

**CITY COUNCIL
MEETING**

OCTOBER 21, 2025

PRESENTATIONS

Beacon Program - Leadership and Innovation Award

2025 BEACON PROGRAM



**Leading the Way
to a Sustainable
California**

2025 Leadership and Innovation Award Winner

City of Hayward

Equity and Engagement in
Sustainability and Climate



Item #5

PH 25-0345

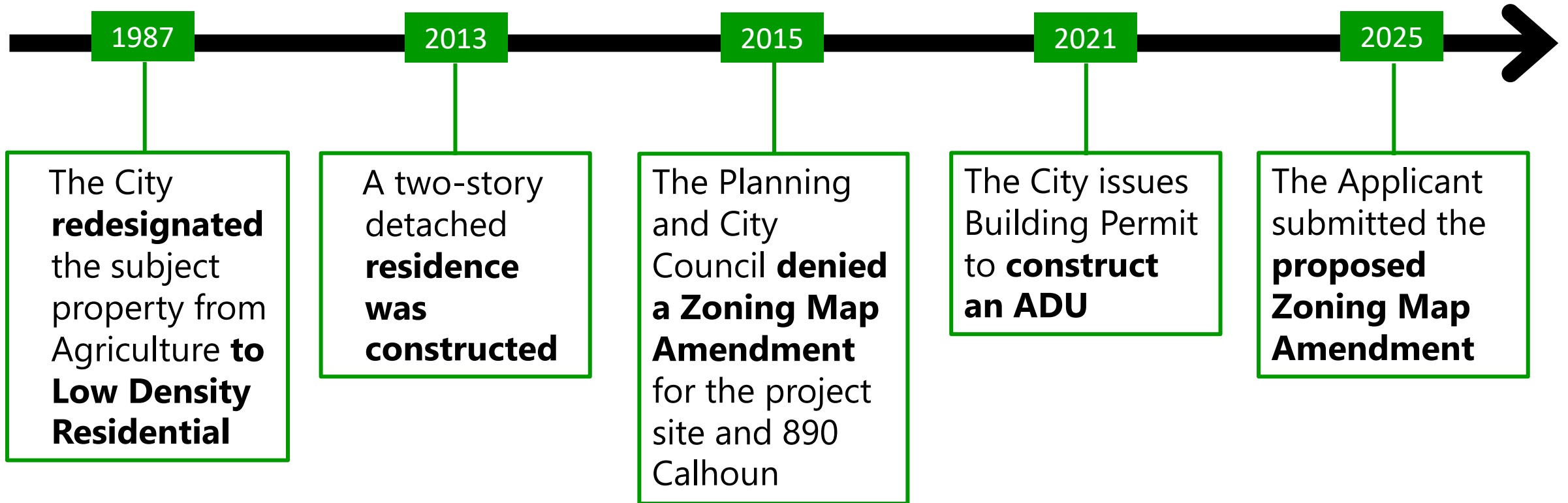
**900 Calhoun
Rezoning**

900 Calhoun Street Proposed Zone Map Amendment from A to RLB10 District & CEQA Findings

City Council Hearing
October 21, 2025
Taylor Richard, Associate Planner



Background



California State Law

- All Cities, including Charter Cities, shall have Zoning Ordinances that are consistent with the City's General Plan
- If a Zoning Ordinance becomes inconsistent with a General Plan,
 1. The City must amend the Zoning Ordinance with 180 days of receipt of an application to be consistent with the General Plan
 2. The City must process the application but can only apply standards that allow for the development at the density prescribed in the General Plan

Existing Conditions



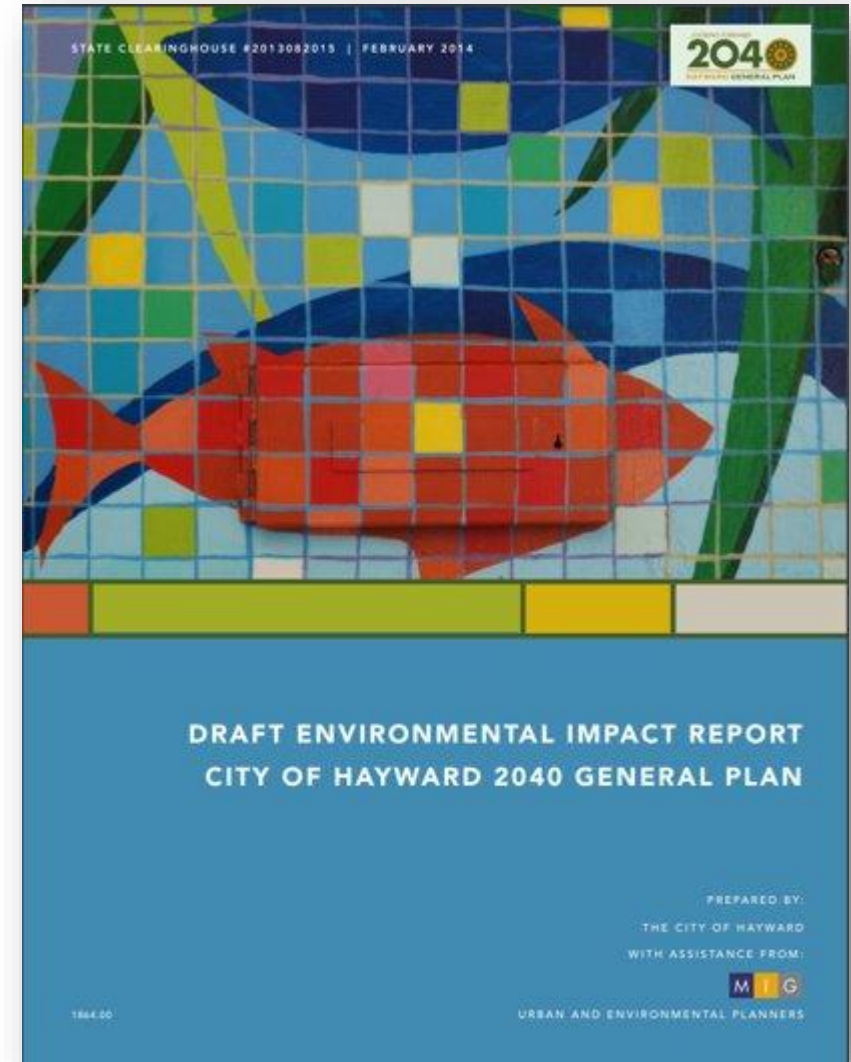
Project Site & Description



- 900 Calhoun Street
- 0.94-acre site
- **Current Zoning:** Agriculture (A)
- **Proposed Zoning:** Low Density Residential- Min. Lot Size – 10,000 sf (RLB10)
- **Current General Plan Land Use Designation:** Low Density Residential (LDR)

CEQA Environmental Review

- ✓ Proposed Zoning is fully consistent with the Hayward 2040 General Plan Environmental Impact Report (EIR)
- ✓ No additional environmental review is required



An aerial night photograph of a city, likely Hayward, California, featuring a large bridge spanning a body of water. The city lights are visible in the foreground and background, creating a bokeh effect. The sky is dark with some light clouds.

STAFF RECOMMENDATION:

That the City Council approve the proposed Zoning Map Amendment Application as shown in Attachment IV, based on the draft findings in Attachment II and subject to the recommended conditions of approval in Attachment III.