



PERSPECTIVE VIEW



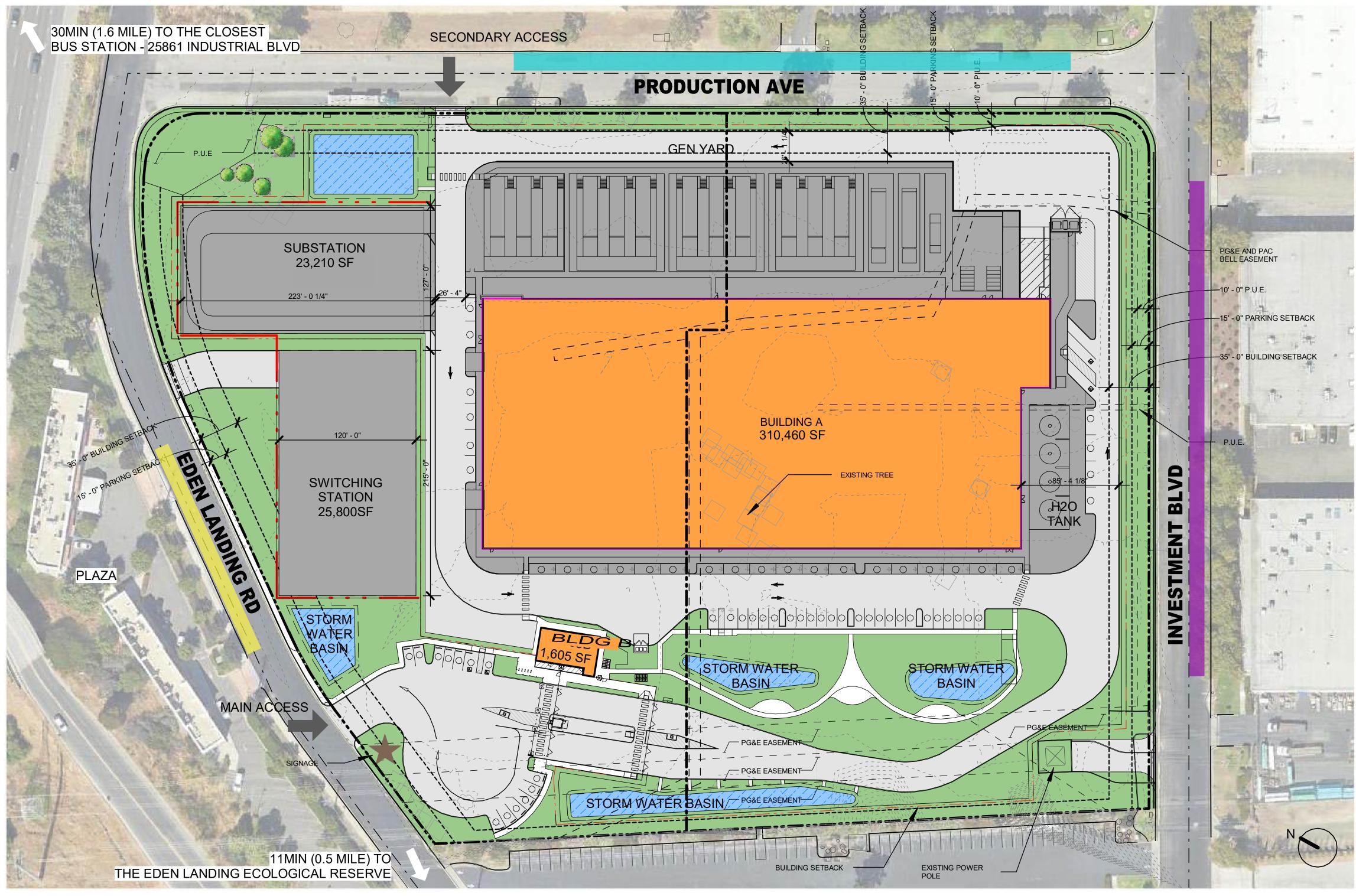
PERSPECTIVE VIEW

PROJECT ADDRES 26062 ED HAYWAR	EN LAN	NDING ROAE 94545)	
PROJECT DELIVE	RY PACKAGE			
SEAL/SIGNATURE				
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MECHANICAL ENGIN ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Dri Suite 5300 Chicago, Illinois 60600 Chicago, Illinois 60600 CIVIL ENGINEER KIMLEY HORN ANTHONY VERA (925) 398-4840	ive	ELECTRICAL ENGINEE ESD GLOBAL REY BERNARDINO (312) 551-8612 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606 STRUCTURAL ENGINE HKS CLINT NASH (214) 969-5599		
Suite 300 Pleasanton, California <u>ARCHITECT</u> HKS DUTCH WICKES (214) 969-5599 One Dallas Center	Pleasanton, California 94588Dallas, Texas 75201ARCHITECT HKSFIRE PROTECTION ENGINEER ESD GLOBALDUTCH WICKES (214) 969-5599MICHAEL PARAS (312) 372-1200One Dallas Center 350 N. Saint Paul Street, Suite 100Suite 5300 chicago,			
ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Dri Suite 5300	TODD GRIMESJON JOLIBOIS(312) 372-1200(415) 616-8822233 South Wacker Drive315 Montgomery StreetSuite 530010th FloorChicago, Illinois 60606San Francisco, California 94104			
BUILDING A SHELL TITLE: ARCHITECTURAL ELEVATION				
ARC		AL ELEVATION		

SITE PLAN



EDEN LANDING RD



FAR: 0.62 **REQUIRED PARKING: 182 Spaces** PARKING PROVIDED: 71 Spaces % LANDSCAPE: 27%







PRODUCTION AVE

SVY03 STACK HAYWARD DATA CENTER



INVESTMENT BLVD



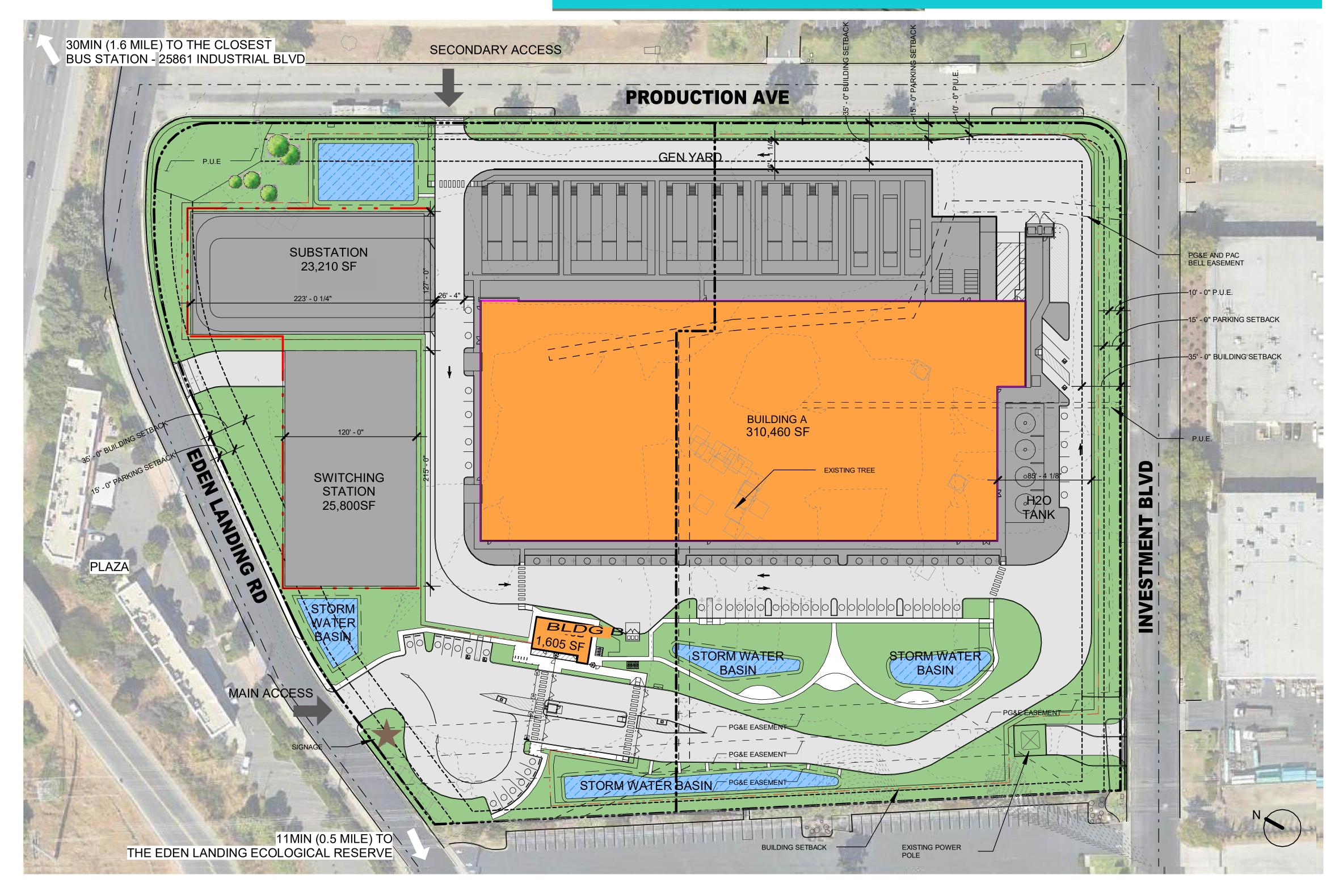




SITE PLAN - WB67 TURNING



EDEN LANDING RD









PRODUCTION AVE

SVY03 STACK HAYWARD DATA CENTER



INVESTMENT BLVD





PRECEDENCE - STACK PROJECTS



MATERIALS: METAL PANELS GLAZING: TINTED





MATERIALS: METAL PANELS GLAZING: TINTED COLORS: GROWN, LIGHT GREY, WHITE





SVY03 STACK HAYWARD DATA CENTER



MATERIALS: METAL PANELS GLAZING: SPANDREL, TINTED COLORS: GREY, BLUE, DARK ACCENTS

COLORS: LIGHT GREY, WHITE





MATERIALS: METAL PANELS, CONC PANELS GLAZING: SPANDREL, TINTED COLORS: SILVER, WHITE, DARK ACCENTS



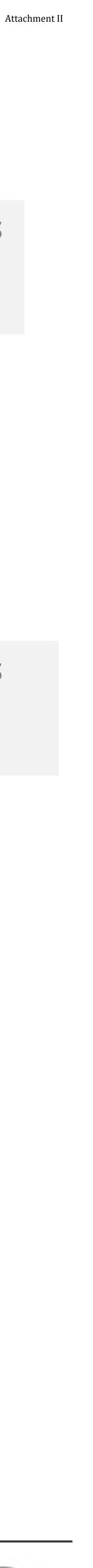
MATERIALS: METAL PANELS, CONC PANELS GLAZING: SPANDREL, TINTED COLORS: SILVER, BEIGE, BROWN ACCENTS



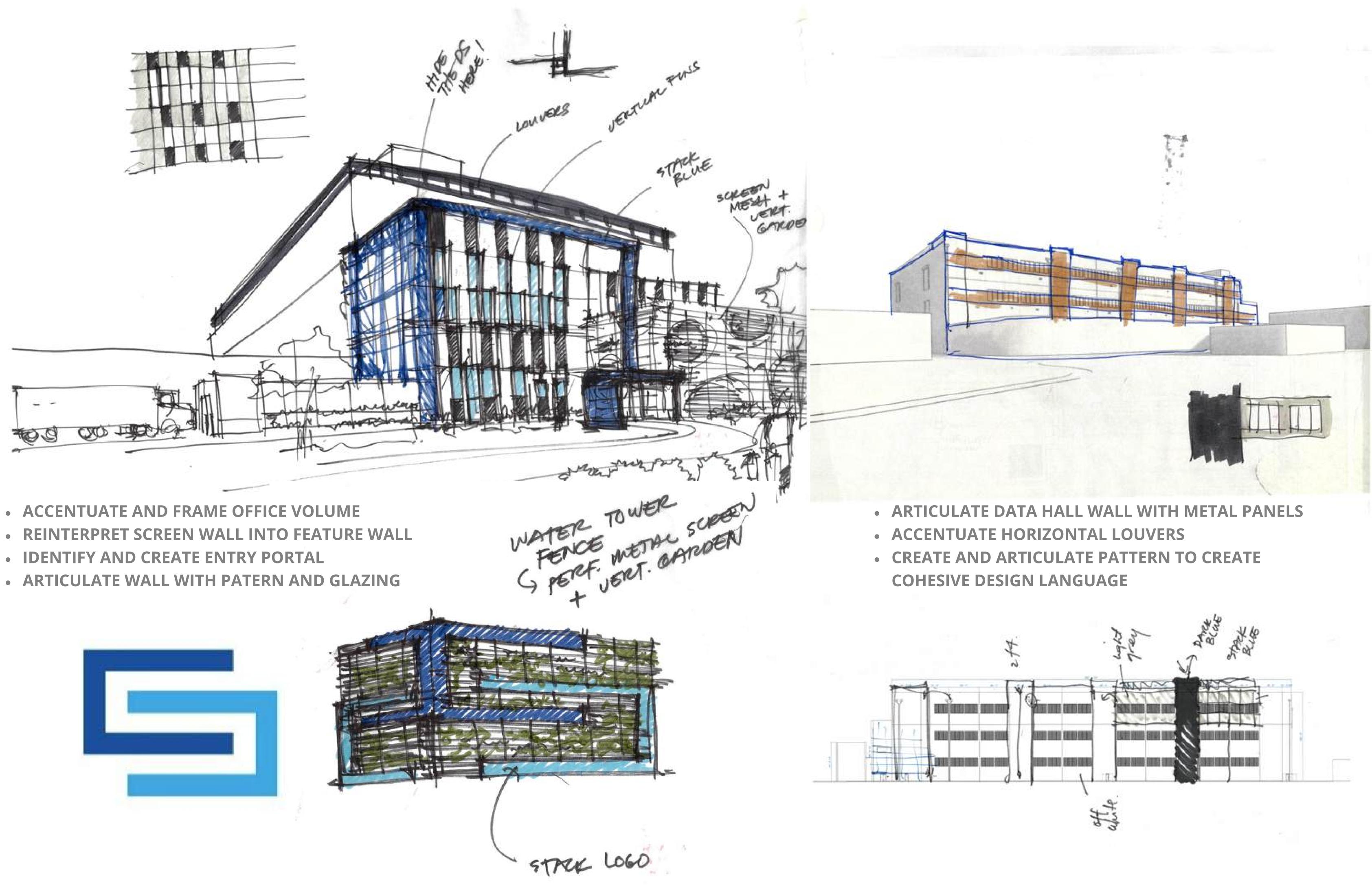
MATERIALS: METAL PANELS GLAZING: SPANDREL, TINTED COLORS: GOLD, SILVER

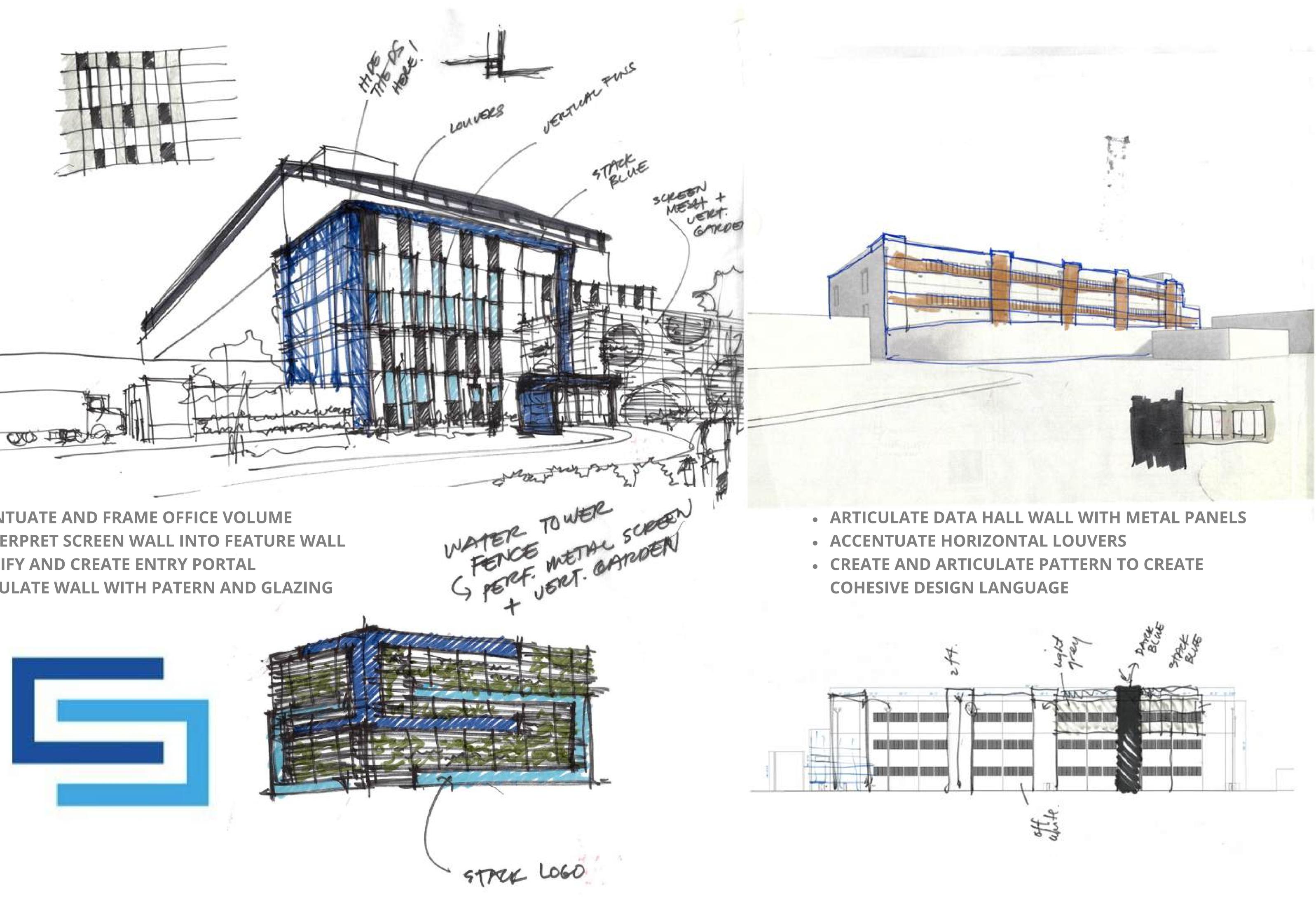






CONCEPT SKETCHES









SVY03 STACK HAYWARD DATA CENTER







CONCEPT STUDY - ENTRANCE VIEW



HAYWARD DESIGN GUIDELINES:

Incorporate architectural features such as awnings, canopies, trellises, (1)and/or other treatments such as vertical architectural features or unique building colors or materials to clearly identify primary building entries.



(2) Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.



Provide articulation and detailing on all 3 trellises, windows, lighting, etc.





Attachment II

COLOR CONSIDERATIONS



LIGHT BLUE LIGHT GREY LIGHT GREY

MATERIAL CONSIDERATIONS





PERFORATED SCREEN

ARCHITECTURAL LOUVERS





CONCRETE PANEL

METAL PANEL

elevations of a building and include elements such as recesses, columns, score lines, reveals,



SVY03 STACK HAYWARD DATA CENTER

CONCEPT STUDY - DATA HALL VIEW



HAYWARD DESIGN GUIDELINES:

(4)



Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height. In general, building wall planes visible from public street should not continue for more than 50 feet without a change in building wall plane direction of 2 feet for more



 Articulation and detailing continue on side elevation through use of windows, awnings, and other detailing



LIGHT BLUE DARK GREY LIGHT GREY

MATERIAL CONSIDERATIONS

Attachment II





PERFORATED SCREEN ARCHITECTURAL LOUVERS



CONCRETE

(6)

METAL PANEL

Provide screening for mechanical and electrical equipment as an integral part of roof structure design.

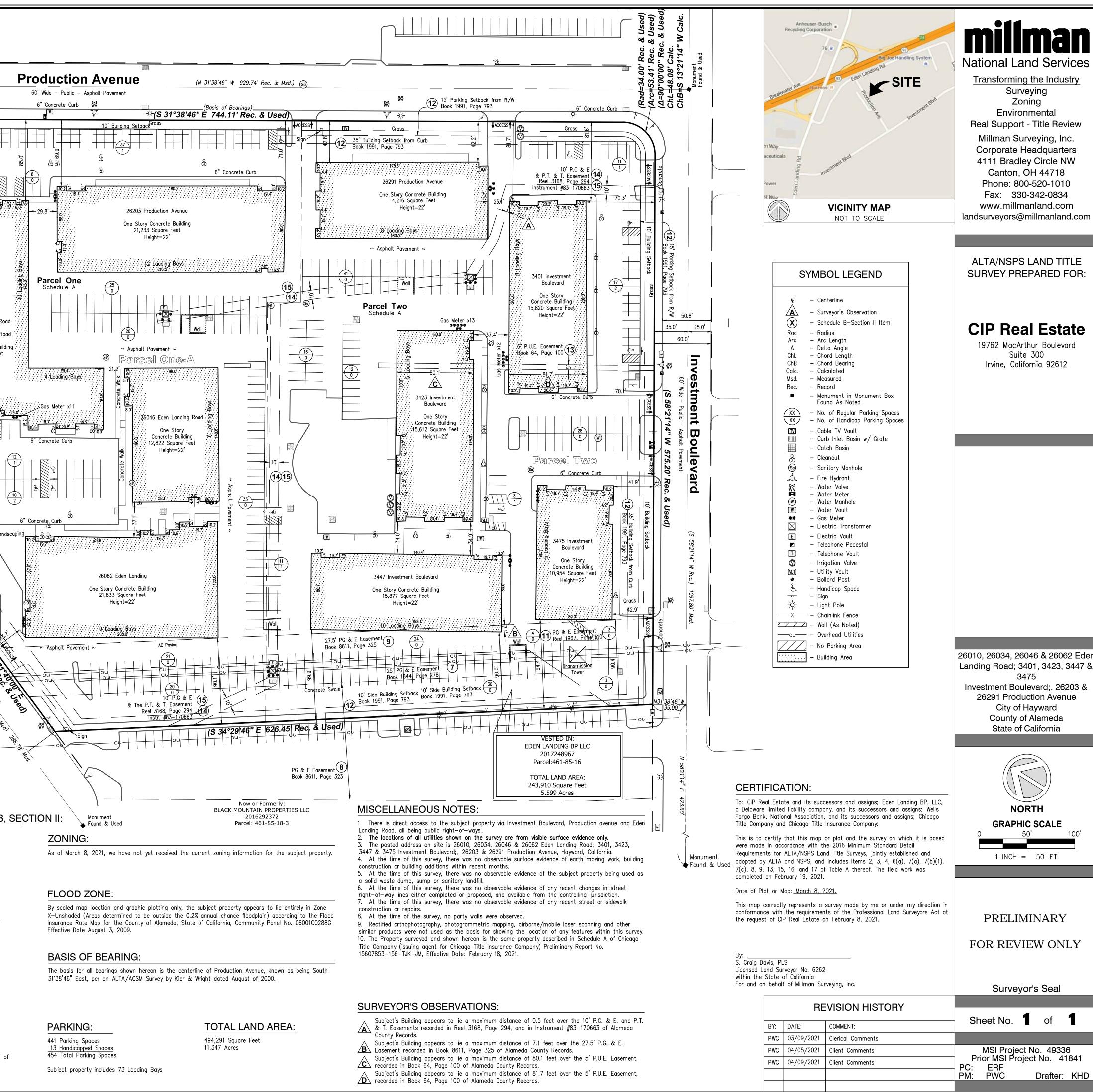






SVY03 STACK HAYWARD DATA CENTER

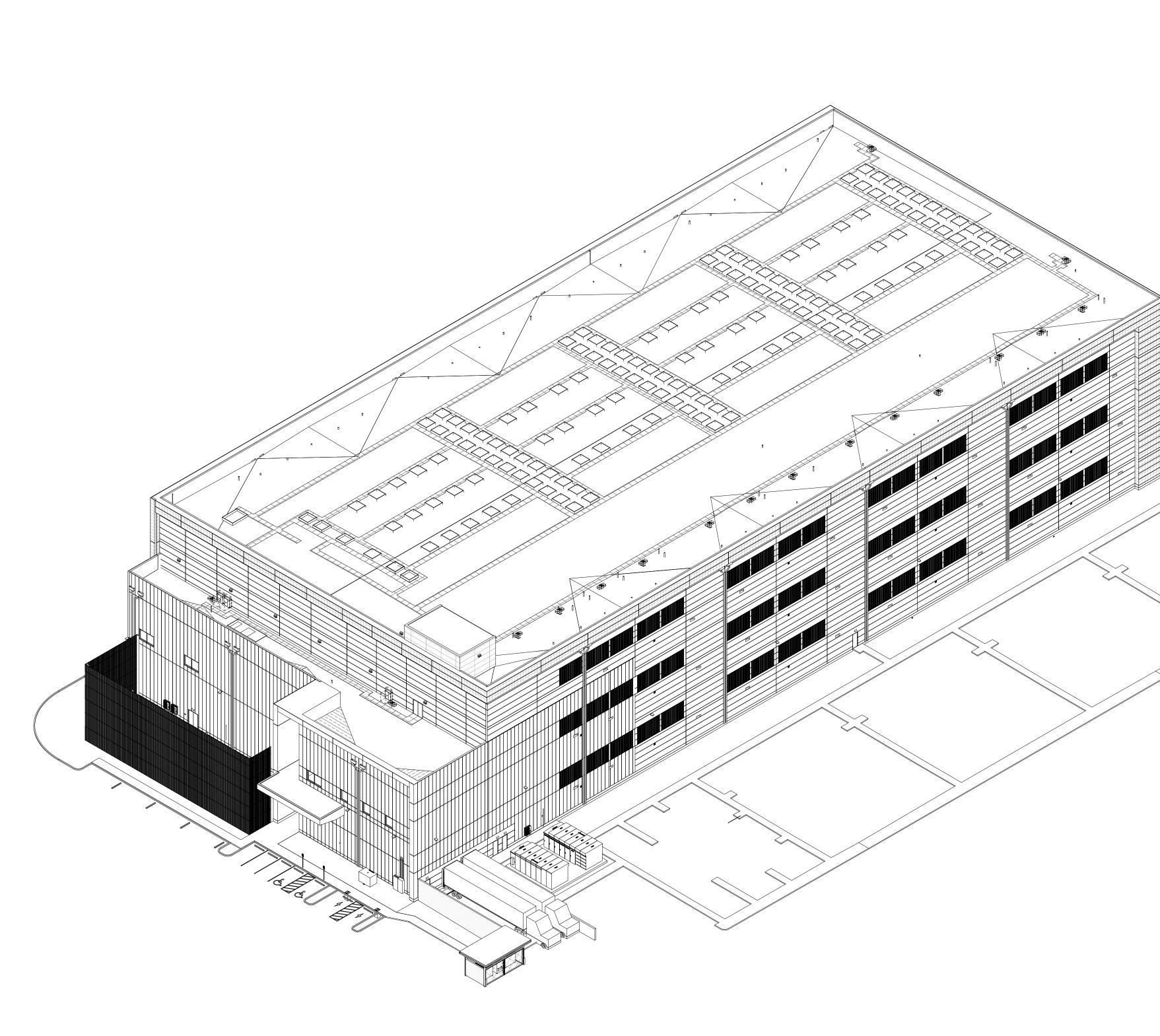
	5607853-156-TJK-JM - SCHEDULE A: OW IS SITUATED IN THE CITY OF HAYWARD, IN THE COUNTY OF ALA	ChL=68.05' Calc.	
Parcel One—B: Being a portion of Production Avenu Eden Landing Industrial Park filed Ju more particularly described as follow Beginning at a point lying on the We terminus of that certain course show	esterly line of said Production Avenue, said point being the Northwe wn as North 31°37'51" West 744.11 feet on said map;	2898 cords, sterly 8 2898 Sords, H Sords, Sords, Sords, Sterly Sords, Sords, Sords, Sords, Sterly Sords, Sord	
coincident with the general Northerly Book 64 of Parcel Maps at Page 10 1. South 67°43'45" West 40.00 feet; 2. North 62°21'43" West 63.60 feet;		71, in Fig. 7 Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution 	
 4. North 01°43'39" East 29.23 feet of in the Relinquishment of Highway Rig No. 31413 recorded January 25, 196 5. Thence North 61°31'18" East 8.94 having a radius of 49.50 feet; 6. Thence Easterly and Southeasterly prolongation of said Westerly line of 7. Thence South 31°37'51" East 52.0 As vacated by the City of Hayward 12019044285, of Alameda County Rec APN: 461-0085-052-01 Parcel Two: 	along last said line to the Southerly line of Eden Landing Road as ght of Way in the County of Alameda, Road 04-ALA-92-3.4-4.5 R 8 on Reel 2114 at Image 872, Official Records of said County; feet along last said line to the beginning of a curve concave Sout y 75.03 feet along said curve through a central angle of 86°50'51" Production Avenue; D5 feet along last said line to the Point of Beginning; in Resolution No. 19-041 recorded March 12, 2019 Instrument No. cords.	herly and to the	
CHICAGO TITLE INSU	ed January 8, 1971, in Book 64, Page 100 of Maps, Alameda County		
	5607853-156-TJK-JM - SCHEDULE B, SE	CTION II:	g Roo
Numbers correspond with survey-relo referenced Title Commitment.	ated Schedule B exception items contained in the above	Statistics of the second secon	•
7. Easement(s) for the purpose(s) sl document:	hown below and rights incidental thereto, as granted in a	2 1 </td <td>Feet</td>	Feet
Recording Date: December 19, 191 Recording No.: Book 1844 of Dee Affects: Portion of Parcels	Distribution of Electricity 0 eds, Page 278 5 One and Two, and as shown on Parcel Map 660 971, Parcel Map Book 64, Page 100, of Official Records	& Used) &	
	hown below and rights incidental thereto, as granted in a		
Granted to: Pacific Gas and E Purpose: Transmission and Recording Date: March 5, 1958	lectric Company Distribution of Electricity 323, of Official Records		
Affects: Portion of Parcels	971, Parcel Map Book 64, Page 100, of Official Records.		
easement document shown hereinabc		Pulling Settland Crass	
		Agennal Powers	Land
Recording Date: March 5, 1958 Recording No.: Book 8611, Page Affects: Portion of Parcels	lectric Company Distribution of Electricity 325, of Official Records 3 One and Two, and as shown on Parcel Map 660, 971, Parcel Map Book 64, Page 100, of Official Records.	(Rad=370.03' Rec. & Used) (Arc=79.27' Rec. & Used) Δ=12°16'27" Rec. & Used) ChL=79.12' Calc. ChB=N 27°48'14" E Calc.	
Limitations on the use, by the owner easement document shown hereinabc	rs of said Land, of the easement area as set forth in the ove.	CIID-N 27 46 14 E Calc.	
Reference is hereby made to said do (AFFECTS THE SUBJECT PROPERTY —			
maintenance of a contiguous freeway November 27,1963, Book/Reel 1055,	- AREA DESCRIBED IS WITHIN THE CURRENT DEDICATED	VESTED IN: EDEN LANDING BP LLC Parcel: 461-85-52-1 TOTAL LAND AREA: 250,381 Square Feet 5.748 Acres	A.I. Rec.
11. Easement(s) for the purpose(s) s document:	shown below and rights incidental thereto, as granted in a		.) & W
Recording Date: May 22, 1967 Recording No.: Reel 1967, Image Affects: Portion of Parcel filed January 8, 19	Distribution of Electricity 510, of Official Records Two, and as shown on Parcel Map 660, 971, Parcel Map Book 64, Page 100, Official Records.		
easement document shown hereinabo Reference is hereby made to said do		CHICAGO TITLE INSURANCE COMPANY	
(AFFECTS THE SUBJECT PROPERTY -		COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE	,
including but not limited to those bo status, marital status, disability, han gender identity, gender expression, m	used upon race, color, religion, sex, sexual orientation, familial dicap, national origin, ancestry, source of income, gender, nedical condition or genetic information, as set forth in ept to the extent that said covenant or restriction is	 14. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in document: Granted to: Pacific Gas and Electric Company Purpose: Public utilities 	a
Recording Date: June 30, 1967	793, of Official Records	Recording Date: July 8, 1971 Recording No.: Reel 2894, Image 770, of Official Records Affects: Portion of Parcels One and Two	
Modification(s) of said covenants, co	nditions and restrictions	and Recording Date: June 28, 1972 and Recording No.: Reel 3168, Image 294, of Official Records	
	850, of Official Records	Notice of Location Recorded by Pacific Gas and Electric Company and Recorded April 27, 197 Reel 3117, Image 962, Official Records.	
Modification(s) of said covenants, co Recording Date: May 18, 1973 Recording No.: Reel 3420, Image	499, of Official Records	The terms and provisions contained in the Document Entitled "Relocation Agreement" Records June 20, 1997, as Instrument No. 97—154100, of Official Records.	
(Affects Parcels One and Two)	s to building and parking setbacks – plotted and	Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.	ıe
SHOWN HEREON)	shown below and rights incidental thereto as delineated or as	Reference is hereby made to said document for full particulars. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)	~
offered for dedication, on the map of Purpose: Public utilities		15. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in document: Granted to: The Pacific Telephone & Telegraph Company	a
Affects: Portion of Parcels	9 One and Two, as shown on Parcel Map 660, 971, Parcel Map Book 64, Page 100, of Official Records. 9 PLOTTED AND SHOWN HEREON)	Purpose: Public utilities Recording Date: September 15, 1983 Recording No.: 83-170663, of Official Records Affects: Portion of Parcels One and Two, whose exact location cannot be determin record. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)	ied of



Attachment II

100'







STRUCTUR

SCOPE OF

NOTES OF

BUILDING A

BUILDING DATA

JRAL TYPE	FLEX WAREHOUSE AND COMMERCIAL OFFICE
	COMPUTER DATA CENTER AND RELATED OFFICE AREA
OF WORK	NEW COLD DARK AND WET SHELL, TO HAVE SUBSEQUENT PHASED INTERIOR E
F OCCUPANCY	STORAGE ROOMS ARE TO CONTAIN COMPUTER AND MECHANICAL EQUIPMENT COMPONENTS, STORAGE ROOMS ARE NOT INTENDED TO STORE ANY HAZARD FLAMMABLE COMBUSTIBLE LIQUIDS OR CORROSIVE / TOXIC MATERIALS
	THE PRIMARY PURPOSE OF THIS PROJECT IS TO HOUSE COMPUTER EQUIPME INFRASTRUCTURE. THE DATA HALL WILL BE OCCUPIED ONLY DURING PERIODI WORK

R BUILD OUT

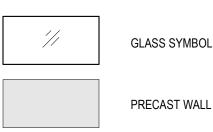
NT SPARE PARTS AND RDOUS MATERIALS SUCH AS

MENT AND ITS SUPPORTING DIC MAINTENANCE AND SERVICE

project address 26062 EDEN I HAYWARD, C	LANDING ROAD A 94545		
PROJECT DELIVERY PAC	KAGE		
SEAL/SIGNATURE			
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ISSUE DATE: DESIGNED: HKS MARK DATE	PROJECT NO: 25691.000 ARCHITECT: HKS DESCRIPTION		
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CIVIL ENGINEER KIMLEY HORNSTRUCTURAL ENGINEER HKSANTHONY VERA (925) 398-4840CLINT NASH (214) 969-55994637 Chabot Drive Suite 300 Pleasanton, California 94588One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201			
ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite Dallas, Texas 75201 <u>TELECOM ENGINEER</u>	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive e 100 Suite 5300 chicago, Illinois 60606 SECURITY ENGINEER		
ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606 PROJECT:	GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104		
TITLE: PROJEC	T COVER SHEET		
DRAWING: E1 SCALE:	AGILE No: REV:		

ARCHITECTURAL LEGEND

ALL DETAIL REFERENCE APPLY TO ALL APPLICAE DET# SHEET# LEEVATION TAG: REFEF DRAWING INDICATED SECTION TAG: REFER T DRAWING INDICATED	R TO ELEVATION NUMBER ON		x'-xx" x'-xx"	ACOUSTICAL CEILING AND GRID CEILING HEIGHT CHANGE SYMBOL FINISH CEILING HEIGHT SYMBOL GRID STARTPOINT SYMBOL CEILING FINISH TAG
DET# SHEET# DRAWING INDICATED SECTION TAG: REFER T DRAWING INDICATED	O SECTION NUMBER ON		x'-xx"	FINISH CEILING HEIGHT SYMBOL GRID STARTPOINT SYMBOL
DET# SHEET# SHEET# SHEET# SHEET# SHEET#			(-X")	GRID STARTPOINT SYMBOL
SHEET# DRAWING INDICATED			•	GRID STARTPOINT SYMBOL
SHEET# DRAWING INDICATED			т 	
	R. AND SCALE			
	R. AND SCALE		MS	MOTION SENSOR
	R. AND SCALE		S	
1 TITLE DRAWING TITLE, NUMBE	,		3	CEILING MOUNTED SPEAKER
EET# SCALE				CEILING MOUNTED CAMERA
TRUE NORTH			♦ ─	CEILING MOUNTED SPRINKLER HEAD
NORTH REFERENCE		<	\rightarrow	CEILING MOUNTED SMOKE DETECTOR
			¤	CEILING MOUNTED STROBE LIGHT
		 ● ‡ ● ‡ 	€‡ 1€1 ⊗ 1⊗	CEILING MOUNTED EXIT SIGNS
01.578 A1 NSE1 DOOR IDENTIFICATION 1	ΓAG			WALL MOUNTED EXIT SIGNS - PARALLEL
1 A2A PARTITION TYPE IDENTI	FICATION TAG			WALL MOUNTED EXIT SIGNS - PERPENDICULAR
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			R	DENOTES EXISTING TO BE RELOCATED
1t WINDOW TYPE IDENTIFIC	CATION TAG	<		ACCESS DOOR
		LIGHT FIXT	TURES	
ROOM NAME 00.000	ATION TAG	Г		FLUORESCENT LIGHT FIXTURE
				FLUORESCENT LIGHT FIXTURE / EMERGENCY CIRCUIT
				EXISTING LIGHT FIXTURE TO BE REMOVED
(PL01) BATHROOM ACCESSORI	IES TAG			UNDER CABINET FLORESCENT FIXTURE
		F		FLUORESCENT STRIP FIXTURE
~		⊦ ⊶	 ₽	FLUORESCENT PENDANT FIXTURE
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·			•	RECESSED WALL WASHER
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1 / A201.01 SHEET REFERENCE AND	MATCHLINE		ф N	
			V ¢	WALL SCONCE
			₽ D	LIGHT SWITCH
			\$	DIMMER SWITCH
9'-0" AFF		MECHANIC	AL FIXTURES	
		ſ		RETURN AIR
		L L	\leq	SUPPLY AIR
		L		
			0	CIRCULAR DIFFUSER
			0	EXHAUST FAN
			~	



GLASS SYMBOL

ARCHITECTURAL ABBREVIATIONS

£	BRITISH POUND (CURRENCY)	ELAST	ELASTOMERIC	LAV	LAVATORY
\$	DOLLAR (US CURRENCY)	ELEC	ELECTRICAL	LB	POUND
&	AND	EMBED	EMBEDD(ED)(ING)	LP	LOW POINT
		ENGR	ENGINEER(ED)	LT	LIGHT
ACCESS	ACCESSORY	ENTR	ENTRANCE	LVLG	LEVELING
ACOUS	ACOUSTIC(AL)	EQ	EQUAL	LVT	LOUVER
\FF	ABOVE FINISHED FLOOR	EQUIP	EQUIPMENT		
AL.	ALUMINUM	EPS	EXPANDED POLYSTYRENE	MAX	MAXIMUM
ALT	ALTERNATE	EXIST	EXISTING	MECH	MECHANICAL
	ANNUNCIATOR	EXP JT	EXPANSION JOINT	MEMB	MEMBRANE
ANOD	ANODIZED	EXPS	EXPOSE(D)	MET	METAL
APPL	APPLIANCE	EXT	EXTERIOR	MEZZ	MEZZANINE
ARCH	ARCHITECT(URAL)	LAI	EXTENION	MFD	MANUFACTURED
UTO	AUTOMATIC	FAB	FABRICATION	MFR	MANUFACTURER
٨VG	AVERAGE	FD	FLOOR DRAIN	MIN	MINIMUM
		FE	FIRE EXTINGUISHER	MISC	MISCELLANEOUS
BCS	BABY CHANGING STATION	FEBR	FORCED ENTRY BULLET RESISTANT	MLWK	MILLWORK
3D	BOARD	FEC	FIRE EXTINGUISHER AND CABINET	MOIST	MOISTURE
BLDG	BUILDING	FHC	FIRE HOSE AND CABINET	MOT	MOTOR(IZED)
BLKG	BLOCKING	FIN	FINISH	MTD	MOUNTED
BOLLD	BOLLARD	FLDG	FOLDING	MU	MIRROR UNIT
BRDLM	BROADLOOM	FLR	FLOOR(ING)		
30	BUILT UP	FPLC	FIREPLACE	NIC	NOT IN CONTRCT
		FR	FIRE RAT(ING)(ED)	NO	NUMBER
CAB	CABINET	FRJS	FIRE RESISTIVE JOINT SEALANT	NTS	NOT TO SCALE
CEM	CEMENT(ITIOUS)	FRMG	FRAMING		
CER	CERAMIC	FURN	FURNITURE	OPNG	OPENING(S)
	CAST-IN-PLACE	FWC	FABRIC WALL COVERING	OPR	OPERABLE
CLG	CEILING	FXD	FIXED	ORD	OVERFLOW ROOF DRAIN
CMU	CONCRETE MASONRY UNIT	FXTR	FIXTURE	ORNA	ORNAMENTAL
COATG	COATING	0.1	041105	OVFL	OVERVLOW
COILG	COILING	GA	GAUGE	OVHD	OVERHEAD
CONC	CONCRETE	GFRC	GLASS FIBER REINFORCED CONCRETE		
CONSTR	CONSTRUCTION	GFRG	GLASS FIBER REINFORCED GYPSUM	PBD	PARITICLE BOARD
CONT	CONTINUOUS(ATION)	GFRP	GLAS FIBER REINFORCED PLASTER	PDC	POWER DISTRIBUTION CABINET
CONTR	CONTRACT(OR)	GL	GLASS	PEDR	PEDESTRIAN
COV	COVER	GR	GRAD(E)(ING)	PFHO	POWER FACILITIES HAND OFF
CPT	CARPET	GYP	GYPSUM	PLAM	PLASTIC LAMINATE
CRC	COMBINATION RECESSED CABINET			PLAS	PLASTER
CSH	COMMON SUPPLY HEADER	HD	HEAD	PLSTC	PLASTIC
-		HDPE	HIGH DENSITY POLYETHYLENE	PLYWD	PLYWOOD
DAHU	DATA HALL AIR HANDLING UNIT	HDWD	HARDWOOD	PNL	PANEL
BL	DOUBLE	HDWE	HARDWARE	POLYST	POLYSTRENE
)EPT	DEPARTMENT	HM	HOLLOW METAL	PORT	PORTABLE
DES	DESIGN(ED)	HORIZ	HORIZONTAL	PREFAB	PREFABRICATED
	DETAIL	HP	HIGH POINT	PREFIN	PREFINISHED
DET					
)F		HVAC	HEATING, VENTILATIING, AND AIR CONDITIONING	PRTECN	PROTECTION
	DIAMETER			PTD	PAPER TOWL DISPENSER
DIFF	DIFFUSER	INFILTR	INFILTRATION	PTN	PARTITION
DIM	DIMENSION	INFO	INFORMATION		
DISP	DISPENSER	INSTRUM	INSTRUMENT(ATION)		
DIV	DIVISION	INSUL	INSULATION		
ON	DOWN	INT	INTERIOR		
DR	DOOR	INTLK	INTERLOCK(ING)		
DSCON	DISCONNECT		、 <i>,</i>		
DWG	DRAWING	JAN	JANITOR		
-	-	KEE	KETONE ETHYLENE ESTER		

SECTIONS INDICATIONS

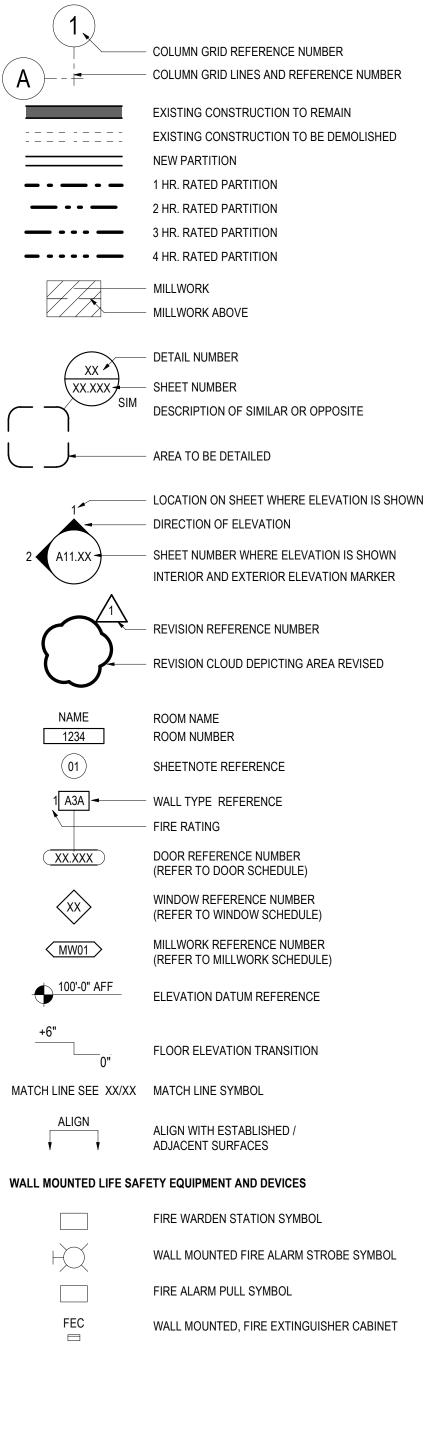
	ACOUSTICAL CEILING TILE
	ALUMINUM
	BRICK
	CARPET
4	CONCRETE
	CONCRETE MASONRY UNIT
	CUT STONE
	EARTH
	FABRIC WRAPPED PANEL
	GLASS
	GRAVEL
	GYPSUM PLASTER
	INSULATION (LOOSE OR BAT
	INSULATION (RIGID)
	METAL
	PLASTIC
	PLYWOOD
a a	PRE-CAST PANELS
	SAND OR GROUT
	STONE
	WOOD (FINISHED)
	WOOD (CONTINUOUS MEMBE
	WOOD (INTERRUPTED MEMB

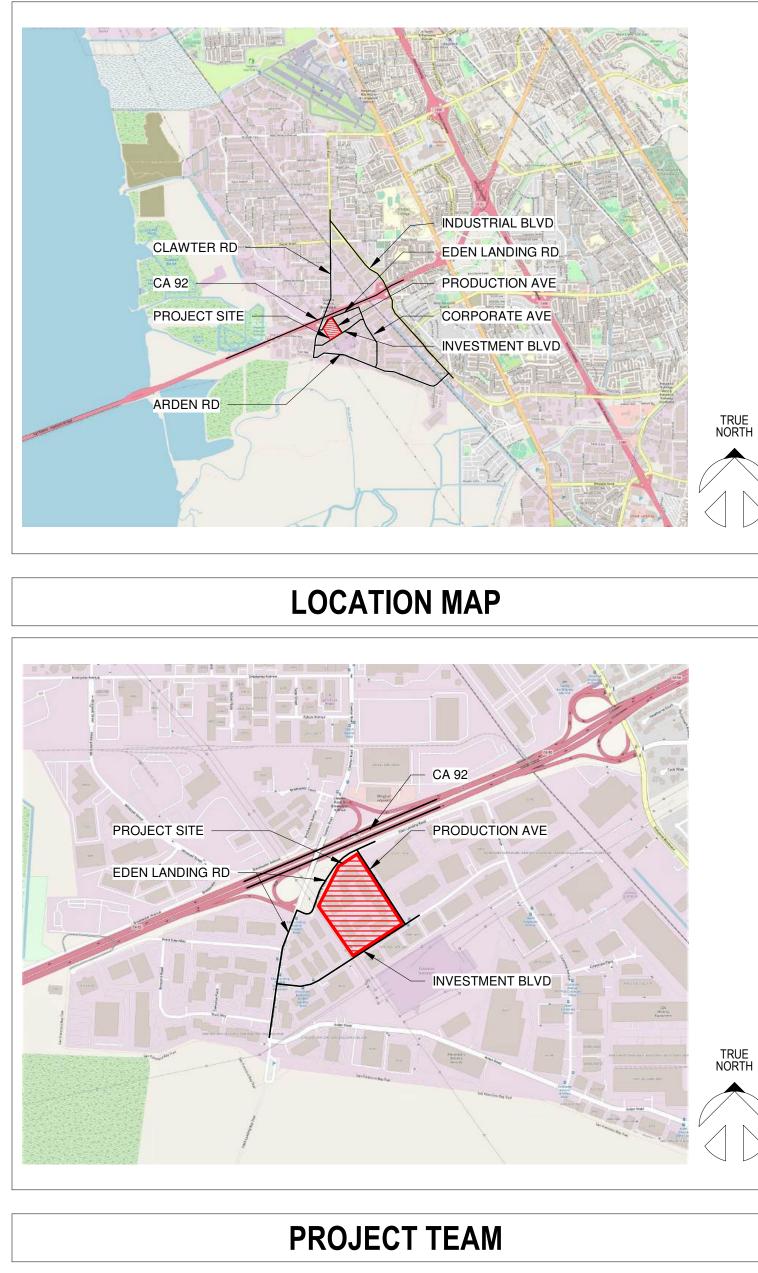
FINISH

XXXX XXXX	WALL FINISH TAG BASE FINISH TAG
/	- EXTENT OF FINISH TYP.
	WALL FINISH TAG
XXXX	SPECIAL FINISH TAG
XXXX	FLOOR FINISH TAG
XXXX	CEILING FINISH TAG
	CHANGE IN FLOOR FINISH

CUT STONE
EARTH
FABRIC WRAPPED PANEL
GLASS
GRAVEL
GYPSUM PLASTER
INSULATION (LOOSE OR BATT)
INSULATION (RIGID)
METAL
PLASTIC
PLYWOOD
PRE-CAST PANELS
SAND OR GROUT
STONE
WOOD (FINISHED)
WOOD (CONTINUOUS MEMBER)
WOOD (INTERRUPTED MEMBER)

CONSTRUCTION





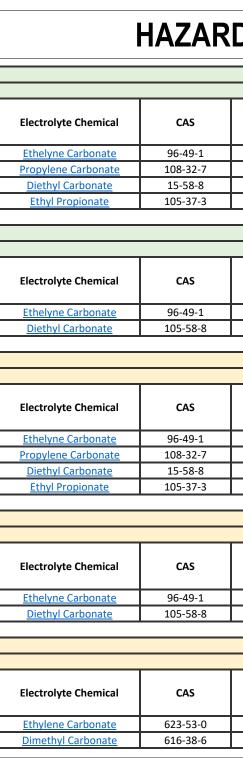
Architectural Firm: HKS Architect of Record: DUTCH WICKES Architectural Firm's Phone Number: (214) 969-5599 Architectural Firm's Address: ONE DALLAS CENTER 350N. SAINT PAUL STREET, SUITE 100, DALLAS, TEXAS 75201

Civil Firm: KIMLEY HORN Civil Engineer of Record: ANTHONY VERA Civil Firm's Phone Number: (925) 398-4840 Civil Firm's Address: 4637 CHABOT DRIVE SUITE 300, PLEASANTON, CA94588

Structural Firm: HKS Structural Engineer of Record: CLINT NASH Structural Firm's Phone Number: (214) 969-5599 Structural Firm's Address: ONE DALLAS CENTER 350N. SAINT PAUL STREET, SUITE 100, DALLAS, TEXAS 75201

Electrical Firm: ESD GLOBAL Electrical Engineer of Record: REY BERNARDINO Electrical Firm's Phone Number: (312)-551-8612 Electrical Firm's Address: 233 SOUTH WACKER DRIVE SUITE 5300, CHICAGO, ILLINOIS 60606

RCP RD RDL RDR RECES RECPT REF REFL REFR REINF REQD RESIL RESIS RFG RM RO RP	REFLECTED CEILING PLAN ROOF DRAIN ROOF DRAIN LEADER READER RECESSED RECEPTACLE REFER(ENCE) REFLECTED REFRIGERATOR REINFORCED (D) (ING) (MENT) REQUIRED RESILIENT RESIST(ANT)(IVE) ROOFING ROOM ROUGH OPENING RESTROOM PARTITION	W/ W/O WD WDW WR WT WTRPRF XPS	WITH WITHOUT WATER CLOSET WOOD WINDOW WASTE RECEPTACLE WEIGHT WATERPROOFING EXTRUDED POLYSTYRENE
SCD SCR SD SECUR SF SG SHORG SIM SNDU SNV SST STD STL STRFR STRUCT SURF SUSP SYS	SEAT COVER DISPENSER SCRIBE SOAP DISPENSER SECURITY SQUARE FEET SINGLE SHORING SIMILAR SANITARY NAPKIN DISPOSAL UNIT SANITARY NAPKIN VENDOR STAINLESS STEEL STANDARD STEEL STOREFRONT STRUCTURAL SURFACE SUSPENDED SYSTEM(S)		
T&G THK TLT TO TPD TRAF TRANS TRTD TYP	TONGUE AND GROOVE THICK TOILET TOP OF TOILET PAPER DISPENSER TRAFFIC TRANSPARENT TREATED TYPICAL		
UNDRLAY UNO UTIL	UNDERLAYMENT UNLESS NOTED OTHERWISE UTILITY		
VEH VERT VIF	VECHICLE VERTICAL VERIFY IN FIELD		



VICINITY MAP

Mechanical Firm: ESD GLOBAL Mechanical Engineer of Record: MIKE YOUNG Mechanical Firm's Phone Number: (312) 372-1200 Mechanical Firm's Address: 233 SOUTH WACKER DRIVE SUITE 5300, CHICAGO, ILLINOIS 60606

Fire Protection Firm: ESD GLOBAL Fire Protection Engineer of Record: MICHAEL PARAS Fire Protection Firm's Phone Number: (312)-372-1200 Fire Protection Firm's Address: 233 SOUTH WACKER DRIVE SUITE 5300, CHICAGO, ILLINOIS 60606

Telecom Firm: ESD GLOBAL Telecom Engineer of Record: TODD GRIMES Telecom Firm's Phone Number: (312) 372-1200 Telecom Firm's Address: 233 SOUTH WACKER DRIVE SUITE 5300, CHICAGO, ILLINOIS 60606

> Security Firm: GUIDEPOST Security Engineer of Record: JON JOLIBOIS Security Firm's Phone Number: (415) 616-8822 Security Firm's Address: 315 MONTGOMERY STREET 10TH FLOOR, SAN FRANCISCO, CALIFORNIA 94104

HAZARDOUS MATERIALS

BBU: WMW TrendPower					
Cell - Samsung SDI INR18650-20					
Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)		
145.5	248	Combustible - Class IIIB			
135.5	242	Combustible - Class IIIB	0.11		
25	126 - 128	Flammable - Class IC	0.11		
12	99	Flammable - Class IB			
BBU: WI	AW Panasonic				
<u>Cell: Panas</u>	onic UR18650RX				
Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)		
145.5	248	Combustible - Class IIIB	0.15		
25	126 - 128	Flammable - Class IC	0.15		
	RP LiteOn				
Cell - Samsun	g SDI INR18650-20				
Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)		
145.5	248	Combustible - Class IIIB			
135.5	242	Combustible - Class IIIB	0.132		
25	126 - 128	Flammable - Class IC	0.152		
12	99	Flammable - Class IB			
<u>BBU: R</u>	P Panasonic				
Cell: Panas	onic UR18650RX				
Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)		
145.5	248	Combustible - Class IIIB	0.15		
25	126 - 128	Flammable - Class IC	0.15		
	BBU: RP Flextronic				
Cell: Murat	ta US18650VTC4				
Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)		
23.9	107	Flammable - Class IC	0.09		
16	86	Flammable - Class IB	0.09		

PROJECT INFORMATION

FOLLOWING ARE THE PLANS OUTLINING THE SCOPE OF WORK REQUIRED FOR A NEW DATA CENTER BUILDING. WORK INCLUDES CONSTRUCTION OF NEW EXTERIOR AND INTERIOR PARTITIONS, CEILINGS, FINISHES, MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION AS INDICATED ON DRAWINGS.

THE DRAWINGS, IN CONCERT WITH THE PROJECT MANUAL, COMPRISE THE CONTRACT DOCUMENTS OUTLINING THE DESIGN

INTENT AND PROJECT SCOPE, AND MAY BE SUPPLEMENTED BY FURTHER INFORMATION ISSUED BY ARCHITECT. THE DRAWINGS ARE ARRANGED IN GENERAL TO SPECIFIC ORDER, FOLLOWING A TOP TO BOTTOM, LEFT TO RIGHT FORMAT. CONTRACTORS ARE ADVISED TO READ AND FAMILIARIZE THEMSELVES WITH THE INFORMATION IN THE PROJECT MANUAL, AS WELL AS THE GENERAL LEGENDS CONTAINED IN THE G SERIES OF DRAWINGS. PRIOR TO REVIEW OF THE PLANS. ELEVATIONS AND DETAILS. ADVISE THE ARCHITECT WHERE INTENT IS NOT CLEARLY PERCEIVED, PRIOR TO PROCEEDING WITH WORK.

BUILDING ADDRESS:	26062 EDEN LANDING ROAD (BUILDING A ON CAMPUS) HAYWARD, CALIFORNIA 94545
BUILDING JURISDICTION:	CITY OF HAYWARD, CALIFORNIA
APPLICABLE CODES:	2022 CALIFORNIA BUILDING CODE (VOLUMES 1 AND 2) 2022 CALIFORNIA BUILDING CODE FOR ACCESSIBILITY (CHAPTER 11B) 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) HAYWARD CALIFORNIA MUNICIPAL CODE 2023, CHAPTERS 10, 11
STRUCTURE TYPE:	FLEX WAREHOUSE AND COMMERCIAL OFFICE
PURPOSE OF SPACE:	SINGLE-TENANT COMPUTER DATA CENTER
SCOPE OF WORK:	 DEMOLITION DEMOLITION OF THE EXISTING SITE ELEMENTS BUT NOT LMITED TO BUILDINGS, PAVING AND VEGETATION
	 SITE GRADING, EXCAVATION AND SOIL IMPROVEMENTS AS REQUIRED FOR NEW CONSTRUCTION OF BUILDINGS AND ALL SUPPORTING FEATURES INSTALLATION OF NEW UTILITY SYSTEMS TO SUPPORT THE BUILINGS FOR INTENDED USE, SUCH AS ELECTRICAL, WATER, SEWER, AND STORM WATER FEATURES INSTALLATION OF NEW SITE CIRCULATION FEATURES (WALKWAYS, RAMPS, ACCESS ROADWAYS AND PARKING FEATURES PROVIDE LANDSCAPING AND OTHER PERVIOUS AREAS
	 BUILDING CONSTRUCTION FOUNDATIONS, STRUCTURAL STEEL FRAMEWORK, EXTERIOR WALL SYSTEM ROOF WITH SLOPED DRAINAGE, SCUPPERS AND DOWNSPOUTS. INSTALLATION OF WINDOWS, ACCESS DOORS AND LOADING DOORS GENERATOR YARD TO SUPPORT BUILDING'S INTEDED FUNCTIONS INSTALLATION OF FIRE, SIFE SAFETY SYSTEMS FOR SPRINKLER I-B(?) CONSTRUCTION PER BUILDING CODE INSTALLATION OF CIRCULATION SYSTEMS INCLUDING 2 ELEVATORS INSTALLATION OF ALL UTILITY AND MECHCANICAL SYSTEMS NECESSARY FOR THE BUILDING'S INTENDED FUNCTIONS
OCCUPANCY / USE:	GROUP B (ELECTRONIC DATA PROCESSING)
CONSTRUCTION TYPE:	TYPE I-B
HEIGHT OF BUILDING:	TOP OF MAIN PARAPET= 100' - 00" TOP OF MAIN ROOF = 93' - 2"
NUMBER OF STORIES IN BUILDING:	3 (ABOVE GRADE), 0 BELOW GRADE
TOTAL FLOOR AREA:	LEVEL 01 - 105,750 SF LEVEL 02 - 105,750 SF LEVEL 03 - 98,960 SF
FIRE SUPPRESSION:	100% SPRINKLERED PER NFPA 13 & DRY STANDPIPE SYSTEMS
FIRE ALARM SYSTEM:	FIRE ALARM SYSTEM FOR SUPPRESSION SYSTEM MONITORING AND ELEVATOR RECALL PER CBC 907.2 & NFPA 72

DEFERRED SUBMITTALS

. DATA HALL RACKING SYSTEM 2. ENTRY AWNING

3. FIRE PROTECTION 4. GENERATOR PLATFORMS & STAIRS

PROVIDE UNDER SEPARATE SUBMITTAL.

GENERAL NOTES

- . COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK. 2. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK. 3. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN
- QUESTION. 4. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE,
- FABRICATION OR INSTALLATION. 5. COORDINATE WORK WITH THE LANDLORD AND OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF
- BUILDING FUNCTIONS AND OCCUPANTS. D. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF
- INSTALLATION COORDINATE TELECOMMUNICATIONS, DATA AND SECURITY SYSTEM INSTALLATIONS. 8. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND
- ORDINANCES. 9. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.
- 10. UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4 INCH, UNLESS OTHERWISE NOTED. 11. PROVIDE ALL ACCESS PANELS REQUIRED FOR ALL JUNCTION BOXES, VALVES, CLEANOUTS, PLUGS, FILTERS, EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SERVICE OR MAINTENANCE
- 12. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE. 13. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT. 14. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS
- MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES. 15. PROVIDE CONCEALED BLOCKING AS REQUIRED FOR WORK BY OWNER'S OTHER CONTRACTORS. COORDINATE WITH
- OTHER CONTRACTORS FOR SIZE, TYPE AND LOCATION OF REQUIRED BLOCKING. 16. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- 17. CONTRACTOR MUST VERIFY IN FIELD (VIF) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND CONTRACTOR IS TO NOTIFY THE ARCHITECT/ ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES. 18. BUILDING ENERGY COMPLIANCE IS PER THE PERFORMANCE BASED PATH. ENERGY PERFORMANCE REPORT WILL BE

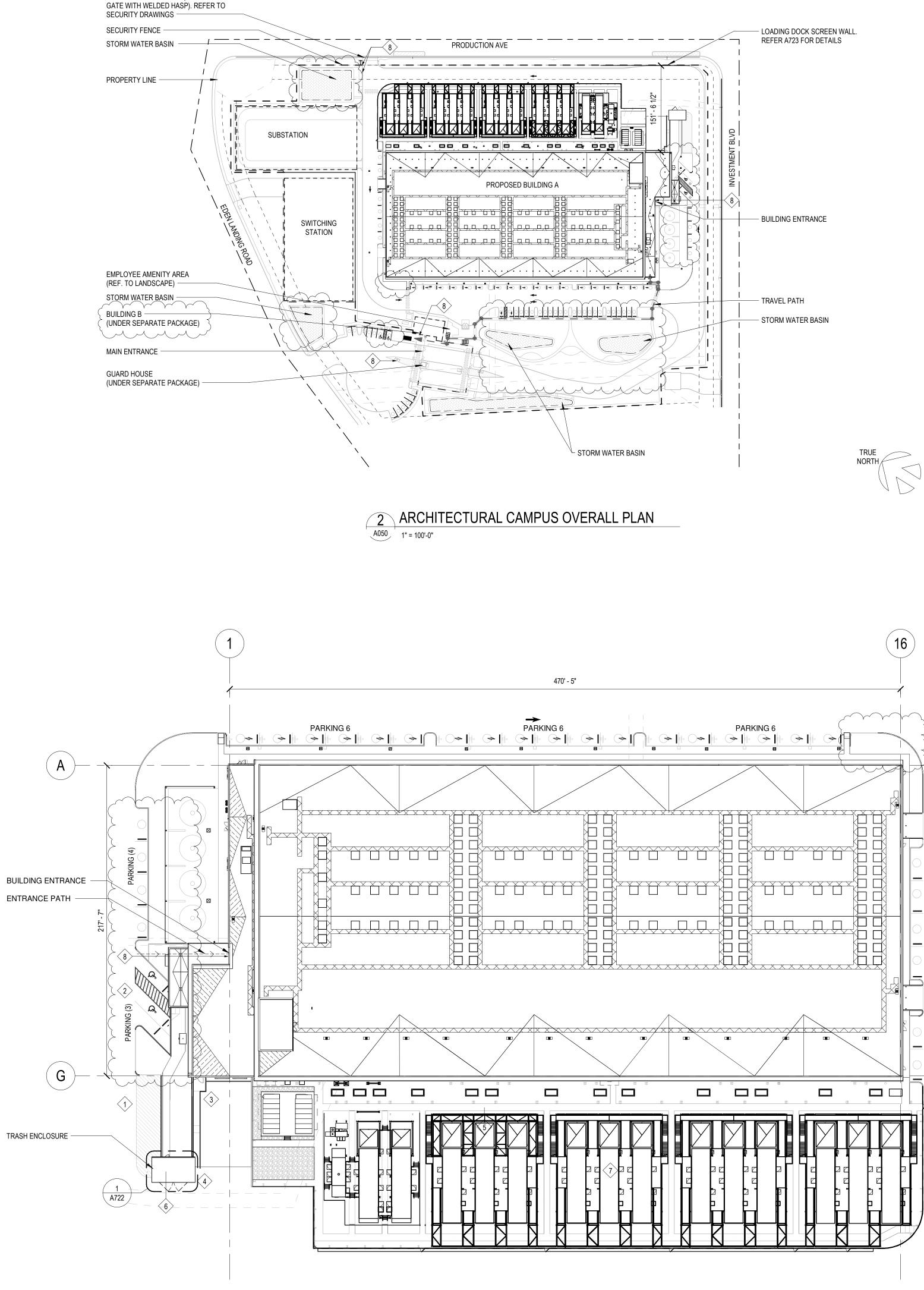
ACCESSIBILITY NOTES

- A. PILE THICKNESS OF SPECIFIED CARPETS DOES NOT EXCEED 1/2". B. FLOOR SURFACES SPECIFIED ARE SLIP-RESISTANT. C. ABRUPT CHANGES IN LEVEL ALONG ACCESSIBLE ROUTE DO NOT EXCEED 1/2" IN HEIGHT. CHANGES BETWEEN 1/4" AND 1/2" ARE BEVELED WITH A SLOPE NO STEEPER THAN 1:2. LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. D. LATCHING AND LOCKING DOORS ARE SPECIFIED TO BE OPERABLE WITH A SINGLE EFFORT BY HARDWARE THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. DOOR OPENING HARDWARE IS SPECIFIED TO BE MOUNTED BETWEEN 34" AND 48" ABOVE FLOOR FINISH.
- E. CLOSERS FOR FIRE-RATED DOORS ARE SPECIFIED TO BE POWER LEVEL 3 FOR INTERIOR DOORS 38" OR LESS IN WIDTH. F. MAXIMUM PULL OR PUSH EFFORT TO OPERATE NON-FIRE-RATED DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE OF SLIDING OR FOLDING DOORS. SPECIFIED CLOSERS TO BE ADJUSTED TO COMPLY.
- G. ALL DOORS ARE SPECIFIED TO BE NOT LESS THAN 3'-0" IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. DOORS ARE CAPABLE OF OPENING AT LEAST 90 DEGREES AND CLEAR WIDTH IS NOT LESS THAN 32". H. FLOOR AREAS ON EACH SIDE OF DOORS ARE SPECIFIED TO BE LEVEL AND CLEAR. THE DIMENSIONS OF THE LEVEL AREAS
- ARE SPECIFIED TO MEET ANSI A117.1-2017, IAC AND ADA CLEARANCE REQUIREMENTS. . FLOORS OR LANDINGS ARE SPECIFIED TO BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" IS SPECIFIED TO BE BEVELED WITH A SLOPE NO STEEPER THAN 1:2.
- J. THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR IS SPECIFIED TO BE MARKED WITH A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2" WIDE. PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING. THE STRIP IS SPECIFIED TO BE A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER
- TREADS OF THE STAIR. K. ELECTRICAL RECEPTACLE OUTLETS ARE SPECIFIED TO BE NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORM. L. TOILET ROOM ACCESSORIES
- 1. BOTTOM OF MIRROR REFLECTIVE SURFACE IS SPECIFIED TO BE NO HIGHER THAN 40" FROM THE FLOOR. 2. TOILET TISSUE DISPENSERS ARE MOUNTED BETWEEN 7" AND 9" FROM THE FRONT EDGE OF THE TOILET SEAT. 3. DISPENSING AND DISPOSAL FIXTURES (TOWEL, SANITARY NAPKINS, WASTE, COIN SLOTS, ETC.) WITH OPERATING PARTS ARE MOUNTED NO HIGHER THAN 48" FROM THE FLOOR. M. THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) IS BETWEEN 17" AND 19".
- N. FLUSH CONTROLS ARE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR, ON THE SIDE OF THE TOILET WITH THE GREATEST CLEARANCE FROM ADJACENT WALL, TOILET PARTITION OR OTHER SURFACE. O. PROVIDE GRAB BARS IN COMPLIANCE WITH ANSI A117.1 ON EACH SIDE, OR ONE SIDE AND BACK OF WATER CLOSET 1. GRAB BARS TO BE 33" ABOVE AND PARALLEL TO THE FLOOR. 2. DIAMETER OF GRAB BARS TO BE 1-1/4" TO 1-1/2".
- 3. PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALL. 4. GRAB BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BACKING, ETC.) SHALL SUPPORT A 250 POUND LOAD. 5. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS. 6. GRAB BARS AND ANY ADJACENT SURFACE SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.
- 7. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8". P. PROVIDE A CLEAR FLOOR SPACE 30" X 48" IS PROVIDED IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH. Q. SINKS AND LAVATORIES ARE MOUNTED TO COMPLY WITH KNEESPACE REQUIREMENTS OF ANSI A117.1 R. FAUCET CONTROLS AND OPERATING MECHANISMS ARE TO BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT
- GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING CONTROLS ARE TO REMAIN OPEN FOR AT LEAST 10 SECONDS. S. HOT WATER AND DRAIN PIPES UNDER LAVATORIES ARE INSULATED OR OTHERWISE COVERED. T. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

PROJECT ADDRESS				
26062 EDEN LAN HAYWARD, CA 9				
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SEAL/SIGNATURE				
	AL AND ITEMS SHOWN ON THIS NSTRUMENTS OR OTHER G THIS SEAL SHALL NOT BE HIS PROFESSIONAL, AND THIS Y DISCLAIMS ANY AND ALL N, DRAWINGS OR DOCUMENTS			
CONFIDENTIAL THIS DRAWING/DOCUMENT A INVENTIONS OR DEVELOPME THEREBY ARE CONFIDENTIAL A OF THE OWNER (OR ITS AFFIL RIGHTS IN THIS DRAWING REPRODUCTION, DUPLICATION, PARTY, IN WHOLE OR IN PA EXPRESSLY AUTHO	AND ALL DESIGNS, DETAILS, ENTS COVERED OR DERIVED ND THE EXCLUSIVE PROPERTY IATES), WHICH RESERVE ALL G/DOCUMENT. COPYING, , OR DISTRIBUTION TO A THIRD RT, IS FORBIDDEN UNLESS			
MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 551-8612 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606			
CIVIL ENGINEER KIMLEY HORN ANTHONY VERA (925) 398-4840 4637 Chabot Drive Suite 300 Pleasanton, California 94588 ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201 FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 chicago, Illinois 60606			
TELECOM ENGINEER ESD GLOBALSECURITY ENGINEER GUIDEPOSTTODD GRIMES (312) 372-1200JON JOLIBOIS (415) 616-8822233 South Wacker Drive Suite 5300 Chicago, Illinois 60606315 Montgomery Street 10th Floor San Francisco, California 94104PROJECT: BUILDING A SHELLTITLE:				
ARCHITECTURAL SYMBOLS, ABBREVIATIONS, PROJECT DATA & KEY PLAN DRAWING: AOD1 E1 SCALE: AGILE No: REV:				

SECONDARY ENTRANCE (PADLOCKED SECURITY DRAWINGS -SECURITY FENCE -

(REF. TO LANDSCAPE) -STORM WATER BASIN -BUILDING B



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TRUE

1 ARCHITECTURAL SITE OVERALL PLAN A050 1" = 40'-0"

SITE NOTES

- 1 THESE ARE ARCHITECTURAL DRAWINGS ONLY AND ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FROM VARIOUS DISCIPLINES AS LISTED ON THE DRAWING INDEX. 2 ALL DEMOLITION OF EXISTING BUILDING SITE ELEMENTS ARE TO
- BE WITH IN A SEPARATE CONTRACT AND DRAWINGS (NOT INCLUDED HERE) PRIOR TO THE EXECUTION OF THE INDICATED NEW CONSTRUCTION AND SITEWORK. 3 OTHER BUILDINGS INDICATED ON SITE ARE FOR LOCATION
- REFERENCE PURPOSES ONLY. N.I.C.D. BUILDING GENERATOR PADS AND UPPER GENERATOR ACCESS STAIRS AND PLATFORM ARE NOT IN THIS CONTRACT.
- 4 BUILDING GENERATOR PADS AND UPPER GENERATOR ACCESS STAIRS AND PLATFORM ARE NOT IN THIS CONTRACT. 5 REFER TO CIVIL DRAWINGS FOR GRADING, MATERIALS SIGNAGE, CURBS, WHEELSTOPS AND STRIPING AT PARKING AREAS. PARKING LAYOUT AND STALLS TO BE FOUND IN CIVIL DRAWINGS. ADA AND STANDARD STALLS TO BE INSTALLED TO MEET ALL
- ADOPTED CODES. 6 SIDEWALK CONSTRUCTION AND DETAILS TO BE FOUND IN CIVIL
- DRAWINGS. 7 ALL LANDSCAPE AND PLANTING INFORMATION TO BE FOUND ON
- LANDSCAPE 8 LOADING DOCK AREA. ELEVATION OF PAVED LOADING DOCK IS 4-0" BELOW SLAB HEIGHT AT FOUNDATION FACE TO ALLOW FOR
- EASE OF ACCESS. 9 ENSURE SMOOTH TRANSITION WHERE NEW ROADWAY PAVING
- OR SIDEWALK CONNECTS TO EXISTING WITH 1/4" MAXIMUM CHANGE IN LEVEL.
- 10 CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL LIGHTING, PLUMBING, MECHANICAL AND FIRE PROTECTION ELEMENTS

OVERALL SITE PLAN NOTES

1. NEW PARKING STALLS 2. ADA PARKING 3. LOADING DOCK

- 4. CONCRETE DRIVE AND RAMP AT LOADING DOCK
- 5. 5'-0" SIDEWALK, TYP. UNO.
 (2)4 YARD & (1)3 YARD DUMPSTER WITH CHAINLINK FENCE TRASH ÉNCLOSURE
- 7. GENERATOR YARD 8. KNOX BOX (REFER TO SECURITY DRAWINGS)

SITE PLAN LEGEND

PROPERTY LINE — — — — — — — FENCE

20720720720720720720

CRUSHED ROCKS

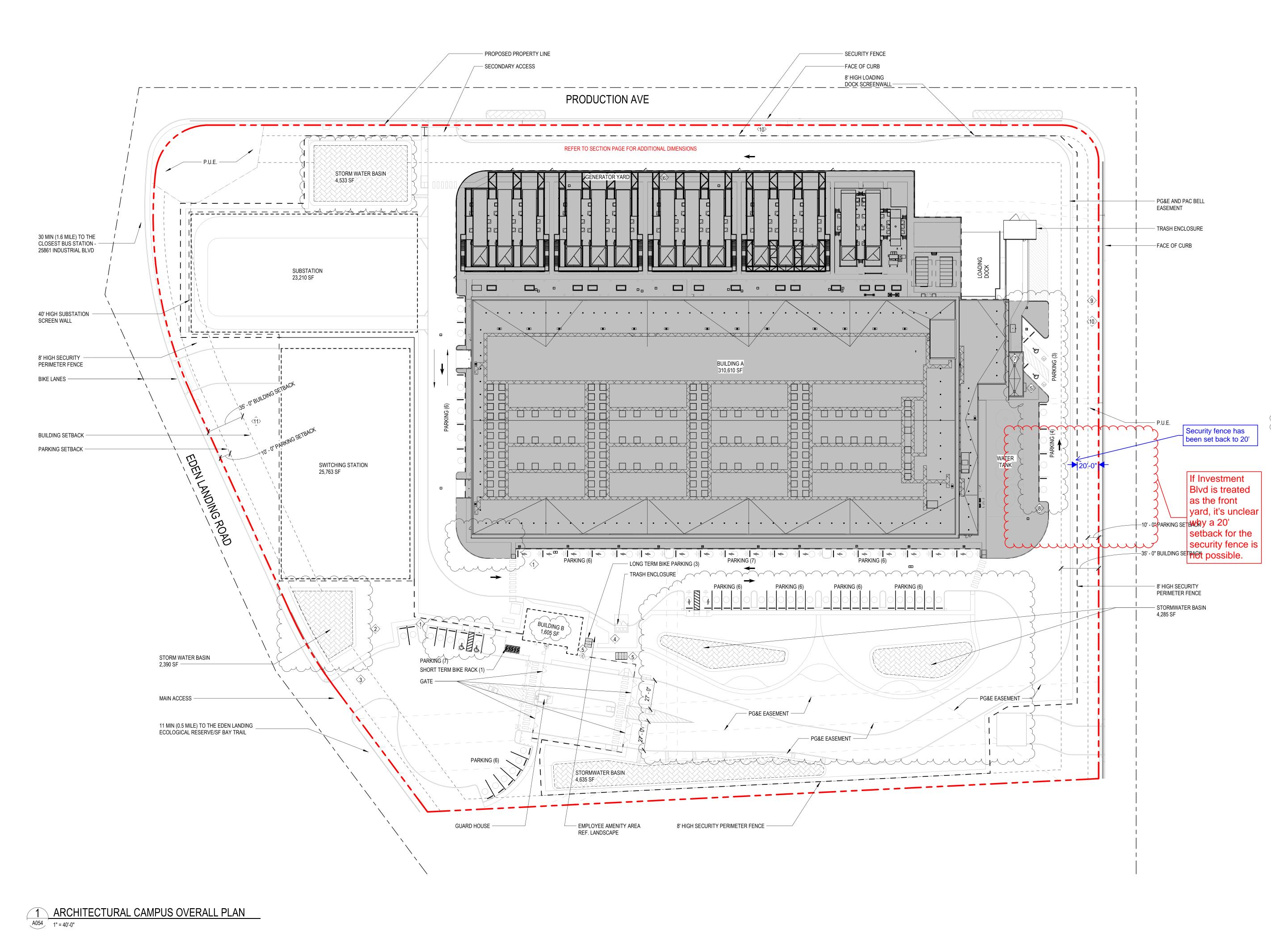
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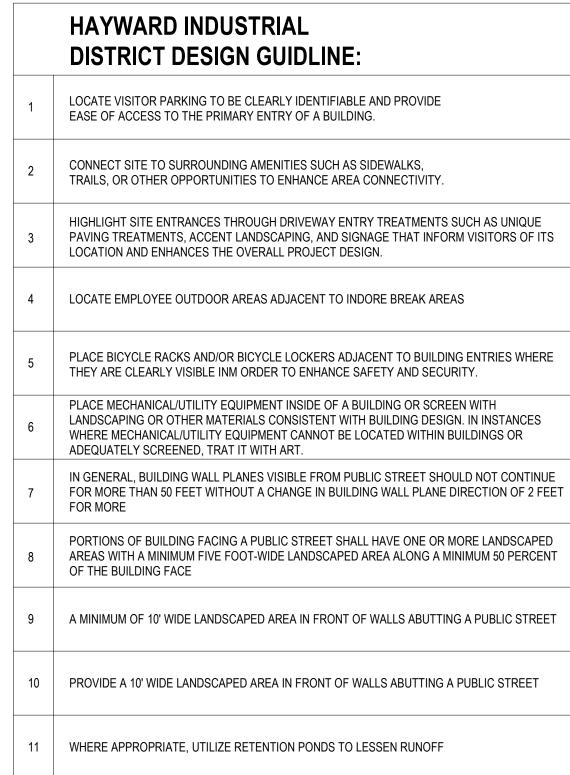
STORM WATER BASIN

PARKING TOTALS

	PARKING STALL TYPE	COUNT
	ADA PARKING STALL	4
	BICYCLE PARKING	5
	BIKE PARKING	3
2	EV ADA PARKING	1 7 7
, ,	EV PARKING	17
	EVCS PARKING	2
~	PARKING STALL	44
,	TOTAL PARKING STALLS PROVIDED: 76	
J	MANANA	\sim

KEYPLA	٨N
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PROJECT DELIVERY PACKAGE	
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SEAL/SIGNATURE	
THE LICENSED PROFESSIONAL APPLIES ONLY TO THE MATER SHEET. ALL DRAWINGS, DOCUMENTS NOT EXHIBITII CONSIDERED PREPARED BY T PROFESSIONAL EXPRESS RESPONSIBILITY FOR SUCH PL NOT EXHIBITI ISSUE DATE: 09FEB2024 P DESIGNED: HKS A MARK DATE 0 9FEB2024 PERMIT	L SEAL AFFIXED TO THIS SHEET IAL AND ITEMS SHOWN ON THIS INSTRUMENTS OR OTHER VG THIS SEAL SHALL NOT BE I'HIS PROFESSIONAL, AND THIS LY DISCLAIMS ANY AND ALL AN, DRAWINGS OR DOCUMENT NG THIS SEAL. ROJECT NO: 25691.000 RCHITECT: HKS DESCRIPTION
THE LICENSED PROFESSIONAL APPLIES ONLY TO THE MATER SHEET. ALL DRAWINGS, DOCUMENTS NOT EXHIBITII CONSIDERED PREPARED BY T PROFESSIONAL EXPRESS RESPONSIBILITY FOR SUCH PL NOT EXHIBITI ISSUE DATE: 09FEB2024 P DESIGNED: HKS A MARK DATE	IAL AND ITEMS SHOWN ON THIS INSTRUMENTS OR OTHER NG THIS SEAL SHALL NOT BE I'HIS PROFESSIONAL, AND THIS LY DISCLAIMS ANY AND ALL AN, DRAWINGS OR DOCUMENT NG THIS SEAL. ROJECT NO: 25691.000 RCHITECT: HKS
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PROJECT SITE INFORMATION

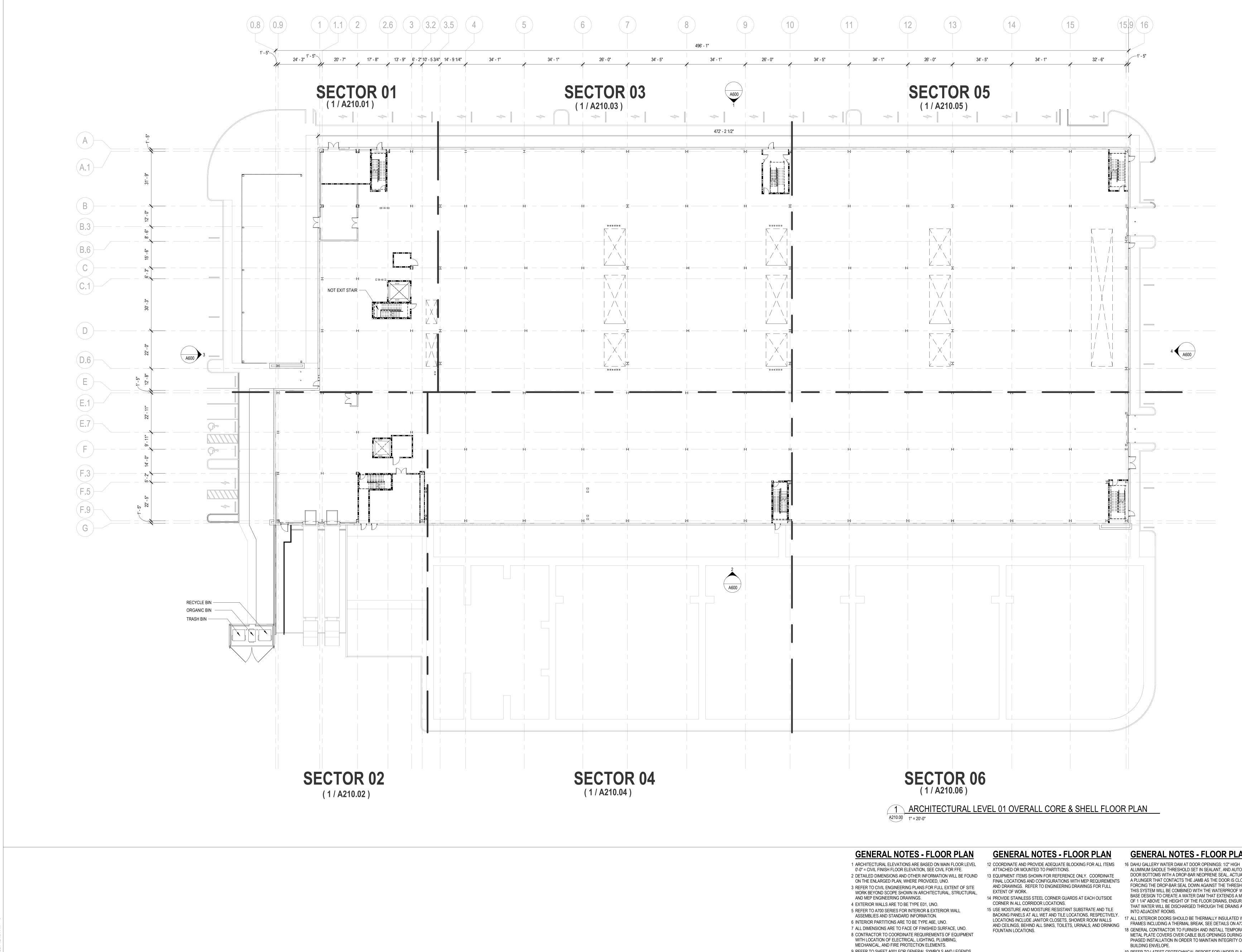
	SITE ADDRESS	26062 EDEN LANDING ROAD HAYWARD, CA 94545
	APNs	461-0085-016-00 461-0085-052-01 461-0085-018-03
	SITE AREA	11.485 AC / 500,287 SF
	GENERAL PLAN DESIGNATION	IC (INDUSTRIAL TECHNOLOGY AND INNOVATION CORRIDOR)
	ZONING DISTRICT	IP (INDUSTRIAL PARK)
-	PARKING SPACES	SPACES: 71 TOTAL
	BIKE PARKING	SHORT TERM: 10 LONG TERM LOCKER: 7
	OPEN SPACE	53,000 SF
	LOT COVERAGE	500,287 SF
	FAR	0.76
	LANDSCAPING AREA	135,643 SF

PROPOSED BUILDING INFORMATION

BUILDING A	GROSS FLOOR AREA: HEIGHT:	365,610 SF 100' (T.O. PARAPET)
BUILDING B	GROSS FLOOR AREA: HEIGHT:	1,605 SF
GUARD HOUSE	GROSS FLOOR AREA: HEIGHT:	59 SF 8'-11 7/16"

	TRASH	CONTAINER CAPACITY CALCULATION:
		# of employees x lbs. of trash generated per employee/week ÷ 150 = CY/week
	BUILDING A	ENCLOSURE: 25' x 12' x 12'-6" (WxDxH) INTERNAL CLEAR TRASH: 6 CU BIN RECYCLABLES: 6 CU BIN ORGANICS: 3 CU BIN
2		
	BUILDING B	ENCLOSURE: TRASH: 96 GAL CART RECYCLABLES: 96 GAL CART ORGANICS: 96 GAL CART
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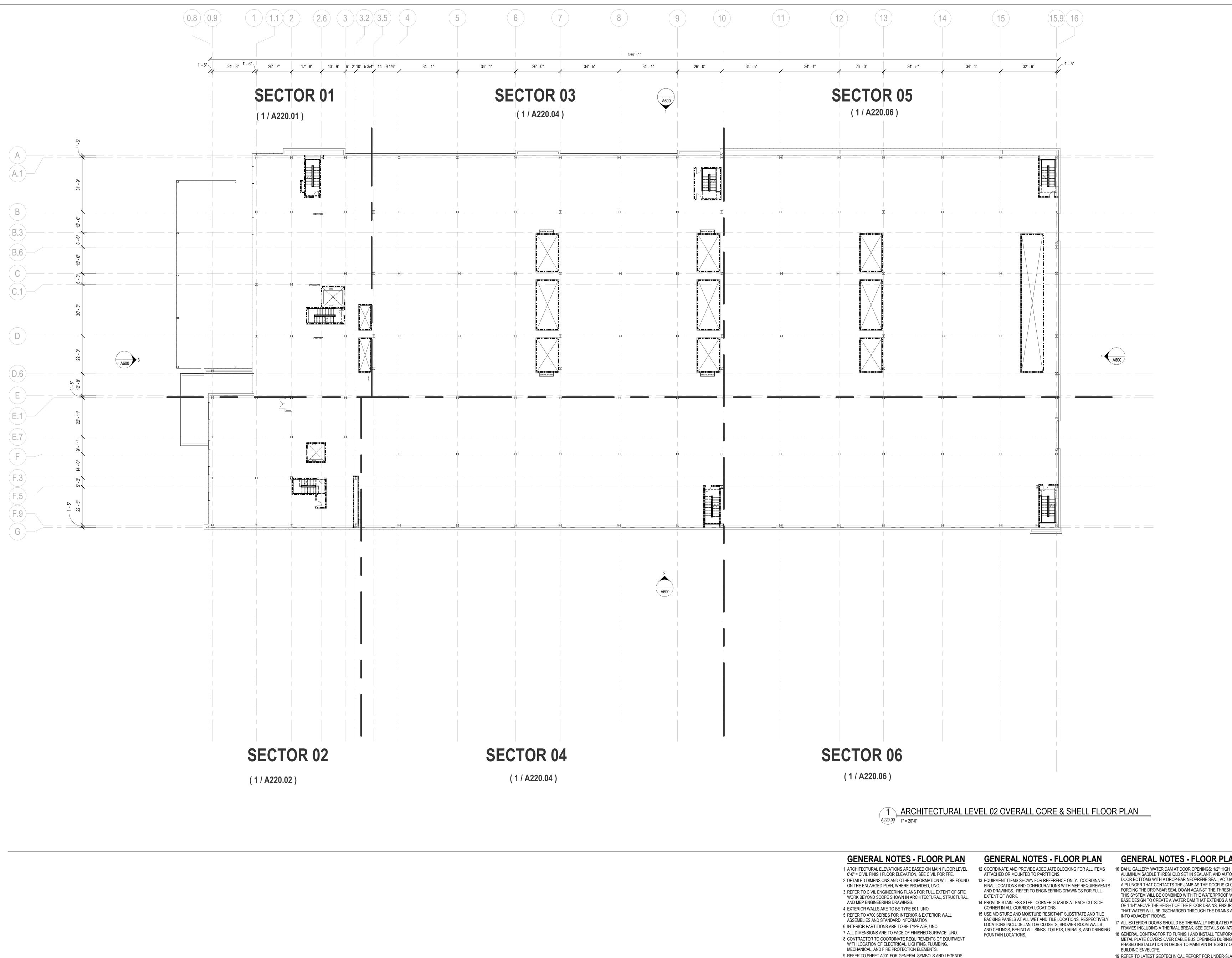


- 9 REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.
- 10 CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD (VIF) PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT /
- ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES. 11 LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

- ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1 1/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT
- 17 ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK, SEE DETAILS ON A736. 18 GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE
- 19 REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS
- 20 ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.

Attachmen	t	II

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MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606 CIVIL ENGINEER KIMLEY HORN ANTHONY VERA (925) 398-4840 4637 Chabot Drive Suite 300 Pleasanton, California 94588	REY BERNARDINO (312) 551-8612 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606 STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201
ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201 <u>TELECOM ENGINEER</u> ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606 PRO JECT:	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 chicago, Illinois 60606 SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104
PROJECT: BUILDING TITLE: ARCHITECTURAL LEV OVERALL FI DRAWING: A21 E1 SCALE: 1" = 20'-0"	/EL 01 CORE & SHELL LOOR PLAN

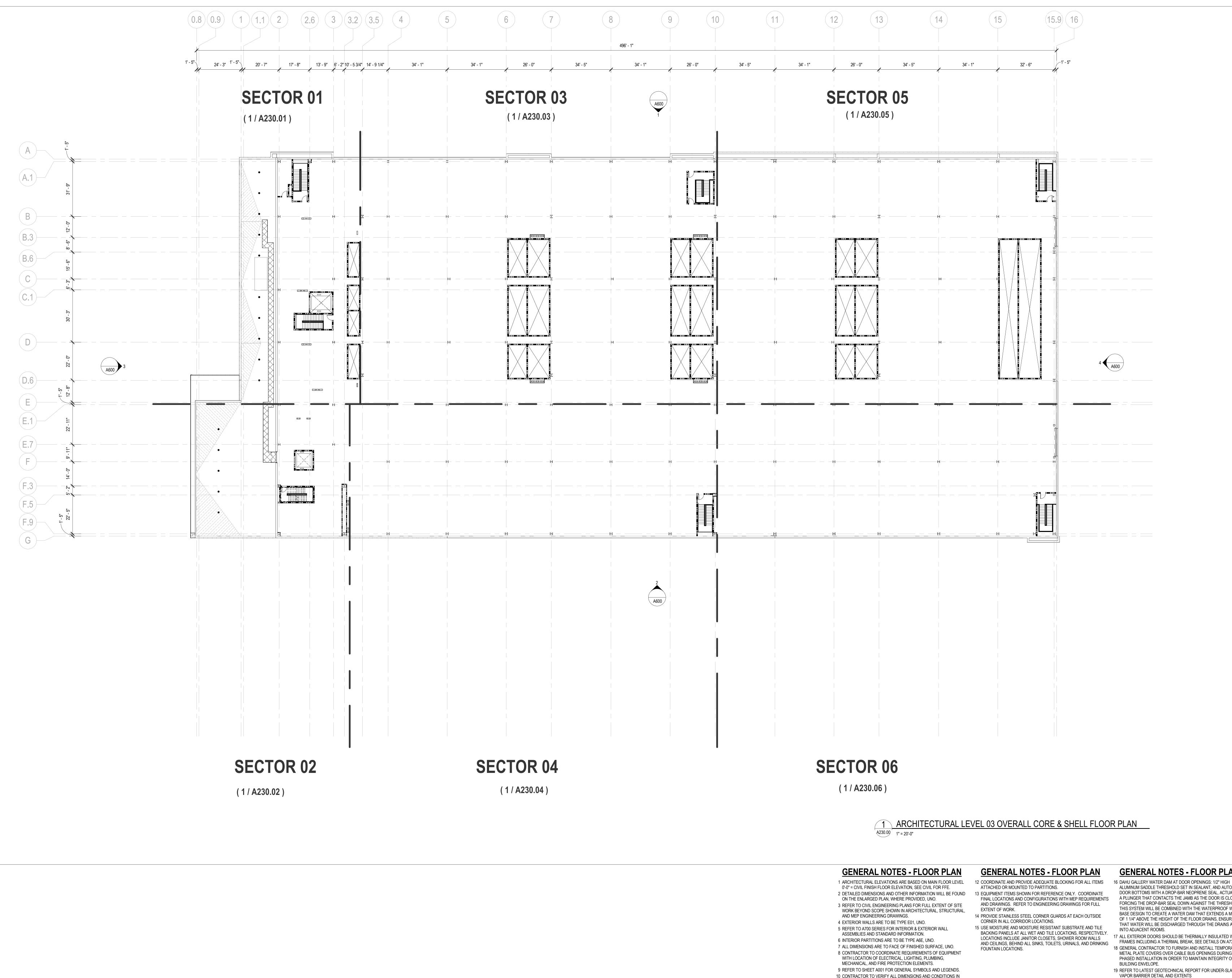


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- ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.

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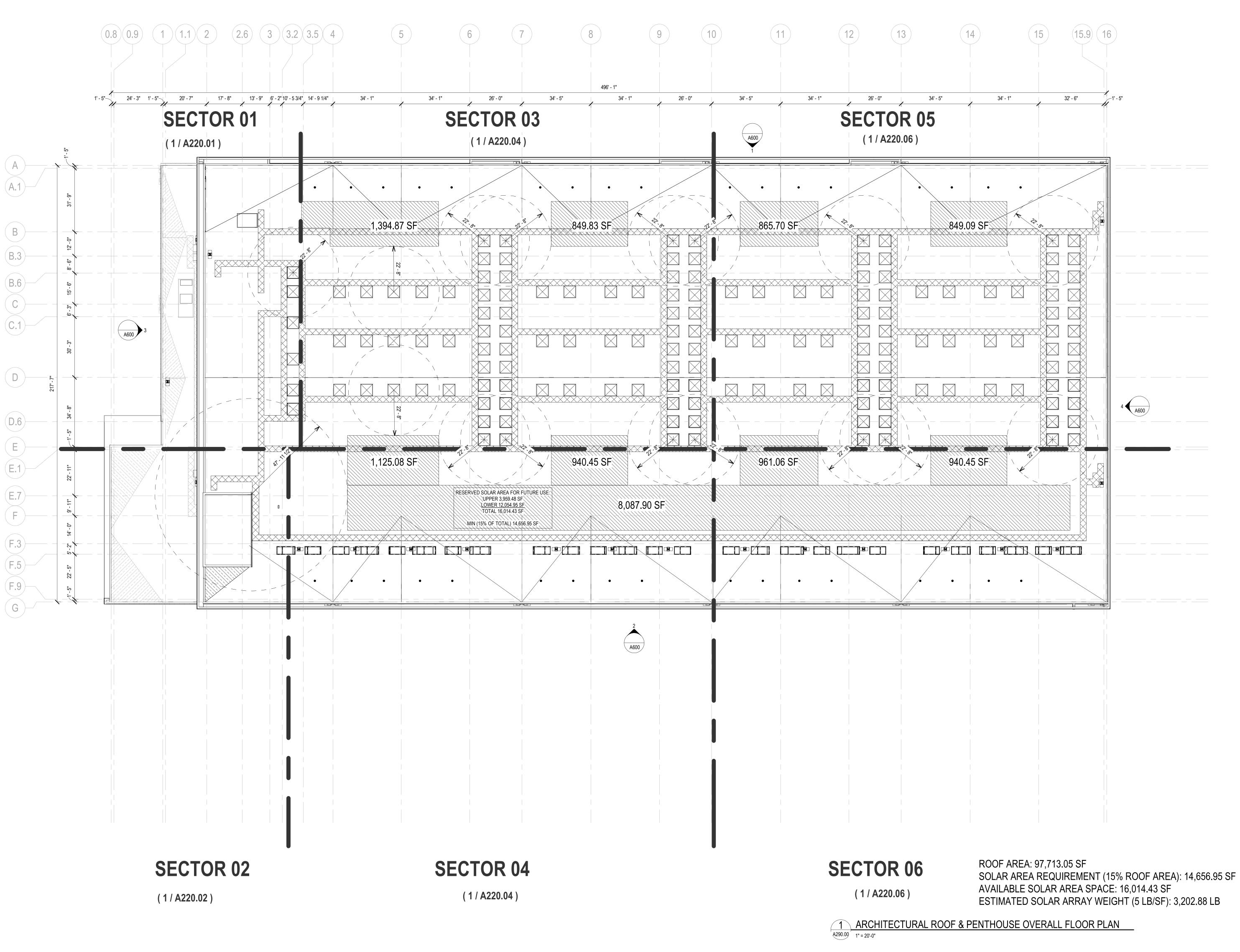


- FIELD (VIF) PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT /
- ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES. 11 LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF
- PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

- ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1 1/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT
- 17 ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK, SEE DETAILS ON A736. 18 GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE
- 19 REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS 20 ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED
- ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.

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LEGEND ROOF PLAN

WALKWAY PAD
TAPERED ROOF INSULATION

RESERVED SOLAR AREA FOR FUTURE USE

ROOF PLAN NOTES

1.	ALL ROOF TO BE KEPT SINGLE PLY ROOFING MEMBRANE WITH MINIMUM R20 INSULATION.
2	HATCHING INDICATES AREAS WHERE THE ROOF SURFACE SLOPE IS ACHIEVED WITH TAPERED
<i>L</i> .	INSULATION. THE ROOF SURFACE SLOPE IN AREAS WITHOUT HATCHING IS ACHIEVED WITH
	SLOPING STRUCTURE.
3	PROVIDE WALKWAYS PROTECTION TO MAJOR MECHANICAL, ELECTRICAL AND PLUMBING
J.	•
	EQUIPMENT AS REQUIRED TO PROVIDE SERVICE ACCESS. WALKWAYS PROTECTION IS
	INDICATED AS A GENERAL LAYOUT AND MAY NOT SHOW ALL FINAL LOCATIONS OF ALL
	EQUIPMENT.
4.	TAPERED INSULATION SHALL PROVIDE A MINIMUM OF 1/4" - INCH PER FOOT OF SLOPE TO
	ROOF DRAINS, UNLESS NOTED OTHERWISE.
5.	ALL ROOF CURBS TO BE A MINIMUM OF 8" ABOVE ROOFING LEVELS, PROVIDE TAPERED
	INSULATION ROOF SADDLES AT ROOF CURBS TO PROVIDE DRAINAGE AROUND CURB.
6.	SEE STRCTURAL DRAWINGS FOR FRAMING AROUND ROOF PENETRATIONS.
7.	ALL ROOF TOP MECHANICAL, ELECTRICAL AND /OR PLUMBING EQUIPMENT SHOWN FOR
	INFORMATION ONLY.COORDINATION THE SIZE AND LOCATION OF ROOF.
8.	PENETRATIONS FOR MECHANICAL AND ELECTRICAL EQUIPMENT, REFER TO MECHANICAL AND
	ELECTRICAL DRAWINGS FOR PENETRATIONS NOT SHOWN ON THIS DRAWING.
9	FLASH DRAINS, CURBS, VENTS AND STACKS PER MANUFACTURER'S RECOMMENDATIONS IF
•.	DETAIL NOT SHOWN ON DRAWINGS.
10	NO ROOF PENETRATIONS ALLOWED WITHIN 4'-0" EACH SIDE OF FOREWALL, SEE CODE PLAN
10	FOR FIRE WALL I OCATIONS.
11	REFER TO SHEET A732, A733 FOR TYPICAL ROOF DETAILS.
11	THE ENTO SHEET ARE, ARE FOR THIS AND TO THE NOOL DETAILS.

Attachment	II
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	Attachment I
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PROJECT DELIVERY PACKAG	E
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ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive	ESD GLOBAL REY BERNARDINO (312) 551-8612 233 South Wacker Drive
Suite 5300 Chicago, Illinois 60606 CIVIL ENGINEER	Suite 5300 Chicago, Illinois 60606 STRUCTURAL ENGINEER
KIMLEY HORN ANTHONY VERA (925) 398-4840	HKS CLINT NASH (214) 969-5599
4637 Chabot Drive Suite 300 Pleasanton, California 94588	One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201
ARCHITECT HKS DUTCH WICKES (214) 969, 5599	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372 1200
(214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	(312) 372-1200 233 South Wacker Drive Suite 5300 chicago, Illinois 60606
TELECOM ENGINEER ESD GLOBAL TODD GRIMES	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS
(312) 372-1200 233 South Wacker Drive Suite 5300	(415) 616-8822 315 Montgomery Street 10th Floor
Chicago, Illinois 60606 PROJECT: BUILDIN	San Francisco, California 94104 G A SHELL
	F & PENTHOUSE CORE & ERALL PLAN
DRAWING:	0.00
E1 SCALE: AG	BILE No: REV:



MP1 BOD: CENTRIA FORMA WALL

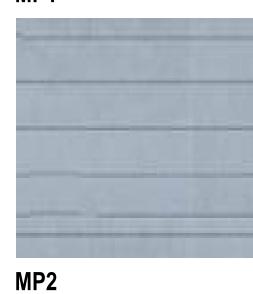
EXTERIOR FINISH LEGEND:

	DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH COATING
	9960 XL DARK BRONZE
MP2	BOD: CENTRIA FORMA WALL DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING
	200 DEEP BLUE SEA
MP3	BOD: CENTRIA FORMA WALL WHITE COLOR SMOOTH EXTERIOR TEXTURE
	TEXTONE
	179 REGAL WHITE
MP4	BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING
	9960 XL MEDIUM GRAY
MP5	BOD: CENTRIA PARADIGM METAL PAN 9918 DOVE GRAY; 9989 PLATINUM SUNDACNE AM COATING; 9989 PLATINUM SUNDANCE MICA COATING

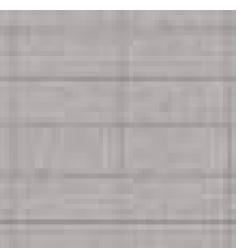
EXTERIOR FINISH LEGEND



MP1



MP3



MP4

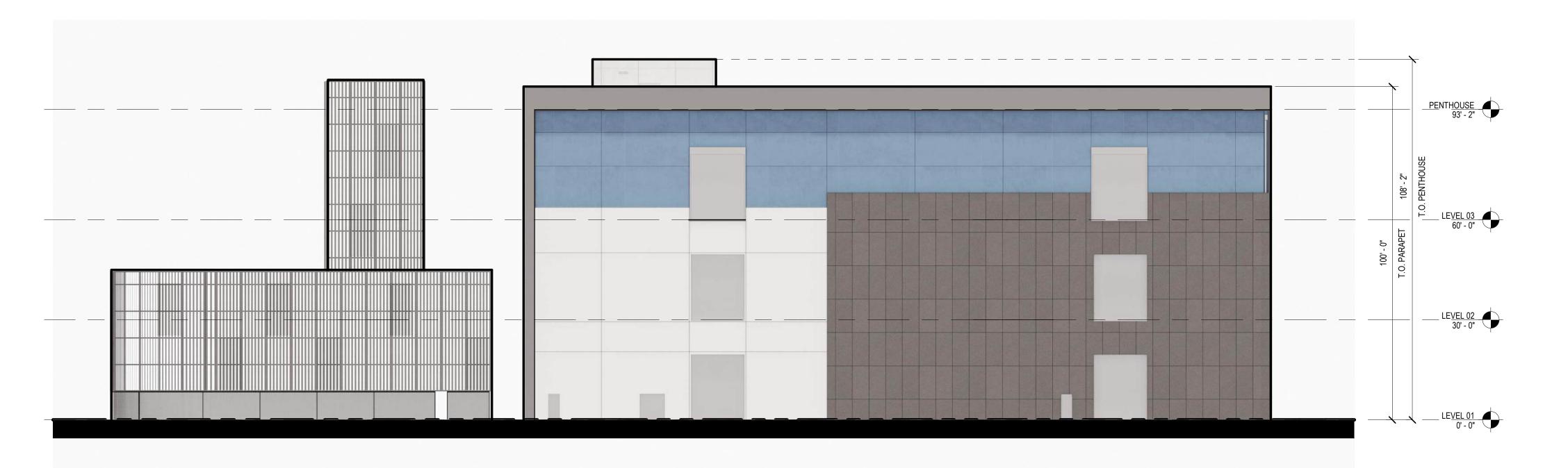
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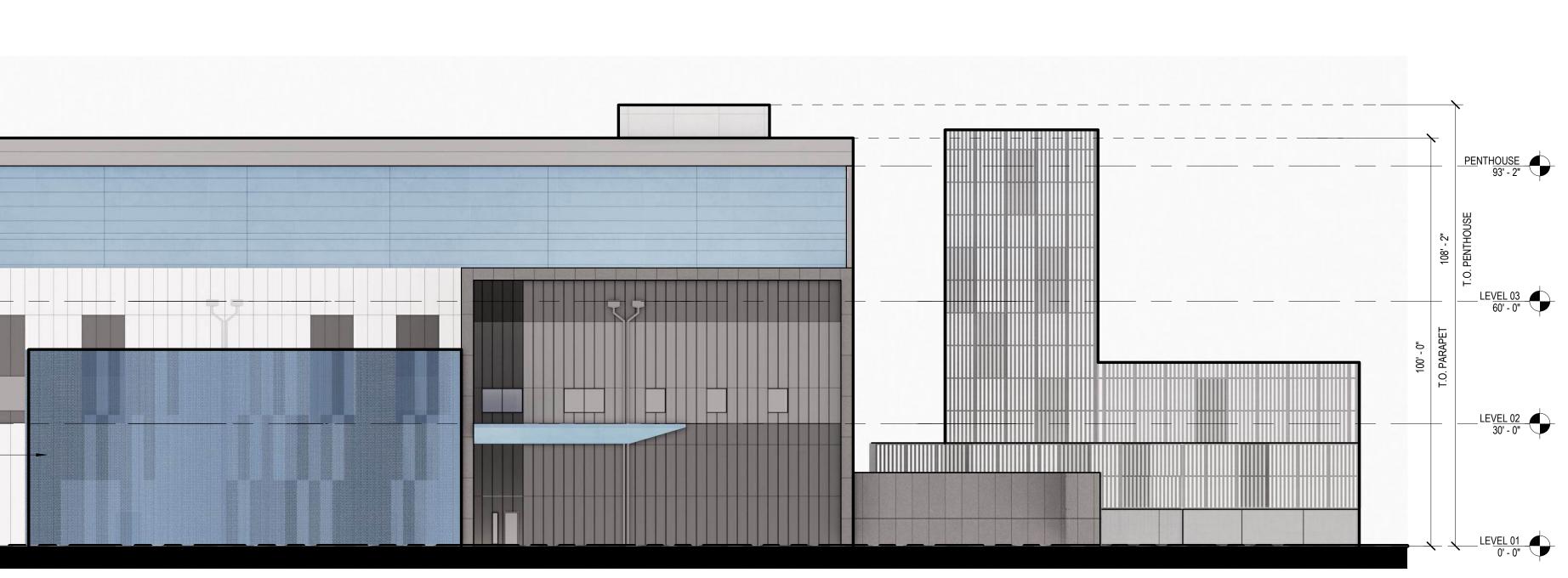
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KIMLE ANTH (925) 3 4637 0 Suite 3 Pleasa ARCH HKS DUTC (214) 9	anton, California <u>ITECT</u> H WICKES 969-5599	94588	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201 FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200	
350 N Dallas TELEC ESD C TODD (312) 3 233 Sc Suite 5	go, Illinois 60606	<u>R</u> ve	233 South Wacker Drive Suite 5300 chicago, Illinois 60606 SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104	
TITLE	ARCHITEC		A SHELL TERIOR ELEVATIONS	
DRAW	DRAWING: A600 E1 SCALE: As indicated AGILE No:			



	Contraction (C
	-
SCREEN	







A610 1" = 20'-0"

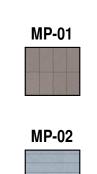
2 ARCHITECTURAL EAST EXTERIOR ELEVATION A610 1" = 20'-0"



EXTERIOR GLAZING (GL):

GL-01	PVB LAMINATED GLASS COLOR: FROSTED/TINTED

METAL PANEL (MP):



MP-03

EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL DARK BRONZE DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 200 DEEP BLUE SEA

DARK BRONZE COLOR SMOOTH

WHITE COLOR SMOOTH EXTERIOR TEXTURE 179 REGAL WHITE



MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING

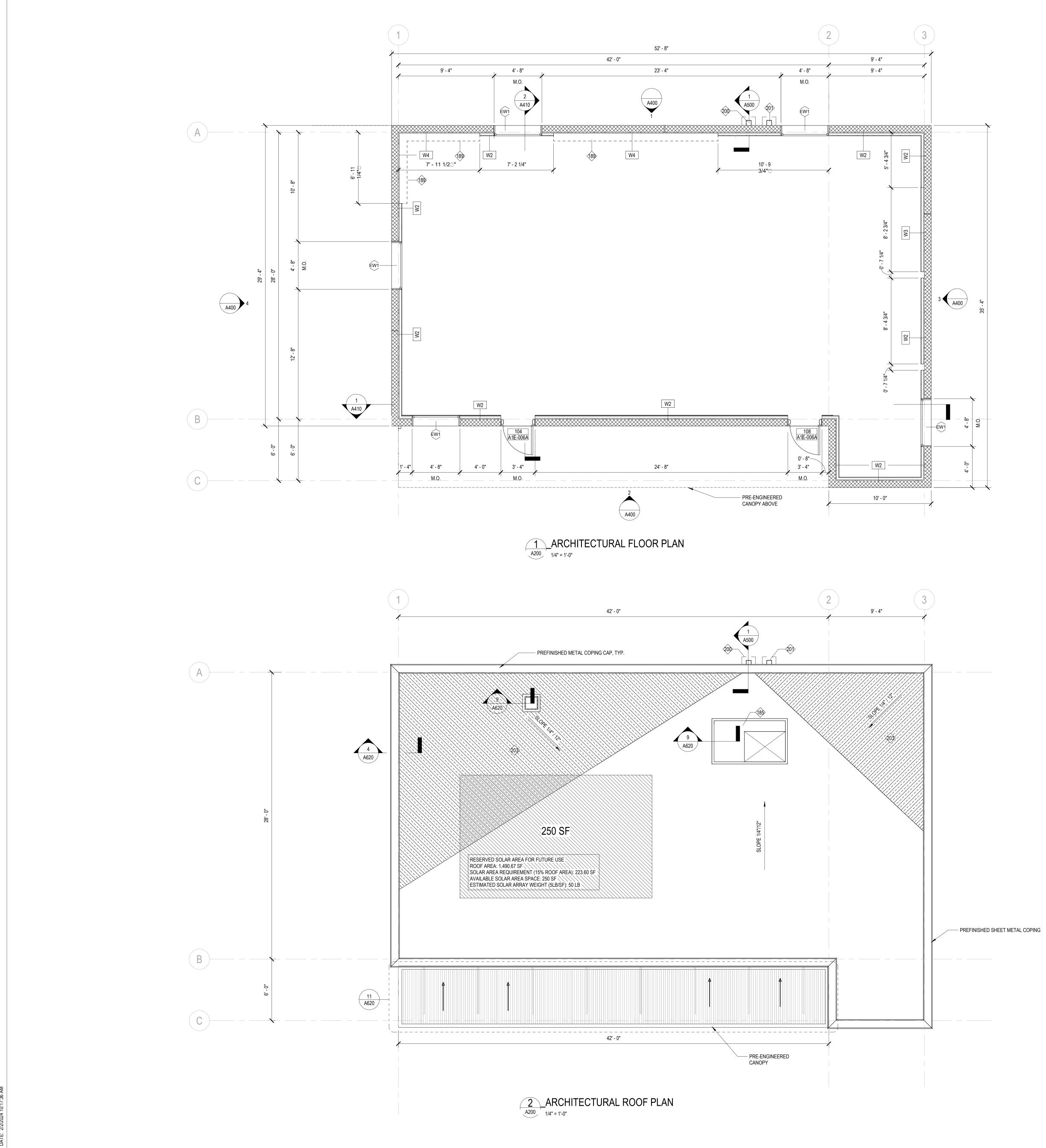
9960 XL MEDIUM GRAY

PERFORATED METAL SCREEN



A METAL SCREEN STANDALONE STRUCTURE

26		EN LAP	NDING ROAD	
	YWAR[·		
SEAL/SIGNATURE THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL. ISSUE DATE: PROJECT NO: 25691.000				
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CONFIDENTIAL INFORMATION. THIS DRAWING/DOCUMENT AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING/DOCUMENT. COPVING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED IN WRITING. MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606 CIVIL ENGINEER KIMLEY HORN KIMLEY HORN HKS ANTHONY VERA (214) 969-5599 One Dallas Center Suite 300 Delass Center Suite 300 Pleasanton, California 94588 DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201 HINOIS 60606 TELECOM ENGINEER ESD GLOBAL MICHAEL PARAS (214) 969-5599 One Dallas Center				
E1				



- REFER TO GENERAL NOTES ON A001
 REFER TO A010 FOR FIRE RATING AND LIFE SAFETY INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE, UOI
 REFER TO A600 FOR EXTERIOR WALL ASSEMBLIES
 REFER TO A600 FOR ROOF & FLOOR ASSEMBLIES
- 6. ALL SPOT ELEVATIONS ARE TO TOP OF ROOFING MEMBRANE
- OR TOP OF PARAPET COPING UOI. 7. CONTRACTORS TO COORDINATE REQUIREMETS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
- 8. CONTRACTOR TO VERIFY IN FIELD ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
- 9. 'PT01' IS TYPICAL PAINT FINISH FOR ALL SPACES. 'P3' TO BE APPLIED UNLESS OTHERWISE NOTED ON PLANS FOLLOW FINISH SHEDULE PER FINISH LEGEND
- 10. REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS.

	KEYNOTE LEGEND
Key Value	Keynote Text
185	PREMANUFACTURED CURB FOR FUTURE EQUIPMENT; RE:MECHANICAL FOR DIMENSIONS AND LOCATIONS, GC TO COORDINATE FINAL OPENINGS WITH EQUIPMENT MANUFACTURER; PROVIDE CURB CAPS FOR ALL EQUIPMENT NOT INSTALLED DURING INITIAL BUILD-OUT PHASE.
189	FURRING WALL TO BE CONSTRUCTED IN TI PHASE
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOU ON EXTERIOR FACE OF BUILDING
201	OVERFLOW THROUGH WALL SCUPPER. LOCATE 1 FOOT TO SID OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE
203	CRICKET GRAPHICALLY INDICATED TO PROPERLY SLOPE STORM WATER TO THRU-WALL SCUPPERS AND GENERALLY CREATE EQUAL STORM WATER DISTRIBUTION TO THE ROOF

FLOOR PLAN LEGEND

SCUPPERS

1HR FIRE BARRIER
- DOOR NUMBER
- DOOR HARDWARE SET NUMBER
- DOOR ELEVATION
PARTITION TAG
WINDOW TAG
CMU

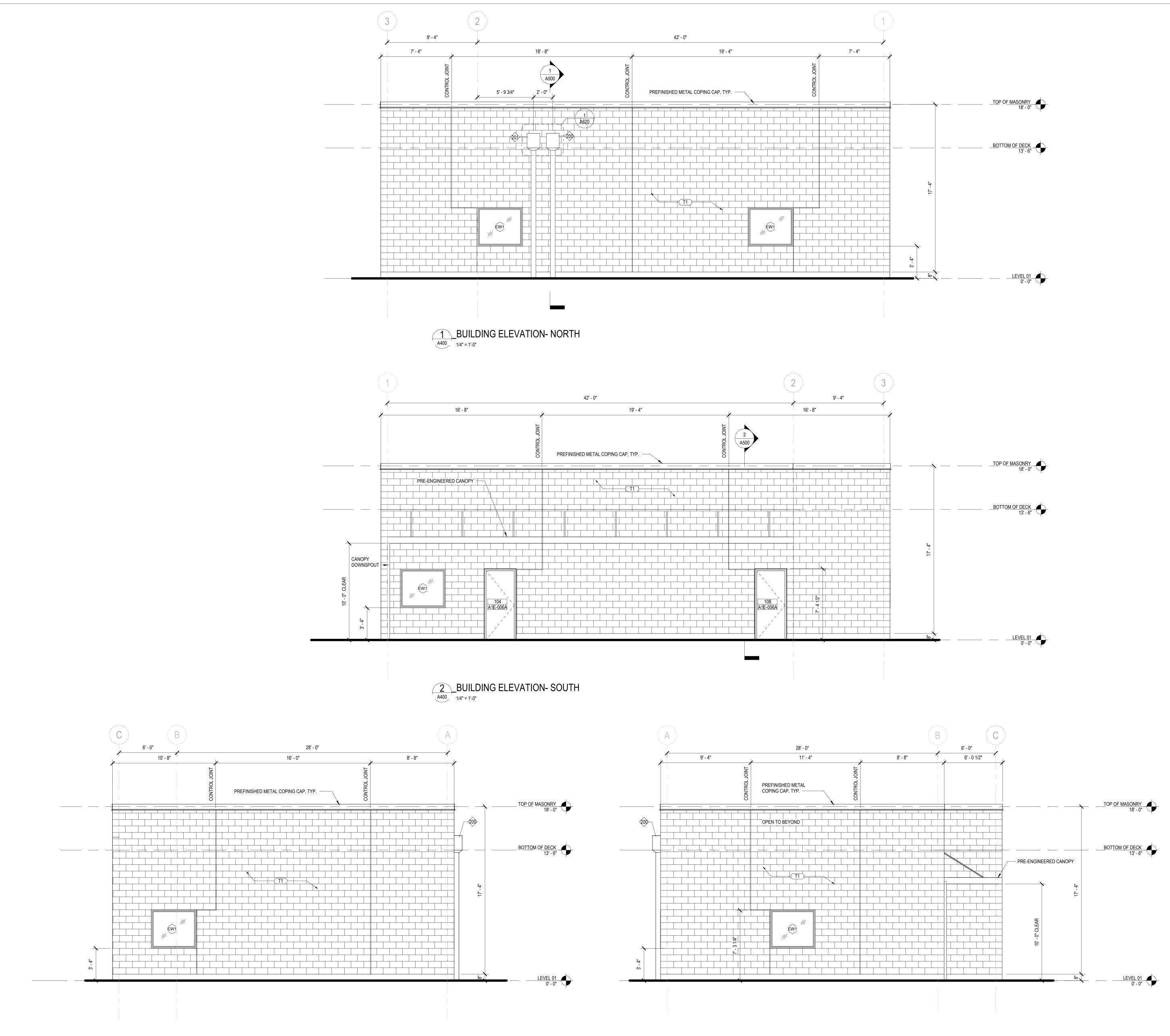
GENERAL NOTES - ROOF PLAN

- A. CONTRACTOR MUST VERIFY IN FIELD (VIF) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION, AND NOTIFY THE ARCHITECT/ ENGINEER IN WRITING UPON DISCOVERY OF
- ANY DISCREPANCIES. B. REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF WORK.
- C. ROOF CURBS FOR EQUIPMENT SHALL BE FURNISHED WITH WEATHERPROOF CAPS. D. COORDINATE ALL REQUIRED ROOF SCOPE w/ MEP TRADES, INCLUDING BUT NOT LIMITED TO PLUMBING, VENTS, POWER
- CONDUITS, ETC. E. ALL PENETRATIONS (PIPING, VENTS, ETC.) CREATED IN THE ROOF SHALL BE DETAILED IN ACCORDANCE w/ THE ROOFING MANUFACTURER'S RECOMMENDATIONS & STANDARD DETAILS, SHALL BE CONSISTENT w/ THE WARRANTY OF THE ROOFING ASSEMBLY, AND SHALL NOT REDUCE OR VOID THE WARRANTY IN ANY MANNER.
- F. PROVIDE ROOF DAVITS FOR FUTURE MAINTENANCE TIE-OFF. G.C. SHALL COORDINATE EXACT INSTALL DIMENSIONS IN FIELD TO ENSURE DAVIT IS 8" ABOVE THE ROOF SURFACE AND PROPERLY FLASHED.

ROOF PLAN LEGEND

TAPERED ROOF INSULATION RESERVED SOLAR AREA FOR FUTURE USE

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KI	MLE	ENGINEER Y HORN		STRUCTURAL ENGINEER HKS
(9	25) 3	ONY VERA 398-4840 Chabot Drive		CLINT NASH (214) 969-5599 One Dallas Center
S	uite 3		94588	350N. Saint Paul Street, Suite 100 Dallas, Texas 75201
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CI	hicag	5300 go, Illinois 60606 ECT:	3	10th Floor San Francisco, California 94104
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BUILDING ELEVATION- EAST

4 BUILDING ELEVATION- WEST

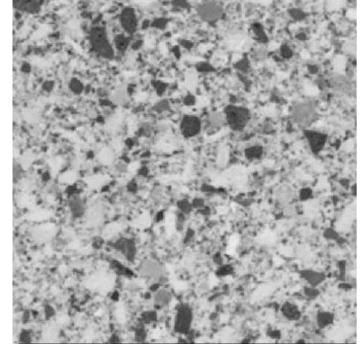
GENERAL NOTES

1. CHAMFER ALL EXPOSED CONCRETE EDGES. 2. LINE OF FOOTINGS / FOUNDATIONS SHOWN (DASHED) ARE FOR REFERENCE ONLY. REFER TO STRUCTURAL FOR FOOTING / FOUNDATION ELEVATIONS, SIZES AND DETAILS. 3. ALL EXPOSED METAL TO BE PAINTED, UON, TYP.

KEYNOTE LEGEND Key Value Keynote Text

THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOU ON EXTERIOR FACE OF BUILDING OVERFLOW THROUGH WALL SCUPPER. LOCATE 1 FOOT TO SIDE OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE

T1 TRENDSTONE GROUND FACE CMU - 'OREO CREAM'



<u>LEGEND</u>

	GROUND FACE STRUCTURAL CMU WITH CLEAR ACRYLIC SEALANT TRENDSTONE - OREO CREAM MIDWEST
	GLASS
EW1	WINDOW
L2	LOUVER

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PRC	DJECT DELIVER	RY PACKAGI	E
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Attachment II



HAYWARD INDUSTRIAL DESIGN GUIDELINES -BUILDING DESIGN

MASSING & ARTICULATION

1. Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height, and roofs located at different levels in order to minimize the overall appearance of the elevation. In general, building wall planes visible from a public street should not continue for more than 50-feet without a change in building wall plane direction of 2-feet or more.

Design massing elements to be properly scaled and in proportion to one another in order to provide a balance between horizontal and vertical emphasis.

3. Organize street facing building massing so as to emphasize interior uses of a building, such as the primary entry, building corners, or office space, through the use of varying roof height, windows, variation in materials, and other design treatments. 4. Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, or other features to create shadow patterns and depth on building elevations. Reuse of existing buildings may also include wall art or sculptural art elements.

 Minimize blank wall planes on all elevations through the use of wall plane variation, trim or reveals, entry and window openings, and/or varying colors and materials.

WINDOWS & DOORS

 Use window and door type, proportion, and colors and materials to complement the overall architectural style of the building.

7. Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.

COLORS AND MATERIALS

8. Select building colors and materials to reinforce building design, detailing, and architectural form in order to achieve harmony and continuity of the overall design.

9. Utilize accent colors for trim, windows, doors, and other key architectural elements, such as primary building entries, to add visual interest to a building.

10. Apply materials in a manner that corresponds to variation in building massing. Wrap outside corners to avoid a tacked-on appearance

 Use durable and high quality materials on building exteriors, especially in areas near ground level.



HAYWARD INDUSTRIAL DESIGN GUIDELINES -BUILDING DESIGN

MASSING & ARTICULATION

1. Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height, and roofs located at different levels in order to minimize the overall appearance of the elevation. In general, building wall planes visible from a public street should not continue for more than 50-feet without a change in building wall plane direction of 2-feet or more.

2. Design massing elements to be properly scaled and in proportion to one another in order to provide a balance between horizontal and vertical emphasis.

3. Organize street facing building massing so as to emphasize interior uses of a building, such as the primary entry, building corners, or office space, through the use of varying roof height, windows, variation in materials, and other design treatments.

4. Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, or other features to create shadow patterns and depth on building elevations. Reuse of existing buildings may also include wall art or sculptural art elements.

5. Minimize blank wall planes on all elevations through the use of wall plane variation, trim or reveals, entry and window openings, and/or varying colors and materials.

WINDOWS & DOORS

6. Use window and door type, proportion, and colors and materials to complement the overall architectural style of the building.

7. Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.

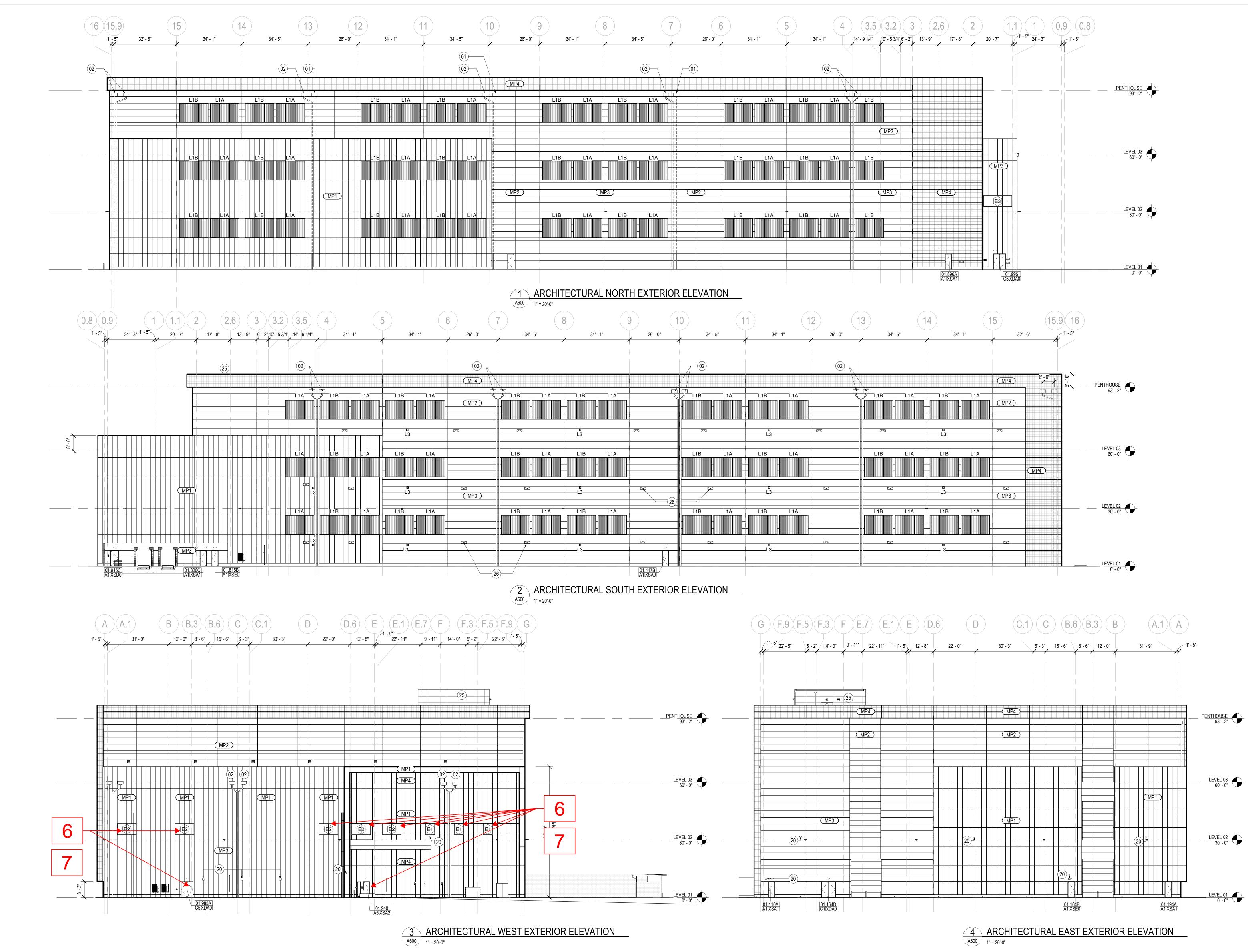
COLORS AND MATERIALS

8. Select building colors and materials to reinforce building design, detailing, and architectural form in order to achieve harmony and continuity of the overall design.

9. Utilize accent colors for trim, windows, doors, and other key architectural elements, such as primary building entries, to add visual interest to a building.

10. Apply materials in a manner that corresponds to variation in building massing. Wrap outside corners to avoid a tacked-on appearance

11. Use durable and high quality materials on building exteriors, especially in areas near ground level.



02 THROUGH WALL SCUPPER AND DOWN SPOUT. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS BELOW. PREFINISHED TO MATCH ADJACENT WALL COLOR. TYP. 03 DOCK SEAL, TYP. 06 WINDOW TYPE 'E1', RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH. 07 WINDOW TYPE 'E3', RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH. 08 EXTERIOR DOORS TO BE PAINTED TO MATCH COLOR OF WALL IN WHICH THEY OCCUR TYP. 09 METAL PANEL SYSTEM REVEALS TYP 12 BUILDING ENTRY STOREFRONT DOOR AND GLAZING. 13 LINE OFSCREEN WALL (DASHED). REFER TO PROVIDED ELEVATIONS FOR ADDITIONAL INFORMATION. 18 6" HIGH STEEL LETTERS, PIN MOUNTED TO TILT UP PANEL; PAINTED TO MATCH EPT3 20 WALL PACK EXTERIOR LIGHT FIXTURE; CENTER OVER DOOR OR OVER LOUVERS OR WITHIN PANEL, WHERE APPLICABLE; RE: ELECTRICAL DRAWINGS 25 METAL PANEL TYPE 5 (TO BE DETERMINED) 26 WALL CUTOUTS TO BE COORDINATED WITH MEP.

SHEET NOTES - EXTERIOR ELEVATIONS SHEET NOTE

01 THROUGH WALL SCUPPER AND DOWN BEHIND METAL PANEL. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS PREFINISHED TO MATCH ADJACENT LOUVER COLOR. TYP.

11

EXTERIOR FINISH LEGEND:

MP1	BOD: CENTRIA FORMA WALL DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH COATING
	9960 XL DARK BRONZE
MP2	BOD: CENTRIA FORMA WALL DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING
	200 DEEP BLUE SEA
MP3	BOD: CENTRIA FORMA WALL WHITE COLOR SMOOTH EXTERIOR TEXTURE
	179 REGAL WHITE
MP4	BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING
	9960 XL MEDIUM GRAY
MP5	BOD: CENTRIA PARADIGM METAL PAN 9918 DOVE GRAY; 9989 PLATINUM SUNDACNE AM COATING; 9989 PLATINUM SUNDANCE MICA COATING

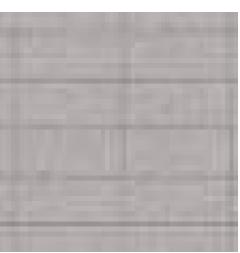
EXTERIOR FINISH LEGEND



MP1



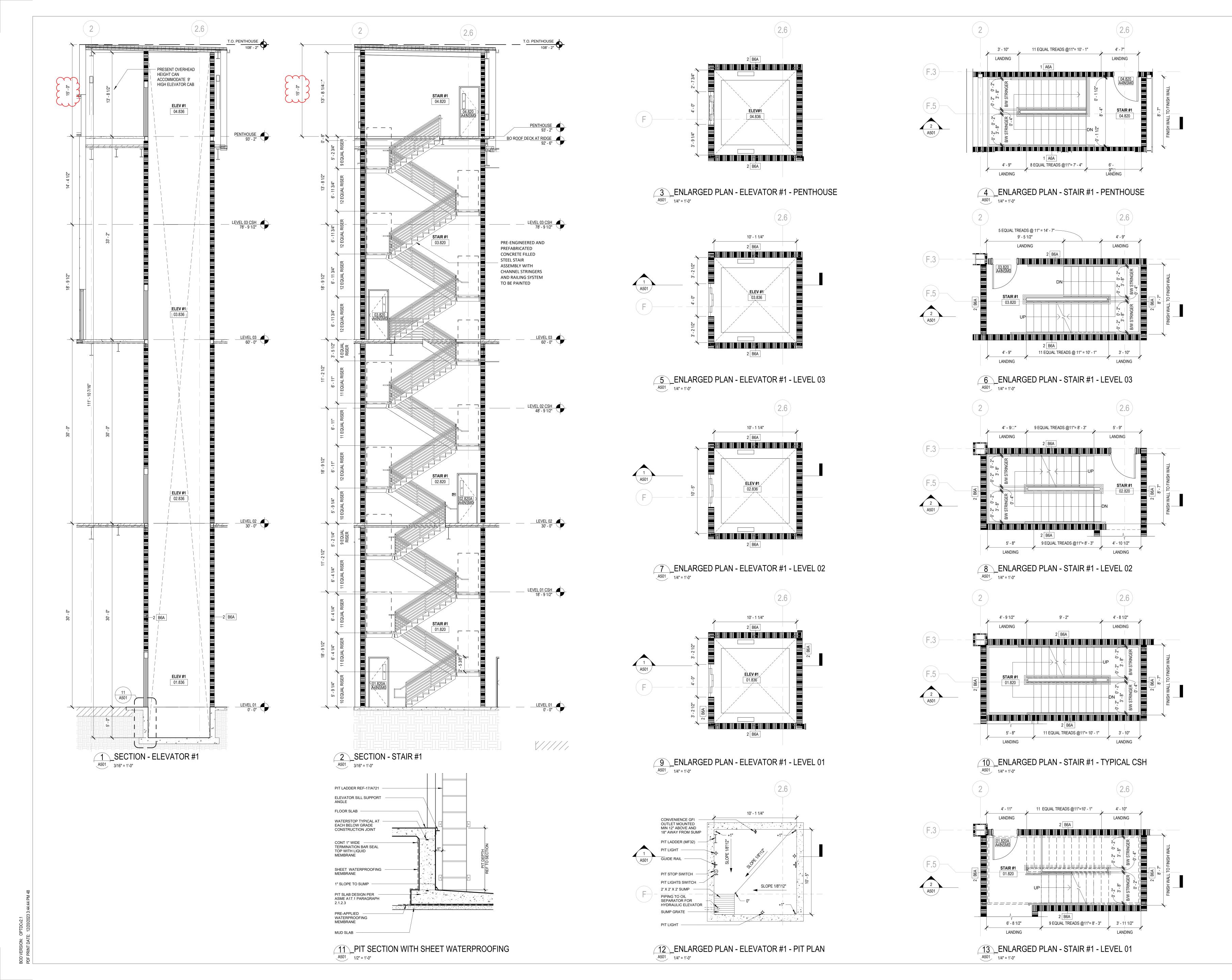
MP3



MP4

Attachment	Π

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TITLE	BUILDING A SHELL TITLE: ARCHITECTURAL ELEVATOR & STAIR PLANS & SECTIONS					
DRAV	DRAWING: A501					

BUILDING A

TOTAL FOOTPRINT				
BUILDING A	105,750	SF		
GEN YARD	55,150	SF		
TOTAL	160,900	SF		

GFA		
LEVEL 01	105,750	SF
LEVEL 02	105,750	SF
LEVEL 03	98,960	SF
TOTAL	310,460	SF
GEN YARD	55,150	SF
TOTAL(DH + GEN. YARD)	365,610	SF

BUILDING B

TOTAL FOOTPRINT			
BUILDING B	1,605	SF	

GFA	
BUILDING B	1,605 SF

SITE

Landscaped Area	135,643	SF
Total Open Space	53,000	SF
Substation SVY03S1 Area	23,210	SF
Switching Station	25,800	SF
Lot Coverage	500,287	SF

Attachment II

68	Spaces
4	ADA
71	Spaces
	4

Bike Requirements			
Long Term		7	EA
Short Term		10	EA
	Total	17	Total

BUILDING A AREA BREAKDOWN					
ROOMS	LEVEL 01	LEVEL 02	LEVEL 03	PENTHOUSE	TOTAL
DATA HALL + DAHU	69,280	65 <i>,</i> 820	62,520		197,620
ELECTRIC ROOMS	16,780	16,780	16,780		50,340
OFFICE/LOBBY	13,100	14,380	7,260		34,740
STORAGE	2,440	1,070	1,180		4,690
STAIRS + ELEV WELL + SHAFT	4,150	7,700	11,220	884	23,954
	105,750	105,750	98,960	884	311,344