



PERSPECTIVE VIEW



PERSPECTIVE VIEW

PROJECT ADDRESS
 26062 EDEN LANDING ROAD
 HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

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ISSUE DATE: PROJECT NO: 25691.000
 DESIGNED: HKS ARCHITECT: HKS

MARK	DATE	DESCRIPTION

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MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 551-8672 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
CIVIL ENGINEER KIMLEY HORN ANTHONY VERA (925) 398-4840 4537 Chabot Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201
ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
TELECOM ENGINEER ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104

PROJECT: BUILDING A SHELL
 TITLE: ARCHITECTURAL ELEVATION

DRAWING: A608
 SCALE: 1/8" = 1'-0" AGILE No: REV:

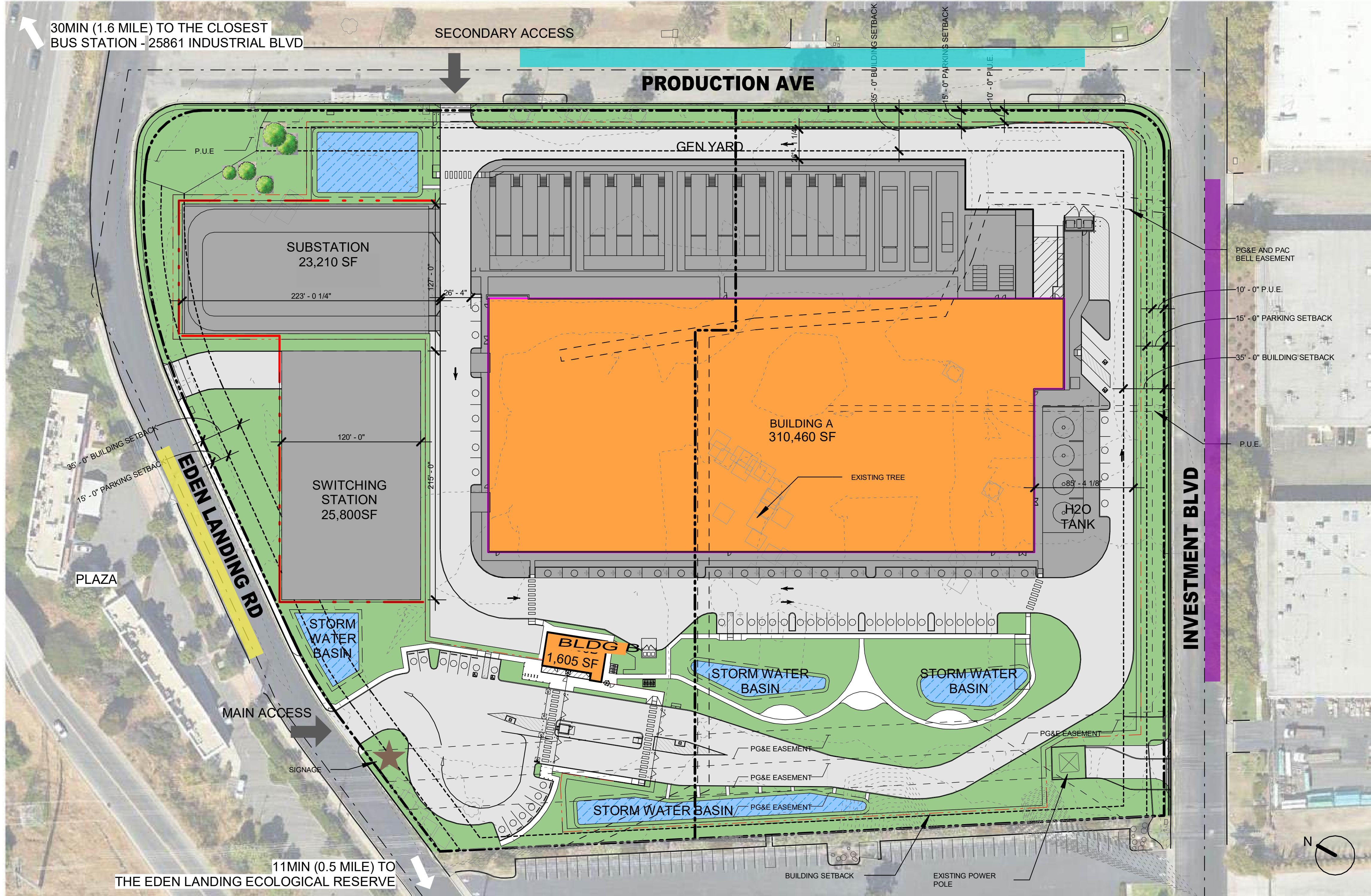
SITE PLAN



PRODUCTION AVE



EDEN LANDING RD



INVESTMENT BLVD

FAR: 0.62
REQUIRED PARKING: 182 Spaces
PARKING PROVIDED: 71 Spaces
% LANDSCAPE: 27%

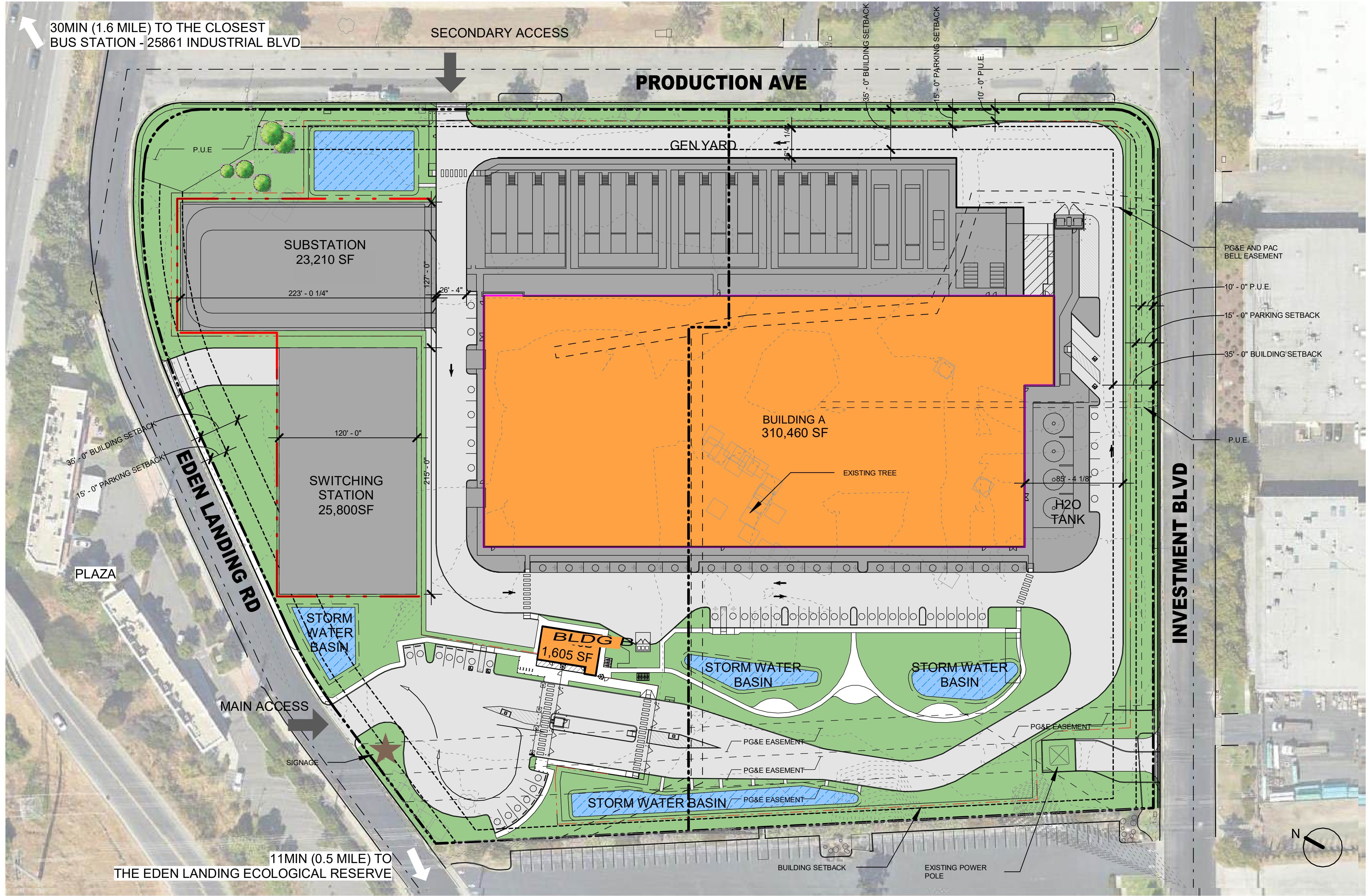
SITE PLAN - WB67 TURNING



PRODUCTION AVE



EDEN LANDING RD



INVESTMENT BLVD

PRECEDENCE - STACK PROJECTS



MATERIALS: METAL PANELS
GLAZING: TINTED
COLORS: LIGHT GREY, WHITE



MATERIALS: METAL PANELS, CONC PANELS
GLAZING: SPANDREL, TINTED
COLORS: SILVER, WHITE, DARK ACCENTS



MATERIALS: METAL PANELS
GLAZING: SPANDREL, TINTED
COLORS: GREY, BLUE, DARK ACCENTS



MATERIALS: METAL PANELS, CONC PANELS
GLAZING: SPANDREL, TINTED
COLORS: SILVER, BEIGE, BROWN ACCENTS

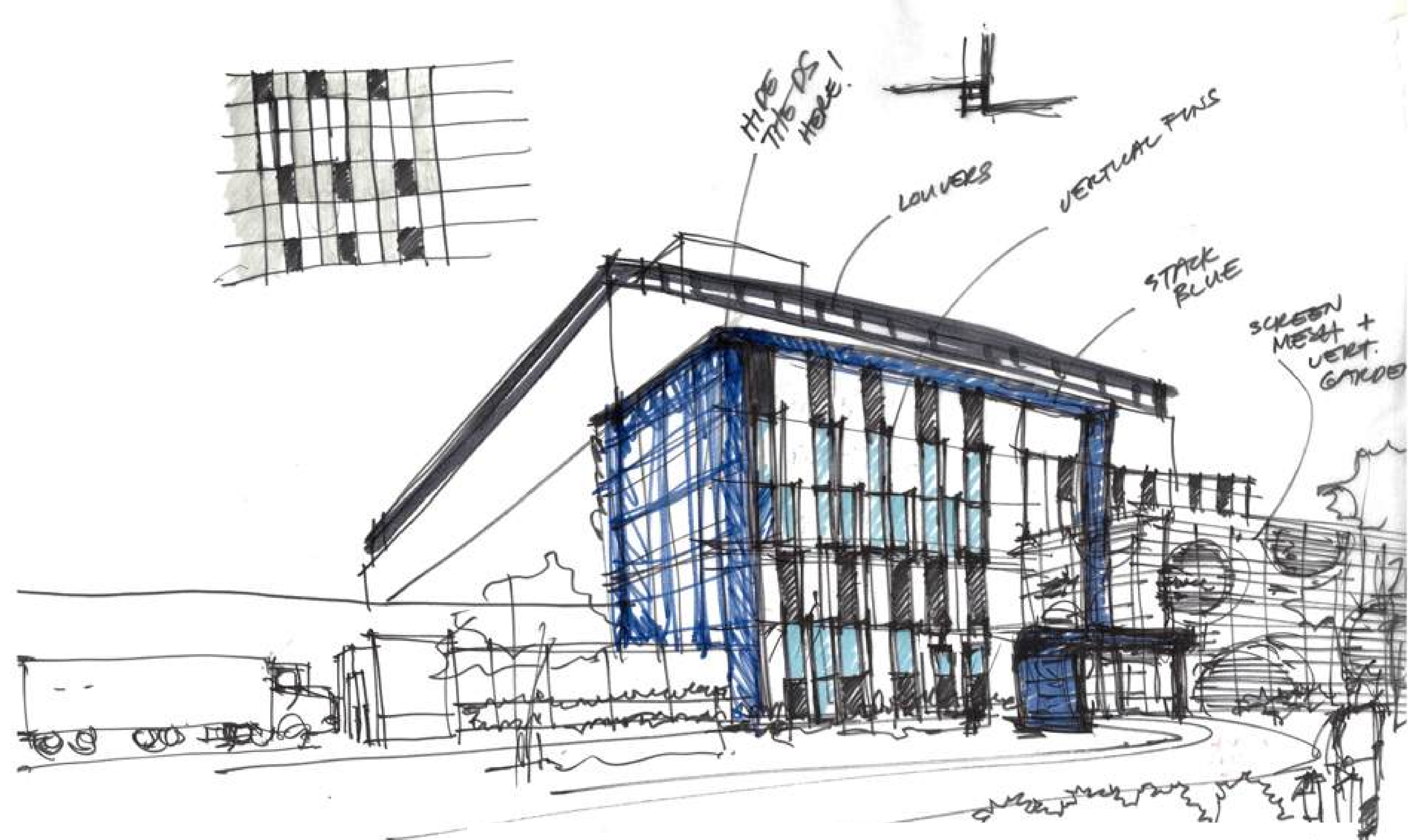


MATERIALS: METAL PANELS
GLAZING: TINTED
COLORS: GROWN, LIGHT GREY, WHITE



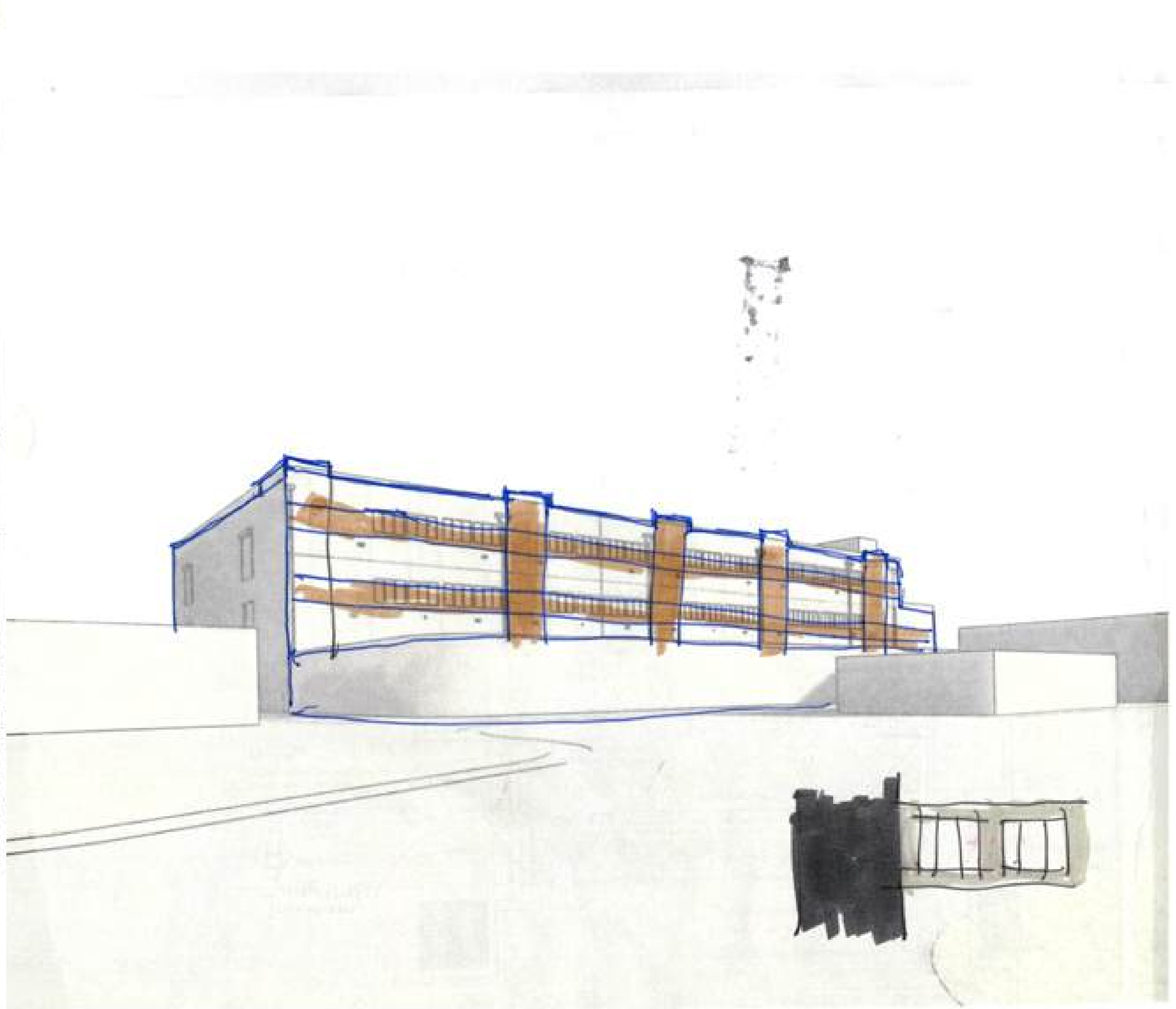
MATERIALS: METAL PANELS
GLAZING: SPANDREL, TINTED
COLORS: GOLD, SILVER

CONCEPT SKETCHES

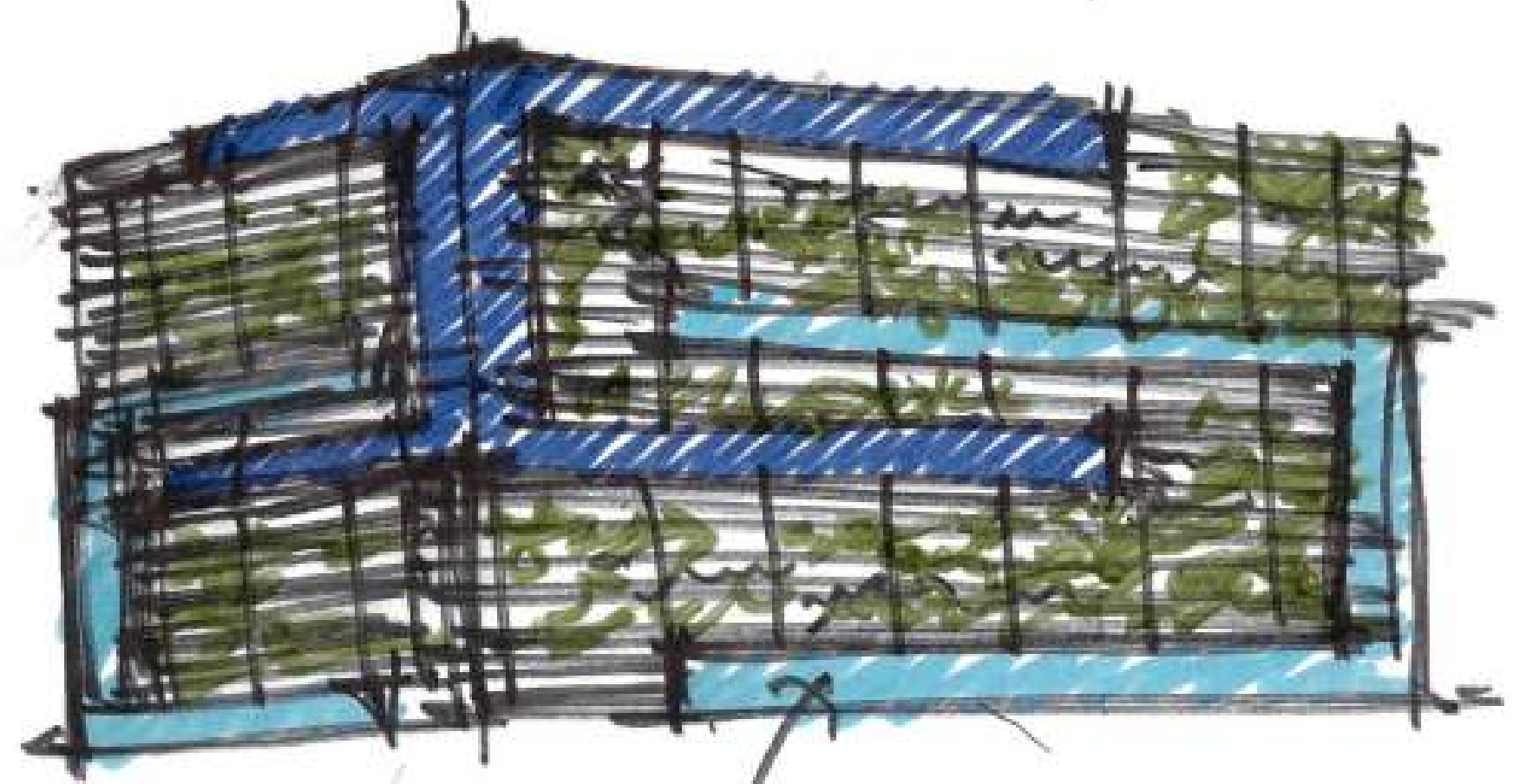


- ACCENTUATE AND FRAME OFFICE VOLUME
- REINTERPRET SCREEN WALL INTO FEATURE WALL
- IDENTIFY AND CREATE ENTRY PORTAL
- ARTICULATE WALL WITH PATTERN AND GLAZING

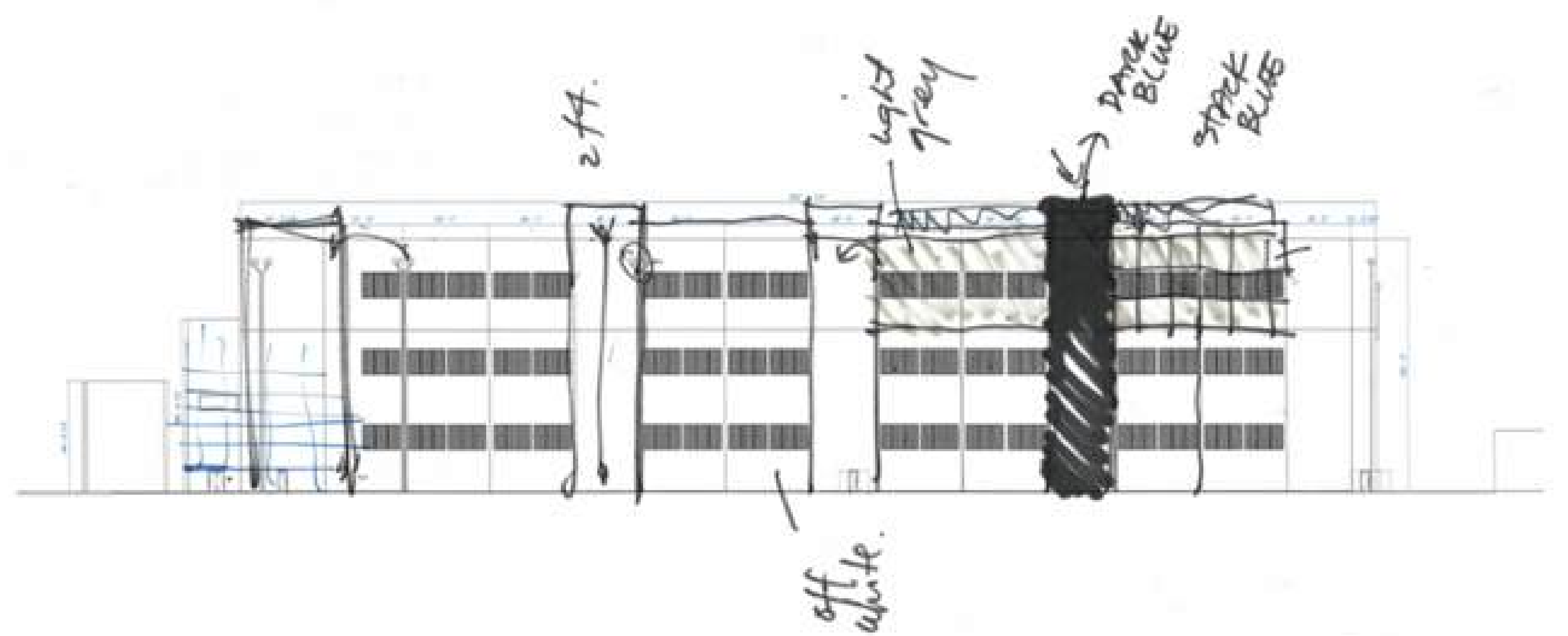
WATER TOWER
 FENCE
 PERF. METAL SCREEN
 + VERT. GARDEN



- ARTICULATE DATA HALL WALL WITH METAL PANELS
- ACCENTUATE HORIZONTAL LOUVERS
- CREATE AND ARTICULATE PATTERN TO CREATE COHESIVE DESIGN LANGUAGE



STACK LOGO



CONCEPT STUDY - ENTRANCE VIEW

Attachment II

COLOR CONSIDERATIONS



LIGHT BLUE LIGHT GREY LIGHT GREY

MATERIAL CONSIDERATIONS



PERFORATED SCREEN



ARCHITECTURAL LOUVERS



CONCRETE PANEL



METAL PANEL



HAYWARD DESIGN GUIDELINES:

- ① Incorporate architectural features such as awnings, canopies, trellises, and/or other treatments such as vertical architectural features or unique building colors or materials to clearly identify primary building entries.
- ② Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.
- ③ Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, etc.



CONCEPT STUDY - DATA HALL VIEW

Attachment II

COLOR CONSIDERATIONS



LIGHT BLUE DARK GREY LIGHT GREY

MATERIAL CONSIDERATIONS



PERFORATED SCREEN



ARCHITECTURAL LOUVERS



CONCRETE PANEL



METAL PANEL



HAYWARD DESIGN GUIDELINES:

4 Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height. In general, building wall planes visible from public street should not continue for more than 50 feet without a change in building wall plane direction of 2 feet for more



5 Articulation and detailing continue on side elevation through use of windows, awnings, and other detailing



6 Provide screening for mechanical and electrical equipment as an integral part of roof structure design.



CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE A:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF HAYWARD, IN THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

Parcel One-A: Parcel 1 of Parcel Map No. 660, filed January 8, 1971, in Book 64, Page 100 of Maps, Alameda County Records. Parcel One-B: Being a portion of Production Avenue as dedicated, accepted, and shown on that certain map of Tract 2898 Edin Landing Industrial Park...

Parcel Two: Parcel 2 of Parcel Map No. 660, filed January 8, 1971, in Book 64, Page 100 of Maps, Alameda County Records. APN: 461-0085-016-00

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE B, SECTION II:

Numbers correspond with survey-related Schedule B exception items contained in the above referenced Title Commitment.

7. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company Purpose: Transmission and Distribution of Electricity Recording Date: December 19, 1910 Recording No.: Book 1844 of Deeds, Page 278 Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660...

8. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company Purpose: Transmission and Distribution of Electricity Recording Date: March 5, 1958 Recording No.: Book 8611, Page 323, of Official Records Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660...

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

9. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company Purpose: Transmission and Distribution of Electricity Recording Date: March 5, 1958 Recording No.: Book 8611, Page 325, of Official Records Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660...

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

10. A waiver of any claims for damages by reason of the location, construction, landscaping or maintenance of a contiguous freeway, highway or roadway, as contained in the Document Records November 27, 1963, Book/Reel 1055, Page/Image 981, Official Records. (BENEFITS THE SUBJECT PROPERTY - AREA DESCRIBED IS WITHIN THE CURRENT DEDICATED RIGHT-OF-WAY OF EDEN LANDING ROAD)

11. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company Purpose: Transmission and Distribution of Electricity Recording Date: May 22, 1967 Recording No.: Reel 1967, Image 510, of Official Records Affects: Portion of Parcel Two, and as shown on Parcel Map 660...

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

12. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, marital status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document.

Recording Date: June 30, 1967 Recording No.: Reel 1991, Image 793, of Official Records Modification(s) of said covenants, conditions and restrictions

Recording Date: March 30, 1973 Recording No.: Reel 3378, Image 850, of Official Records Modification(s) of said covenants, conditions and restrictions

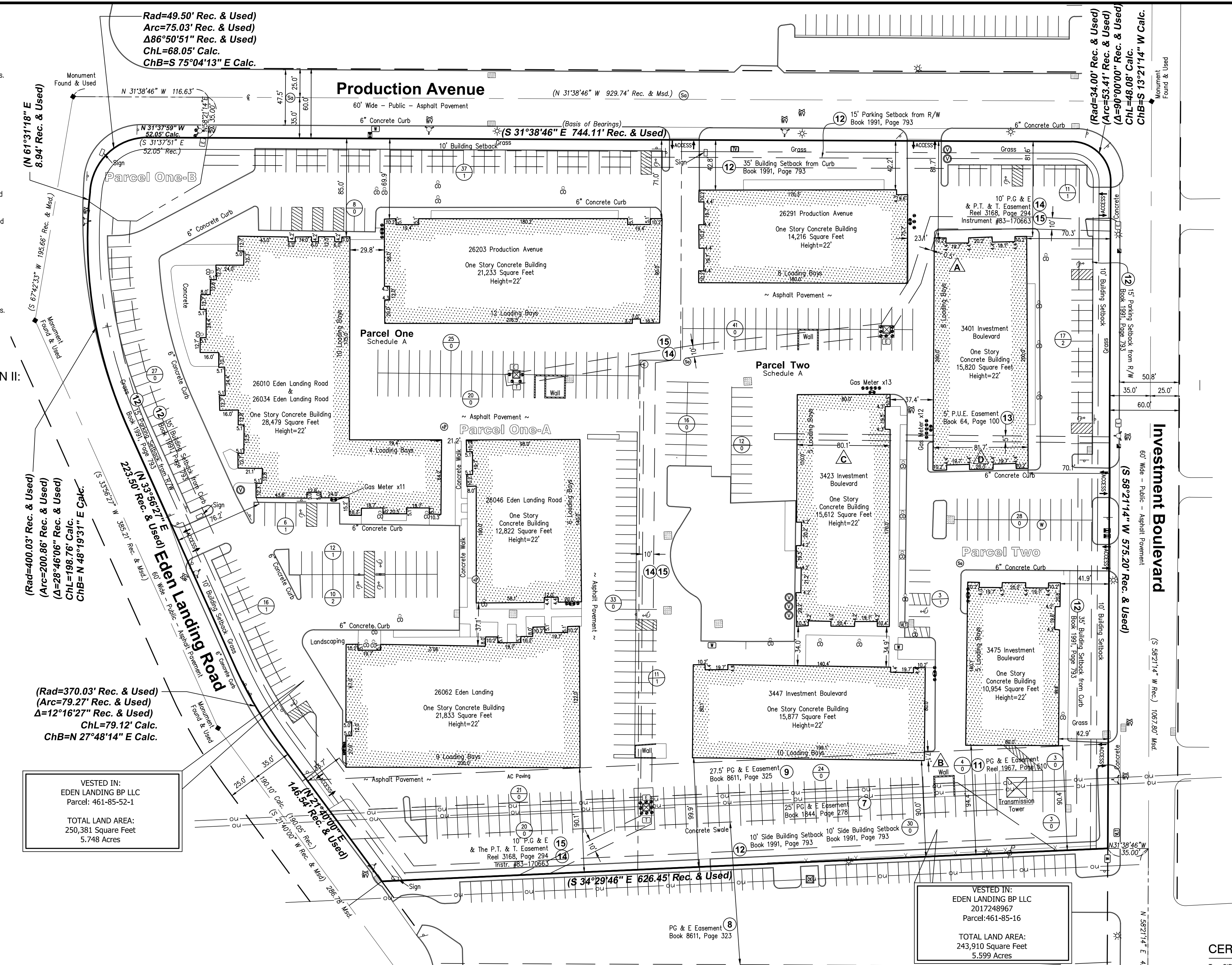
Recording Date: May 18, 1973 Recording No.: Reel 3420, Image 499, of Official Records (Affects Parcels One and Two) (AFFECTS THE SUBJECT PROPERTY AS TO BUILDING AND PARKING SETBACKS - PLOTTED AND SHOWN HEREON)

13. Easement(s) for the purpose(s) shown below and rights incidental thereto as delineated or as offered for dedication, on the map of said tract/plot:

Purpose: Public utilities Affects: Portion of Parcels One and Two, as shown on Parcel Map 660, filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

14. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: The Pacific Telephone & Telegraph Company Purpose: Public utilities Recording Date: September 15, 1983 Recording No.: 83-170663, of Official Records Affects: Portion of Parcels One and Two, whose exact location cannot be determined of record. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)



CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE B, SECTION II:

14. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company Purpose: Public utilities Recording Date: July 8, 1971 Recording No.: Reel 2894, Image 770, of Official Records Affects: Portion of Parcels One and Two

and Recording Date: June 28, 1972 Recording No.: Reel 3168, Image 294, of Official Records Notice of Location Recorded by Pacific Gas and Electric Company and Recorded April 27, 1972, Reel 3117, Image 962, Official Records.

The terms and provisions contained in the Document Entitled "Relocation Agreement" Recorded June 20, 1997, as Instrument No. 97-134100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

15. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: The Pacific Telephone & Telegraph Company Purpose: Public utilities Recording Date: September 15, 1983 Recording No.: 83-170663, of Official Records Affects: Portion of Parcels One and Two, whose exact location cannot be determined of record. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

ZONING:

As of March 8, 2021, we have not yet received the current zoning information for the subject property.

FLOOD ZONE:

By scaled map location and graphic plotting only, the subject property appears to lie entirely in Zone X-Unshaded (Areas determined to be outside the 0.2% annual chance floodplain) according to the Flood Insurance Rate Map for the County of Alameda, State of California, Community Panel No. 06001C02886 Effective Date August 3, 2009.

BASIS OF BEARING:

The basis for all bearings shown hereon is the centerline of Production Avenue, known as being South 31°38'46" East, per an ALTA/ACSM Survey by Kier & Wright dated August of 2000.

PARKING:

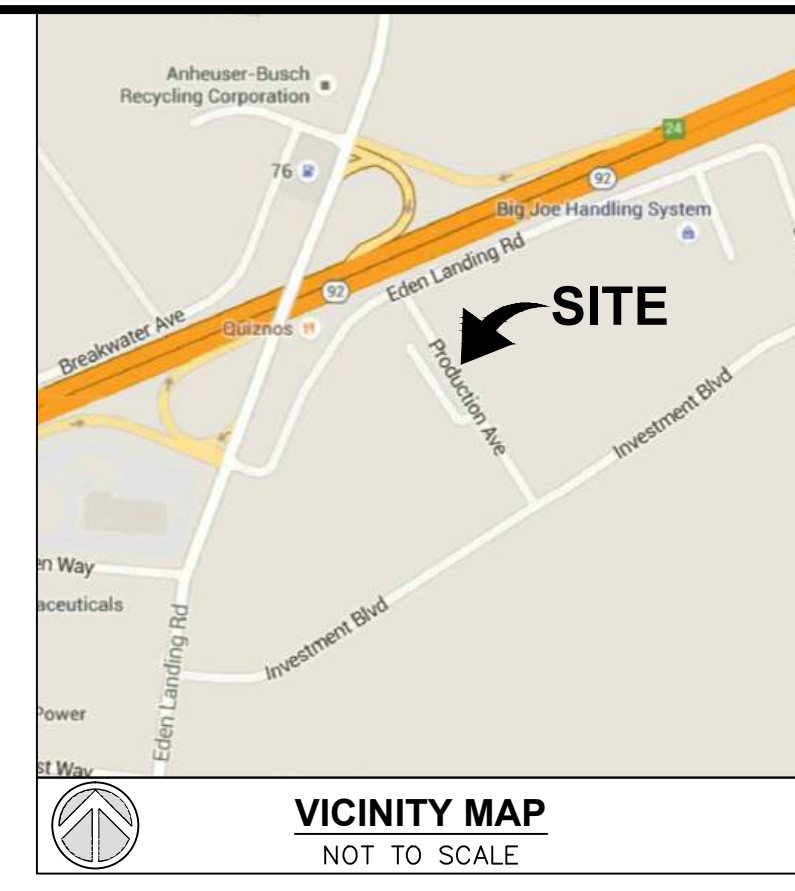
441 Parking Spaces 13 Handicapped Spaces 454 Total Parking Spaces Subject property includes 73 Loading Bays

MISCELLANEOUS NOTES:

- 1. There is direct access to the subject property via Investment Boulevard, Production Avenue and Eden Landing Road, all being public right-of-ways. 2. The locations of all utilities shown on the survey are from visible surface evidence only. 3. The posted address on site is 26010, 26034, 26046 & 26062 Eden Landing Road, 3401, 3423, 3447 & 3475 Investment Boulevard, 26203 & 26291 Production Avenue, Hayward, California. 4. At the time of this survey, there was no observable surface evidence of earth moving work, building construction or building additions within recent months. 5. At the time of this survey, there was no observable evidence of the subject property being used as a solid waste dump, sump or sanitary landfill. 6. At the time of this survey, there was no observable evidence of any recent changes in street right-of-way lines either completed or proposed, and available from the controlling jurisdiction. 7. At the time of this survey, there was no observable evidence of any recent street or sidewalk construction or repairs. 8. At the time of the survey, no party walls were observed. 9. Rectified orthophotography, photogrammetric mapping, airborne/mobile laser scanning and other similar products were not used as the basis for showing the location of any features within this survey. 10. The Property surveyed and shown hereon is the same property described in Schedule A of Chicago Title Company (issuing agent for Chicago Title Insurance Company) Preliminary Report No. 15607853-156-TJK-JM, Effective Date: February 18, 2021.

SURVEYOR'S OBSERVATIONS:

- A Subject's Building appears to lie a maximum distance of 0.5 feet over the 10' P.G. & E. and P.T. & T. Easements recorded in Reel 3168, Page 294, and in Instrument #83-170663 of Alameda County Records. B Subject's Building appears to lie a maximum distance of 7.1 feet over the 27.5' P.G. & E. Easement recorded in Book 8611, Page 325 of Alameda County Records. C Subject's Building appears to lie a maximum distance of 80.1 feet over the 5' P.U.E. Easement, recorded in Book 64, Page 100 of Alameda County Records. D Subject's Building appears to lie a maximum distance of 81.7 feet over the 5' P.U.E. Easement, recorded in Book 64, Page 100 of Alameda County Records.



SYMBOL LEGEND

- Centerline Surveyor's Observation Schedule B-Section II Item Radius Arc Length Delta Angle Chord Length Chord Bearing Calculated Measured Record Monument in Monument Box Found As Noted No. of Regular Parking Spaces No. of Handicap Parking Spaces Cable TV Vault Curb Inlet Basin w/ Grate Catch Basin Cleanout Sanitary Manhole Fire Hydrant Water Valve Water Meter Water Manhole Water Vault Gas Meter Electric Transformer Electric Vault Telephone Pedestal Telephone Vault Irrigation Valve Utility Vault Handicap Space Sign Light Pole Cholinlink Fence Wall (As Noted) Overhead Utilities No Parking Area Building Area

CERTIFICATION:

To: CIP Real Estate and its successors and assigns; Eden Landing BP, LLC, a Delaware limited liability company, and its successors and assigns; Wells Fargo Bank, National Association, and its successors and assigns; Chicago Title Company and Chicago Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 13, 15, 16, and 17 of Table A thereof. The field work was completed on February 19, 2021.

Date of Plat or Map: March 8, 2021.

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Professional Land Surveyors Act of the request of CIP Real Estate on February 8, 2021.

By: S. Craig Davis, PLS Licensed Land Surveyor No. 6262 within the State of California For and on behalf of Millman Surveying, Inc.

Table with 3 columns: BY, DATE, COMMENT. Contains revision history entries for PWC dated 03/09/2021, 04/05/2021, and 04/09/2021.

REVISION HISTORY

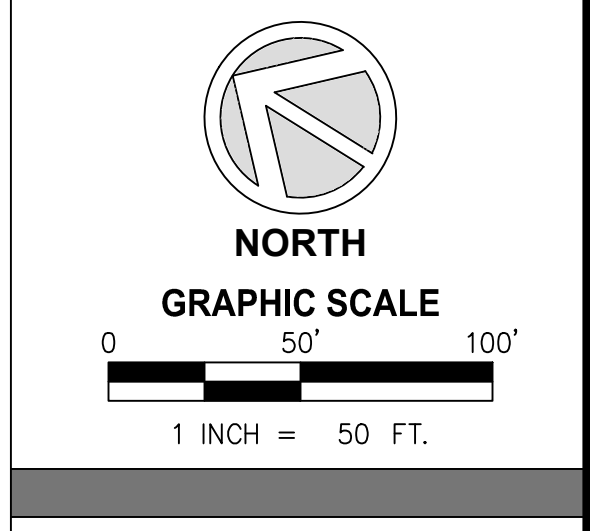
Table with 3 columns: BY, DATE, COMMENT. Contains revision history entries for PWC dated 03/09/2021, 04/05/2021, and 04/09/2021.

millman National Land Services Transforming the Industry Surveying Zoning Environmental Real Support - Title Review Millman Surveying, Inc. Corporate Headquarters 4111 Bradley Circle NW Canton, OH 44718 Phone: 800-520-1010 Fax: 330-342-0834 www.millmanland.com landsurveyors@millmanland.com

ALTA/NSPS LAND TITLE SURVEY PREPARED FOR:

CIP Real Estate 19762 MacArthur Boulevard Suite 300 Irvine, California 92612

26010, 26034, 26046 & 26062 Eden Landing Road; 3401, 3423, 3447 & 3475 Investment Boulevard; 26203 & 26291 Production Avenue City of Hayward County of Alameda State of California

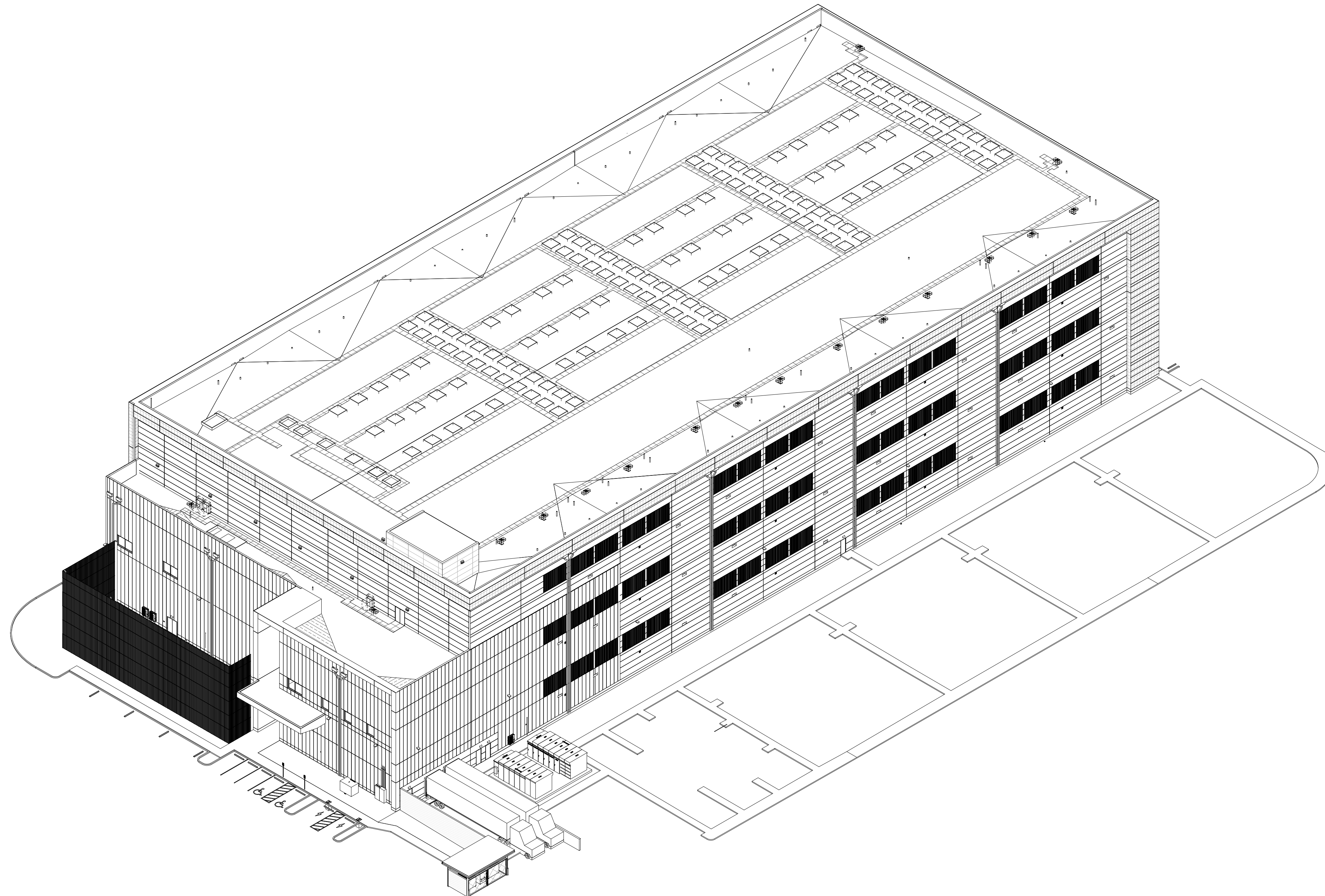


PRELIMINARY FOR REVIEW ONLY

Surveyor's Seal

Sheet No. 1 of 1

MSI Project No. 49336 Prior MSI Project No. 41841 PC: ERF PM: PWC Drafter: KHD



BUILDING A

BUILDING DATA

STRUCTURAL TYPE	FLEX WAREHOUSE AND COMMERCIAL OFFICE COMPUTER DATA CENTER AND RELATED OFFICE AREA
SCOPE OF WORK	NEW COLD DARK AND WET SHELL, TO HAVE SUBSEQUENT PHASED INTERIOR BUILD OUT
NOTES OF OCCUPANCY	STORAGE ROOMS ARE TO CONTAIN COMPUTER AND MECHANICAL EQUIPMENT SPARE PARTS AND COMPONENTS, STORAGE ROOMS ARE NOT INTENDED TO STORE ANY HAZARDOUS MATERIALS SUCH AS FLAMMABLE COMBUSTIBLE LIQUIDS OR CORROSIVE / TOXIC MATERIALS THE PRIMARY PURPOSE OF THIS PROJECT IS TO HOUSE COMPUTER EQUIPMENT AND ITS SUPPORTING INFRASTRUCTURE. THE DATA HALL WILL BE OCCUPIED ONLY DURING PERIODIC MAINTENANCE AND SERVICE WORK

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

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ISSUE DATE: PROJECT NO: 25691.000
DESIGNED: HK5 ARCHITECT: HK5

MARK DATE DESCRIPTION

MARK	DATE	DESCRIPTION

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CIVIL ENGINEER KIMLEY HORN ANTHONY VERA (925) 398-4940 4537 Chabot Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HK5 CLINT NASH (214) 969-5999 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201
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ARCHITECT HK5 DUTCH WICKES (214) 969-5999 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
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TELECOM ENGINEER ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER GUIDEPOST JON GOLUBOIS (415) 616-8822 315 Montgomery Street 15th Floor San Francisco, California 94104
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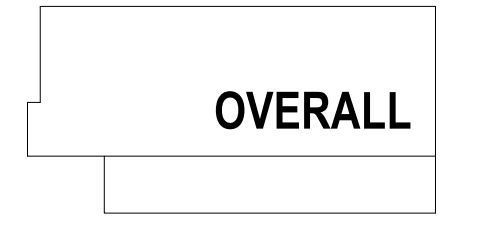
PROJECT: BUILDING A SHELL

TITLE: PROJECT COVER SHEET

DRAWING: G000.CS

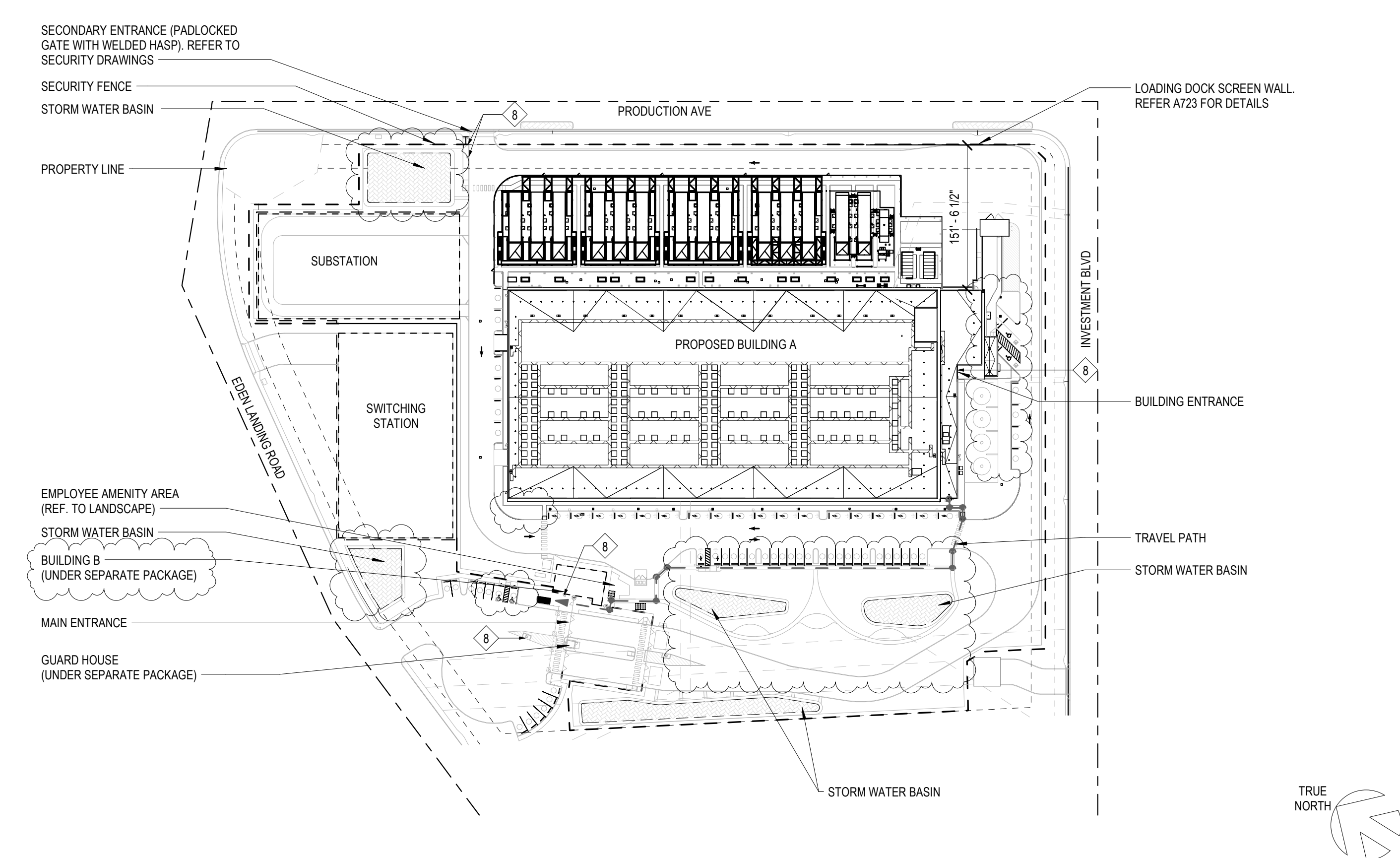
E1 SCALE: AGILE No: REV:

KEYPLAN



SITE NOTES

1. THESE ARE ARCHITECTURAL DRAWINGS ONLY AND ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FROM VARIOUS DISCIPLINES AS LISTED ON THE DRAWINGS INDEX.
2. ALL DEMOLITION OF EXISTING BUILDING SITE ELEMENTS ARE TO BE WITH IN A SEPARATE CONTRACT AND DRAWINGS (NOT INCLUDED HERE) PRIOR TO THE EXECUTION OF THE INDICATED NEW CONSTRUCTION AND SITEWORK.
3. OTHER BUILDINGS INDICATED ON SITE ARE FOR LOCATION REFERENCE PURPOSES ONLY. N.I.C.D. BUILDING GENERATOR PADS AND UPPER GENERATOR ACCESS STAIRS AND PLATFORM ARE NOT IN THIS CONTRACT.
4. BUILDING GENERATOR PADS AND UPPER GENERATOR ACCESS STAIRS AND PLATFORM ARE NOT IN THIS CONTRACT.
5. REFER TO CIVIL DRAWINGS FOR GRADING, MATERIALS SIGNAGE, CURBS, WHEELSTOPS AND STRIPING AT PARKING AREAS. PARKING LAYOUT AND STALLS TO BE FOUND IN CIVIL DRAWINGS. ADA AND STANDARD STALLS TO BE INSTALLED TO MEET ALL ADOPTED CODES.
6. SIDEWALK CONSTRUCTION AND DETAILS TO BE FOUND IN CIVIL DRAWINGS.
7. ALL LANDSCAPE AND PLANTING INFORMATION TO BE FOUND ON LANDSCAPE.
8. LOADING DOCK AREA. ELEVATION OF PAVED LOADING DOCK IS 4" BELOW SLAB HEIGHT AT FOUNDATION FACE TO ALLOW FOR EASE OF ACCESS.
9. ENSURE SMOOTH TRANSITION WHERE NEW ROADWAY PAVING OR SIDEWALK CONNECTS TO EXISTING WITH 1/4" MAXIMUM CHANGE IN LEVEL.
10. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL LIGHTING, PLUMBING, MECHANICAL AND FIRE PROTECTION ELEMENTS.

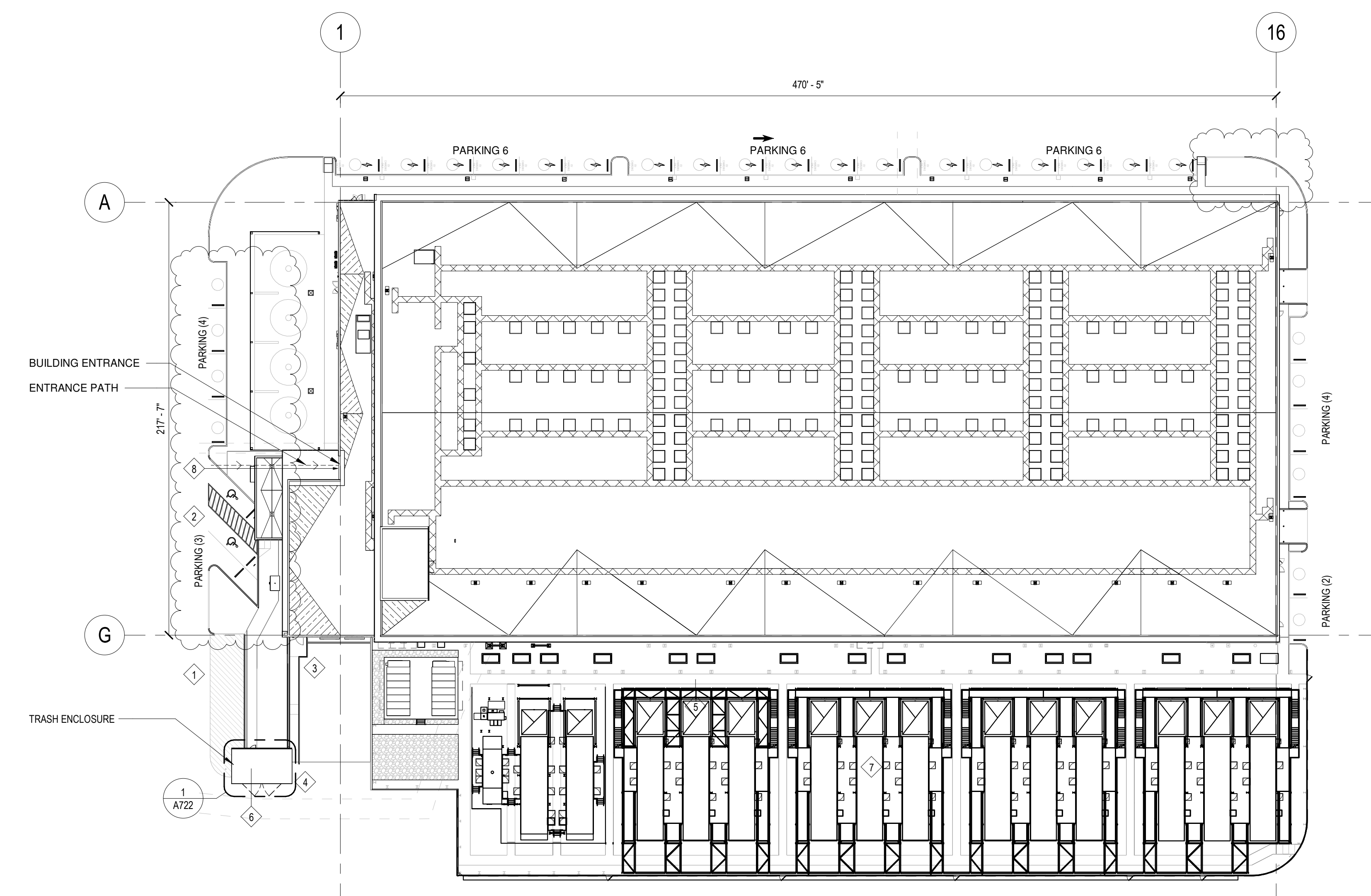
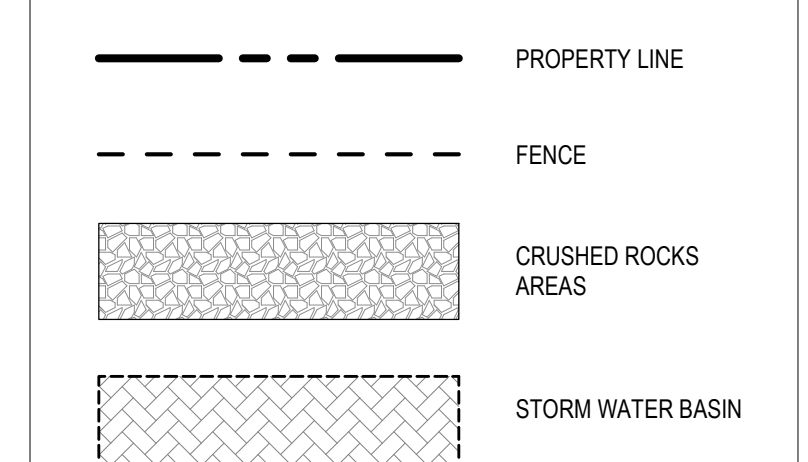


2 ARCHITECTURAL CAMPUS OVERALL PLAN
 A050 1" = 100'-0"

OVERALL SITE PLAN NOTES

1. NEW PARKING STALLS
2. ADA PARKING
3. LOADING DOCK
4. CONCRETE DRIVE AND RAMP AT LOADING DOCK
5. 5'-0" SIDEWALK TYP. LINO.
6. (2) 4 YARD & (1) 3 YARD DUMPSTER WITH CHAINLINK FENCE TRASH ENCLOSURE
7. GENERATOR YARD
8. KNOX BOX (REFER TO SECURITY DRAWINGS)

SITE PLAN LEGEND



1 ARCHITECTURAL SITE OVERALL PLAN
 A050 1" = 40'-0"

PARKING TOTALS

PARKING STALL TYPE	COUNT
ADA PARKING STALL	4
BICYCLE PARKING	5
BIKE PARKING	3
EV ADA PARKING	11
EV PARKING	17
EVCS PARKING	2
PARKING STALL	44
TOTAL PARKING STALLS PROVIDED:	76

CONFIDENTIAL

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 HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

PERMIT

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ISSUE DATE: 09FEB2024 PROJECT NO: 25691.000

DESIGNED: HKS ARCHITECT: HKS

MARK	DATE	DESCRIPTION
0	09FEB2024	PERMIT
1	12JUL2024	IFP REV 1

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 ESD GLOBAL
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 (312) 372-1200
 233 South Wacker Drive
 Suite 5300
 Chicago, Illinois 60606

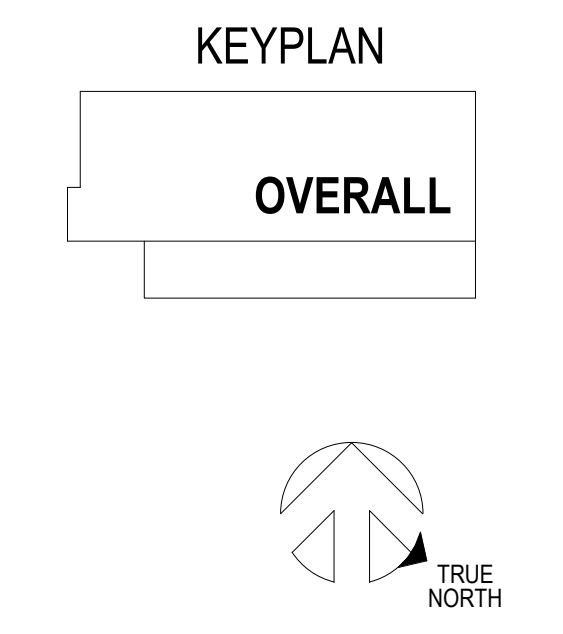
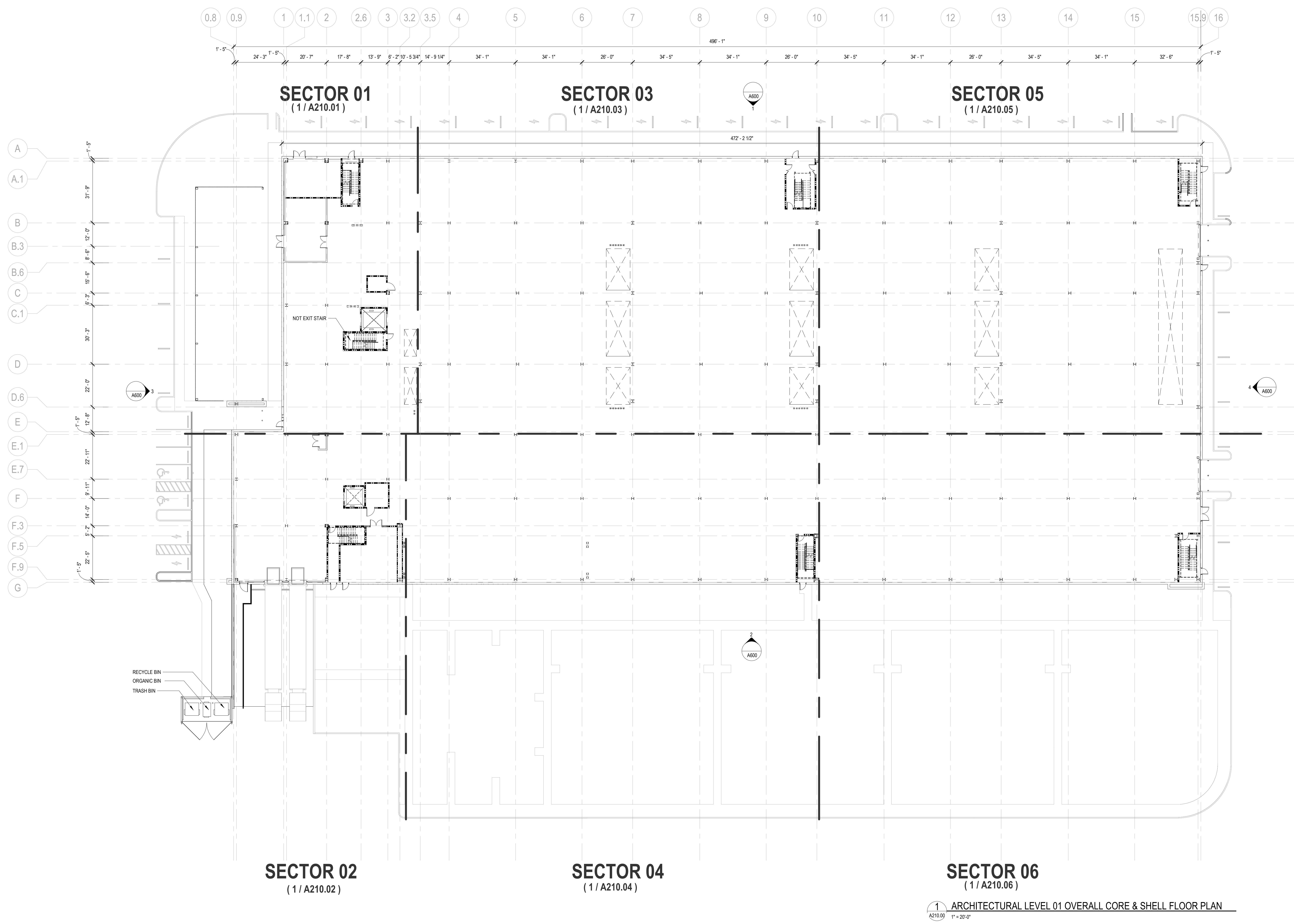
CIVIL ENGINEER
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ARCHITECT
 HKS
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 Dallas, Texas 75201

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 Chicago, Illinois 60606

SECURITY ENGINEER
 GUIDEPOST
 JON JOLIBOIS
 (415) 616-8822
 10th Floor
 315 Montgomery Street
 San Francisco, California 94104

PROJECT: BUILDING A SHELL
 TITLE: ARCHITECTURAL SITE PLAN
 DRAWING: A050
 SCALE: As indicated
 AGILE No:
 REV: 1



PROJECT ADDRESS
**26062 EDEN LANDING ROAD
 HAYWARD, CA 94545**

PROJECT DELIVERY PACKAGE

SEAL SIGNATURE

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ISSUE DATE: PROJECT NO: 25991.000
 DESIGNED: HKS ARCHITECT: HKS
 MARK DATE DESCRIPTION

MARK	DATE	DESCRIPTION

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MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 551-8672 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
CIVIL ENGINEER KIMLEY-HORN ANTHONY VERA (925) 398-4840 4537 Chabot Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-6599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201

1 ARCHITECTURAL LEVEL 01 OVERALL CORE & SHELL FLOOR PLAN
 A210.00 1" = 20'-0"

GENERAL NOTES - FLOOR PLAN

- ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL. 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR PFE.
- DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN, WHERE PROVIDED, UNO.
- REFER TO CIVIL ENGINEERING PLANS FOR FULL EXTENT OF SITE WORK BEYOND SCOPE SHOWN IN ARCHITECTURAL, STRUCTURAL, AND MEP ENGINEERING DRAWINGS.
- EXTERIOR WALLS ARE TO BE TYPE E01, UNO.
- REFER TO A700 SERIES FOR INTERIOR & EXTERIOR WALL ASSEMBLIES AND STANDARD INFORMATION.
- INTERIOR PARTITIONS ARE TO BE TYPE A01, UNO.
- ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNO.
- CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
- REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD VISUALLY PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT / ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

GENERAL NOTES - FLOOR PLAN

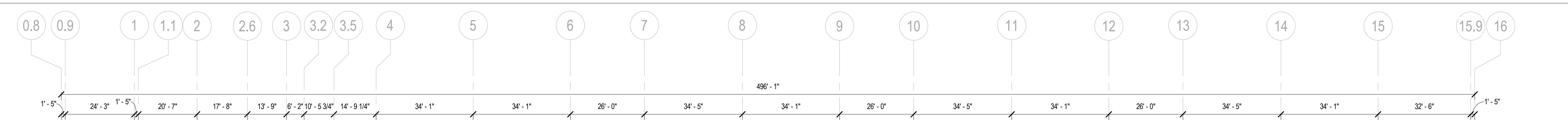
- COORDINATE AND PROVIDE ADEQUATE BLOCKING FOR ALL ITEMS ATTACHED OR MOUNTED TO PARTITIONS.
- EQUIPMENT ITEMS SHOWN FOR REFERENCE ONLY. COORDINATE FINAL LOCATIONS AND CONFIGURATIONS WITH MEP REQUIREMENTS AND DRAWINGS. REFER TO ENGINEERING DRAWINGS FOR FULL EXTENT OF WORK.
- PROVIDE STAINLESS STEEL CORNER GUARDS AT EACH OUTSIDE CORNER IN ALL CORRIDOR LOCATIONS.
- USE MOISTURE AND MOISTURE RESISTANT SUBSTRATE AND TILE BACKING PANELS AT ALL MET AND TILE LOCATIONS, RESPECTIVELY. LOCATIONS INCLUDE JANITOR CLOSETS, SHOWER ROOM WALLS AND CEILINGS, BEHIND ALL SINKS, TOILETS, URINALS, AND DRINKING FOUNTAIN LOCATIONS.

GENERAL NOTES - FLOOR PLAN

- DAHU GALLERY WATER DAM AT DOOR OPENINGS: 12" HIGH ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1 1/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT INTO ADJACENT ROOMS.
- ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK. SEE DETAILS ON A705.
- GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE BUILDING ENVELOPE.
- REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS.
- ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.

ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
TELECOM ENGINEER ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th floor San Francisco, California 94104

PROJECT: BUILDING A SHELL
 TITLE: ARCHITECTURAL LEVEL 01 CORE & SHELL OVERALL FLOOR PLAN
 DRAWING: A210.00
 E1 SCALE: 1" = 20'-0" AGILE No: REV:



SECTOR 01
(1 / A220.01)

SECTOR 03
(1 / A220.04)

SECTOR 05
(1 / A220.06)

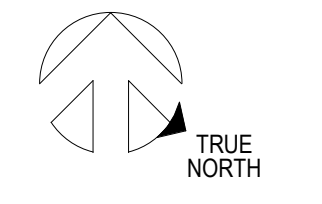
SECTOR 02
(1 / A220.02)

SECTOR 04
(1 / A220.04)

SECTOR 06
(1 / A220.06)

KEYPLAN

OVERALL



PROJECT ADDRESS	
26062 EDEN LANDING ROAD HAYWARD, CA 94545	
PROJECT DELIVERY PACKAGE	
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ISSUE DATE:	PROJECT NO: 25691.000
DESIGNED: HKS	ARCHITECT: HKS
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CIVIL ENGINEER KIMLEY-HORN ANTHONY VERA (925) 398-4840 4537 Chabot Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-6599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201

1 ARCHITECTURAL LEVEL 02 OVERALL CORE & SHELL FLOOR PLAN
A220.00 1" = 20'-0"

GENERAL NOTES - FLOOR PLAN

- ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR PFE.
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- INTERIOR PARTITIONS ARE TO BE TYPE AGE, UNO.
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- LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

GENERAL NOTES - FLOOR PLAN

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GENERAL NOTES - FLOOR PLAN

- DAHU GALLERY WATER DAM AT DOOR OPENINGS: 1/2" HIGH ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING. FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1 1/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT INTO ADJACENT ROOMS.
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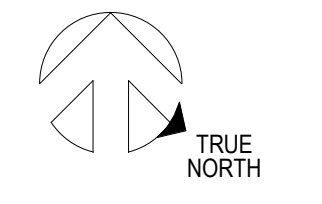
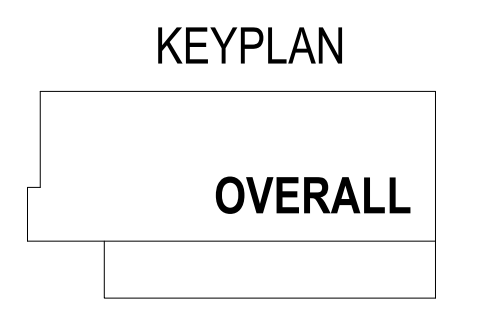
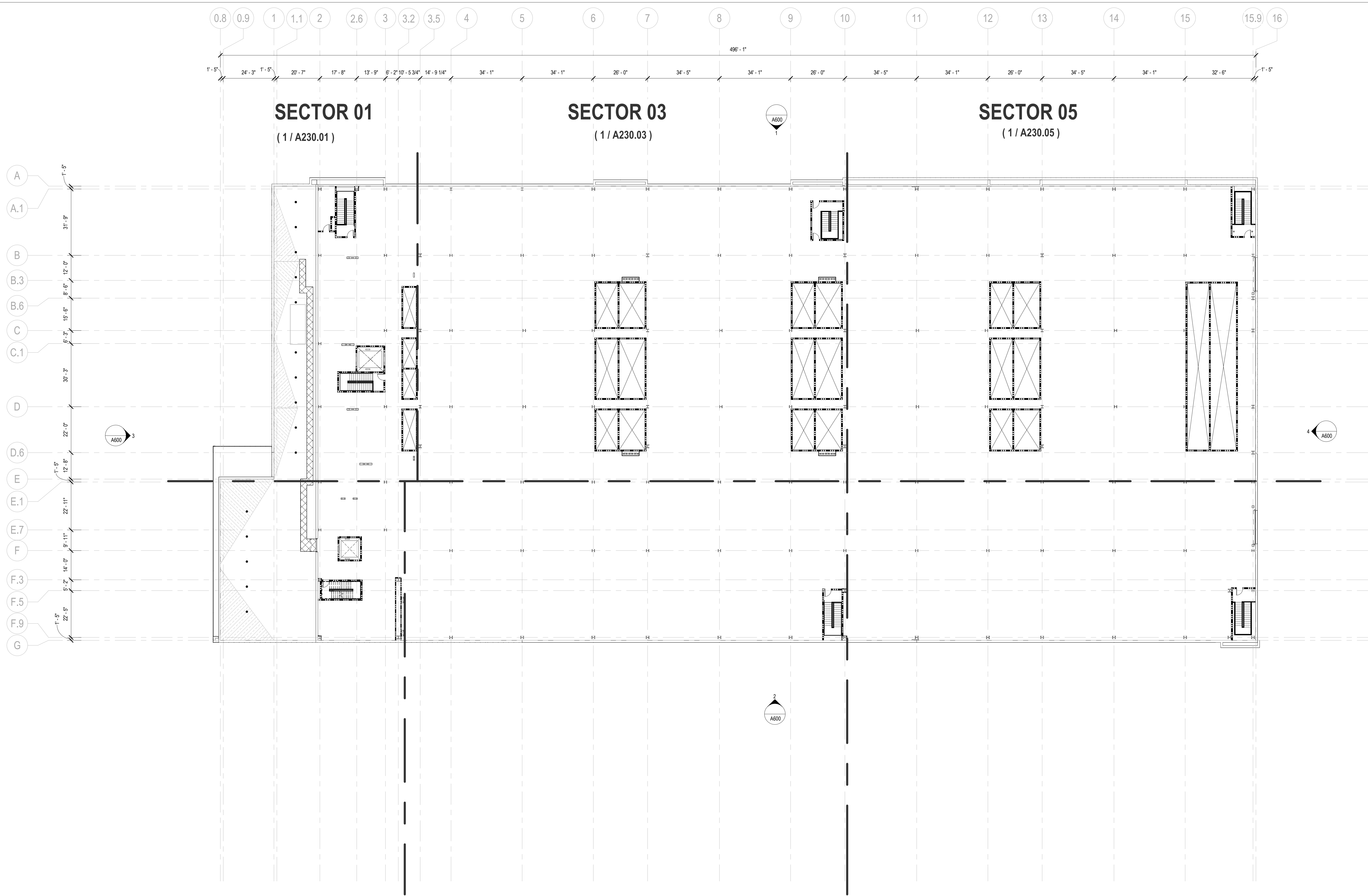
ARCHITECT HKS DUTCH WICKES (214) 969-6599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
TELECOM ENGINEER ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th floor San Francisco, California 94104

BUILDING A SHELL

TITLE: ARCHITECTURAL LEVEL 02 CORE & SHELL OVERALL FLOOR PLAN

DRAWING: **A220.00**

SCALE: 1" = 20'-0" AGILE No: REV:



SECTOR 01
(1 / A230.01)

SECTOR 03
(1 / A230.03)

SECTOR 05
(1 / A230.05)

SECTOR 02
(1 / A230.02)

SECTOR 04
(1 / A230.04)

SECTOR 06
(1 / A230.06)

1 ARCHITECTURAL LEVEL 03 OVERALL CORE & SHELL FLOOR PLAN
A230.00 1" = 20'-0"

GENERAL NOTES - FLOOR PLAN

- ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL. 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR PFE.
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- INTERIOR PARTITIONS ARE TO BE TYPE A0E, UNO.
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GENERAL NOTES - FLOOR PLAN

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PROJECT ADDRESS
26062 EDEN LANDING ROAD
HAYWARD, CA 94545

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DESIGNED: HKS	ARCHITECT: HKS	
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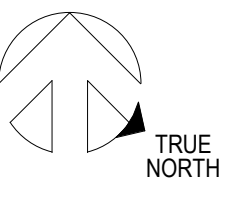
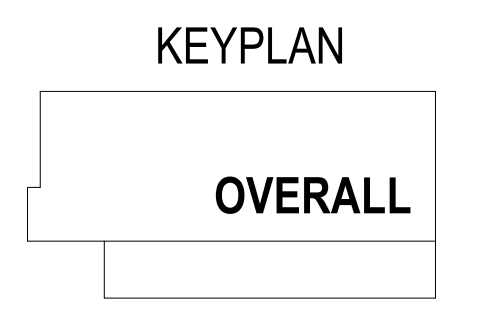
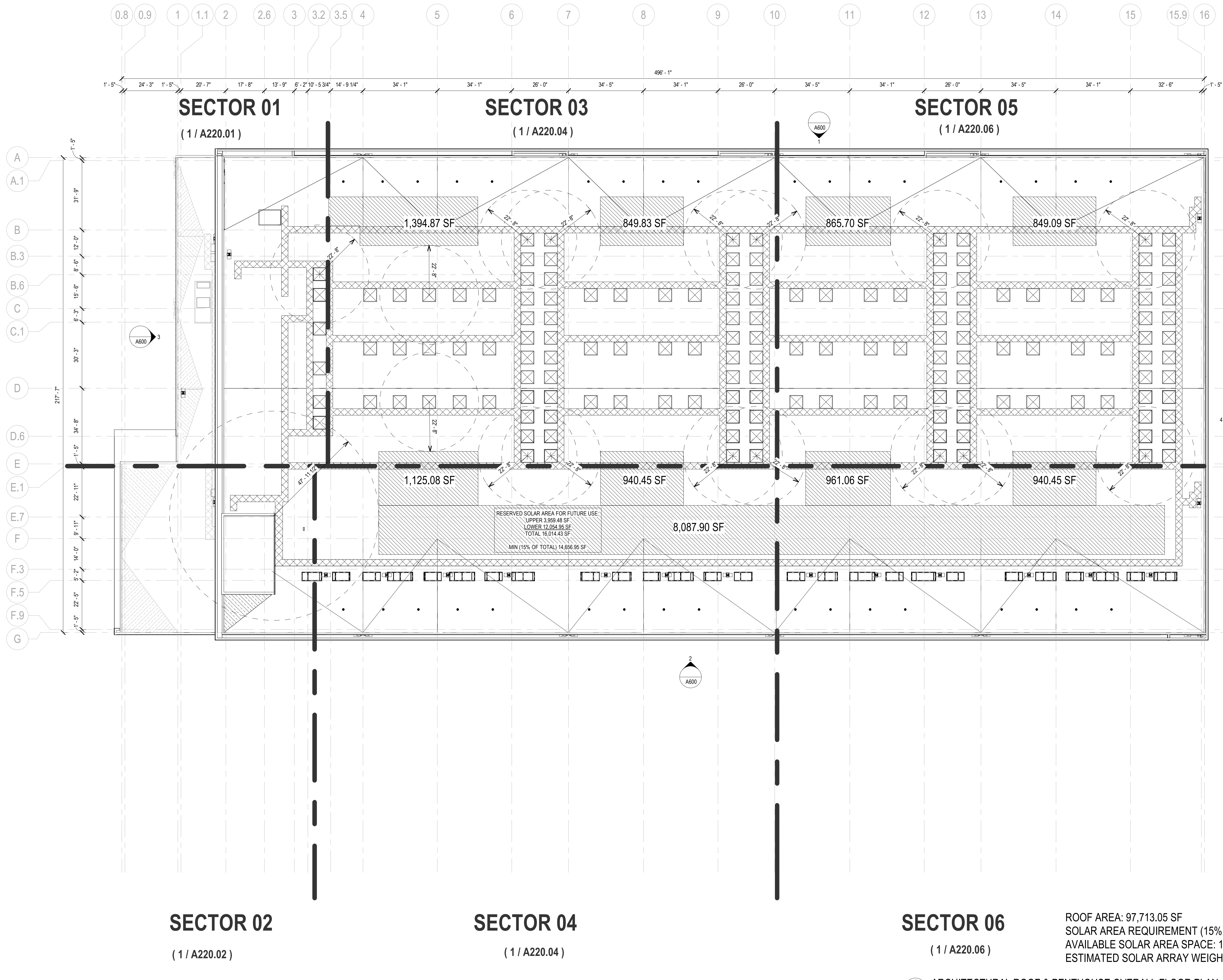
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BUILDING A SHELL
TITLE: ARCHITECTURAL LEVEL 03 CORE & SHELL OVERALL FLOOR PLAN
DRAWING: A230.00

SCALE: 1" = 20'-0"	AGILE No:	REV:
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PROJECT ADDRESS
 26062 EDEN LANDING ROAD
 HAYWARD, CA 94545

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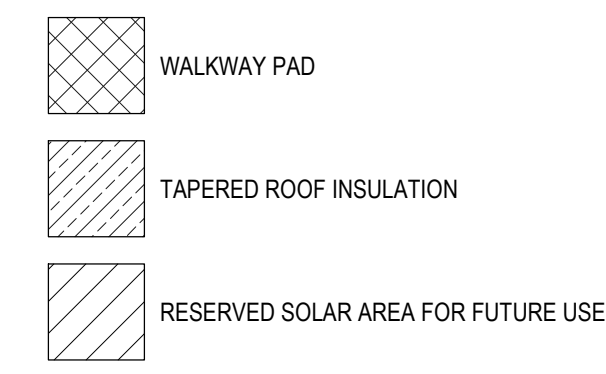
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ROOF AREA: 97,713.05 SF
 SOLAR AREA REQUIREMENT (15% ROOF AREA): 14,656.95 SF
 AVAILABLE SOLAR AREA SPACE: 16,014.43 SF
 ESTIMATED SOLAR ARRAY WEIGHT (5 LB/SF): 3,202.88 LB

1 ARCHITECTURAL ROOF & PENTHOUSE OVERALL FLOOR PLAN
 A290.00 1" = 20'-0"

LEGEND ROOF PLAN

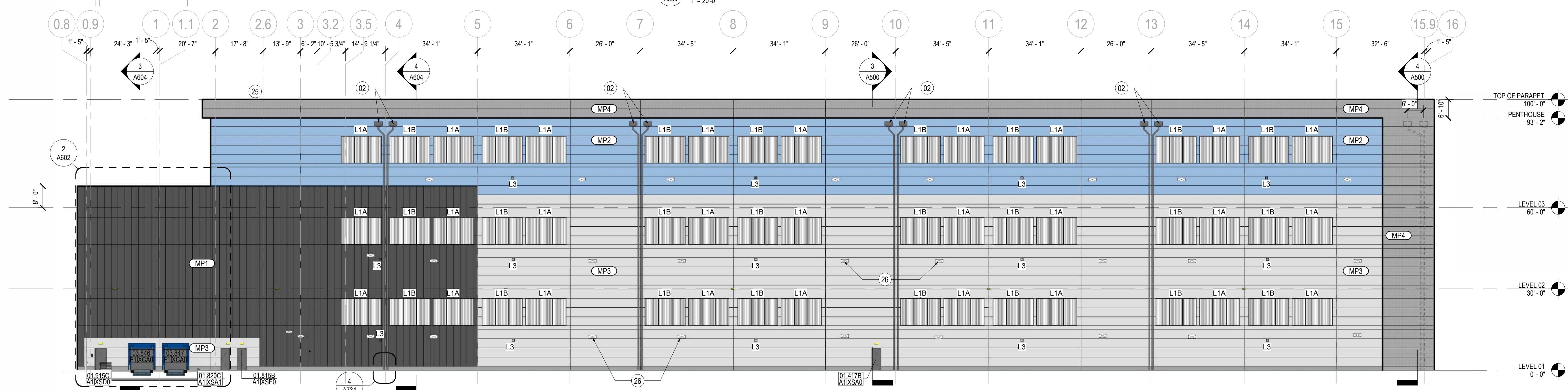


ROOF PLAN NOTES

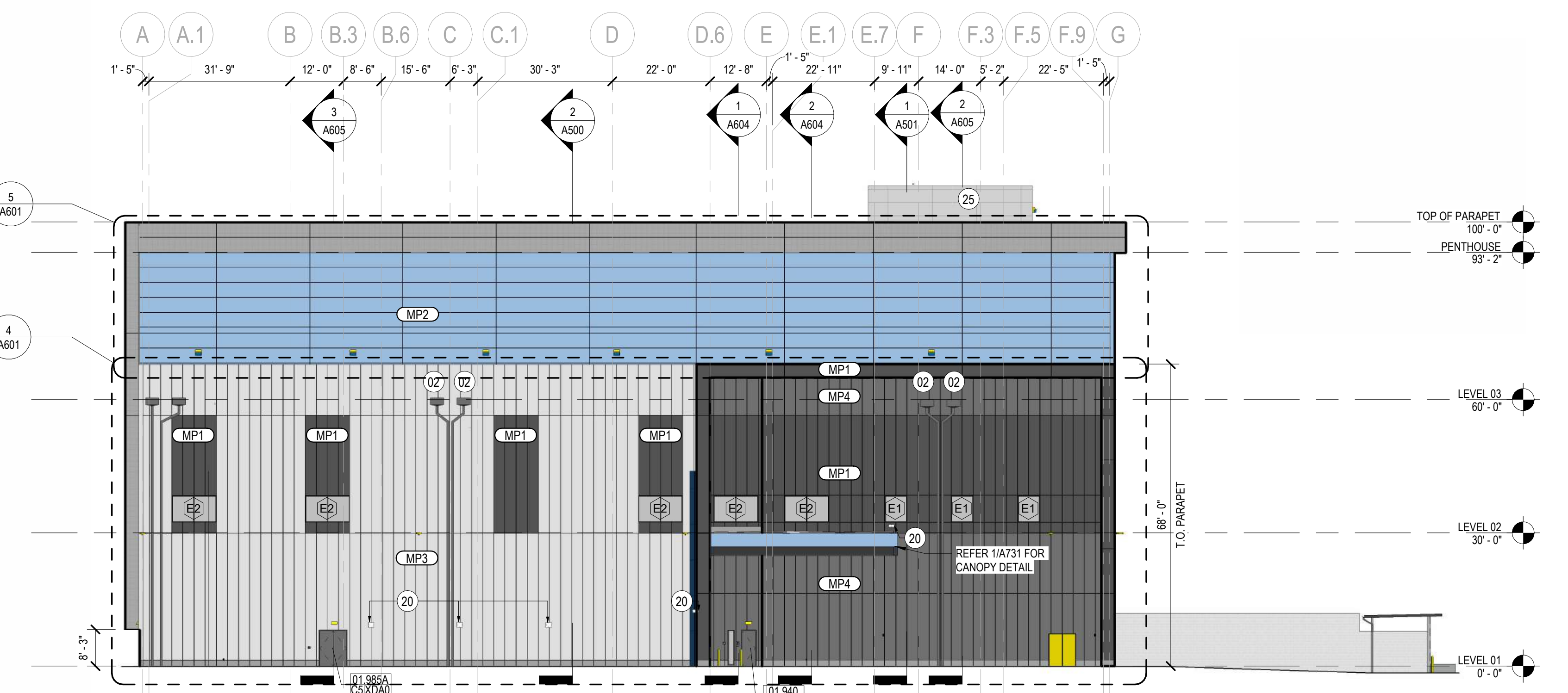
- ALL ROOF TO BE KEPT SINGLE PLY ROOFING MEMBRANE WITH MINIMUM R20 INSULATION.
- HATCHING INDICATES AREAS WHERE THE ROOF SURFACE SLOPE IS ACHIEVED WITH TAPERED INSULATION. THE ROOF SURFACE SLOPE IN AREAS WITHOUT HATCHING IS ACHIEVED WITH SLOPING STRUCTURE.
- PROVIDE WALKWAYS PROTECTION TO MAJOR MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT AS REQUIRED TO PROVIDE SERVICE ACCESS. WALKWAYS PROTECTION IS INDICATED AS A GENERAL LAYOUT AND MAY NOT SHOW ALL FINAL LOCATIONS OF ALL EQUIPMENT.
- TAPERED INSULATION SHALL PROVIDE A MINIMUM OF 1/4" - INCH PER FOOT OF SLOPE TO ROOF DRAINS, UNLESS NOTED OTHERWISE.
- ALL ROOF CURBS TO BE A MINIMUM OF 6" ABOVE ROOFING LEVELS. PROVIDE TAPERED INSULATION ROOF SADDLES AT ROOF CURBS TO PROVIDE DRAINAGE AROUND CURBS.
- SEE STRUCTURAL DRAWINGS FOR FRAMING AROUND ROOF PENETRATIONS.
- ALL ROOF TOP MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT SHOWN FOR INFORMATION ONLY COORDINATION THE SIZE AND LOCATION OF ROOF.
- PENETRATIONS FOR MECHANICAL AND ELECTRICAL EQUIPMENT, REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR PENETRATIONS NOT SHOWN ON THIS DRAWING.
- FLASH DRAINS, CURBS, VENTS AND STACKS PER MANUFACTURER'S RECOMMENDATIONS IF DETAIL NOT SHOWN ON DRAWINGS.
- NO ROOF PENETRATIONS ALLOWED WITHIN 4'-0" EACH SIDE OF FOREWALL. SEE CODE PLAN FOR FIRE WALL LOCATIONS.
- REFER TO SHEET A732, A733 FOR TYPICAL ROOF DETAILS.



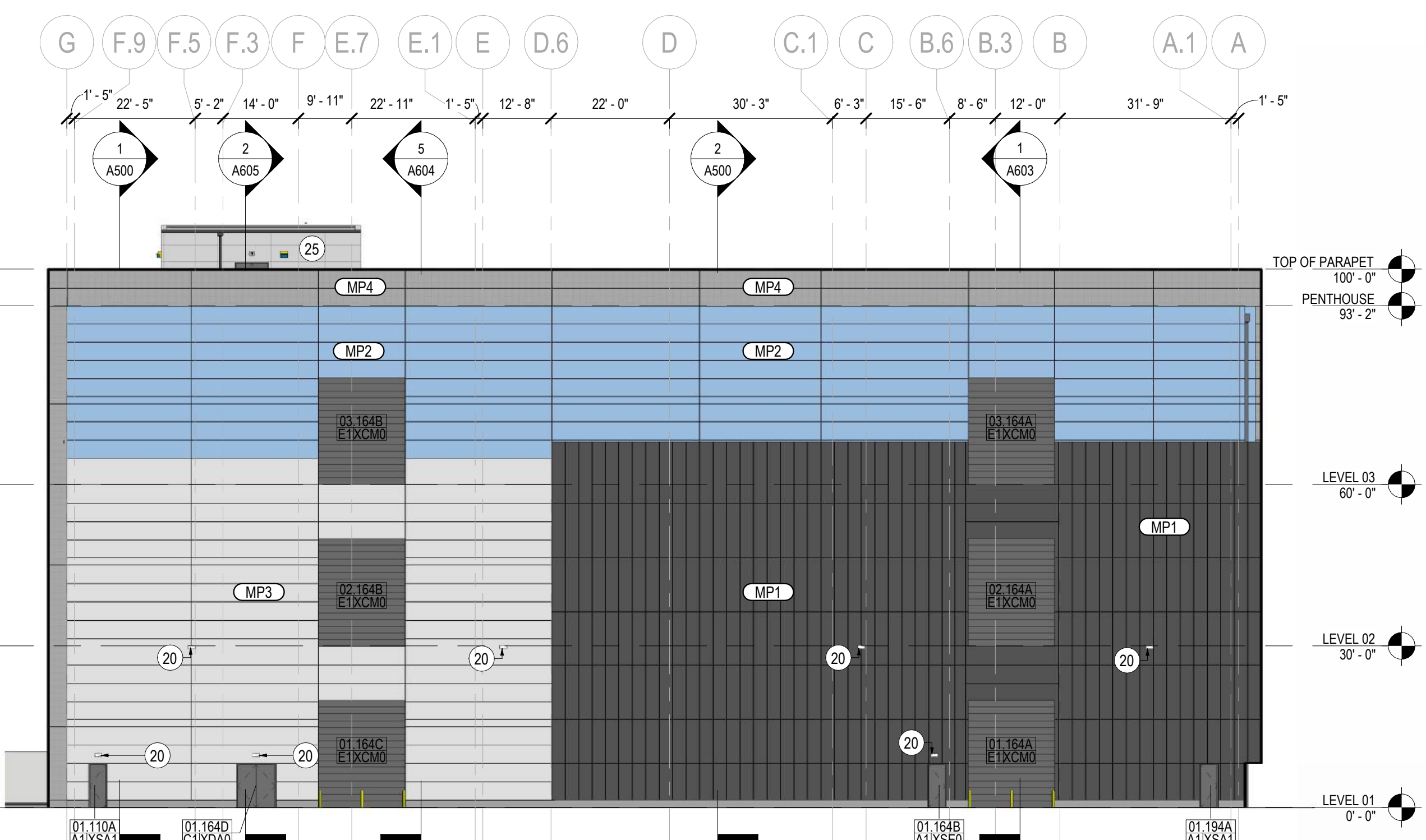
1 ARCHITECTURAL NORTH EXTERIOR ELEVATION
A600 1" = 20'-0"



2 ARCHITECTURAL SOUTH EXTERIOR ELEVATION
A600 1" = 20'-0"



3 ARCHITECTURAL WEST EXTERIOR ELEVATION
A600 1" = 20'-0"

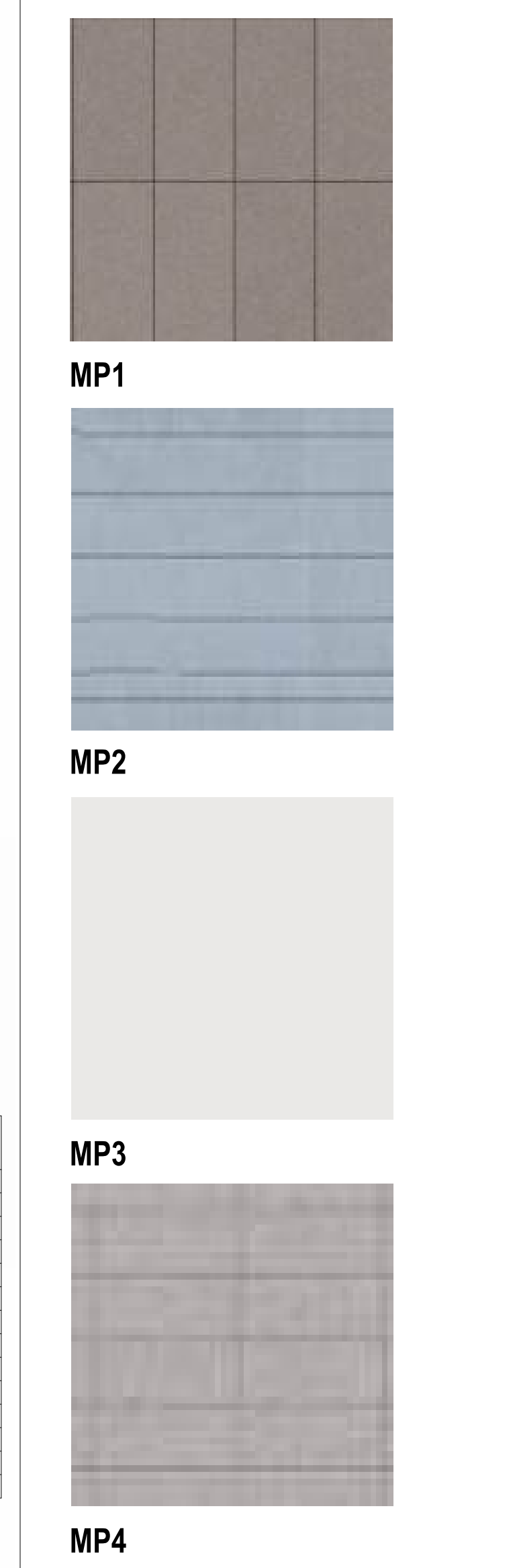


4 ARCHITECTURAL EAST EXTERIOR ELEVATION
A600 1" = 20'-0"

EXTERIOR FINISH LEGEND:

MP1	BOD: CENTRIA FORMA WALL DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL DARK BRONZE
MP2	BOD: CENTRIA FORMA WALL DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 200 DEEP BLUE SEA
MP3	BOD: CENTRIA FORMA WALL WHITE COLOR SMOOTH EXTERIOR TEXTURE 179 REGAL WHITE
MP4	BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL MEDIUM GRAY
MP5	BOD: CENTRIA PARADIGM METAL PANEL 9918 DOVE GRAY; 9989 PLATINUM SUNDANCE AM COATING; 9989 PLATINUM SUNDANCE MICA COATING

EXTERIOR FINISH LEGEND



PROJECT ADDRESS
**26062 EDEN LANDING ROAD
HAYWARD, CA 94545**

PROJECT DELIVERY PACKAGE

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DESIGNED: HKS	ARCHITECT: HKS	
MARK	DATE	DESCRIPTION

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CIVIL ENGINEER KIMLEY-HORN ANTHONY VERA (925) 398-4840 4537 Chabot Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201

ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
TELECOM ENGINEER ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104

PROJECT: **BUILDING A SHELL**

TITLE: **ARCHITECTURAL EXTERIOR ELEVATIONS**

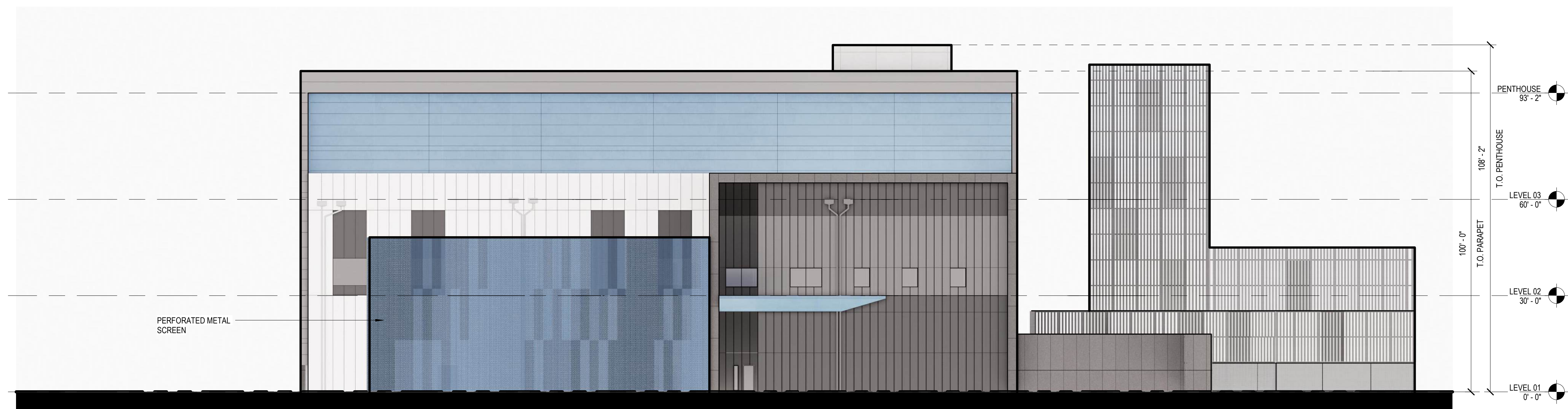
DRAWING: **A600**

E1 SCALE:	AS INDICATED	AGILE No:		REV:	
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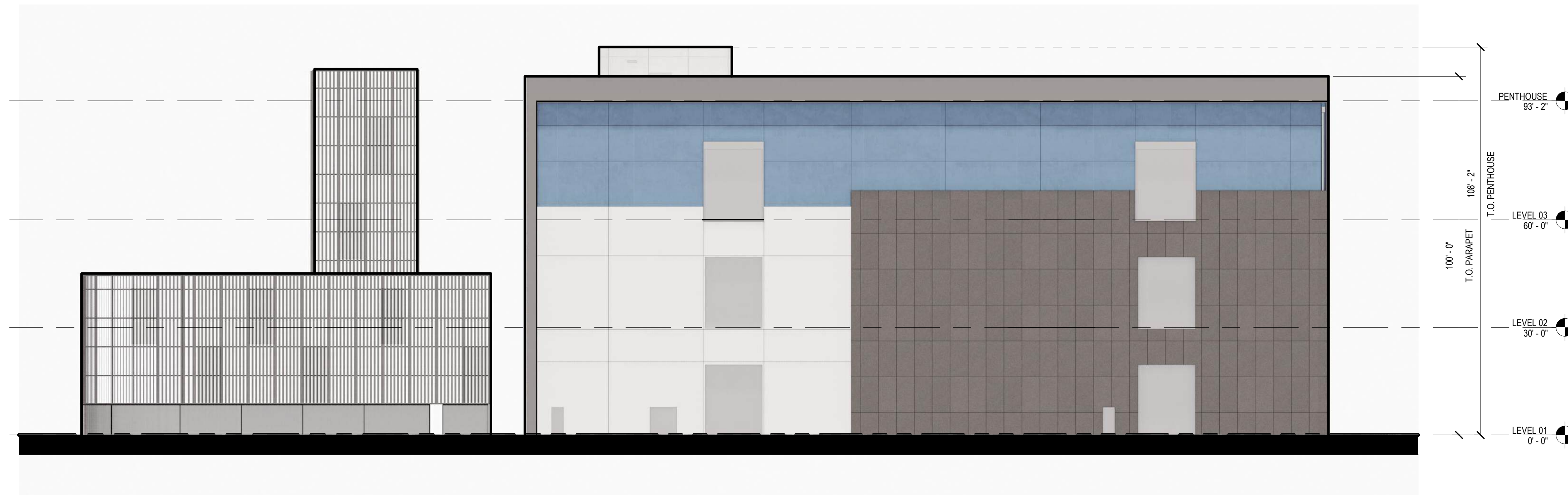
SHEET NOTES - EXTERIOR ELEVATIONS

#	DESCRIPTION	SHEET NOTE
01	THROUGH WALL SCUPPER AND DOWN BEHIND METAL PANEL. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS PREFINISHED TO MATCH ADJACENT LOUVER COLOR. TYP.	
02	THROUGH WALL SCUPPER AND DOWN SPOUT. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS BELOW. PREFINISHED TO MATCH ADJACENT WALL COLOR. TYP.	
03	DOCK SEAL. TYP.	
06	WINDOW TYPE 'E1'. RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.	
07	WINDOW TYPE 'E3'. RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.	
08	EXTERIOR DOORS TO BE PAINTED TO MATCH COLOR OF WALL IN WHICH THEY OCCUR TYP.	
09	METAL PANEL SYSTEM REVEALS TYP.	
12	BUILDING ENTRY STOREFRONT DOOR AND GLAZING.	
13	LINE OF SCREEN WALL (DASHED). REFER TO PROVIDED ELEVATIONS FOR ADDITIONAL INFORMATION.	
18	8" HIGH STEEL LETTERS. PIN MOUNTED TO TILT UP PANEL. PAINTED TO MATCH EPT3	
23	WALL PACK EXTERIOR LIGHT FIXTURE. CENTER OVER DOOR OR OVER LOUVERS OR WITHIN PANEL, WHERE APPLICABLE. RE: ELECTRICAL DRAWINGS	
25	METAL PANEL TYPE S (TO BE DETERMINED)	
26	WALL CUTOUTS TO BE COORDINATED WITH MEP.	

5 ARCHITECTURAL NORTH EXTERIOR ELEVATION - BEYOND
A600 1" = 20'-0"



1 ARCHITECTURAL WEST EXTERIOR ELEVATION
A610 1" = 20'-0"



2 ARCHITECTURAL EAST EXTERIOR ELEVATION
A610 1" = 20'-0"

EXTERIOR MATERIALS LEGEND:

EXTERIOR GLAZING (GL):

GL-01 PVB LAMINATED GLASS
COLOR: FROSTED/TINTED

METAL PANEL (MP):

MP-01 DARK BRONZE COLOR SMOOTH
EXTERIOR TEXTURE FLUOROFINISH
COATING
9960 XL DARK BRONZE

MP-02 DEEP BLUE COLOR EMBOSSED
EXTERIOR TEXTURE FLUOROFINISH
COATING
200 DEEP BLUE SEA

MP-03 WHITE COLOR SMOOTH EXTERIOR
TEXTURE
179 REGAL WHITE

MP-04 MEDIUM GRAY COLOR EMBOSSED
EXTERIOR TEXTURE FLUOROFINISH
COATING
9860 XL MEDIUM GRAY

PERFORATED METAL SCREEN

A METAL SCREEN STANDALONE
STRUCTURE

PROJECT ADDRESS
**26062 EDEN LANDING ROAD
HAYWARD, CA 94545**

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ISSUE DATE: PROJECT NO: 25691.000

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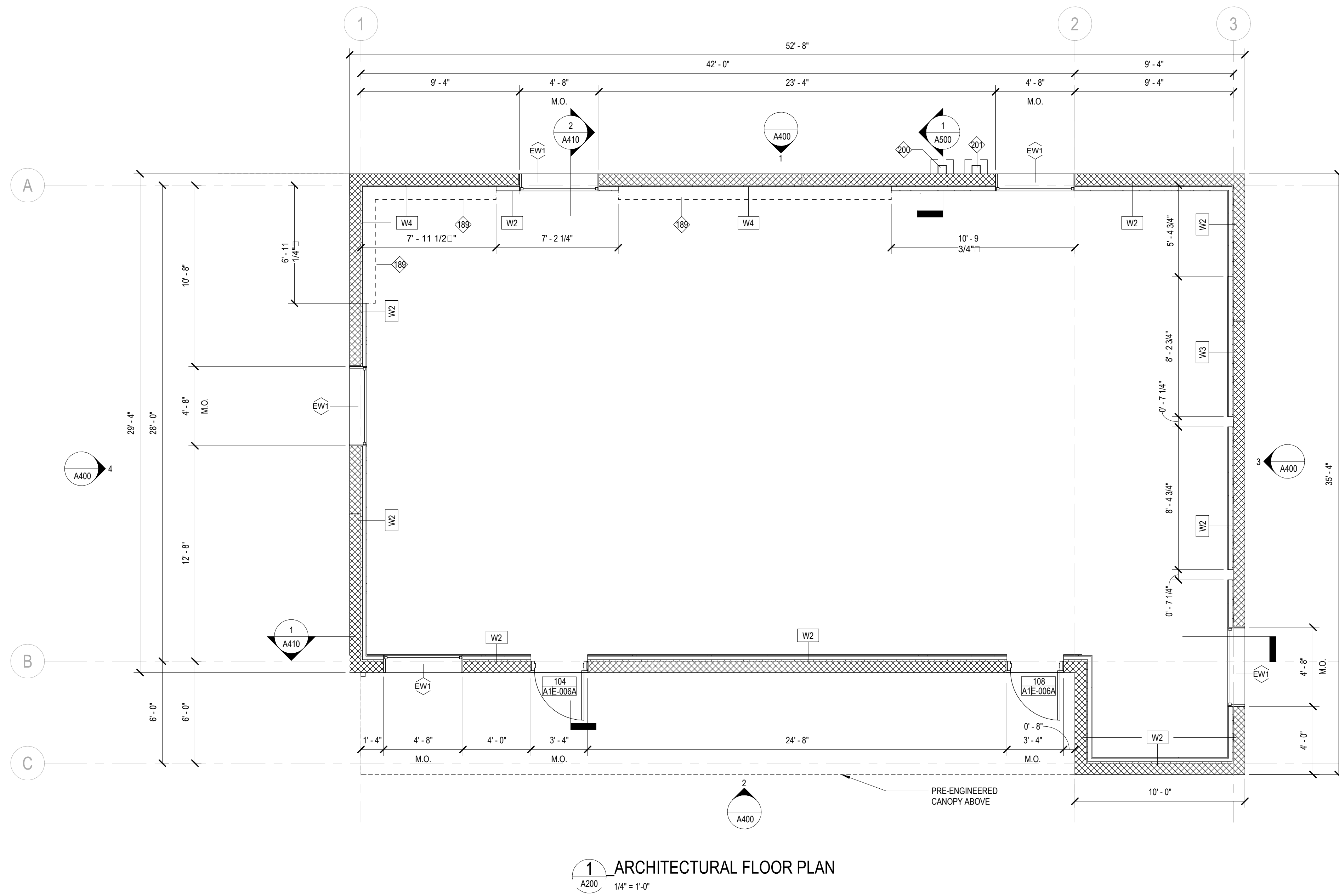
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10th Floor
San Francisco, California 94104

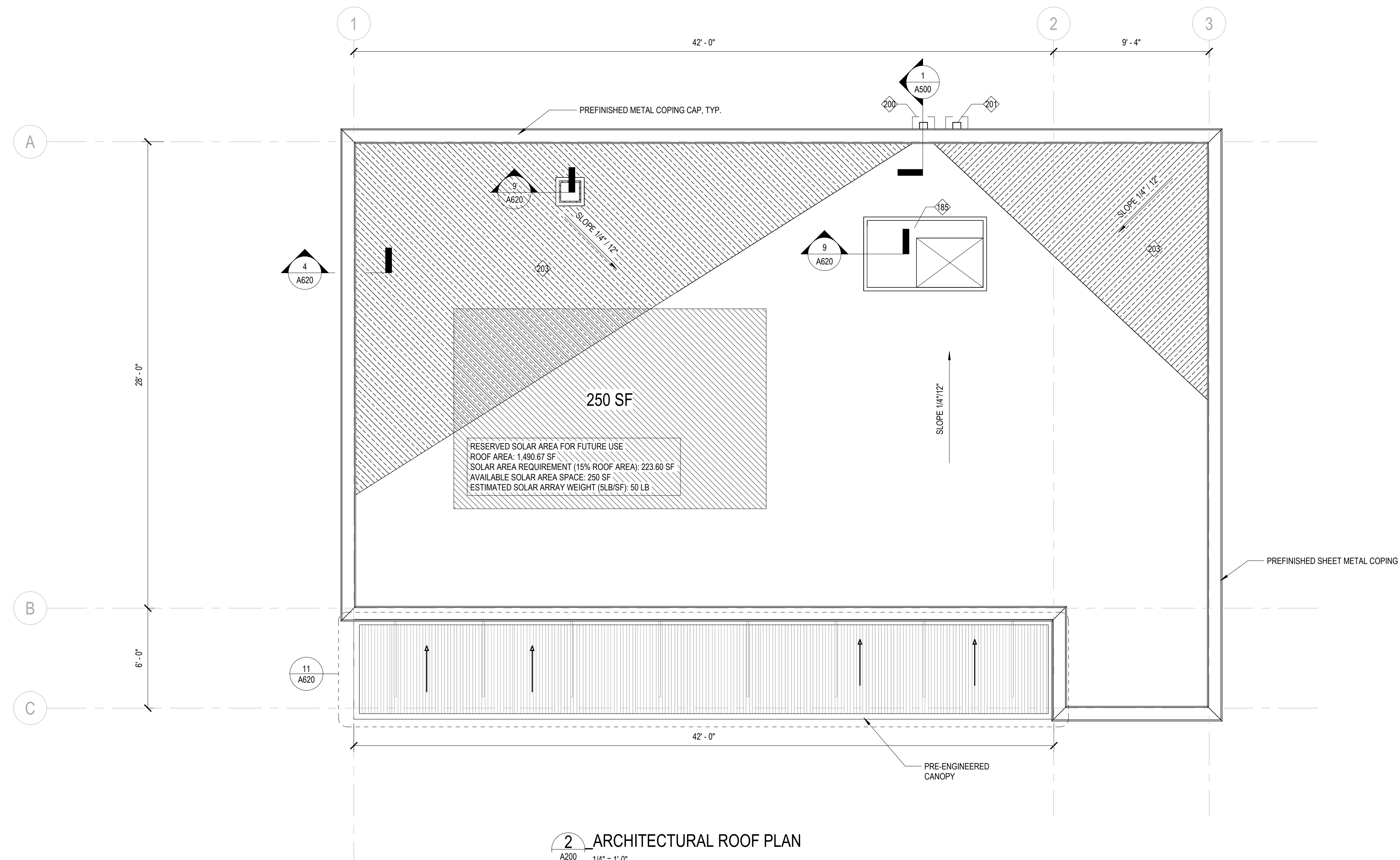
PROJECT: BUILDING A SHELL
TITLE: ARCHITECTURAL EXTERIOR ELEVATION

DRAWING: A610

E1 SCALE: As Indicated AGILE No: REV:



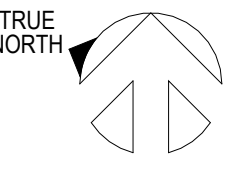
1 ARCHITECTURAL FLOOR PLAN
1/4" = 1'-0"



2 ARCHITECTURAL ROOF PLAN
1/4" = 1'-0"

GENERAL NOTES - FLOOR PLAN

- REFER TO GENERAL NOTES ON A001
- REFER TO A010 FOR FIRE RATING AND LIFE SAFETY INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE, UOI
- REFER TO A600 FOR EXTERIOR WALL ASSEMBLIES
- REFER TO A600 FOR ROOF & FLOOR ASSEMBLIES
- ALL SPOT ELEVATIONS ARE TO TOP OF ROOFING MEMBRANE OR TOP OF PARAPET COPING UOI
- CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
- CONTRACTOR TO VERIFY IN FIELD ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
- 'PT01' IS TYPICAL PAINT FINISH FOR ALL SPACES. 'P3' TO BE APPLIED UNLESS OTHERWISE NOTED ON PLANS FOLLOW FINISH SCHEDULE PER FINISH LEGEND
- REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS.



KEYNOTE LEGEND

Key Value	Keynote Text
185	PREMANUFACTURED CURB FOR FUTURE EQUIPMENT; RE-MECHANICAL FOR DIMENSIONS AND LOCATIONS. GO TO COORDINATE FINAL OPENINGS WITH EQUIPMENT MANUFACTURER; PROVIDE CURB CAPS FOR ALL EQUIPMENT NOT INSTALLED DURING INITIAL BUILD-OUT PHASE.
189	FURRING WALL TO BE CONSTRUCTED IN T1 PHASE
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOUT ON EXTERIOR FACE OF BUILDING
201	OVERFLOW THROUGH WALL SCUPPER LOCATE 1 FOOT TO SIDE OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE
203	CRICKET GRAPHICALLY INDICATED TO PROPERLY SLOPE STORM WATER TO THRU-WALL SCUPPERS AND GENERALLY CREATE EQUAL STORM WATER DISTRIBUTION TO THE ROOF SCUPPERS

FLOOR PLAN LEGEND

- 1HR FIRE BARRIER
- DOOR NUMBER
- DOOR HARDWARE SET NUMBER
- DOOR ELEVATION
- PARTITION TAG
- WINDOW TAG
- CMU

GENERAL NOTES - ROOF PLAN

- CONTRACTOR MUST VERIFY IN FIELD (VIF) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION, AND NOTIFY THE ARCHITECT ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF WORK.
- ROOF CURBS FOR EQUIPMENT SHALL BE FURNISHED WITH WEATHERPROOF CAPS.
- COORDINATE ALL REQUIRED ROOF SCOPE w/ MEP TRADES, INCLUDING BUT NOT LIMITED TO PLUMBING, VENTS, POWER, CONDUITS, ETC.
- ALL PENETRATIONS (PIPING, VENTS, ETC.) CREATED IN THE ROOF SHALL BE DETAILED IN ACCORDANCE w/ THE ROOFING MANUFACTURER'S RECOMMENDATIONS & STANDARD DETAILS. SHALL BE CONSISTENT w/ THE WARRANTY OF THE ROOFING ASSEMBLY, AND SHALL NOT REDUCE OR VOID THE WARRANTY IN ANY MANNER.
- PROVIDE ROOF DAVITS FOR FUTURE MAINTENANCE TIE-OFF; G.C. SHALL COORDINATE EXACT INSTALL DIMENSIONS IN FIELD TO ENSURE DAVIT IS 8' ABOVE THE ROOF SURFACE AND PROPERLY FLASHED.

ROOF PLAN LEGEND

- TAPERED ROOF INSULATION
- RESERVED SOLAR AREA FOR FUTURE USE

PROJECT ADDRESS
26062 EDEN LANDING ROAD
HAYWARD, CA 94545

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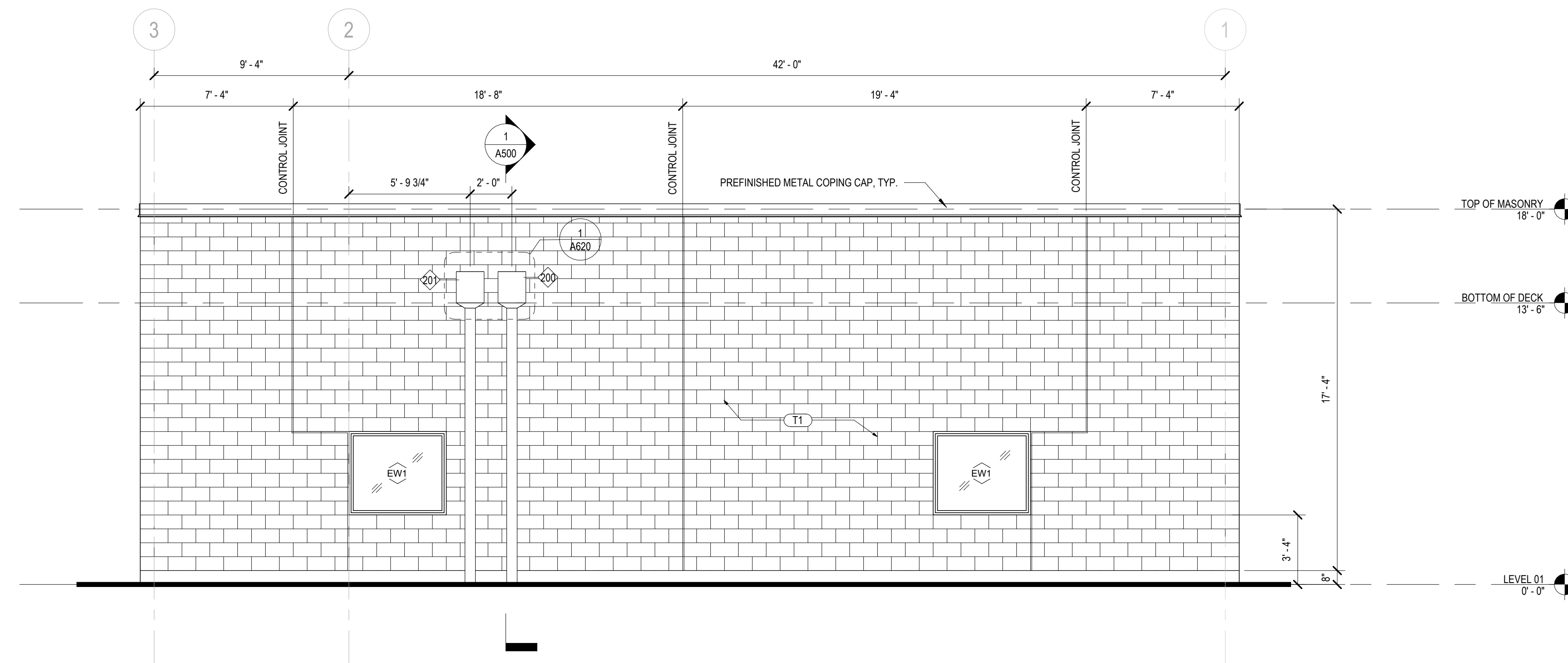
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ISSUE DATE:	PROJECT NO:	
DESIGNED: HKS	ARCHITECT: HKS	
MARK	DATE	DESCRIPTION

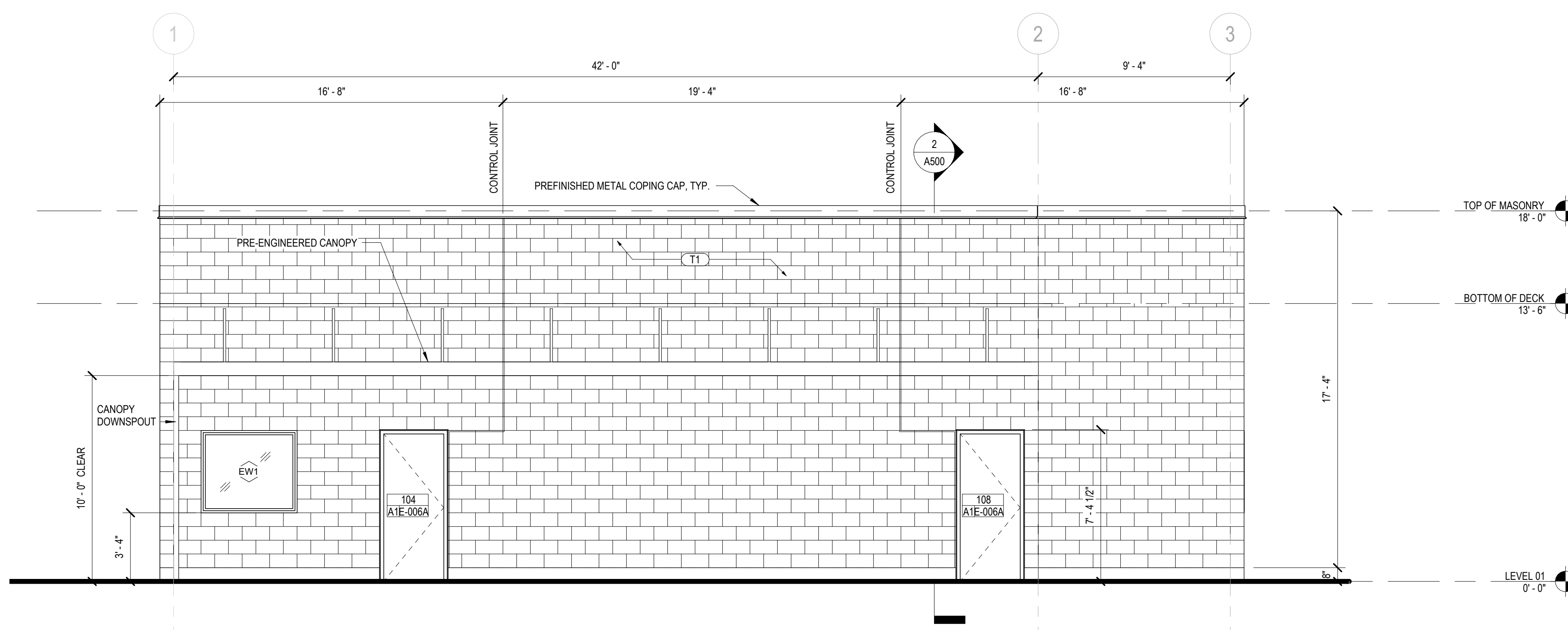
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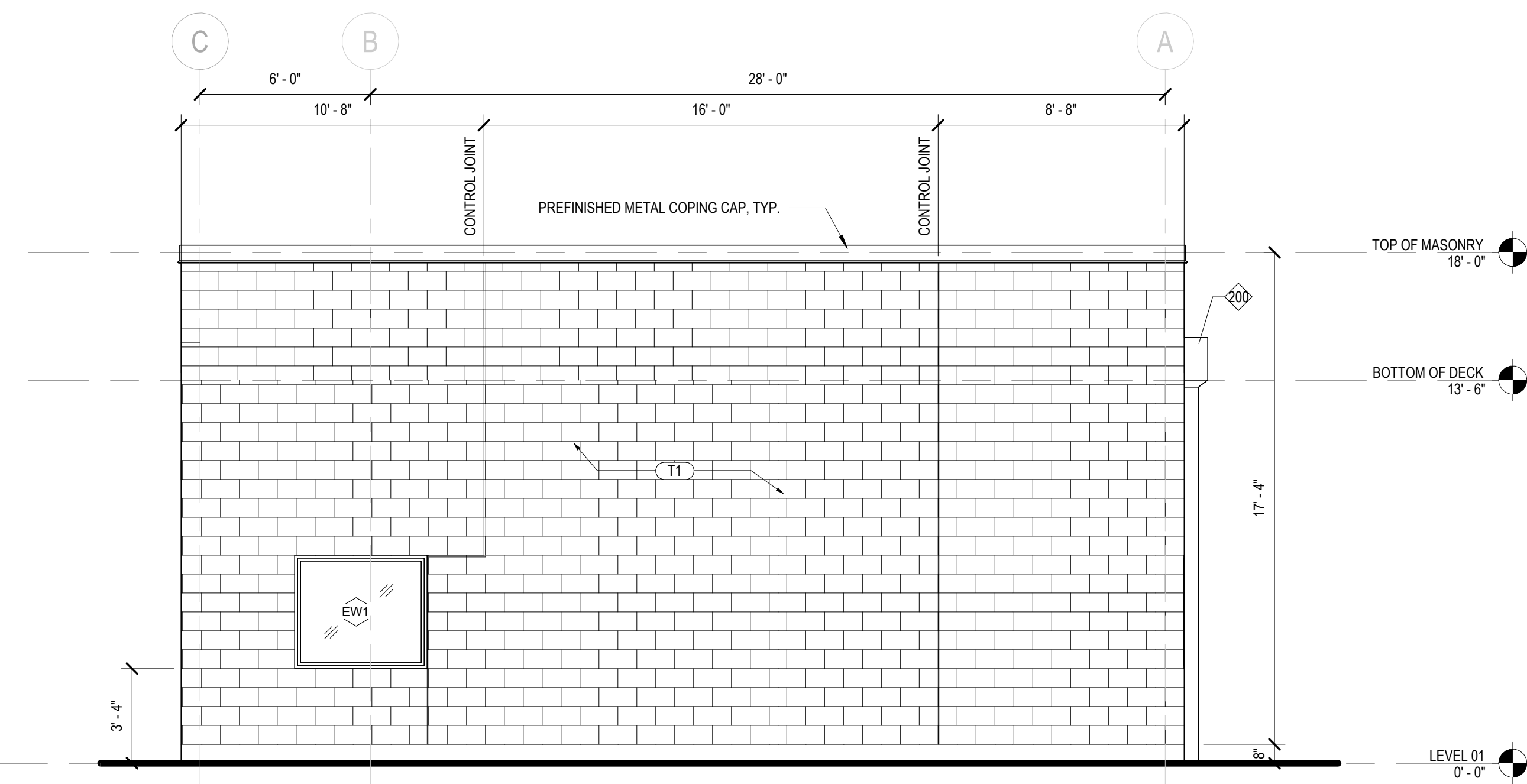
PROJECT: BUILDING B SHELL
TITLE: ARCHITECTURAL CORE & SHELL OVERALL FLOOR PLAN
DRAWING: A200
SCALE: As indicated
AGILE No:
REV: 0



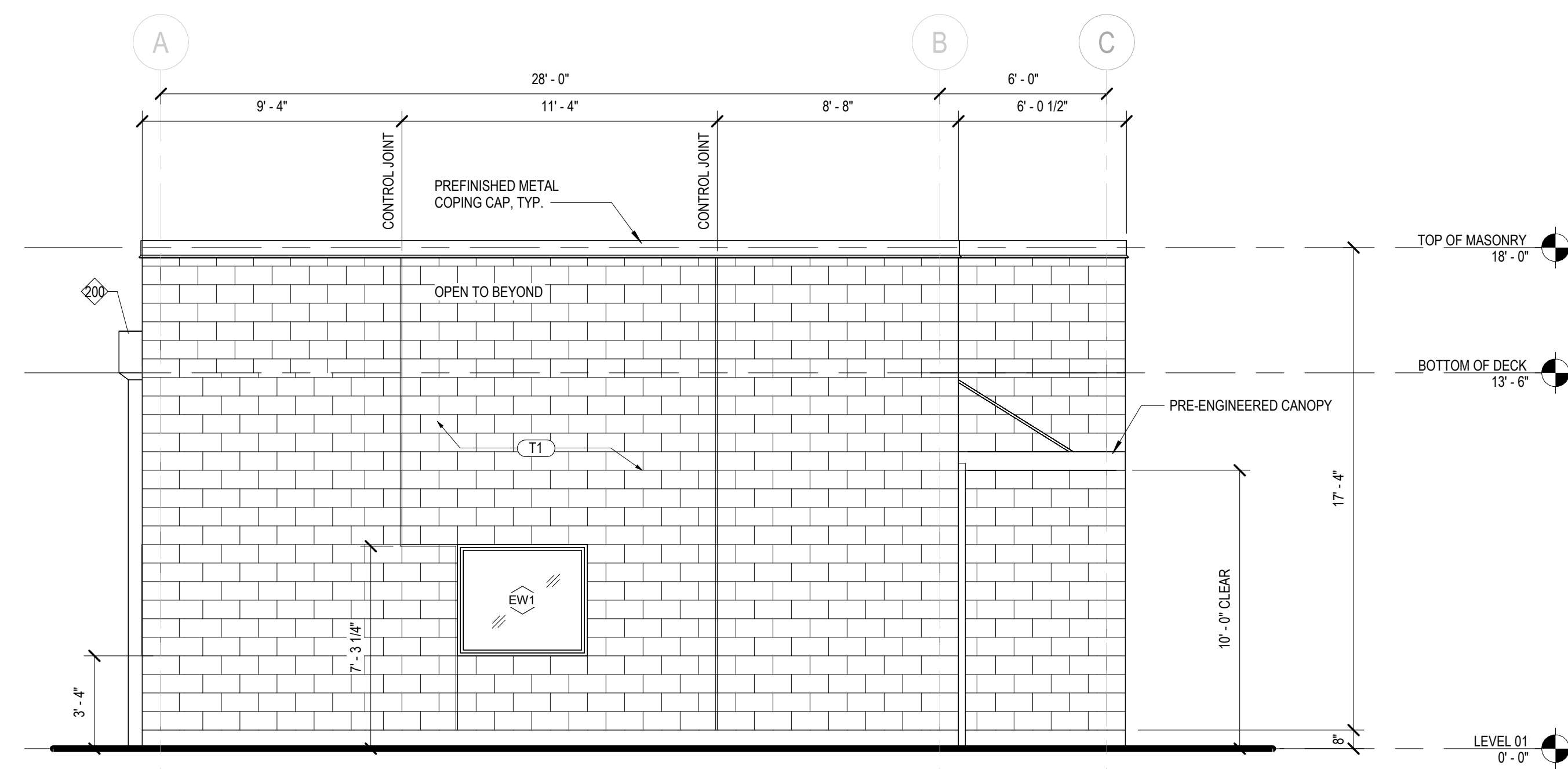
1 BUILDING ELEVATION-NORTH
A400 1/4" = 1'-0"



2 BUILDING ELEVATION-SOUTH
A400 1/4" = 1'-0"



3 BUILDING ELEVATION-EAST
A400 1/4" = 1'-0"



4 BUILDING ELEVATION-WEST
A400 1/4" = 1'-0"

GENERAL NOTES

1. CHAMFER ALL EXPOSED CONCRETE EDGES.
2. LINE OF FOOTINGS / FOUNDATIONS SHOWN (DASHED) ARE FOR REFERENCE ONLY. REFER TO STRUCTURAL FOR FOOTING / FOUNDATION ELEVATIONS, SIZES AND DETAILS.
3. ALL EXPOSED METAL TO BE PAINTED, UCON, TYP.

KEYNOTE LEGEND

Key Value	Keynote Text
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOUT ON EXTERIOR FACE OF BUILDING
201	OVERFLOW THROUGH WALL SCUPPER. LOCATE 1 FOOT TO SIDE OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE

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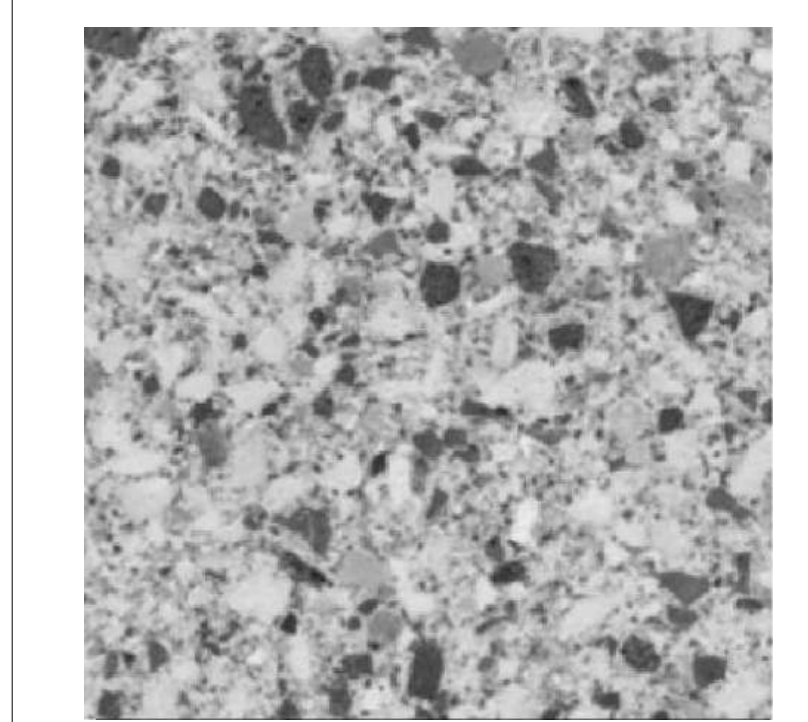
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DESIGNED: HKS	25691.000
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T1 TRENDSTONE GROUND FACE CMU - 'OREO CREAM'



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LEGEND

T1	GROUND FACE STRUCTURAL CMU WITH CLEAR ACRYLIC SEALANT TRENDSSTONE - OREO CREAM MIDWEST
[Symbol]	GLASS
EW1	WINDOW
L2	LOUVER

PROJECT: BUILDING B SHELL	
TITLE: ARCHITECTURAL EXTERIOR ELEVATIONS	
DRAWING: A400	
E1 SCALE: As Indicated	AGILE No: REV: 0



HAYWARD INDUSTRIAL DESIGN GUIDELINES - BUILDING DESIGN

MASSING & ARTICULATION

- 1. Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height, and roofs located at different levels in order to minimize the overall appearance of the elevation. In general, building wall planes visible from a public street should not continue for more than 50-feet without a change in building wall plane direction of 2-feet or more.
- 2. Design massing elements to be properly scaled and in proportion to one another in order to provide a balance between horizontal and vertical emphasis.
- 3. Organize street facing building massing so as to emphasize interior uses of a building, such as the primary entry, building corners, or office space, through the use of varying roof height, windows, variation in materials, and other design treatments.

- 4. Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, or other features to create shadow patterns and depth on building elevations. Reuse of existing buildings may also include wall art or sculptural art elements.
- 5. Minimize blank wall planes on all elevations through the use of wall plane variation, trim or reveals, entry and window openings, and/or varying colors and materials.

WINDOWS & DOORS

- 6. Use window and door type, proportion, and colors and materials to complement the overall architectural style of the building.
- 7. Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.

COLORS AND MATERIALS

- 8. Select building colors and materials to reinforce building design, detailing, and architectural form in order to achieve harmony and continuity of the overall design.
- 9. Utilize accent colors for trim, windows, doors, and other key architectural elements, such as primary building entries, to add visual interest to a building.
- 10. Apply materials in a manner that corresponds to variation in building massing. Wrap outside corners to avoid a tacked-on appearance

- 11. Use durable and high quality materials on building exteriors, especially in areas near ground level.



HAYWARD INDUSTRIAL DESIGN GUIDELINES - BUILDING DESIGN

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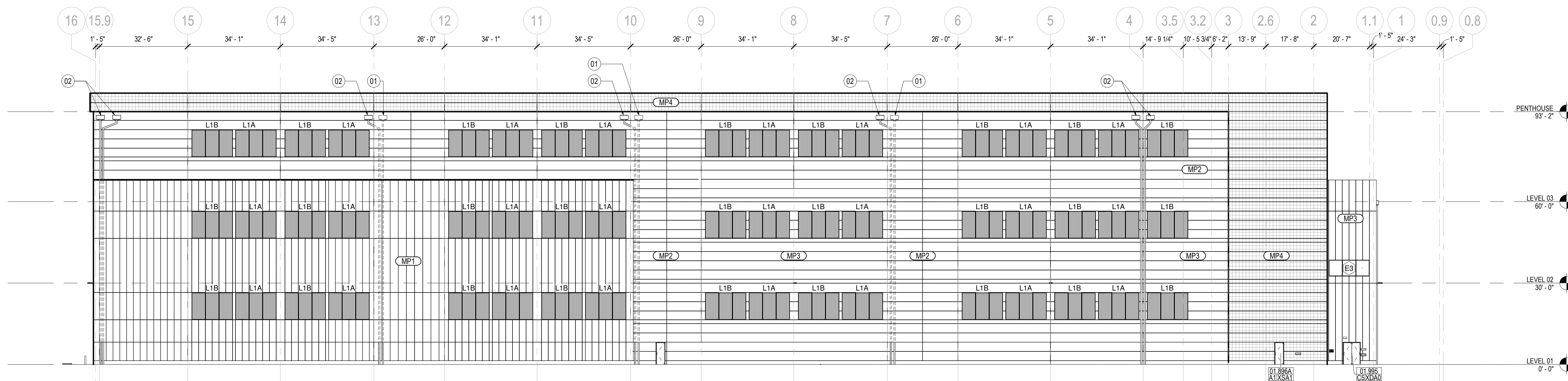
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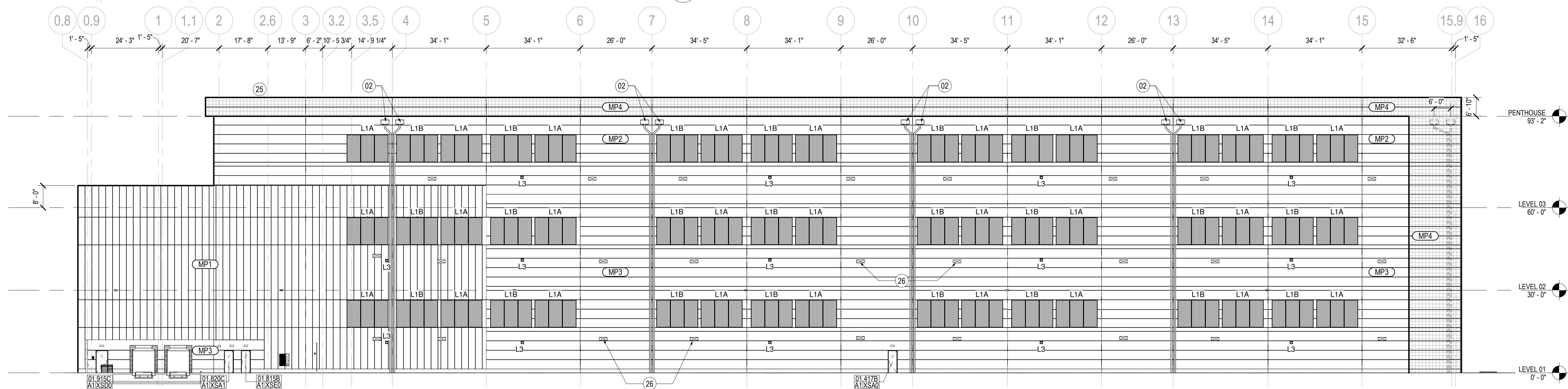
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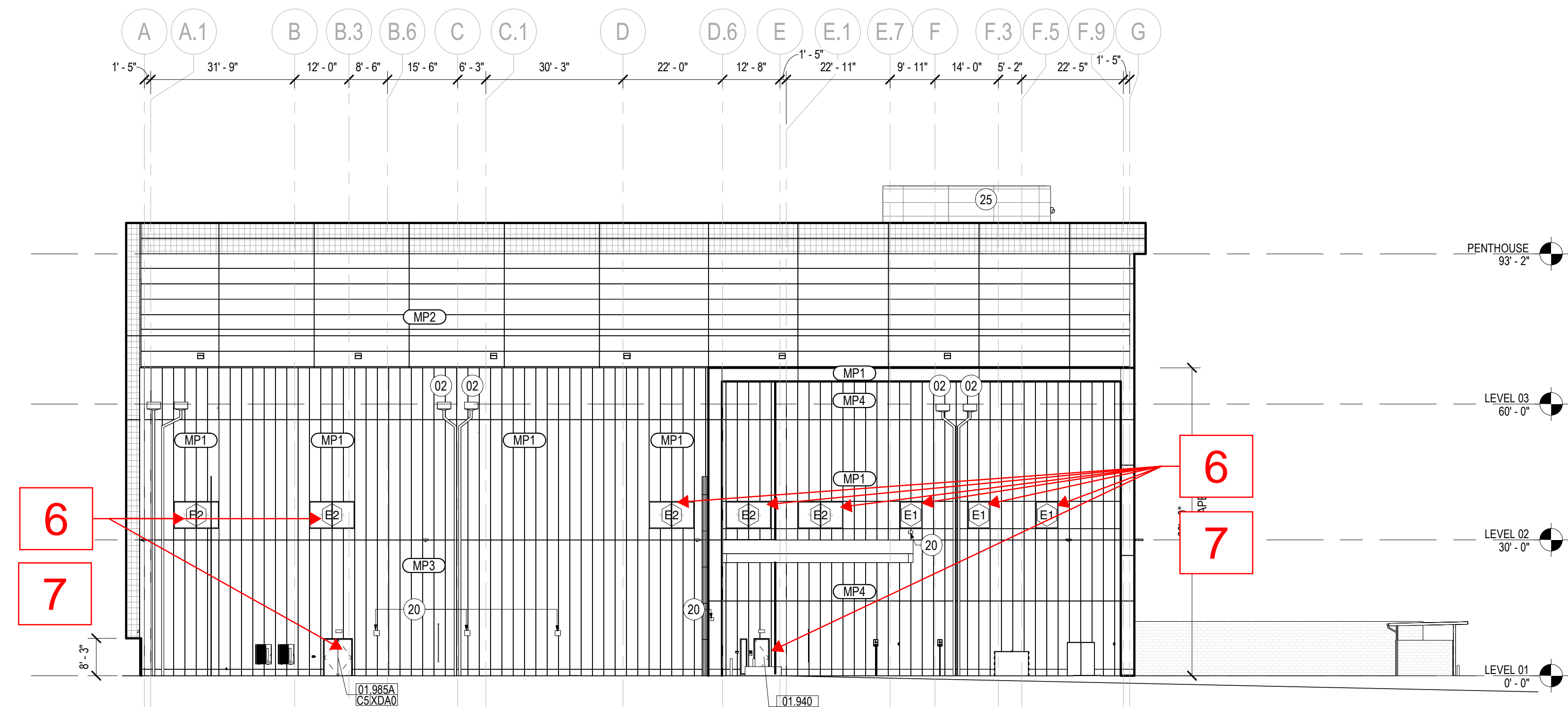
- 11. Use durable and high quality materials on building exteriors, especially in areas near ground level.



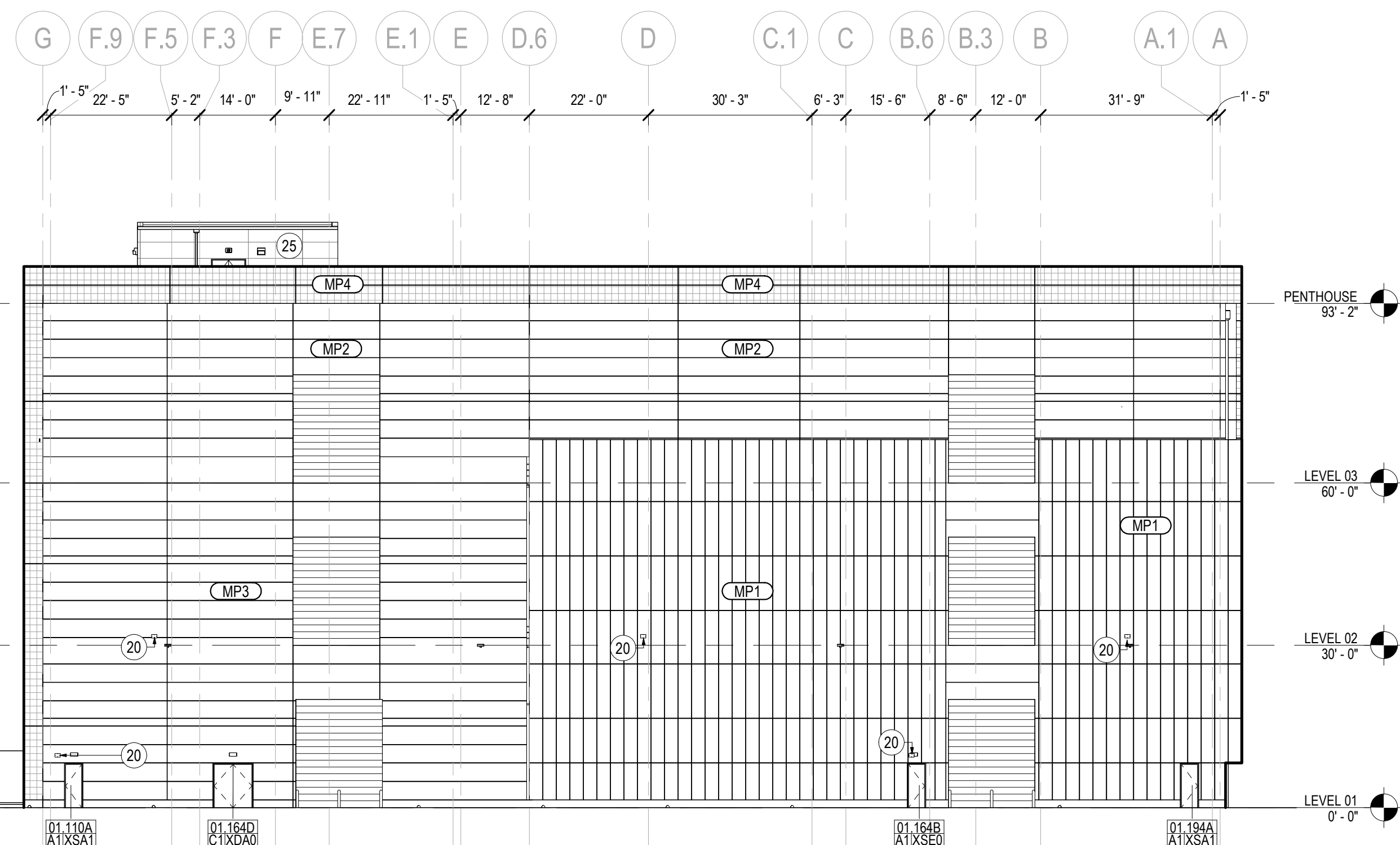
1 ARCHITECTURAL NORTH EXTERIOR ELEVATION



2 ARCHITECTURAL SOUTH EXTERIOR ELEVATION



3 ARCHITECTURAL WEST EXTERIOR ELEVATION



4 ARCHITECTURAL EAST EXTERIOR ELEVATION

SHEET NOTES - EXTERIOR ELEVATIONS

- 1 THROUGH WALL SCUPPER AND DOWN BEHIND METAL PANEL. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS PREFINISHED TO MATCH ADJACENT LOUVER COLOR. TYP.
- 2 THROUGH WALL SCUPPER AND DOWN SPOUT. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS BELOW. PREFINISHED TO MATCH ADJACENT WALL COLOR. TYP.
- 3 DOCK SEAL. TYP.
- 4 WINDOW TYPE E1; RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
- 5 WINDOW TYPE E2; RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
- 6 WINDOW TYPE E3; RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
- 7 EXTERIOR DOORS TO BE PAINTED TO MATCH COLOR OF WALL IN WHICH THEY OCCUR TYP.
- 8 METAL PANEL SYSTEM REVEALS TYP.
- 9 BUILDING ENTRY STOREFRONT DOOR AND GLAZING.
- 10 LINE OFSCREEN WALL (DASHED), REFER TO PROVIDED ELEVATIONS FOR ADDITIONAL INFORMATION.
- 11 6" HIGH STEEL LETTERS, PIN MOUNTED TO TILT UP PANEL. PAINTED TO MATCH EPT3
- 12 WALL PACK EXTERIOR LIGHT FIXTURE. CENTER OVER DOOR OR OVER LOUVERS OR WITHIN PANEL. WHERE APPLICABLE. RE: ELECTRICAL DRAWINGS
- 13 METAL PANEL TYPE 5 (TO BE DETERMINED)
- 14 WALL CUTOUTS TO BE COORDINATED WITH MEP.

11

EXTERIOR FINISH LEGEND:

- MP1** BOD: CENTRIA FORMA WALL
DARK BRONZE COLOR SMOOTH
EXTERIOR TEXTURE FLUOROFINISH
COATING
9960 XL DARK BRONZE
- MP2** BOD: CENTRIA FORMA WALL
DEEP BLUE COLOR EMBOSSED
EXTERIOR TEXTURE FLUOROFINISH
COATING
200 DEEP BLUE SEA
- MP3** BOD: CENTRIA FORMA WALL
WHITE COLOR SMOOTH EXTERIOR
TEXTURE
179 REGAL WHITE
- MP4** BOD: CENTRIA FORMA WALL
MEDIUM GRAY COLOR EMBOSSED
EXTERIOR TEXTURE FLUOROFINISH
COATING
9960 XL MEDIUM GRAY
- MP5** BOD: CENTRIA PARADIGM METAL PANEL
9918 DOVE GRAY; 9989 PLATINUM
SUNDANCE AM COATING; 9989
PLATINUM SUNDANCE MICA COATING

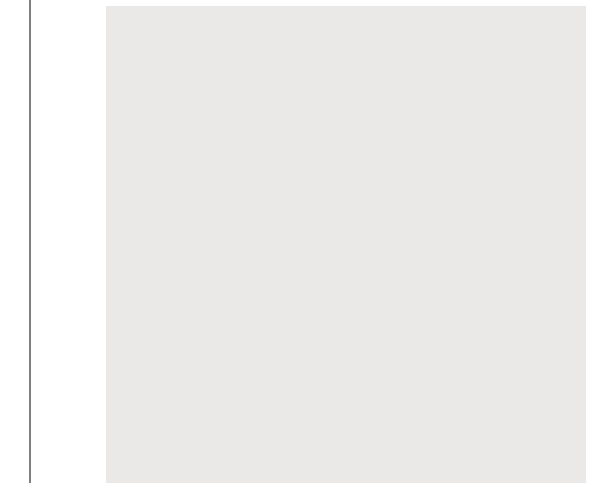
EXTERIOR FINISH LEGEND



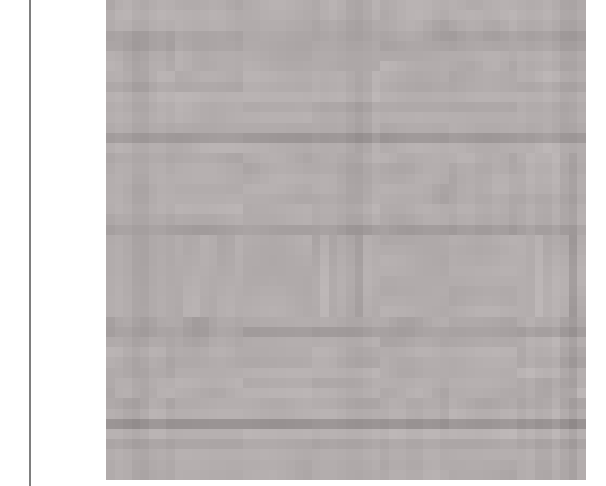
MP1



MP2



MP3



MP4

PROJECT ADDRESS
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DESIGNED: HKS	ARCHITECT: HKS	
MARK	DATE	DESCRIPTION

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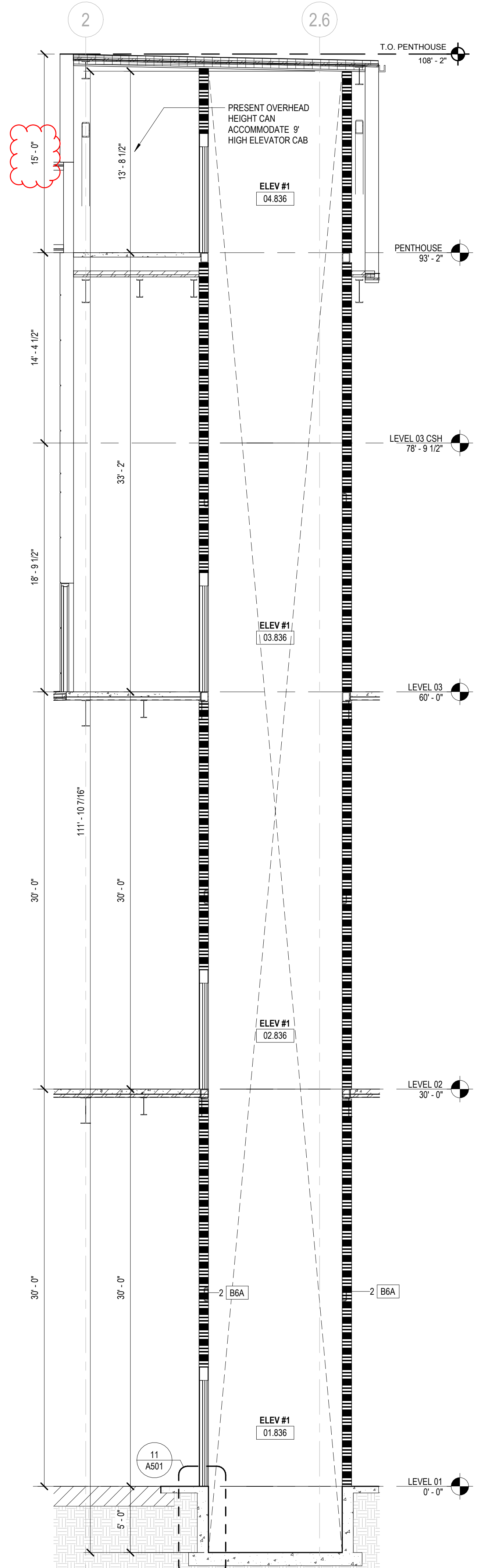
PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL EXTERIOR ELEVATIONS

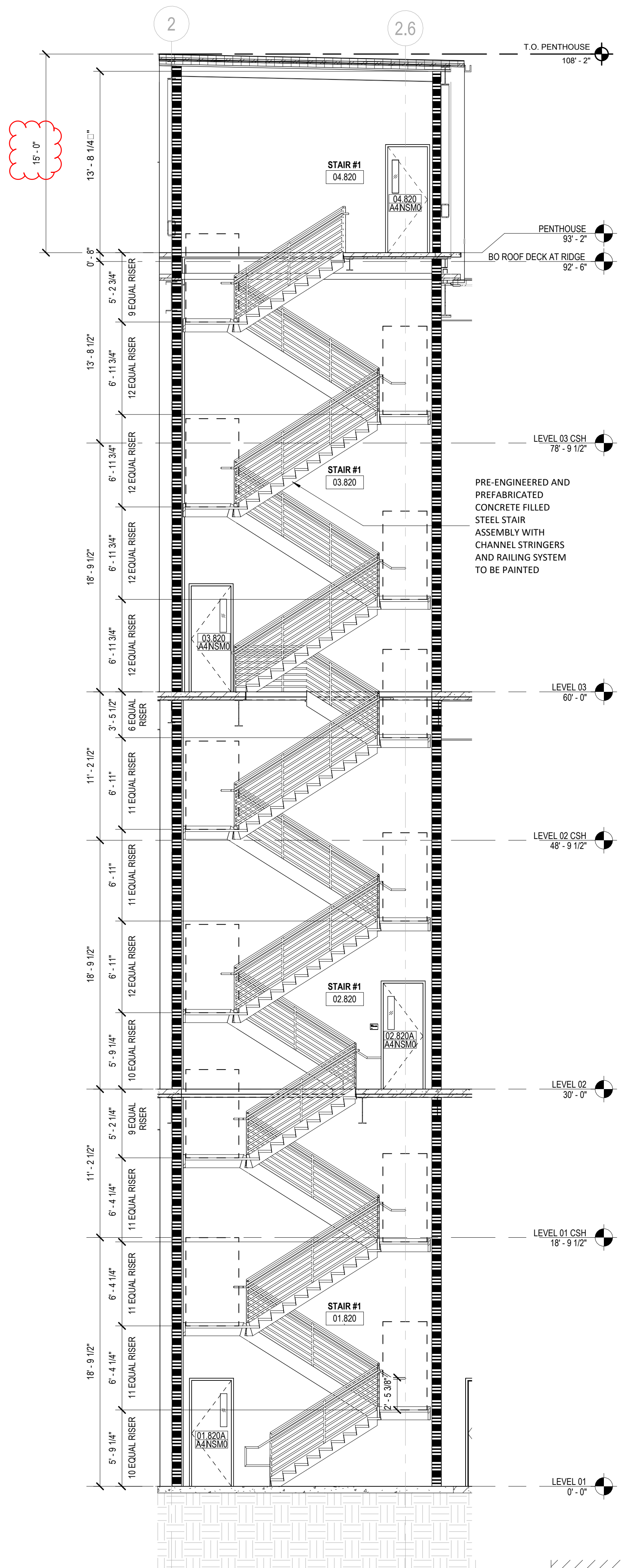
DRAWING: A600

E1 SCALE: As Indicated

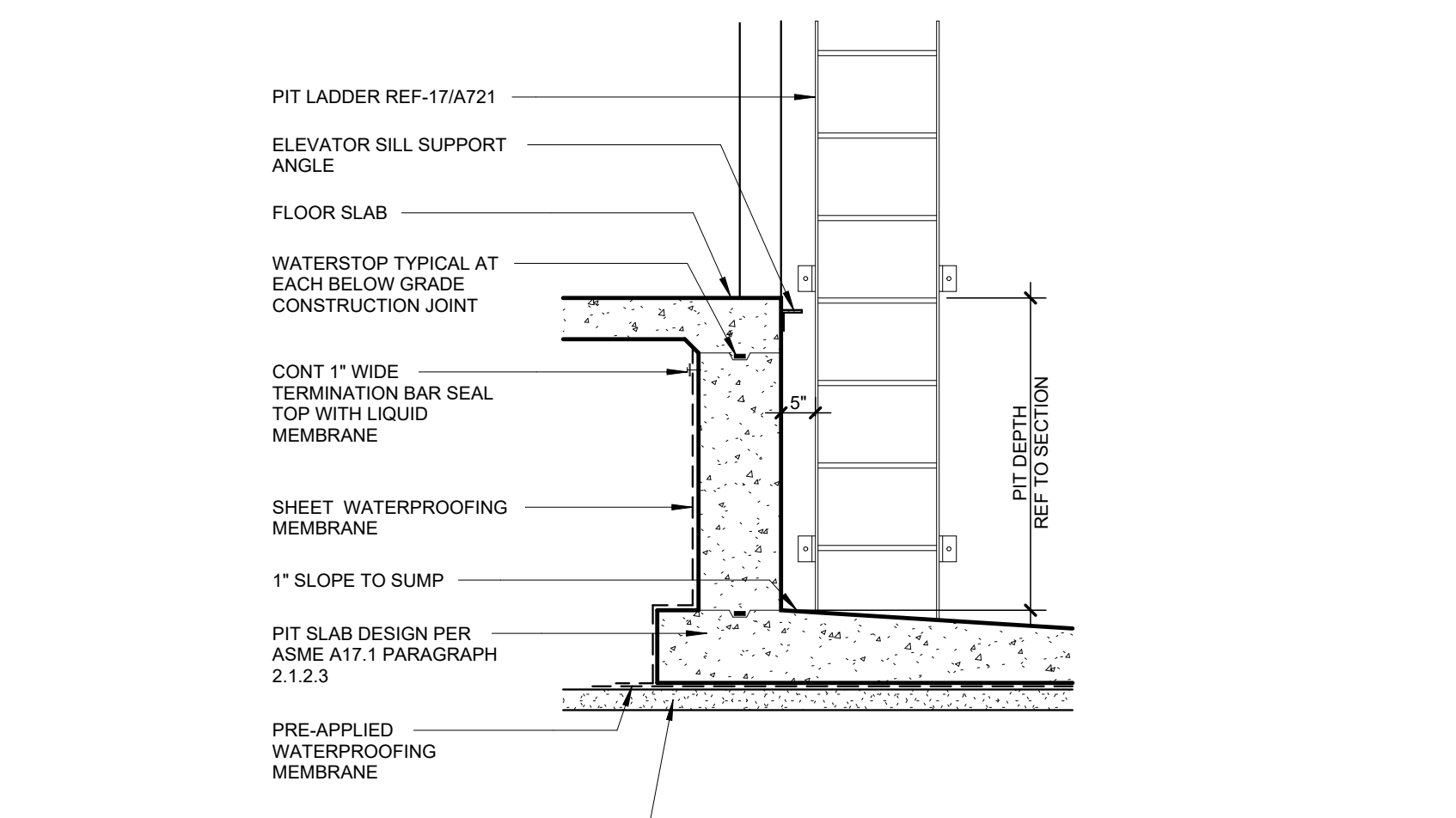
AGILE No: REV:



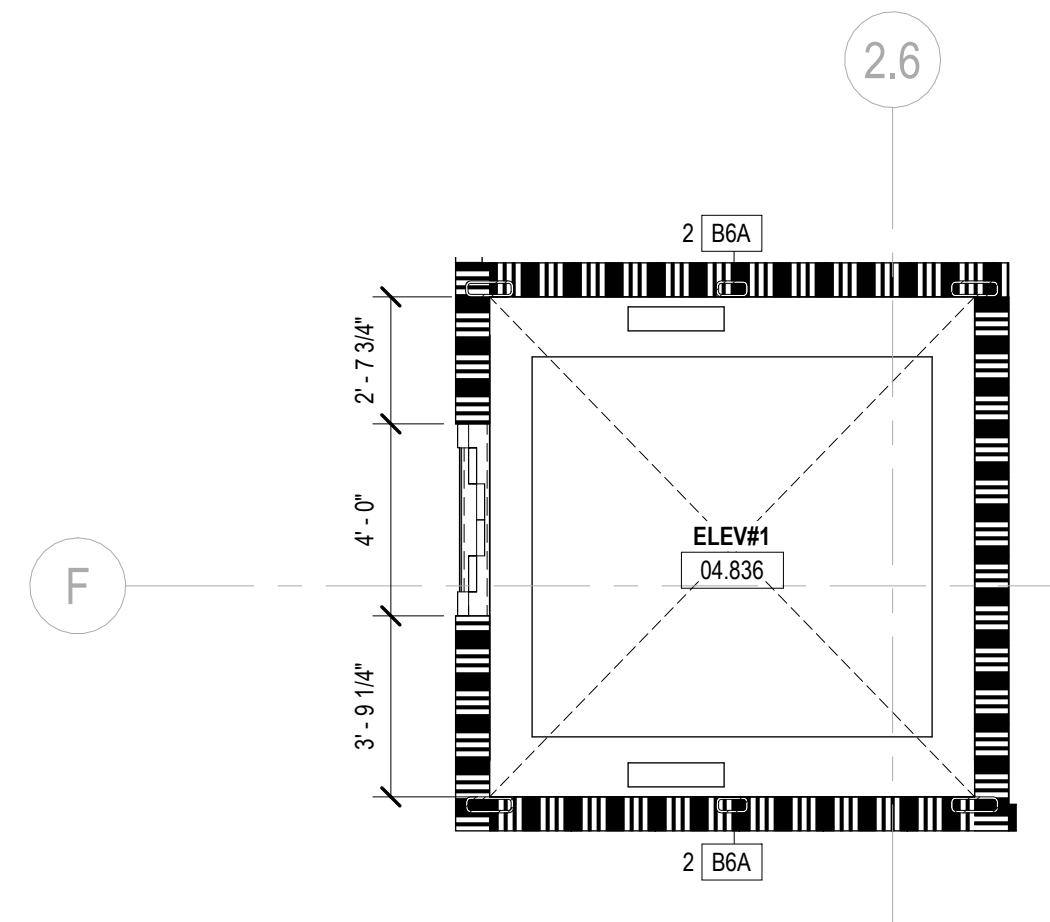
1 SECTION - ELEVATOR #1
A501 3/16" = 1'-0"



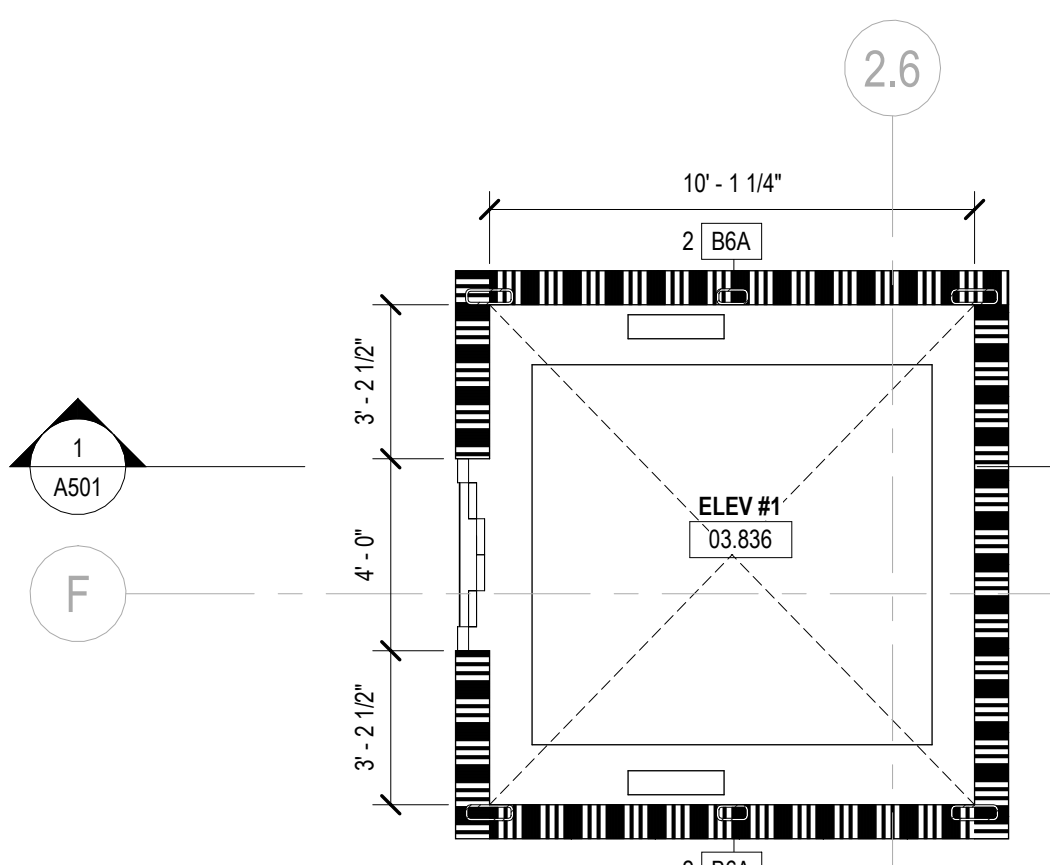
2 SECTION - STAIR #1
A501 3/16" = 1'-0"



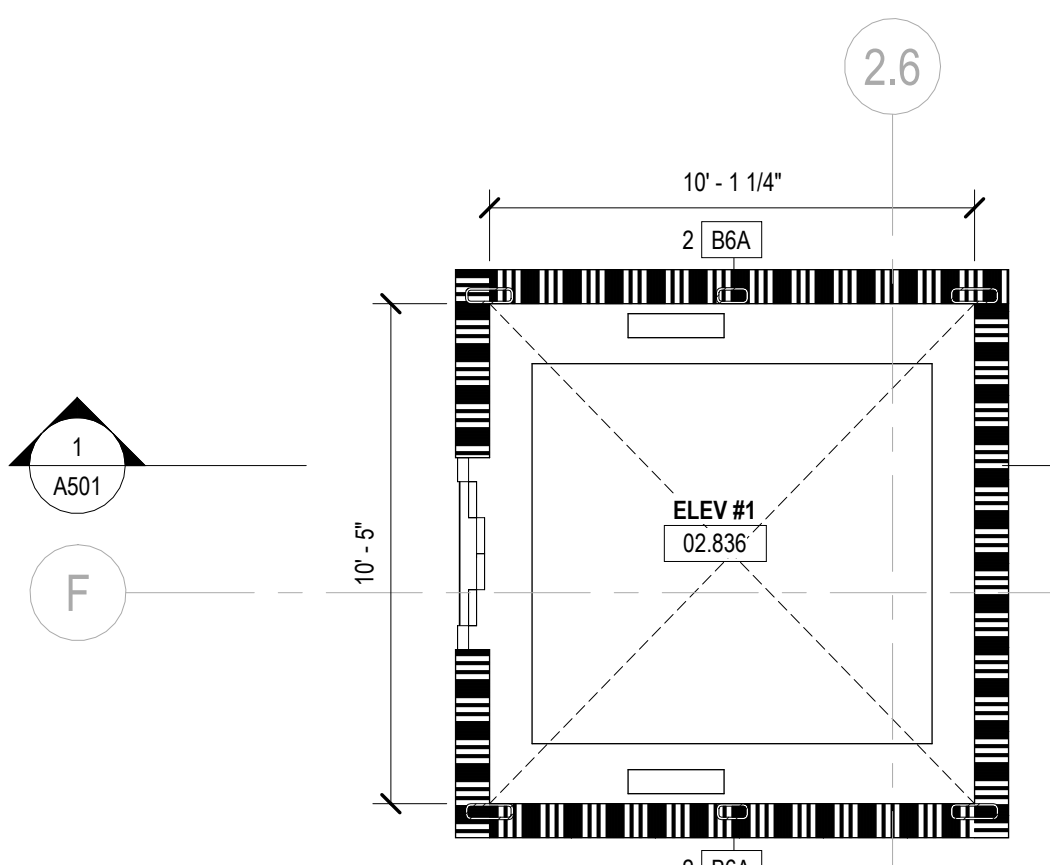
11 PIT SECTION WITH SHEET WATERPROOFING
A501 1/2" = 1'-0"



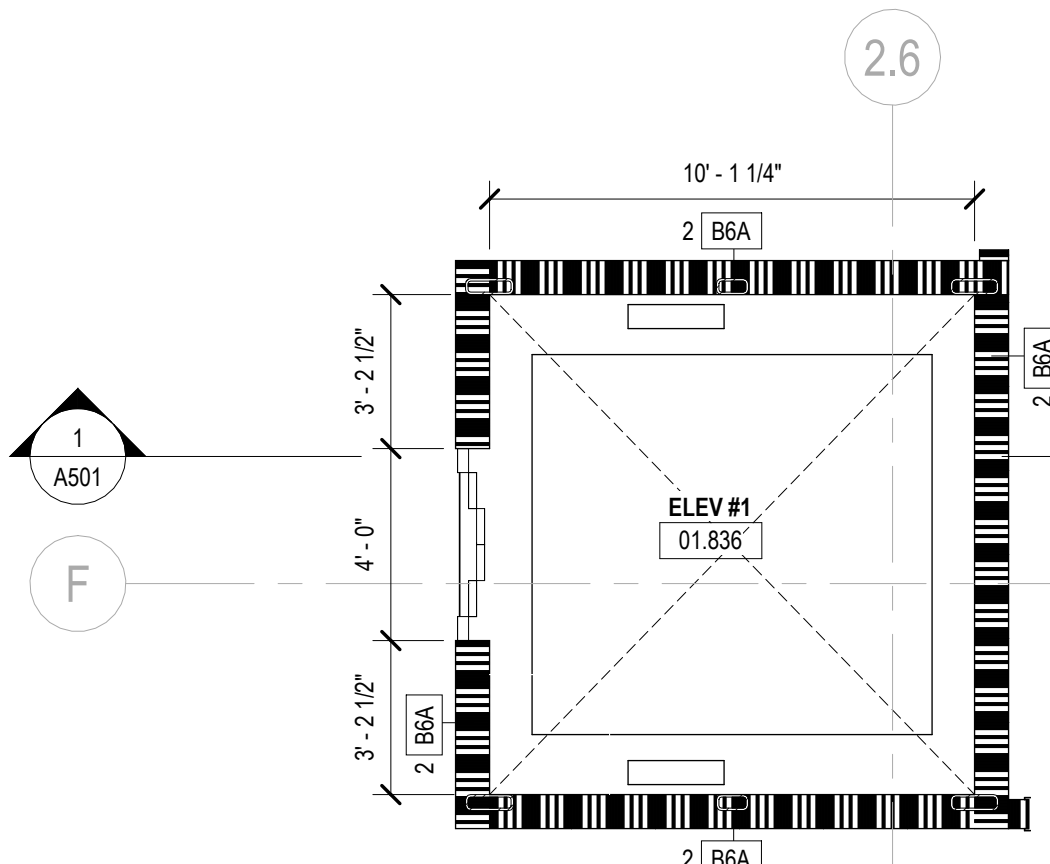
3 ENLARGED PLAN - ELEVATOR #1 - PENTHOUSE
A501 1/4" = 1'-0"



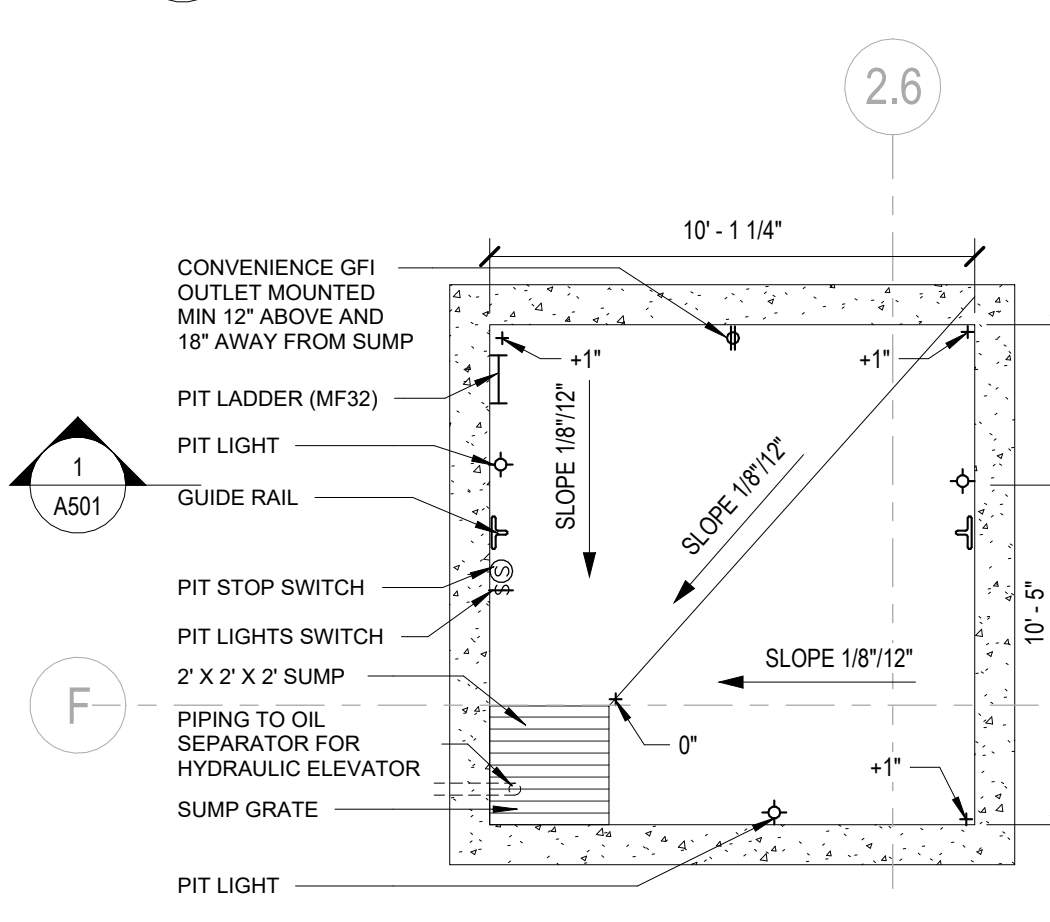
5 ENLARGED PLAN - ELEVATOR #1 - LEVEL 03
A501 1/4" = 1'-0"



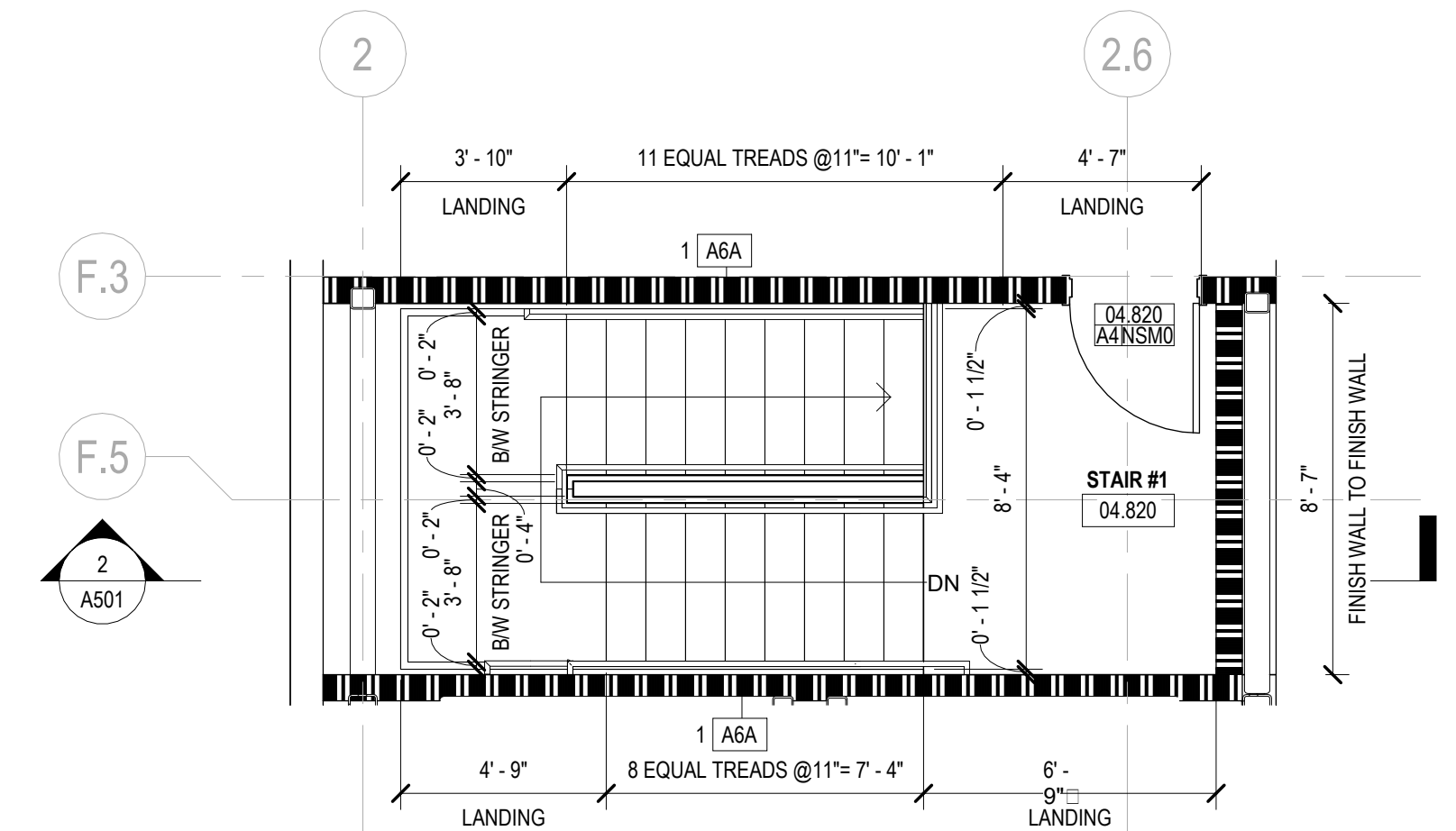
7 ENLARGED PLAN - ELEVATOR #1 - LEVEL 02
A501 1/4" = 1'-0"



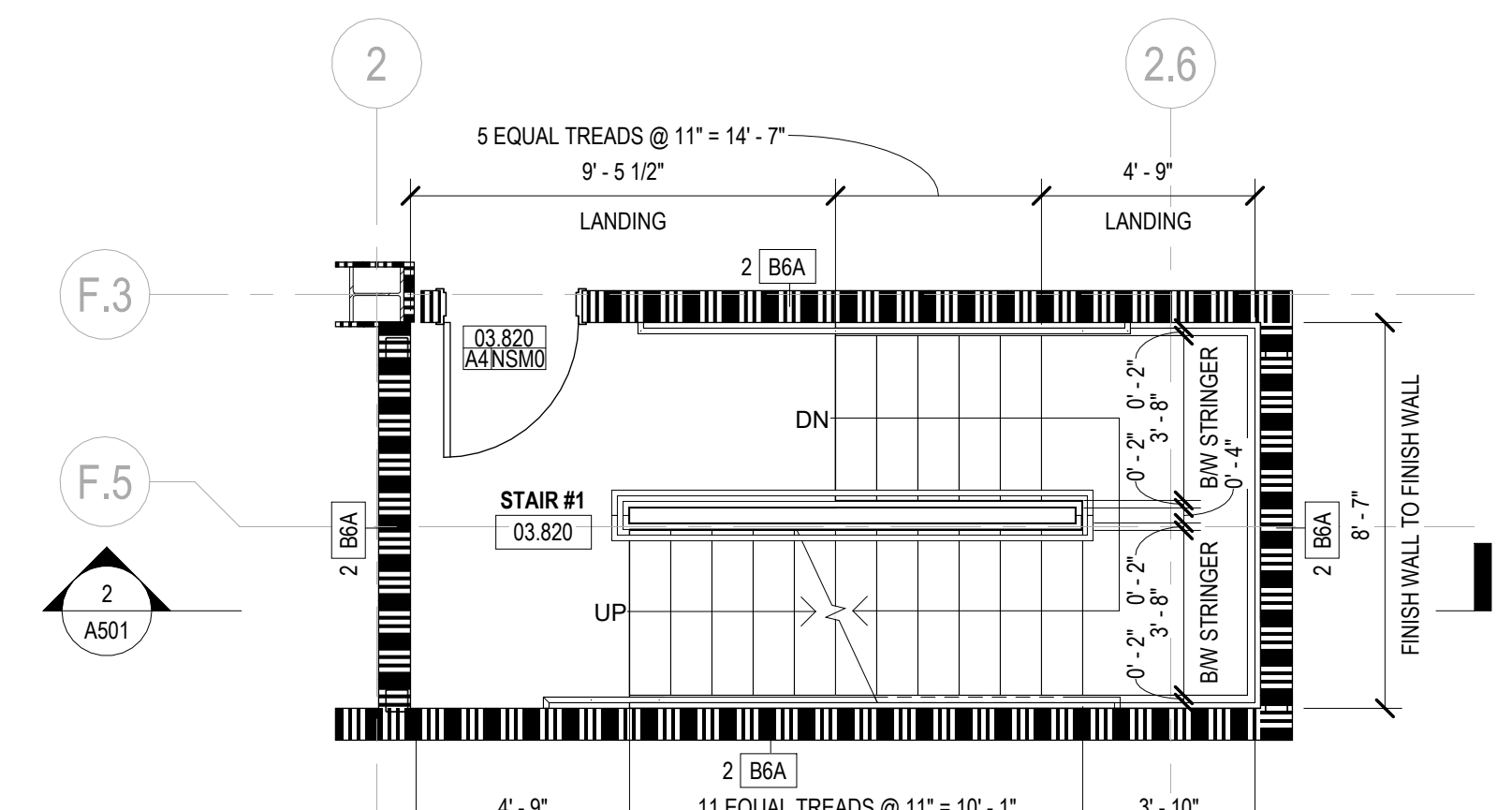
9 ENLARGED PLAN - ELEVATOR #1 - LEVEL 01
A501 1/4" = 1'-0"



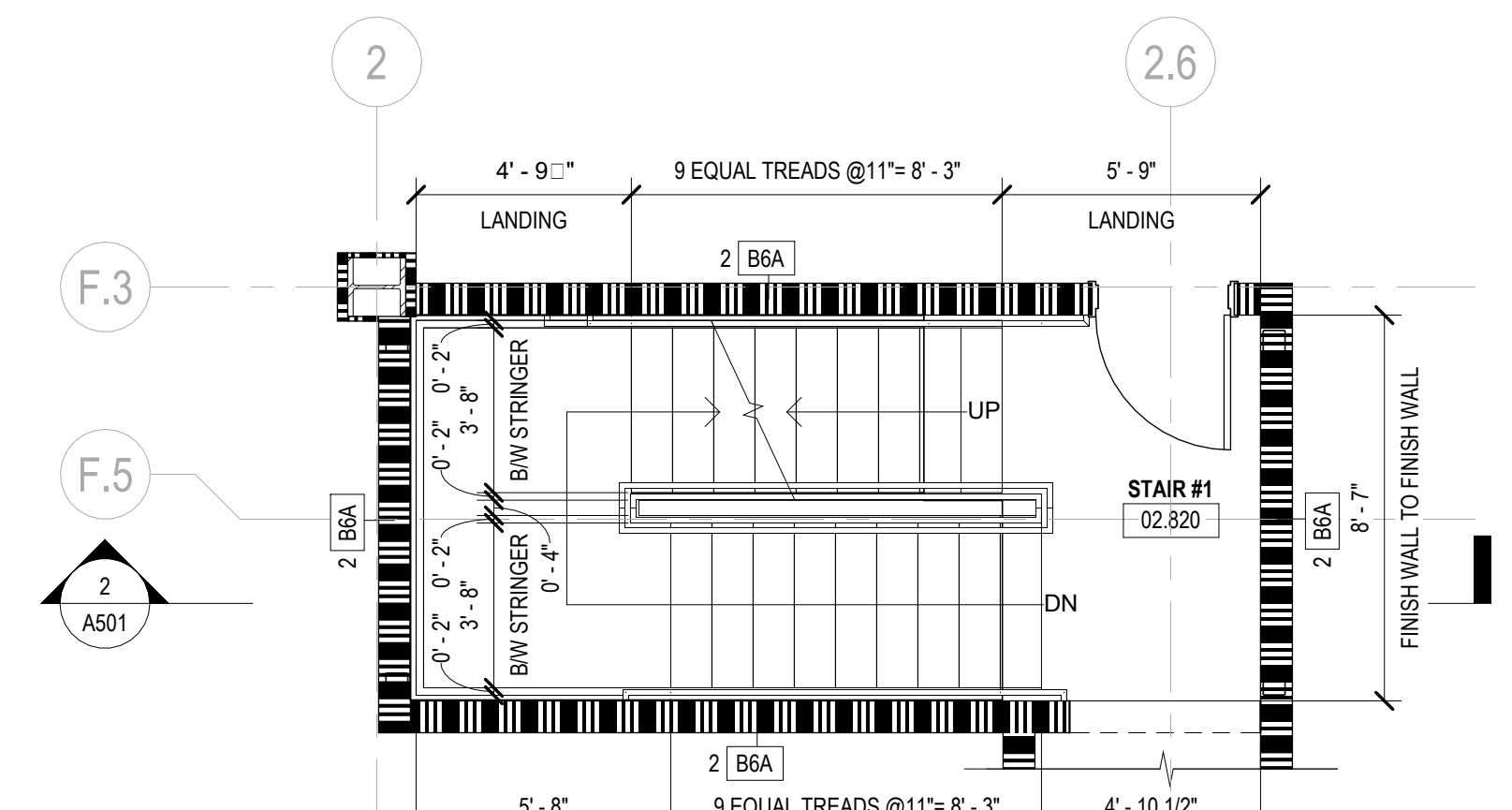
12 ENLARGED PLAN - ELEVATOR #1 - PIT PLAN
A501 1/4" = 1'-0"



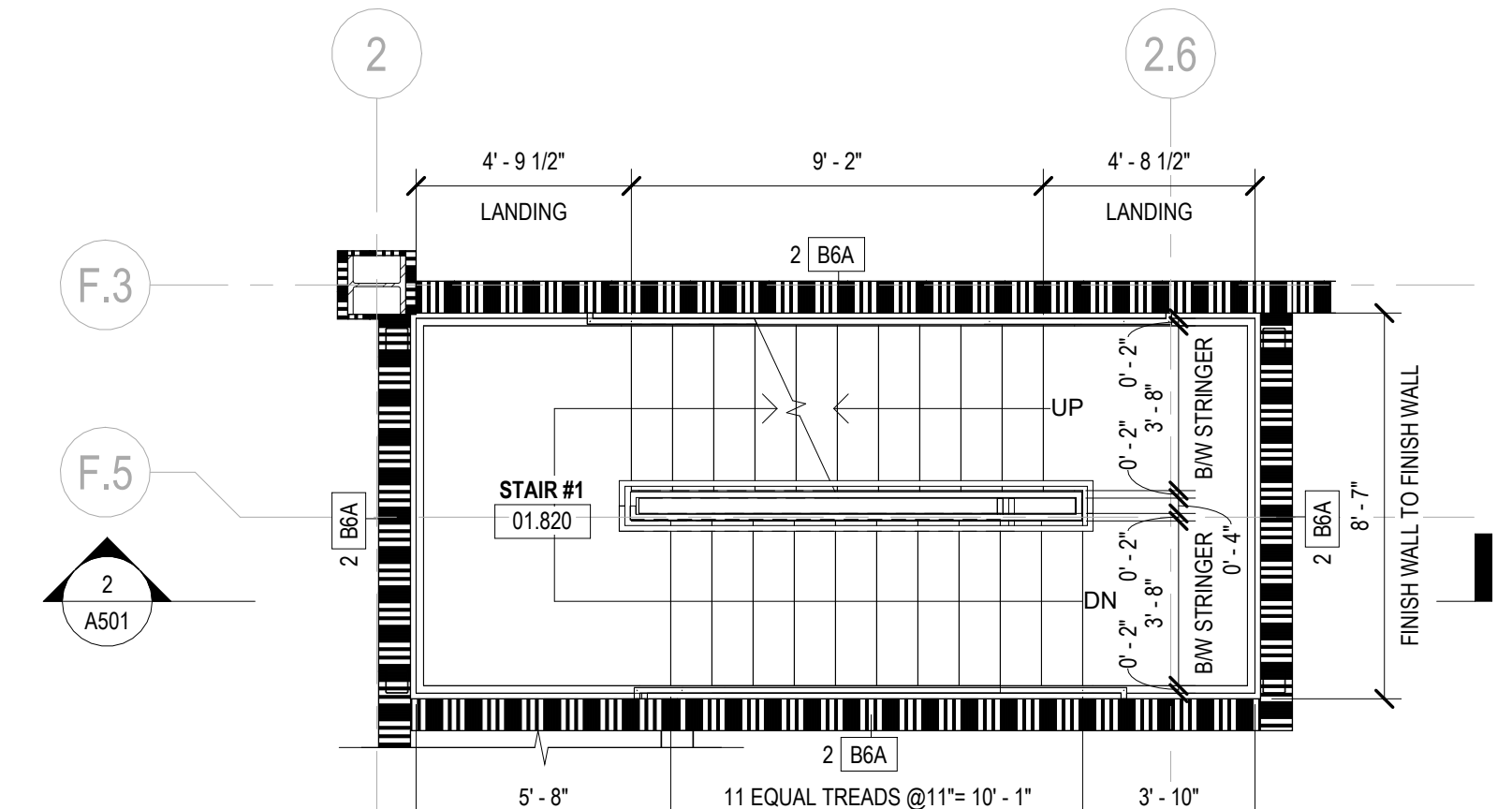
4 ENLARGED PLAN - STAIR #1 - PENTHOUSE
A501 1/4" = 1'-0"



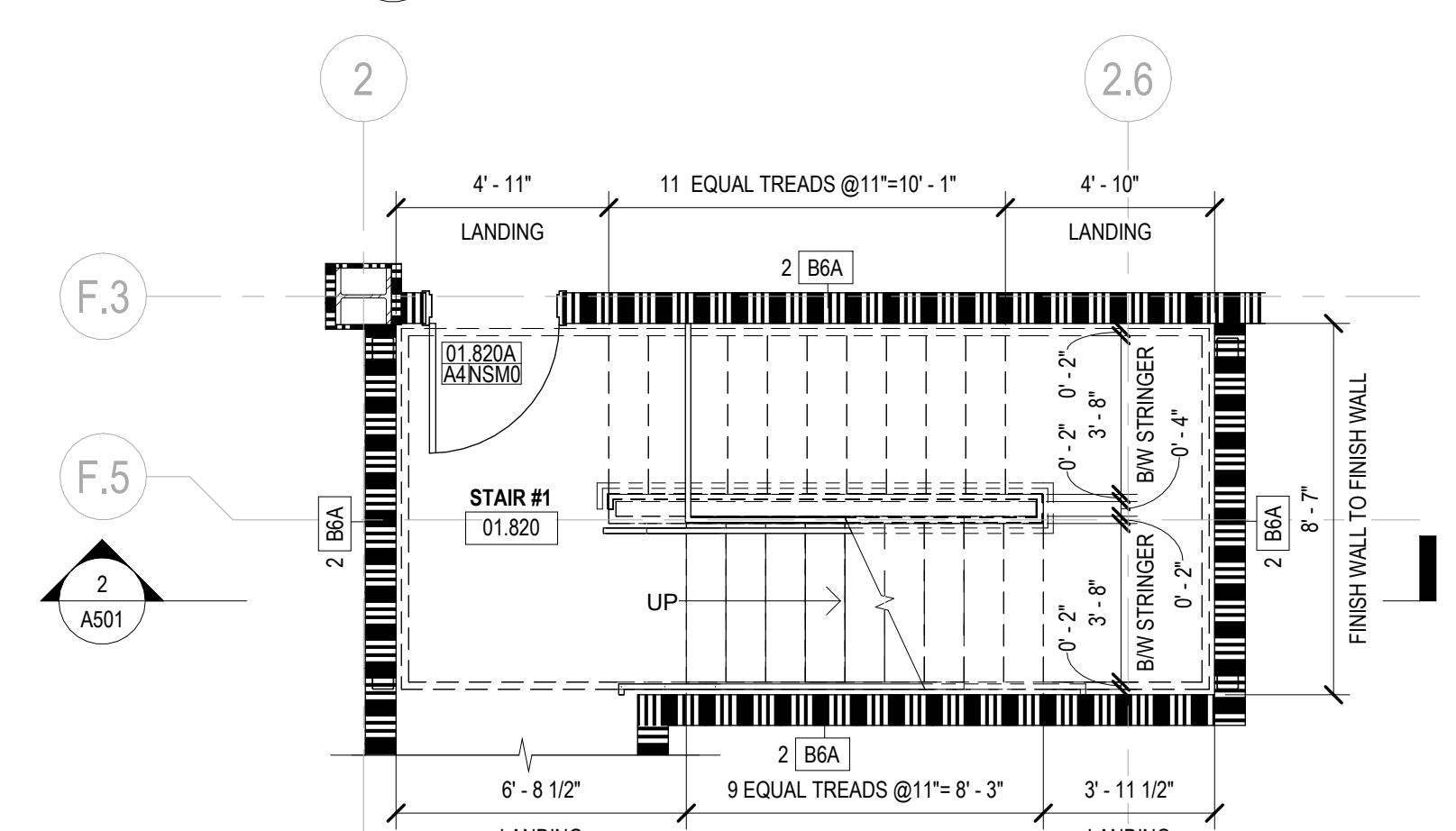
6 ENLARGED PLAN - STAIR #1 - LEVEL 03
A501 1/4" = 1'-0"



8 ENLARGED PLAN - STAIR #1 - LEVEL 02
A501 1/4" = 1'-0"



10 ENLARGED PLAN - STAIR #1 - TYPICAL CSH
A501 1/4" = 1'-0"



13 ENLARGED PLAN - STAIR #1 - LEVEL 01
A501 1/4" = 1'-0"

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DESIGNED: HKS	ARCHITECT: HKS
MARK:	DATE:
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PROJECT: BUILDING A SHELL
TITLE: ARCHITECTURAL ELEVATOR & STAIR PLANS & SECTIONS
DRAWING: A501

E1 SCALE: As indicated	AGILE No:	REV: C
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BUILDING A

TOTAL FOOTPRINT		
BUILDING A	105,750	SF
GEN YARD	55,150	SF
TOTAL	160,900	SF

GFA		
LEVEL 01	105,750	SF
LEVEL 02	105,750	SF
LEVEL 03	98,960	SF
TOTAL	310,460	SF
GEN YARD	55,150	SF
TOTAL(DH + GEN. YARD)	365,610	SF

BUILDING B

TOTAL FOOTPRINT		
BUILDING B	1,605	SF

GFA		
BUILDING B	1,605	SF

SITE

Landscaped Area	135,643	SF
Total Open Space	53,000	SF
Substation SVY03S1 Area	23,210	SF
Switching Station	25,800	SF
Lot Coverage	500,287	SF

Parking Requirements		
	68	Spaces
	4	ADA
Total	71	Spaces

Bike Requirements		
Long Term	7	EA
Short Term	10	EA
Total	17	Total

BUILDING A AREA BREAKDOWN

ROOMS	LEVEL 01	LEVEL 02	LEVEL 03	PENTHOUSE	TOTAL
DATA HALL + DAHU	69,280	65,820	62,520		197,620
ELECTRIC ROOMS	16,780	16,780	16,780		50,340
OFFICE/LOBBY	13,100	14,380	7,260		34,740
STORAGE	2,440	1,070	1,180		4,690
STAIRS + ELEV WELL + SHAFT	4,150	7,700	11,220	884	23,954
	105,750	105,750	98,960	884	311,344