

RIPLEY DESIGN GROUP, INC.
Landscape Architecture
Land Planning
1615 Bonanza St., Suite 314
Walnut Creek
California 94596
Tel 925.938.7377
Fax 925.938.7436

DEVELOPER:

NUVERA HOMES

7041 KOLL CENTER
PARKWAY
SUITE 170
PLEASANTON, CA
94566

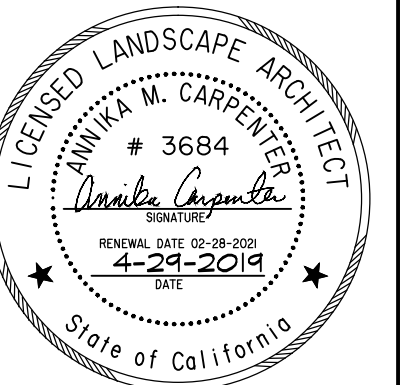
TEL. 925.309.8888
FAX. 888.589.4937

PROJECT:

EDEN VILLAGE

HAYWARD,
CALIFORNIA

COLOR SITE PLAN



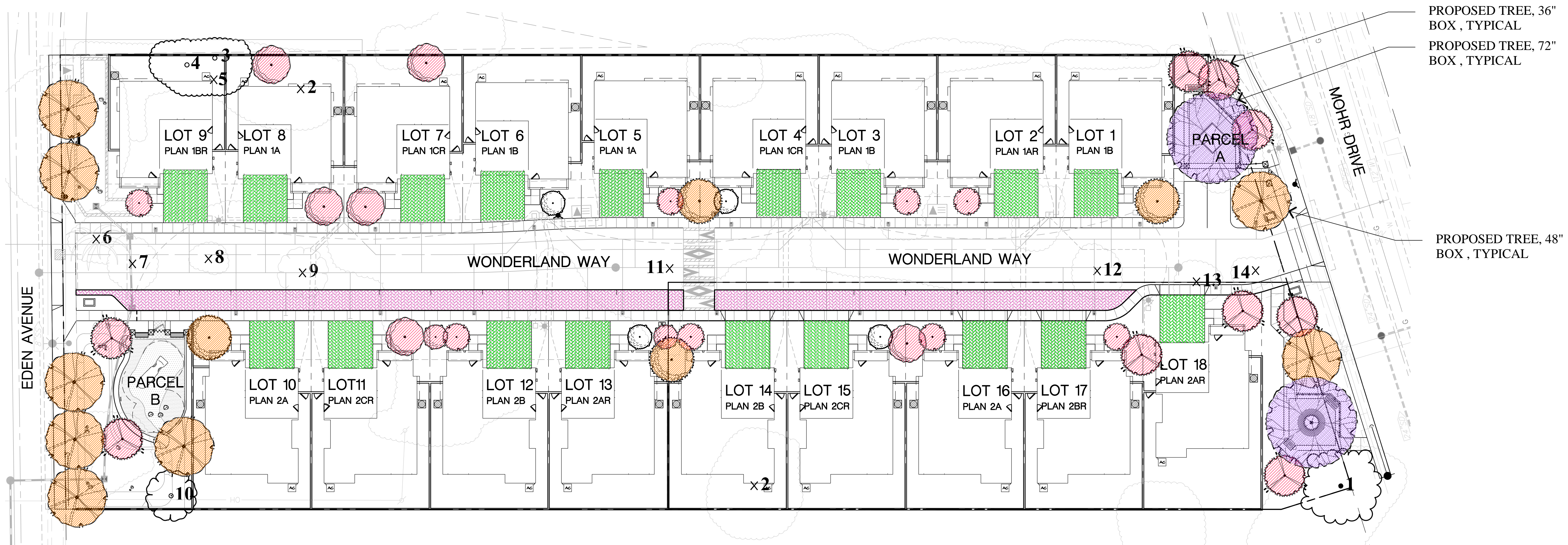
PROJECT #:
DATE: APR. 29, 2019
SCALE: 1"=20'
DRAWN BY: TV
CHECKED BY: AMC

REVISIONS:

SHEET

L1

OF 9 SHEETS



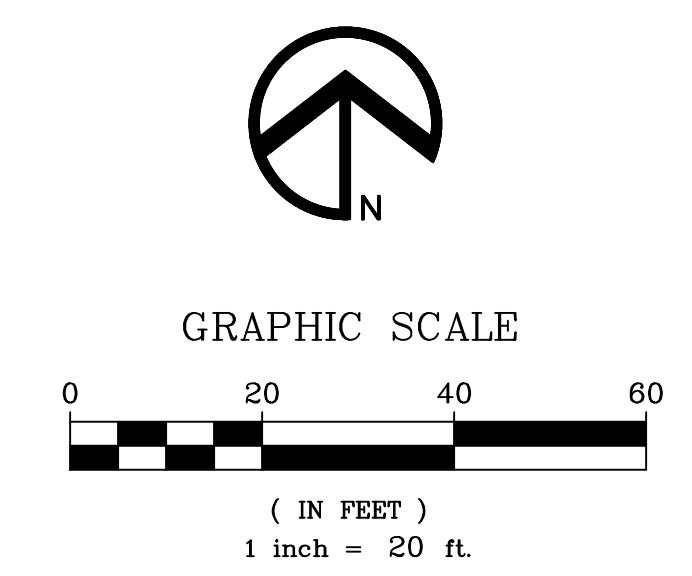
LEGEND

- PERMEABLE PAVING:
DRIVEWAYS : to be Hydro-Flo Technology Pavers or equal
Area = 1,602 sf
- SPECIAL PAVING: to be Hydro-Flo Technology Pavers or equal
Area = 1,200 sf
- BIoretention AREA:
PER CIVIL'S PLAN
Area = 825 sf
- TREE UPGRADES:
PROPOSED TREE - 36" BOX
- PROPOSED TREE - 48" BOX
- PROPOSED TREE - 72" BOX

PRELIMINARY TREE PALETTE

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
EXISTING TREES TO BE REMOVED			
TREES			
CERCIS OCCIDENTALIS	WESTERN REDBUD	36" BOX	LOW
GINKGO 'PRINCETON SENTRY'	MAIDENHAIR TREE	36" BOX	MEDIUM
LAGERSTROMIA 'ACOMA'	GRAPE MYRTLE	24" BOX	LOW
MELALEUCA LINARIFOLIA	FLAXLEAF PAPERBARK	36" BOX	LOW
NYSSA SYLVATICA	BLACK GUM	48" BOX	LOW
PISTACIA CHINENSIS	CHINESES PISTACHE	48" BOX	LOW
QUERCUS AGRIFOLIA	COAST LIVE OAK	72" BOX	LOW

PHASE ONE: LOT 1-13
PHASE TWO: LOT 14-18



LEGEND		DESCRIPTION
EXISTING	PROPOSED	SUBDIVISION BOUNDARY
		RIGHT-OF-WAY
		PROPERTY LINE
		PUBLIC UTILITY EASEMENT
		FENCE
		SIDEWALK
		SPOT ELEVATIONS
		LOT NUMBER
		TRAFFIC DIRECTION
		STORM DRAIN
		SANITARY SEWER
		WATER
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		CATCH BASIN
		FIELD INLET
		FIRE HYDRANT
		POWER POLE
		RETAINING WALL

ABBREVIATIONS	
BD	BOUNDARY
BRC	BACK OF ROLLED CURB
BW	BACK OF WALK
CB	CATCH BASIN
CL	CENTER LINE
EP	EDGE OF PAVEMENT
EX	EXISTING
FC	FACE OF CURB
FL	FLOWLINE
FS	FINISHED SURFACE
GB	GRADE BREAK
HP	HIGH POINT
INV	INVERT
LP	LOW POINT
LS	LANDSCAPE
P	PAD
PL	PROPERTY LINE
PP	POWER POLE
PUE	PUBLIC UTILITY EASEMENT
R/W	RIGHT-OF-WAY
SD	STORM DRAIN
SS	SANITARY SEWER
SW	SIDEWALK
TC	TOP OF CURB
TCD	THRU CURB DRAIN
TG	TOP OF GRATE
W	WATER

SHEET INDEX	
TM.1	EXISTING PROPERTY
TM.2	SITE & CIRCULATION PLAN
TM.3	GRADING PLAN
TM.4	UTILITY PLAN
TM.5	STORMWATER MANAGEMENT PLAN

CONTACTS	
1. OWNER/DEVELOPER/ARCHITECT:	NUVERA HOMES 7041 KOLL CENTER PARKWAY, SUITE 170 PLEASANTON, CA 94566 (925) 309-8888 CONTACT: JEFF LAWRENCE CONTACT: ARCHIE ANGULO
2. CIVIL ENGINEER:	CARLSON, BARBEE & GIBSON, INC. 2633 CAMINO RAMON, SUITE 350 SAN RAMON, CA 94583 (925) 866-0322 CONTACT: LEE ROSENBLATT, RCE #65469
3. SOILS ENGINEER:	SILICON VALLEY SOIL ENGINEERING 2391 ZANKER ROAD, SUITE 350 SAN JOSE, CA (408) 324-1404 CONTACT: SEAN DEIVERT

I, JEFFREY LAWRENCE, AGREE TO THE FILING OF SAID MAP AND TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.

BY: _____ DATE: _____

I, LEE ROSENBLATT, CERTIFY THAT THIS TENTATIVE MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT IT COMPLIES WITH THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT.

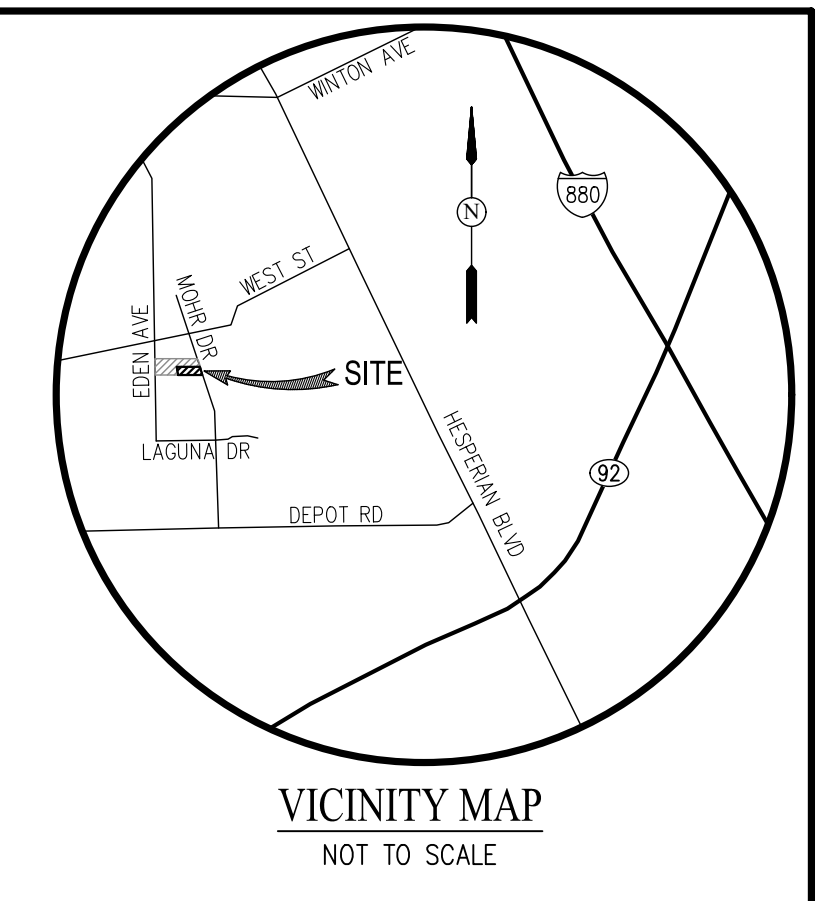
BY: _____ DATE: _____
LEE ROSENBLATT, RCE #65469

A SOILS REPORT ON THIS PROPERTY HAS BEEN PREPARED BY SILICON VALLEY SOIL ENGINEERING ENTITLED "UPDATED GEOTECHNICAL INVESTIGATION", DATED JUNE 13, 2018, WHICH HAS BEEN FILED WITH THE CITY OF HAYWARD.

BY: _____ DATE: _____
ALAN S. BORIS, RCE #155

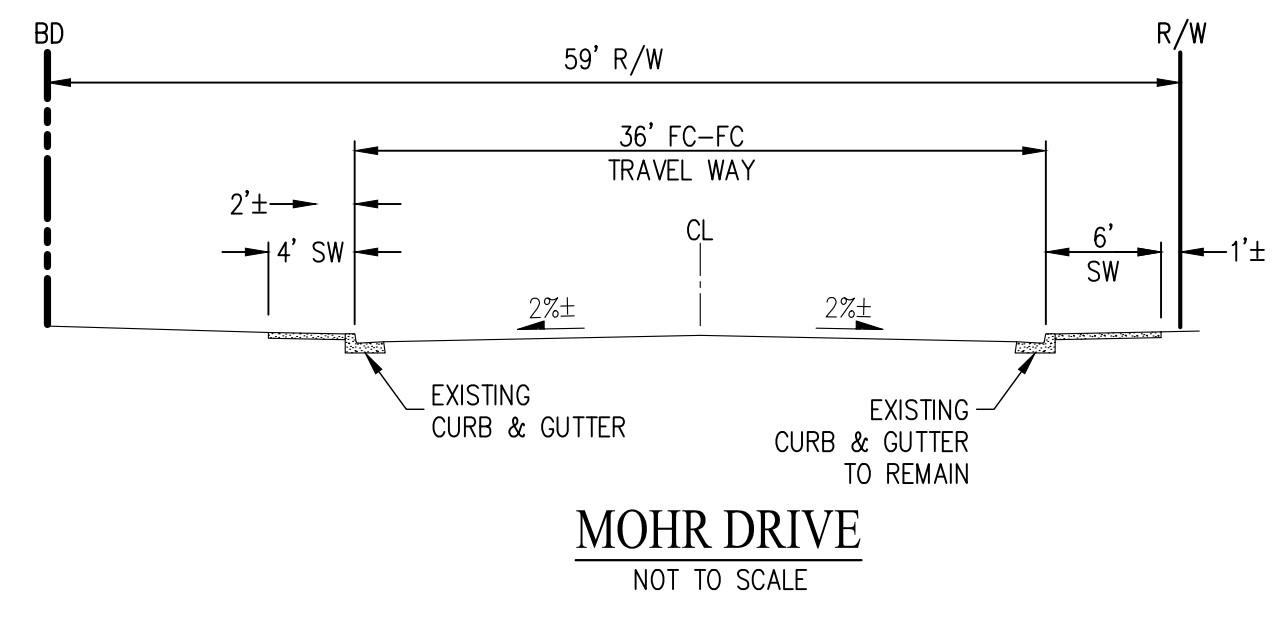
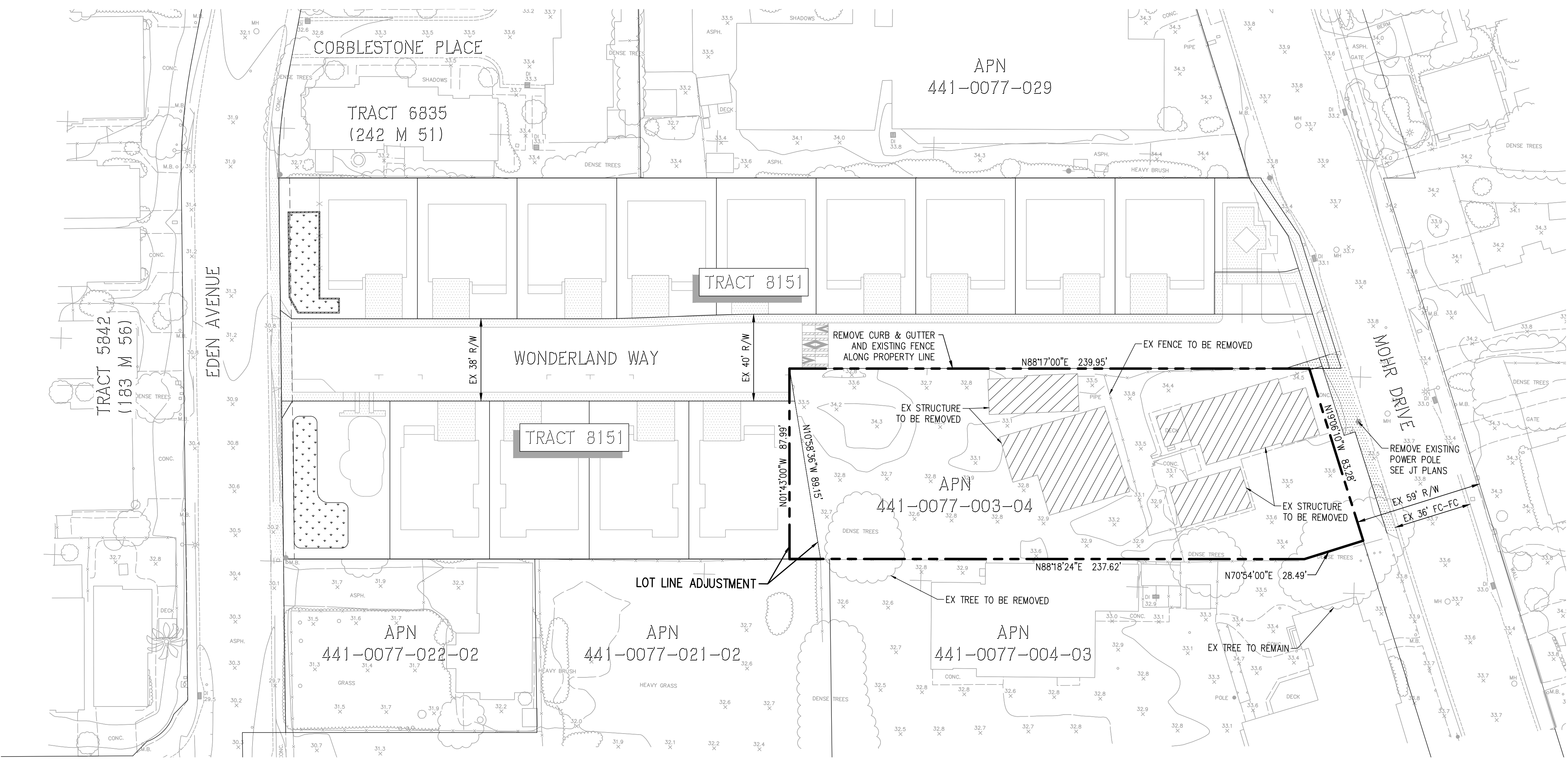
I, MARK H. WEBER, A LICENSED LAND SURVEYOR IN THE STATE OF CALIFORNIA, HEREBY STATE THAT THIS TENTATIVE MAP IS BASED UPON A SURVEY UNDER MY DIRECT SUPERVISION AND THAT IT COMPLIES WITH THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT.

BY: _____ DATE: _____
MARK H. WEBER



NOTE
TRACT 8482 IS PHASE 2 OF APPROVED TRACT 8151

- GENERAL NOTES:**
- ASSESSORS PARCEL NO: 441-0077-003-04
 - SITE ADDRESS: 24763 MOHR DRIVE, HAYWARD, CA 94545
 - SITE AREA: 0.51± AC (POST-LOT LINE ADJUSTMENT WITH LOT 13 [TRACT 8151])
 - GROSS DENSITY: 9.8 UNITS/AC
NET DENSITY: 11.4 UNITS/AC
 - EXISTING ZONING: SINGLE-FAMILY RESIDENTIAL B4
PROPOSED ZONING: PLANNED DEVELOPMENT
 - EXISTING USE: SINGLE-FAMILY DWELLING
PROPOSED USE: SINGLE FAMILY RESIDENTIAL; 5 SINGLE FAMILY LOTS, 2 PARCELS
 - MINIMUM SINGLE FAMILY LOT SIZE: 46± X 73± (3,357 SF±)
 - BENCHMARK: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CITY OF HAYWARD BENCHMARK INTERSECTION OF WEST STREET AND MOHR DRIVE ELEVATION: 32.612 FEET (NGVD 29)
 - EXISTING STRUCTURES: ALL EXISTING BUILDINGS, PAVEMENT, AND TREES WITHIN BOUNDARY TO BE REMOVED
 - STREETS: ALL STREETS WITHIN THE DEVELOPMENT WILL BE PUBLIC STREETS WITH AND WILL BE OWNED AND MAINTAINED BY THE CITY OF HAYWARD. THE MINIMUM LONGITUDINAL SLOPE OF ALL STREETS WILL BE 0.50%
 - STREET TREES: STREET TREES ALONG STREETS WITHIN THE DEVELOPMENT WILL BE PROVIDED AS REQUIRED BY THE CITY OF HAYWARD AND WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. LOCATION AND SPECIES TO BE SHOWN ON FUTURE LANDSCAPE CONSTRUCTION DOCUMENTS IN CONFORMANCE WITH PROJECT CONDITIONS OF APPROVAL.
 - STREET LIGHTS: ALL EXISTING STREET LIGHTS ALONG MOHR DRIVE TO BE RELOCATED (AS NEEDED). ALL STREET LIGHTS ALONG MOHR DRIVE TO BE MAINTAINED BY THE CITY OF HAYWARD. ALL STREET LIGHTS WITHIN THE DEVELOPMENT WILL BE PRIVATE AND PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - FENCING: ALL EXISTING FENCING WITHIN THE DEVELOPMENT LIMIT TO BE REMOVED.
 - PUBLIC UTILITIES: PROPOSED ONSITE WATER AND SANITARY SEWER FACILITIES WILL BE PUBLIC AND WILL BE OWNED AND MAINTAINED BY THE CITY OF HAYWARD.
 - PRIVATE UTILITIES: PROPOSED ONSITE STORM DRAIN FACILITIES WILL BE PRIVATE AND PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - LANDSCAPE: ALL LANDSCAPE AREAS WITHIN PARCEL C AND ADJACENT TO STREET A INCLUDING THE FRONT YARD OF EACH LOT WILL BE PRIVATE AND PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - FLOOD ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN REFER TO: FLOOD INSURANCE RATE MAP PANEL 06001C0288G (AUGUST 3, 2009)
 - ONSITE WELLS: NONE
 - WATER: CITY OF HAYWARD
 - SANITARY SEWER: CITY OF HAYWARD
 - STORM DRAIN: ALL ONSITE STORM DRAIN FACILITIES WILL BE PRIVATE AND PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - GAS & ELECTRIC: PG&E
 - TELEPHONE: AT&T
 - CABLE TV: COMCAST CABLE
 - DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP
 - EASEMENTS: ALL EXISTING EASEMENTS TO REMAIN



EXISTING PROPERTY VESTING TENTATIVE MAP

EDEN VILLAGE - TRACT 8482

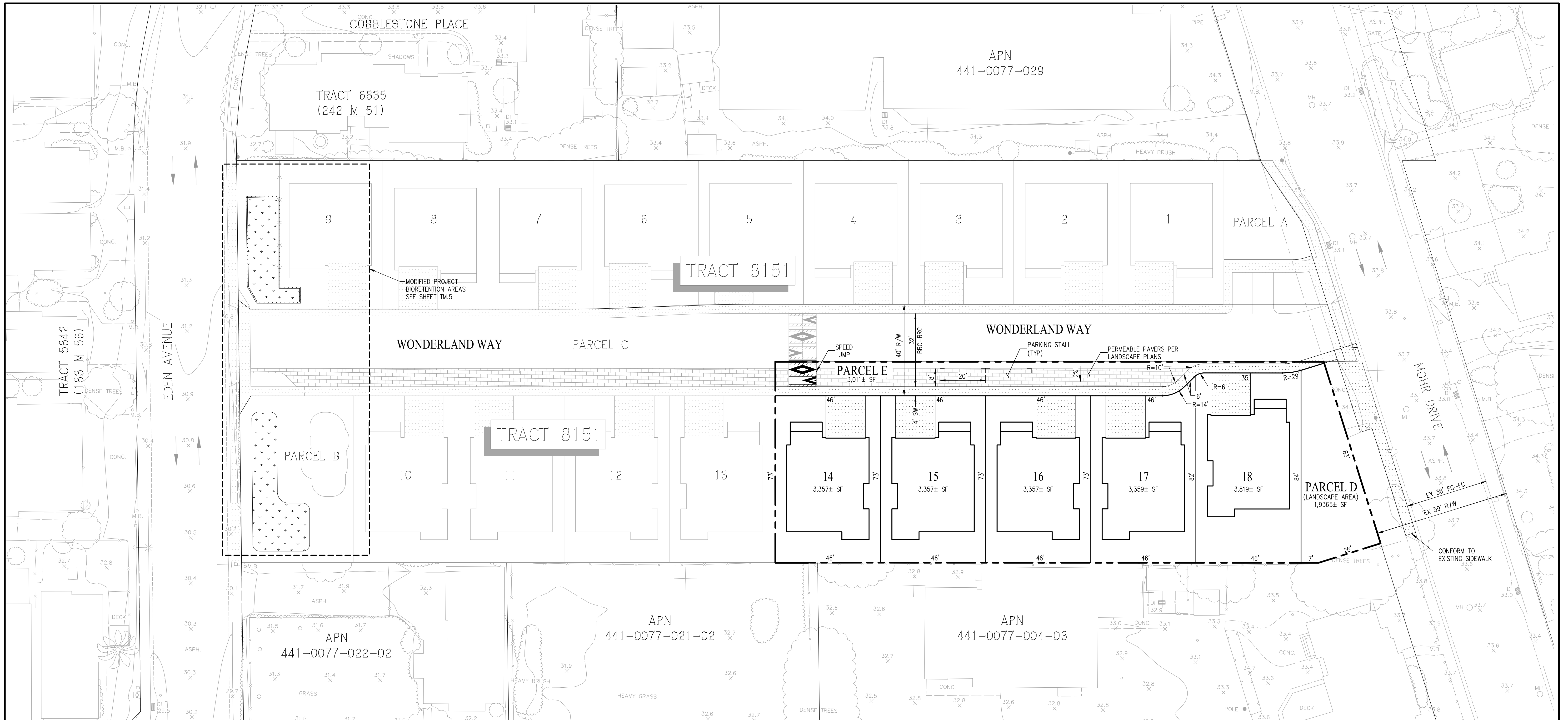
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SCALE: 1" = 30'

DATE: FEBRUARY, 2019

Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583 (925) 866-0322

SHEET NO.
TM.1
OF 21 SHEETS



PARKING SUMMARY

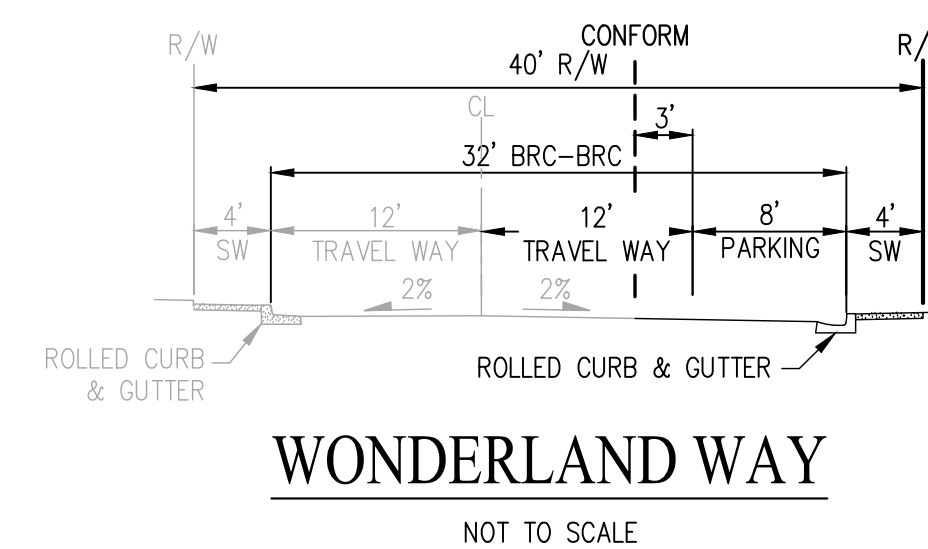
PARKING TYPE	PARKING REQUIRED*		PARKING PROVIDED	
	RATIO	NUMBER OF SPACES	RATIO	NUMBER OF SPACES
GARAGE	2 SPACES/DU	10 SPACES	2 SPACES/DU	10 SPACES
ON-STREET/DRIVEWAY	2 SPACE/DU*	4 SPACES	2 SPACES/DU	4 SPACES
GUEST	0.10 SPACE/DU	1 SPACES	0.4 SPACE/DU	2 SPACES
TOTAL	-	15 SPACES	-	16 SPACES

* PER CITY OF HAYWARD OFF-STREET PARKING STANDARDS FOR SINGLE-FAMILY DWELLINGS
 ** OFF-STREET CURB PARKING ON MOHR DRIVE IS NOT COUNTED IN SUMMARY

PAVEMENT DESIGN CHART

STREET	TI	R	ASPHALTIC CONCRETE (AC)	CALTRANS CLASS 2 AGGREGATE BASE (AB)	TOTAL PAVEMENT THICKNESS
WONDERLAND WAY	5.5	5	4"	9.0"	13.0"

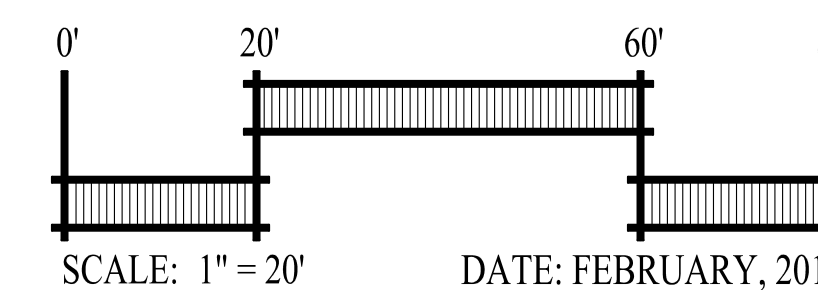
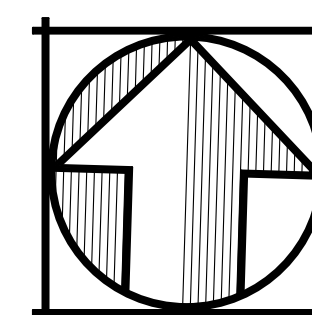
NOTES:
 1. R-VALUE TO BE FINALIZED BY GEOTECHNICAL ENGINEER WITH FINAL DESIGN.



NOTE
 TRACT 8482 IS PHASE 2 OF APPROVED TRACT 8151

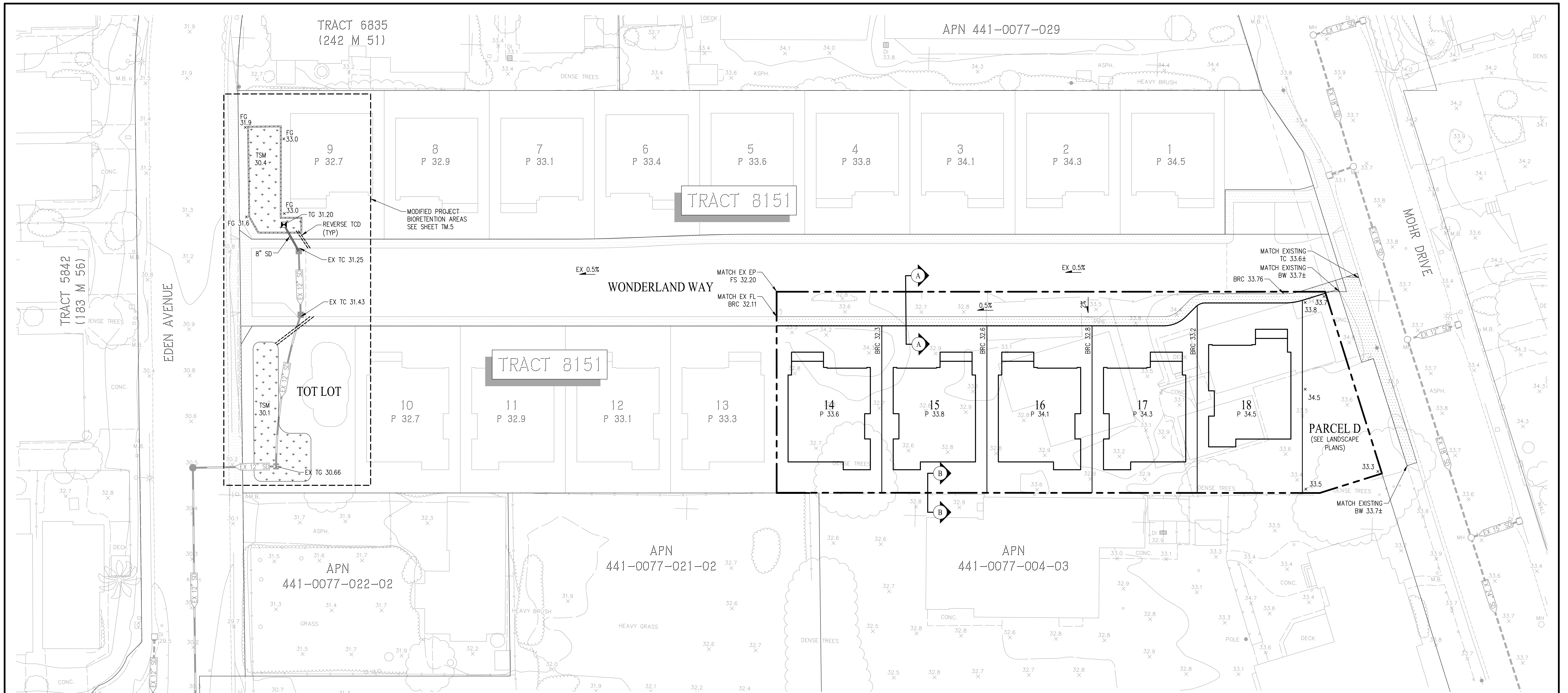
SITE & CIRCULATION PLAN
VESTING TENTATIVE MAP
EDEN VILLAGE - TRACT 8482

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

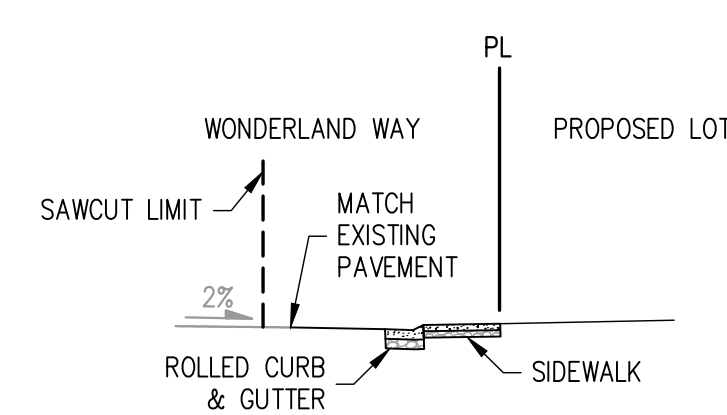


cbg Carlson, Barbee & Gibson, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS
 2833 CAMINO RAMON, SUITE 350 SAN RAMON, CALIFORNIA 94583 (925) 866-0322

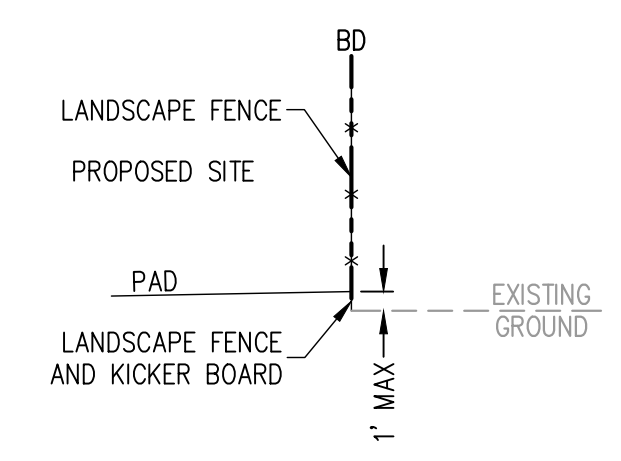
SHEET NO.
TM.2
 OF 21 SHEETS



NOTES
 1. PAD GRADES FOR LOTS 1-13 ARE BASED ON THE LATEST APPROVED IMPROVEMENT PLANS PREPARED BY MID-VALLEY ENGINEERING, INC. AND ARE SUBJECT TO CHANGE.



SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE

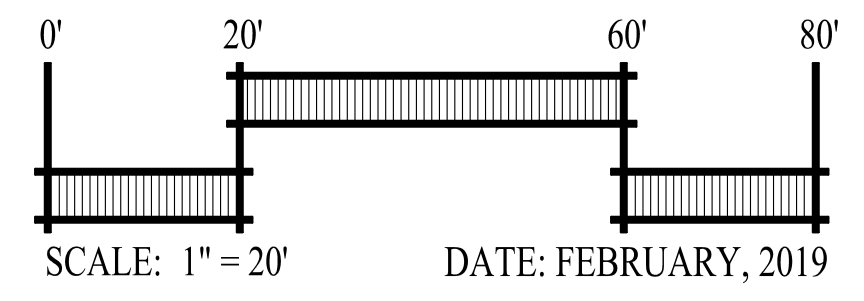
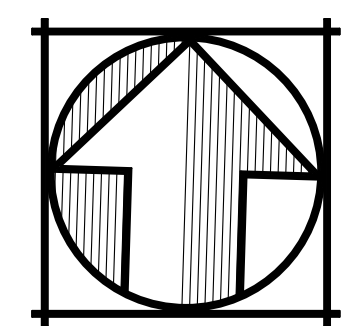
NOTE
 TRACT 8482 IS PHASE 2 OF APPROVED TRACT 8151

GRADING PLAN

VESTING TENTATIVE MAP

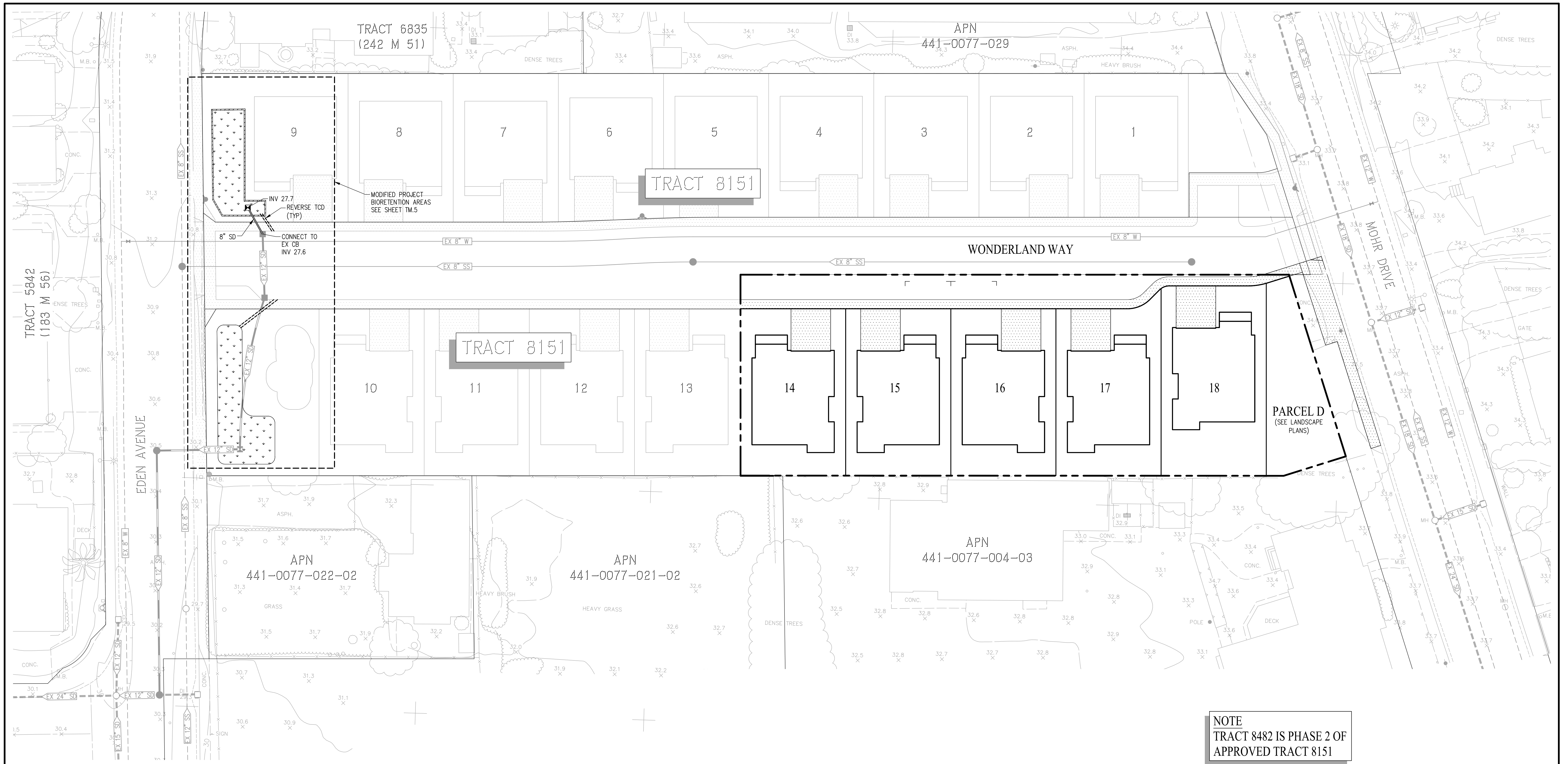
EDEN VILLAGE - TRACT 8482

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



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 2633 CAMINO RAMON, SUITE 350
 SAN RAMON, CALIFORNIA 94583 (925) 866-0322

SHEET NO.
TM.3
 OF 21 SHEETS

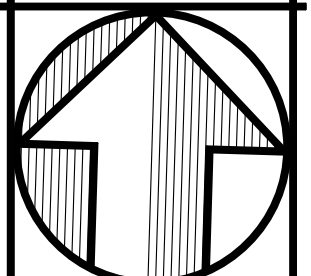
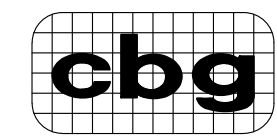


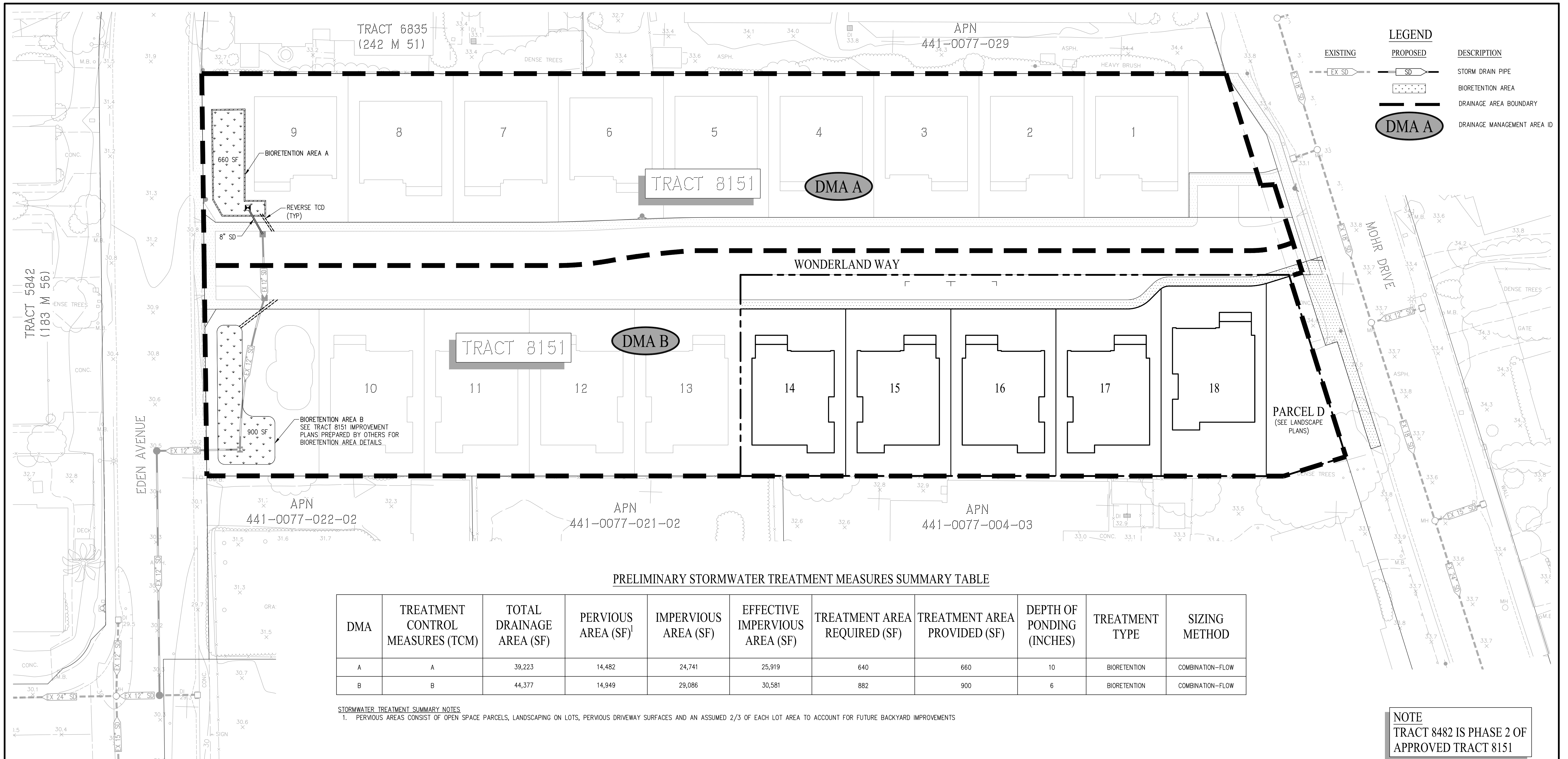
NOTE
TRACT 8482 IS PHASE 2 OF
APPROVED TRACT 8151

UTILITY NOTES:

- | | |
|--|---|
| <ol style="list-style-type: none"> 1. EXISTING UTILITIES: 2. PUBLIC UTILITIES: 3. PRIVATE UTILITIES: 4. STORM DRAIN: 5. SANITARY SEWER: 6. WATER: 7. GAS & ELECTRIC: 8. TELEPHONE: 9. CABLE TV: 10. UTILITIES: | <p>ALL EXISTING UTILITIES WITHIN THE BOUNDARY TO BE REMOVED UNLESS OTHERWISE NOTED. ALL EXISTING OVERHEAD POWER LINES/UTILITIES ALONG THE FRONTAGE OF MOHR DRIVE WILL BE UNDERGROUND PER JOINT TRENCH PLANS. WATER AND SEWER SERVICES TO BE CONNECTED TO NEW SEWER AND WATER MAINS PER TRACT 8151 IMPROVEMENT PLANS.</p> <p>PROPOSED ONSITE WATER AND SANITARY SEWER FACILITIES WILL BE PUBLIC AND WILL BE OWNED AND MAINTAINED BY THE CITY OF HAYWARD. SERVICES SHALL CONNECT TO NEW WATER AND SANITARY SEWER MAINS PER TRACT 8151 IMPROVEMENT PLANS.</p> <p>PROPOSED ONSITE STORM DRAIN FACILITIES WILL BE PRIVATE AND PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.</p> <p>ONSITE STORM DRAIN FACILITIES WILL BE PRIVATE AND PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. MINIMUM SLOPE OF PROPOSED STORM DRAIN PIPE = 0.003.</p> <p>ALL SANITARY SEWER FACILITIES TO BE CONSTRUCTED PER CITY OF HAYWARD STANDARDS. MINIMUM SLOPE OF PROPOSED SANITARY SEWER PIPE = 0.005.</p> <p>ALL WATER FACILITIES TO BE CONSTRUCTED PER CITY OF HAYWARD STANDARDS.</p> <p>PG&E</p> <p>AT&T</p> <p>COMCAST CABLE</p> <p>UTILITIES SHOWN ARE TO BE USED AS A GUIDE AND MAY CHANGE DURING FINAL DESIGN. DESIGN SHALL ADHERE TO CITY OF HAYWARD STANDARDS.</p> |
|--|---|

UTILITY PLAN
VESTING TENTATIVE MAP
EDEN AVENUE - TRACT 8482

 SCALE: 1" = 20' DATE: FEBRUARY, 2019	CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA	 Carlson, Barbee & Gibson, Inc. CIVIL ENGINEERS • SURVEYORS • PLANNERS 2633 CAMINO RAMON, SUITE 350 SAN RAMON, CALIFORNIA 94583 (925) 866-0322	SHEET NO. TM.4 OF 21 SHEETS
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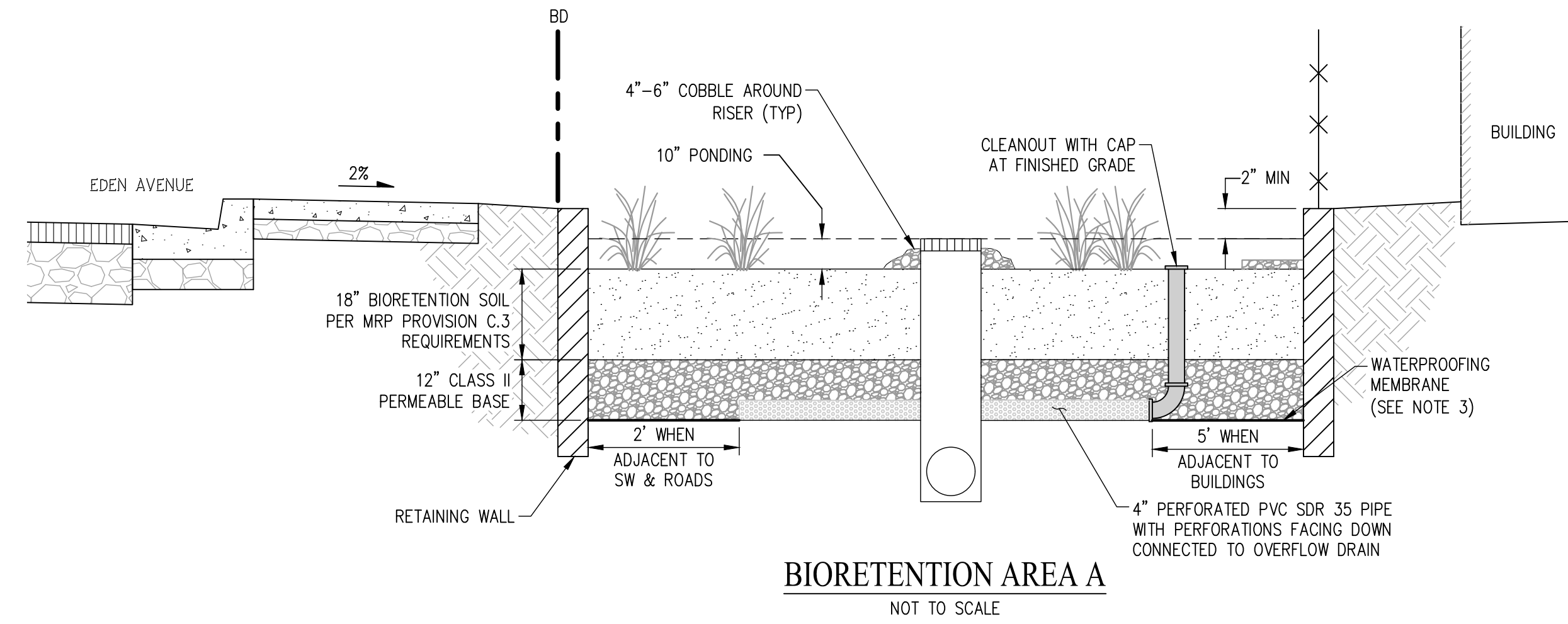
LEGEND		DESCRIPTION
EXISTING	PROPOSED	
EX SD	SD	STORM DRAIN PIPE
		BIORETENTION AREA
		DRAINAGE AREA BOUNDARY
		DRAINAGE MANAGEMENT AREA ID

PRELIMINARY STORMWATER TREATMENT MEASURES SUMMARY TABLE

DMA	TREATMENT CONTROL MEASURES (TCM)	TOTAL DRAINAGE AREA (SF)	PERVIOUS AREA (SF) ¹	IMPERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)	DEPTH OF PONDING (INCHES)	TREATMENT TYPE	SIZING METHOD
A	A	39,223	14,482	24,741	25,919	640	660	10	BIORETENTION	COMBINATION-FLOW
B	B	44,377	14,949	29,086	30,581	882	900	6	BIORETENTION	COMBINATION-FLOW

STORMWATER TREATMENT SUMMARY NOTES
 1. PERVIOUS AREAS CONSIST OF OPEN SPACE PARCELS, LANDSCAPING ON LOTS, PERVIOUS DRIVEWAY SURFACES AND AN ASSUMED 2/3 OF EACH LOT AREA TO ACCOUNT FOR FUTURE BACKYARD IMPROVEMENTS

NOTE
 TRACT 8482 IS PHASE 2 OF APPROVED TRACT 8151



STORMWATER MANAGEMENT PLAN VESTING TENTATIVE MAP EDEN AVENUE - TRACT 8482

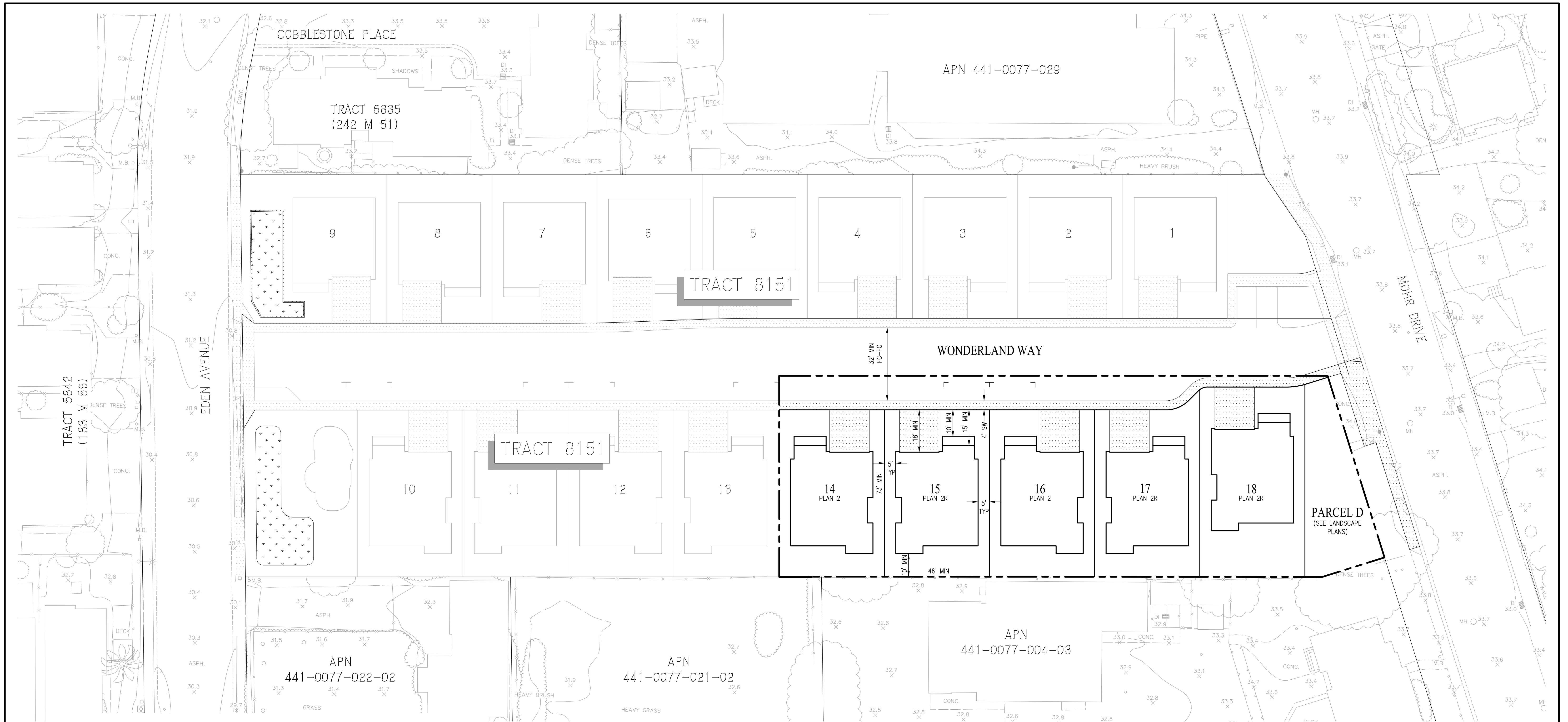
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

cbg Carlson, Barbee & Gibson, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS

2633 CAMINO RAMON, SUITE 350
 SAN RAMON, CALIFORNIA 94583 (925) 866-0322

SCALE: 1" = 20' DATE: MARCH, 2019

SHEET NO. TM.5 OF 21 SHEETS



TYPICAL BUILDING & LOT SIZE

PLAN	PLAN TOTAL	PLAN MIX (% TOTAL)	MIN LOT AREA, SF	BUILDING FOOTPRINT, SF	MAX LOT COVERAGE
2	2	40%	3,357	1,554	46%
2R	3	60%	3,357	1,554	46%
TOTAL	5	100%			

NOTE:
1. TYPICAL SETBACKS AS SHOWN ON THIS SITE PLAN INDICATE THE MOST RESTRICTIVE ALLOWABLE SETBACKS.

SITE DENSITY

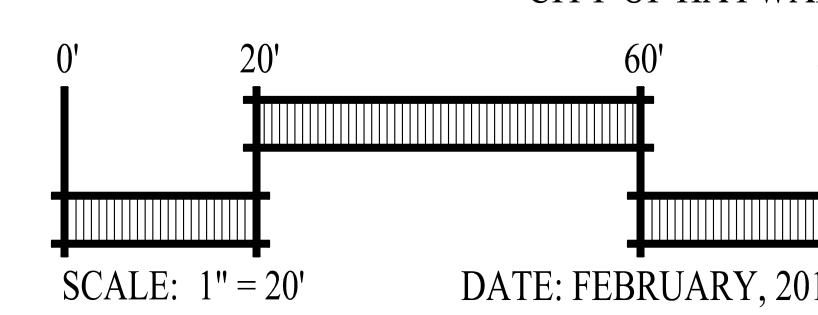
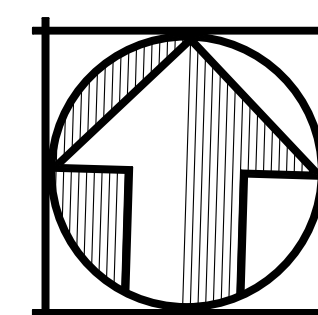
GROSS DENSITY	NET DENSITY
9.8 DU/AC	11.4 DU/AC

NOTE:
1. NET DENSITY EXCLUDES SIDEWALK AND PORTIONS IN THE RIGHT OF WAY AND PARCEL D

NOTE
TRACT 8482 IS PHASE 2 OF APPROVED TRACT 8151

PLANNED DEVELOPMENT SITE PLAN EDEN VILLAGE - TRACT 8482

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



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2833 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583 (925) 866-0322

SHEET NO.
C.1
OF 21 SHEETS

EDEN VILLAGE

HAYWARD, CALIFORNIA
PHASE 2

PRECISE PRELIMINARY LANDSCAPE PACKAGE

DEVELOPER:

NUVERA HOMES
7041 KOLL CENTER PARKWAY
SUITE 170
PLEASANTON, CA 94566
TEL. (925) 309-8888
FAX. (888) 569-4937

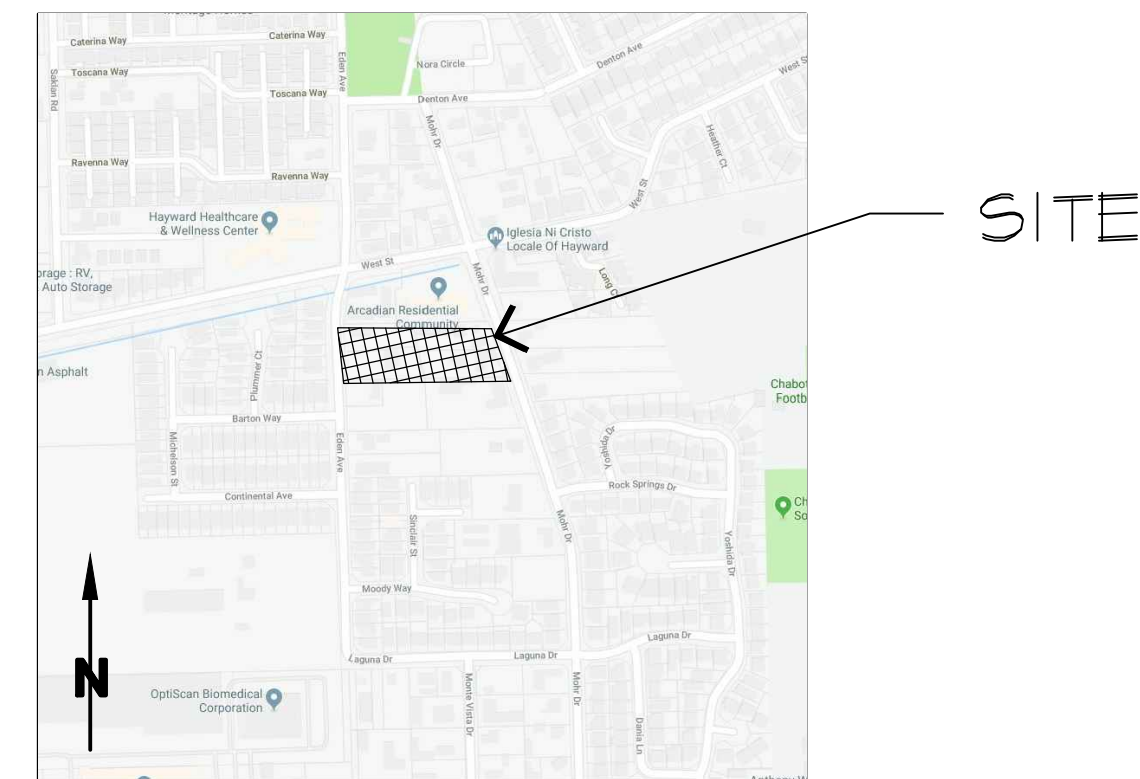
CIVIL ENGINEER:

CBG ENGINEERING
2633 CAMINO RAMON
SUITE 350
SAN RAMON, CA 94583
TEL. (925) 866-0322

LANDSCAPE ARCHITECT:

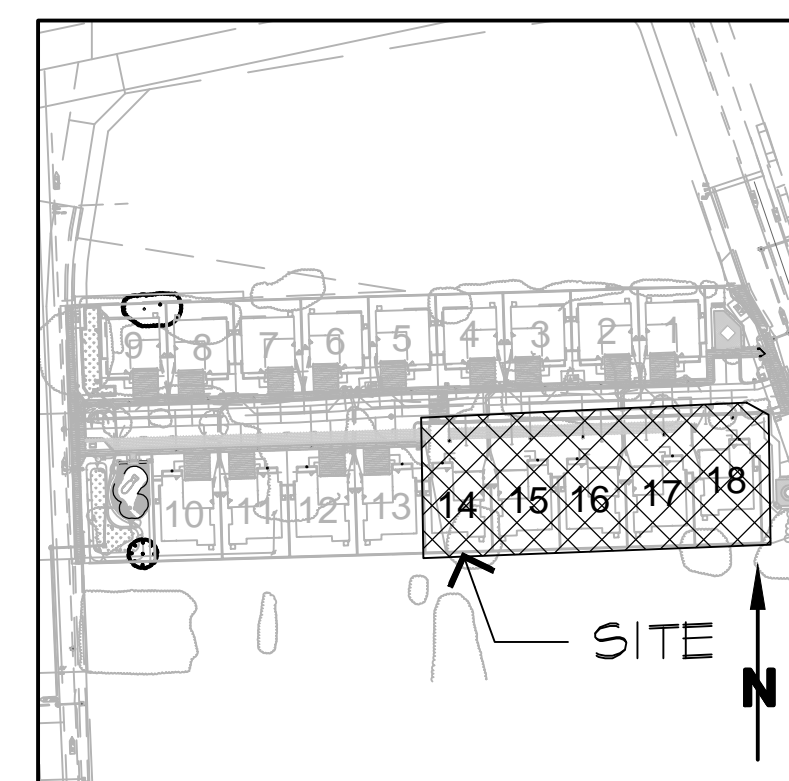
RIPLEY DESIGN GROUP, INC.
1615 BONANZA STREET
SUITE 314
WALNUT CREEK, CA 94596
TEL. (925) 938-7377
FAX (925) 938-7436

SITE LOCATION:



1 OF 9	LC1.	CONSTRUCTION PLAN LOTS 14-18
2 OF 9	LC2.	CONSTRUCTION DETAILS
3 OF 9	LC3.	CONSTRUCTION DETAILS
4 OF 9	LH3.	HYDROZONES PLAN LOTS 14-18
5 OF 9	LI1.	IRRIGATION PLAN LOTS 14-18
6 OF 9	LI2.	IRRIGATION DETAILS
7 OF 9	LI2.	W.E.L.O CALCULATIONS & MAINTENANCE NOTES
8 OF 9	LP1.	TREE MITIGATION PLAN 14-18
9 OF 9	LP2.	PLANTING PLAN LOTS 14-18

SITE MAP:



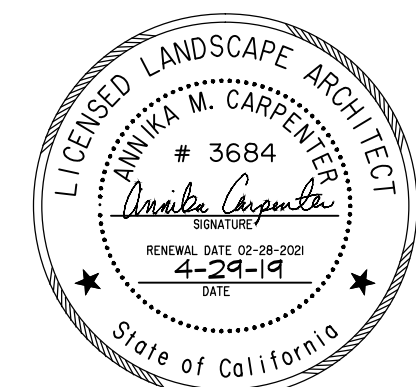
THIS SUBDIVISION IS APPROXIMATELY 15,230 SF OF LANDSCAPE AND CONSISTS OF 18 RESIDENTIAL LOTS

LANDSCAPE DOCUMENT PACKAGE CHECKLIST:

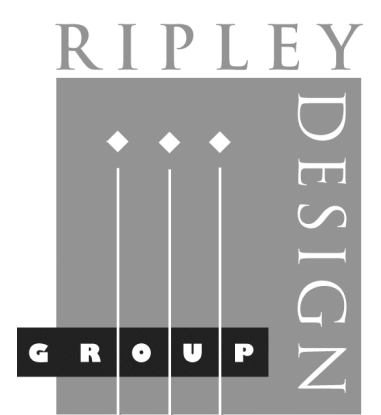
- | | |
|--|--|
| <input checked="" type="checkbox"/> PROJECT INFORMATION:
DATE
APPLICANT
ADDRESS
TOTAL LANDSCAPE AREA
PROJECT TYPE
WATER SUPPLY TYPE
CHECKLIST
CONTACT INFORMATION
SIGNED COMPLIANCE STATEMENT | <input checked="" type="checkbox"/> ESTIMATED TOTAL WATER USE |
| <input checked="" type="checkbox"/> WATER EFFICIENT LANDSCAPE WORKSHEET
HYDROZONE INFORMATION TABLE
WATER BUDGET CALCULATION | <input checked="" type="checkbox"/> ESTIMATED TOTAL ADJUSTMENT FACTOR |
| <input checked="" type="checkbox"/> MAXIMUM APPLIED WATER ALLOWANCE | <input checked="" type="checkbox"/> SOIL MANAGEMENT REPORT
BUILDER TO PROVIDE TO CITY |
| | <input checked="" type="checkbox"/> LANDSCAPE DESIGN PLAN |
| | <input checked="" type="checkbox"/> IRRIGATION DESIGN PLAN |
| | <input checked="" type="checkbox"/> GRADING DESIGN PLAN |

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Annika Carpenter
ANNIKA M. CARPENTER CALIF. LANDSCAPE ARCH. #3684



APRIL 29, 2019



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DEVELOPER:

NUVERA HOMES

7041 KOLL CENTER
PARKWAY
SUITE 170
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94566

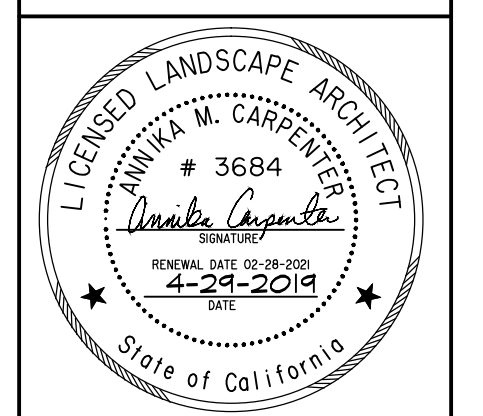
TEL. 925.309.8888
FAX. 888.589.4937

PROJECT:

EDEN VILLAGE

HAYWARD,
CALIFORNIA

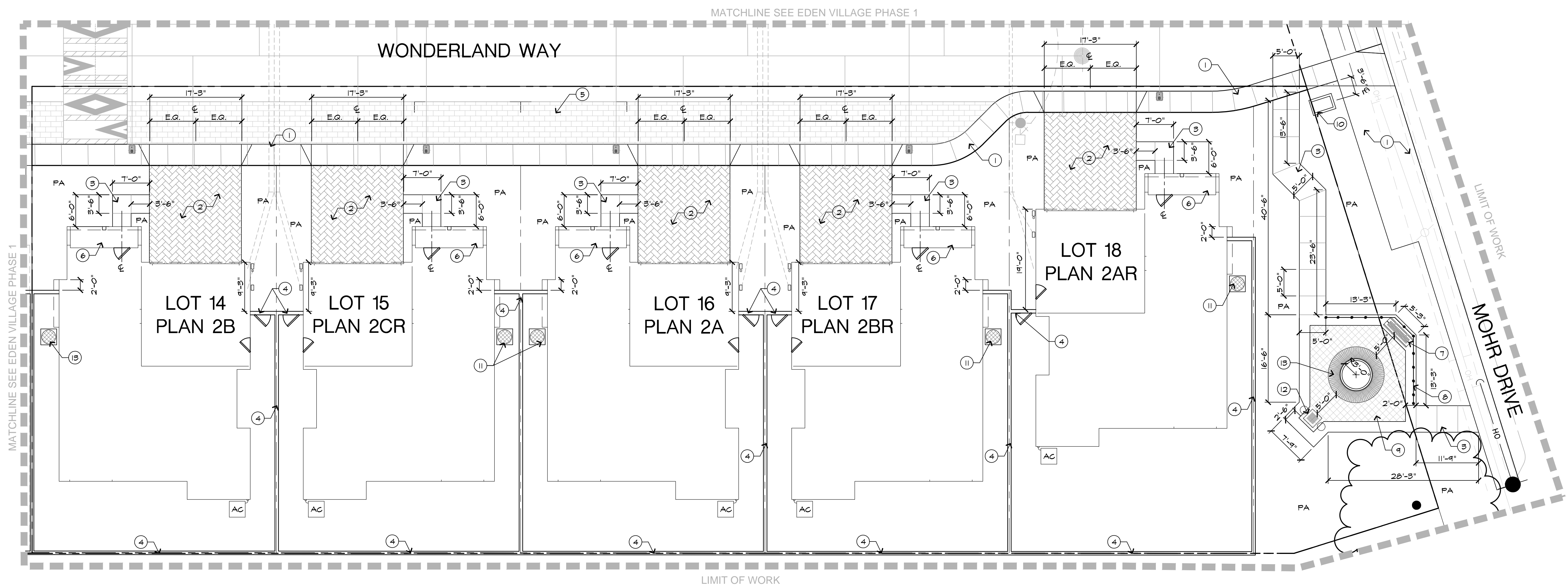
**CONSTRUCTION
PLAN LOTS
14-18**



PROJECT #:
DATE: APR. 29, 2019
SCALE: 1"=10'
DRAWN BY: TV
CHECKED BY: AMC

REVISIONS:

SHEET
LC1
OF 9 SHEETS



CONSTRUCTION LEGEND

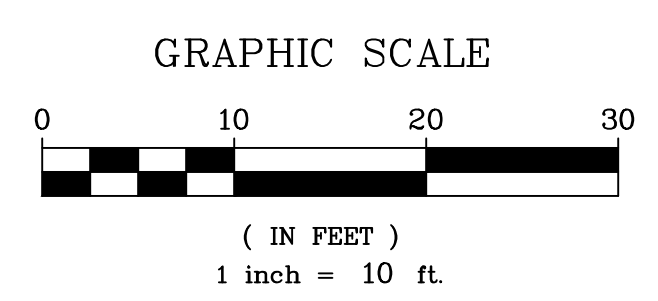
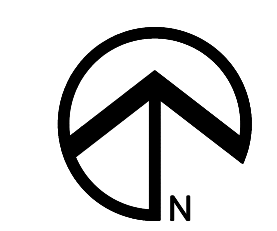
- CONCRETE SIDEWALK PER ENGINEER'S IMPROVEMENT PLANS.
- DRIVEWAY WITH PERMEABLE PAVERS: TO BE HYDRO-FLOW UNIVERSAL 'HOLLAND' 80MM INTERLOCKING PERMEABLE PAVERS TO BE INSTALLED IN HERRINGBONE PATTERN. COLOR TO BE COUNTY LOAM (B-10). REFER TO DETAIL L, SHEET LC2.
- CONCRETE WALK W/ SCORE PATTERN: 3.5" THICK CONCRETE WITH #3 REBAR 24" O.C. EACH WAY ON 2" CRUSHER ROCK BASE OVER COMPACTED SUBGRADE. INSTALL 8" WIDE SCORED BANDS AND/OR SCORE LINES AS SHOWN. CONCRETE FINISH: BROOM. CONCRETE COLOR: NATURAL.
- 6'-0" WOOD PRODUCTION FENCE W/ GATE: INSTALL PER DETAIL A & B, SHEET LC2.
- PERMEABLE PAVERS • PARKING STALLS: TO BE HYDRO-FLOW UNIVERSAL; 80MM 'HOLLAND' INTERLOCKING PAVERS. PAVERS TO BE INSTALLED IN RUNNING BOND PATTERN. COLOR TO BE MONTEREY SANDS (B-7). REFER TO DETAIL E, SHEET LC2.
- CONCRETE STOOP PER ARCHITECTURAL PLANS.
- CONCRETE MOSAIC BENCH REFER TO DETAIL I, SHEET LC3.
- ORNAMENTAL STEEL FENCE REFER TO DETAIL C, LC3.
- INTERLOCKING PAVERS W/ 2'-0" CONCRETE BAND: PAVERS TO BE 12"x12" 'ESTATE' SERIES BY PACIFIC INTERLOCKING PAVERS OR EQUIVALENT. AVAILABLE FROM WWW.PACIFICINTERLOCK.COM OR (408) 379-1436. COLOR TO BE MONTEREY SANDS (B7). INSTALL PER DETAIL F, SHEET LC2.
- ENTRY MONUMENT STONE PILASTERS REFER TO DETAIL G, SHEET LC2.
- RAIN BARREL W/ CONCRETE PAD: INSTALL PER DETAIL H, SHEET LC2. REFER TO ARCHITECTURE PLANS FOR LOCATION OR REQUIRED PLUMBED 'LAUNDRY TO LANDSCAPE' SYSTEM IN ACCORDANCE WITH THE STATE OF CALIFORNIA MWELO CODE, SECTION 10-12-14.
- PRECAST CONCRETE GAME TABLE WITH PEDESTAL SEATING. TABLE AVAILABLE FROM BRAVADO OUTDOOR PRODUCTS OR EQUIVALENT. WWW.CONCRETETABLETENNIS.COM OR (541) 671-6318. REFER TO DETAIL K, SHEET LC3.
- CIRCULAR METAL BENCH: BENCH TO BE 'CIRCULAR BENCH TREE BENCH' BY BELSON OUTDOORS OR EQUIVALENT. AVAILABLE FROM WWW.BELSON.COM OR (800) 323-5664. COLOR TO BE SELECTED BY CLIENT. REFER TO DETAIL J, SHEET LC3. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

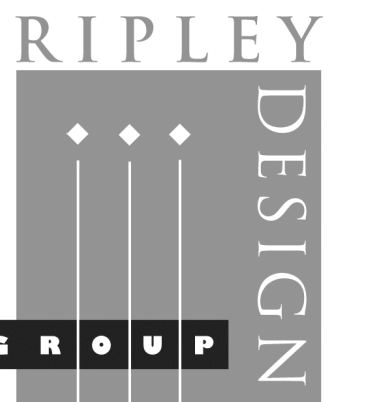
PA = PLANTING AREA

CONSTRUCTION NOTES:

- ALL DIMENSIONS ARE TAKEN FROM FACE OF BUILDING, FACE OF WALL OR EDGE OF PAVING, UNLESS OTHERWISE NOTED ON THE PLAN. THE DIMENSIONS SHOWN ARE FOR APPROXIMATE LINE ONLY. ALL RADI AND CURVES SHALL HAVE SMOOTH CONTINUOUS TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS.
- ALL FORMS AND ALIGNMENT OF PAVING AND WALL FOOTINGS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PAVING, A MINIMUM OF 24 HOUR NOTICE REQUIRED. RIPLEY DESIGN GROUP, INC. WILL NOT BE RESPONSIBLE FOR FIELD CHANGES, QUALITY OF CONSTRUCTION, AND PLAN CONFORMANCE UNLESS APPROVED AND/OR REVIEWED BY RIPLEY DESIGN GROUP, INC.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED.
- CONTRACTOR SHALL NOTE AND INSTALL ALL SLEEVES AS INDICATED ON THE IRRIGATION PLANS.
- SEE PLANTING PLANS FOR ANY BOXED TREE TO BE INSTALLED PRIOR TO PAVING.
- ALL HARDWARE, NAILS, LAGS, MACHINE BOLTS, ETC. SHALL BE GALVANIZED.
- CONTRACTOR SHALL CHECK ALL DIMENSIONS, FRAMING CONDITIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR POSSIBLE DEFICIENCIES.
- CONTRACTOR SHALL INSTALL STEPS AS REQUIRED PER INDIVIDUAL LOT CONDITIONS. CONTRACTOR SHALL NOT INSTALL ANY SINGLE RISERS ON WALKS. CONTRACTOR SHALL NOT INSTALL MORE THAN THREE (3) RISERS IN A SET. SETS OF RISERS SHALL BE SEPARATED BY A LANDING A MINIMUM OF 4'-0" IN LENGTH. INSTALL STEPS PER DETAIL A, SHEET LC3.
- CONTRACTOR TO INSTALL ONE LIDDED RAINWATER CATCHMENT DEVICE (MINIMUM 50 GALLONS) FOR EACH NEW SINGLE FAMILY HOME IN ACCORDANCE WITH SECTION 10-12-15.

PHASE ONE: LOT 1-13
PHASE TWO: LOT 14-18





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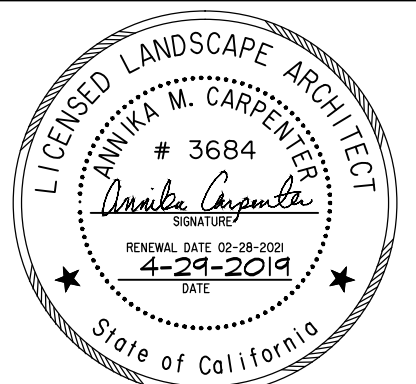
TEL. 925.309.8888
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PROJECT:

EDEN VILLAGE

HAYWARD,
CALIFORNIA

CONSTRUCTION
DETAILS



PROJECT #:

DATE: APR. 29, 2019

SCALE: AS SHOWN

DRAWN BY: TV

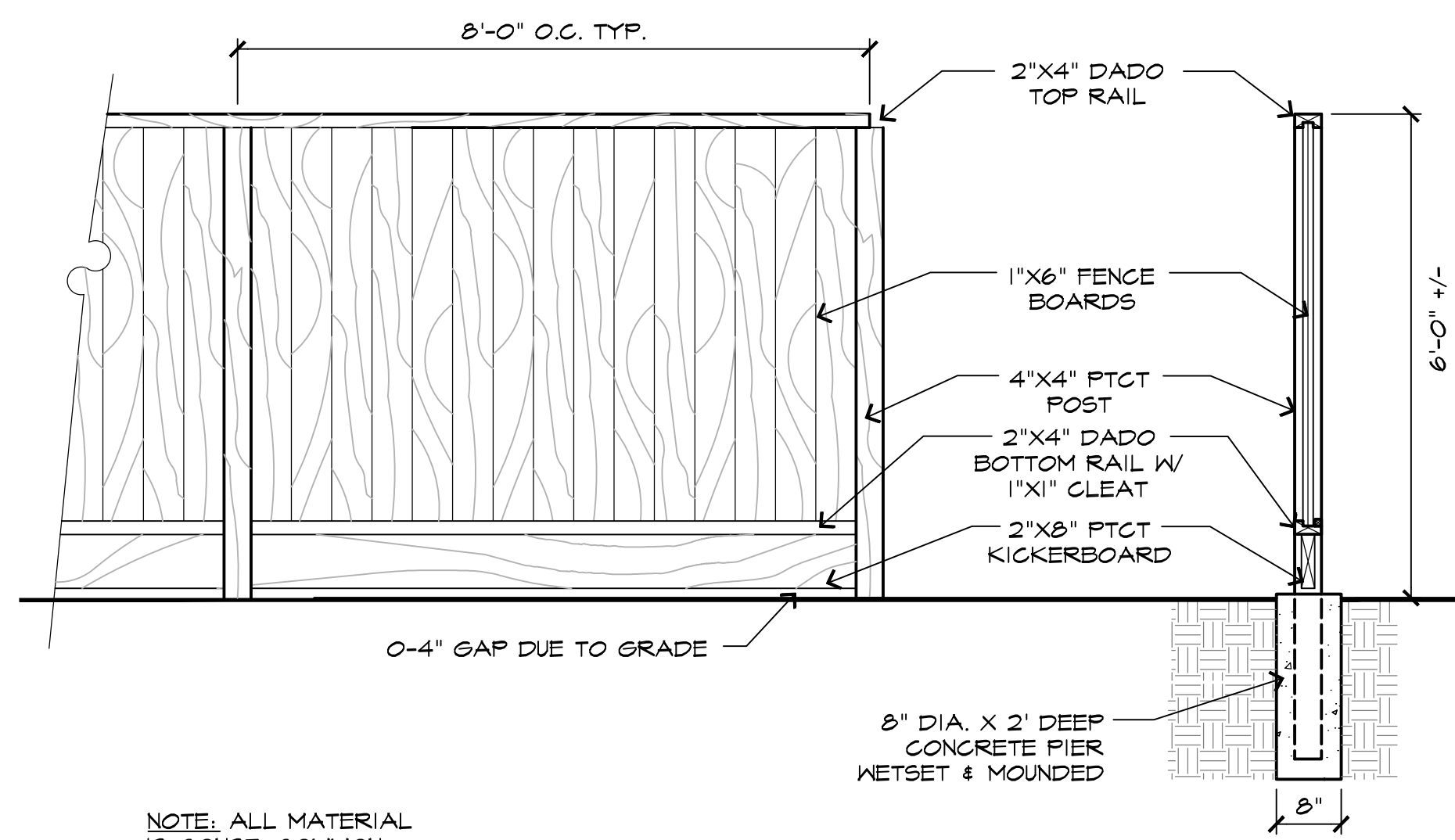
CHECKED BY: AMC

REVISIONS:

SHEET

LC2

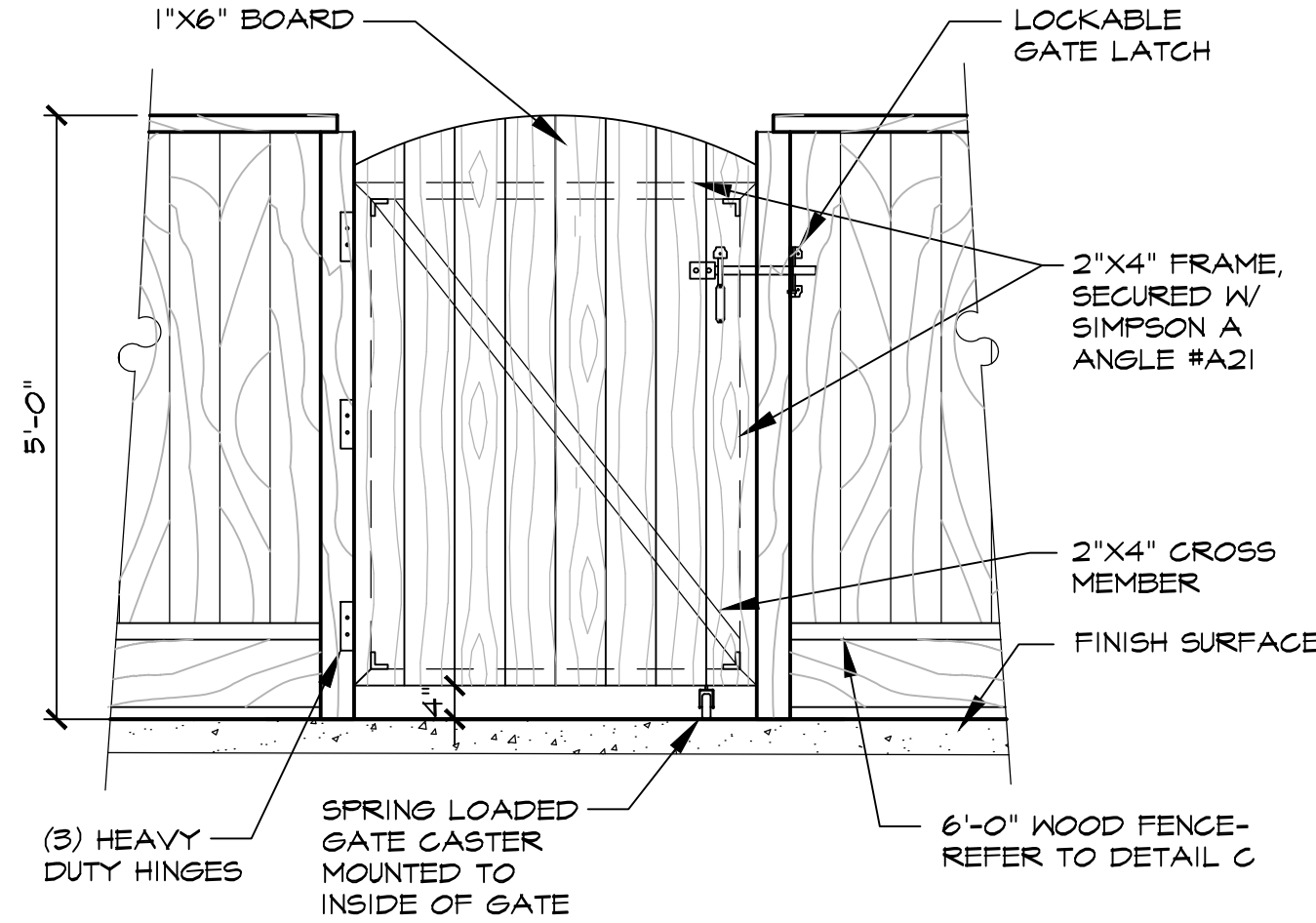
OF 9 SHEETS



A 6' BOARD ON BOARD FENCE

SCALE: 1/2" = 1'-0"

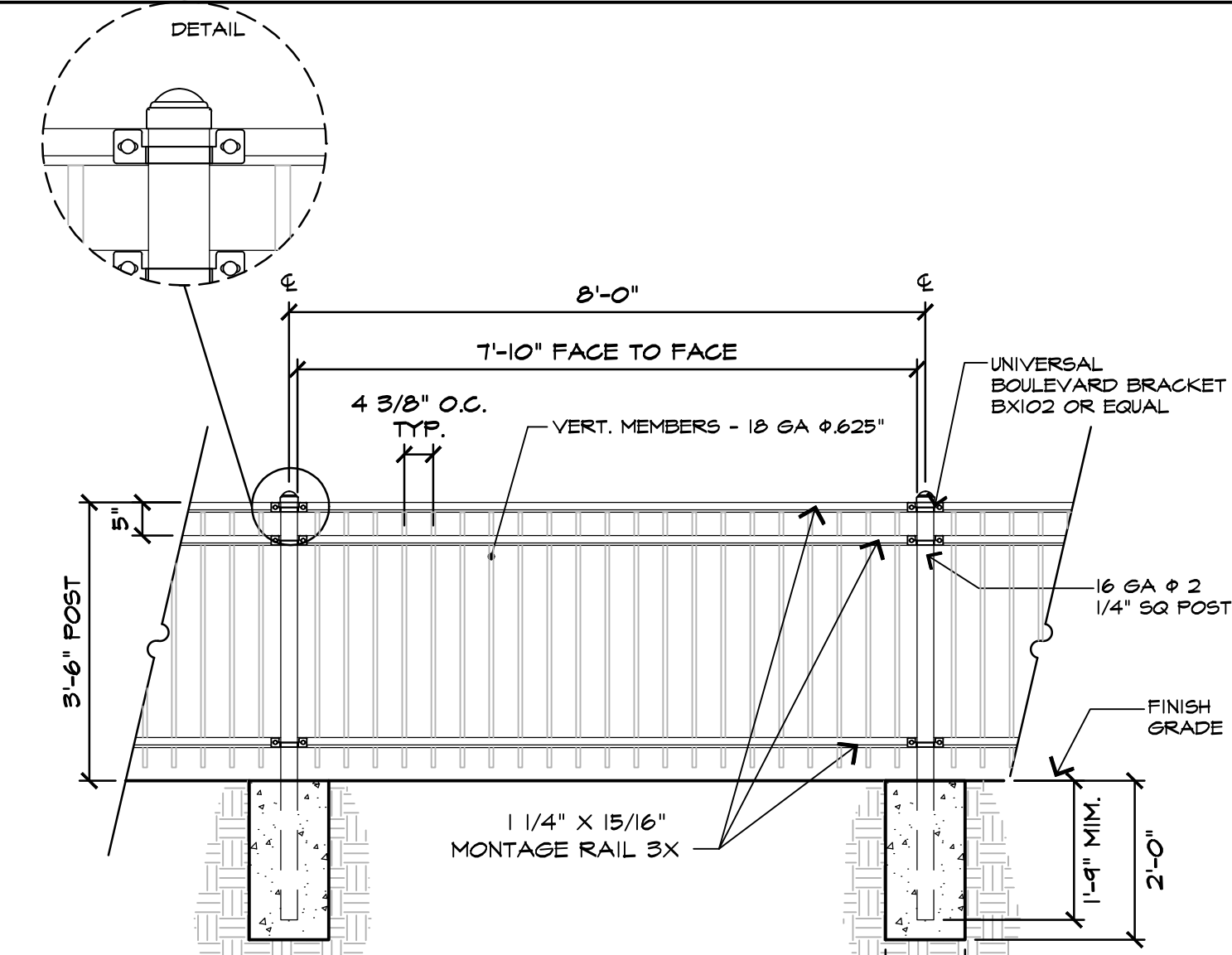
024 -



B WOOD GATE

SCALE: 1/2" = 1'-0"

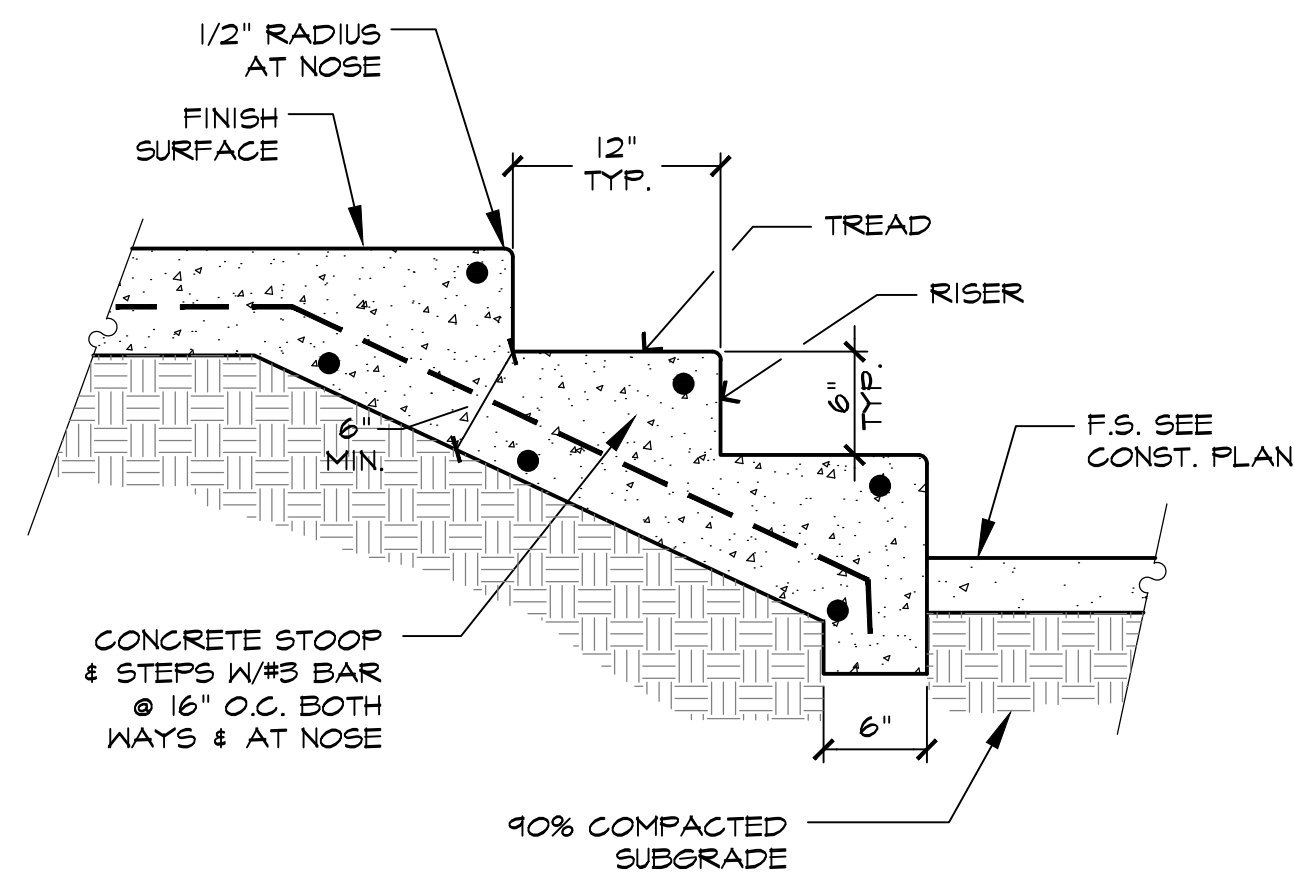
024 -



C ORNAMENTAL STEEL FENCE

SCALE: 1/2" = 1'-0"

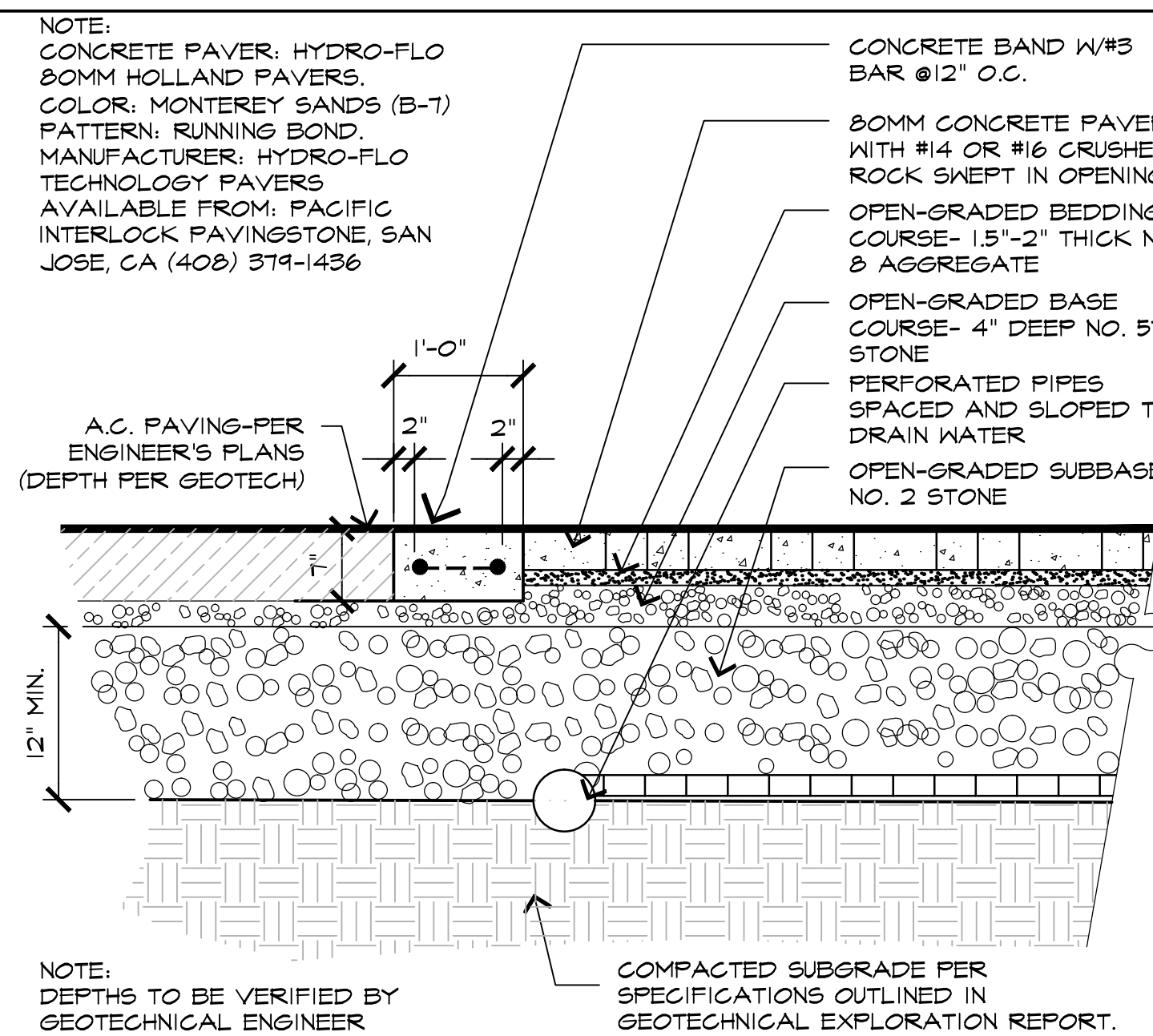
024 -



D CONCRETE STEPS

SCALE: 1" = 1'-0"

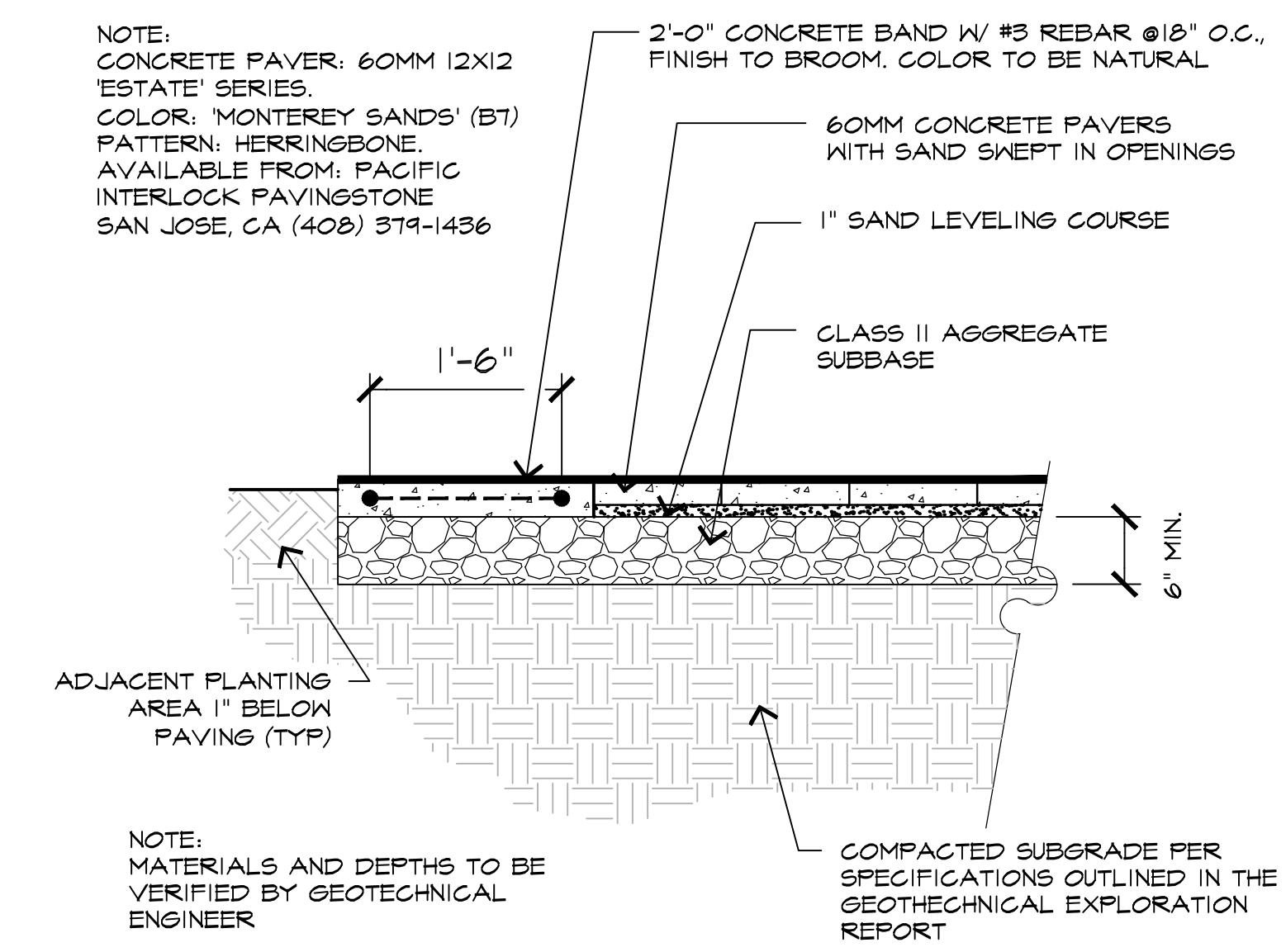
02 -



E PERMEABLE VEHICULAR PAVING

SCALE: 3/4" = 1'-0"

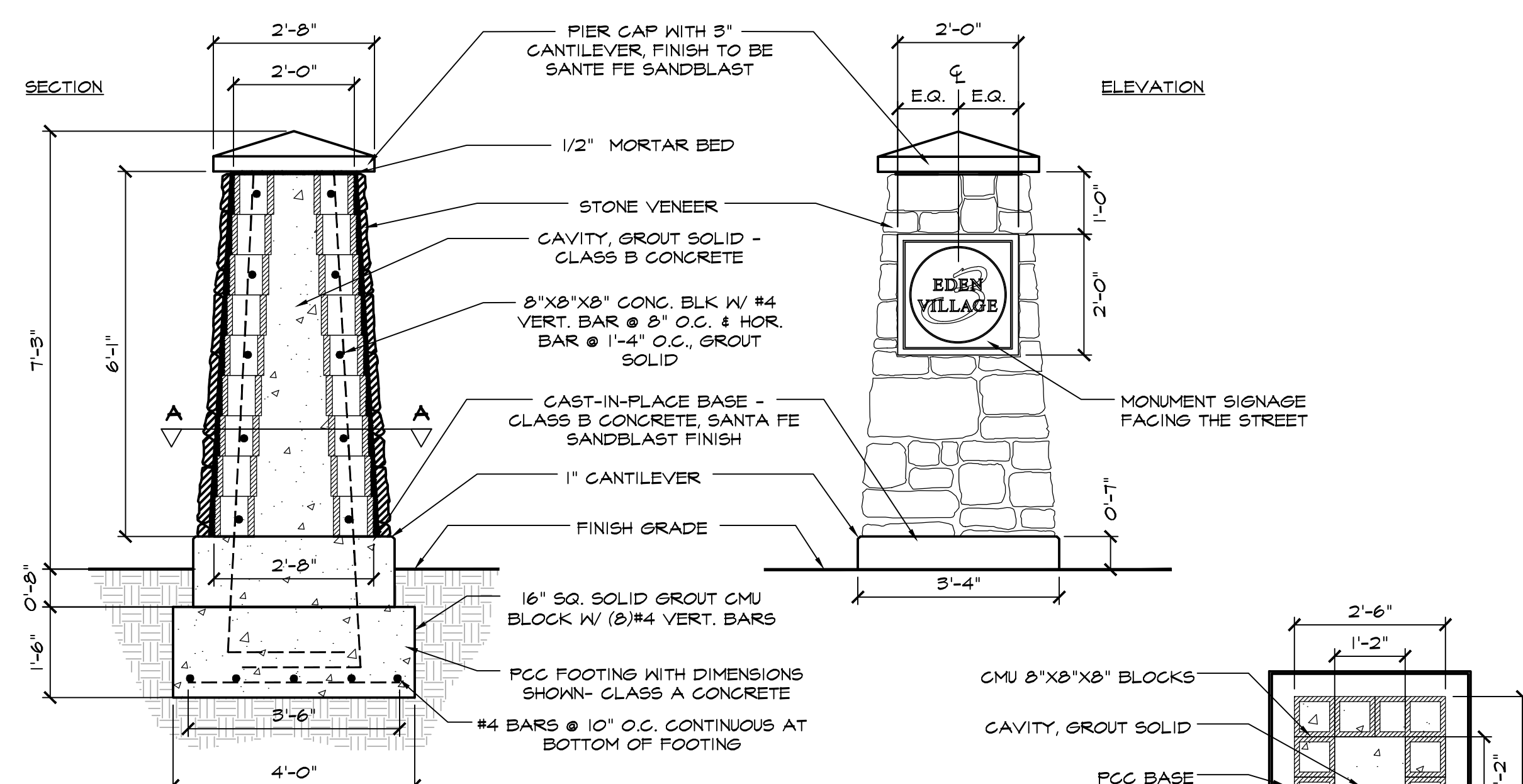
016 - P/PreCast



F PEDESTRIAN PLAZA

SCALE: 3/4" = 1'-0"

016 - P/PreCast



G STONE PILASTER MONUMENT W/ ENTRY SIGNAGE

SCALE: 1/2" = 1'-0"

024 - XXXXX

FreeGarden RAIN

Option Connecting Multiple Barrels

Multiple FreeGarden® RAIN barrels can be connected to collect additional water from the same downspout. On each additional barrel tap out BOTH plastic clips in the overflow spout as in Step 4, above, then connect and clamp the end of the first barrel's overflow hose to one of the spouts of the additional barrel. Clamp and connect another overflow hose to the other spout of the additional barrel and direct the overflow to wherever your downspout originally drained (usually a sump pump or sewer drain).

Usage

Congratulations! You can use your collected rainwater for many purposes, such as:

- Watering lawns
- Watering gardens
- Watering cars
- Cleaning outdoor furniture
- Watering garden tools and containers
- Watering indoor and outdoor potted plants

Maintenance

Clean the screen once a month to prevent clogging. Check for erosion under/around rain barrel; platform/support must remain level and stable at all times.

WARNING

Drain barrel and store in shade if left outside with freezing water inside, the barrel may crack.

Installation instructions

Please read these instructions and warnings thoroughly before beginning installation and retain for future reference.

INCLUDED	REQUIRED
• rain barrel body (1)	• slothead and Phillips (crosshead) screwdrivers
• rain barrel lid (1)	• wrench
• mesh filter (pre-installed in bag) (1)	• tape measure and marker
• 1 overflow hose and 1 hose clamp (2)	• safety glasses, safety gloves
• 1 spout, 1 rubber gasket, 1 nut (1)	• lockwash
• 4 screws	• hammer or chisel

Step 1 Locate

Choose a location below a downspout for your rain barrel. The location must have level, firm ground. A 2"x2" paving stone can be used to provide stability. Avoid locations near ground-level basement windows or window wells.

Step 2 Assemble

Put the rubber gasket on the spout and place it through the hole at the front of the barrel. Thread the nut onto the back of the spout from inside the barrel. Tighten the nut to provide a snug fit and hand-tighten only. If only needs to be light enough to prevent water leakage. Use caution as over-tightening can crack the barrel.

Step 3 Cut Downspout

Place the barrel below the downspout to measure and mark your required cut. Make sure to allow enough room for the barrel, lid and overflow hose. Wearing safety glasses and gloves, cut the downspout using a hand saw. Attach your overflow hose using a hose clamp and a slot screwdriver. Direct the overflow end of the hose to wherever your downspout originally drained, which should be either a sump pump or sewer drain.

Step 4 Overflow

Choose which side overflow spout you will use. Both spouts are located by a plastic disc or metal. Remove the disc by inserting a slot screwdriver or chisel into the overflow hole from the outside, and gently rock with a hammer around the edges of the disc until it pops free. Attach the overflow hose using that hole. Clamp and a slot screwdriver. Direct the overflow end of the hose to wherever your downspout originally drained, which should be either a sump pump or sewer drain.

Step 5 Attach Lid & Place

Place the lid on the barrel and affix using the four provided screws (1) and a crosshead screwdriver. Hand-tighten only. Over-tightening may crack the plastic. Place assembled bin under downspout and ensure it is level and stable.

WARNINGS

Drowning Hazard Never permit children to play on, in, or near a rain barrel. Always affix the lid securely during operation. Never place a rain barrel without the lid security attached, or with a damaged, cracked, water contaminated, or broken cover. Never place a rain barrel near a creek, ditch, or other structure or items that may allow a child to climb, slide, or fall into the rain barrel.	Water Contamination Hazard Do not use collected water for drinking, cooking, washing or in any way that may result in ingestion of the water for humans and/or animals. Water in rain barrels may become stagnant and/or contaminated. Ingesting rain barrel water may cause waterborne illness or death. Use only for watering plants and cleaning of outdoor items not related to eating or drinking.	Slipping Hazard A rain barrel may be slippery when wet. It may also be slippery when dry. Always use caution when stepping on or off the rain barrel. Water is very heavy. The preparation and placement of the rain barrel are critical. The platform must be level and provide adequate support for a full rain barrel.
Electrical Hazard If the downspout contains heating cables, there is a potential electrocution or fire hazard during operation. Ensure power is disconnected at the electrical panel before attempting to handle downspouts. Always wear safety glasses when cutting or drilling to prevent eye injuries. Protect siding from damage by inserting a sheet of plywood between the downspout and siding. Read all instructions and warnings thoroughly before installing this product.	Installation Hazards Rain barrels are for water collection and outdoor use only. No other uses are recommended. Downspout edges may be sharp. Wear protective gloves when cutting and handling downspouts. Always wear safety glasses when cutting or drilling to prevent eye injuries. Protect siding from damage by inserting a sheet of plywood between the downspout and siding. Read all instructions and warnings thoroughly before installing this product.	Warning and Limitations Rain barrels are for water collection and outdoor use only. No other uses are recommended. Downspout edges may be sharp. Wear protective gloves when cutting and handling downspouts. Always wear safety glasses when cutting or drilling to prevent eye injuries. Protect siding from damage by inserting a sheet of plywood between the downspout and siding. Read all instructions and warnings thoroughly before installing this product.

Enviro World
Enviro World Corporation • www.enviroworld.com • 800.828.8888

H 50 GALLON RAINBARREL

SCALE: -

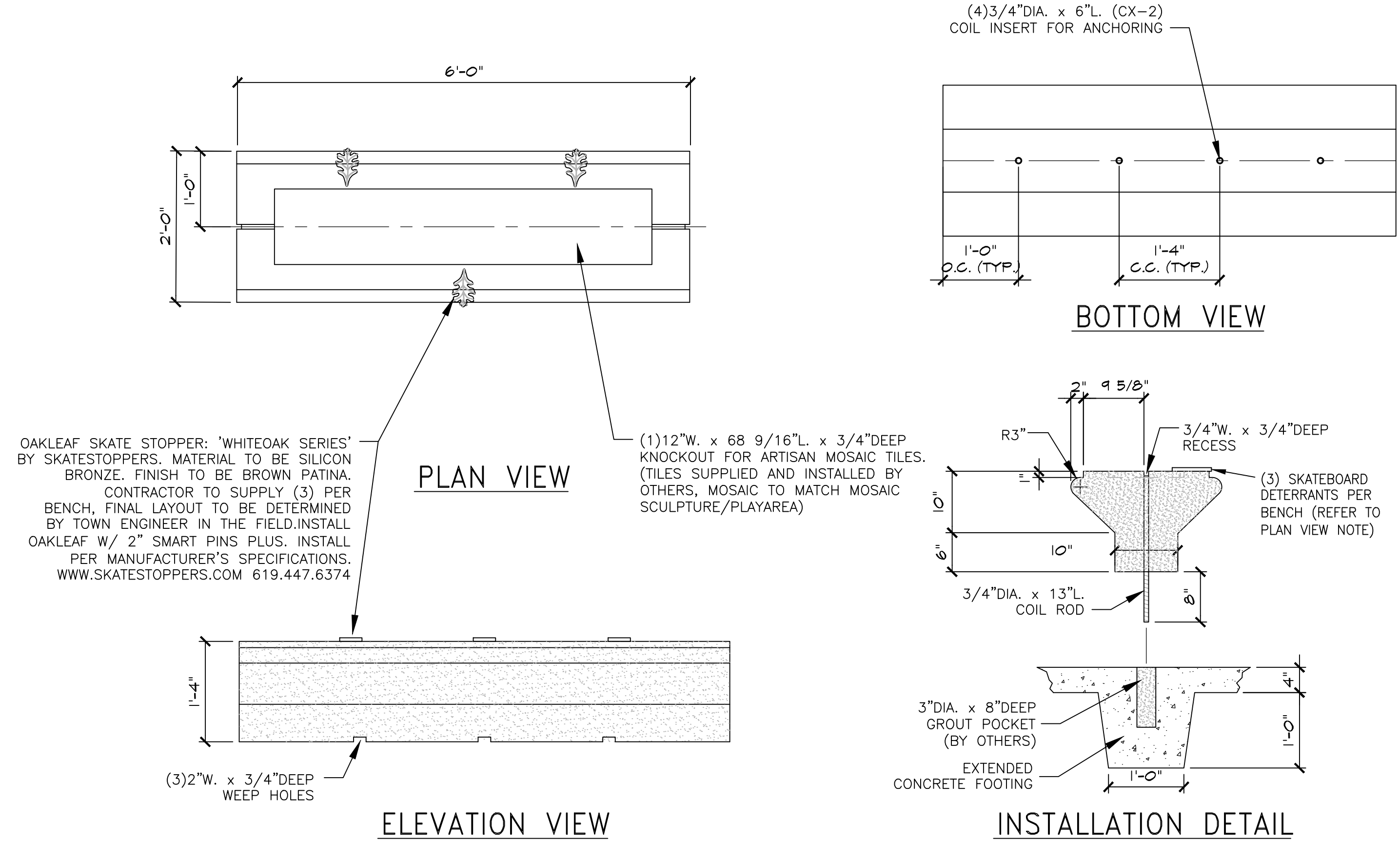
024 -

* INSTALLATION IS REQUIRED BY OTHERS.
 * ALL EDGES TO HAVE 1/4" RADIUS MIN.
 * MANUFACTURING TOLERANCE ±1/4".
 * PRODUCT: 24"W x 78"L x 16"HT. "SEATTLE" STYLE BENCH
 * QUANTITY: 1
 * CONCRETE COLOR: BUNGALOW
 * CONCRETE TEXTURE: ACID ETCH
 * SEALER: 511 POROUS SEALER
 * ANCHORING METHOD BY OTHERS
 * STD. COLOR & TEXTURE OPTIONS

APROX. WT. 1,604 Lbs.
 (CUSTOMER TO OFFLOAD IF OVER 8000 Lbs.)

HARDWARE LIST	
QTY	TYPE
16	3/4" DIA. X13"L. COIL ROD

*NOTE: QUICK CRETE RECOMMENDS ANCHORING BENCH TO A CONCRETE FOOTING AS SHOWN BELOW.



I BENCH DETAIL

SCALE: 3/4" = 1'-0"
 016 -

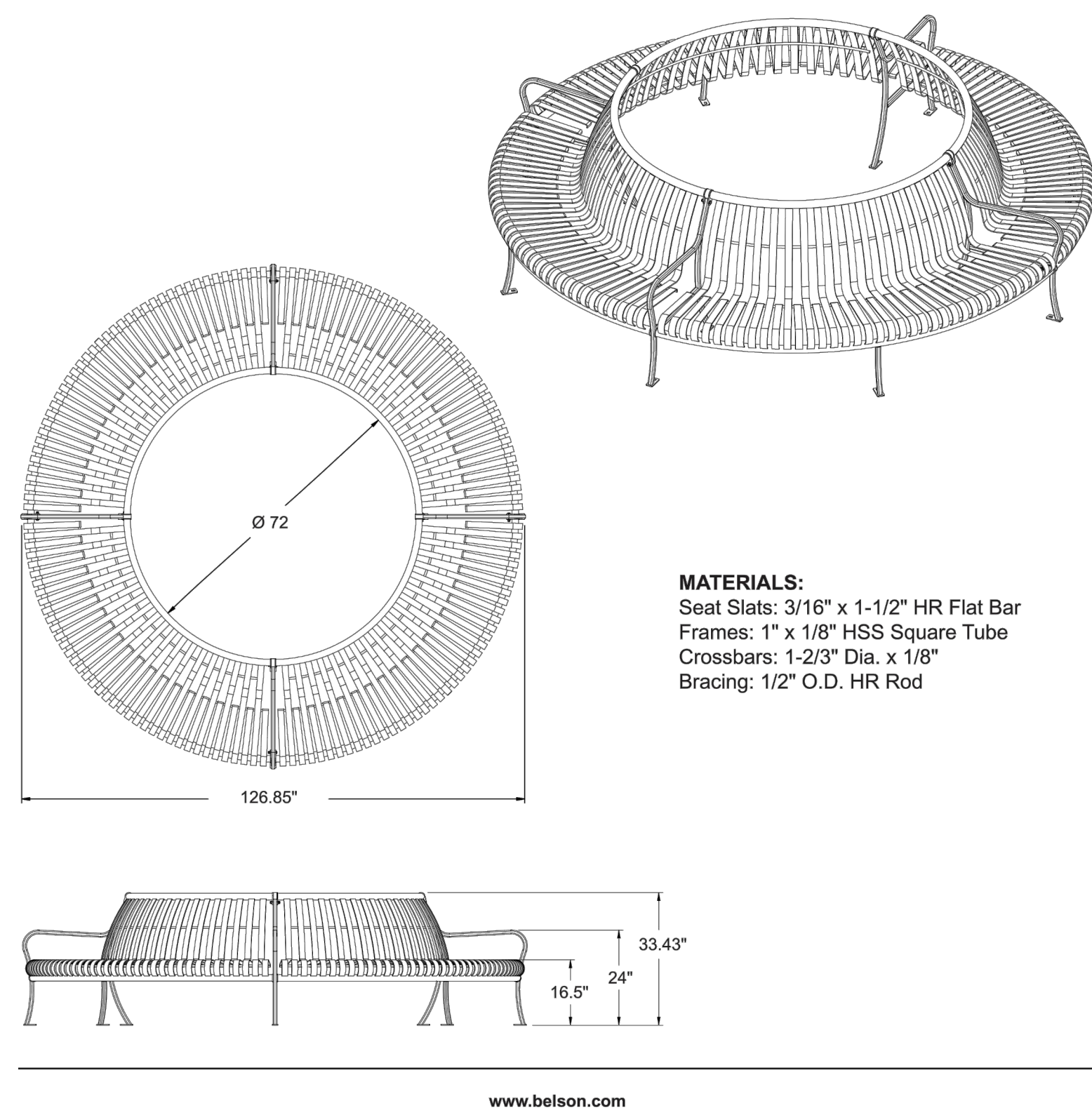


111 North River Road
 North Aurora, IL 60542
 Phone: (800) 323-5664
 Fax: (630) 897-0573
 sales@belson.com

Model # PCS-72-360

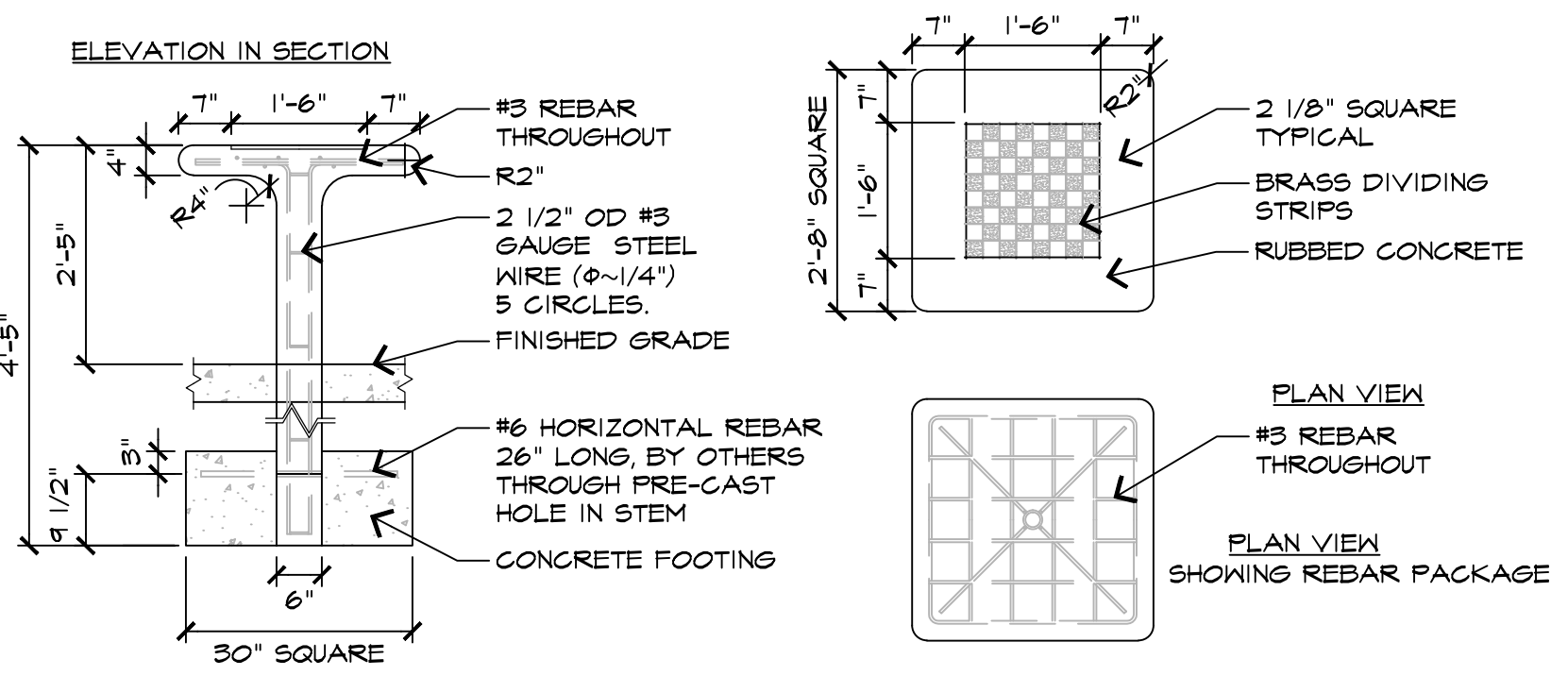
Dimension Sheet

CIRCULAR BENCH | 72" I.D. 360 DEGREE



J PRECAST CONCRETE PEBBLE

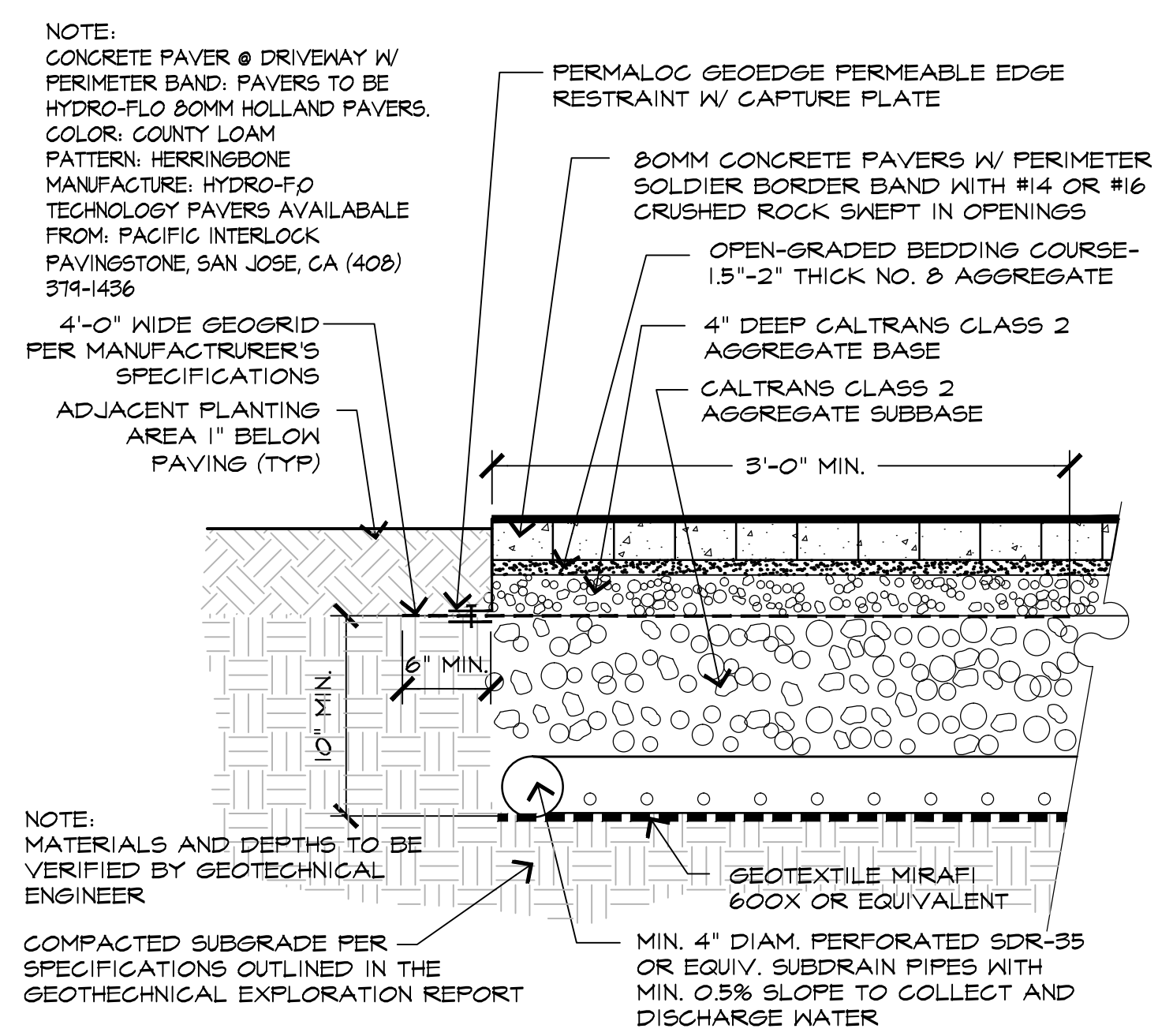
SCALE: 1/2" = 1'-0"
 024 -



NOTE: CHECKER TABLES SHALL BE SET SO THAT A PERSON SEATED ON THE BENCH WILL HAVE A WHITE SQUARE IN THE LOWER RIGHT HAND CORNER OF THE BOARD

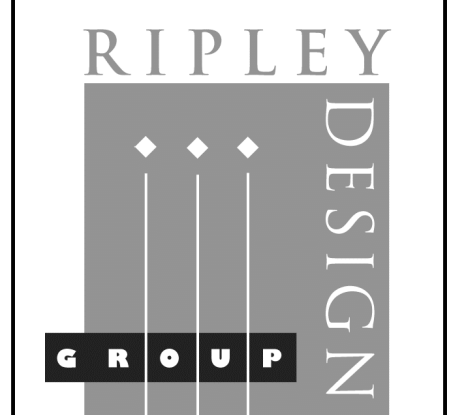
K PRECAST CHEST TABLE

SCALE: 1/2" = 1'-0"
 024 - P/PC/STB



L PERMEABLE DRIVEWAY PAVERS

SCALE: 3/4" = 1'-0"
 016 - P/PC/PRECAT



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TEL. 925.309.8888
 FAX. 888.589.4937

PROJECT:

EDEN VILLAGE

HAYWARD, CALIFORNIA

CONSTRUCTION DETAILS



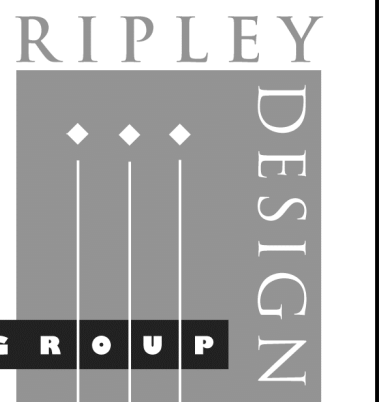
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LC3

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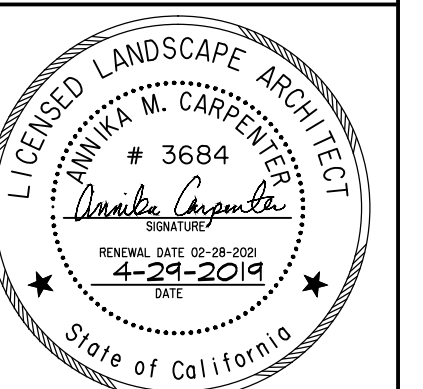
TEL. 925.309.8888
FAX. 888.589.4937

PROJECT:

EDEN VILLAGE

HAYWARD,
CALIFORNIA

**HYDROZONE
PLAN LOTS
14-18**



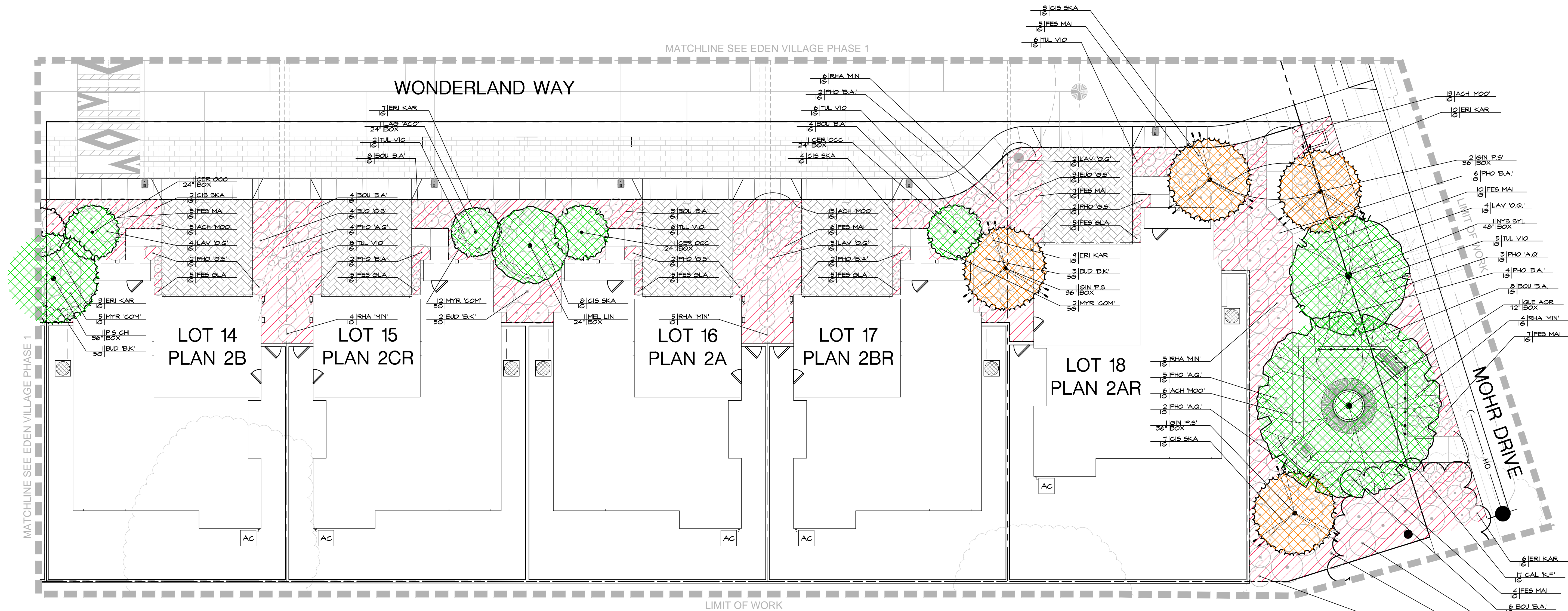
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DRAWN BY: TV
CHECKED BY: AMC

REVISIONS:

SHEET

LH1

OF 9 SHEETS



WATER USE CALCULATIONS:

THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA) IN GALLONS PER YEAR IS BASED ON THE FOLLOWING FORMULA:
 $MAWA = (ET_0)(0.62)(I_0.55 \times LA)$
 THE ESTIMATED TOTAL WATER USE (ETWU) IS THE SUM TOTAL OF ESTIMATED WATER USE FOR EACH HYDROZONE IN GALLONS PER YEAR AND IS BASED ON THE FOLLOWING FORMULA:
 $ETWU = (ET_0)(0.62)(PF \times HA) + SLA$
 ET₀ = REFERENCE EVAPOTRANSPIRATION (INCHES PER YEAR)
 LA = LANDSCAPE AREA
 HA = HYDROZONE AREA (SQUARE FEET)
 PF = PLANT FACTOR FROM WUCOLS
 IE = IRRIGATION EFFICIENCY (0.7)
 0.45 = ET ADJUSTMENT FACTOR
 0.62 = CONVERSION FACTOR (TO GALLONS)
 REFERENCE EVAPOTRANSPIRATION (ET₀): 44.2
 MAXIMUM APPLIED WATER ALLOWANCE:
 $MAWA = (44.2) \times (0.62) \times (0.45 \times 4,488) = 55,345 \text{ GAL/YR}$
 ESTIMATED TOTAL WATER USE:
 $ETWU = (44.2) \times (0.62) \times (0.20 \times 4,488) = 34,645 \text{ GAL/YR}$

HYDROZONE KEY

SYMBOL	DESCRIPTION
	LOW SHRUB WATER USE
	LOW TREE WATER USE
	MEDIUM TREE WATER USE

HYDROZONE INFORMATION TABLE - LOT 14

HYDROZONE (WATER USE)	ZONE/ VALVE	IRRIG. METHOD	AREA	% OF LANDSCAPE AREA
LOW	Q-1	DRIP	478 SF	97%
LOW	Q-2	BUBBLER	14 SF	3%
TOTAL			492 SF	100%

HYDROZONE INFORMATION TABLE - LOT 15

HYDROZONE (WATER USE)	ZONE/ VALVE	IRRIG. METHOD	AREA	% OF LANDSCAPE AREA
LOW	R-1	DRIP	472 SF	99%
LOW	R-2	BUBBLER	7 SF	1%
TOTAL			479 SF	100%

HYDROZONE INFORMATION TABLE - LOT 16

HYDROZONE (WATER USE)	ZONE/ VALVE	IRRIG. METHOD	AREA	% OF LANDSCAPE AREA
LOW	S-1	DRIP	472 SF	97%
LOW	S-2	BUBBLER	14 SF	3%
TOTAL			486 SF	100%

HYDROZONE INFORMATION TABLE - LOT 17

HYDROZONE (WATER USE)	ZONE/ VALVE	IRRIG. METHOD	AREA	% OF LANDSCAPE AREA
LOW	T-1	DRIP	513 SF	97%
LOW	T-2	BUBBLER	14 SF	3%
TOTAL			527 SF	100%

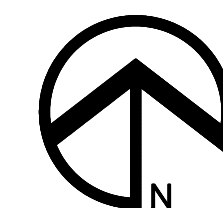
HYDROZONE INFORMATION TABLE - LOT 18

HYDROZONE (WATER USE)	ZONE/ VALVE	IRRIG. METHOD	AREA	% OF LANDSCAPE AREA
LOW	U-1	DRIP	2,469 SF	99%
LOW	U-2	BUBBLER	35 SF	1%
TOTAL			2,504 SF	100%

SUMMARY DATA TABLE:

TOTAL LANDSCAPED AREA	=	4,488 SQ FT
PROJECT TYPE	=	NEW RESIDENTIAL
WATER TYPE	=	POTABLE
MAXIMUM WATER ALLOWED	=	55,345 GAL PER YEAR
ESTIMATED TOTAL WATER USE	=	34,645 GAL PER YEAR (51% OF MAX. ALLOWED)

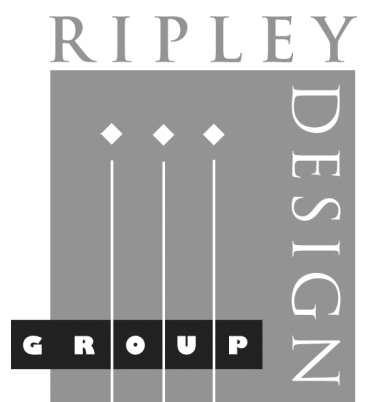
PHASE ONE: LOT 1-13
PHASE TWO: LOT 14-18



GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.



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PROJECT:

EDEN VILLAGE

HAYWARD,
CALIFORNIA

IRRIGATION PLAN LOTS 14-18



PROJECT #:
DATE: APR. 29, 2019
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DRAWN BY: TV
CHECKED BY: AMC

REVISIONS:

SHEET

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OF 9 SHEETS

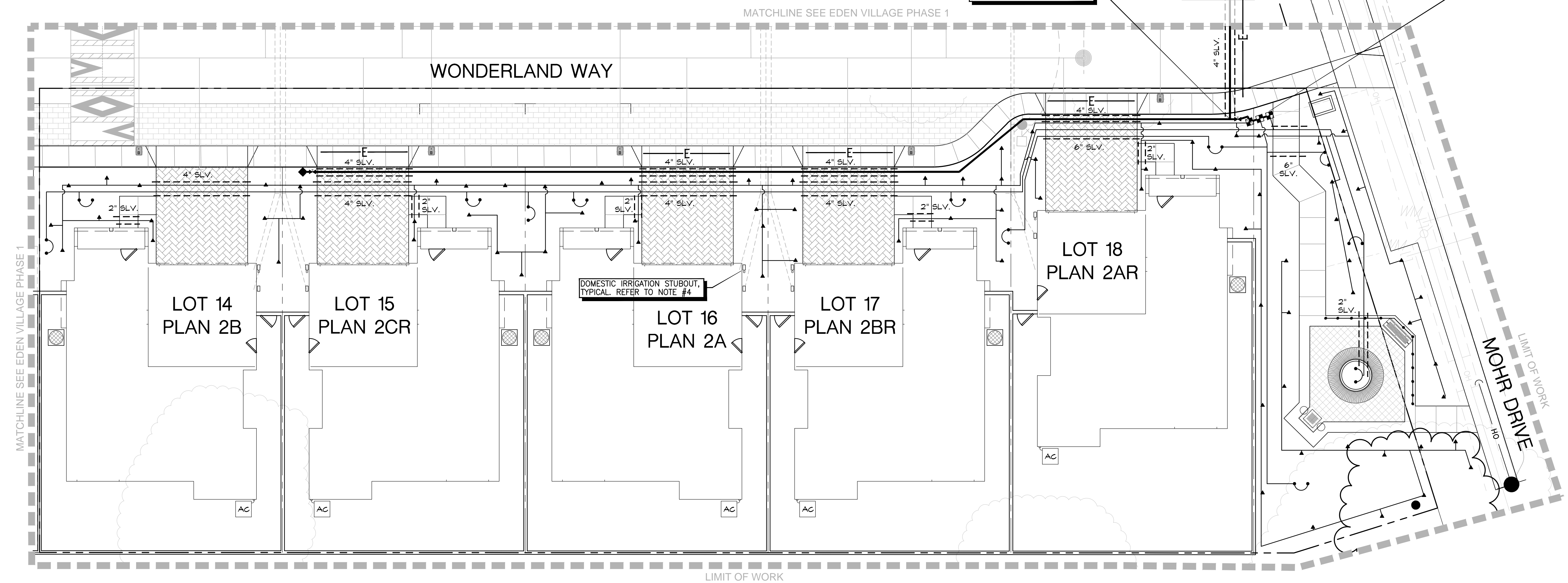
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In California, Nevada and Hawaii

1-800-642-2444

Underground Service Alert
4090 Nelson Avenue, Suite A, Concord, CA 94520-1232
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HYDROZONES

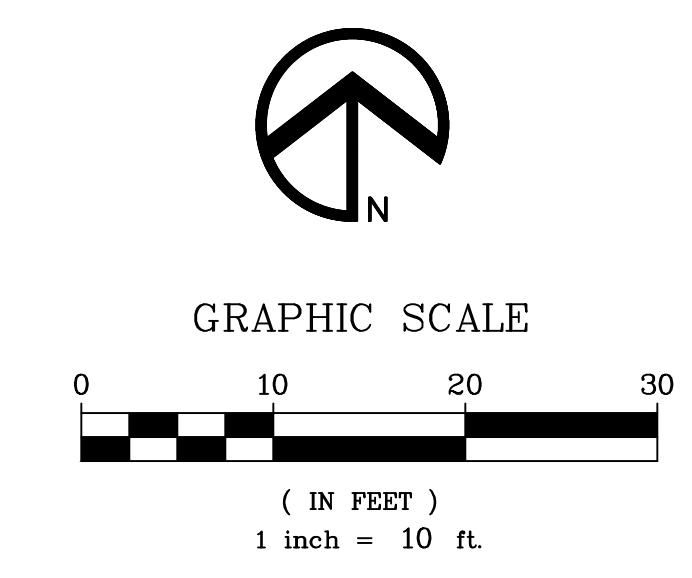
NAME	TYPE	WATER USE	DESCRIPTION
PHASE II - LOTS 14-18			
A-9	DRIP	LOW	SHRUBS - FRONTAGE & ALONG MOHR DRIVE
A-10	BUBBLER	MED	TREES - LOTS 17 & 18
A-11	BUBBLER	LOW	TREES - FRONTAGE & ALONG MOHR DRIVE

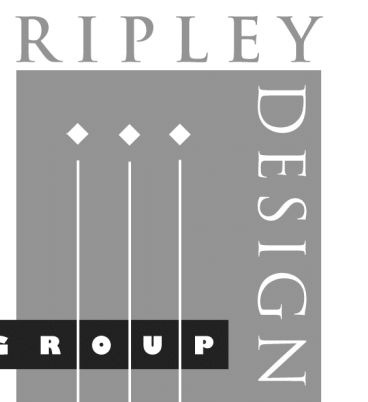


IRRIGATION SYSTEM LEGEND

SYMBOL	DESCRIPTION	SPECIFICATION	NOZZLE GPM	OPERATING PSI
	IRRIGATION WATER METER	-BY OTHER SECTION OF CONTRACT		
	ELECTRIC CONTROLLER	-TORO-EV0-4ID/EMOD-4/EMOD-4/EVO-SC/EVO-WS (ET-BASED)		
	BACKFLOW PREVENTOR	-WILKINS 1" 975XL - REFER TO CIVIL PLANS & CITY OF HAYWARD STANDARD DETAIL SD-202		
	MASTER VALVE	-TORO REMOTE CONTROL ELECTRIC GLOBE VALVE W/ FLOW CONTROL NO. 220-26-06		
	FLOW SENSOR	-TORO FLOW SENSOR-TFS-150 OR EQUIVALENT		
	REMOTE CONTROL VALVES	-TORO 700 SERIES		
	BALL VALVE (master shut off)	-NIBCO-T-560-BR-20-IRR-LINE SIZE		
	QUICK COUPLER	-RAINBIRD-44LRC OR EQUAL		
	BUBBLER (TREE)	-HUNTER AFB (2 PER TREE)	.25	30
	BUBBLER (SHRUB)	-PEPCO-OCTA-BUBBLER	.16	30
	IRRIGATION SUPPLYLINE - 1"	-1120/SCHEDULE 40 PVC PIPE	-18" COVER	
	IRRIGATION SPRINKLERLINE	-1120/CLASS 200 PVC PIPE	-12" COVER	
	ELECTRICAL CONDUIT	-1120/SCHEDULE 80 PVC PIPE	-24" COVER	
	SLEEVING	-1120/SCHEDULE 80 PVC PIPE	-24" COVER	
	CONTROLLER STATION NUMBER			
	GALLONS PER MINUTE THROUGH VALVE			
	CONTROL VALVE SIZE (INCHES)			

PHASE ONE: LOT 1-13
PHASE TWO: LOT 14-18





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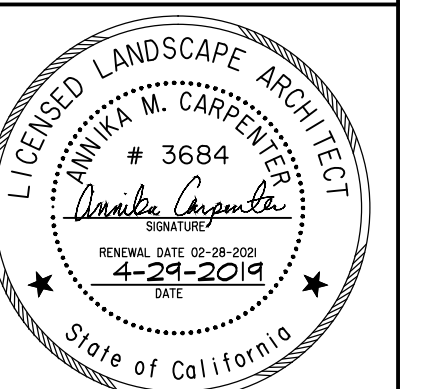
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 FAX. 888.589.4937

PROJECT:

EDEN VILLAGE

HAYWARD, CALIFORNIA

IRRIGATION DETAILS



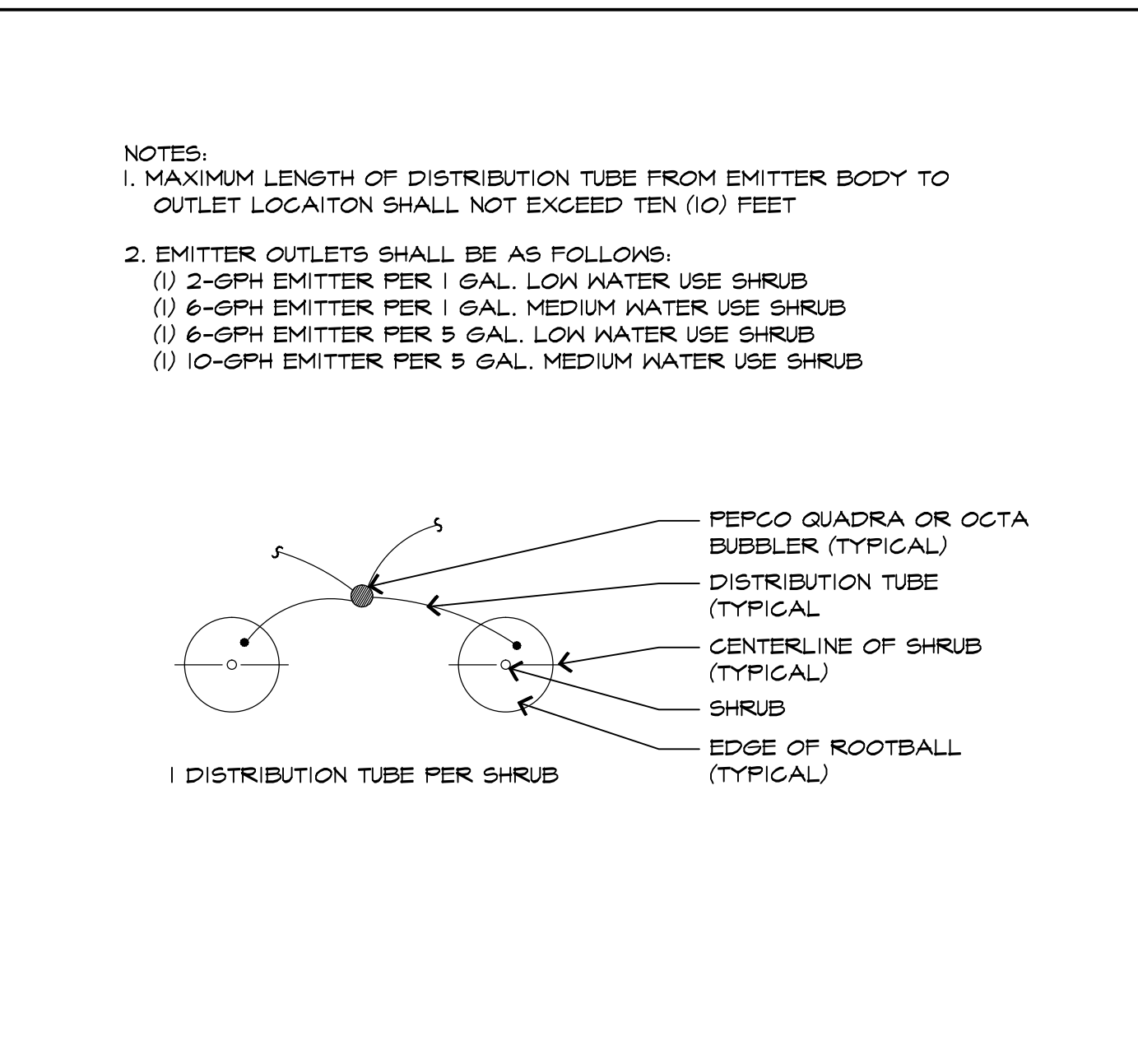
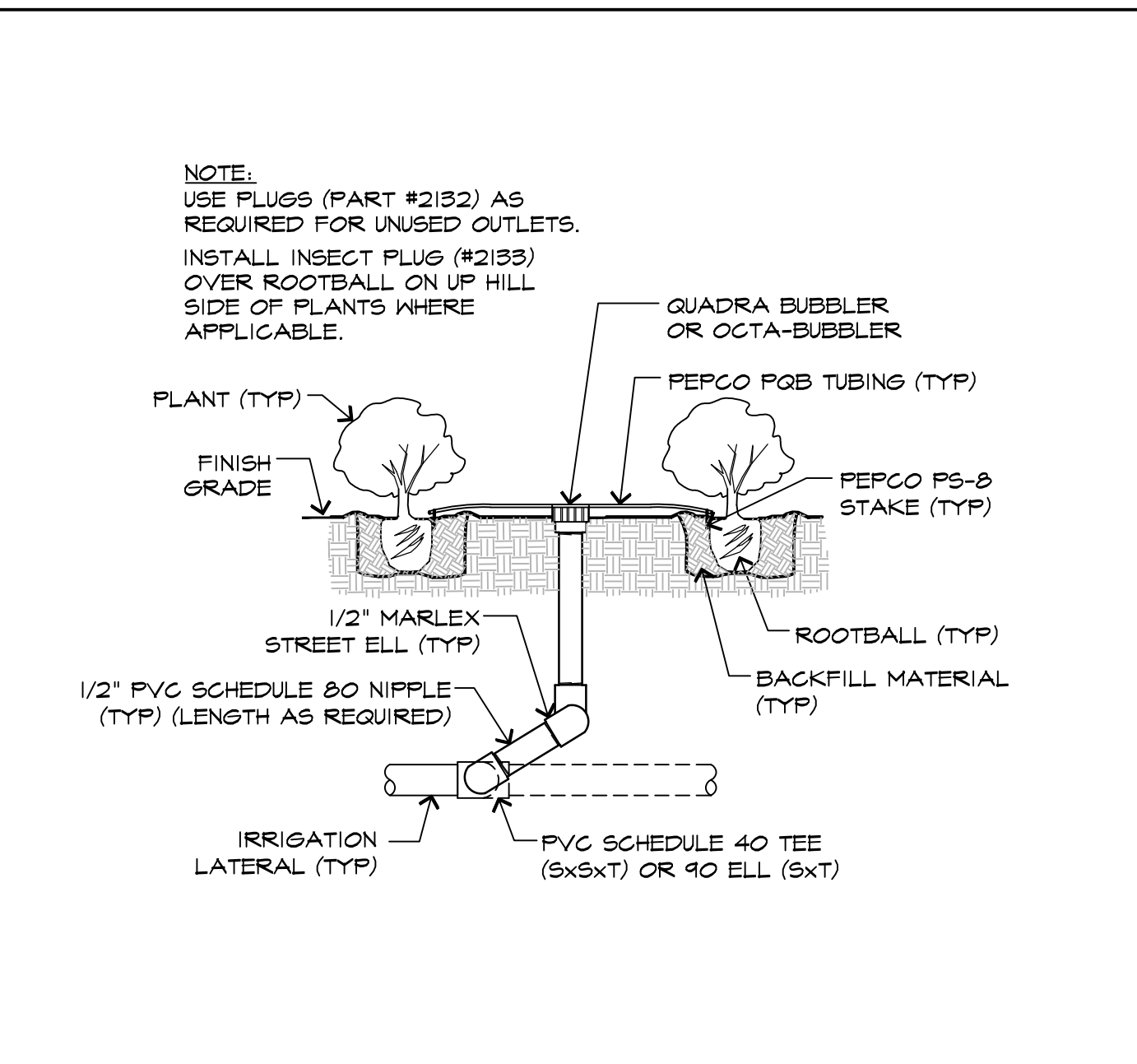
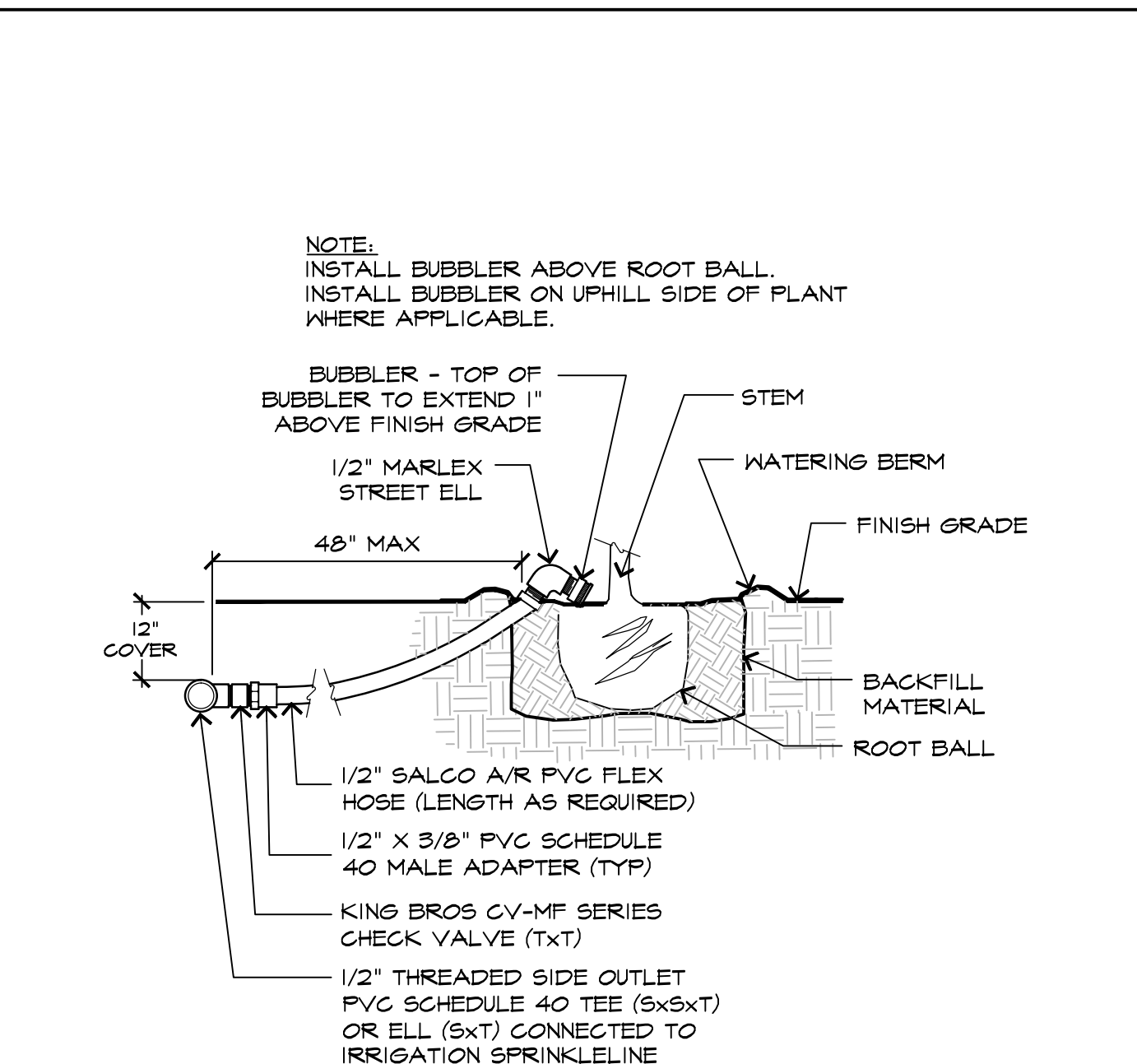
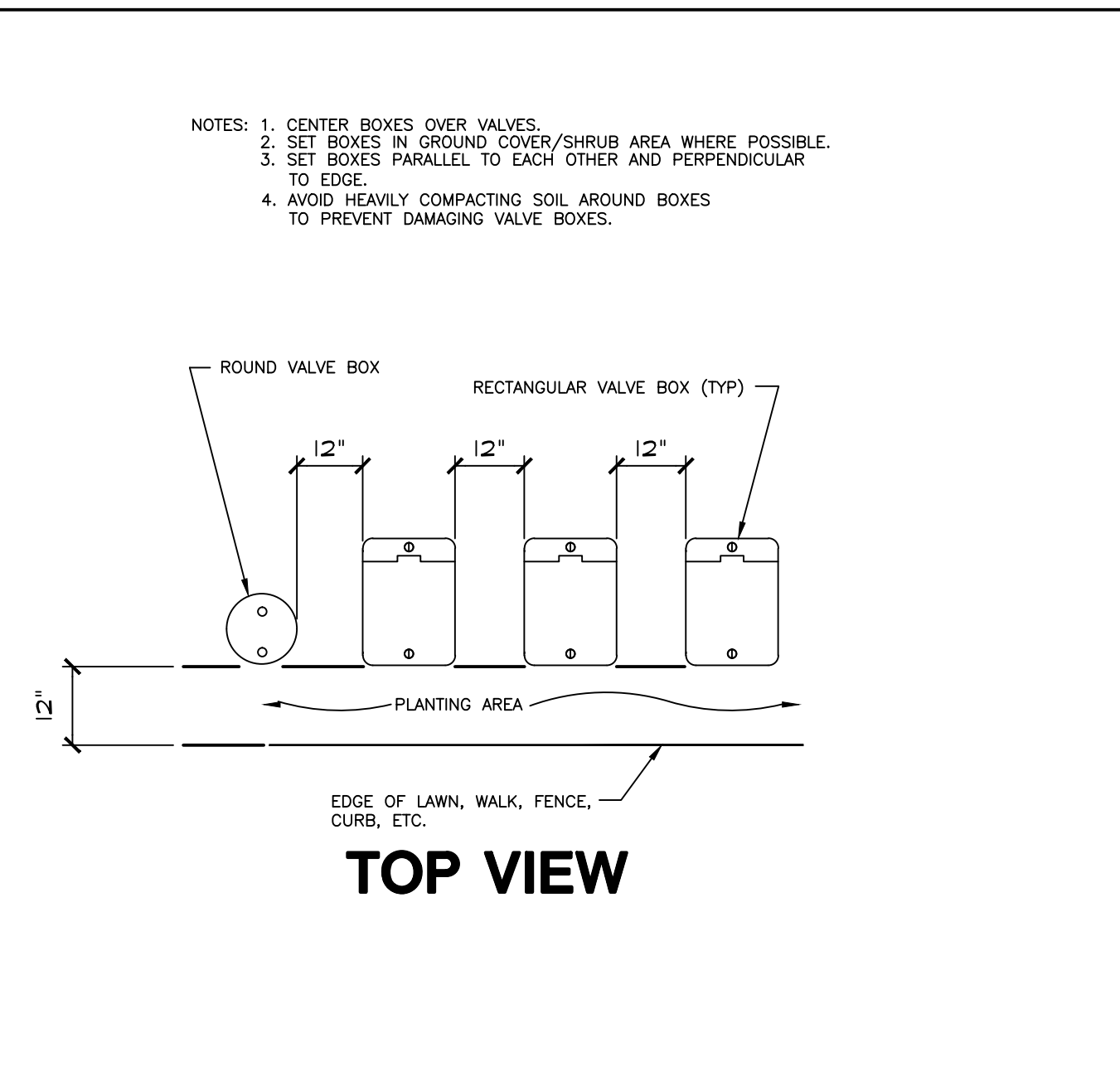
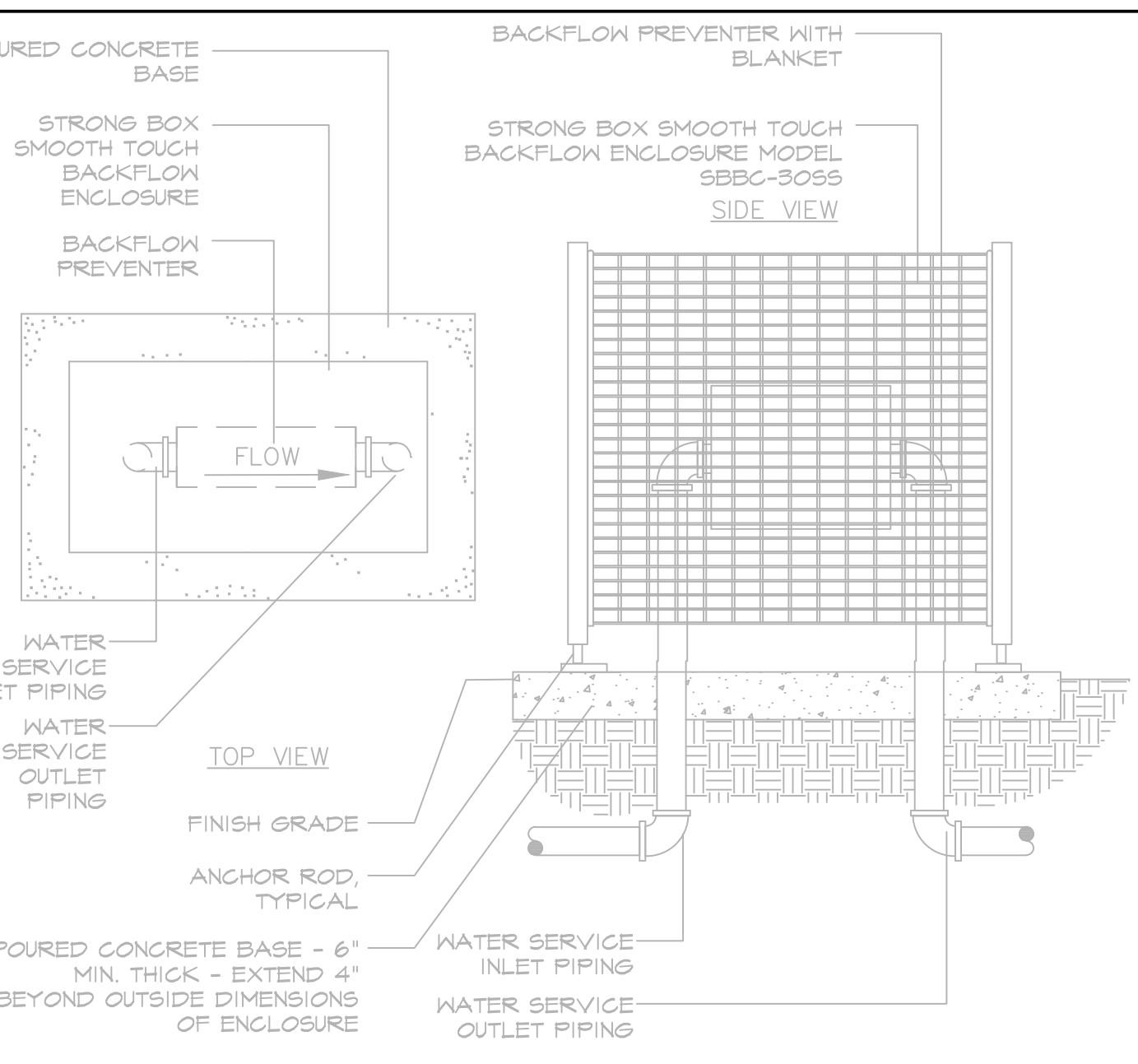
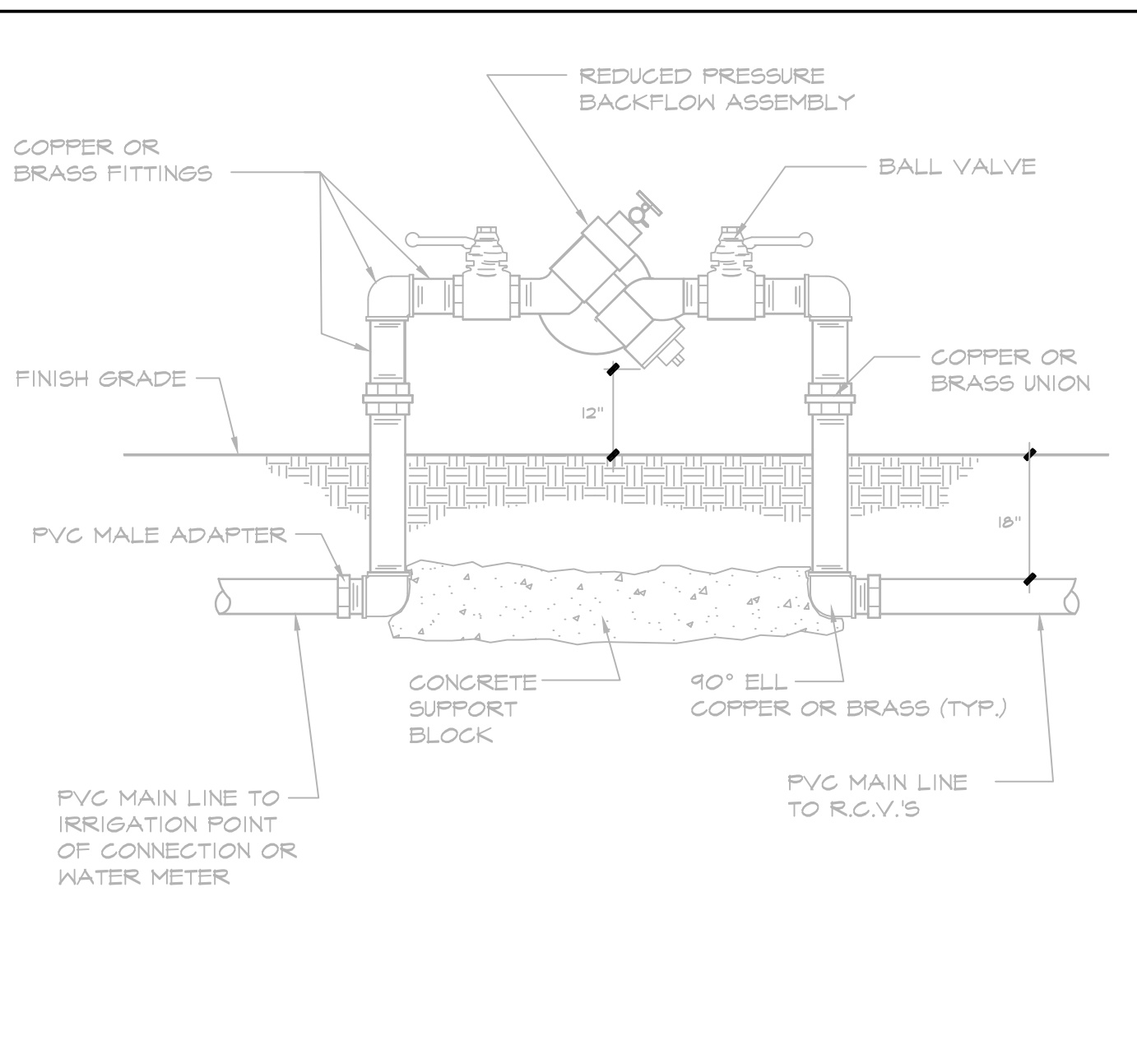
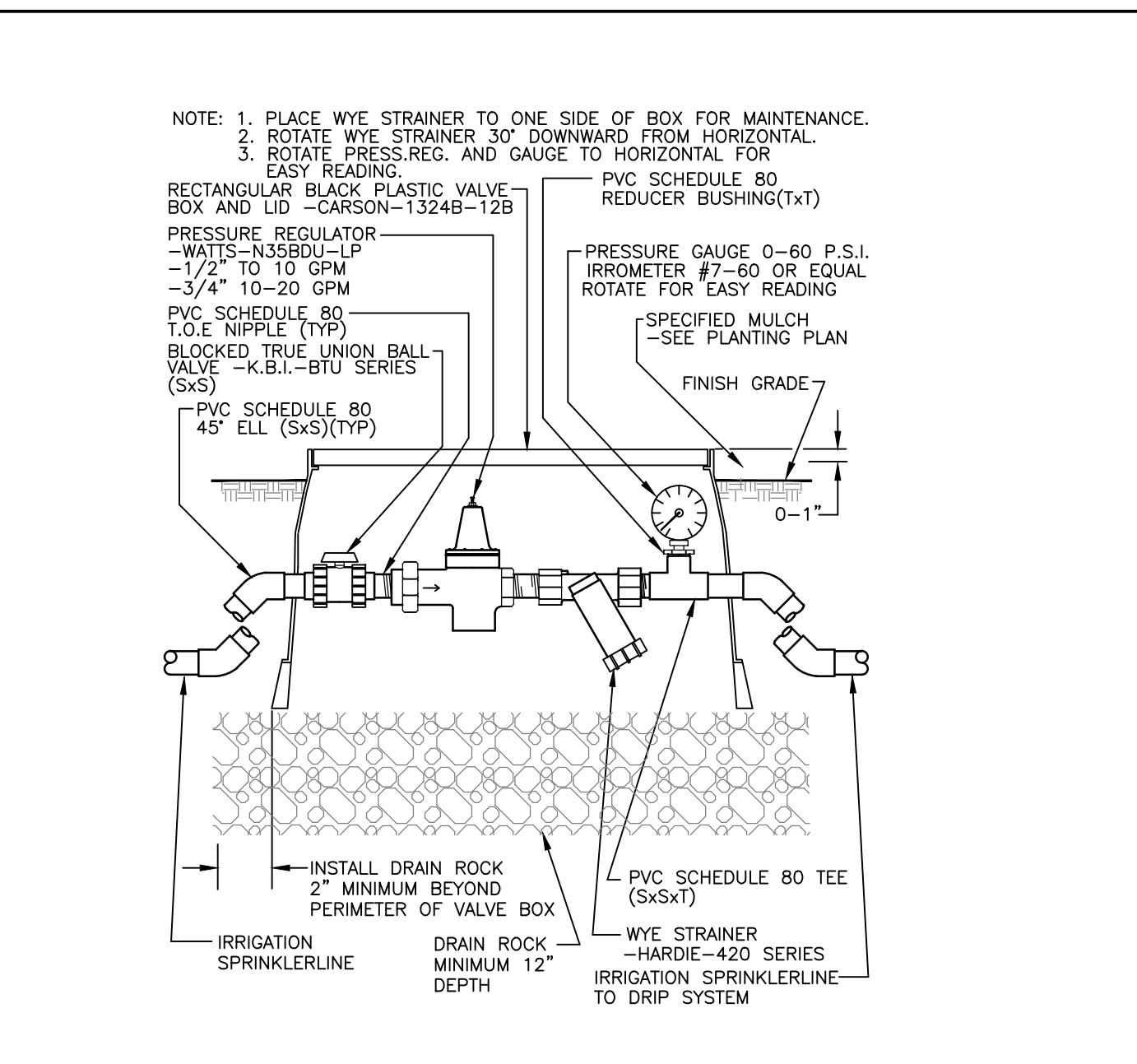
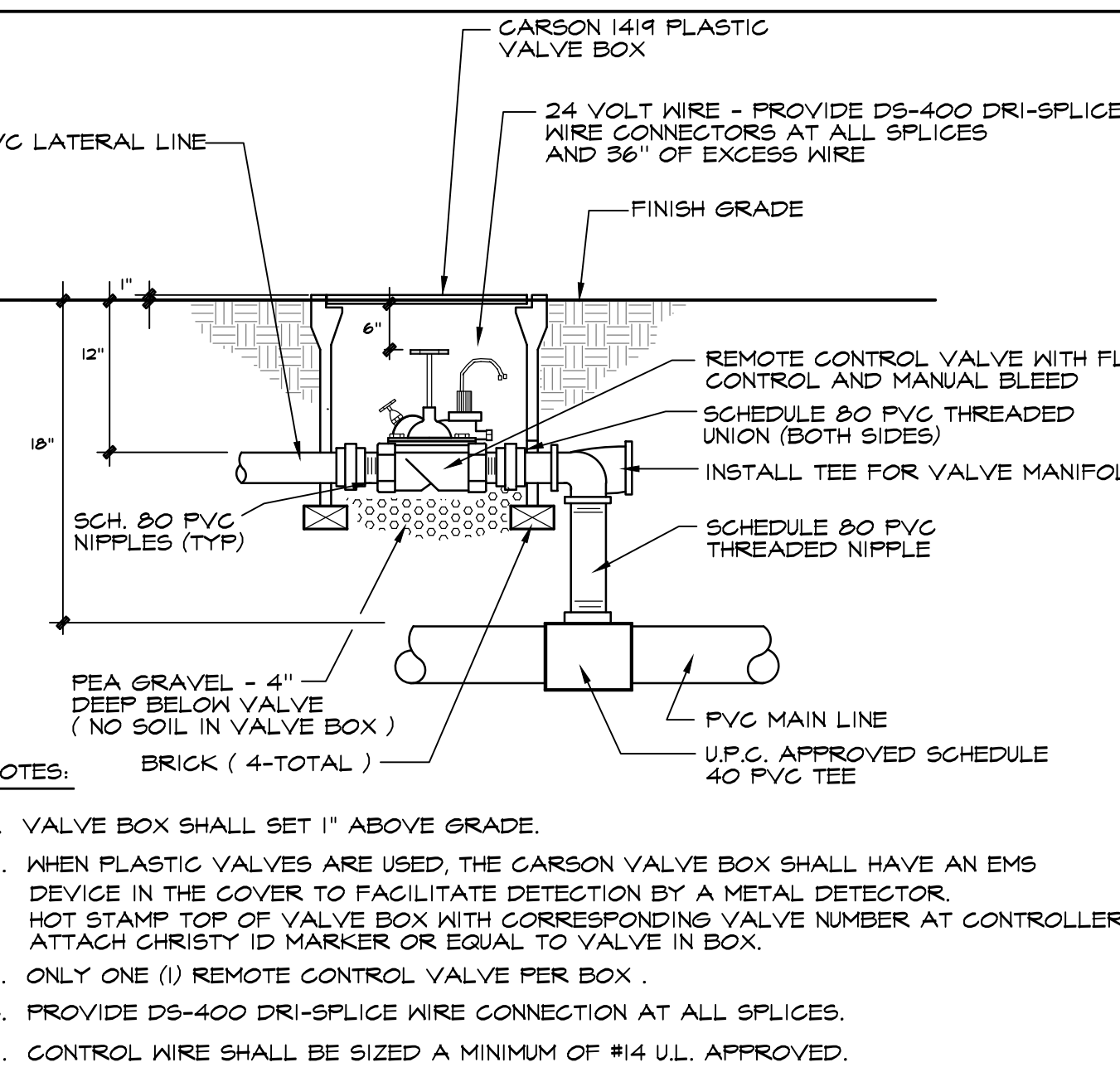
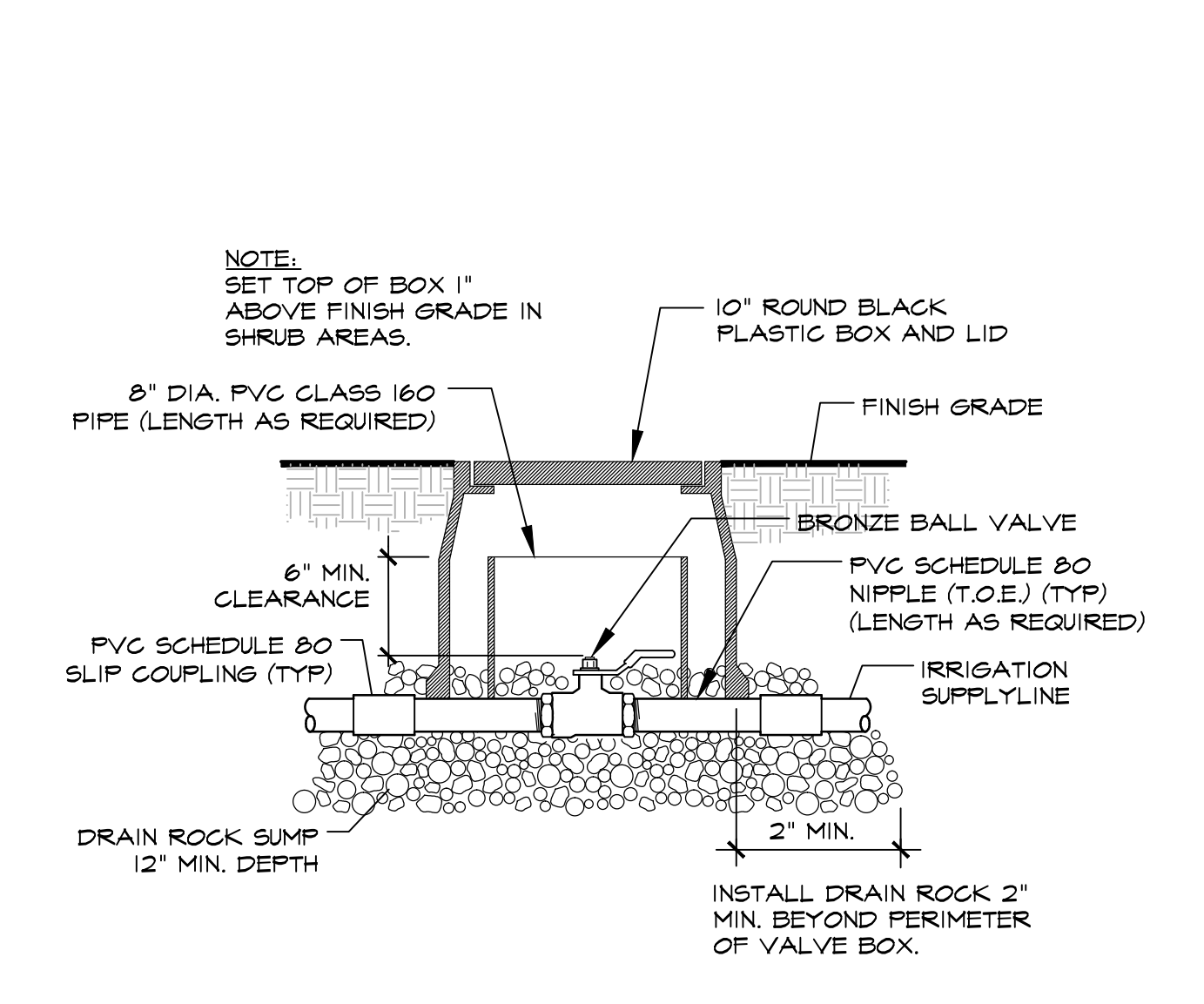
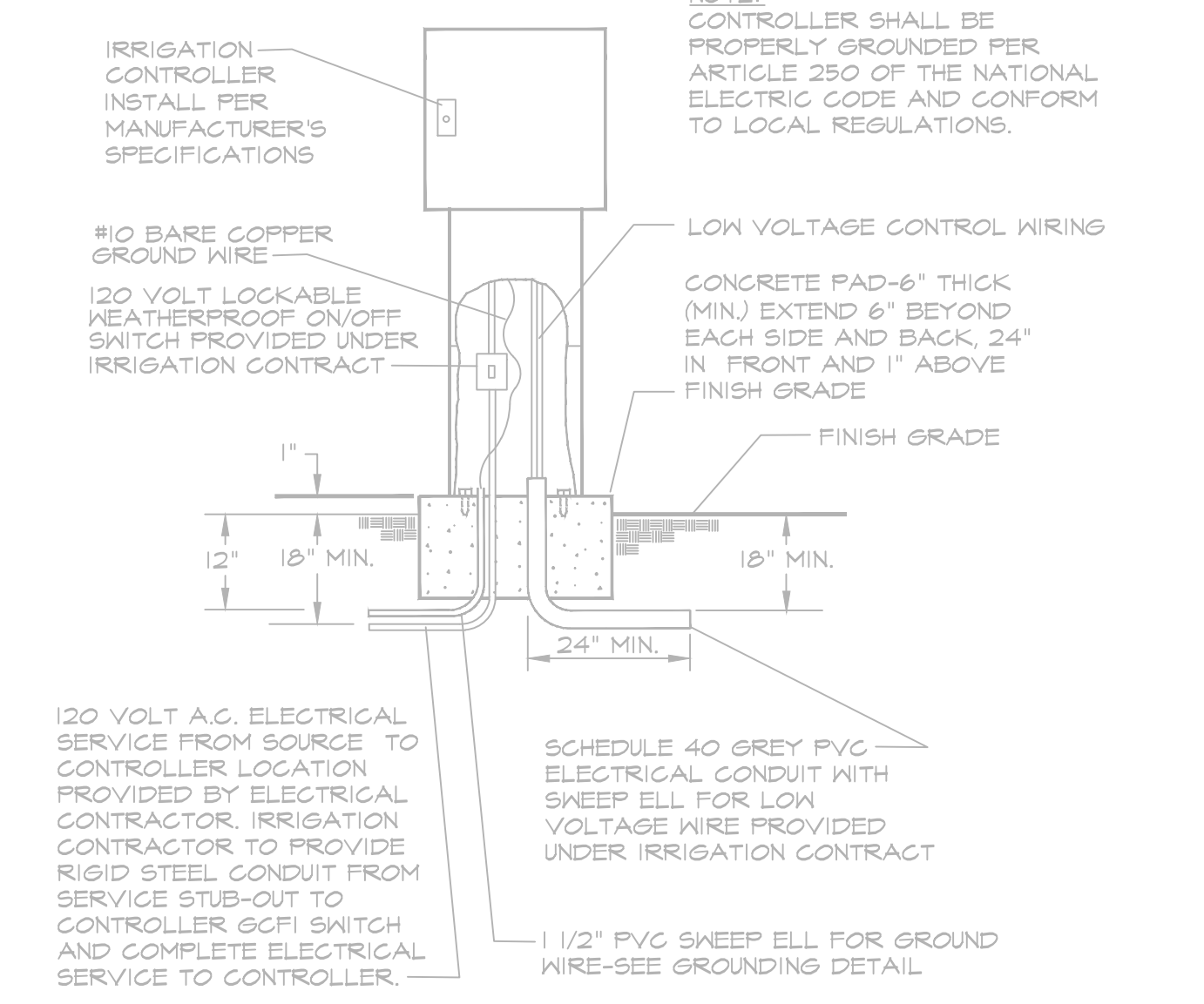
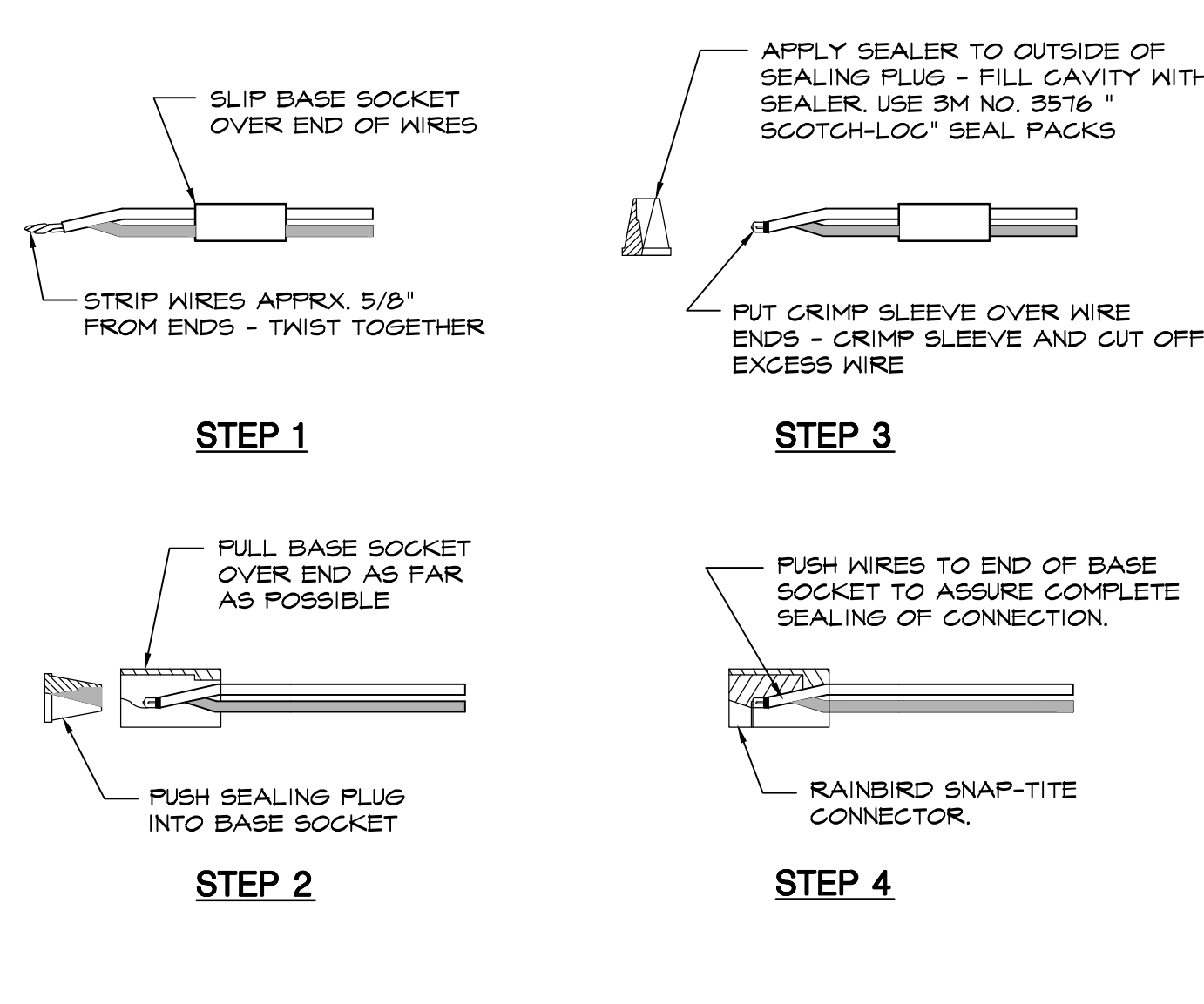
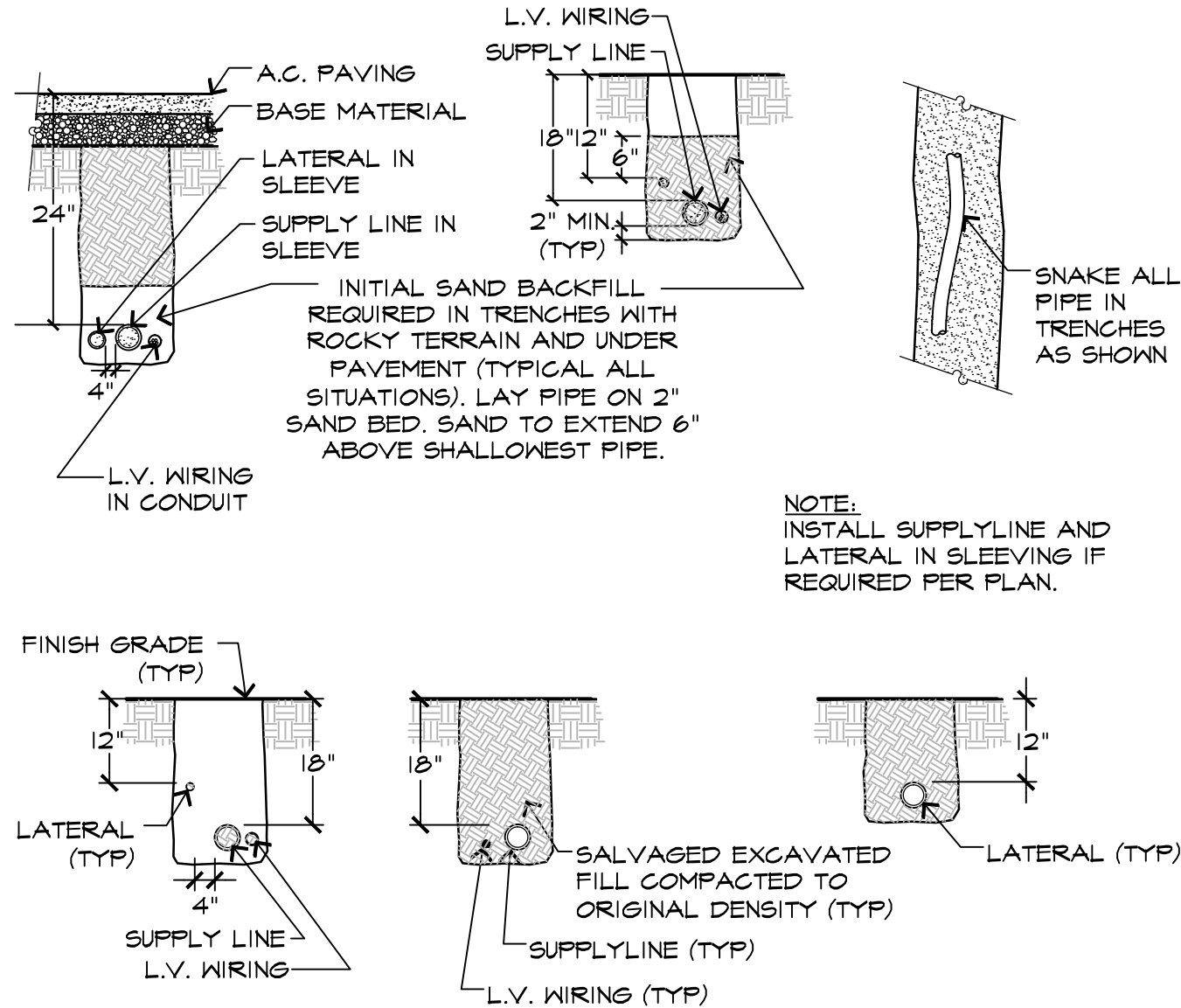
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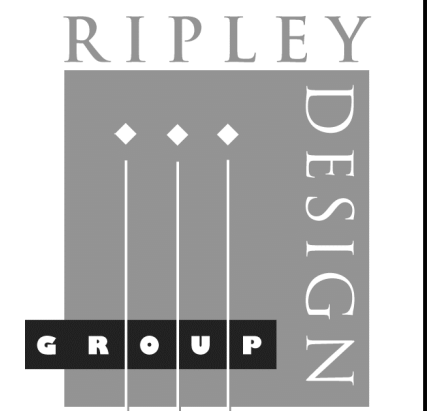
REVISIONS:

SHEET

LI2

OF 9 SHEETS





RIPLEY DESIGN GROUP, INC. Landscape Architecture Land Planning 1615 Bonanza St., Suite 314 Walnut Creek California 94596 Tel 925.938.7377 Fax 925.938.7436

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PROJECT:

EDEN VILLAGE

HAYWARD, CALIFORNIA

IRRIGATION CALCULATIONS



PROJECT #: DATE: APR. 29, 2019 SCALE: NONE DRAWN BY: BAC CHECKED BY: AMC

REVISIONS:

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OF 9 SHEETS

LANDSCAPE MAINTENANCE GUIDELINES & SCHEDULE

- A. WEEDING AND PEST CONTROL: WEEDING SHALL BE DONE ON A WEEKLY BASIS, PEST CONTROL AS NEEDED. KEEP BASINS AND AREAS BETWEEN PLANTS FREE OF WEEDS. IF ANY PLANTS SHOW SIGNS OF PEST INFESTATION OR DISEASE, PRUNE OFF A SMALL PORTION OF THE INFECTED AREA FOR ANALYSIS BY A QUALIFIED NURSERY... B. LITTER, LEAF AND TRASH REMOVAL: ALL LITTER, LEAVES, DEBRIS AND TRASH SHALL BE PICKED UP WEEKLY AND THE SITE SHALL BE LEFT IN A NEAT AND CLEAN CONDITION... C. TREE, SHRUB, VINE AND GROUND COVER CARE: 1. FERTILIZATION: APPLY FERTILIZER AND PRE-EMERGENT TO ALL AREAS IN SEPTEMBER AND MARCH... D. LAWN CARE: 1. MOWING AND EDGING: MOW GRASS TO A MINIMUM HEIGHT OF TWO INCHES IN WARM WEATHER... E. WATERING: 1. LAWNS: WAIT TO WATER A LAWN UNTIL YOU NOTICE ITS COLOR CHANGE FROM BRIGHT GREEN TO A DULL BLUE-GREEN... F. IRRIGATION SYSTEM CARE: THE IRRIGATION SYSTEM SHALL BE CHECKED AND ADJUSTED AS FOLLOWS: 1. WEEKLY: THE IRRIGATION SYSTEM SHALL BE VISUALLY INSPECTED BY RUNNING ALL VALVE STATIONS FROM THE IRRIGATION CONTROLLER... G. PRUNING: PRUNE SHRUBS AND TREES TO ENHANCE THEIR NATURAL SHAPE, DEVELOP PROPER LIMB AND BRANCH STRUCTURES... H. BARK MULCH: TWICE YEARLY ALL TREE AND SHRUB AREAS WITH BARK MULCH SHALL BE CHECKED AND MULCH ADDED AS NECESSARY TO RETAIN A MINIMUM 3" MULCH DEPTH... I. STAKING: ADJUST OR REMOVE STAKES AS NECESSARY TO PROVIDE THE BEST GROWING ENVIRONMENT FOR THE TREES... J. REPLACEMENT OF PLANTS: DEAD PLANTS AND THOSE IN A STATE OF DECLINE SHALL BE REPLACED...

IRRIGATION SYSTEM NOTES

- 1. IRRIGATION SYSTEMS ARE DESIGNED FOR A MAXIMUM OF 18 G.P.M. AT AN OPERATING PRESSURE OF 50 P.S.I. STATIC PRESSURE. VERIFY PRESSURE OF 50 P.S.I. AT THE POINT OF CONNECTION PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM... 2. NOTIFY OWNERS REPRESENTATIVE SIX (6) DAYS PRIOR TO INSTALLATION TO SCHEDULE ANY REQUIRED PRE-INSTALLATION CONFERENCE AND FIELD REVIEW COORDINATION FOR TRENCH DEPTHS, ASSEMBLY REVIEW, PRESSURE TESTS, COVERAGE TESTS, PRE-MAINTENANCE AND FINAL REVIEWS... 3. IRRIGATION WATER STUBOUT IS PROVIDED FOR IN IMMEDIATE VICINITY BY PLUMBING SECTION OF CONTRACT... 4. DOMESTIC WATER STUBOUT IS PROVIDED FOR IN IMMEDIATE VICINITY BY PLUMBING SECTION OF CONTRACT... 5. ALL EQUIPMENT REQUIRED BUT NOT SPECIFIED ON THE PLANS SHALL BE PROVIDED TO INSURE A COMPLETE AND FUNCTIONAL SYSTEM... 6. PRIOR TO COMMENCING WORK, CONTRACTOR TO LOCATE ALL CABLES, CONDUITS, SEWERS, AND OTHER UTILITIES OR ARCHITECTURAL FEATURES THAT ARE COMMONLY ENCOUNTERED UNDERGROUND AND TAKE PROPER PRECAUTIONS... 7. INSTALL PEDESTAL MOUNTED CONTROLLER, APPROXIMATELY WHERE INDICATED... 8. USE APPROPRIATE SOLVENT AND APPLICATOR, AND PRIMER IF REQUIRED, FOR PIPE SIZE AND TYPE APPLICATIONS... 9. INSTALL ALL EQUIPMENT AS DETAILED... 10. ALL HEADS SHALL HAVE RISER ASSEMBLIES AS DETAILED... 11. ADJUST ALL BUBBLERS AT TREES AS REQUIRED FOR DEEP ROOT WATERING... 12. ALL PIPE UNDER PAVEMENT SHALL BE SCHEDULE 40 PVC... 13. ALL VALVE CONTROL WIRE SHALL BE MINIMUM NO. 14 AWG COPPER UL APPROVED FOR DIRECT BURIAL IN GROUND... 14. MULTI-OUTLET EMITTERS SHOWN ARE DIAGRAMMATIC ONLY... 15. PROVIDE LITERATURE OF ALL DRIP SYSTEM COMPONENTS INCLUDING ANY PREVENTATIVE MAINTENANCE AND TROUBLE SHOOTING GUIDES... 16. MAINTENANCE CONSIDERATIONS: FILTER CLEANING AND FLUSHING SHOULD START OUT AS A MONTHLY PROCEDURE... 17. ALL SUPPLYLINE PIPES SHALL BE TESTED HYDRAULICALLY AT 125% OF DESIGN PRESSURE... 18. ALL BACKFILL MATERIAL SHALL BE FREE OF ROCKS, CLODS, AND OTHER EXTRANEIOUS MATERIALS... 19. AT JOB COMPLETION, SUPPLY OWNER WITH TWO (2) KEYS FOR CONTROLLER... 20. OBTAIN CLEAN SET OF IRRIGATION PLANS FROM ARCHITECT AND ACCURATELY AND NEATLY MARK ALL CHANGES MADE DURING CONSTRUCTION... 21. GUARANTEE THE IRRIGATION SYSTEM AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR... 22. THE IRRIGATION SCHEDULES ARE BASED ON THE IRRIGATION SYSTEMS' ATTRIBUTES AND ARE ONLY GUIDELINES... 23. THIS PLAN COMPLIES WITH THE CRITERIA OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE... 24. AFTER INSTALLATION CONTRACTOR SHALL ARRANGE AN IRRIGATION WATER USE ANALYSIS/WATER AUDIT... 25. LOCAL WATER PURVEYOR: CITY OF HAWARD 777 'B' STREET HAYWARD, CALIFORNIA 94541 PH. (510) 583-4000

WATER EFFICIENT LANDSCAPE CALCULATIONS

PHASE II - HOA

EDEN VILLAGE - PHASE II Frontage

PAGE 1 of 3 Water Efficient Landscape Worksheet for projects in Hayward, CA

This worksheet shall be filled out by the project applicant for each Point of Connection. This form will help you determine your site specific water budget and establish a planting mix that will meet your water budget.

MAWA=(Eto)(0.62)((0.55KLA) +(0.45xSLA)) ETWU=(Eto)(0.62)((PFxHA/IE)+SLA)

Where: MAWA = Maximum Applied Water Allowance (gallons per year) Eto = Reference Evapotranspiration (inches per year) 0.62 = Conversion Factor (to gallons) 0.45 = ET Adjustment Factor (ETAF)

Net Evapotranspiration (inches per year)

Table with columns: Month (Jan to Dec), Net Eto. Values: Jan 1.4, Feb 1.8, Mar 3.1, Apr 4.2, May 5.4, Jun 5.9, Jul 6.4, Aug 5.7, Sept 4.4, Oct 3.1, Nov 1.5, Dec 1.2, Annual 44.2

Maximum Applied Water Allowance Calculation

MAWA=(Eto)(0.62)((0.55KLA) +(0.45xSLA)) Include SLA in Total Landscaped Area.

Table for Enter Total Landscaped Area: 4,447 x 0.45 = 2,001

Table for Enter Special Landscaped Area: 0 x 0.45 = 0

MAWA = 44.2 x 0.62 x 2,001 = 54,940 gallons per year

PAGE 2 of 2

Water Efficient Landscape Worksheet

Estimated Total Water Use Calculation

ETWU=(Eto)(0.62)((PFxHA/IE)+SLA)

HYDROZONE INFORMATION TABLE

Table with columns: Hydrozone, Plant Water Use Type, Plant Factor (PF), Hydrozone Area (HA), % of Total Area, Type of Irrigation, Efficiency (IE), PFxHA/IE, SUM 832

ETWU= 44.2 x 0.62 x 832 = 22,805 gallons per year

Estimated Total Adjustment Factor Calculations

Table: Total ETAF (PF/IE) x Area = 832, Total Area = 4447

Table: Average ETAF* = 0.19

*Average ETAF must be less than 0.55 for residential *Average ETAF must be less than 0.45 for non-residential

Plant Factor Typical Ranges (PF)

To calculate plant factor see "Guide to Estimating Irrigation Water Needs of Landscape Plantings in California and WUCOLS www.cesuwater.ca.gov/docs/wucols09.pdf

Table: Plant Factor Formula - Plants With a Factor over 1.0 are prohibited. Low Water Use (0.0-0.3), Medium Water Use (0.4-0.6), High Water Use (0.7-1.0)

Irrigation Efficiency Ranges (IE)

Irrigation efficiency will vary by soil type, weather conditions, design, head type, construction quality, maintenance, etc. Please estimate irrigation efficiency somewhere in the ranges listed below.

Table: Irrigation Efficiency Ranges (IE). Stream Rotor Heads (71-75%), Spray Heads (71-75%), Bubblers (75-85%), Drip Emitters (80-90%), Subsurface Irrigation (80-90%)

PAGE 1 of 1

Monthly Water Use Calculation

This spreadsheet is optional, but will help you determine your run times for each valve on a monthly basis. The Landscape Schedule must determine, the number, frequency and duration of run times during each month.

Calculations are based on information inputted on Water Efficient Worksheet - Pages 1 and 2.

Table: Run Times in Minutes Per Month. Columns: Hydrozone, Precipitation Rate, months (Jan-Dec), Annual Run Time.

SCHEDULE - CONTROLLER A (ESTABLISHMENT PERIOD)

Table: SCHEDULE - CONTROLLER A (ESTABLISHMENT PERIOD). Columns: STA, RUN TIME, JAN, FEB, MAR, APR, MAY, JUN, JUL, AUG, SEP, OCT, NOV, DEC, ANNUAL RUN TIME.

TOTAL MINUTES = 2,608

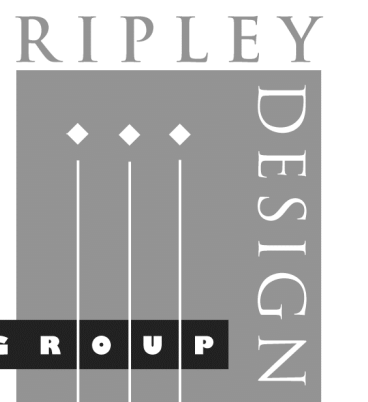
NOTE: RUN TIME EQUALS TOTAL MINUTES PER DAY OF IRRIGATION, STATIONS MAY HAVE MULTIPLE CYCLES NOTE: THE NUMBER IN THE MONTH COLUMN EQUALS TOTAL DAYS OF IRRIGATION PER MONTH

SCHEDULE - CONTROLLER A (ESTABLISHED SHRUBS)

Table: SCHEDULE - CONTROLLER A (ESTABLISHED SHRUBS). Columns: STA, RUN TIME, JAN, FEB, MAR, APR, MAY, JUN, JUL, AUG, SEP, OCT, NOV, DEC, ANNUAL RUN TIME.

TOTAL MINUTES = 1,304

NOTE: RUN TIME EQUALS TOTAL MINUTES PER DAY OF IRRIGATION, STATIONS MAY HAVE MULTIPLE CYCLES NOTE: THE NUMBER IN THE MONTH COLUMN EQUALS TOTAL DAYS OF IRRIGATION PER MONTH



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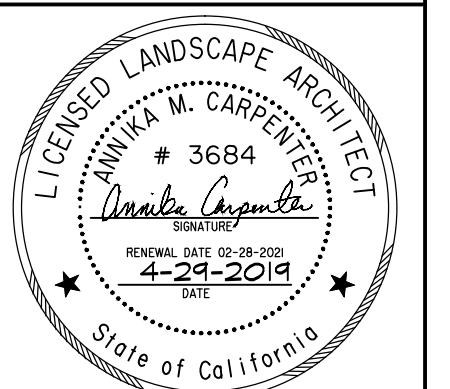
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PROJECT:

EDEN VILLAGE

HAYWARD, CALIFORNIA

TREE MITIGATION PLAN LOTS 14-18



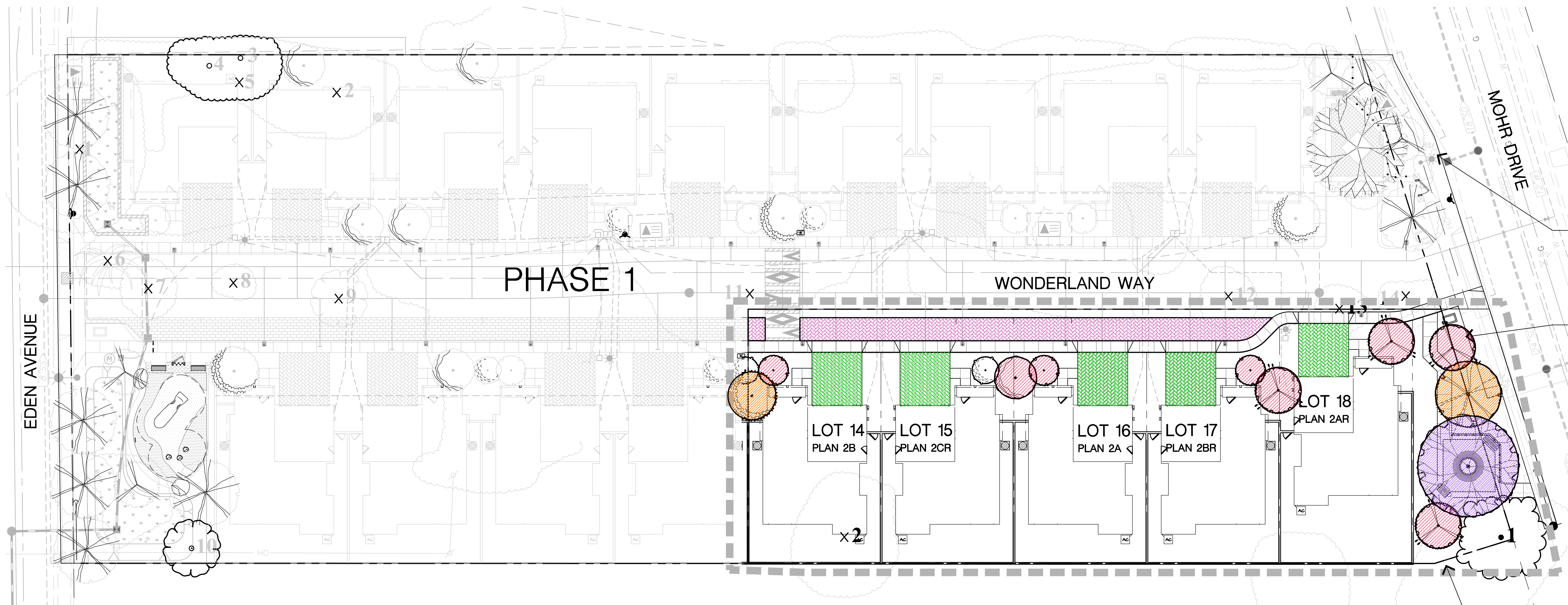
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REVISIONS:

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OF 9 SHEETS



POINT OF CONNECTION:
1" IRRIGATION WATER METER, PER EDEN VILLAGE PHASE I

PROPOSED TREE, 48" BOX, TYPICAL

PROPOSED TREE, 36" BOX, TYPICAL

LEGEND

PERMEABLE PAVING:
DRIVEWAYS : to be Hydro-Flo Technology Pavers or equal
Area = 1,602 sf

SPECIAL PAVING: to be Hydro-Flo Technology Pavers or equal
Area = 1,200 sf

BIORETENTION AREA:
PER CIVIL'S PLAN
Area = 825 sf

TREE UPGRADES:

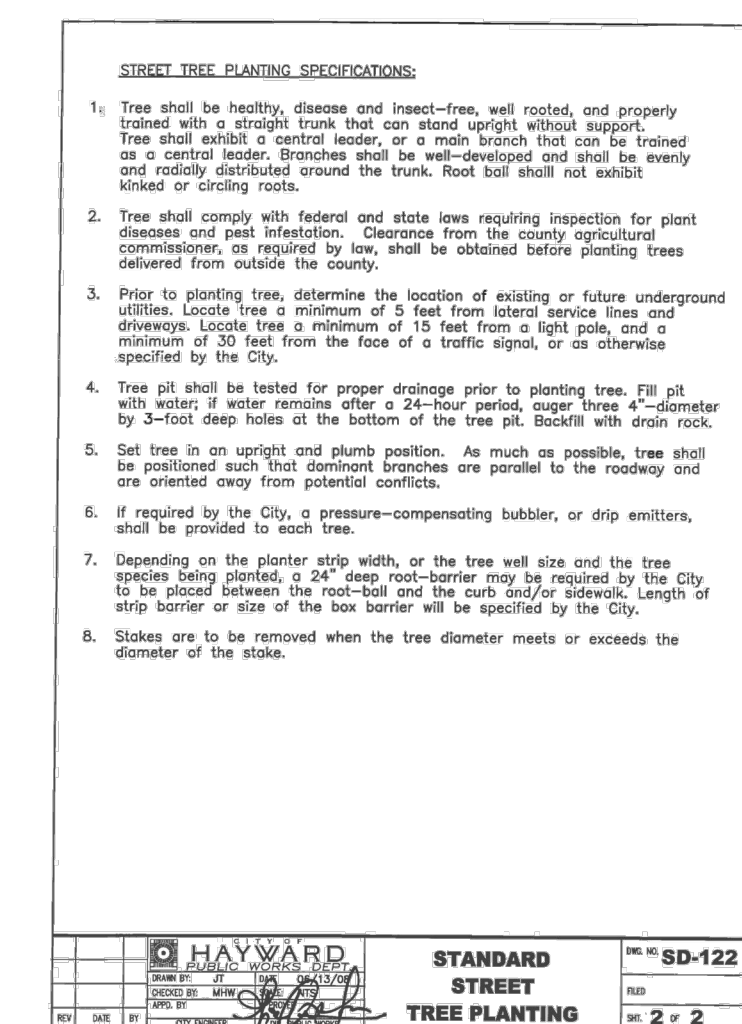
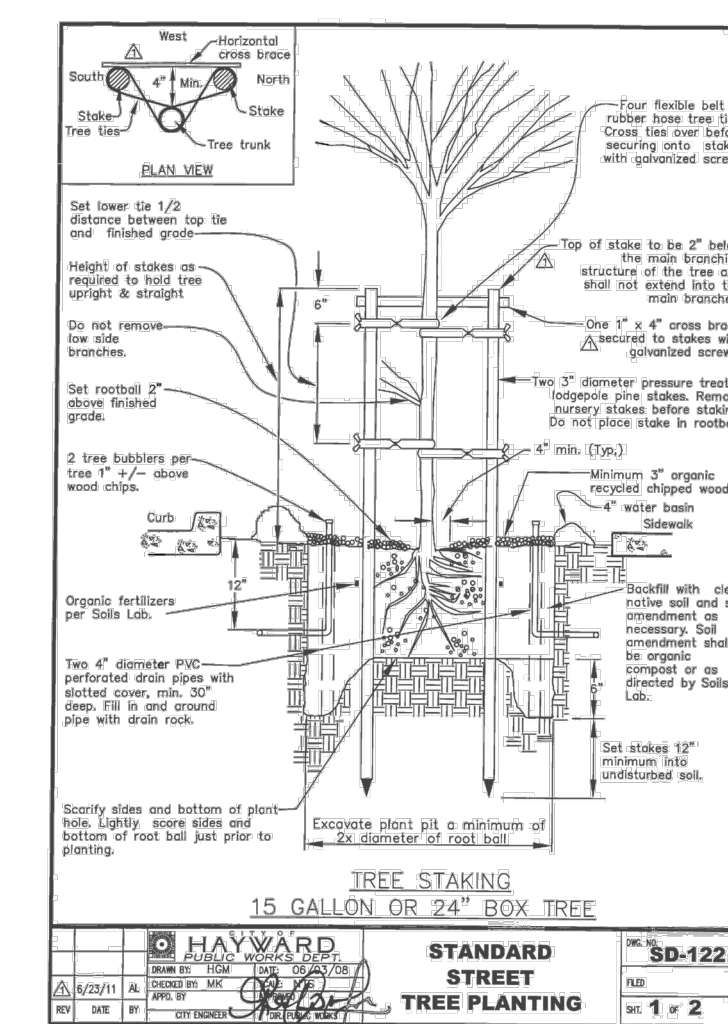
PROPOSED TREE - 36" BOX

PROPOSED TREE - 48" BOX

PROPOSED TREE - 72" BOX

PRELIMINARY TREE PALETTE

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
EXISTING TREES TO BE REMOVED			
X	TREES		
CERCIS OCCIDENTALIS	WESTERN REDBUD	36" BOX	LOW
GINKGO 'PRINCETON SENTRY'	MAIDENHAIR TREE	36" BOX	MEDIUM
LAGERSTROMIA 'ACOMA'	CRAPE MYRTLE	24" BOX	LOW
MELALEUCA LINARIFOLIA	FLAXLEAF PAPERBARK	36" BOX	LOW
NYSSA SYLVATICA	BLACK GUM	48" BOX	LOW
PISTACIA CHINENSIS	CHINESE PISTACHE	48" BOX	LOW
QUERCUS AGRIFOLIA	COAST LIVE OAK	72" BOX	LOW

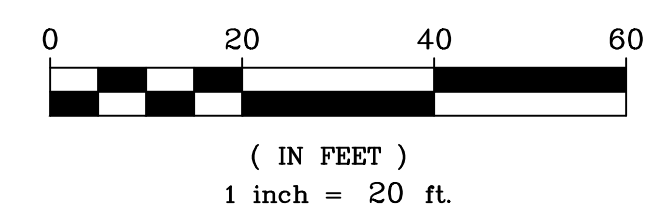


A STANDARD STREET TREE PLANTING



PHASE ONE: LOT 1-13
PHASE TWO: LOT 14-18

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

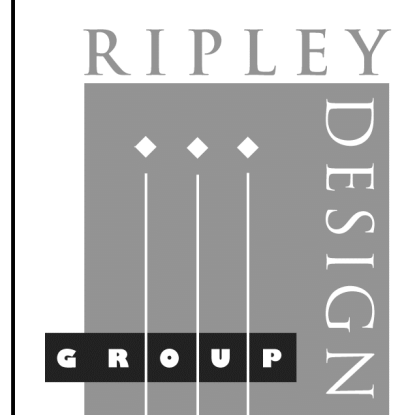
TREE NO.	SPECIES	COMMON NAME	SIZE	SYMBOL	PROPOSED ACTION	VALUE
1	ROBINIA PSEUDOACACIA	LOCUST	63" DIA.	O	PRESERVE	\$2,050.00
2	PRUNUS DULCIS	WILLOW	40" DIA.	X	REMOVE	\$2,050.00

TOTAL REMOVED: \$2,050.00

NOTES:
ALL 24" BOX TREES AND SMALLER TO BE STAKED PER CITY STANDARD, DETAIL A, THIS SHEET.
ALL 36" BOX TREES AND LARGER TO BE STAKED PER DETAIL B, SHEET LP2.

TREE MITIGATION MEASURES CHART

COST OF MATERIALS- TREE UPGRADES	15 Gallon	24" BOX	36" BOX	48" BOX	60" BOX	COST OF UPGRADE	PROPOSED QTY	COST OF IMPROVEMENT
Upsize 15 Gallon Trees to 36" Box Trees	\$70.00		\$500.00			\$430.00	8	\$3,440.00
Upsize 24" Box Trees to 48" Box Trees		\$150.00		\$1,800.00		\$1,650.00	2	\$3,300.00
Upsize 15G Trees to 60" Box Trees	\$70.00				\$4,000.00	\$3,930.00	1	\$3,930.00
TOTAL MATERIAL UPGRADES=								\$10,670.00
TOTAL PROPOSED MITIGATION COSTS = \$ 10,670.00								



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PROJECT:
EDEN VILLAGE
 HAYWARD,
 CALIFORNIA

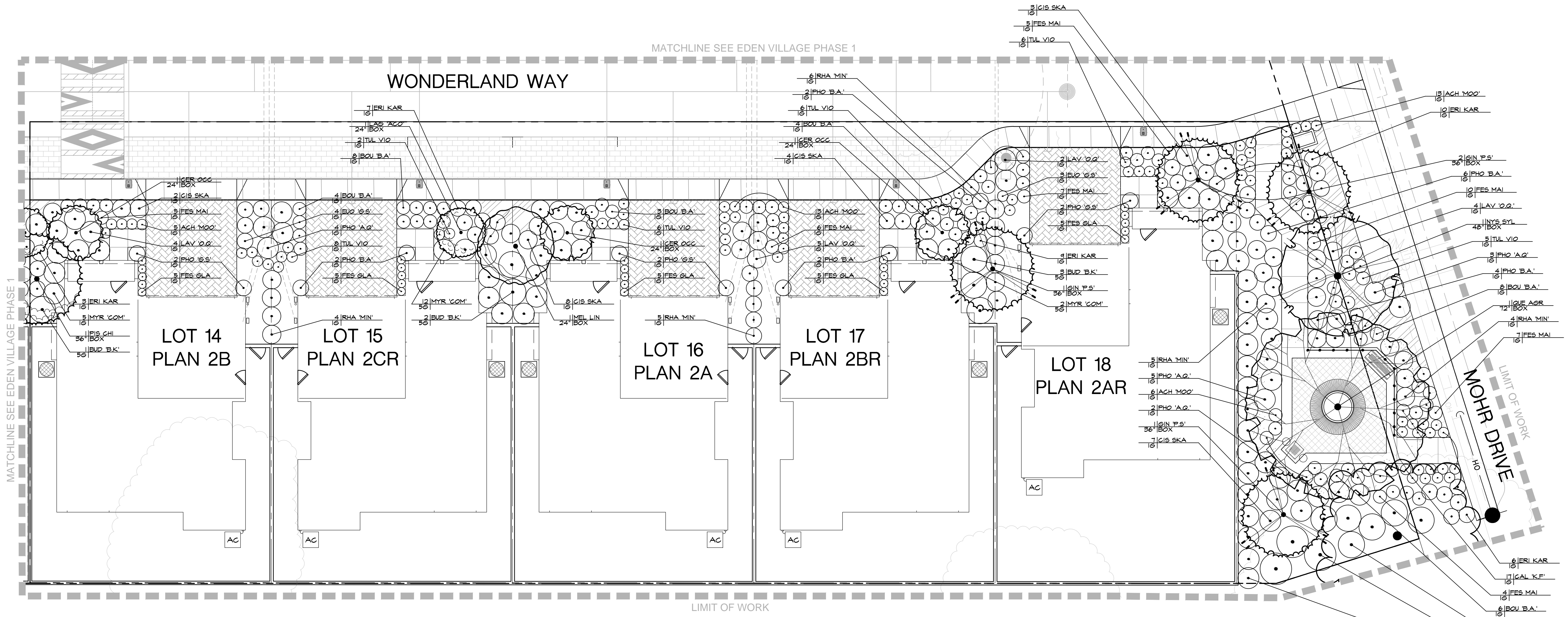
PLANTING PLAN LOTS 14-18



PROJECT #:
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 OF 9 SHEETS

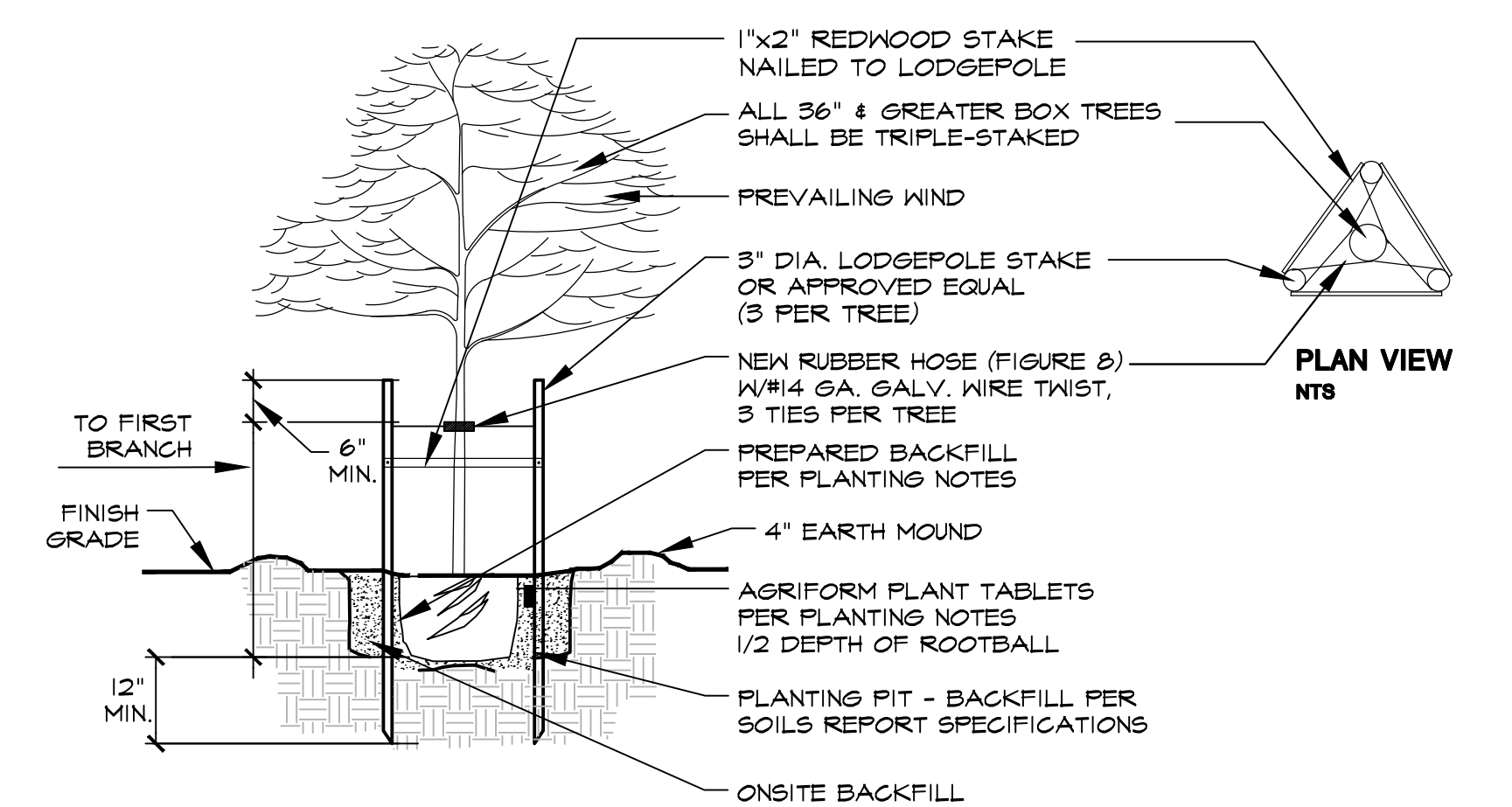
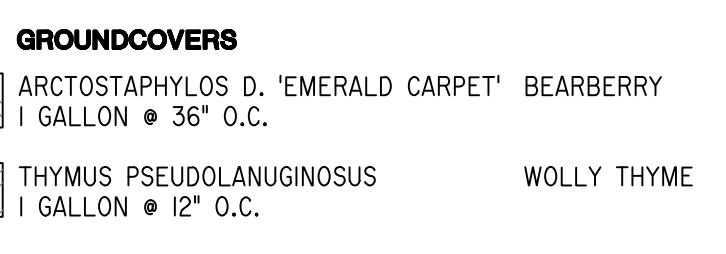


PLANTING NOTES

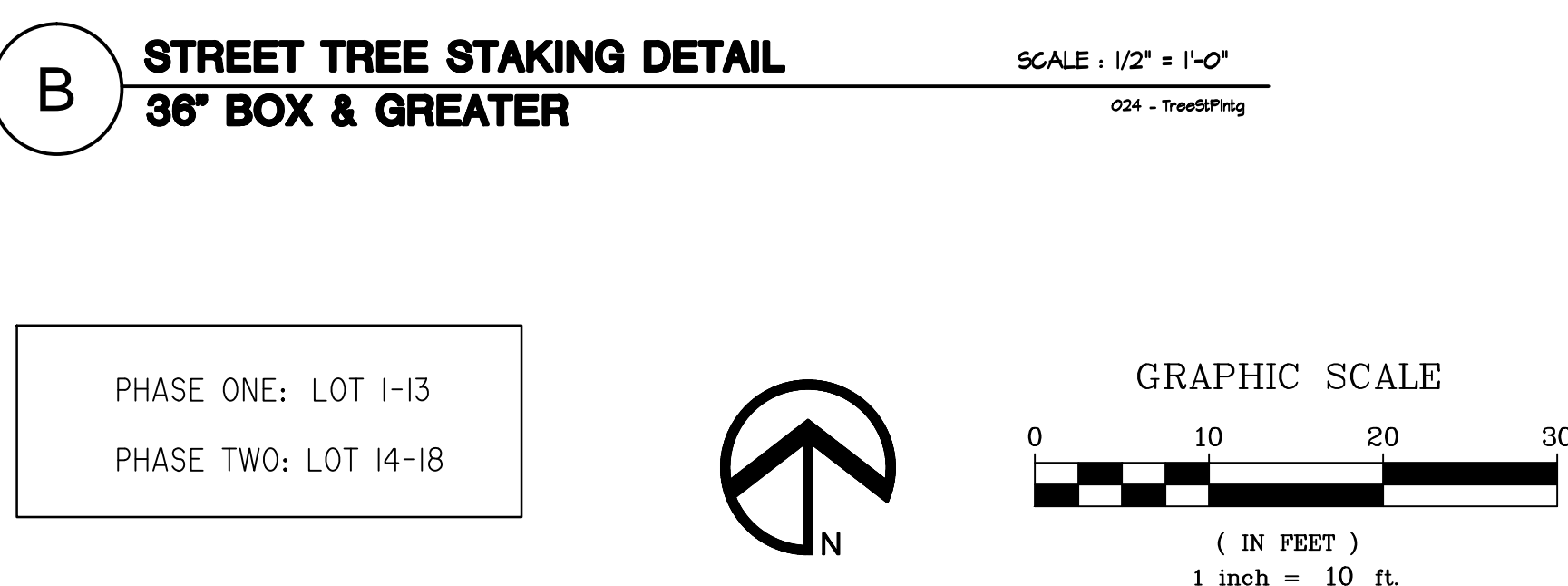
- THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
- THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL FORMS OF PLANT MATERIALS AND SPECIFIED INSTALLATIONS, INCLUDING FLATTED GROUND COVER.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND STAKING ALL SEWER, UTILITY AND WATER MAIN LINES PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COSTS INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES. CALL COMMON GROUND ALLIANCE (CGA) AT 811 TO LOCATE AND MARK UTILITIES PRIOR TO EXCAVATION.
- SOIL PREPARATIONS: GROUND COVER AND TURF AREAS SHALL BE CROSSRIPPED OR TILLED TO A DEPTH OF NINE (9) INCHES. THE AMENDMENT SHALL BE UNIFORMLY BROADCAST PER 1,000 S.F. AND THOROUGHLY INCORPORATED TO A DEPTH OF 9" BY MEANS OF ROTOTILLER OR EQUAL. THE FOLLOWING FORMULA SHALL BE USED FOR BIDDING PURPOSES ONLY:
 6 CU.YDS. COMPOST
 35 LBS. 6-20-20 COMMERCIAL FERTILIZER
 50 LBS. IRON SULFATE (20% Fe)
- BACKFILL FOR TREES AND SHRUBS: THE PLANTING PITS FOR TREES AND SHRUBS SHALL BE EXCAVATED TO TWICE THE DIAMETER AND TO THE DEPTH OF THE ROOTBALL. ON SITE SOIL SHALL BE USED FOR BACKFILL PURPOSES. THE FOLLOWING MIX SHALL BE USED FOR BIDDING PURPOSES ONLY:
 6 PARTS BY VOLUME ON SITE SOIL
 4 PARTS BY VOLUME ORGANIC AMENDMENT PER ABOVE
 2LB./CU.YD. OF MIX 6-20-20
 2LB./CU.YD. OF MIX IRON SULFATE PER CU.YD. OF MIX
- ALL SOIL AMENDMENTS SPECIFIED ARE FOR BIDDING PURPOSES ONLY. ONCE SITE HAS BEEN ROUGH GRADED, CONTRACTOR SHALL OBTAIN A SOILS REPORT FROM WAIPOINT ANALYTICAL, CALIFORNIA, INC. (408-727-0350) FOR SOIL AMENDMENTS. CONTRACTOR TO SUBMIT ONE COPY OF THE SOILS REPORT TO THE CITY, ONE COPY TO THE OWNER, AND ONE COPY TO THE LANDSCAPE ARCHITECT FOR USE IN PROVIDING UPDATED IRRIGATION SCHEDULING RECOMMENDATIONS TO BE INCLUDED PRIOR TO APPROVAL OF CERTIFICATE OF COMPLIANCE. CONTRACTOR SHALL FOLLOW THE SOIL PREPARATION AND BACKFILL MIX PER THE REPORT.
- ALL 5 GALLON SHRUBS SHALL RECEIVE TWO (2) 21 GRAM AGRIFORM PLANTING TABLETS, ALL 15 GALLON TREES SHALL RECEIVE FOUR (4) 21 GRAM AGRIFORM PLANTING TABLETS AND ALL BOX TREES SHALL RECEIVE EIGHT (8) 21 GRAM AGRIFORM TABLETS.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL BE MULCHED TO A MINIMUM DEPTH OF 3". MULCH TO BE RECYCLED WOOD WASTE, COLOR TO BE BLACK, 1/2" TO 1" DIAMETER FROM WASTE MANAGEMENT, INC., SACRAMENTO, (916-452-0142).
- CONTRACTOR SHALL SPRAY ALL EXISTING WEEDS IN PLANTING AREAS PRIOR TO RIPPING AND APPLY PRE-EMERGENT TO ALL SHRUB AREAS AFTER PLANTING.
- CONTRACTORS SHALL APPLY FERTILIZER AND PRE-EMERGENT AT END OF MAINTENANCE PERIOD.
- LANDSCAPE ARCHITECT AND/OR OWNER RESERVES THE RIGHT TO SELECT OR REJECT ANY OR ALL PLANT MATERIAL.
- FOR 24" BOX TREES OR SMALLER REFER TO TREE PLANTING/STAKING DETAIL A, SHEET LPL. FOR 36" BOX TREES OR LARGER REFER TO TREE PLANTING/STAKING DETAIL B, SHEET LP2.
- THIS PLAN COMPLIES WITH THE CRITERIA OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIES THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

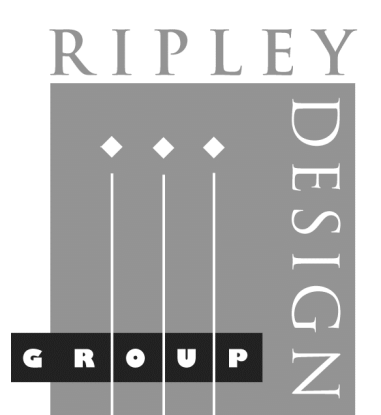
PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING	MATURE (HEIGHT/WIDTH)	QUANTITY
TREES							
CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD	36" BOX	LOW	18	18'/18"	3
GIN 'P.S'	GINKGO BILOBA 'PRINCETON SENTRY'	MAIDENHAIR TREE	36" BOX	MEDIUM	30'	50'/30"	4
LAG 'ACO'	LAGERSTROMIA 'ACONIA'	CRAPE MYRTLE	24" BOX	LOW	8'	8'/8"	1
MEL LIN	MELALEUCA LINARIFOLIA	FLAXLEAF PAPERBARK	36" BOX	LOW	25'	30'/25"	1
NYS SYL	NYSSA SYLVATICA	BLACK GUM	48" BOX	LOW	30'	50'/30"	1
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTCHE	48" BOX	LOW	25'	25'/25"	1
QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	72" BOX	LOW	30'	30'/30"	1
SHRUBS							
ACH 'MOO'	ACHILLEA 'MOONSHINE'	YARROW	1 GAL	LOW	1'	2'/1"	37
BOU 'B.A'	BOUTELOUA G. 'BLONDE AMBITION'	GRAMA GRASS	1 GAL	LOW	2'	2'/2"	35
BUD 'B.K'	Buddleia Davidii 'BLACK KNIGHT'	PURPLE BUTTERFLY BUSH	5 GAL	LOW	6'	8'/6"	9
CAL 'K.F'	CALAMAGROSTIS x A. 'KARL FOERESTER'	FEATHER REED GRASS	1 GAL	LOW	2'	7'/2"	17
CIS SKA	CISTUS SKANBERGII	PINK CORAL ROCKROSE	1 GAL	LOW	3'	3'/3"	24
ERI KAR	ERIGERON KARWINSKIANUS	SANTA BARBARA DAISY	1 GAL	LOW	3'	20'/3"	35
EUO 'G.S'	EUONYMUS J. 'GREEN SPIRES'	GREEN SPIRES	1 GAL	LOW	2'	6'/2"	6
FES GLA	FESTUCA GLAUCA	BLUE FESCUE	1 GAL	LOW	10"	10"/10"	25
FES MAI	FESTUCA MAIREI	MAIRE'S FESCUE	1 GAL	LOW	3'	3'/3"	44
LAV 'O.O'	LAVANDULA STOECHES 'OTTO QUAST'	SPANISH LAVANDER	1 GAL	LOW	3'	3'/3"	15
MYR 'COM'	MYRTUS C. 'COMPACTA'	DWARF MYRTLE	5 GAL	LOW	4'	4'/4"	47
PHO 'A.Q'	PHORMIUM 'APRICOT QUEEN'	NEW ZEALAND FLAX	1 GAL	LOW	4'	4'/4"	14
PHO 'B.A'	PHORMIUM T. 'BLACK ADDER'	NEW ZEALAND FLAX	1 GAL	LOW	4'	2.5'/4"	16
PHO 'G.S'	PHORMIUM T. 'GOLDEN SWORD'	NEW ZEALAND FLAX	1 GAL	LOW	4'	4'/4"	6
RHA 'MIN'	RHAPHOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	1 GAL	LOW	3'	6'/3"	24
TUL VIO	TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GAL	LOW	1'	2'/1"	33
GROUND COVERS							
(diagonal lines)	ARCTOSTAPHYLOS D. 'EMERALD CARPET'	BEARBERRY	1 GALLON @ 36" O.C.	LOW	38	SF	
(wavy lines)	THYMUS PSEUDOLANUGINOSUS	WOLLY THYME	1 GALLON @ 12" O.C.	LOW	148	SF	



NOTE:
 1. ROOT CONTROL PLANTER BOXES SHALL BE REQUIRED ON ALL STREET TREES, EWING STANDARD PLANTER, UNIVERSAL PLANTER, ROOT BARRIER UB-24-2 OR EQUAL MAY BE USED CENTERED ON TREE.
 2. ALL HARDWARE TO BE GALVANIZED PER CITY STANDARDS.





RIPLEY DESIGN GROUP, INC.
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PARKWAY
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PLEASANTON, CA
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FAX. 888.589.4937

PROJECT:

EDEN VILLAGE

HAYWARD,
CALIFORNIA

**PARKLET
LANDSCAPE
DIAGRAM**



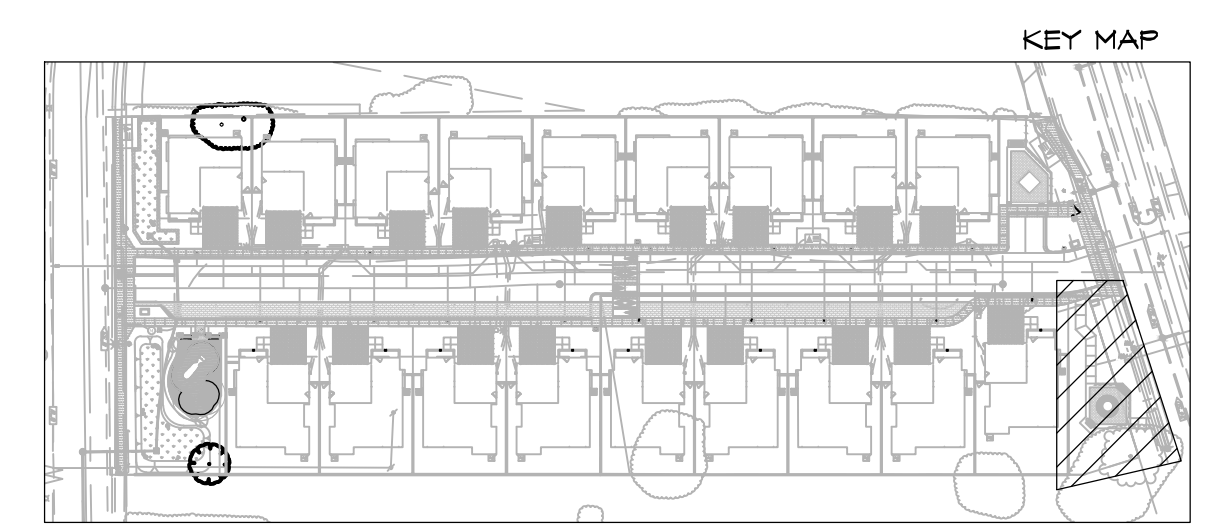
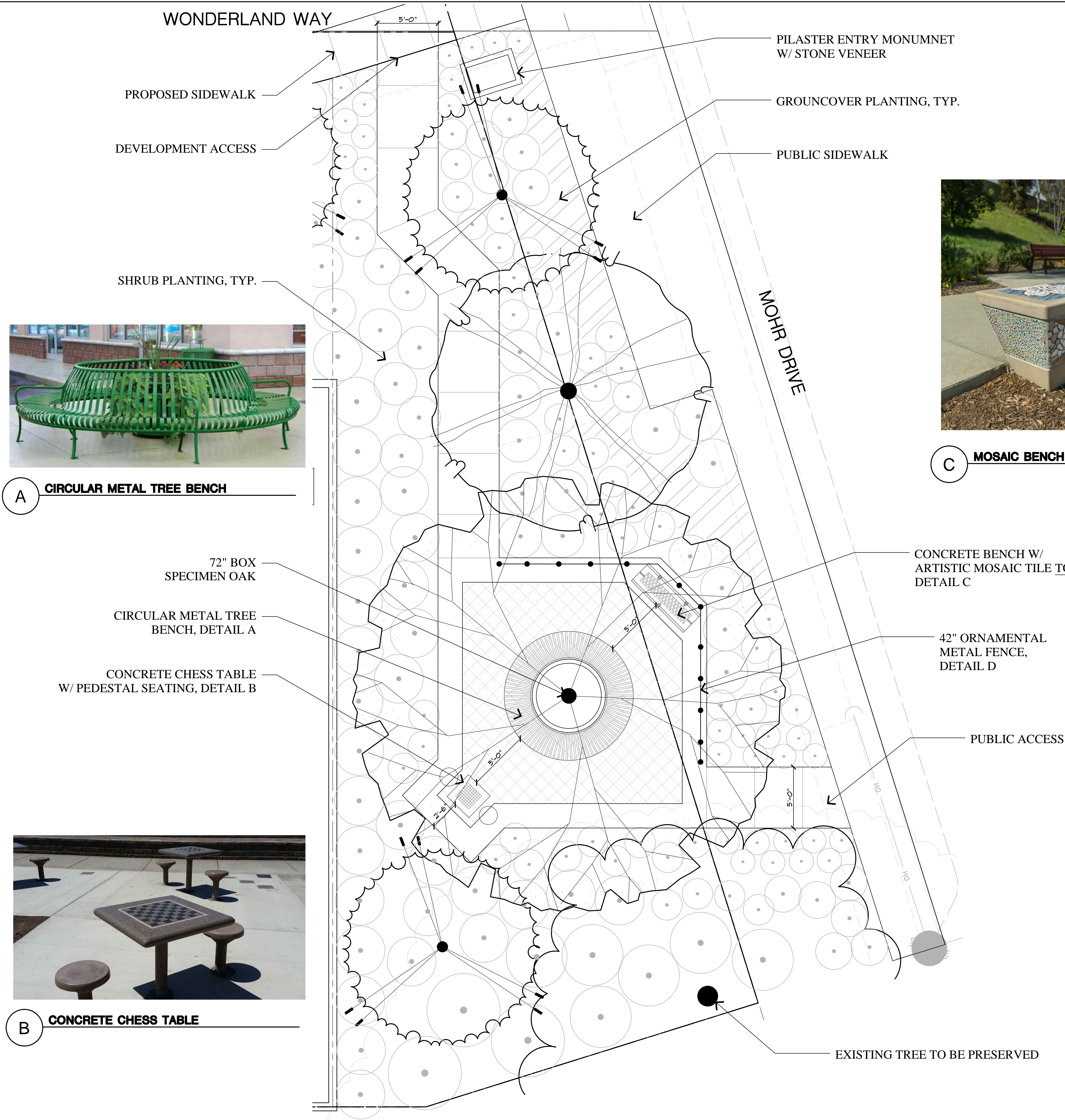
PROJECT #:
DATE: APR. 29, 2019
SCALE: 1/4" = 1'-0"
DRAWN BY: TV
CHECKED BY: AMC

REVISIONS:

SHEET

LD1

OF 9 SHEETS



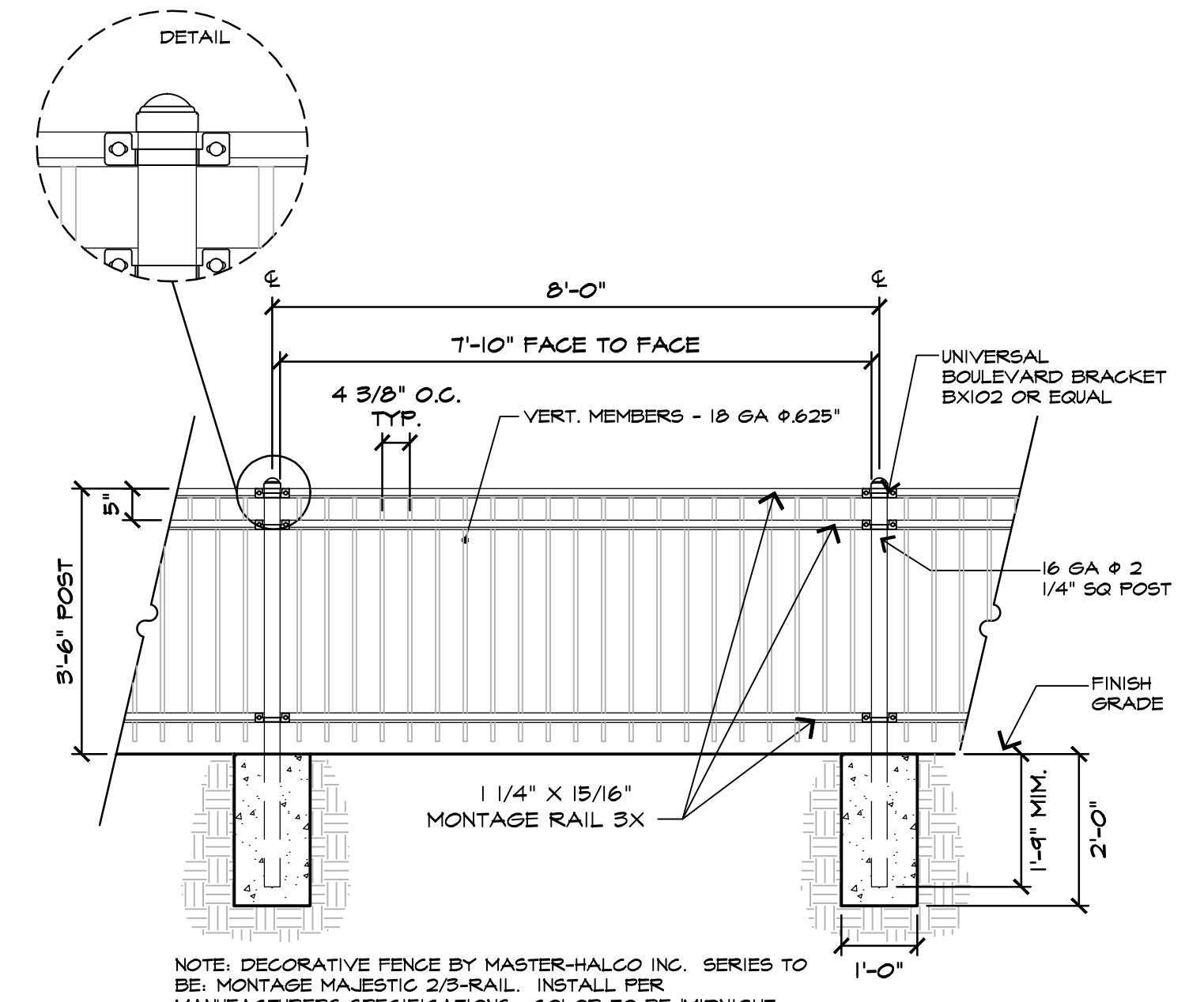
A CIRCULAR METAL TREE BENCH



B CONCRETE CHESS TABLE

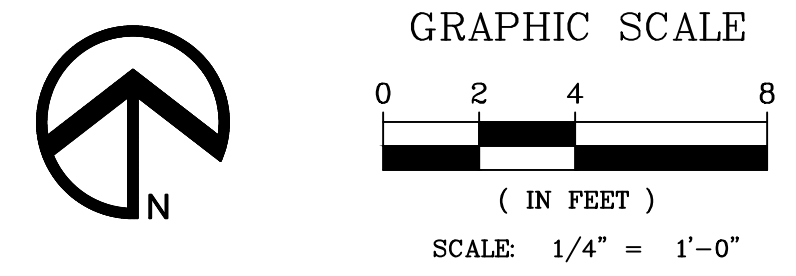


C MOSAIC BENCH



D ORNAMENTAL STEEL FENCE SCALE: 1/2"=1'-0"

NOTE:
THIS IS JUST AN ENLARGEMENT SHEET FOR INFORMATIONAL USE ONLY. ALL THE INFORMATION HEREIN IS ALREADY THOROUGHLY REPRESENTED IN THE LANDSCAPING PLAN SET.





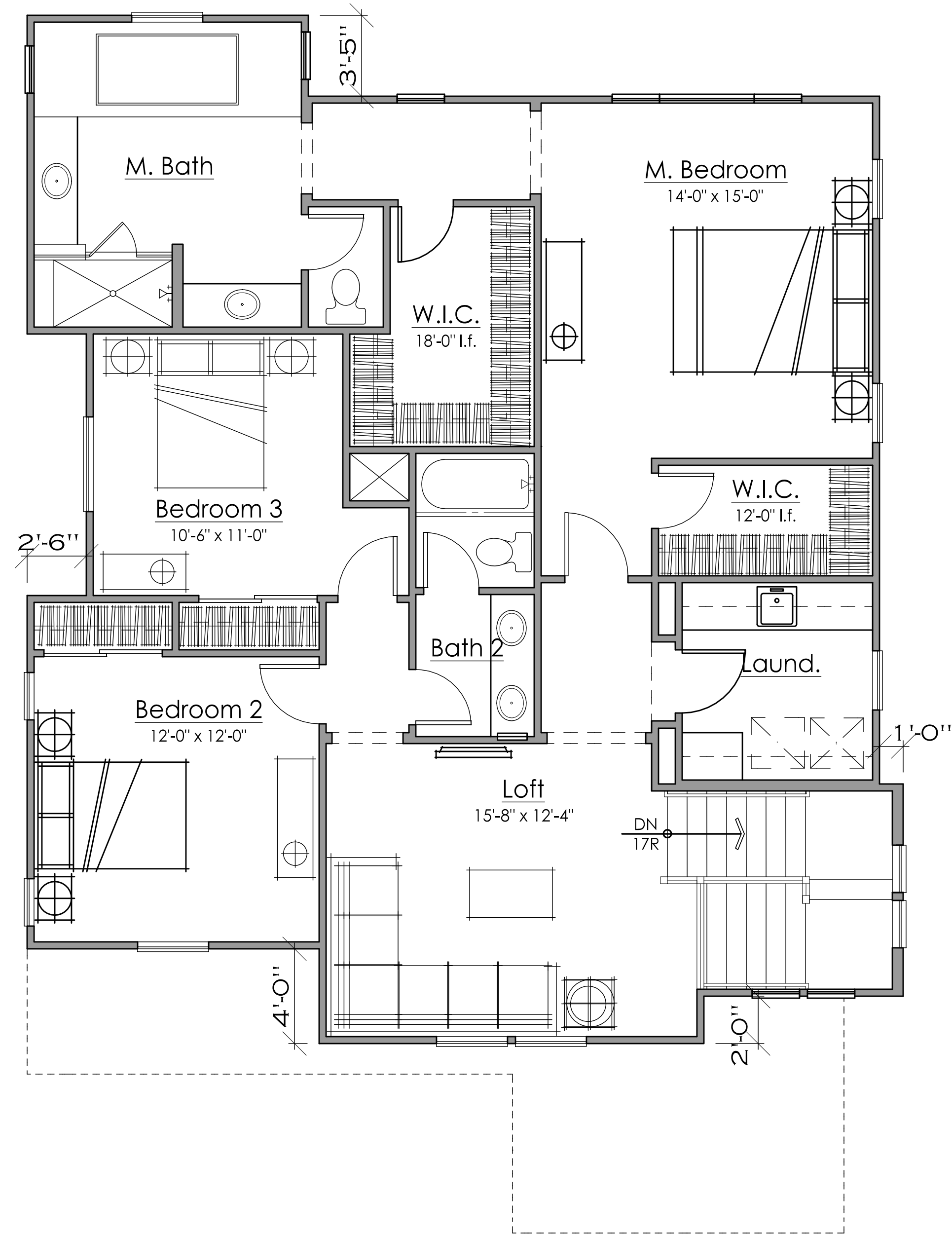
ELEVATION '2A' - Farmhouse



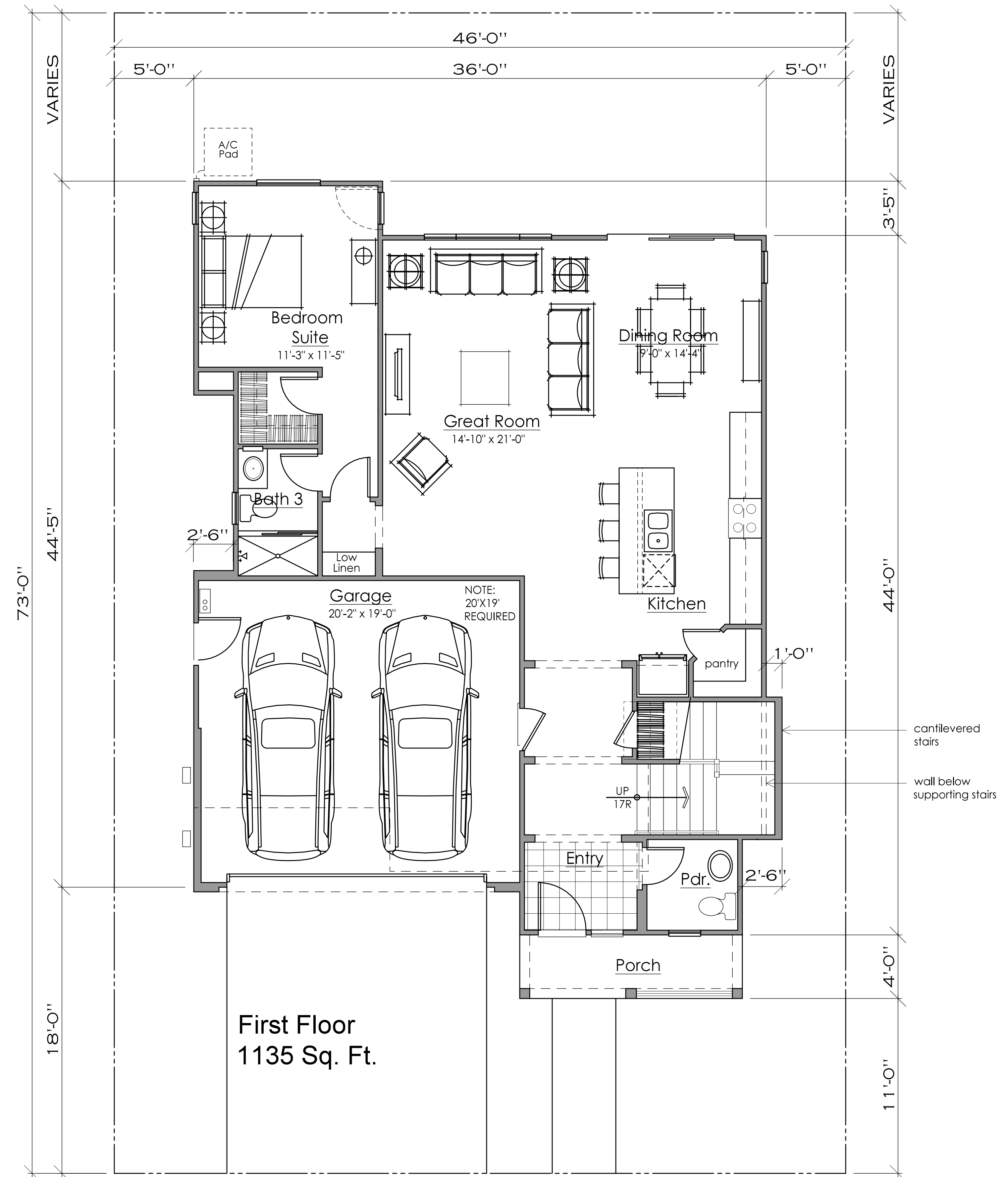
ELEVATION '2B' - Cottage



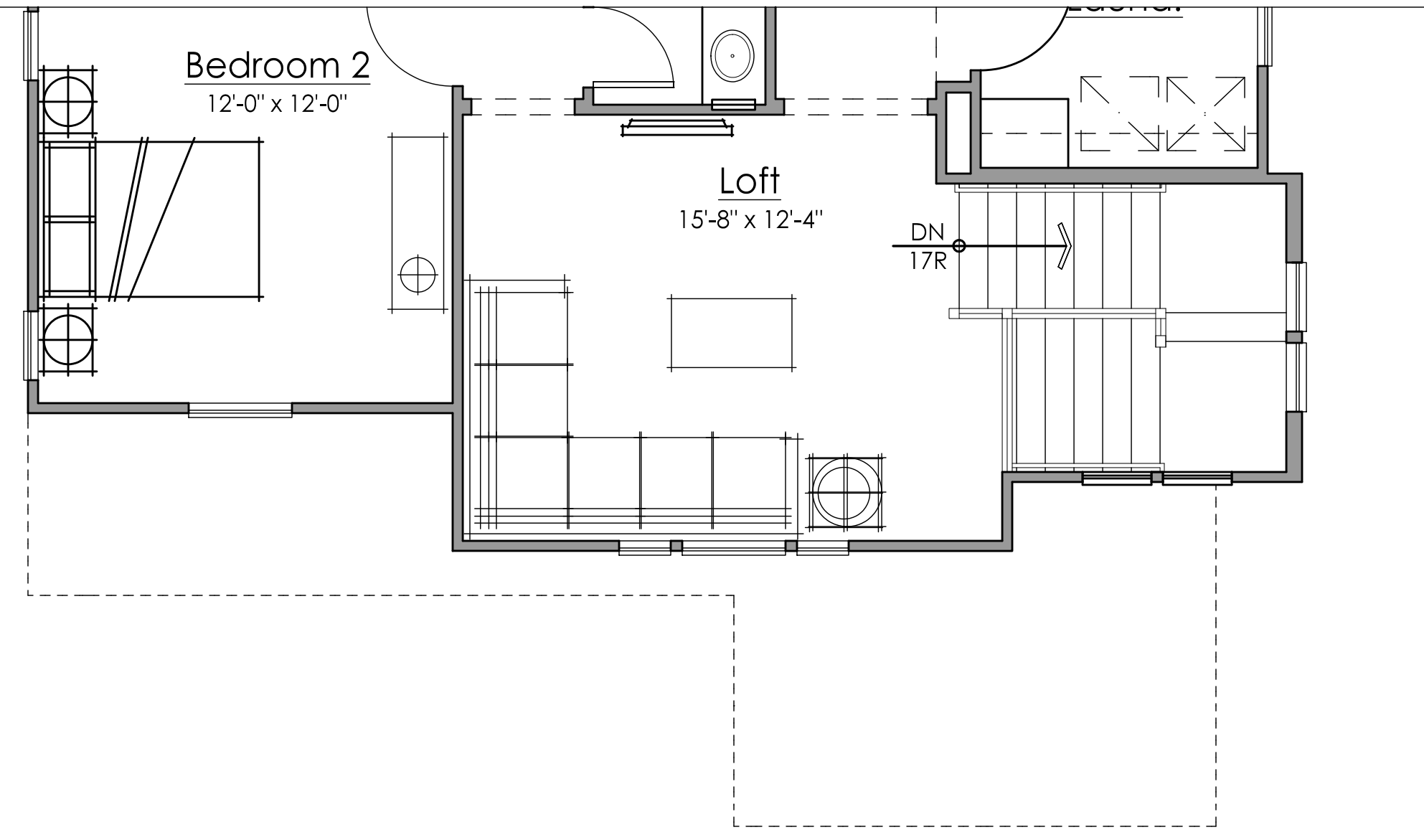
ELEVATION '2C' - Craftsman



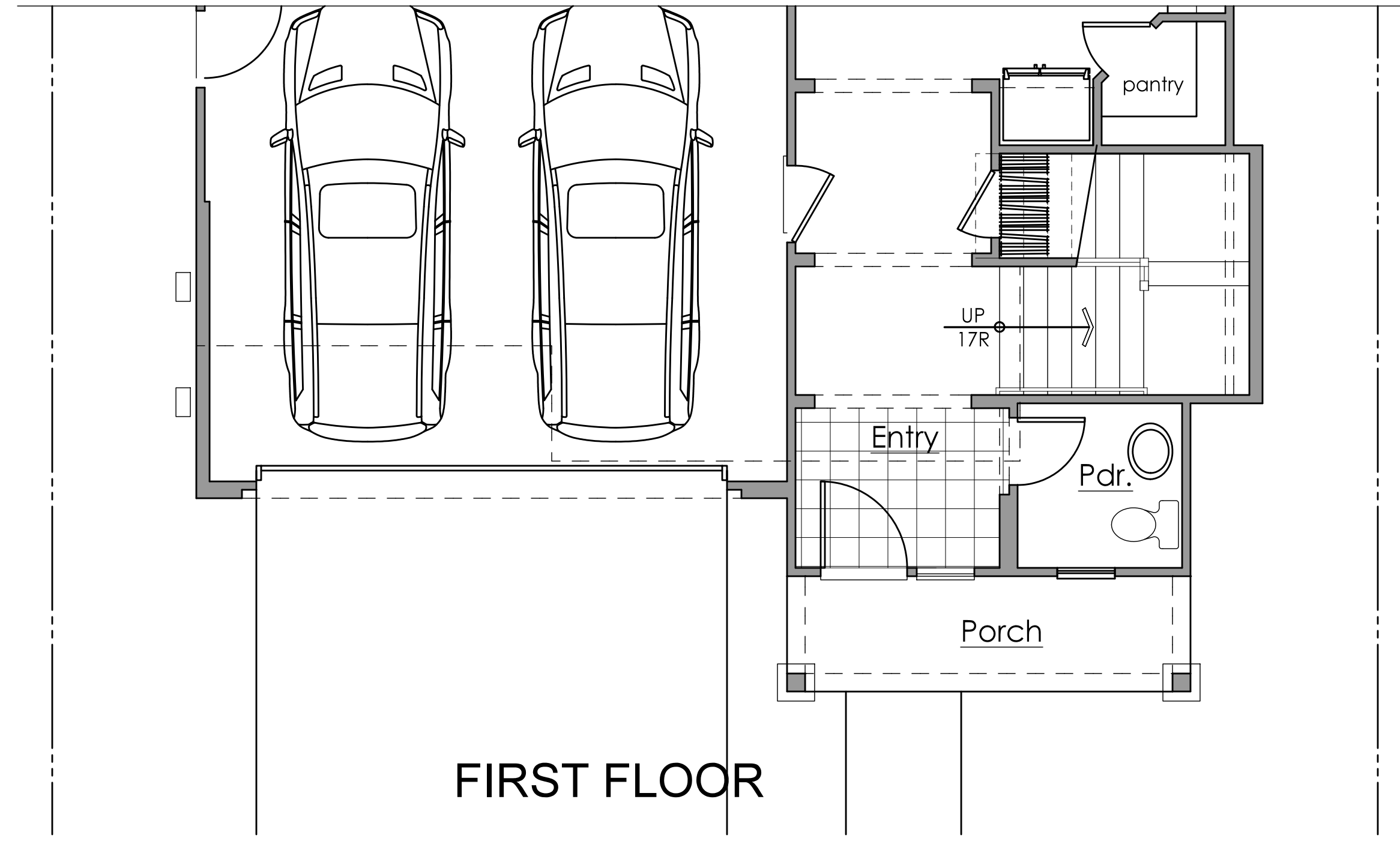
Second Floor
1338 Sq. Ft.



First Floor
1135 Sq. Ft.

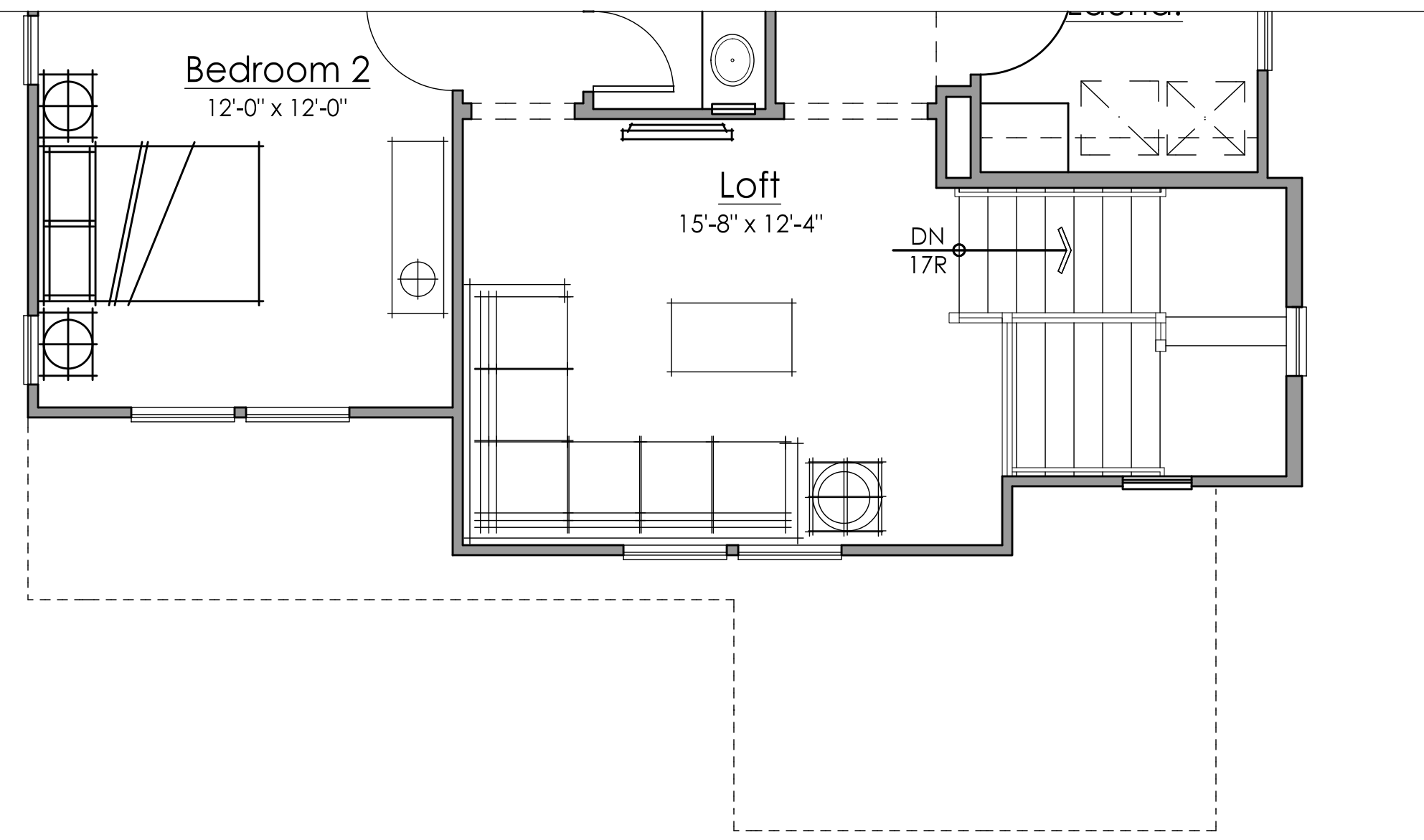


SECOND FLOOR

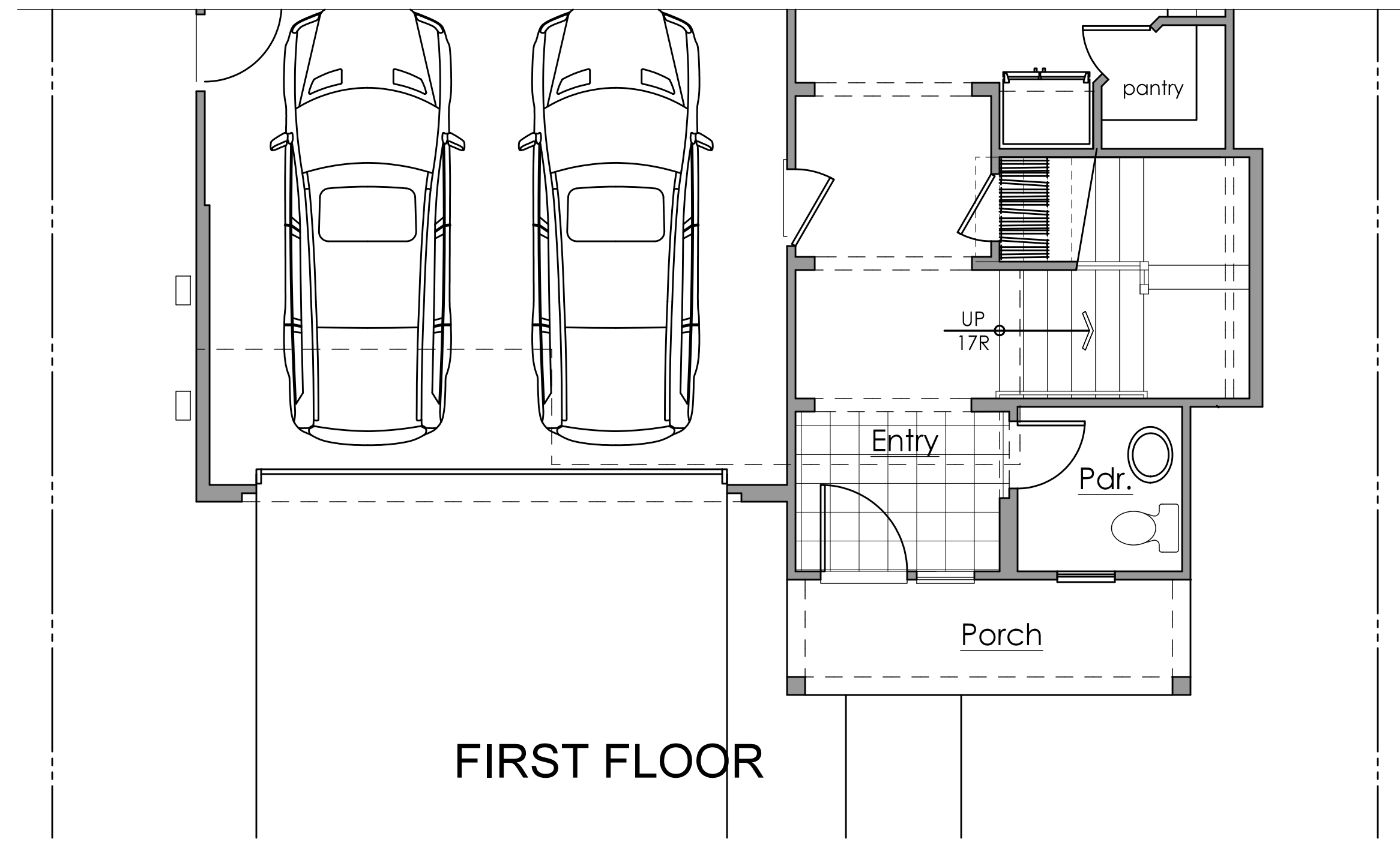


FIRST FLOOR

PLAN 2C ADDENDA



SECOND FLOOR



FIRST FLOOR

PLAN 2B ADDENDA



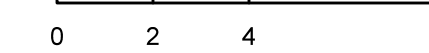
Architecture + Planning
888.456.5849
ktgy.com



EDEN VILLAGE
HAYWARD, CA

#2018-0640

SCHEMATIC DESIGN
09-13-2018



PLAN 2 FLOOR PLAN ADDENDA

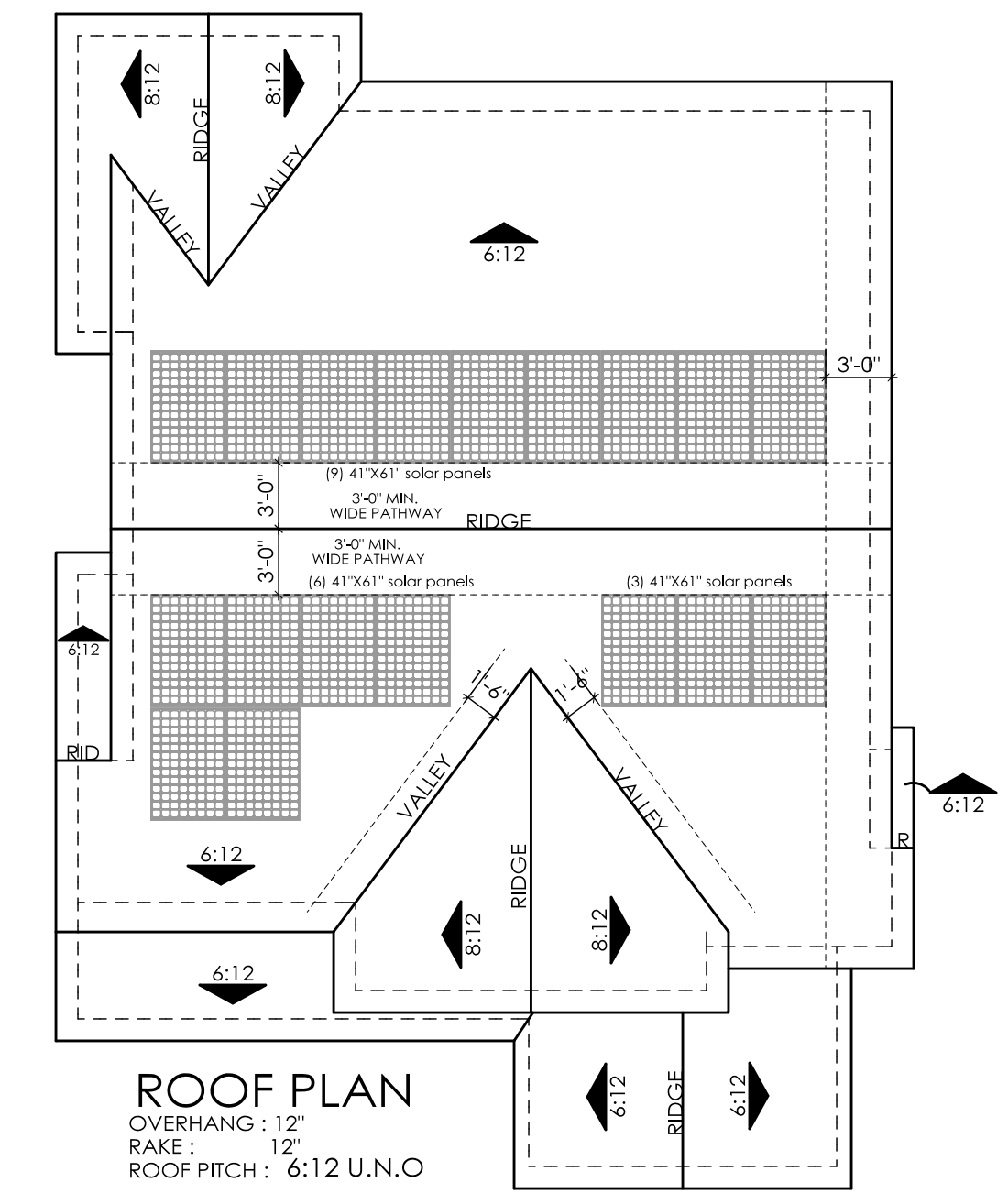
A2.1.1

2A - FARMHOUSE
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Board & Batt Sidng / Lap Siding
 Shutters
 Decorative Railing & Wood Posts
 Enhanced Sills
 1x Stucco Finish Trim



ELEVATION '2A' - Farmhouse

Scale: 1/4" = 1'-0"
 0 2 4 8



Scale: 1/8" = 1'-0"
 0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"
 0 4 8 16



LEFT

Scale: 1/8" = 1'-0"
 0 4 8 16



RIGHT AT ENHANCED LOT 18

Scale: 1/8" = 1'-0"
 0 4 8 16



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 HAYWARD, CA

#2018-0640

SCHEMATIC DESIGN
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0 2 4 8

PLAN 2A EXTERIOR ELEVATIONS

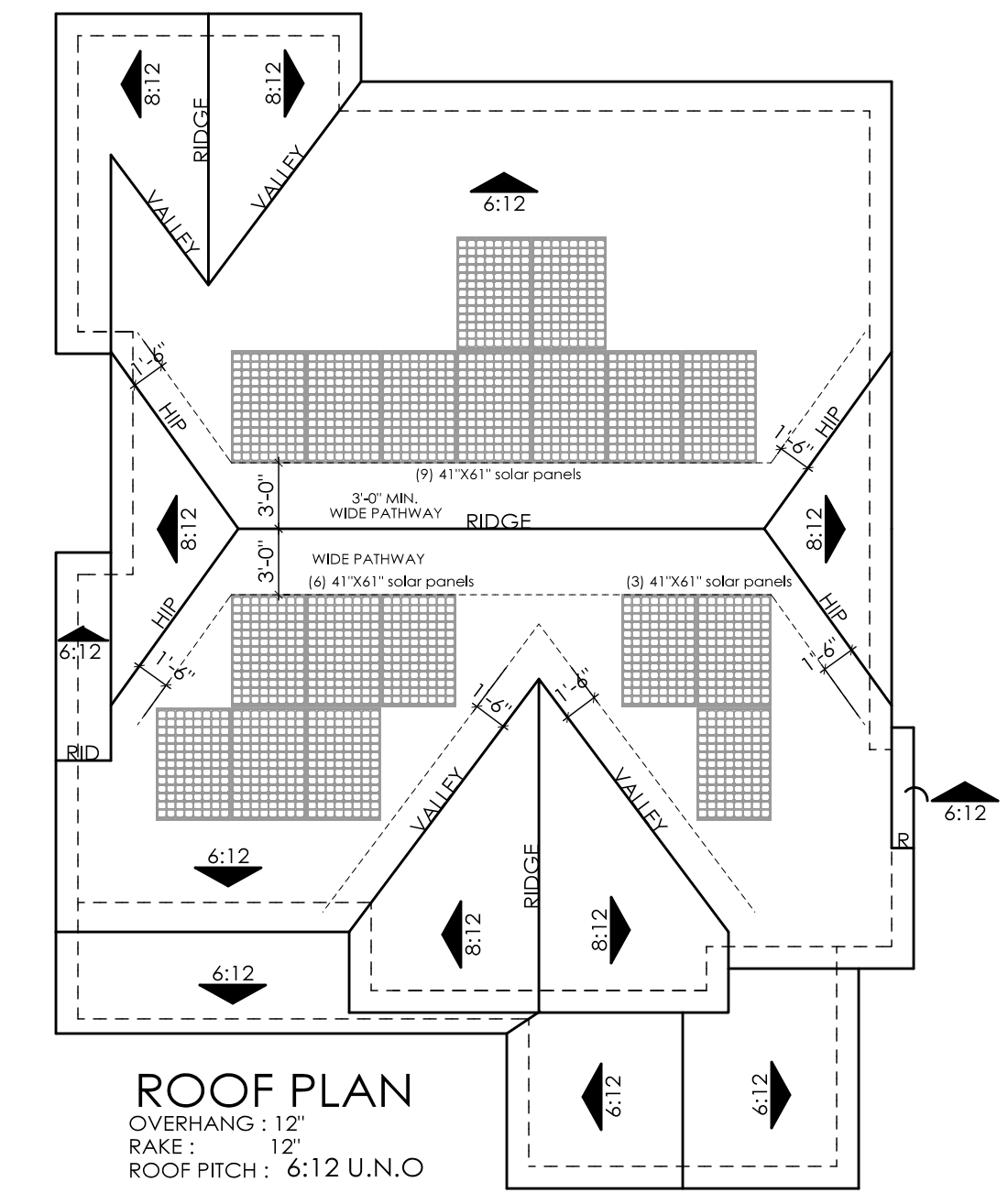
A2.2

- 2B - COTTAGE
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Siding / Shingles
 Shutters
 Decorative Wood Posts & Kickers
 Enhanced Sills
 1x Stucco Finish Trim



ELEVATION '2B' - Cottage

Scale: 1/4" = 1'-0"
 0 2 4 8



ROOF PLAN
 OVERHANG: 12"
 RAKE: 12"
 ROOF PITCH: 6:12 U.N.O

Scale: 1/8" = 1'-0"
 0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"
 0 4 8 16



LEFT

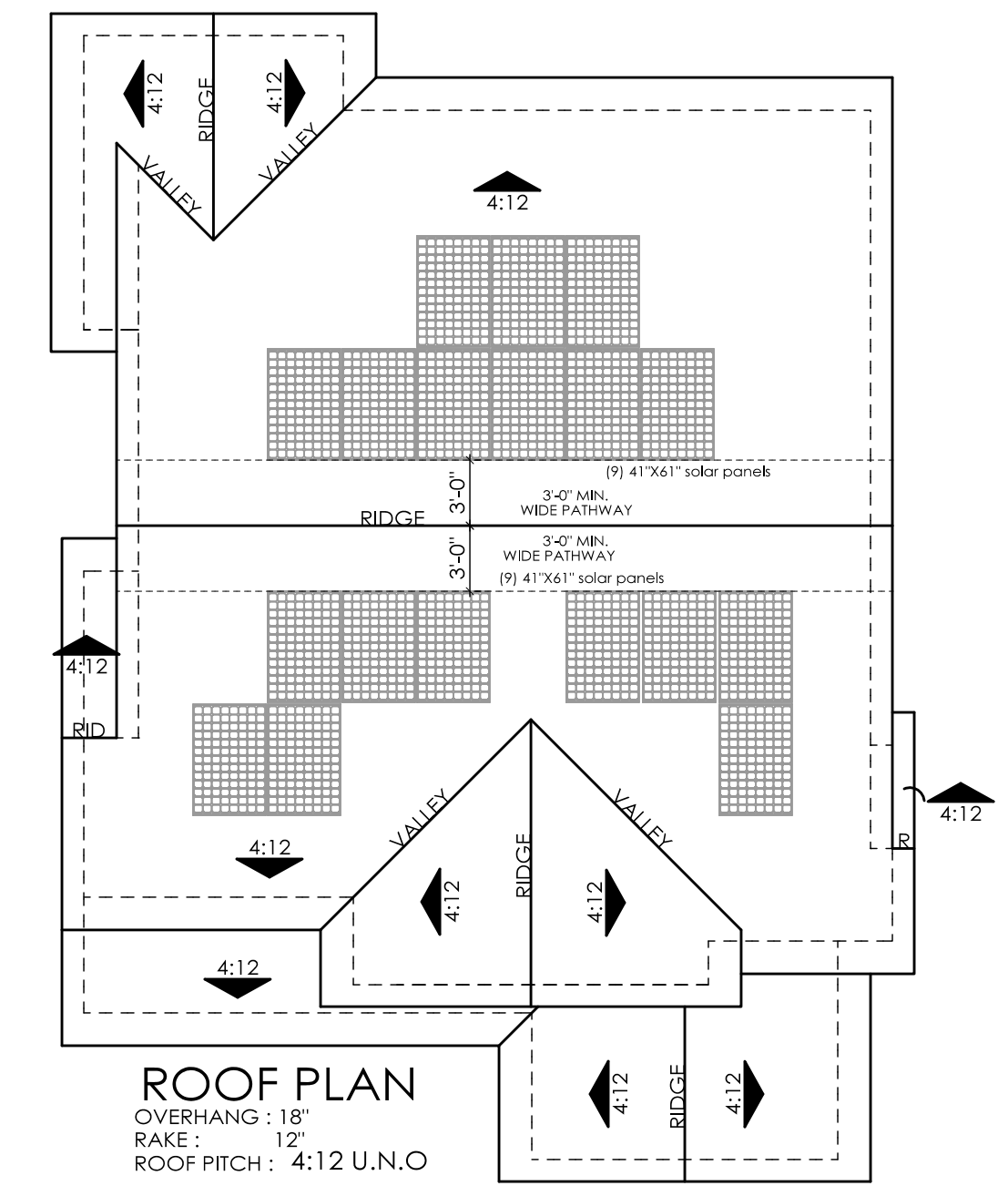
Scale: 1/8" = 1'-0"
 0 4 8 16

- 2C - FRENCH
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Stone Veneer
 Shutters
 Decorative Wood Posts & Kickers
 Enhanced Sills
 1x Stucco Finish Trim



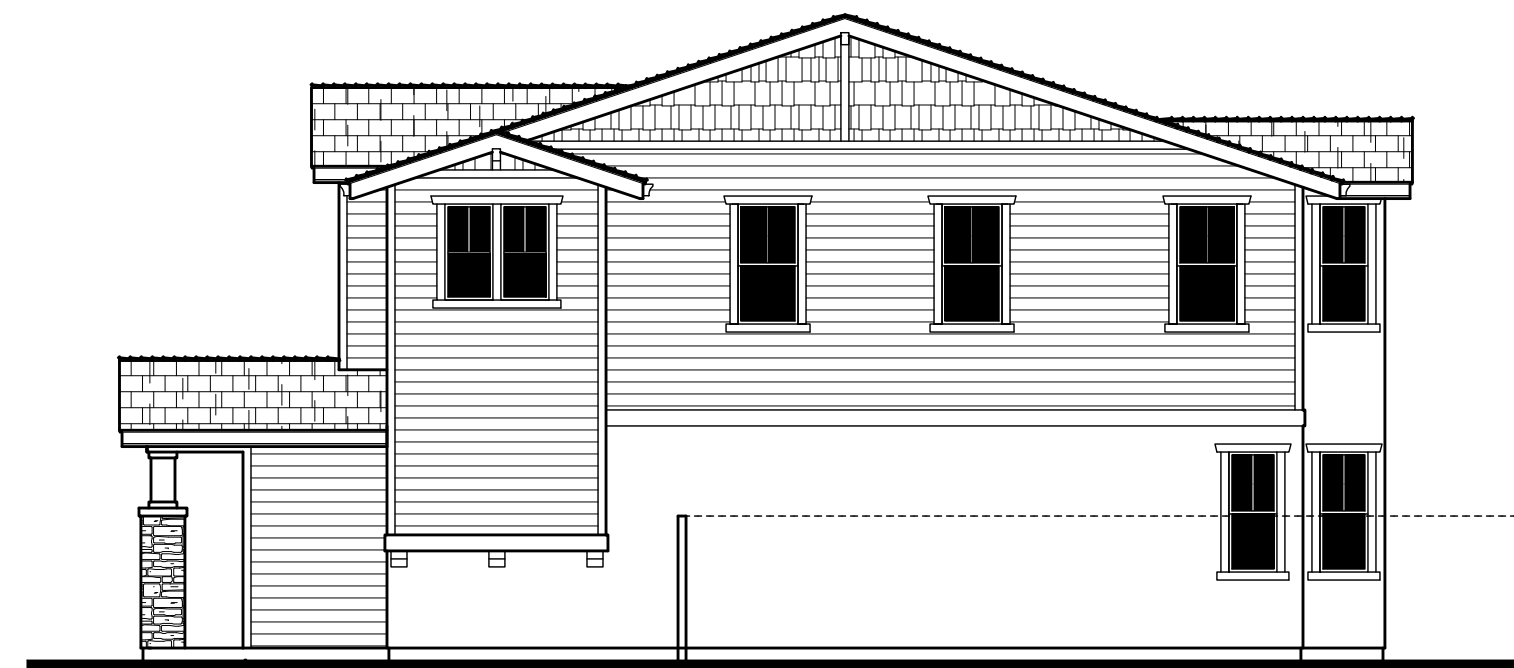
ELEVATION '2C' - Craftsman

Scale: 1/4" = 1'-0"
 0 2 4 8



ROOF PLAN
 OVERHANG: 18"
 RAKE: 12"
 ROOF PITCH: 4:12 U.N.O

Scale: 1/8" = 1'-0"
 0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"
 0 4 8 16



LEFT

Scale: 1/8" = 1'-0"
 0 4 8 16