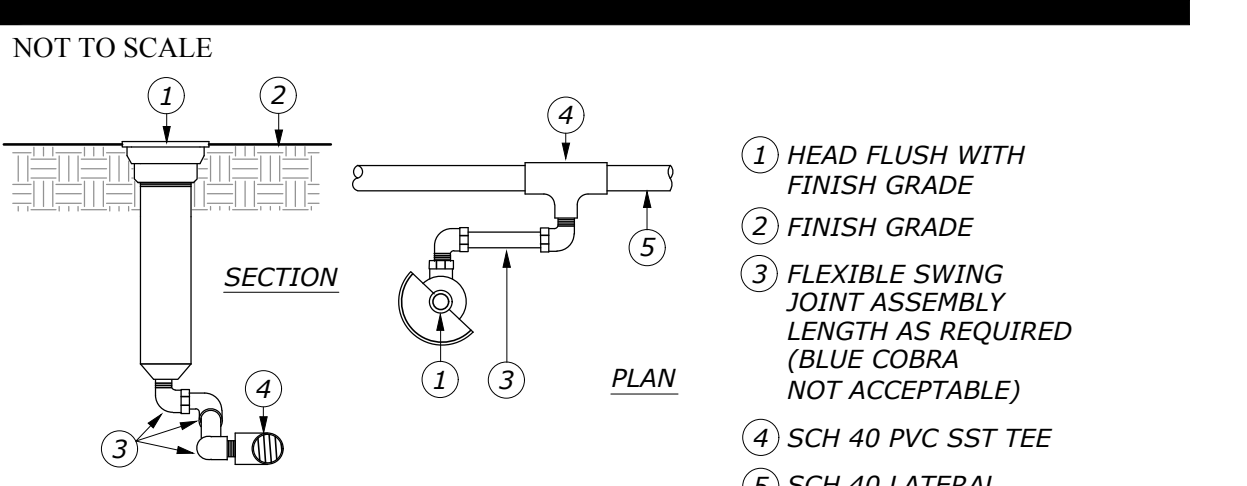
QUICK COUPLER VALVE

NOT TO SCALE



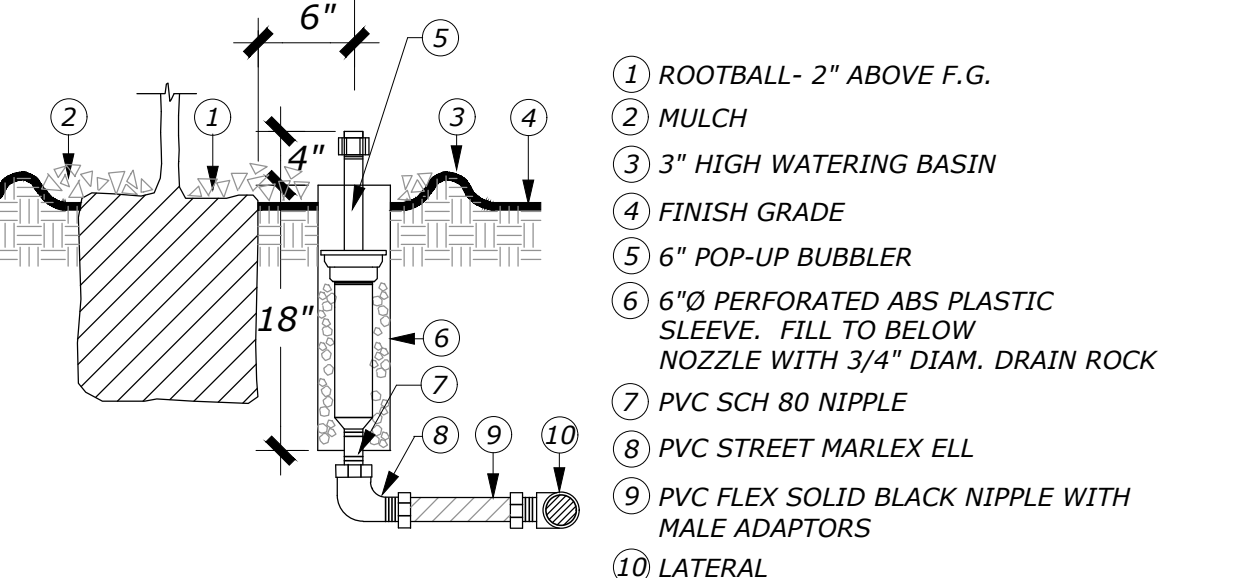
REMOTE CONTROL VALVE

NOT TO SCALE



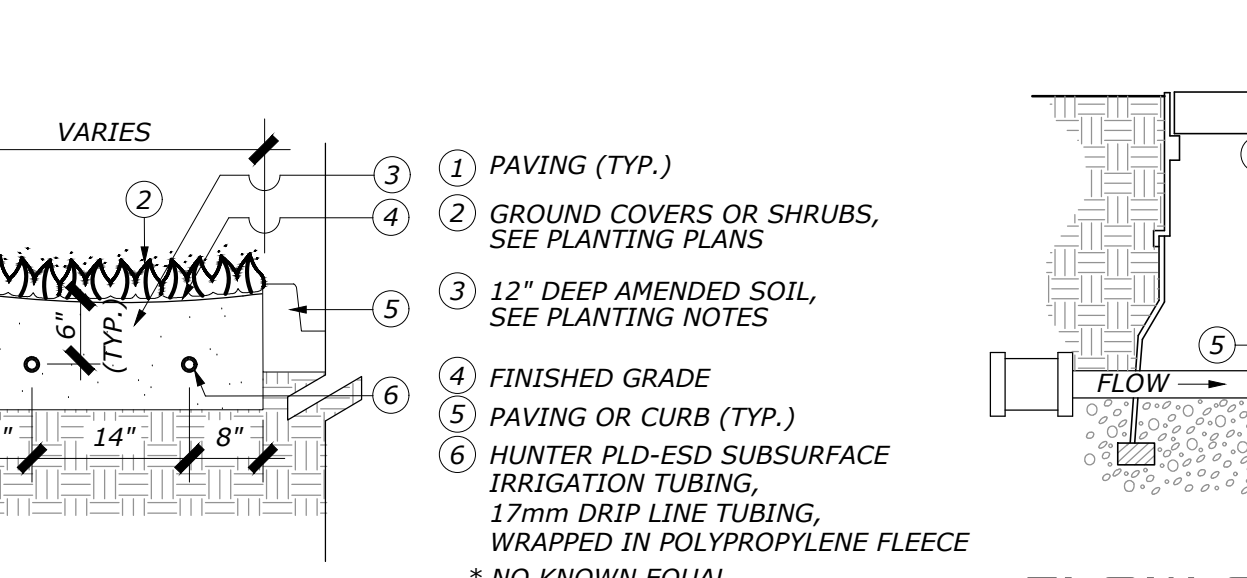
POP-UP SPRAY HEAD

NOT TO SCALE



POP-UP BUBBLER HEAD- STREET TREES

NOT TO SCALE



PLD-ESD

NOT TO SCALE

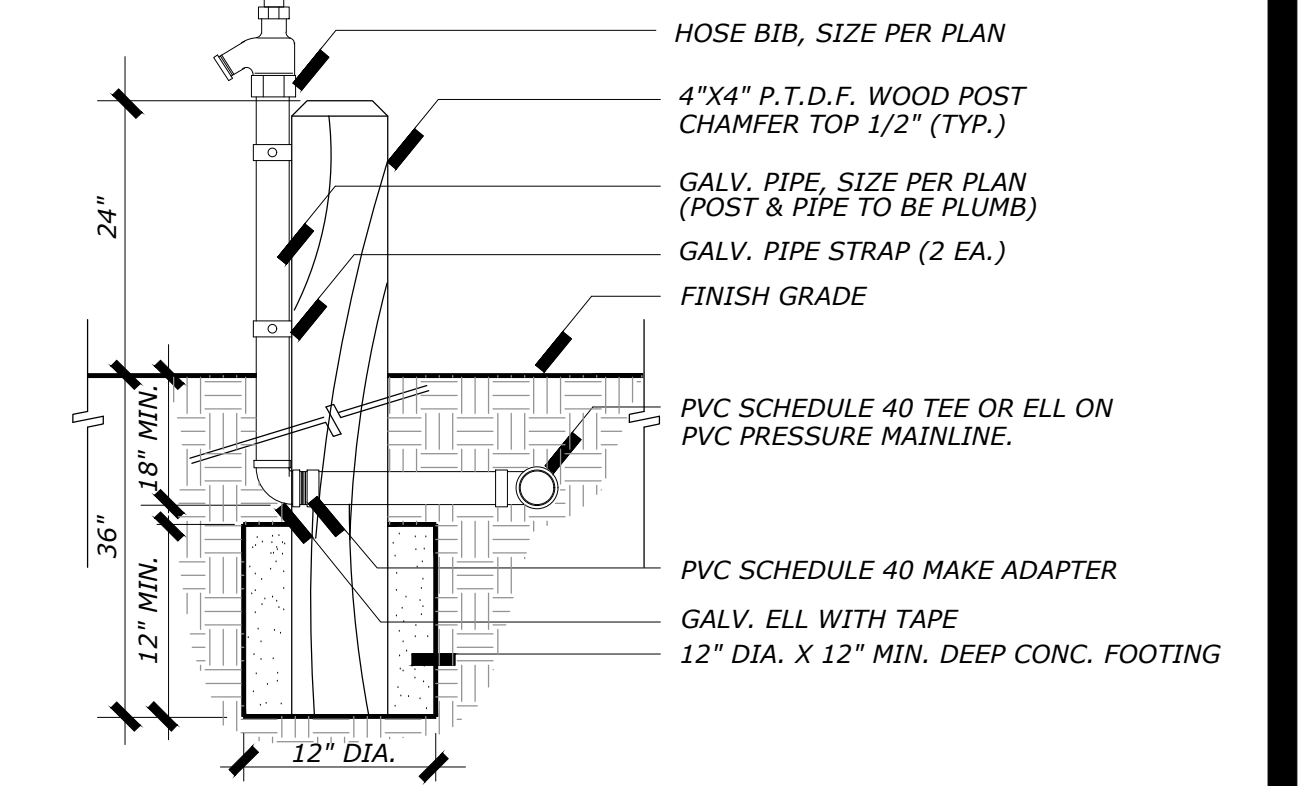
IRRIGATION LEGEND

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- INDICATES GPM DEMAND PER VALVE
- INDICATES PERCIPITATION RATE PER VALVE
- INDICATES IRRIGATION HEAD TYPE
- INDICATED VALVE SIZE
- * LABEL TOP AS FLOW SENSOR AND MASTER VALVE
- 1 JUMBO PLASTIC VALVE BOX WITH 2'-6" EXTENSIONS AND LOCKING COVER
- FINISH GRADE
- WATERPROOF CONNECTIONS
- CONNECTION TO MASTER VALVE CIRCUIT
- MASTER VALVE
- FLOW SENSOR
- TWO CONDUCTOR, SHIELDED CABLE CONNECTION TO TRANSMITTER
- BOX EXTENSION
- JUMBO BOX
- SIZE OR DIRECTION CHANGE AT DISTANCE EQUAL TO 5X PIPE DIAMETER FROM FLOW SENSOR (IF REQUIRED)
- BRICK SUPPORTS
- 6" DEEP 3/4" PEA GRAVEL SUMP

IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN THE PAVED AREAS OR BUILDINGS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID CONFLICTS WITH PLANTING, PIPINGS, UTILITIES AND ARCHITECTURE WHERE POSSIBLE.
- DO NOT WILLFULLY INSTALL THE SYSTEMS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, GPM AVAILABILITY, OR PRESSURES EXIST THAT MAY NOT HAVE BEEN INCLUDED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CITY AND LAND ARCH. FOR A DECISION. IN THE EVENT THAT NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- 120 VOLT ELECTRICAL POWER OUTLET AT THE ELECTROLIER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL HOOK-UP FROM REMOTE CONTROL VALVES TO CONTROLLER.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, UTILITIES, PIPING, BUILDINGS, ETC. THE IRRIGATION CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR FOR THE INSTALLATION OR PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, STRUCTURES, ETC.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED INSTALLERS. CONTRACTOR TO OBTAIN AND PAY FOR ALL IRRIGATION PERMITS AND REQUIRED FEES.
- CONTRACTOR IS TO CONFIRM THE LOCATION OF EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO THE EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY, OR DURING THE PERFORMANCE OF THEIR WORK AT NO ADDITIONAL COST TO THE OWNER. CALL USA ALERT 3 DAYS PRIOR TO ANY EXCAVATION (800) 227-2600.(811)
- SYSTEM IS BASED UPON A STATIC MAINLINE PRESSURE OF 55 P.S.I. A PRESSURE REDUCER MAY (MAY NOT) BE REQUIRED SO THAT THE STATIC MAINLINE PRESSURE AS MEASURED AT THE POINT OF CONNECTION (AT THE BACK FLOW DEVICE) IS 80 P.S.I. AFTER CALCULATING PRESSURE LOSSES, THE SYSTEM IS DESIGNED TO OPERATE AT APPROXIMATELY 40 P.S.I. WORKING PRESSURE AT THE HEADS THROUGH ANY ONE VALVE. THE SYSTEM IS DESIGNED TO OPERATE AT A MAXIMUM OF 30 GPM ON 1" METER, AND NO MORE THAN 2 VALVES SHALL BE RUN AT THE SAME TIME.
- TRENCHES ARE TO BE OF SUFFICIENT DEPTH TO PROVIDE 18" OF COVER OVER MAINLINE AND 12" OF COVER OVER LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING. MAINLINE UNDER STREETS TO BE 24" DEEP, MINIMUM.
- FLUSH MAINLINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING.
- IRRIGATION CONTROL WIRE SHALL BE #14, U.L. APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE #14 U.L. APPROVED FOR DIRECT BURIAL, WHITE IN COLOR. INSTALL DRY SPlice "SPEARS" CONNECTORS. WIRES TO INDIVIDUAL REMOTE CONTROL VALVES SHALL BE A COLOR OTHER THAN WHITE. ALL SPLICES SHALL BE MADE WITHIN REMOTE CONTROL VALVE BOXES. LEAVE 24" EXCESS WIRE COIL AT REMOTE CONTROL LOCATIONS. RUNS OVER 250' SHALL BE #12 U.L. APPROVED WIRES. INSTALL ONE SPARE FROM CONTROLLER TO EACH GANGED VALVE LOCATION.
- REMOTE CONTROL VALVE BOXES SHALL BE INSTALLED FLUSH WITH FINISH GRADE (NOT NECESSARILY PLUMB). ALIGN VALVE BOXES WITH ADJACENT PAVEMENT EDGES OR STRUCTURES. VALVE BOXES SHALL BE PLASTIC WITH BOLT DOWN LIDS AND WITH NUMBERED VALVE STATIONS IN STENCILS ON TOP.
- ALL EXCAVATIONS SHALL BE BACKFILLED TO 90% COMPACTION (MIN.). CONTRACTOR TO REPAIR SETTLED TRENCHES FOR ONE YEAR AFTER COMPLETION OF WORK.
- CONTRACTOR TO MAKE MINOR ADJUSTMENTS IN HEAD LOCATIONS AND ADJUST AND ADD HEADS IF NECESSARY FOR RADIUS (ARC IF APPLICABLE), FOR OPTIMUM COVERAGE AND ELIMINATE SPRAYING ONTO PAVEMENT, BUILDINGS, AND WALLS. USE FLAT SPRAY NOZZLES NEAR ANY BUILDING.
- CONTRACTOR TO MAINTAIN A SET OF "AS-BUILT" DRAWINGS THROUGHOUT THE COURSE OF CONSTRUCTION AND DELIVER THESE DRAWINGS TO THE OWNER UPON THE COMPLETION OF THE WORK. THE DRAWINGS SHALL BE IN REPRODUCIBLE FORM.
- CONTRACTOR SHALL GUARANTEE THE SYSTEM AND MATERIALS TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR STARTING WITH ACCEPTANCE AT THE FINAL SITE REVIEW.
- ALL HEADS WHICH MAY EXPERIENCE LOW HEAD DRAINAGE SHOULD HAVE IN-LINE OR IN-HEAD CHECK VALVES INSTALLED.
- THE IRRIGATION CONTRACTOR SHOULD ARRANGE WITH THE LAND ARCH. & OWNER FOR A SITE REVIEW OF THE SYSTEM. CALL WITH TWO DAYS PRIOR NOTICE TO ARRANGE REVIEW DATES. REVIEWS WILL BE SCHEDULED TO REVIEW:
 - PRESSURE TEST TO MAIN LINE PRIOR TO BACKFILLING TRENCHES. 100PSI - 48 HRS.
 - COVERAGE TEST OF SPRINKLER SYSTEM PRIOR TO PLANTING.
 - FINAL WALK-THROUGH OF ALL ASPECTS OF THE IRRIGATION SYSTEM.
- STATIC PRESSURE WAS NOTED ON 9-28-15 BY ALICIA FROM THE ALAMEDA COUNTY WATER DEPARTMENT AT 90 P.S.I. AT THE INTERSECTION OF 'B STREET' AND 'WALNUT STREET'



HOSE BIBB ON WOOD RISER (OPTION FOR QCV)

NOT TO SCALE

SIGNATURE BLOCK

SIGNATURE BLOCK

REGISTERED LANDSCAPE ARCHITECT

ROBERT J. MOWAT

NO. 8298

DATE: _____

MS. MICHELLE KOO | LANDSCAPE ARCHITECT | EXP: XX-XXXX | CITY OF HAYWARD |

REGISTERED PROFESSIONAL ENGINEER

MR. SAIED SAEBI

DATE: _____

MR. SAIED SAEBI | CITY ENGINEER | EXP: XX-XXXX | CITY OF HAYWARD |

ROBERT MOWAT ASSOCIATES

LANDSCAPE ARCHITECTURE + LAND PLANNING

1501 N. Broadway Suite 400 Walnut Creek, CA 94596

Phone 925.705.7424 Fax 925.954.1390

www.rmalandscape.com

Habitat for Humanity

East Bay/Silicon Valley

Sequoia Grove

Hayward, CA

IRRIGATION NOTES & DETAILS

DATE 10-26-15

REVISIONS #1 12-16-15

#2 08-26-19

#3 08-26-19

#4 08-26-19

#5 08-26-19

#6 08-26-19

SHEET

L-4

OF 9

HABITAT FOR HUMANITY-SEQUOIA GROVE, HAYWARD, CA © COPYRIGHT 2023 Robert Mowat Associates. No portion of this drawing may be reproduced, duplicated, or copied in any way without the express written consent of Robert Mowat Associates. This drawing is prepared for this particular site and may not be utilized for another site location.

MWEO CALCULATIONS

SYMBOL:	HYDROZONE TYPE:	PLANT FACTOR (PF):	HYDROZONE AREA (HA):	IRRIGATION EFFICACY (IE):	(PF X HA) IE
H1	SHRUBS/GROUNDCOVER MOD WATER USE DRIP	0.4	2,764 SF	.81	1365
H2	NATIVE CA SOD LOW/MOD WATER USE ECO-MAT	0.04	702 SF	.81	35
H3	TREES MOD WATER USE BUBBLER	0.5	504 SF	.81	311
H4	SHRUBS/GROUNDCOVER LOW WATER USE MP ROTATOR	0.2	3,603 SF	.75	961

TOTAL:	7,573 SF	2672
ETWU:	44.2 X 0.62 (2672+0)	= 73,223 GAL/YR
MAWA:	44.2 X 0.62 [(0.45 X 7573)+(1.0-.45)+0]	= 93,403 GAL/YR

MWEO CALCULATION REFERENCE

ETWU: ESTIMATED TOTAL WATER USE (GALLONS PER YEAR)

$$\text{CALCULATION FORMULA: } Et_o \times 0.62 \left(\frac{PF \times HA}{IE} + SLA \right)$$

- Et_o: REFERENCE EVAPOTRANSPIRATION (47.0 INCHES PER YEAR IN HAYWARD)
- 0.62: CONVERSION FACTOR (INCHES PER SQUARE FOOT TO GALLONS PER SQUARE FEET)
- PF: PLANT FACTOR FROM WUCOLS IV, REGION 2
- HA: HYDROZONE AREA (HIGH, MEDIUM AND LOW WATER USE AREAS) (IN SQUARE FEET)
- IE: IRRIGATION EFFICIENCY (MINIMUM 0.70)
- SLA: SPECIAL LANDSCAPED AREA (SQUARE FEET)

MAWA: MAXIMUM APPLIED WATER ALLOWANCE (GALLONS PER YEAR)

$$\text{CALCULATION FORMULA: } (Et_o) \times (0.62) \times [(0.55 \times LA) + (1.0 - 0.55) \times SLA]$$

- Et_o: REFERENCED EVAPOTRANSPIRATION (47.0 INCHES PER YEAR IN HAYWARD)
- 0.62: CONVERSION FACTOR (INCHES PER SQUARE FOOT TO GALLONS PER SQUARE FEET)
- 0.55: RESIDENTIAL REFERENCE EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF)
- LA: LANDSCAPED AREA INCLUDING SLA (SQUARE FEET)
- 0.45: ADDITIONAL WATER ALLOWANCE FOR SLA
- SLA: SPECIAL LANDSCAPED AREA (SQUARE FEET)

IRRIGATION SYSTEM

1. GENERAL

- A. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO TURNISH AND INSTALL THE IRRIGATION SYSTEM AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 - B. COORDINATE THE INSTALLATION OF ALL IRRIGATION MATERIALS WITH THE CONSTRUCTION OF SITE AMENITIES AND PLANTING.
 - C. ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED BEFORE PLANTING OPERATIONS.
 - D. DRAWINGS ARE DIAGRAMMATIC AND SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO ACTUAL FIELD CONDITIONS. COSTS INCURRED DUE TO ANY ADJUSTMENT FOR COVERAGE, INCLUDING THOSE REQUESTED BY THE OWNER RELATIVE TO THE LOCATION OF IRRIGATION HEADS AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - E. POINT OF CONNECTION (P.O.C.) AND OPERATING PRESSURE (P.S.I.) SHALL BE AS INDICATED ON THE DRAWINGS. CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF WATER SOURCE, PSI, AND ELECTRICAL SUPPLY PRIOR TO COMMENCING INSTALLATION. IN CASE OF DISCREPANCY, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER.
- 2. QUALITY ASSURANCE**
- A. ALL LOCAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THE IRRIGATION SYSTEM ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS. HOWEVER, IF THOSE SPECIFICATIONS CALL FOR OR DESCRIBE MATERIALS, WORKMANSHIP OR CONSTRUCTION OF A BETTER QUALITY, HIGHER STANDARD OR LARGER SIZE THAN IS REQUIRED BY THE ABOVE RULES, REGULATIONS OR REQUIREMENTS, THESE SPECIFICATIONS AND THE DRAWINGS SHALL TAKE PRECEDENCE.
 - B. IN THE EVENT ANY EQUIPMENT OR METHODS INDICATED ON THE DRAWINGS OR SPECIFIED HEREIN CONFLICT WITH APPLICABLE REGULATIONS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER IN WRITING PRIOR TO INSTALLATION. IN CASE OF DISCREPANCY, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER.
 - C. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, AND RELATED OTHER EQUIPMENT, WHICH MAY BE REQUIRED. CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING THE WORK AND INSTALL A COMPLETE IRRIGATION SYSTEM WITHIN THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.
 - D. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF LIABILITY UNDER THE PROVISIONS FOR GUARANTEES.
- 3. MATERIALS LIST**
- A. WITHIN FIFTEEN (15) CALENDAR DAYS AFTER AWARD OF CONTRACT AND PRIOR TO INSTALLATION, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A LIST OF MATERIALS INCLUDING THE MANUFACTURER, DESCRIPTION, MODEL NUMBER AND INSTALLATION DATA.
 - B. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT PRIOR ACCEPTANCE MAY BE REJECTED AND SUCH MATERIALS REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE.
- 4. PRODUCT DELIVERY, STORAGE AND HANDLING**
- CONTRACTOR SHALL EXERCISE CARE IN HANDLING, LOADING, UNLOADING AND STORING OF IRRIGATION MATERIALS AND EQUIPMENT.
- 5. PLASTIC PIPE**
- A. PLASTIC PIPE, WHERE INDICATED ON THE DRAWINGS, SHALL BE INJECTION MOLDED; RIGID; UNPLASTICIZED POLYVINYL CHLORIDE (PVC); NSF APPROVED; OF HIGH TENSILE STRENGTH, CHEMICAL RESISTANT AND IMPACT STRENGTH, AND DEPENDING ON CLASS AND GRADE, CONFORM TO ASTM 2241 OR ASTM D-1785.
 - B. FITTINGS AND COUPLINGS SHALL BE THREADED PVC SCHEDULE 80 CONFORMING TO ASTM D-2464, OR SLIP-FITTING, TAPERED SOCKET, SOLVENT-WELD TYPE, PVC SCHEDULE 40 CONFORMING TO ASTM D-2466 OR PVC SCHEDULE 80 CONFORMING TO ASTM D-2467 OR BELL AND GASKET.
 - C. SOLVENT CEMENT AND PRIMER FOR RIGID PVC SOLVENT-WELD PIPE AND FITTINGS SHALL BE OF COMMERCIAL QUALITY, IAPMO APPROVED, CONFORMING TO ASTM D-2564.



City of HAYWARD	
MONTHLY IRRIGATION SCHEDULE	
Project Name:	SEQUIA GROVE
Project Address:	CORNER OF A STREET AND WALNUT
Prepared by:	Name: ROBERT MOWAT ASSOCIATES License or Certification No. (if applicable): 2258
	Address: 1501 N. BROADWAY #400 Telephone Number: 925-705-7424
	WALNUT CREEK, CA 94596 Date Prepared: 10-21-15

Valve or Station Number (A)	Plant Type (B)	Irrigation Type (C)	Flow Rate (D)	Precipitation Rate (E)	Initial Plant Establishment Period (3 Mos.)	Following One-Year Period (12 Months)																
						SPR	SUM	FALL	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC		
1	MOD	BUBB	.5			4	4	4	4	0	0	0	4	3	6	8	3	3	5	4	4	0
2	LOW	MP ROTA	.45			10	15	10	0	0	0	6	9	11	14	15	15	14	11	6	3	0
3	LOW	MP ROTA	.45			10	15	10	0	0	0	6	9	11	14	15	15	14	11	6	3	0
4	LOW	MP ROTA	.45			10	15	10	0	0	0	6	9	11	14	15	15	14	11	6	3	0
5	LOW	BUBB	.5			4	4	4	4	0	0	4	5	6	8	8	8	5	5	4	4	0
6	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	3	12	12	12	8	4	3	0

NOTE: This Irrigation Schedule should be used as a guide. The landscaping should be monitored regularly and the schedule adjusted as needed for plant growth, local rainfall, and climatic conditions. Check irrigation system frequently to minimize run-off and overspray. Schedule valves with sprinklers to irrigate between 9 PM and 8 AM to reduce water loss from wind and evaporation.

F Month Run Time (Minutes per Day)
G Run Time (Minutes per Day)
H Days per Week

City of HAYWARD	
MONTHLY IRRIGATION SCHEDULE	
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						SPR	SUM	FALL	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC		
13	MOD	DRIP	.25			12	18	12	0	0	0	4	3	3	12	12	12	3	4	3	0	
14	MOD	BUBB	.5			5	4	5	4	0	0	5	6	7	7	7	7	6	0	0	0	
15	MOD	BUBB	.5			5	4	5	4	0	0	5	6	7	7	7	7	6	0	0	0	
16	MOD	DRIP	.25			12	18	12	0	0	0	4	3	3	12	12	12	8	4	3	0	
17	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	3	12	12	12	8	4	3	0
18	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	3	12	12	12	8	4	3	0

NOTE: This Irrigation Schedule should be used as a guide. The landscaping should be monitored regularly and the schedule adjusted as needed for plant growth, local rainfall, and climatic conditions. Check irrigation system frequently to minimize run-off and overspray. Schedule valves with sprinklers to irrigate between 9 PM and 8 AM to reduce water loss from wind and evaporation.

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						SPR	SUM	FALL	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC		
7	MOD	DRIP	.25			12	18	12	0	0	0	4	7	8	3	12	12	12	8	4	3	0
8	MOD	BUBB	.5			5	4	5	4	0	0	5	6	7	7	7	7	6	0	0	0	
9	MOD	DRIP	.25			12	18	12	0	0	0	4	7	8	3	12	12	12	8	4	3	0
10	MOD	DRIP	.25			12	18	12	0	0	0	4	7	8	3	12	12	12	8	4	3	0
11	MOD	DRIP	.25			12	18	12	0	0	0	4	7	8	3	12	12	12	8	4	3	0
12	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	3	12	12	12	8	4	3	0

NOTE: This Irrigation Schedule should be used as a guide. The landscaping should be monitored regularly and the schedule adjusted as needed for plant growth, local rainfall, and climatic conditions. Check irrigation system frequently to minimize run-off and overspray. Schedule valves with sprinklers to irrigate between 9 PM and 8 AM to reduce water loss from wind and evaporation.

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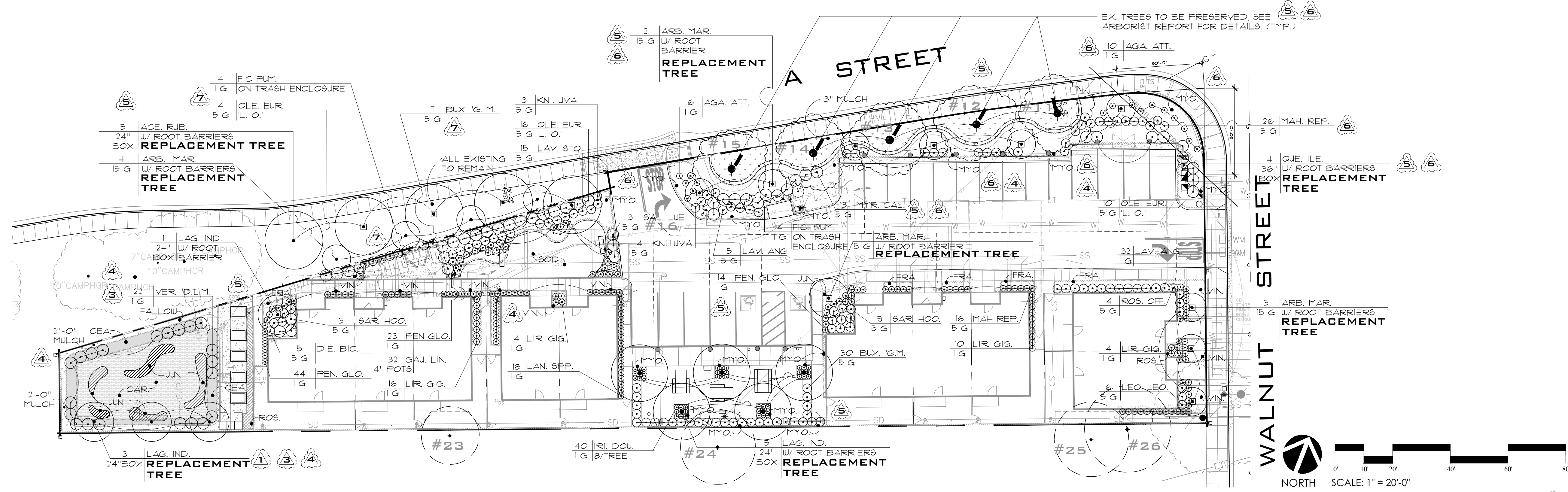
Valve or Station Number (A)	Plant Type (B)	Irrigation Type (C)	Flow Rate (D)	Precipitation Rate (E)	Initial Plant Establishment Period (3 Mos.)	Following One-Year Period (12 Months)																
						SPR	SUM	FALL	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC		
19	MOD	BUBB	.5			5	4	5	4	0	0	5	6	7	7	7	7	6	0	0	0	
20	MOD	DRIP	.25			12	18	12	0	0	0	4	7	8	3	12	12	12	8	4	3	0
21	LOW	SUB-DRIP	.10			10	15	10	0	0	2	4	6	9	12	12	12	10	8	4	0	
22	LOW	SUB-DRIP	.10			10	15	10	0	0	2	4	6	9	12	12	12	10	8	4	0	
23	LOW	SUB-DRIP	.10			10	15	10	0	0	2	4	6	9	12	12	12	10	8	4	0	

NOTE: This Irrigation Schedule should be used as a guide. The landscaping should be monitored regularly and the schedule adjusted as needed for plant growth, local rainfall, and climatic conditions. Check irrigation system frequently to minimize run-off and overspray. Schedule valves with sprinklers to irrigate between 9 PM and 8 AM to reduce water loss from wind and evaporation.

F Month Run Time (Minutes per Day)
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- 6. **BRASS PIPE**
 - A. BRASS PIPE, WHERE INDICATED ON THE DRAWINGS, SHALL BE 86% RED BRASS, AMERICAN NATIONAL STANDARDS INSTITUTE, SCHEDULE 40 SCREWED PIPE, CONFORMING TO FEDERAL SPECIFICATIONS WW-P-351.
 - B. FITTINGS SHALL BE MEDIUM BRASS, SCREWED 125 POUND CLASS, CONFORMING TO FEDERAL SPECIFICATIONS WW-P-460.
- 7. **GALVANIZED PIPE**
 - A. GALVANIZED STEEL PIPE, WHERE INDICATED ON THE DRAWINGS, SHALL BE ASA SCHEDULE 40 MILD STEEL SCREWED PIPE. FITTINGS SHALL BE MEDIUM GALVANIZED SCREWED BEADED MALLEABLE IRON.
 - B. ALL GALVANIZED PIPE AND FITTINGS INSTALLED BELOW GRADE SHALL BE PAINTED WITH TWO (2) COATS OF COPPERS #50 BITUMASTIC, OR APPROVED EQUAL. PIPES MAY BE WRAPPED WITH AN APPROVED ASPHALTIC TAPE.
- 8. **UVR-PVC PIPE**
 - A. UVR-PVC PIPE, WHERE INDICATED ON THE DRAWINGS, SHALL BE ULTRA-VIOLET RESISTANT, SCHEDULE 40 PVC PIPE. FITTINGS SHALL BE UVR-PVC FITTINGS.
- 9. **BACKFLOW PREVENTION UNIT**
 - A. BACKFLOW PREVENTION UNIT SHALL BE FACTORY ASSEMBLED AND SHALL BE AS INDICATED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL. CONTRACTOR SHALL INSTALL BACKFLOW PREVENTION UNIT AS INDICATED IN THE DETAILS ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
- 10. **VALVE BOXES**
 - A. GATE VALVES AND REMOTE CONTROL VALVES, EXCEPT FOR ANTI-SIPHON VALVE, SHALL BE INSTALLED BELOW GRADE AS INDICATED IN THE DETAILS ON THE DRAWINGS, IN LOCKABLE VALVE BOXES MANUFACTURED BY BROOKS, FRASER, AMETEK, OR APPROVED EQUAL.
 - B. VALVE BOX LIDS SHALL BE GREEN IN COLOR. GATE VALVES SHALL BE IDENTIFIED BY STAMPING "GV" ON THE VALVE BOX COVER. REMOTE CONTROL VALVES SHALL BE IDENTIFIED BY STAMPING "RCV" AND STATION NUMBER ON THE VALVE BOX COVER.
 - C. VALVE BOXES SHALL BE SET ON ONE INCH (1") ABOVE FINISH GRADE, WITH VALVES SET AT SUFFICIENT DEPTH TO PROVIDE APPROPRIATE CLEARANCE BETWEEN THE COVER AND VALVE.
- 11. **ISOLATION VALVES**
 - A. ISOLATION VALVES (BALL) SHALL BE AS INDICATED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL. CONTRACTOR SHALL INSTALL ISOLATION VALVES AS INDICATED IN THE DETAILS ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 - B. THE OPERATING UNIT SHALL BE LINE-SIZED AND HAVE AN ARROW CAST IN THE METAL INDICATING THE DIRECTION OF OPENING. VALVE SHALL CONFORM TO AMERICAN WATER WORKS STANDARDS.
 - C. ISOLATION VALVES SHALL BE DESIGNED TO PERMIT DISMANTLING TO REPLACE SEALING COMPONENTS WITHOUT REMOVAL OF THE VALVE BODY FROM THE PIPELINE.
- 12. **QUICK COUPLING VALVES**
 - A. QUICK COUPLING VALVES SHALL BE AS INDICATED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL. CONTRACTOR SHALL INSTALL QUICK COUPLER VALVES AS INDICATED IN THE DETAILS ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, WITH A MOLDED VINYL OR THERMOPLASTIC RUBBER LOCKING YELLOW COVER. COUPLER KEYS AND HOSE ELLS SHALL BE OF THE SAME MANUFACTURER AS THE VALVE.
- 13. **ANTI-DRAIN VALVES**
 - A. WHERE INDICATED ON THE DRAWINGS, AND AS NEEDED FOR FIELD CONDITIONS, ANTI-DRAIN VALVES SHALL BE AS INDICATED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL. ANTI-DRAIN VALVES SHALL BE LINE-SIZED AND INSTALLED ON THE RISER DIRECTLY UNDER THE IRRIGATION HEADS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 14. **REMOTE CONTROL VALVES**
 - A. REMOTE CONTROL VALVES SHALL BE SOLENOID ACTIVATED, OF THE TYPE, MANUFACTURER AND SIZE AS INDICATED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL. CONTRACTOR SHALL INSTALL REMOTE CONTROL VALVES AS INDICATED IN THE DETAILS ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 15. **CONTROLLERS AND WIRING**
 - A. CONTROLLER SHALL BE OF THE TYPE AND MANUFACTURER AS INDICATED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL. CONTRACTOR SHALL INSTALL CONTROLLER AS INDICATED IN THE DETAILS ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - B. CONNECTIONS BETWEEN THE CONTROLLER AND THE REMOTE CONTROL VALVES SHALL BE MADE WITH DIRECT BURIAL SOLID COPPER WIRE. WIRE SHALL BE PVC INSULATED OF SINGLE CONDUCTOR TYPE, UNDERGROUND FEEDER CABLE, U.L. APPROVED.
 - C. AS PRACTICAL, PILOT WIRES SHALL BE A DIFFERENT COLOR FOR EACH VALVE. COMMON WIRES SHALL BE WHITE WITH A DIFFERENT COLOR STRIPE FOR EACH AUTOMATIC CONTROLLER.
 - D. WIRE SHALL BE BURIED A MINIMUM OF TWENTY-FOUR INCHES (24") IN DEPTH AND WHENEVER POSSIBLE SHALL OCCUPY THE SAME TRENCH AS MAINLINE. BUNDLED AND SECURED TO IRRIGATION PIPELINES AT TEN FOOT (10') INTERVALS WITH PLASTIC ELECTRICAL TAPE PROVIDING SUFFICIENT SLACK FOR EXPANSION AND CONTRACTION.
 - E. WIRE FOR SLOPE SYSTEMS SHALL BE INSTALLED IN A UVR PVC SLEEVE LAID ADJACENT TO THE ON-GRADE PIPES.
 - F. PROVIDE A SEPARATE GROUND WIRE FOR EACH CONTROLLER.
 - G. AN EXPANSION CURL SHALL BE PROVIDED WITHIN THREE FEET (3') OF EACH WIRE CONNECTION AND CHANGE OF DIRECTION, AND AT LEAST EVERY 100 FEET OF WIRE LENGTH ON LONGER RUNS.
 - H. ALL SPLICES SHALL BE MADE WITH SCOTCH-LOK #3576 CONNECTOR SEALING PACKS, RAIN BIRD PEN-TITE, SEARS DS-400 WIRE CONNECTORS, 3M DBY WIRE SEALING PACKS, OR APPROVED EQUAL. USE ONE (1) SPLICE PER CONNECTOR SEALING PACK. WIRE SPLICES SHALL BE LOCATED IN PULL BOXES SET ONE INCH (1") ABOVE FINISH GRADE.
 - I. FIELD SPLICES BETWEEN THE CONTROLLER AND REMOTE CONTROL VALVES WILL NOT BE PERMITTED.
 - J. INSTALL A SPARE CONTROL WIRE OF A DIFFERENT COLOR ALONG ENTIRE MAINLINE. LOOP THIRTY-SIX INCHES (36") EXCESS WIRE INTO EACH SINGLE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- 16. **IRRIGATION HEADS**
 - A. IRRIGATION HEADS SHALL BE OF THE MANUFACTURER, SIZE, TYPE, AND RATE OF PRECIPITATION WITH THE DIAMETER (OR RADIUS) OF THROW, PRESSURE, AND DISCHARGE AS SPECIFIED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL, AND INSTALLED AS INDICATED IN THE DETAILS ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - B. RISER UNITS SHALL BE ORIENTED PERPENDICULAR TO THE FINISH GRADE WITH NIPPLES OF THE SAME SIZE AS THE RISER OPENING IN THE IRRIGATION HEAD.
 - C. SPACING OF HEADS SHALL NOT EXCEED THE MAXIMUM SHOWN ON THE DRAWINGS AND IN NO CASE EXCEED THE MAXIMUM SPACING RECOMMENDED BY THE MANUFACTURER.
- 17. **INSTALLATION**
 - A. PIPE SHALL BE CUT SQUARE AND THE ENDS REAMED OUT TO THE FULL INSIDE DIAMETER OF THE PIPE AND THOROUGHLY CLEANED OF DIRT, DUST AND MOISTURE BEFORE INSTALLATION.
 - B. PVC PIPE SHALL BE PROTECTED FROM TOOL DAMAGE DURING ASSEMBLY. PLASTIC PIPE WHICH HAS BEEN NICKED, SCARRED OR DAMAGED SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
 - C. PVC SOLVENT-WELD JOINTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-2855. PIPE SHALL NOT BE EXPOSED TO WATER FOR TWENTY-FOUR (24) HOURS AFTER SOLVENT-WELD JOINTS ARE COMPLETED.

- D. TRENCHES SHALL BE OF OPEN VERTICAL CONSTRUCTION TO APPROPRIATE DEPTHS AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN. PVC PIPE SHALL BE LAID ON NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE, FREE OF ROCKS OR SHARP-EDGED OBJECTS AND SNAKED FROM SIDE TO SIDE IN THE TRENCH TO ALLOW FOR EXPANSION AND CONTRACTION.
- E. TEFLON TAPE SHALL BE USED ON ALL THREADED PVC TO PVC AND ON ALL THREADED PVC TO METAL JOINTS.
- F. BRASS PIPE AND FITTINGS SHALL BE ASSEMBLED USING TEFLON DOPE, APPLIED TO THE MALE THREADS ONLY.
- G. GALVANIZED PIPE THREADS SHALL BE CUT WITH CLEAN, SHARP DIES, CONFORMING TO AMERICAN STANDARDS ASSOCIATION SPECIFICATION. MALE PIPE THREADS SHALL BE COATED WITH A NON-TOXIC, NON-HARDENING, NON-CORROSIVE JOINT COMPOUND.
- H. IRRIGATION LINES AND CONTROL WIRING SHALL BE INSTALLED UNDER PAVING IN SEPARATE PVC SCHEDULE 40 SLEEVES. SLEEVES SHALL BE INSTALLED WITH COVERAGE DEPTHS AS SPECIFIED HEREIN.
- I. PIPING UNDER EXISTING PAVEMENT MAY BE INSTALLED BY JACKING, BORING OR HYDRAULIC DRIVING, EXCEPT THAT NO HYDRAULIC DRIVING WILL BE PERMITTED UNDER ASPHALTIC CONCRETE PAVEMENT. WHERE CUTTING OR BREAKING OF EXISTING PAVEMENT IS NECESSARY, OBTAIN PERMISSION FROM THE OWNER BEFORE CUTTING OR BREAKING PAVEMENT AND THEN MAKE ALL NECESSARY REPAIRS AND REPLACEMENTS TO THE SATISFACTION OF THE OWNER, AND AT NO ADDITIONAL COST TO THE OWNER.
- J. ALL LINES SHALL HAVE A MINIMUM HORIZONTAL CLEARANCE OF SIX INCHES (6") FROM EACH OTHER AND FROM LINES OF OTHER TRADES. PARALLEL LINES SHALL NOT BE INSTALLED DIRECTLY OVER ONE ANOTHER.



PLANTING LEGEND

TREES							SHRUBS / GROUND COVERS						
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT x SPREAD	WATER USE	QTY.	SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT x SPREAD	WATER USE	QTY.
4	24" BOX	Acer Rubrum 'October Glory' (R)	October Glory Maple	40' HT x 35' SP	MOD.	5	1 G	1 G	Ceanothus griseus 'Yankee Point'	Yankee Point Ceanothus	3' HT x 10' SP	LOW	16
4	15 GAL	Arbutus 'Marina' (R)	Strawberry Tree	45' HT x 50' SP	LOW	10	4" POTS	4" POTS	Carex tumulicola	Foothill Sedge	18" HT x 2' SP	LOW	32
3	24" BOX	Lagerstroemia indica (R)	Crape Myrtle - Purple	35' HT x 25' SP	MOD.	9	4" POTS	4" POTS	Fragaria vesca	Woodland Strawberry	6' HT x 2' SP	LOW	8
3	36" BOX	Quercus ilex (R)	Evergreen Oak	60' HT x 60' SP	LOW	4	4" POTS	4" POTS	Gaura lindheimeri	Gaura	3' HT x 2' SP	LOW	32
SHRUBS / VINES							CA NATIVES						
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT x SPREAD	WATER USE	QTY.	SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT x SPREAD	WATER USE	QTY.
1	1 G	Agave attenuata	Foxtail Agave	2' HT x 3' SP	LOW	16	1 G	1 G	Myoporum parvifolium	Myoporum	1' HT x 6' SP	LOW	1
1	5 G	Buxus 'Green Mountain'	Boxwood	5' HT x 3' SP	MOD.	27	4" POTS	4" POTS	Rosmarinus 'Huntington Carpet'	Creeping Rosemary	2' HT x 8' SP	LOW	42
1	5 G	Dietes bicolor	Yellow Fortnight Lily	3' HT x 1' SP	LOW	5	4" POTS	4" POTS	Senecio mandraliscae	Senecio	18" HT x 2' SP	LOW	13
1	1 G	Ficus pumila	Creeping Fig	15' FT x 8' SP	MOD.	8	4" POTS	4" POTS	Vinca minor	Periwinkle	18" HT x 2' SP	LOW	9
1	4" POTS	Gaura lindheimeri	Gaura	3' HT x 2' SP	LOW	32	SOD	SOD	Native Preservation Mix SOD	Koleria macrantha Stipa pulchra Nessella cernua Bolero Plus - From Delta Blue Grass Co.	LOW LOW LOW	NATIVE NATIVE NATIVE	22
1	1 G	Gelsemium sempervirens	Carolina Jessamine	20' HT x 8' SP	MOD.	0	IMPORTANT NOTES:						
1	1 G	Iris douglasiana	Douglas Iris	1' HT x 1' SP	MOD.	40	ALL TREES ALONG 'A STREET' TO BE PRUNED UP TO MINIMUM OF 6'-0" FOR AUTO VISIBILITY.						
1	5 G	Kniphofia uvaria	Torch Lily	4' HT x 3' SP	LOW	14	ROOT BARRIERS ARE REQUIRED WHEN TREES ARE PLANTED CLOSER THAN SEVEN FEET FROM EDGE OF HARDSCAPE INCLUDING STRUCTURES.						
1	1 G	Lantana - Yellow	Lantana	3' HT x 6' SP	LOW	18	JUTE MESH NOTE						
1	5 G	Lavandula angustifolia	English Lavendar	3' HT x 4' SP	LOW	37	INSTALL JUTE MESH TO RUN WITH CONTOURS ON BASIN SLOPES. INSTALL BOTTOM ROWS FIRST. INSTALL NETTING LAP MIN. 18". INSTALL SOIL STABILIZATION GALVANIZED STAPLES AT 12" O.C. NO MULCH IN JUTE MESH AREA.						
1	5 G	Lavandula stoechas	Spanish Lavendar	18" HT x 18" SP	LOW	15	SEE SHEET L-8 FOR PLANTING NOTES & DETAILS						
1	5 G	Leonotis leonurus	Lion's Tail	4' HT x 6' SP	LOW	6	SIGNATURE BLOCK						
1	1 G	Liriope gigantea	Giant Lilyturf	2' HT x 3' SP	MOD.	34	DATE: _____						
1	5 G	Mahonia repens	Creeping Mahonia	2' HT x 3' SP	LOW	42	MR. MICHELLE KOO LANDSCAPE ARCHITECT EXP. XX-XXXX CITY OF HAYWARD						
1	5 G	Myrica californica	Pacific Wax Myrtle	8' HT x 6' SP	LOW	13	DATE: _____						
1	5 G	Olea europaea 'Little Ollie'	'Little Ollie' Olive	4' HT x 4' SP	LOW	26	MR. SAEED SAEBI CITY ENGINEER EXP. XX-XXXX CITY OF HAYWARD						
1	1 G	Penstemon gloxinoides	Red 'Firecracker'	30" HT x 18" SP	LOW	58	DATE: _____						
1	5 G	Rosmarinus officinalis	Rosemary 'Tuscan Blue'	3' HT x 4' SP	V. LOW	14	DATE: _____						
1	5 G	Salvia leucantha	Mexican Sage	3' HT x 3' SP	LOW	3	DATE: _____						
1	5 G	Sarcococca hookeriana	Sweet Sarcococca	4' HT x 4' SP	MOD.	9	DATE: _____						
1	1 G	Verbena 'De La Mina'	Cedros Island Verbena	2' HT x 3' SP	LOW	22	DATE: _____						

ROBERT MOWAT ASSOCIATES
 LANDSCAPE ARCHITECTURE + LAND PLANNING
 1501 N. Broadway Suite 400 Walnut Creek, CA 94596
 Phone 925.705.7424 Fax 925.954.1390
 www.rmatlandscapc.com

Habitat for Humanity
 East Bay/Silicon Valley

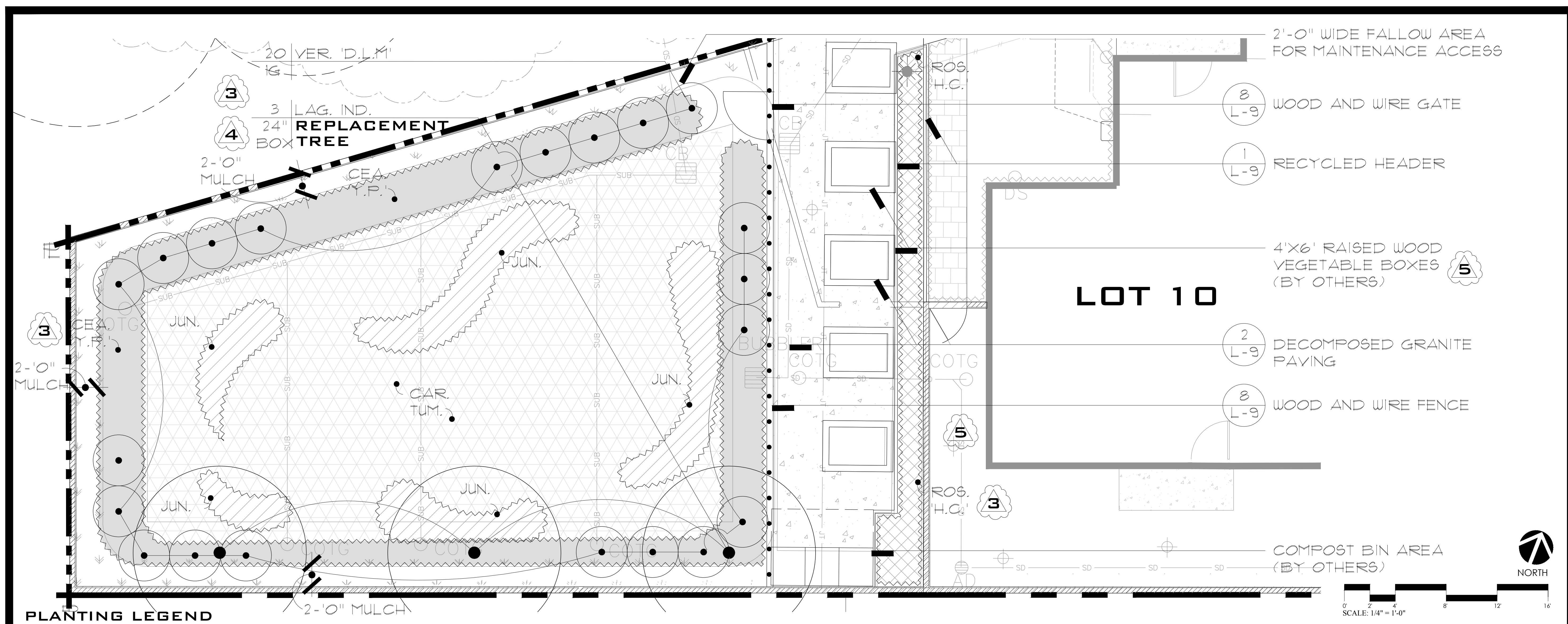
Sequoia Grove
 Hayward, CA

PLANTING PLAN

DATE: 10-26-15
 REVISIONS:
 #1 12-16-15
 #2 02-09-16
 #3 08-20-18
 #4 08-26-19
 #5 03-29-23

SHEET
L-6
 OF 9

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PLANTING LEGEND

TREES							SHRUBS / GROUND COVERS								
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT x SPREAD	WATER USE	QTY.	CA NATIVES	SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT x SPREAD	SPACING	WATER USE	CA NATIVES
		R=REPLACEMENT TREES													
		Ace. rub.	Acer Rubrum 'October Glory' (R)	October Glory Maple	40' HT x 35' SP	MOD.	5		1 G	Ceanothus griseus 'Yankee Point'	Yankee Point Ceanothus	3' HT x 10' SP	@ 10'-0" O.C.	LOW	NATIVE-OWN @ RET. BASIN
		Arb. mar.	Arbutus 'Marina' (R)	Strawberry Tree	45' HT x 50' SP	LOW	10	NATIVE	4" Pots	Carex tumulicola	Foothill Sedge	18" HT x 2' SP	@ 18" O.C.	LOW	NATIVE
		Lag. ind.	Lagerstroemia indica (R)	Crape Myrtle - Purple	35' HT x 25' SP	MOD.	9		4" Pots	Fragaria vesca	Woodland Strawberry	6' HT x 2' SP	@ 18" O.C.	LOW	NATIVE
		Que. ile.	Quercus ilex (R)	Evergreen Oak	60' HT x 60' SP	LOW	4		4" Pots	Gaura lindheimeri	Gaura	3' HT x 2' SP	@ 10" O.C.	LOW	
									4" Pots	Juncus patens	Grey Rush	2' HT x 2' SP	@ 24" O.C.	LOW	NATIVE
									1 G	Myoporum parvifolium	Myoporum	1' HT x 6' SP	@ 72" O.C.	LOW	
									4" Pots	Rosmarinus 'Huntington Carpet'	Creeping Rosemary	2' HT x 8' SP	@ 6'-0" O.C.	LOW	
									4" Pots	Senecio mandraliscae	Senecio	18" HT x 2' SP	@ 24" O.C.	LOW	
									4" Pots	Vinca minor	Periwinkle	18" HT x 2' SP	@ 18" O.C.	LOW	
										Native Preservation Mix SOD	Koleria macrantha			LOW	NATIVE
											Stipa pulchra			LOW	NATIVE
											Nessella cernua			LOW	NATIVE
											Bolero Plus - From Delta Blue Grass Co.				
									SOD	Lawn					
										Mulch - Shredded Bark Mulch; 3" layer; see note #11 on Sheet L-8.					

IMPORTANT NOTE:
ALL TREES ALONG 'A STREET' TO BE PRUNED UP TO MINIMUM OF 6'-0" FOR AUTO VISIBILITY

JUTE MESH NOTE
INSTALL JUTE MESH TO RUN WITH CONTOURS ON BASIN SLOPES. INSTALL BOTTOM ROWS FIRST. INSTALL NETTING LAP MIN. 18" INSTALL SOIL STABILIZATION GALVANIZED STAPLES AT 12" O.C. NO MULCH IN JUTE MESH AREA.

SEE SHEET L-8 FOR PLANTING NOTES & DETAILS

SIGNATURE BLOCK

DATE: _____

MR. MICHELLE KOO | LANDSCAPE ARCHITECT | EXP. XX-XXXX | CITY OF HAYWARD |

DATE: _____

MR. SAEED SAEBI | CITY ENGINEER | EXP. XX-XXXX | CITY OF HAYWARD |

ROBERT MOWAT ASSOCIATES
LANDSCAPE ARCHITECTURE + LAND PLANNING
1501 N. Broadway Suite 400 Walnut Creek, CA 94596
Phone: 925.705.7424 Fax: 925.954.1390
www.rmlandscape.com

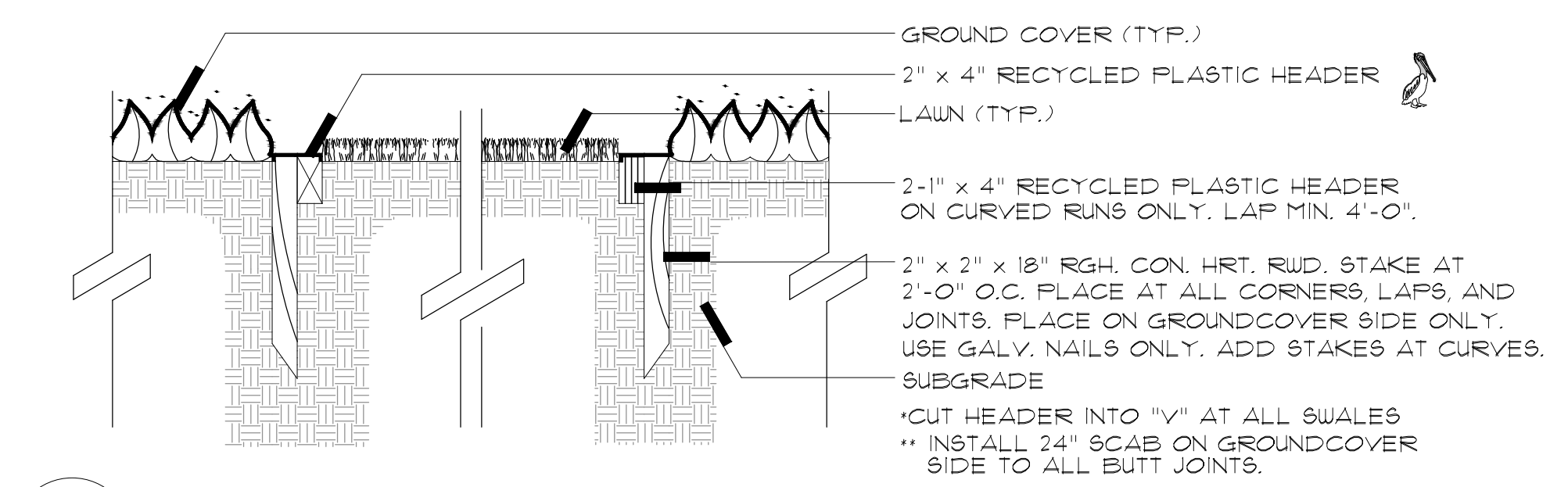
Habitat for Humanity
East Bay/Silicon Valley

Sequoia Grove
Hayward, CA

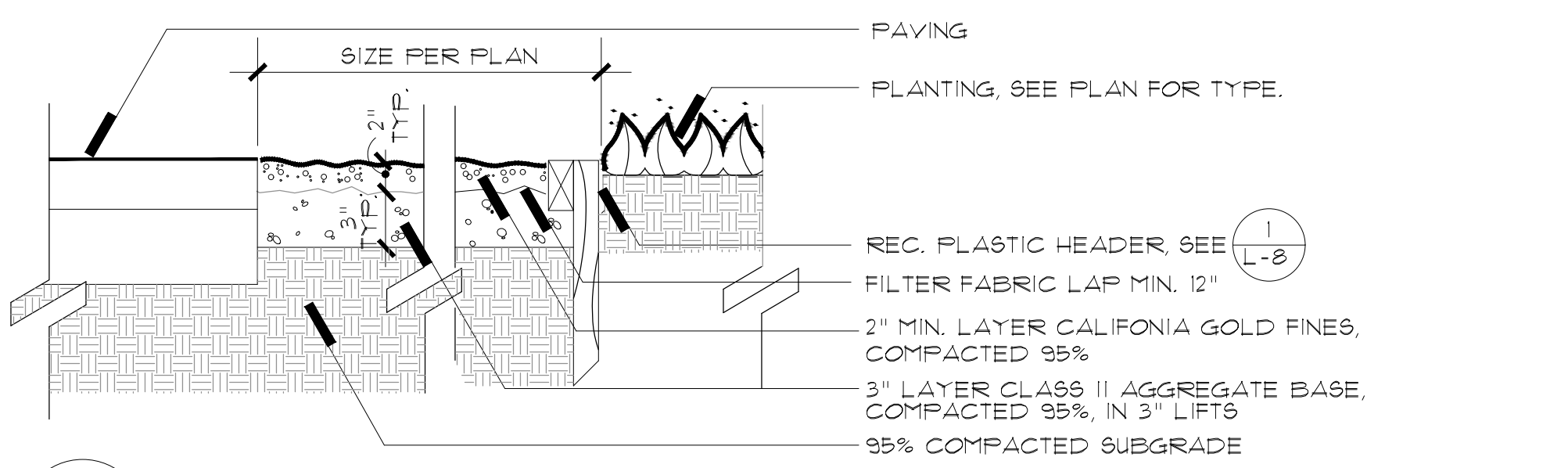
ENLARGED PLANTING PLAN AT RET. BASIN

DATE 10-26-15
REVISIONS 12-16-15
CITY COMMENTS 02-09-16
BASIN REV. 08-21-18
CITY COMMENTS #3 08-26-19
UTILITY REV. & REDWOOD REV. 03-29-23
6-6-23
CITY COMMENTS #4

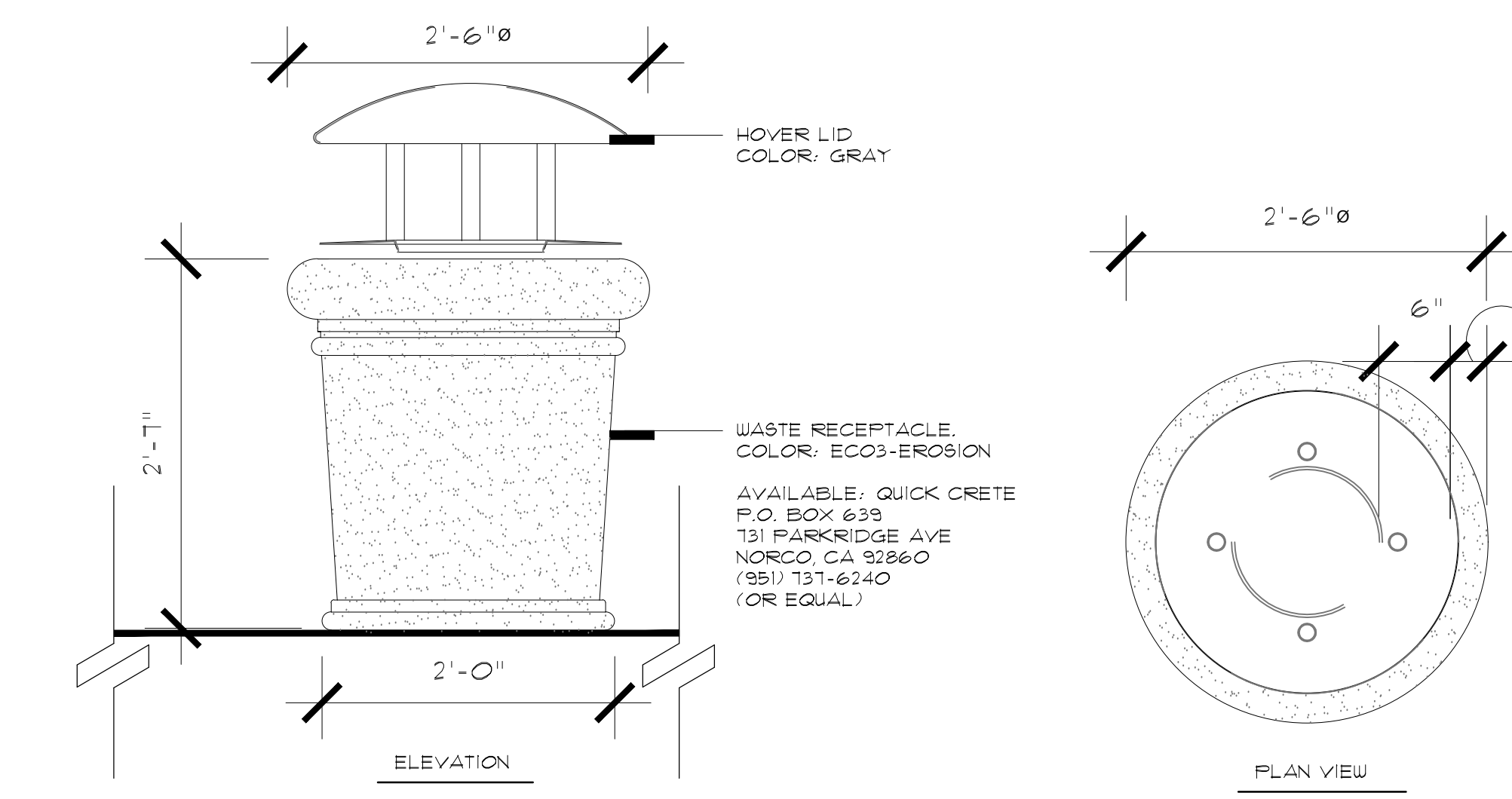
SHEET **L-7** OF 9



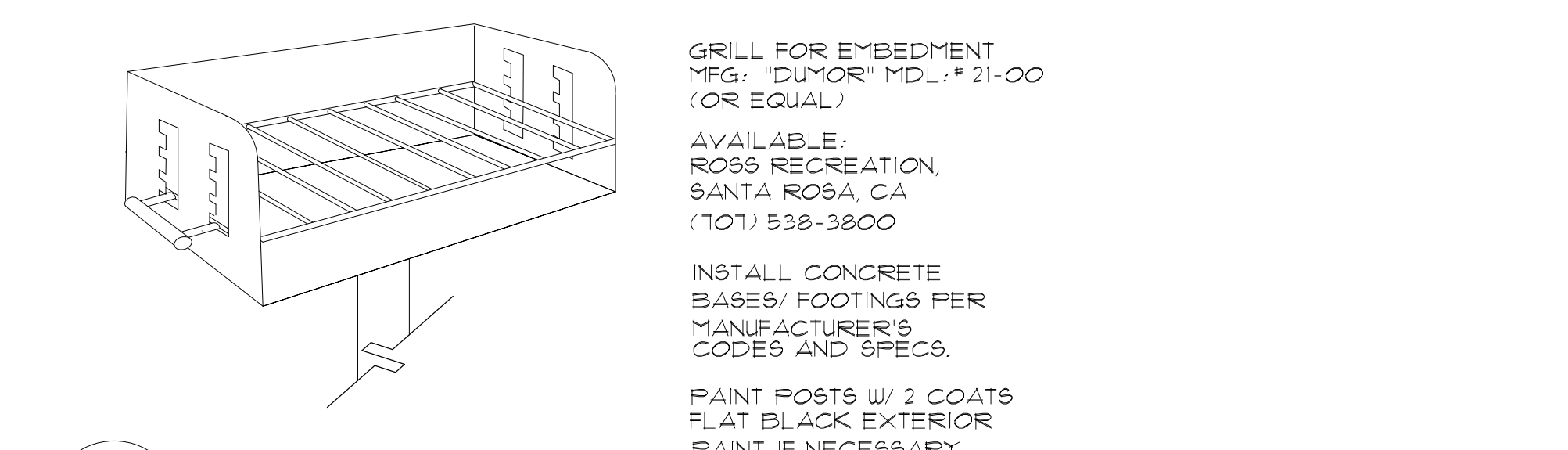
1 RECYCLED PLASTIC HEADER
SCALE: 1" = 1' - 0"
280.01 PLASTIC HEADER



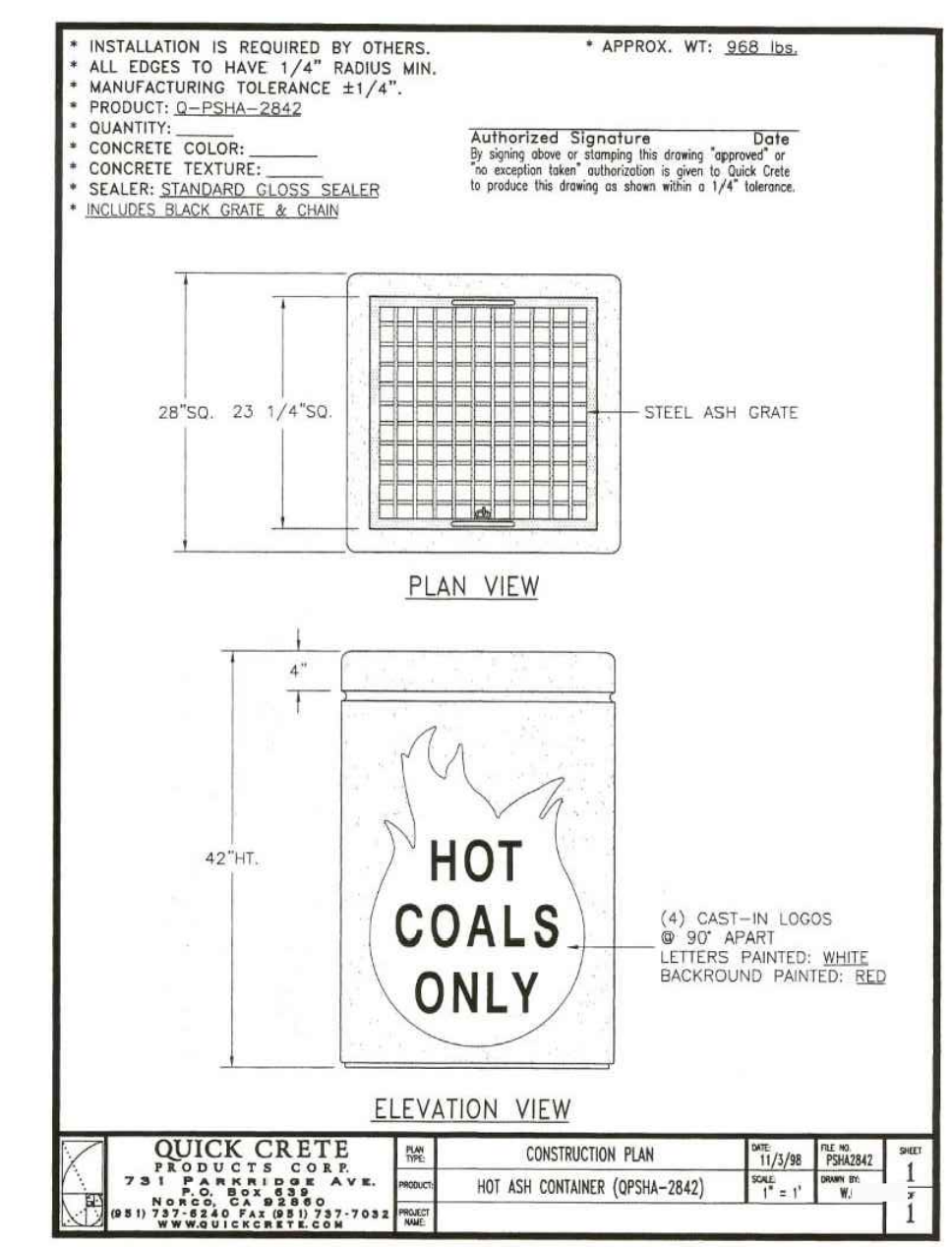
2 DECOMPOSED GRANITE PAVING
SCALE: 1" = 1' - 0"
411.68 DECOMPOSED GRANITE PAVING



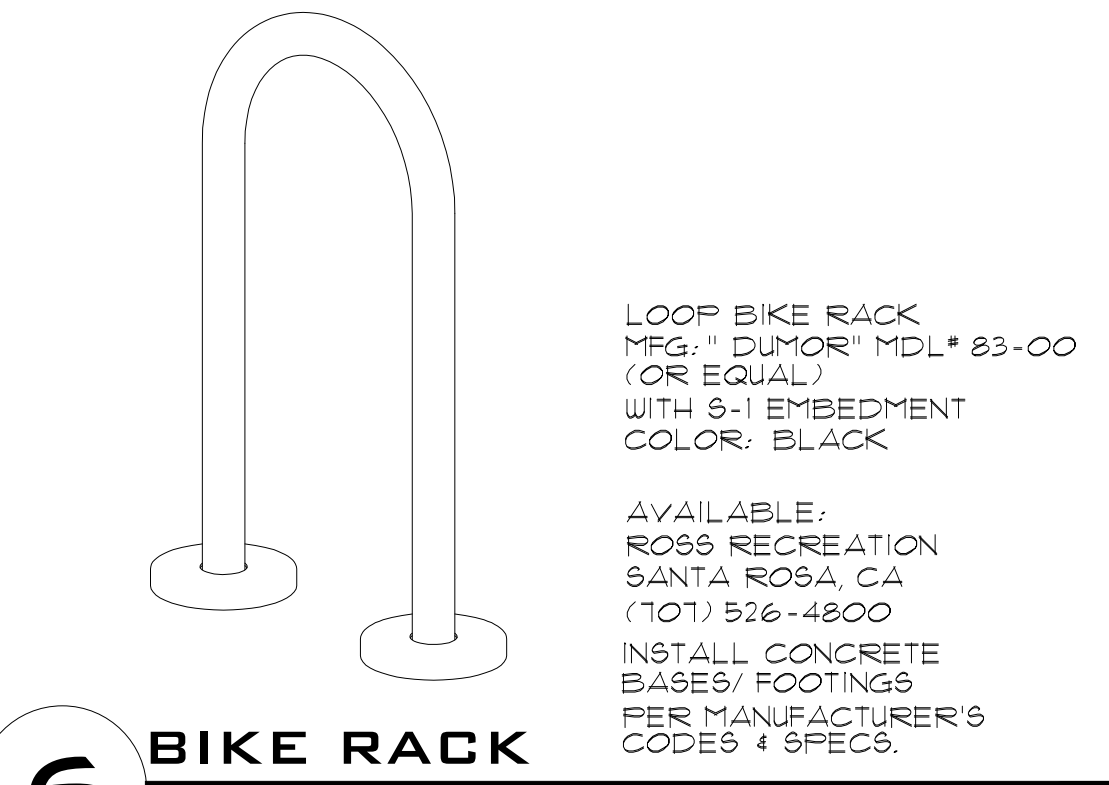
3 TRASH CONTAINER
SCALE: 1" = 1' - 0"
510.15 TRASH CONTAINER



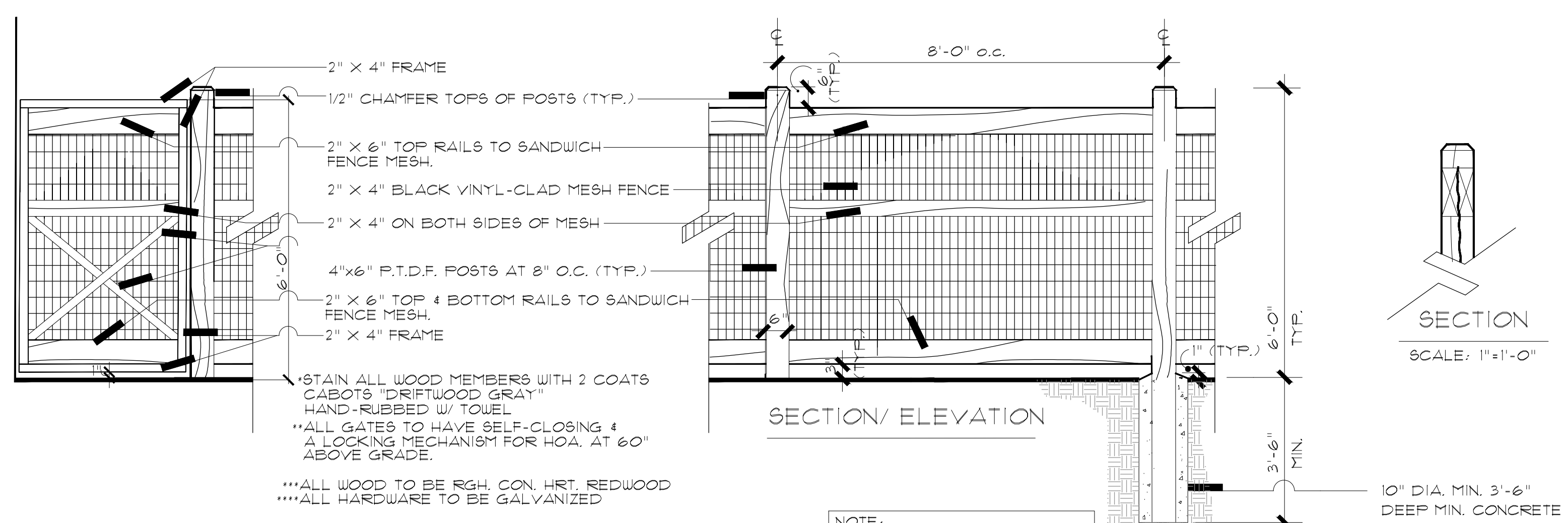
4 BBQ UNITS
NOT TO SCALE
040.63 BBQ UNIT



5 HOT ASH RECEPTACLE (OR EQUAL)
NOT TO SCALE



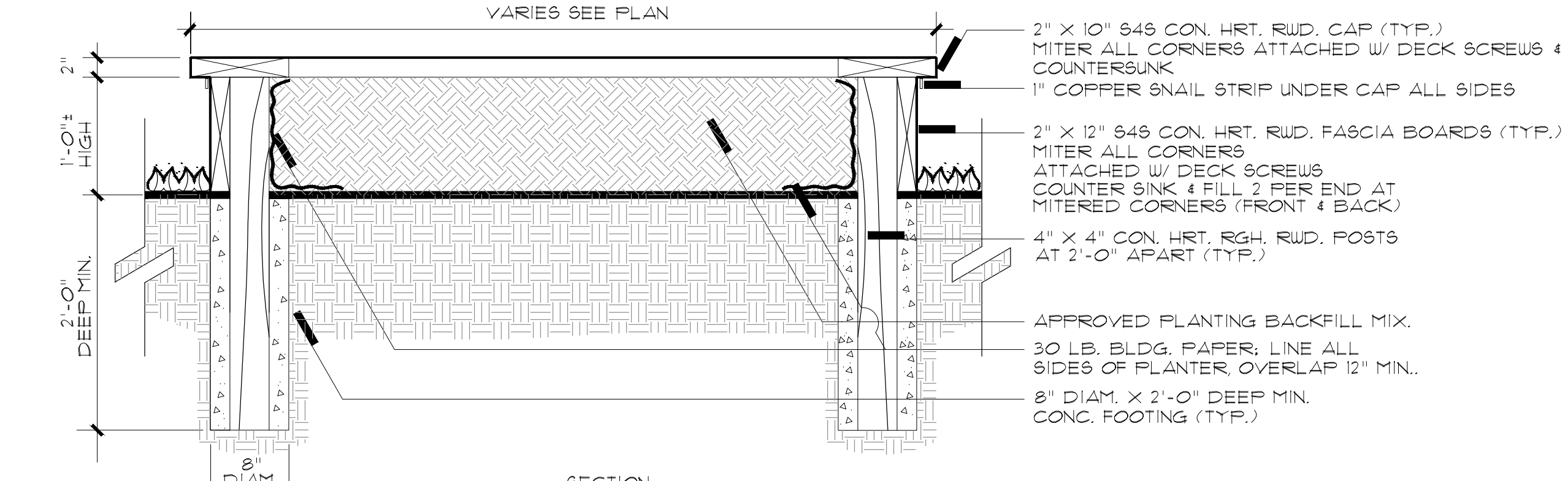
6 BIKE RACK
NOT TO SCALE
060.12 BIKE RACK



7 WOOD FENCE
SCALE: 1/2" = 1' - 0"
181.64 WOOD FENCE



8 WOOD & WIRE FENCE W/ GATE
SCALE: 1/2" = 1' - 0"
181.63 WOOD & WIRE FENCE



9 RAISED VEGETABLE PLANTER BOX
SCALE: 1" = 1' - 0"
431.09 RAISED PLANTER

SIGNATURE BLOCK

	DATE: _____
	MS. MICHELLE KOO LANDSCAPE ARCHITECT EXP. XX-XXXX CITY OF HAYWARD
DATE: _____	DATE: _____
MR. SAIED SAEBI CITY ENGINEER EXP. XX-XXXX CITY OF HAYWARD	

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Hayward, CA

CONSTRUCTION DETAILS

DATE: 10-26-15
REVISIONS:
BASIN REV. 08-20-18

SHEET **L-9** OF 9