



MISSION VILLAGE - HAYWARD, CA

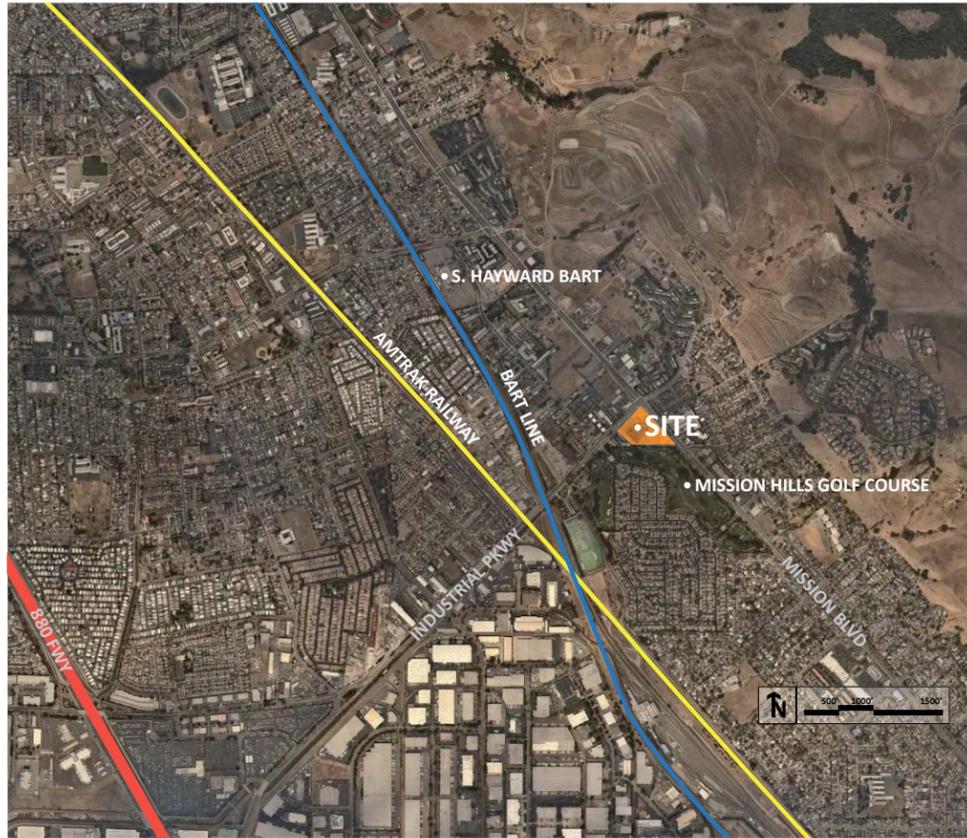
September 2016 - Planning Submittal



Carlson, Barbee
& Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS



VICINITY MAP:



PROJECT TEAM:

APPLICANT:
 VALLEY OAK PARTNERS, LLC
 734 The Alameda
 San Jose, CA 95126
 Contact: DOUG RICH
 Phone: 408.282.0995

CIVIL ENGINEER:
 CARLSON, BARBEE & GIBSON, INC.
 2633 Camino Ramon, Suite 350
 San Ramon, CA 94583
 Contact: RYAN HANSEN
 Phone: 925.866.0322 x258

ARCHITECT/PLANNER:
 STUDIO T-SQ, INC.
 304 12th Street, Suite 2A
 Oakland, CA 94607
 Contact: CHEK TANG / CHRIS LEE
 Phone: 510.451.2850

LANDSCAPE ARCHITECT:
 GATES + ASSOCIATES
 2671 Crow Canyon Road
 San Ramon, CA 94583
 Contact: TOM NASH
 Phone: 925.736.8176 x227

PROPERTY INFORMATION:

Site Address: 411 Industrial Parkway, Hayward CA 94544
 APN: 78G-2651-009-02, 78G-2651-011-02, 78G-2651-010-03, 78G-2651-012-08, 78G-2651-008
 Proposed Land Use: Multi-Family Residential (2-3 Story)
 Commercial (1 Story)
 Residential Units: 72 Units
 Fire Protection: NFPA 13D Sprinkler System

APPLICABLE CODES:

- 2013 CA Building Code
- 2013 CA Electrical Code
- 2013 CA Mechanical Code
- 2013 CA Plumbing Code
- 2013 CA Green Building Standards
- 2013 CA Energy Efficiency Standards
- City of Hayward Municipal Code and Ordinances

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BUILDING PROGRAM:

UNIT MATRIX

2/3-Story Townhouse (Type V : R3 Occupancy) with attached garage

UNITS*	Quan.	S.F.	Garage S.F.	Unit Mix	Total Area S.F.	Total Gross S.F.	Pkg Ratio	Parking Provided
A1 (3-BR+LOFT)	13	1953	473	18.1%	25,389	31,538	2.00	26
B1 (3-BR+OPTION DEN/4BR)	17	2094	482	23.6%	35,598	43,792	2.00	34
B1E (3-BR+OPTION DEN/4BR)	11	2111	482	15.3%	23,221	28,523	2.00	22
B2 (3-BR+DEN)*	12	2042	480	16.7%	24,504	30,264	2.00	24
B2E (3-BR+DEN)*	4	2108	485	5.6%	8,432	10,372	2.00	8
C1 (4-BR)	4	2216	494	5.6%	8,864	10,840	2.00	8
D1 (3-BR/2STORY)	7	1680	487	9.7%	11,760	15,169	2.00	14
D2 (4-BR+LOFT/2STORY)	4	1930	492	5.6%	7,720	9,688	2.00	8
Total units	72	2021	484	100%	145,488	180,186		144

*S.F. includes sunken den

PARKING MATRIX

PARKING	Required	Parking Provided
Residential Parking (covered)	144	144
Additional Shared parking		31
Residential Parking Total	144	175
Commercial parking		48
TOTAL: Residential + Commercial Parking	144	223

BUILDING MATRIX

BUILDINGS*	Quan.	Units/Bldg	Units Total	G.S.F./Bldg	G.S.F. Total
4A (Type V - R3)	1	4	4	9,762	9,762
4B (Type V - R3)	2	4	8	10,347	20,694
5A (Type V - R3)	4	5	20	12,338	49,352
5B (Type V - R3)	1	5	5	12,869	12,869
7A (Type V - R3)	2	7	14	17,340	34,680
7B (Type V - R3)	1	7	7	17,913	17,913
7C (Type V - R3)	2	7	14	17,458	34,916
Commercial (Type V - A2/M)	1	1	1	8,000	8,000
Total	14				188,186

Clear Glass % of the first story facade along Mission Blvd

BUILDING	%
RETAIL	40.84%
BUILDING 4B	31.77%
BUILDING 5B	32.35%
BUILDING 7B	32.48%



STUDIO T SQUARE

: 304 12th Street, Suite 2A
 : Oakland, California 94607
 : (510) 451-2850

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Mission Village
 Hayward, California

Valley Oak Partners
 734 The Alameda
 San Jose, CA

Sheet Title:

Data Sheet

Job No. 15020
 Date: 09/26/2016
 Scale:
 Drawn By:

Sheet No:

G0.0



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Valley Oak Partners
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Sheet Title:

**Perspective -
Community Green**

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Sheet Title:

Perspective - Aerial
 View of Project Site

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 Date: 09/26/2016
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G2.0



DIRTY BIRD LOUNGE - bar/lounge



GYRO & PIZZA / RED CHILI



HOAGY STEAKS - sandwich shop



BURGER KING - fast food chain



PUPUSERIA - salvadorian restaurant



THRIFT CENTRAL - thrift store

D&M AUTO SALES

THRIFT CENTER - thrift store

GREEN TEA HOUSE - chinese restaurant

PUBLIC STORAGE

UPS

INFINITUDE AUTO SALES

NORCAL TIRE & WHEEL

COLYER'S APPLIANCES



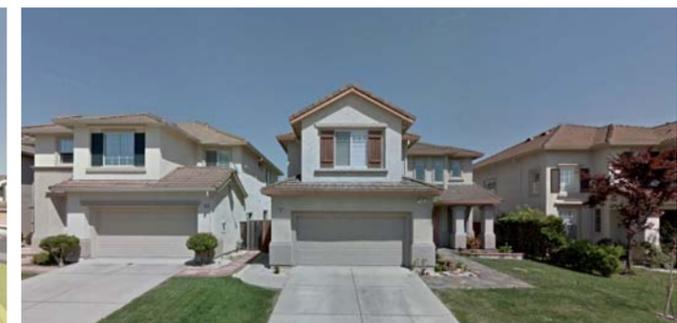
VALLE VISTA PARK



MISSION HILLS GOLF COURSE



GOLF COURSE COMMUNITY DEVELOPMENT



GOLF COURSE COMMUNITY DEVELOPMENT



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Sheet Title:

Contextual Imagery

Job No. 15020
Date: 09/26/2016
Scale: 1" = 50'-0"
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**Contextual
Connection**

Job No. 15020
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Sheet No:

SP2.0



S. HAYWARD BART



VALLE VISTA PARK



PROJECT SITE



MISSION HILLS GOLF COURSE



TRAIL FLOWING FROM NEW DEVELOPMENTS



MISSION BLVD

INDUSTRIAL



200' 400' 800'



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Sheet Title:
Open Space Concept

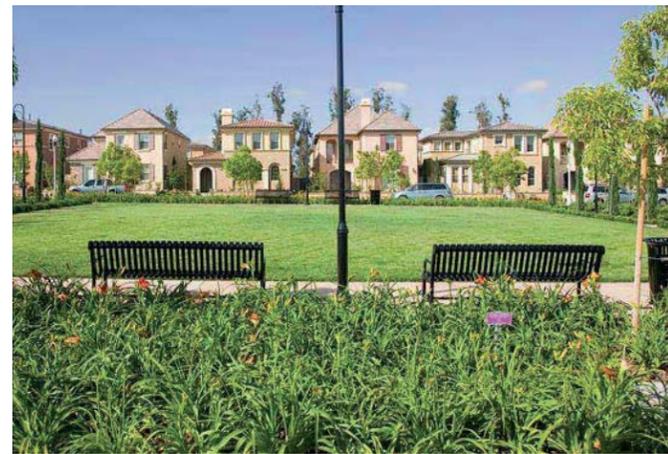
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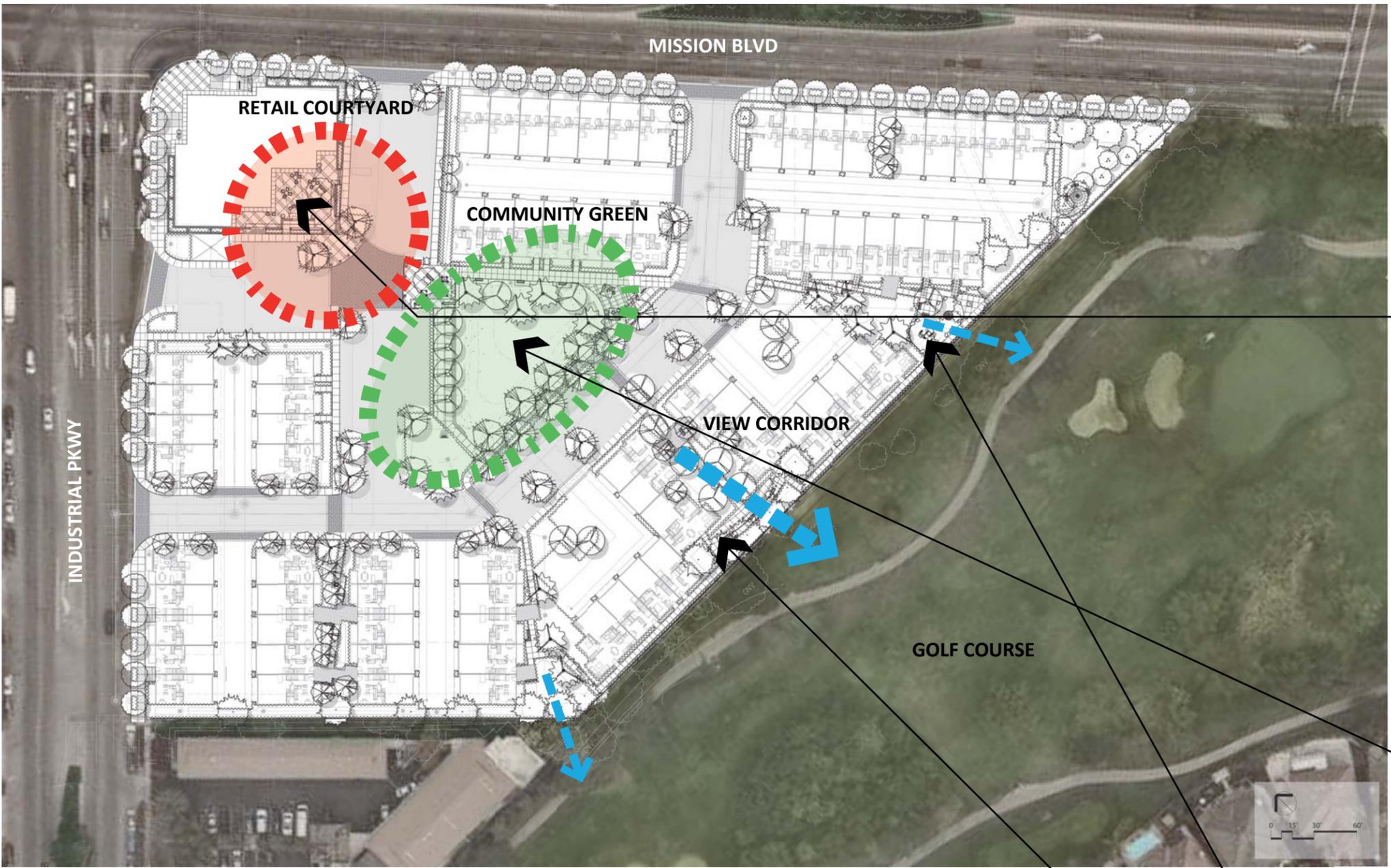
RETAIL COURT:
OUTDOOR SPACES OFFERING A MORE ENGAGING ENVIRONMENT FOR DINING AND EVENTS.



CENTRAL OPEN SPACE:
AN ACTIVE PUBLIC SPACE AND OPEN LAWN TO ACCOMMODATE EVENTS.



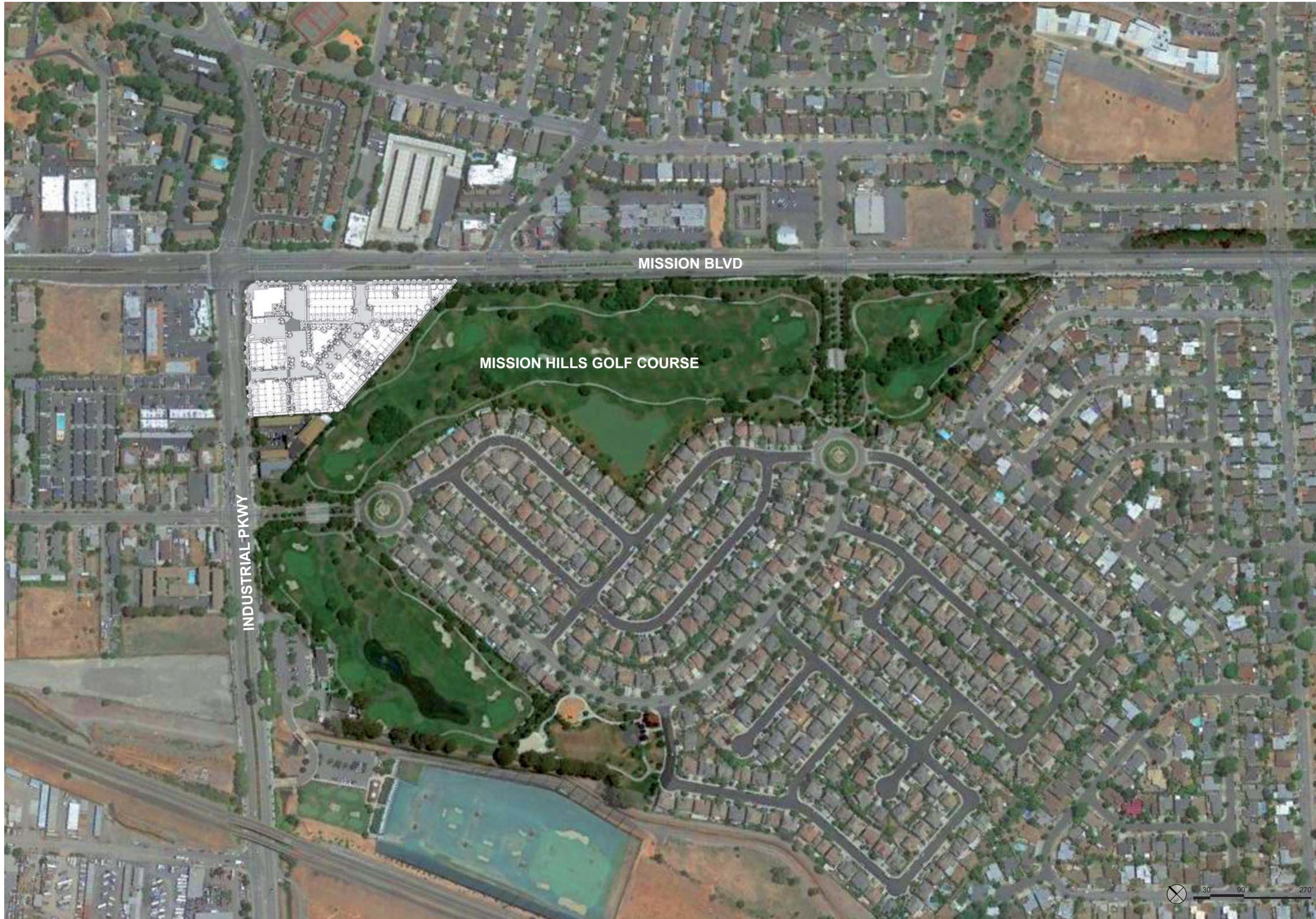
COMMUNITY SPACE & TOT LOT:
A PASSIVE SEMI-PRIVATE OUTDOOR SPACE THAT PROVIDES A VIEW DOWN TO THE GOLF COURSE.



OPEN SPACE CONCEPT



CONCEPTUAL SITE SECTION



MISSION BLVD

MISSION HILLS GOLF COURSE

INDUSTRIAL PKWY



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Sheet Title:

Site Map

Job No. 15020
Date: 09/26/2016
Scale:
Drawn By:

Sheet No:

SP4.0

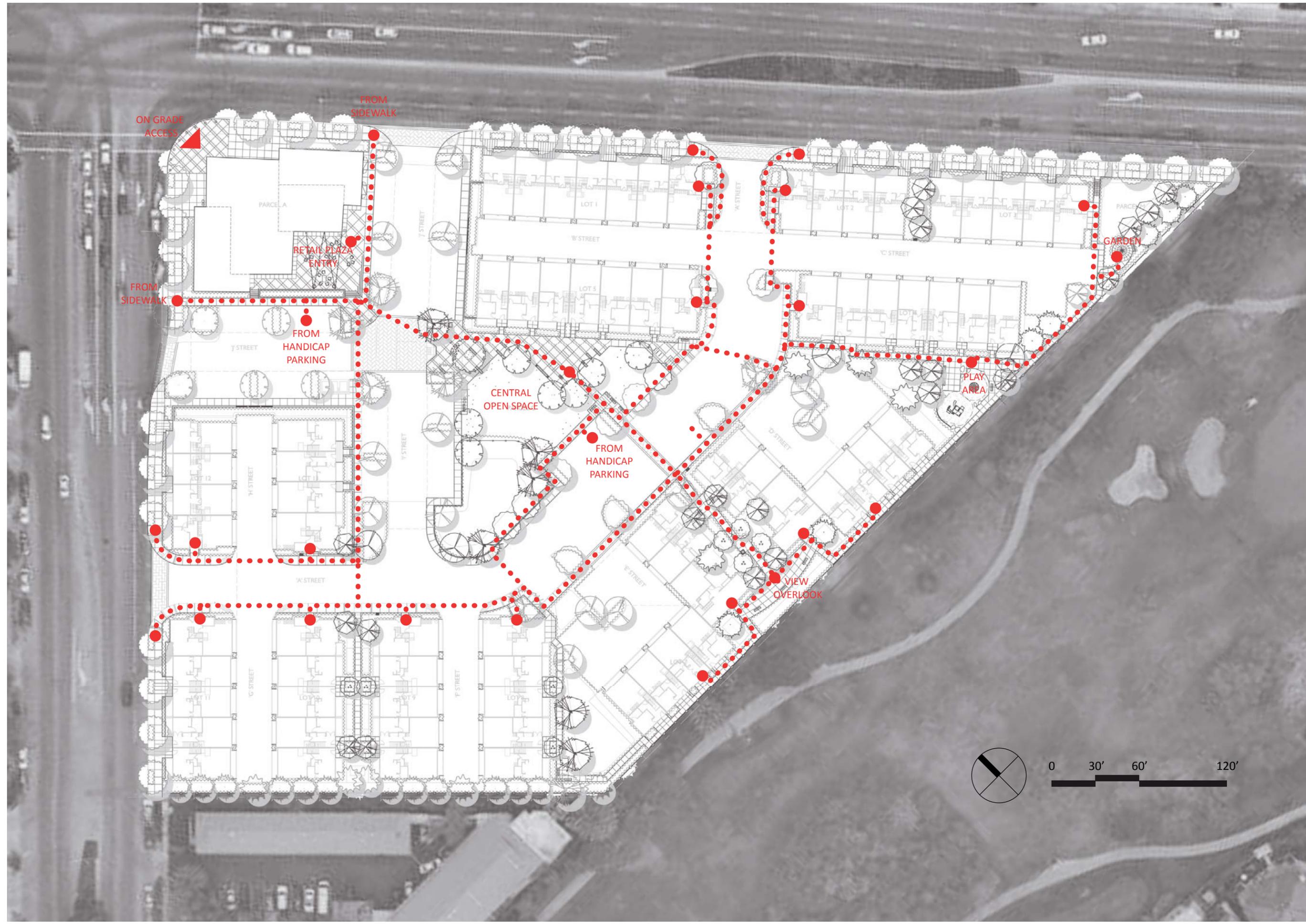




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Sheet Title:

Accessible Route

Job No. 15020
Date: 09/26/2016
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Sheet No:

SP5.0

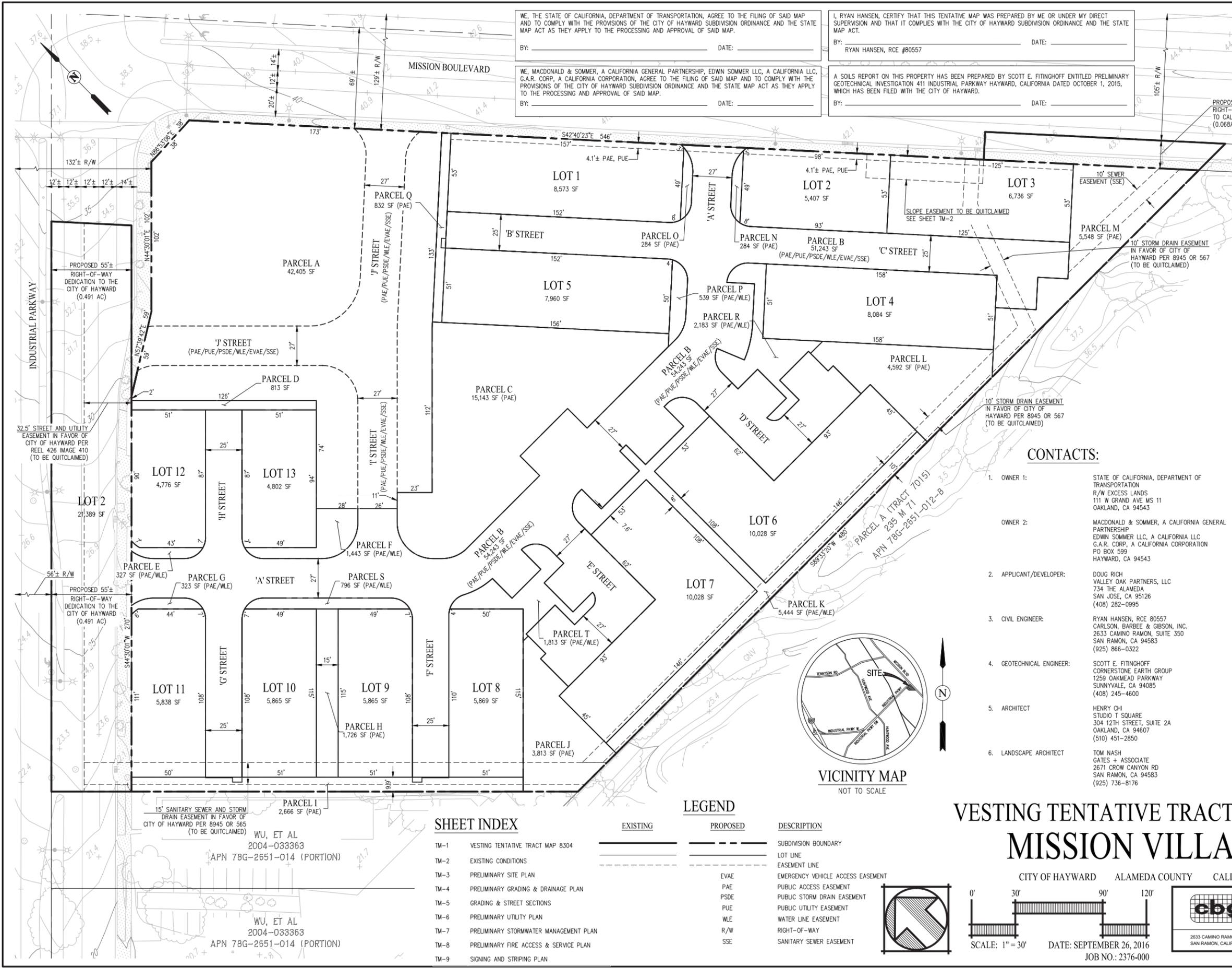


WE, THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, AGREE TO THE FILING OF SAID MAP AND TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.
 BY: _____ DATE: _____

WE, MACDONALD & SOMMER, A CALIFORNIA GENERAL PARTNERSHIP, EDWIN SOMMER LLC, A CALIFORNIA LLC, G.A.R. CORP., A CALIFORNIA CORPORATION, AGREE TO THE FILING OF SAID MAP AND TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.
 BY: _____ DATE: _____

I, RYAN HANSEN, CERTIFY THAT THIS TENTATIVE MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT IT COMPLIES WITH THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT.
 BY: RYAN HANSEN, RCE #80557 DATE: _____

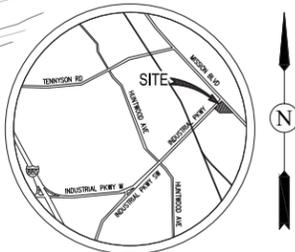
A SOILS REPORT ON THIS PROPERTY HAS BEEN PREPARED BY SCOTT E. FITINGHOFF ENTITLED PRELIMINARY GEOTECHNICAL INVESTIGATION 411 INDUSTRIAL PARKWAY HAYWARD, CALIFORNIA DATED OCTOBER 1, 2015, WHICH HAS BEEN FILED WITH THE CITY OF HAYWARD.
 BY: _____ DATE: _____



- GENERAL NOTES:**
- BENCHMARK: CITY OF HAYWARD DM: MONUMENT (PLATE) AT THE INTERSECTION OF INDUSTRIAL PARKWAY AND DIXON STREET. ELEVATION: 16.2902 FEET (NGVD29)
 - BASIS OF BEARING: THE BASIS OF BEARING FOR THIS SURVEY IS DETERMINED BY FOUND MONUMENTS IN ARROWHEAD WAY, THE BEARING BEING N 45°29'59"W, PER TRACT 7015 (235 M 71)
 - SITE ADDRESS: 411 INDUSTRIAL PARKWAY, HAYWARD, CA
 - A.P.N.: 78G-2651-009-02, 78G-2651-011-02, 78G-2651-010-03, 78G-2651-012-08, 78G-2651-008
 - EXISTING GENERAL PLAN: SMU (SUSTAINABLE MIXED-USE)
 - EXISTING/PROPOSED ZONING: S-T4 URBAN GENERAL ZONE FORM BASED CODE / URBAN GENERAL ZONE
 - EXISTING LAND USE: RETAIL BUILDING & BOWLING ALLEY
 - PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL & RETAIL
 - RESIDENTIAL UNITS: TOWNHOMES: 72 UNITS
 - BUILDING HEIGHT: RETAIL 33.5' (1 STORY)
RESIDENTIAL 37.0' (3 STORIES)
 - SITE AREA: GROSS: 5.88± AC (NET: 3.99± AC)
(LESS STREET DEDICATIONS/PARCEL A & C)
 - DENSITY: 18.0 DU/AC
 - STREETS: PRIVATE STREETS ARE TO BE PRIVATELY MAINTAINED BY THE HOA OR THE OWNER OF PARCEL A
 - STREET TREES AND LIGHTS: ONSITE STREET TREES AND LIGHTS ARE TO BE PRIVATELY MAINTAINED BY THE HOA OR THE OWNER OF PARCEL A
 - UTILITIES: SEWER: CITY OF HAYWARD
STORM DRAIN: CITY OF HAYWARD
WATER: CITY OF HAYWARD
GAS: PACIFIC GAS & ELECTRIC
ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE & CABLE: TBD
 - FLOOD ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN SOURCE: COMMUNITY PANEL NO: 06001C 0293 G, DATED AUGUST 3, 2009
 - EXISTING STRUCTURES: ALL EXISTING BUILDINGS ON-SITE ARE TO BE REMOVED
 - HOA: A HOMEOWNER ASSOCIATION WILL BE FORMED TO OWN AND MAINTAIN PRIVATE STREETS, DRIVE AISLES, PRIVATE UTILITIES, STORM DRAINAGE FACILITIES, AND LANDSCAPE WITHIN PARCELS B THROUGH T AND LOT 1-13
 - WALLS: ALL WALLS ARE TO BE PRIVATELY MAINTAINED BY THE HOA OR THE OWNER OF PARCEL A
 - GRADING: PROPOSED GRADING AS SHOWN IS PRELIMINARY AND SUBJECT TO FINAL DESIGN
 - DIMENSIONS: DIMENSIONS AS SHOWN ARE PRELIMINARY AND SUBJECT TO THE FINAL MAP
 - FINAL MAP: THIS PROJECT MAY BE PHASED. MULTIPLE FINAL MAPS MAY BE FILED UPON APPROVAL OF THE TENTATIVE SUBDIVISION MAP
 - CONDOMINIUM MAP: A CONDOMINIUM MAP WILL BE RECORDED FOR LOTS 1-13. THE SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTIONS 4125 AND 4285. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM DWELLING UNITS SHALL BE NO MORE THAN 72 UNITS FOR LOTS 1-13

CONTACTS:

- OWNER 1: STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION
R/W EXCESS LANDS
117 W GRAND AVE MS 11
OAKLAND, CA 94643
- OWNER 2: MACDONALD & SOMMER, A CALIFORNIA GENERAL PARTNERSHIP
EDWIN SOMMER LLC, A CALIFORNIA LLC
G.A.R. CORP., A CALIFORNIA CORPORATION
PO BOX 599
HAYWARD, CA 94543
- APPLICANT/DEVELOPER: DOUG RICH VALLEY OAK PARTNERS, LLC
734 THE ALAMEDA
SAN JOSE, CA 95126
(408) 282-0995
- CIVIL ENGINEER: RYAN HANSEN, RCE 80557
CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
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(925) 866-0322
- GEOTECHNICAL ENGINEER: SCOTT E. FITINGHOFF
CORNERSTONE EARTH GROUP
1259 OAKMEAD PARKWAY
SUNNYVALE, CA 94085
(408) 245-4600
- ARCHITECT: HENRY CHI
STUDIO T SQUARE
304 12TH STREET, SUITE 2A
OAKLAND, CA 94607
(510) 451-2850
- LANDSCAPE ARCHITECT: TOM NASH
GATES + ASSOCIATE
2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176



VICINITY MAP
NOT TO SCALE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
—	—	SUBDIVISION BOUNDARY
—	—	LOT LINE
—	—	EASEMENT LINE
—	—	EMERGENCY VEHICLE ACCESS EASEMENT
—	—	PUBLIC ACCESS EASEMENT
—	—	PUBLIC STORM DRAIN EASEMENT
—	—	PUBLIC UTILITY EASEMENT
—	—	WATER LINE EASEMENT
—	—	RIGHT-OF-WAY
—	—	SANITARY SEWER EASEMENT

SHEET INDEX

- TM-1 VESTING TENTATIVE TRACT MAP 8304
- TM-2 EXISTING CONDITIONS
- TM-3 PRELIMINARY SITE PLAN
- TM-4 PRELIMINARY GRADING & DRAINAGE PLAN
- TM-5 GRADING & STREET SECTIONS
- TM-6 PRELIMINARY UTILITY PLAN
- TM-7 PRELIMINARY STORMWATER MANAGEMENT PLAN
- TM-8 PRELIMINARY FIRE ACCESS & SERVICE PLAN
- TM-9 SIGNING AND STRIPING PLAN

VESTING TENTATIVE TRACT MAP 8304
MISSION VILLAGE

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SCALE: 1" = 30'

DATE: SEPTEMBER 26, 2016

JOB NO.: 2376-000

cbg Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

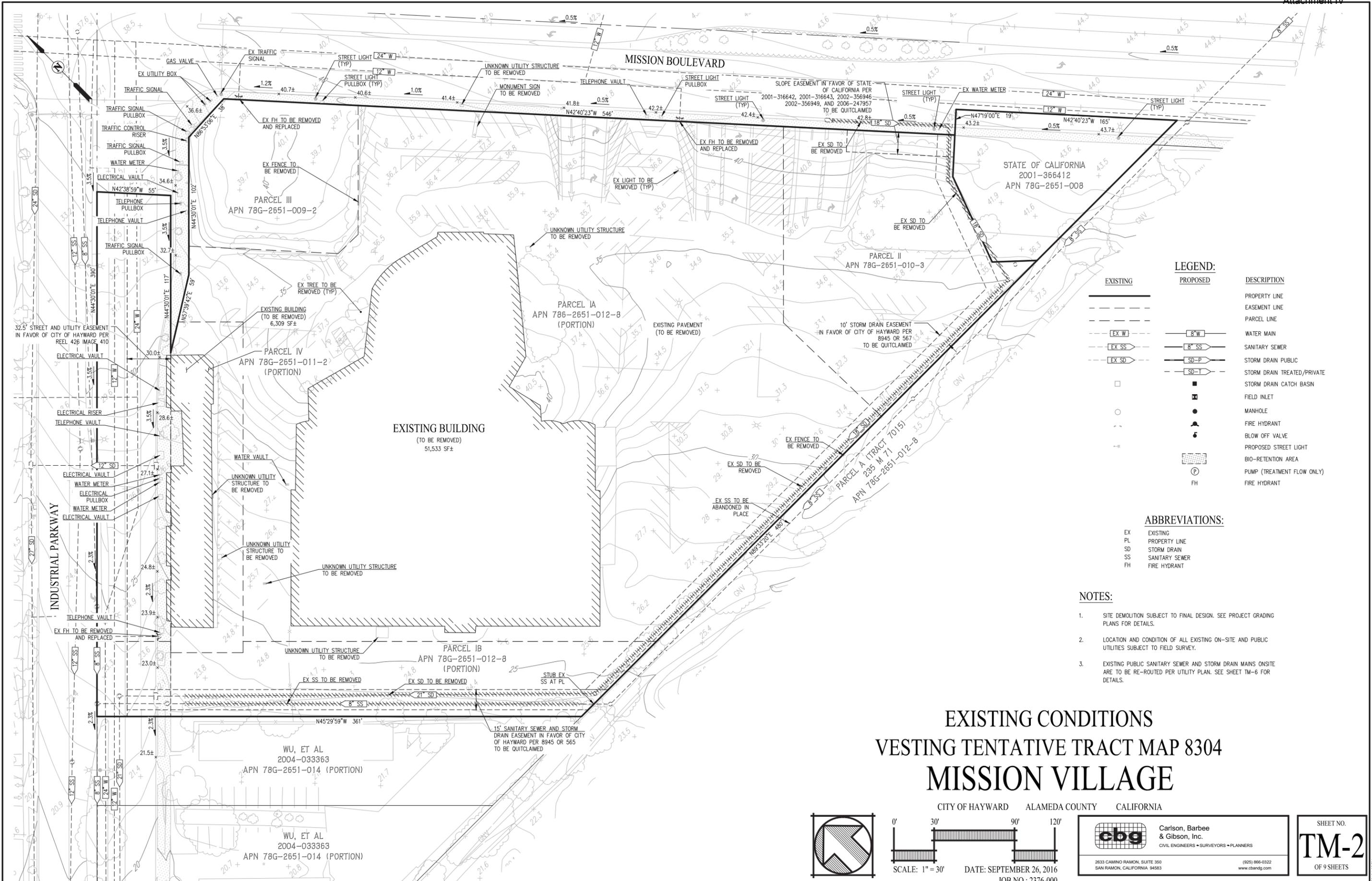
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583

(925) 866-0322
www.cbng.com

SHEET NO.
TM-1
OF 9 SHEETS

WU, ET AL
2004-033363
APN 78G-2651-014 (PORTION)

WU, ET AL
2004-033363
APN 78G-2651-014 (PORTION)



LEGEND:

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	PARCEL LINE
EX W	R W	WATER MAIN
EX SS	8" SS	SANITARY SEWER
EX SD	SD-P	STORM DRAIN PUBLIC
	SD-T	STORM DRAIN TREATED/PRIVATE
	■	STORM DRAIN CATCH BASIN
	□	FIELD INLET
	○	MANHOLE
	●	FIRE HYDRANT
	⊙	BLOW OFF VALVE
	⊙	PROPOSED STREET LIGHT
	⊙	BIO-RETENTION AREA
	⊙	PUMP (TREATMENT FLOW ONLY)
	⊙	FH

ABBREVIATIONS:

EX	EXISTING
PL	PROPERTY LINE
SD	STORM DRAIN
SS	SANITARY SEWER
FH	FIRE HYDRANT

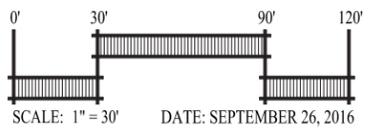
- NOTES:**
1. SITE DEMOLITION SUBJECT TO FINAL DESIGN. SEE PROJECT GRADING PLANS FOR DETAILS.
 2. LOCATION AND CONDITION OF ALL EXISTING ON-SITE AND PUBLIC UTILITIES SUBJECT TO FIELD SURVEY.
 3. EXISTING PUBLIC SANITARY SEWER AND STORM DRAIN MAINS ONSITE ARE TO BE RE-ROUTED PER UTILITY PLAN. SEE SHEET TM-6 FOR DETAILS.

**EXISTING CONDITIONS
VESTING TENTATIVE TRACT MAP 8304
MISSION VILLAGE**

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



SCALE: 1" = 30'



DATE: SEPTEMBER 26, 2016
JOB NO.: 2376-000

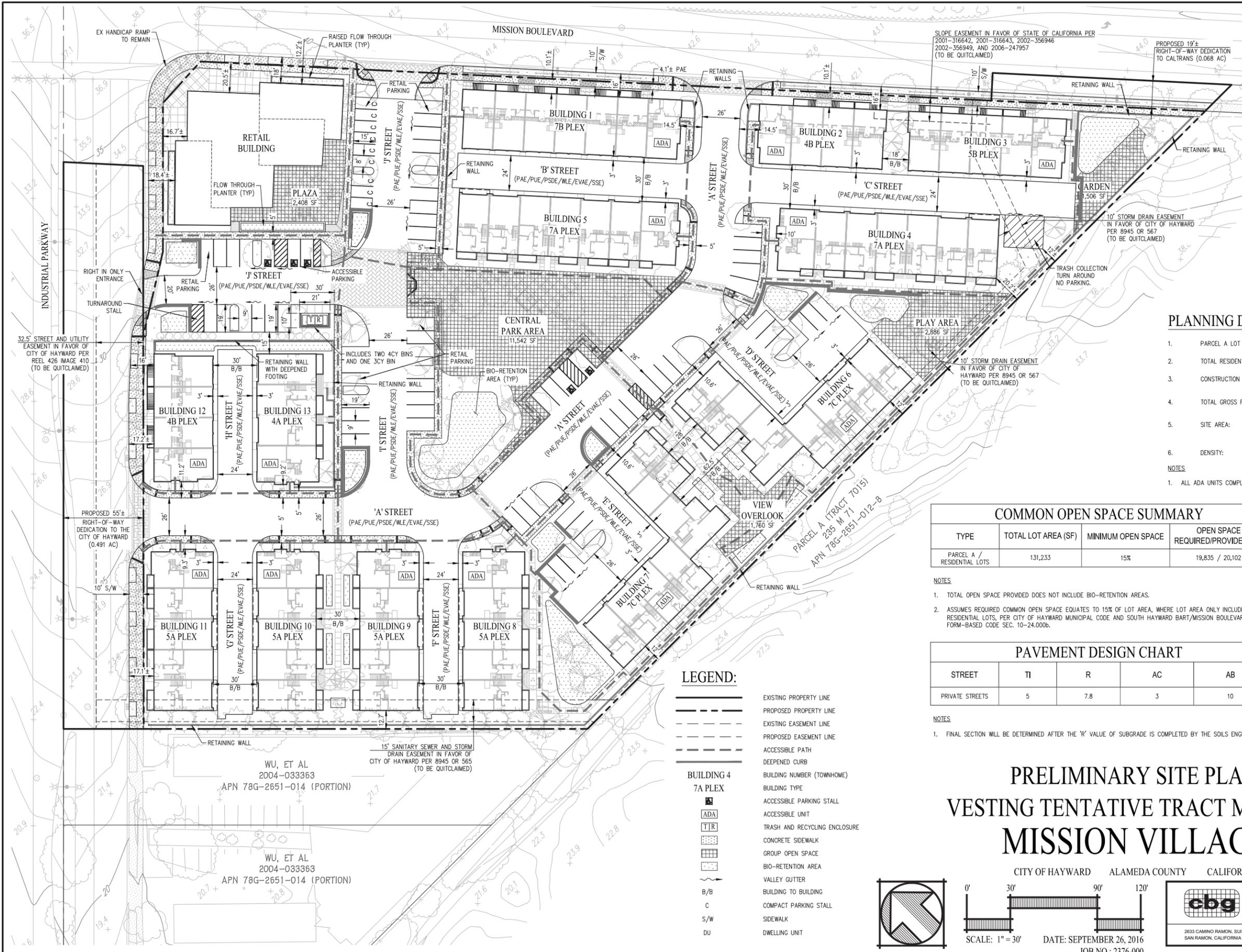


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SHEET NO.
TM-2
OF 9 SHEETS



PARKING SUMMARY

RETAIL PARKING		
TYPE	RETAIL SIZE	TOTAL PROVIDED
GUEST STANDARD	-	36
GUEST COMPACT	-	9
GUEST ACCESSIBLE	-	3
TOTAL	8,000 SF	48
RESIDENTIAL PARKING		
TYPE	UNITS	TOTAL PROVIDED
PRIVATE GARAGE	72	144
GUEST STANDARD	-	29
GUEST ACCESSIBLE	-	2
TOTAL	-	175

- NOTES**
- SOUTH HAYWARD BART/MISSION BOULEVARD FORM-BASED CODE PROVIDES NO PARKING REQUIREMENTS FOR RESIDENTIAL OR RETAIL AREAS.
 - ALL GUEST SPACES ARE UNCOVERED.

PLANNING DATA SUMMARY

1. PARCEL A LOT AREA / LOT COVERAGE:	42,405 SF / 18.9 %
2. TOTAL RESIDENTIAL LOT AREA / LOT COVERAGE:	89,795 SF / 71.7 %
3. CONSTRUCTION / OCCUPANCY TYPE:	RESIDENTIAL: TYPE V-B / R-2 RETAIL: TYPE V-A / M
4. TOTAL GROSS FLOOR AREA:	RESIDENTIAL: 180,186 SF RETAIL: 8,000 SF
5. SITE AREA:	GROSS: 5.88± AC (NET: 3.99± AC) (LESS STREET DEDICATIONS/PARCEL A & C)
6. DENSITY:	18.0 DU/AC

NOTES

- ALL ADA UNITS COMPLY WITH FORM BASED CODE VISIBILITY STANDARDS 10-24.265

COMMON OPEN SPACE SUMMARY

TYPE	TOTAL LOT AREA (SF)	MINIMUM OPEN SPACE	OPEN SPACE REQUIRED/PROVIDED (SF)
PARCEL A / RESIDENTIAL LOTS	131,233	15%	19,835 / 20,102

- NOTES**
- TOTAL OPEN SPACE PROVIDED DOES NOT INCLUDE BIO-RETENTION AREAS.
 - ASSUMES REQUIRED COMMON OPEN SPACE EQUATES TO 15% OF LOT AREA, WHERE LOT AREA ONLY INCLUDES RESIDENTIAL LOTS, PER CITY OF HAYWARD MUNICIPAL CODE AND SOUTH HAYWARD BART/MISSION BOULEVARD FORM-BASED CODE SEC. 10-24.000b.

PAVEMENT DESIGN CHART

STREET	TI	R	AC	AB
PRIVATE STREETS	5	7.8	3	10

- NOTES**
- FINAL SECTION WILL BE DETERMINED AFTER THE "R" VALUE OF SUBGRADE IS COMPLETED BY THE SOILS ENGINEER

OPEN SPACE CALCULATION

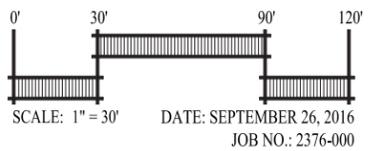
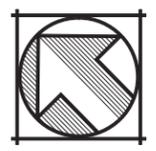
LOT/PARCEL	AREA (SF)	REQUIRED OPEN SPACE (SF)
PARCEL A	42,405	6,361
LOT 1	8,573	1,286
LOT 2	5,407	811
LOT 3	6,736	1,010
LOT 4	8,084	1,213
LOT 5	7,960	1,194
LOT 6	10,028	1,504
LOT 7	10,028	1,504
LOT 8	5,869	880
LOT 9	5,865	880
LOT 10	5,865	880
LOT 11	5,838	876
LOT 12	4,776	716
LOT 13	4,802	720
TOTAL	132,236	19,835

LEGEND:

- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- ACCESSIBLE PATH
- DEEPEMED CURB
- BUILDING NUMBER (TOWNHOME)
- BUILDING TYPE
- ACCESSIBLE PARKING STALL
- ACCESSIBLE UNIT
- TRASH AND RECYCLING ENCLOSURE
- CONCRETE SIDEWALK
- GROUP OPEN SPACE
- BIO-RETENTION AREA
- VALLEY GUTTER
- BUILDING TO BUILDING
- COMPACT PARKING STALL
- SIDEWALK
- DWELLING UNIT

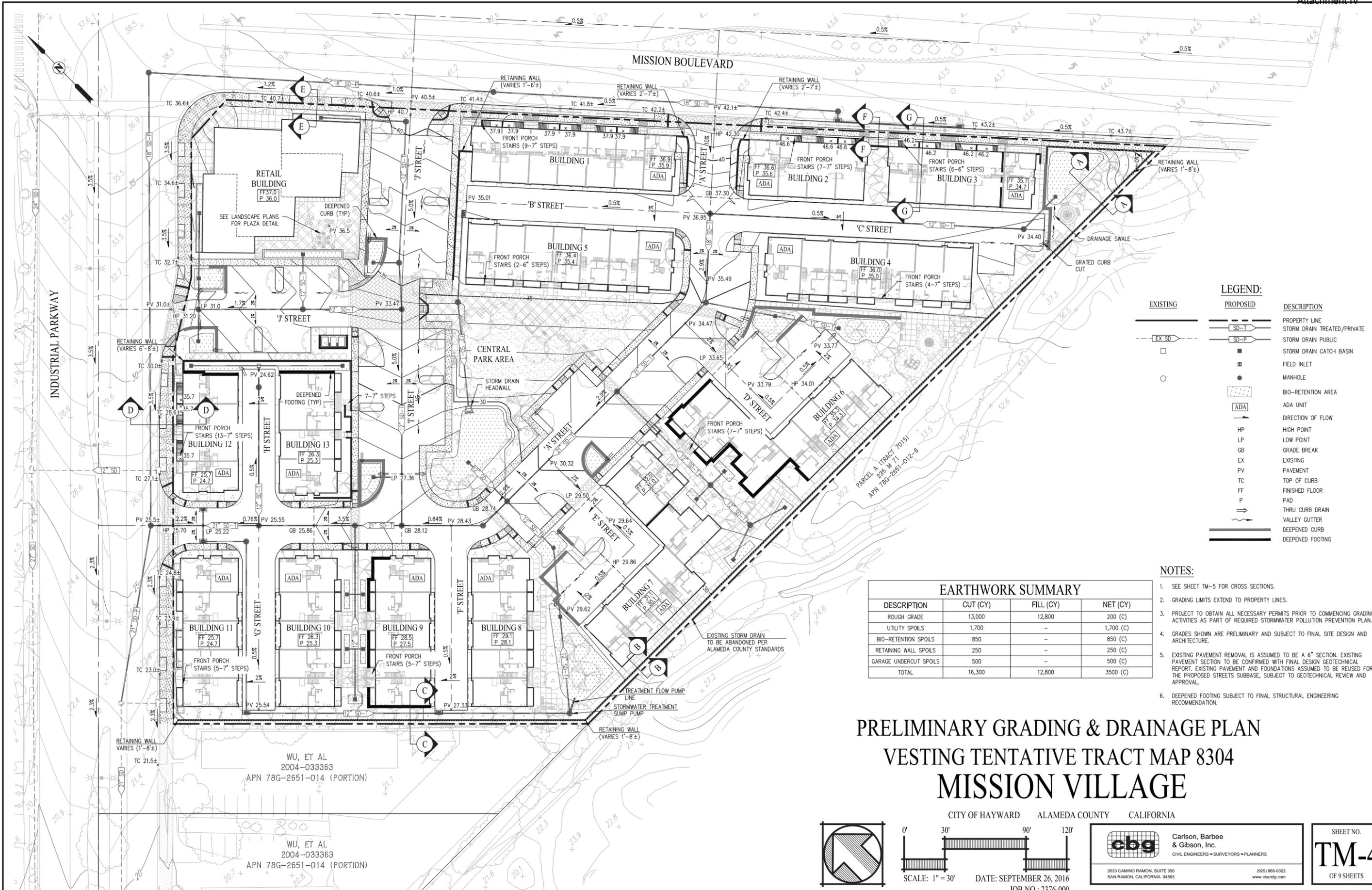
PRELIMINARY SITE PLAN VESTING TENTATIVE TRACT MAP 8304 MISSION VILLAGE

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SHEET NO.
TM-3
 OF 9 SHEETS



LEGEND:

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	SD-T	STORM DRAIN TREATED/PRIVATE
---	SD-P	STORM DRAIN PUBLIC
□	■	STORM DRAIN CATCH BASIN
○	■	FIELD INLET
○	●	MANHOLE
	■	BIO-RETENTION AREA
	ADA	ADA UNIT
	→	DIRECTION OF FLOW
	HP	HIGH POINT
	LP	LOW POINT
	GB	GRADE BREAK
	EX	EXISTING PAVEMENT
	PV	PAVEMENT
	TC	TOP OF CURB
	FF	FINISHED FLOOR
	P	PAD
	→	THRU CURB DRAIN
	→	VALLEY GUTTER
	---	DEEPEMED CURB
	---	DEEPEMED FOOTING

EARTHWORK SUMMARY

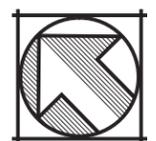
DESCRIPTION	CUT (CY)	FILL (CY)	NET (CY)
ROUGH GRADE	13,000	12,800	200 (C)
UTILITY SPOILS	1,700	-	1,700 (C)
BIO-RETENTION SPOILS	850	-	850 (C)
RETAINING WALL SPOILS	250	-	250 (C)
GARAGE UNDERCUT SPOILS	500	-	500 (C)
TOTAL	16,300	12,800	3500 (C)

- NOTES:**
- SEE SHEET TM-5 FOR CROSS SECTIONS.
 - GRADING LIMITS EXTEND TO PROPERTY LINES.
 - PROJECT TO OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING GRADING ACTIVITIES AS PART OF REQUIRED STORMWATER POLLUTION PREVENTION PLAN.
 - GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO FINAL SITE DESIGN AND ARCHITECTURE.
 - EXISTING PAVEMENT REMOVAL IS ASSUMED TO BE A 6" SECTION. EXISTING PAVEMENT SECTION TO BE CONFIRMED WITH FINAL DESIGN GEOTECHNICAL REPORT. EXISTING PAVEMENT AND FOUNDATIONS ASSUMED TO BE REUSED FOR THE PROPOSED STREETS SUBBASE, SUBJECT TO GEOTECHNICAL REVIEW AND APPROVAL.
 - DEEPEMED FOOTING SUBJECT TO FINAL STRUCTURAL ENGINEERING RECOMMENDATION.

PRELIMINARY GRADING & DRAINAGE PLAN
VESTING TENTATIVE TRACT MAP 8304
MISSION VILLAGE

WU, ET AL
 2004-033363
 APN 78G-2651-014 (PORTION)

WU, ET AL
 2004-033363
 APN 78G-2651-014 (PORTION)



CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SCALE: 1" = 30'

DATE: SEPTEMBER 26, 2016

JOB NO.: 2376-000

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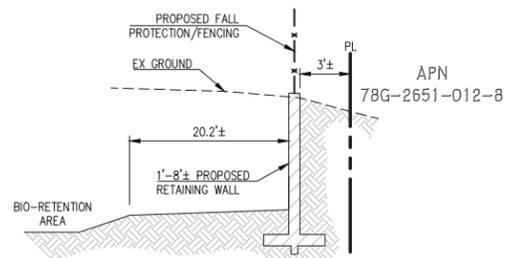
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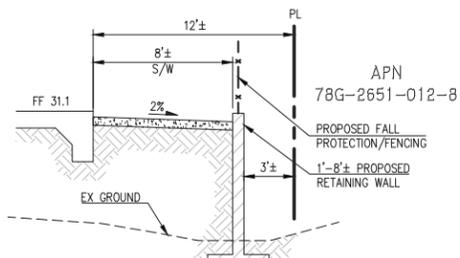
SHEET NO.
TM-4
 OF 9 SHEETS

GRADING SECTIONS

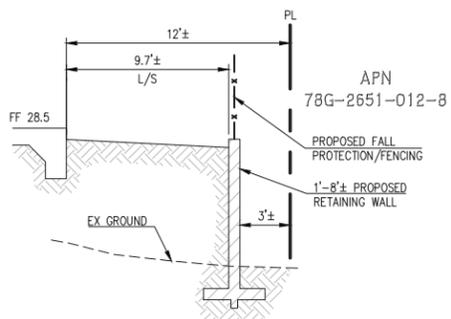
STREET SECTIONS



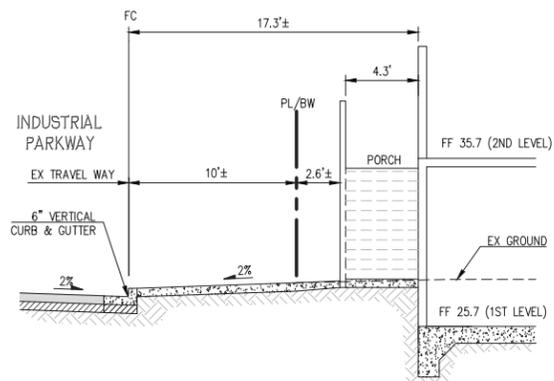
SECTION A-A
NOT TO SCALE



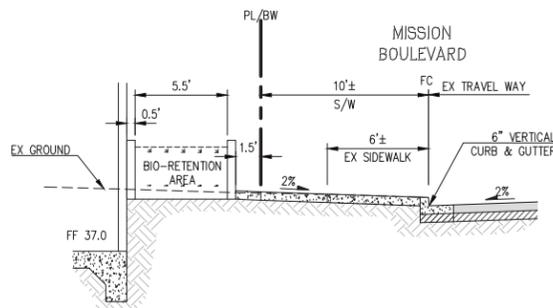
SECTION B-B
NOT TO SCALE



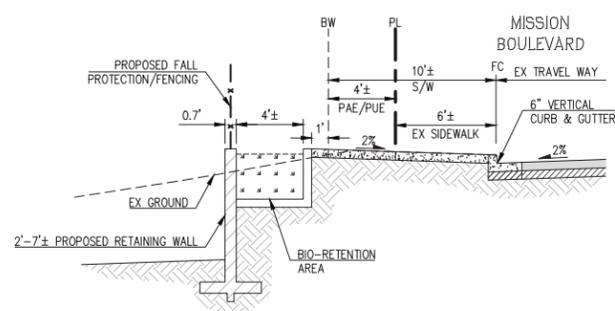
SECTION C-C
NOT TO SCALE



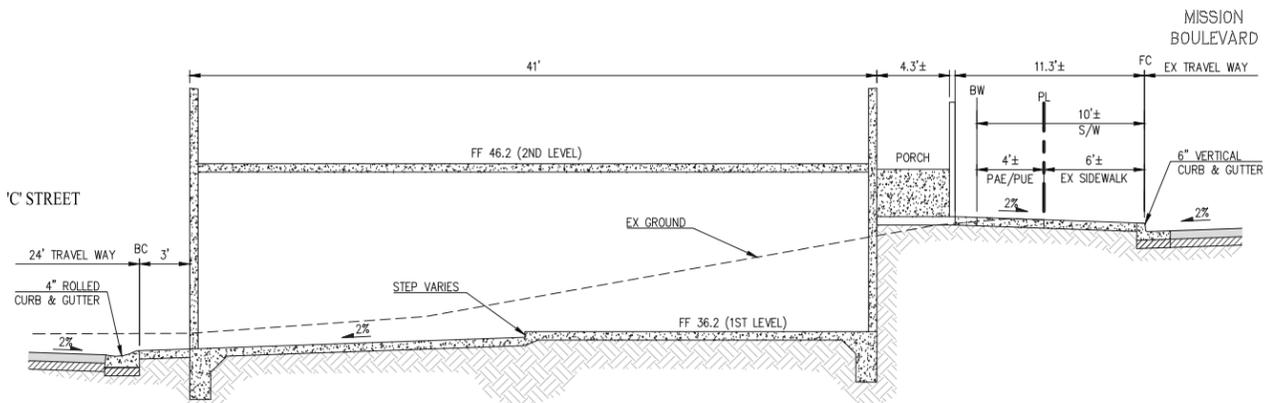
SECTION D-D
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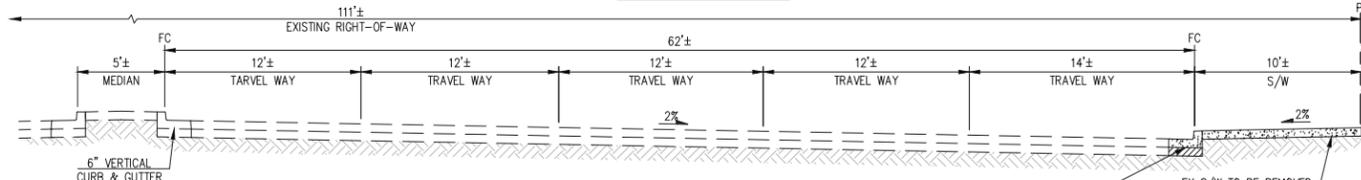
SECTION E-E
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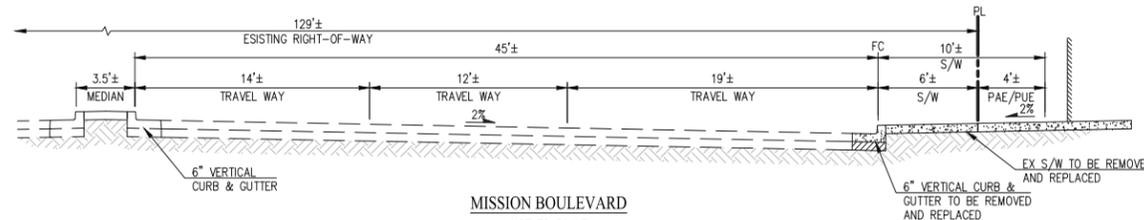
SECTION F-F
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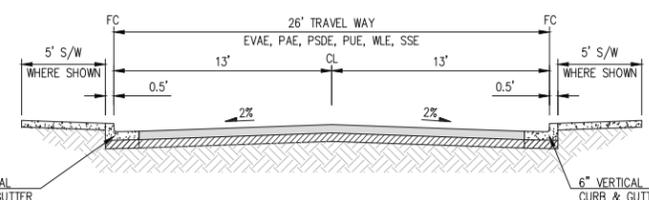
SECTION G-G
NOT TO SCALE



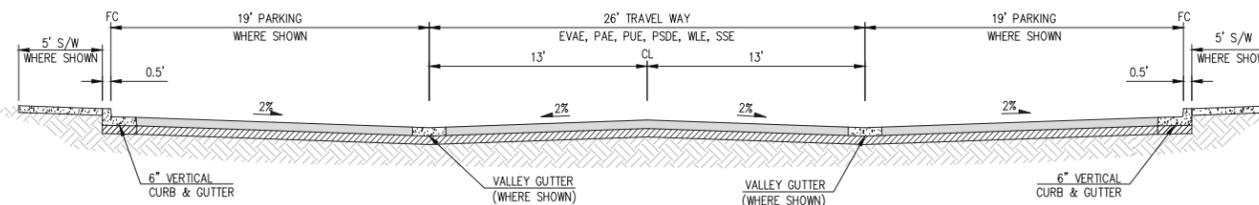
INDUSTRIAL PARKWAY
NOT TO SCALE



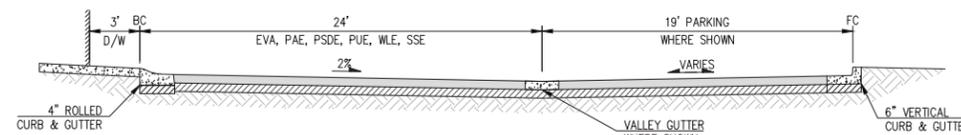
MISSION BOULEVARD
NOT TO SCALE



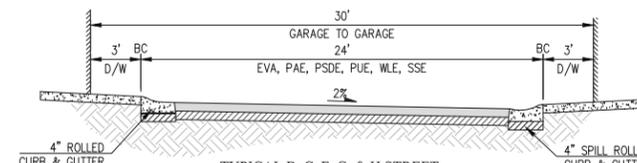
TYPICAL A STREET
THOROUGHFARE TYPE: PASSAGE PS-32.5-26
NOT TO SCALE



TYPICAL I & J STREET
NOT TO SCALE



TYPICAL D & E STREET
NOT TO SCALE

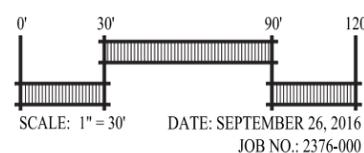
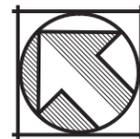


TYPICAL B, C, F, G, & H STREET
NOT TO SCALE

ABBREVIATIONS

- BC BACK OF CURB
- BW BACK OF WALK
- EL ELEVATION
- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- EX EX
- FC FACE OF CURB
- FF FINISHED FLOOR
- L/S LANDSCAPE
- PAE PUBLIC ACCESS EASEMENT
- PL PROPERTY LINE
- PSDE PUBLIC STORM DRAIN EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- RET RETAINING
- RW RIGHT OF WAY
- S/W SIDEWALK
- TC TOP OF CURB
- SSE SANITARY SEWER EASEMENT
- TW TOP OF WALL
- WLE WATER LINE EASEMENT

GRADING & STREET SECTIONS
VESTING TENTATIVE TRACT MAP 8304
MISSION VILLAGE



DATE: SEPTEMBER 26, 2016
JOB NO.: 2376-000

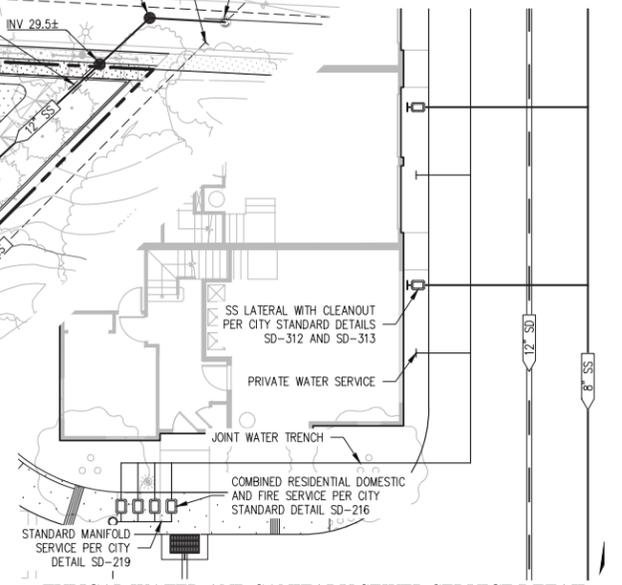
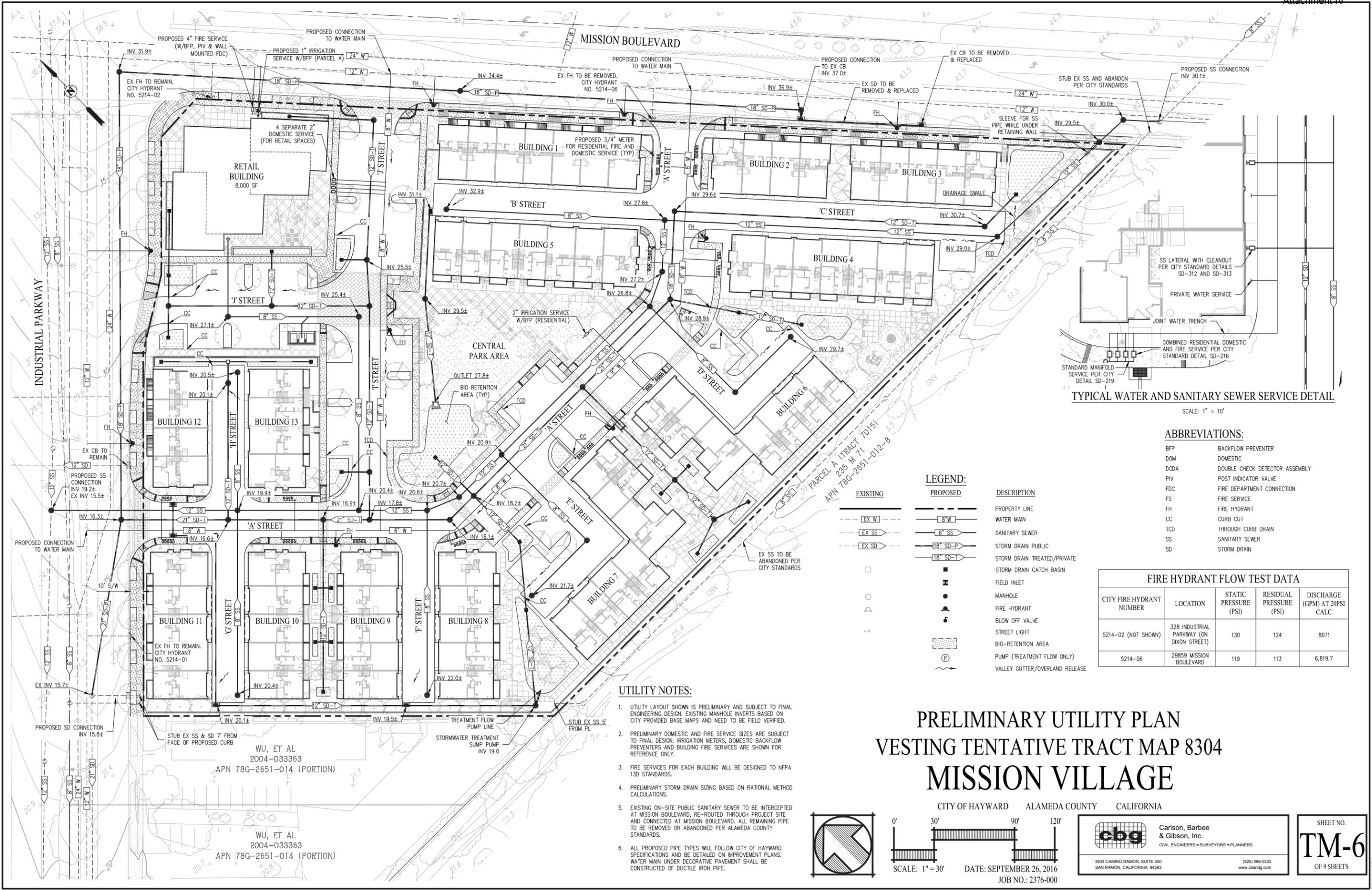
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TYPICAL WATER AND SANITARY SEWER SERVICE DETAIL

SCALE: 1" = 10'

ABBREVIATIONS:

BFP	BACKFLOW PREVENTER
DOM	DOMESTIC
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
PIV	POST INDICATOR VALVE
FDC	FIRE DEPARTMENT CONNECTION
FS	FIRE SERVICE
FH	FIRE HYDRANT
CC	CURB CUT
TCD	THROUGH CURB DRAIN
SS	SANITARY SEWER
SD	STORM DRAIN

LEGEND:

EXISTING	PROPOSED	DESCRIPTION
EX W	8" W	PROPERTY LINE
EX SS	8" SS	WATER MAIN
EX SD	18" SD-P	SANITARY SEWER
	18" SD-T	STORM DRAIN PUBLIC
	18" SD-T	STORM DRAIN TREATED/PRIVATE
		STORM DRAIN CATCH BASIN
		FIELD INLET
		MANHOLE
		FIRE HYDRANT
		BLOW OFF VALVE
		STREET LIGHT
		BIO-RETENTION AREA
		PUMP (TREATMENT FLOW ONLY)
		VALLEY GUTTER/OVERLAND RELEASE

CITY FIRE HYDRANT NUMBER	LOCATION	STATIC PRESSURE (PSI)	RESIDUAL PRESSURE (PSI)	DISCHARGE (GPM) AT 20PSI CALC
5214-02 (NOT SHOWN)	328 INDUSTRIAL PARKWAY (ON DIXON STREET)	130	124	8071
5214-06	29859 MISSION BOULEVARD	119	113	6,819.7

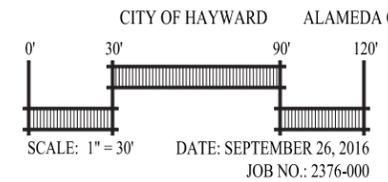
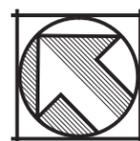
UTILITY NOTES:

- UTILITY LAYOUT SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN. EXISTING MANHOLE INVERTS BASED ON CITY PROVIDED BASE MAPS AND NEED TO BE FIELD VERIFIED.
- PRELIMINARY DOMESTIC AND FIRE SERVICE SIZES ARE SUBJECT TO FINAL DESIGN. IRRIGATION METERS, DOMESTIC BACKFLOW PREVENTERS AND BUILDING FIRE SERVICES ARE SHOWN FOR REFERENCE ONLY.
- FIRE SERVICES FOR EACH BUILDING WILL BE DESIGNED TO NFPA 13D STANDARDS.
- PRELIMINARY STORM DRAIN SIZING BASED ON RATIONAL METHOD CALCULATIONS.
- EXISTING ON-SITE PUBLIC SANITARY SEWER TO BE INTERCEPTED AT MISSION BOULEVARD, RE-ROUTED THROUGH PROJECT SITE AND CONNECTED AT MISSION BOULEVARD. ALL REMAINING PIPE TO BE REMOVED OR ABANDONED PER ALAMEDA COUNTY STANDARDS.
- ALL PROPOSED PIPE TYPES WILL FOLLOW CITY OF HAYWARD SPECIFICATIONS AND BE DETAILED ON IMPROVEMENT PLANS. WATER MAIN UNDER DECORATIVE PAVEMENT SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE.

PRELIMINARY UTILITY PLAN

VESTING TENTATIVE TRACT MAP 8304

MISSION VILLAGE



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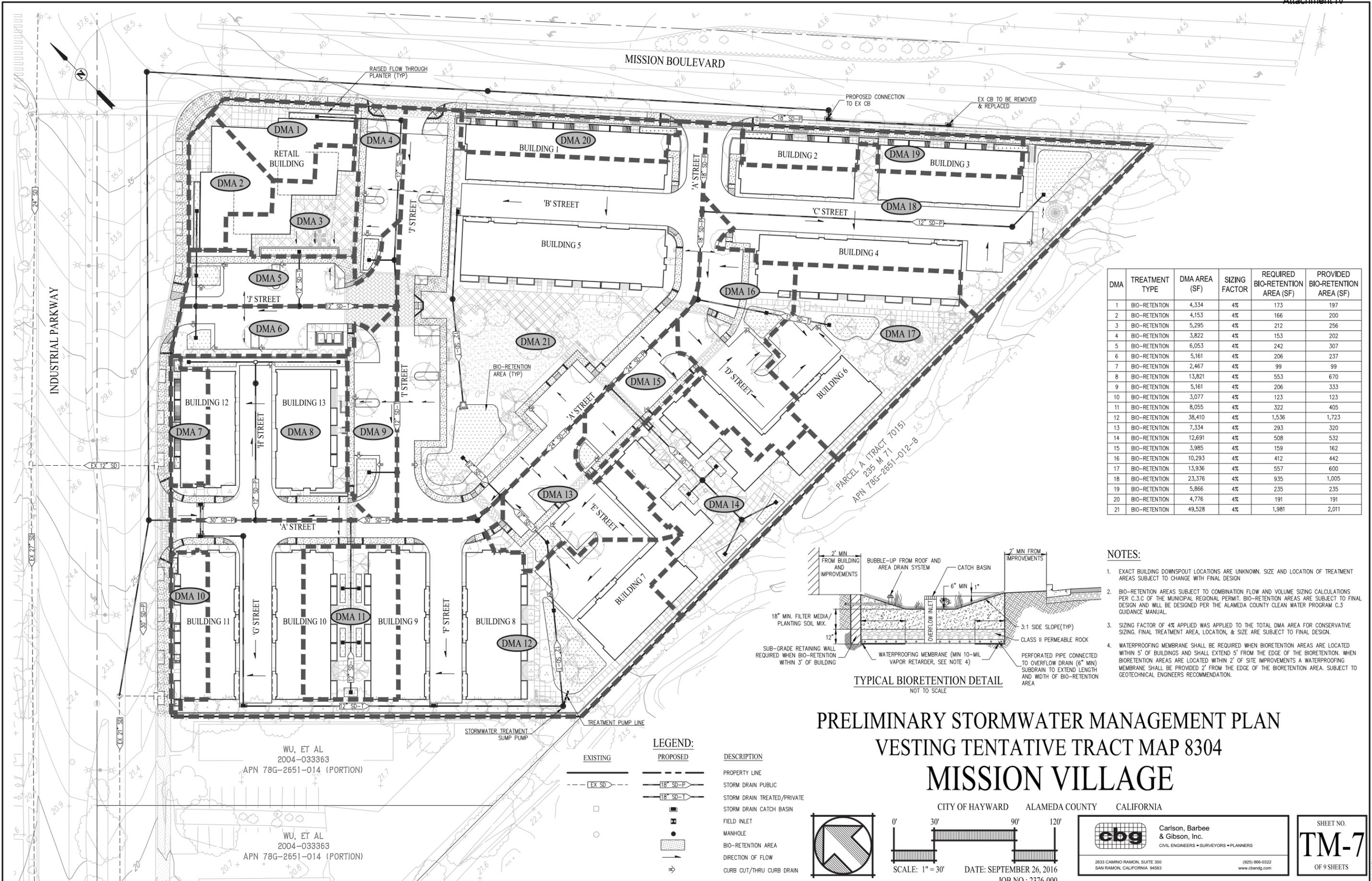
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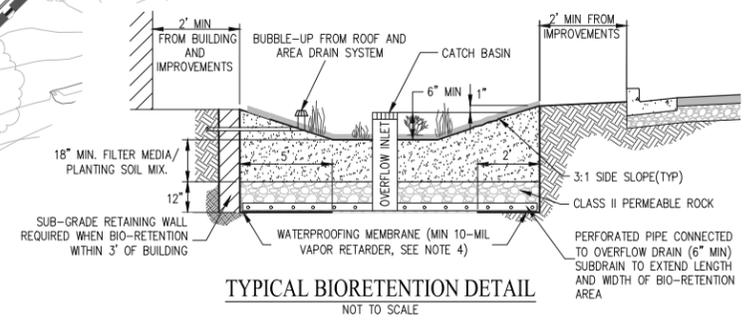
SHEET NO.
TM-6
OF 9 SHEETS

WU, ET AL
2004-033363
APN 78G-2651-014 (PORTION)

WU, ET AL
2004-033363
APN 78G-2651-014 (PORTION)



DMA	TREATMENT TYPE	DMA AREA (SF)	SIZING FACTOR	REQUIRED BIO-RETENTION AREA (SF)	PROVIDED BIO-RETENTION AREA (SF)
1	BIO-RETENTION	4,334	4%	173	197
2	BIO-RETENTION	4,153	4%	166	200
3	BIO-RETENTION	5,295	4%	212	256
4	BIO-RETENTION	3,822	4%	153	202
5	BIO-RETENTION	6,053	4%	242	307
6	BIO-RETENTION	5,161	4%	206	237
7	BIO-RETENTION	2,467	4%	99	99
8	BIO-RETENTION	13,821	4%	553	670
9	BIO-RETENTION	5,161	4%	206	333
10	BIO-RETENTION	3,077	4%	123	123
11	BIO-RETENTION	8,055	4%	322	405
12	BIO-RETENTION	38,410	4%	1,536	1,723
13	BIO-RETENTION	7,334	4%	293	320
14	BIO-RETENTION	12,691	4%	508	532
15	BIO-RETENTION	3,985	4%	159	162
16	BIO-RETENTION	10,293	4%	412	442
17	BIO-RETENTION	13,936	4%	557	600
18	BIO-RETENTION	23,376	4%	935	1,005
19	BIO-RETENTION	5,866	4%	235	235
20	BIO-RETENTION	4,776	4%	191	191
21	BIO-RETENTION	49,528	4%	1,981	2,011



- NOTES:**
- EXACT BUILDING DOWNSPOUT LOCATIONS ARE UNKNOWN. SIZE AND LOCATION OF TREATMENT AREAS SUBJECT TO CHANGE WITH FINAL DESIGN.
 - BIO-RETENTION AREAS SUBJECT TO COMBINATION FLOW AND VOLUME SIZING CALCULATIONS PER C.3.C OF THE MUNICIPAL REGIONAL PERMIT. BIO-RETENTION AREAS ARE SUBJECT TO FINAL DESIGN AND WILL BE DESIGNED PER THE ALAMEDA COUNTY CLEAN WATER PROGRAM C.3 GUIDANCE MANUAL.
 - SIZING FACTOR OF 4% APPLIED WAS APPLIED TO THE TOTAL DMA AREA FOR CONSERVATIVE SIZING. FINAL TREATMENT AREA, LOCATION, & SIZE ARE SUBJECT TO FINAL DESIGN.
 - WATERPROOFING MEMBRANE SHALL BE REQUIRED WHEN BIORETENTION AREAS ARE LOCATED WITHIN 5' OF BUILDINGS AND SHALL EXTEND 5' FROM THE EDGE OF THE BIORETENTION. WHEN BIORETENTION AREAS ARE LOCATED WITHIN 2' OF SITE IMPROVEMENTS A WATERPROOFING MEMBRANE SHALL BE PROVIDED 2' FROM THE EDGE OF THE BIORETENTION AREA. SUBJECT TO GEOTECHNICAL ENGINEERS RECOMMENDATION.

PRELIMINARY STORMWATER MANAGEMENT PLAN
VESTING TENTATIVE TRACT MAP 8304
MISSION VILLAGE

LEGEND:

EXISTING	PROPOSED	DESCRIPTION
—	---	PROPERTY LINE
EX SD	18" SD-P	STORM DRAIN PUBLIC
	18" SD-T	STORM DRAIN TREATED/PRIVATE
□	■	STORM DRAIN CATCH BASIN
○	●	FIELD INLET
	○	MANHOLE
	■	BIO-RETENTION AREA
	→	DIRECTION OF FLOW
	⇒	CURB CUT/THRU CURB DRAIN

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SCALE: 1" = 30' DATE: SEPTEMBER 26, 2016 JOB NO.: 2376-000

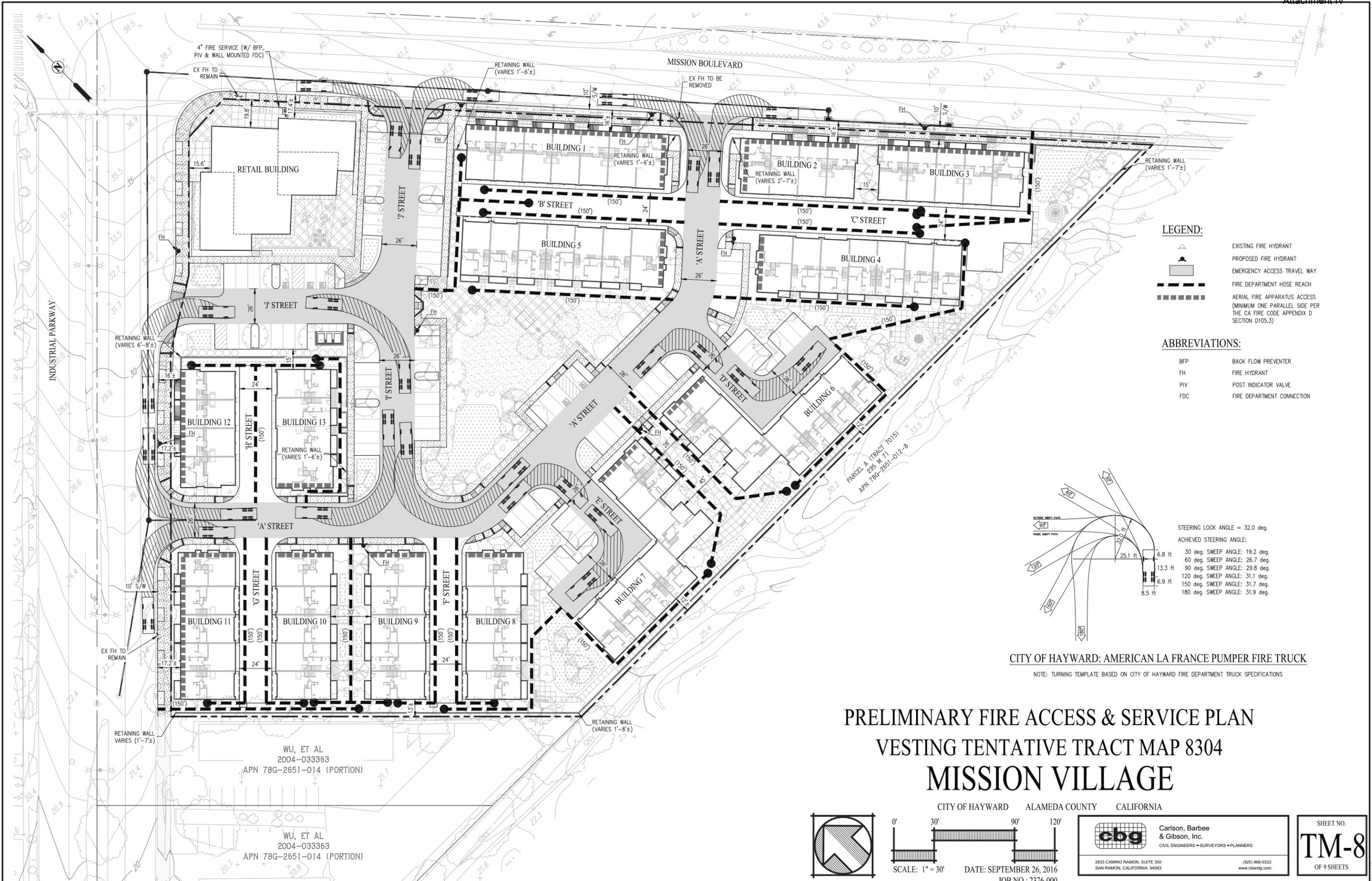
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 2004-033363
 APN 78G-2651-014 (PORTION)



LEGEND:

- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EMERGENCY ACCESS TRAVEL WAY
- FIRE DEPARTMENT HOSE REACH
- AERIAL FIRE APPARATUS ACCESS (MINIMUM ONE PARALLEL SIDE PER THE CA FIRE CODE APPENDIX D SECTION D105.3)

ABBREVIATIONS:

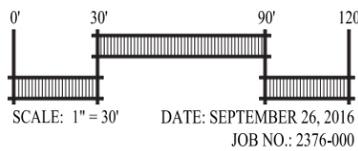
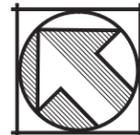
- BFP BACK FLOW PREVENTER
- FH FIRE HYDRANT
- PIV POST INDICATOR VALVE
- FDC FIRE DEPARTMENT CONNECTION

CITY OF HAYWARD: AMERICAN LA FRANCE PUMPER FIRE TRUCK

NOTE: TURNING TEMPLATE BASED ON CITY OF HAYWARD FIRE DEPARTMENT TRUCK SPECIFICATIONS

PRELIMINARY FIRE ACCESS & SERVICE PLAN
 VESTING TENTATIVE TRACT MAP 8304
 MISSION VILLAGE

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

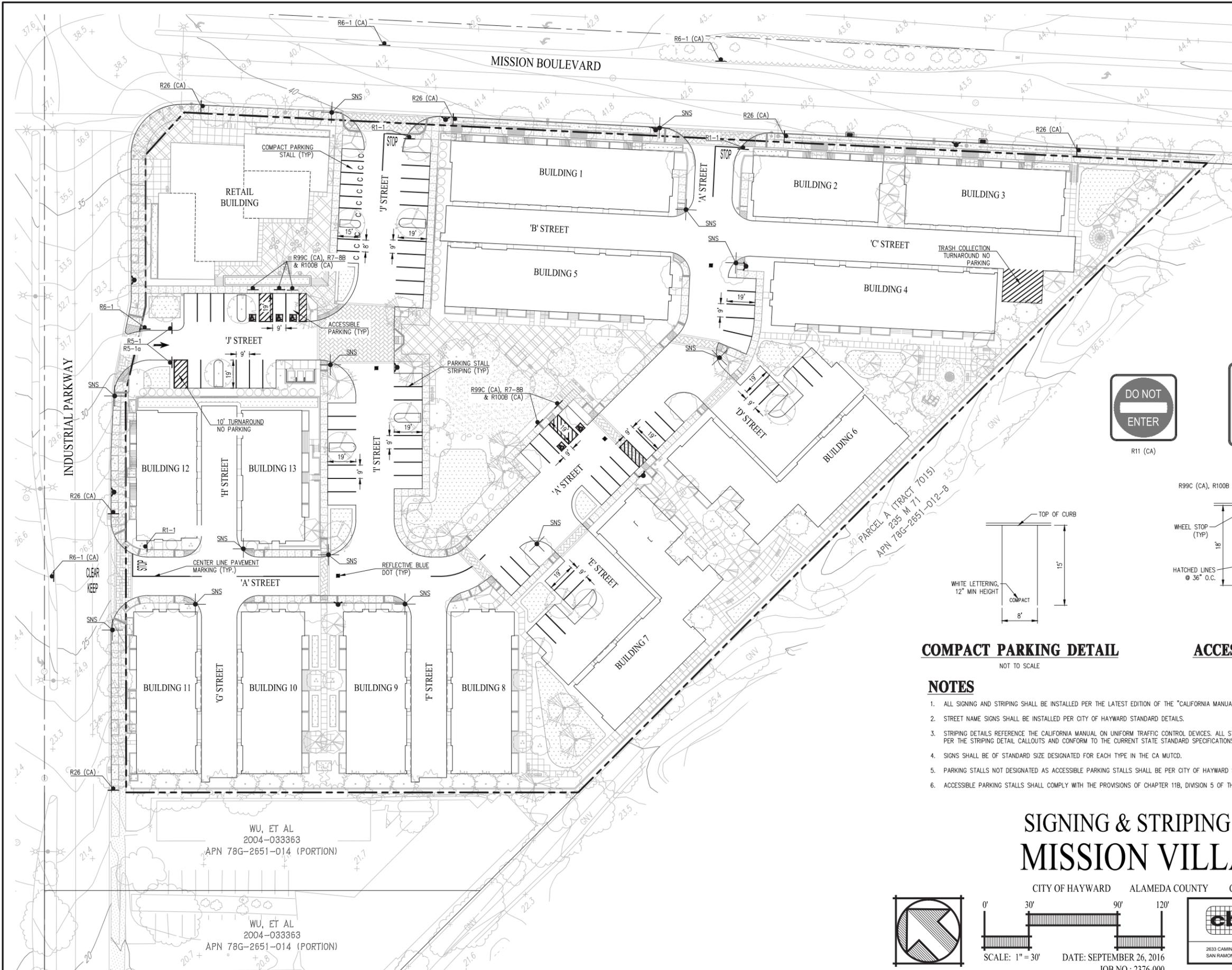


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SHEET NO.
TM-8
 OF 9 SHEETS

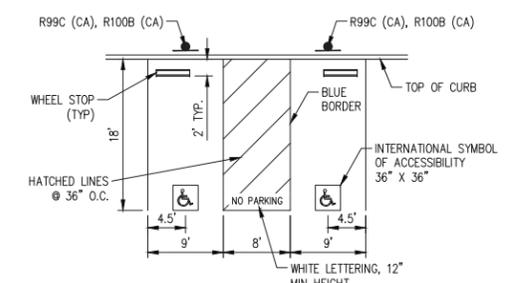
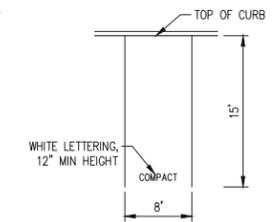
WU, ET AL
 2004-033363
 APN 78G-2651-014 (PORTION)

WU, ET AL
 2004-033363
 APN 78G-2651-014 (PORTION)



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PARKING STALL STRIPING (4" WHITE)
- RED CURB ALONG FIRE LANE
- STREET NAME SIGN
- SIGN
- FIRE HYDRANT
- REFLECTIVE "BLUE DOT" FIRE HYDRANT MARKER TO BE INSTALLED
- ♿ INTERNATIONAL SYMBOL OF ACCESSIBILITY
- ▨ ACCESSIBLE PARKING STRIPING / NO PARKING STRIPING PER 2013 CALIFORNIA BUILDING CODE FIGURE 11B-502.3.3
- STOP "STOP" PAVEMENT MARKINGS WITH 12" WHITE LIMIT LINE
- C COMPACT PARKING STALL
- SNS STREET NAME SIGN
- R1-1 STOP SIGN
- R5-1/R5-1a DO NOT ENTER/WRONG WAY
- R6-1 ONE WAY
- R26(CA) NO PARKING SIGN
- R99(CA) HANDICAP PARKING SIGN
- R100B(CA) HANDICAP TOW-AWAY WARNING



COMPACT PARKING DETAIL

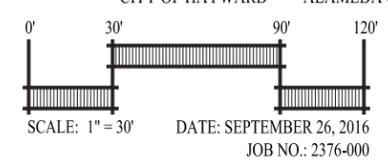
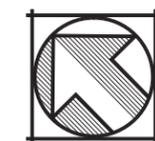
ACCESSIBLE PARKING DETAIL

NOTES

1. ALL SIGNING AND STRIPING SHALL BE INSTALLED PER THE LATEST EDITION OF THE "CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
2. STREET NAME SIGNS SHALL BE INSTALLED PER CITY OF HAYWARD STANDARD DETAILS.
3. STRIPING DETAILS REFERENCE THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL STRIPING SHALL BE THERMOPLASTIC OR RAISED PAVEMENT MARKERS PER THE STRIPING DETAIL CALLOUTS AND CONFORM TO THE CURRENT STATE STANDARD SPECIFICATIONS.
4. SIGNS SHALL BE OF STANDARD SIZE DESIGNATED FOR EACH TYPE IN THE CA MUTCD.
5. PARKING STALLS NOT DESIGNATED AS ACCESSIBLE PARKING STALLS SHALL BE PER CITY OF HAYWARD STANDARDS.
6. ACCESSIBLE PARKING STALLS SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 11B, DIVISION 5 OF THE CURRENT CALIFORNIA BUILDING CODE.

**SIGNING & STRIPING PLAN
MISSION VILLAGE**

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



cbg Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
2633 CAMINO RAMON, SUITE 350 SAN RAMON, CALIFORNIA 94583 (925) 866-0322 www.cbandg.com

SHEET NO. **TM-9**
OF 9 SHEETS

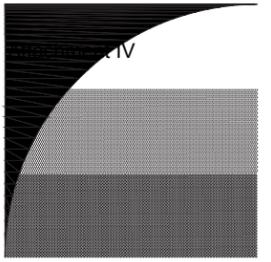
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MISSION VILLAGE

PLANNED DEVELOPMENT SUBMITTAL

HAYWARD, CALIFORNIA



GATES
+ASSOCIATES

LANDSCAPE ARCHITECTURE
LAND PLANNING • URBAN DESIGN

2671 CROW CANYON RD. SAN RAMON, CA 94583
T 925.736.8176 www.gates.com

MISSION VILLAGE

HAYWARD, CA

PROJECT DIRECTORY

CLIENT

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SAN JOSE, CA 95126
PH: (408) 282-0995
CONTACT: DOUG RICH

LANDSCAPE ARCHITECT

GATES + ASSOCIATES
271 CROW CANYON ROAD
SAN RAMON, CA 94583
PH: (925) 736-8176 x227
CONTACT: RUSTY CASE

ARCHITECT

STUDIO T SQUARE
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OAKLAND, CA 94607-4218
PH: (510) 451-2850
CONTACT: CHRIS T. LEE

CIVIL ENGINEER

CARLSON, BARBEE & GIBSON
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SAN RAMON, CA 94583
PH: (925) 866-0322 x258
CONTACT: RYAN HANSEN

SHEET INDEX

1	L-00	LANDSCAPE COVER SHEET
2	L-0	TREE SURVEY PLAN
3	L-1	TREE MITIGATION PLAN
4	L-2	LAYOUT AND PLANTING LEGENDS
5	L-3	CONCEPTUAL LANDSCAPE PLAN
6	L-4	CONCEPTUAL ENLARGEMENT PLAN
7	L-5	CONCEPTUAL ENLARGEMENT PLAN
8	L-6	MISSION BLVD STREETScape
9	L-7	SITE ELEMENTS
10	L-8	PLANTING IMAGES
11	L-9	MAILBOX, FENCING & BIKE PARKING
12	L-10	IRRIGATION AND HYDROZONE CONCEPT PLAN
13	L-11	IRRIGATION LEGEND AND NOTES
14	L-12	IRRIGATION DETAILS
15	L-13	IRRIGATION DETAILS
16	L-14	CONSTRUCTION DETAILS
17	L-15	CONSTRUCTION DETAILS
18	L-16	CONSTRUCTION DETAILS

PLANTING NOTES

- ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE LANDSCAPE ARCHITECT.
- ALL TREES ARE TO BE STAKED AS SHOWN ON THE TREE STAKING/GUYING DETAIL.
- PLANT COUNT IS FOR THE CONVENIENCE OF THE CONTRACTOR. IN CASE OF DISCREPANCIES, THE PLAN SHALL GOVERN.
- PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES BUT NOT TO BLOCK WINDOWS NOR IMPEDE ACCESS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS, AND DELETIONS IN THE PLANTING SCHEME AS THEY FEEL NECESSARY WHILE WORK IS IN PROGRESS. SUCH CHANGES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF /WHEN NECESSARY.
- BRANCHING HEIGHT OF TREES SHALL BE A 6'-0" MINIMUM ABOVE FINISH GRADE.
- ALL TREES IN A FORMAL GROUP PLANTING SHALL BE MATCHING IN SIZE AND SHAPE.
- LANDSCAPE CONTRACTOR SHALL HIRE AN ACCREDITED SOILS ANALYSIS FIRM TO TEST SOIL AND ABIDE BY RECOMMENDATIONS CONTAINED WITHIN FOR PROPER PLANT GROWTH.
- ON GRADE PLANTING BACKFILL MIX SHALL CONSIST OF 50% IMPORTED TOPSOIL, 50 % NATIVE SOIL (WITH NO ROCKS LARGER THAN 2" DIAMETER).
- ALL ON-GRADE PLANTING AREAS ARE TO RECEIVE IRON AND NITROGEN STABILIZED REDWOOD SOIL CONDITIONER AT THE RATE OF 6 CUBIC YARDS/1000 SQUARE FEET, EVENLY TILLED 6" DEEP INTO THE SOIL TO FINISH GRADE.
- ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH 3" LAYER OF SALT WATER FREE FIR BARK MULCH HAVING A MAXIMUM SIZE OF 3/4" DIAMETER.
- ALL STREET TREES TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY.
- ALL TREES WITHIN 5' OF PAVING AREAS SHALL HAVE DEEP ROOT BARRIERS INSTALLED. DEEP ROOT BARRIER MODEL NO. UB-36.2. (415) 344.1464.
- THE LANDSCAPE CONTRACTOR SHALL AS A PART OF THIS BID PROVIDE FOR A PLANTING ALLOWANCE FOR THE AMOUNT OF \$1,500.00 (ONE THOUSAND FIVE HUNDRED DOLLARS), TO BE USED FOR SUPPLYING AND INSTALLING ADDITIONAL PLANT MATERIAL AS DIRECTED BY THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER IN WRITING. THE UNUSED PORTION OF THE ALLOWANCE SHALL BE RETURNED TO THE OWNER AT THE BEGINNING OF THE MAINTENANCE PERIOD.
- CONTRACTOR SHALL EXCAVATE ALL LIME-TREATED SOILS FROM ALL PLANTING AREAS.
- ADJACENT TO CURBS OR PAVING, CONTRACTOR TO HOLD CENTER OF PLANTINGS 1/2 THE DISTANCE OF THE ON-CENTER SPACING.
- THE LANDSCAPE CONTRACTOR IS TO PROVIDE AN AGRICULTURAL SUITABILITIES ANALYSIS AND PERCOLATION TEST VERIFYING 3" PER HOUR DRAIN RATE FOR ON-SITE AND IMPORTED TOPSOIL. RECOMMENDATIONS FOR AMENDMENTS AND DRAINAGE SOLUTIONS CONTAINED IN THIS ANALYSIS SHALL BE CARRIED OUT BEFORE PLANTING OCCURS IF DRAINAGE IS FOUND TO NOT AT A PROPER RATE.

LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL WRITTEN DIMENSIONS SUPERSEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF THE BUILDING, WALL, BACK OF CURB, EDGE OF WALK, PROPERTY LINE, OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL ANGLES ARE 45 DEGREE, 90 DEGREE, OR 135 DEGREE UNLESS OTHERWISE NOTED.
- ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH.
- SEE IRRIGATION SCHEMATIC FOR GENERAL SYSTEM REQUIREMENTS AND FOR LOCATION OF IRRIGATION MAINLINE PIPING. SLEEVES TO ACCOMMODATE IRRIGATION PIPING, SIZED AS NEEDED, SHALL BE PLACED UNDER AND THROUGH SLABS AND WALLS, PRIOR TO POURING.
- SCORE LINES IN SIDEWALKS SHALL BE SPACED TO EQUAL THE WIDTH OF THE WALKWAY, UNLESS OTHERWISE SHOWN. EXPANSION JOINTS IN SIDEWALKS SHALL BE 30' ON CENTER MAXIMUM AND AS SHOWN ON THE PLANS. EXPANSION JOINTS SHALL BE PLACED AT THE INTERFACE OF WALLS AND BUILDINGS AND AT THE CHANGE OF DIRECTION OF TRAVEL.
- BUILDING LAYOUT AND LOCATION, SIDEWALK, CURB AND GUTTER, GRADING AND DRAINAGE IS BASED ON DRAWINGS PREPARED BY THE ARCHITECT AND THE CIVIL ENGINEER.
- SEE ELECTRICAL ENGINEER'S PLANS AND LIGHTING PLAN FOR ADDITIONAL INFORMATION.
- 6" CONCRETE MOW BAND SHALL BE INSTALLED IN BETWEEN THE SEAT WALL AND THE LAWN AREA, AS WELL AS ALONG THE EDGE OF THE RUBBER SURFACING PLAY AREA.
- HANDRAILS ARE ONLY REQUIRED AT EACH RESIDENCE WHEN THE NUMBER OF RISERS IS 3 OR MORE.

WATER EFFICIENT LANDSCAPE STATEMENT

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET CURRENT WATER EFFICIENCY STANDARDS AND STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AB1881 AS REQUIRED BY LOCAL JURISDICTIONS WHILE ACHIEVING THE GOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF HIGH EFFICIENCY SPRAY IRRIGATION TO THE TURF AND GROUND COVER AREAS AND DRIP IRRIGATION BUBBLERS TO RESTRICTED SHRUB PLANTING AND SHRUB MASS PLANTING AREAS AS APPLICABLE.

IRRIGATION SYSTEMS SHALL BE DESIGNED TO ACCOMMODATE RECYCLED WATER WHERE AVAILABLE EITHER CURRENTLY OR IN THE FUTURE AS DIRECTED BY THE LOCAL WATER PURVEYOR. RECYCLED WATER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH LOCAL AND STATE CODES.

IRRIGATION SYSTEMS FOR LANDSCAPES GREATER THAT 5,000 SF SHALL HAVE A DEDICATED WATER METER FOR IRRIGATION.

A WATER EFFICIENT LANDSCAPE WORKSHEET SHALL BE INCLUDED WITH HYDROZONE INFORMATION TABLE, WATER BUDGET CALCULATIONS AND IRRIGATION OPERATION SCHEDULES. SEE SHEET L-9 FOR PRELIMINARY HYDROZONE AND IRRIGATION SCHEDULE.

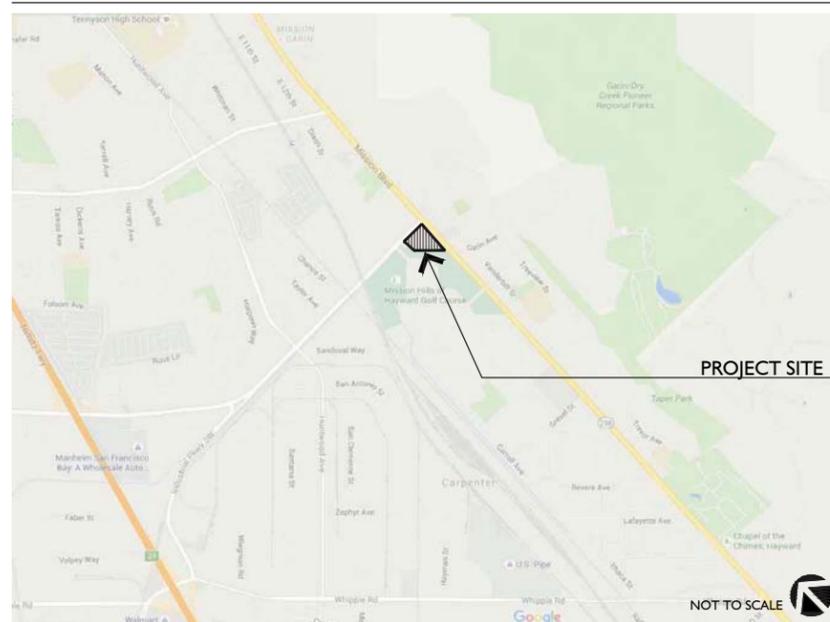
A STATE OF THE ART ET BASED SELF ADJUSTING IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO AUTOMATICALLY CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPED PER INDIVIDUAL HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE). THIS SHALL INCLUDE RAIN AND FLOW SENSORS AS APPLICABLE FOR A HIGHER LEVEL OF WATER CONSERVATION.

TREE BUBBLERS SHALL BE INCLUDED ON SEPARATE CIRCUITS TO ISOLATE THE IRRIGATION TO THE TREES AND PROVIDE DEEP WATERING TO PROMOTE A DEEPER ROOT STRUCTURE.

SPRAY IRRIGATION SYSTEMS FOR GROUND COVER AREAS GREATER THAN 8' WIDE IN ANY DIRECTION SHALL BE DESIGNED WITH COMMERCIAL SERIES SPRAY HEADS WITH HIGH EFFICIENCY NOZZLES THAT INCLUDE INTERNAL CHECK VALVES AND PRESSURE COMPENSATION DEVICES. THE HEADS SHALL BE DESIGNED IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM. THE NOZZLES DELIVER WATER AT MINIMUM 70% EFFICIENCY WITH A LOW PRECIPITATION RATE THAT MATCHES THE INFILTRATION RATE OF THE SOIL.

THE DRIP SYSTEM WILL INCORPORATE PRESSURE COMPENSATING DRIP BUBBLERS WITH 1/4" DRIP TUBES TO EACH PLANT WHICH DELIVERS WATER AT 90% EFFICIENCY AT AN APPLICATION RATE THAT MATCHES THE SOIL TYPE.

LOCATION MAP



GENERAL NOTES

- UTILITIES ON SITE SHALL BE SCREENED BY EVERGREEN SHRUBS
- FOR BIO-RETENTION AREA CROSS-SECTION, SEE CIVIL DRAWINGS
- SCHEMATIC CONCEPT PLANS WERE BASE ON CITY OF HAYWARD'S WATER CONSERVATION IN LANDSCAPING REGULATIONS GUIDELINES AND CHECKLIST. FOLLOWING CITY'S APPROVAL OF PD SUBMITTAL DOCUMENTS, THE CONSTRUCTION DOCUMENTS SHALL ALSO FOLLOW CITY OF HAYWARD'S WATER CONSERVATION IN LANDSCAPING REGULATIONS GUIDELINES.

ISSUE:	DESCRIPTION:	DATE:
1	PLANNING SUBMITTAL	10/02/15
2	PLANNING RESUBMITTAL	03/15/16
3	PLANNING RESUBMITTAL	06/27/16
4	PLANNING RESUBMITTAL	09/28/16

NOT FOR CONSTRUCTION

PROJECT NUMBER:	4980
DRAWN:	CC KP
CHECK:	RC
DATE:	09/28/2016
SCALE:	NO SCALE



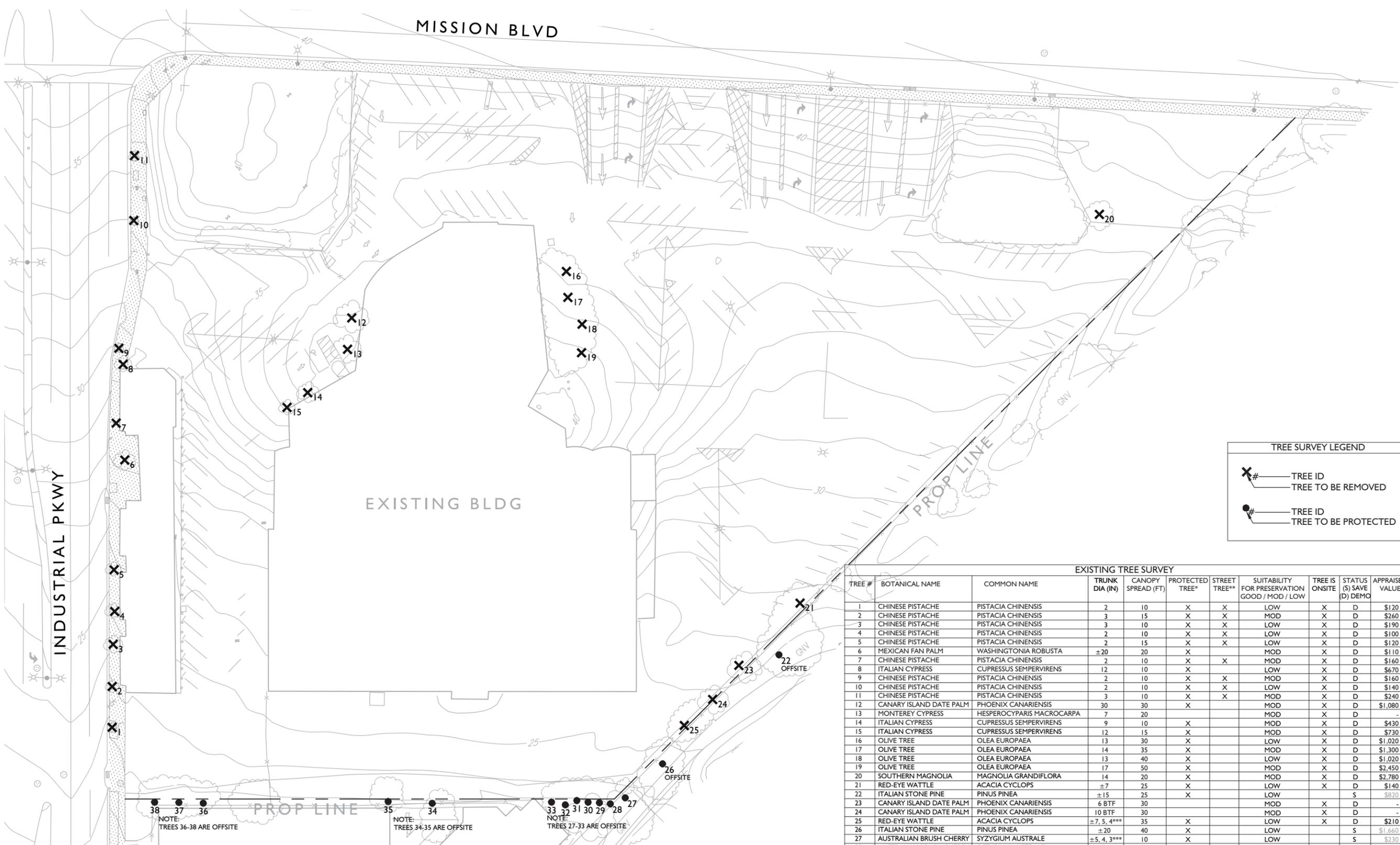
LANDSCAPE COVER SHEET

L-00

1 of 18

MISSION VILLAGE

HAYWARD, CA



TREE SURVEY LEGEND

- X# TREE ID
 TREE TO BE REMOVED
- # TREE ID
 TREE TO BE PROTECTED

TREE #	BOTANICAL NAME	COMMON NAME	TRUNK DIA (IN)	CANOPY SPREAD (FT)	PROTECTED TREE*	STREET TREE**	SUITABILITY FOR PRESERVATION GOOD / MOD / LOW	TREE IS ONSITE	STATUS (S) SAVE (D) DEMO	APPRAISED VALUE
1	CHINESE PISTACHE	PISTACIA CHINENSIS	2	10	X	X	LOW	X	D	\$120
2	CHINESE PISTACHE	PISTACIA CHINENSIS	3	15	X	X	MOD	X	D	\$260
3	CHINESE PISTACHE	PISTACIA CHINENSIS	3	10	X	X	LOW	X	D	\$190
4	CHINESE PISTACHE	PISTACIA CHINENSIS	2	10	X	X	LOW	X	D	\$100
5	CHINESE PISTACHE	PISTACIA CHINENSIS	2	15	X	X	LOW	X	D	\$120
6	MEXICAN FAN PALM	WASHINGTONIA ROBUSTA	±20	20	X		MOD	X	D	\$110
7	CHINESE PISTACHE	PISTACIA CHINENSIS	2	10	X	X	MOD	X	D	\$160
8	ITALIAN CYPRESS	CUPRESSUS SEMPERVIRENS	12	10	X		LOW	X	D	\$670
9	CHINESE PISTACHE	PISTACIA CHINENSIS	2	10	X	X	MOD	X	D	\$160
10	CHINESE PISTACHE	PISTACIA CHINENSIS	2	10	X	X	LOW	X	D	\$140
11	CHINESE PISTACHE	PISTACIA CHINENSIS	3	10	X	X	MOD	X	D	\$240
12	CANARY ISLAND DATE PALM	PHOENIX CANARIENSIS	30	30	X		MOD	X	D	\$1,080
13	MONTEREY CYPRESS	HESPEROCYPARIS MACROCARPA	7	20			MOD	X	D	-
14	ITALIAN CYPRESS	CUPRESSUS SEMPERVIRENS	9	10	X		MOD	X	D	\$430
15	ITALIAN CYPRESS	CUPRESSUS SEMPERVIRENS	12	15	X		MOD	X	D	\$730
16	OLIVE TREE	OLEA EUROPAEA	13	30	X		LOW	X	D	\$1,020
17	OLIVE TREE	OLEA EUROPAEA	14	35	X		MOD	X	D	\$1,300
18	OLIVE TREE	OLEA EUROPAEA	13	40	X		LOW	X	D	\$1,020
19	OLIVE TREE	OLEA EUROPAEA	17	50	X		MOD	X	D	\$2,450
20	SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	14	20	X		MOD	X	D	\$2,780
21	RED-EYE WATTLE	ACACIA CYCLOPS	±7	25	X		LOW	X	D	\$140
22	ITALIAN STONE PINE	PINUS PINEA	±15	25	X		LOW	S	\$820	
23	CANARY ISLAND DATE PALM	PHOENIX CANARIENSIS	6 BTF	30			MOD	X	D	-
24	CANARY ISLAND DATE PALM	PHOENIX CANARIENSIS	10 BTF	30			MOD	X	D	-
25	RED-EYE WATTLE	ACACIA CYCLOPS	±7.5, 4***	35	X		LOW	X	D	\$210
26	ITALIAN STONE PINE	PINUS PINEA	±20	40	X		LOW	S	\$1,660	
27	AUSTRALIAN BRUSH CHERRY	SYZYGIUM AUSTRALE	±5.4, 3***	10	X		LOW	S	\$230	
28	AUSTRALIAN BRUSH CHERRY	SYZYGIUM AUSTRALE	±7.5***	10	X		MOD	S	\$370	
29	AUSTRALIAN BRUSH CHERRY	SYZYGIUM AUSTRALE	±5.4***	10	X		MOD	S	\$250	
30	AUSTRALIAN BRUSH CHERRY	SYZYGIUM AUSTRALE	±5.4, 3***	10	X		MOD	S	\$320	
31	AUSTRALIAN BRUSH CHERRY	SYZYGIUM AUSTRALE	±11.9***	10	X		MOD	S	\$1,000	
32	AUSTRALIAN BRUSH CHERRY	SYZYGIUM AUSTRALE	±10.9***	10	X		MOD	S	\$1,000	
33	AUSTRALIAN BRUSH CHERRY	SYZYGIUM AUSTRALE	±8.7, 7***	10	X		LOW	S	\$700	
34	CHERRY PLUM	PRUNUS CERASIFERA	±12	-	X		LOW	X	D	\$0
35	WEeping BOTTLEBRUSH	CALLISTEMON VIMINALIS	±10.6***	20	X		LOW	X	D	\$770
36	CHERRY PLUM	PRUNUS CERASIFERA	±14.1, 9***	30	X		LOW	S	\$940	
37	CHERRY PLUM	PRUNUS CERASIFERA	±5.5, 4***	20	X		LOW	S	\$260	
38	CHERRY PLUM	PRUNUS CERASIFERA	±5.3, 2***	25	X		LOW	S	\$440	

NOTES:
 * = SECTION 10-15.12 OF THE HAYWARD MUNICIPAL CODE DEFINES "TREES" TO INCLUDE SPECIES GENERALLY REGARDED AS TREES; ANY LIKELY PLANTED AS PART OF A PLANNED DEVELOPMENT OR APPROVED LANDSCAPE PLAN; AND ANY WITH A SINGLE- OR MULTI-TRUNK STRUCTURE HAVING A MAJOR TRUNK WITH A DIAMETER OF ±4" AT 54" ABOVE THE GROUND.
 ** = SECTION 10-15.13 OF THE HAYWARD MUNICIPAL CODE DEFINES A "PROTECTED TREE," AS IT RELATES TO TREES LOCATED ON AND ADJACENT TO THE SITE, AS (1) HAVING A TRUNK DIAMETER ≥8", OR FOR MULTI-TRUNK TREES, THE CUMULATIVE DIAMETERS OF THE LARGEST THREE TRUNKS ≥8" (MEASUREMENTS OBTAINED 54" ABOVE THE GROUND); AND (2) TREES ORIGINATING WITHIN THE PUBLIC RIGHT-OF-WAY (I.E. STREET TREES), REGARDLESS OF SIZE.
 *** = MULTI-TRUNK SPECIMEN

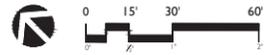
TOTAL VALUE: \$14,200

TREE SURVEY PLAN PREPARED FROM TREE SURVEY REPORT BY ARBOR RESOURCES, DATED 8/14/2015. REPORT PREPARED BY DAVID L. BABBY

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4	PLANNING RESUBMITTAL	09/28/16

NOT FOR CONSTRUCTION

PROJECT NUMBER: 4980
 DRAWN: CC | KP
 CHECK: RC
 DATE: 09/28/2016
 SCALE: 1"=30'-0"



TREE SURVEY PLAN

L-0

PATH: P:\HAYWARD\MISSION VILLAGE (P4980)_ACAD\DCSD-EX-TREE-HOLIDAY.DWG
 PLOT DATE: 9/26/2016 12:13 PM

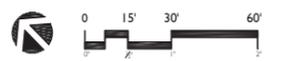
MISSION VILLAGE

HAYWARD, CA

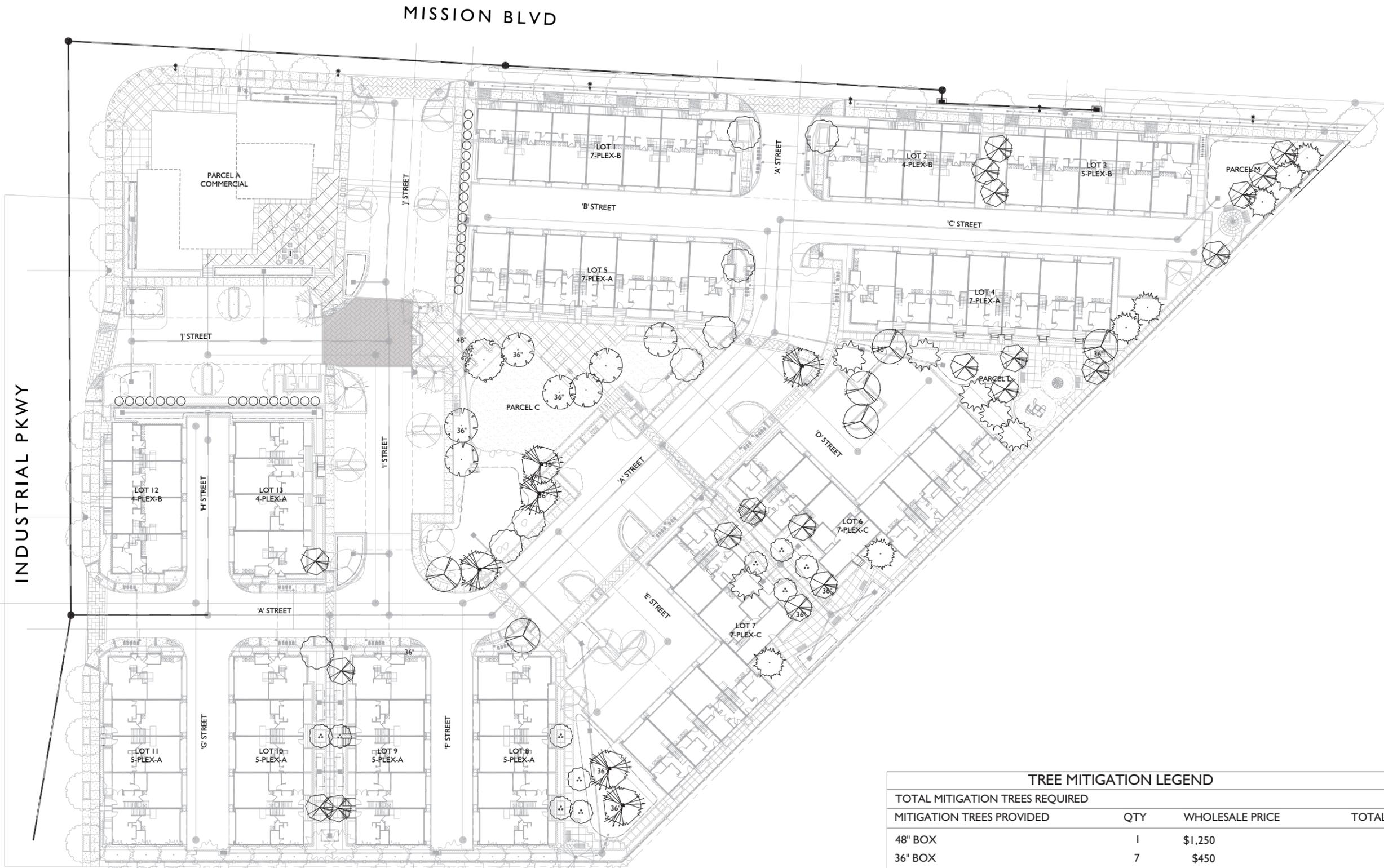
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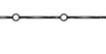
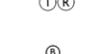
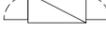
TREE MITIGATION PLAN



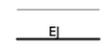
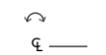
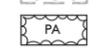
TREE MITIGATION LEGEND			
TOTAL MITIGATION TREES REQUIRED			\$14,200
MITIGATION TREES PROVIDED	QTY	WHOLESALE PRICE	TOTAL VALUE
48" BOX	1	\$1,250	\$1,250
36" BOX	7	\$450	\$3,150
24" BOX	98	\$165	\$16,170
TOTAL MITIGATION VALUE PROVIDED:			\$20,570

- NOTE:
- TREES NOT INDICATED WITH SIZE ON PLAN ARE BY DEFAULT 24" BOX
 - BOLD TREES ARE MITIGATION TREES, TYP
 - GREYED TREES ARE REQUIRED PROJECT TREES AND ARE NOT INCLUDED IN COUNT, TYP

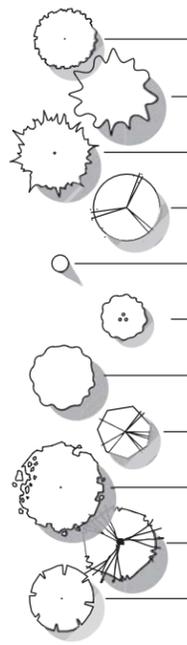
LAYOUT LEGEND

-  PEDESTRIAN CONCRETE PAVING
FINISH: MEDIUM BROOM
COLOR: STANDARD GREY
-  INTEGRAL COLOR CONCRETE PAVING W/ TOPCAST RETARDANT
FINISH: DAYTON TOPCAST SURFACE RETARDANT - PINK PKG. # 125 - 3/8" - 5/8" EXPOSED AGGREGATE SIZE
INTEGRAL DAVIS COLOR: GRAPHITE
TEL: 1-877-266-7732
-  VEHICULAR CONCRETE PAVERS W/CONCRETE BAND EDGING
GRANITE BAY / MT SHASTA (50/50 MIX)
FINISH: SMOOTH
BASALITE REP: MICHAEL COOK
-  STAMPED AND COLORED AC VEHICULAR PAVING
(PATTERN AND COLOR TO MATCH PAVER CROSSWALKS)
-  6' GOOD NEIGHBOR SOLID WOOD FENCE
SEE DETAIL
-  6' ALUMINUM VIEW FENCE
AMERISTAR MODEL
COLOR: BLACK
SEE DETAIL
-  4' WOOD PRIVACY SCREEN FENCE
SEE DETAIL
-  PRECAST CONCRETE LANDSCAPE WALL WITH INTEGRAL COLOR AND SKATEBLOCKS
-  CANTILEVERED STEEL ARBOR
OVER CONCRETE SEATPAD
-  **M** CLUSTER MAILBOX UNIT
16-UNIT MAILBOX CLUSTER
MODEL# 3316 IN WHITE
AVAIL: MAILBOXES.COM
-  PICNIC TABLE
FORMS+SURFACES APEX TABLE
HC ACCESSIBLE
-  BENCH
DUMOR MODEL 270
HC ACCESSIBLE SPACE PROVIDED
-  **T/R** TRASH / RECYCLING
DUMOR MODEL 474
-  **B** BOLLARD
-  STAINLESS STEEL ROUND BIKE RACK
2 BIKES PER LOOP
BELSON.COM / MODEL CBBR-2CR-SSD
-  BIKE LOCKER W/ U-BAR LOCK
2 BIKE CAPACITY
MODEL: BTWL02M
COLOR: RAL 8019-GREY BROWN
WWW.BIKEPARKING.COM
-  PARK AND PARKING LOT LIGHTS, TYP
SELUX LIGHTING
SATURN 2 CUTOFF LED
SEE SHEET L-6 FOR IMAGE
-  NATURAL BOULDERS
SIZE VARIES

ABBREVIATIONS

-  SCORELINE
-  **EJ** EXPANSION JOINT
-  **+** POINT OF BEGINNING
-  TYP. TYPICAL
-  EQ. EQUAL
-  S.C.D. SEE CIVIL'S DRAWINGS
-  S.A.D. SEE ARCHITECT'S DRAWINGS
-  S.E.D. SEE ELECTRICAL'S DRAWINGS
- SIM SIMILAR
- R RADIUS - ALL RADII GIVEN FOR WALLS ARE DIMENSIONED TO OUTSIDE OF WALLS.
- ALIGN
- CENTER LINE
- SP. SPACING
- F.O.C. FACE OF CURB
- BIO-RETENTION IN PLANTING AREAS, S.C.D
- **PA** PLANTING AREA

PLANT LIST



TREES							SIZE AT MATURITY
SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS		DIA / HT
AR	ACER RUBRUM 'ARMSTRONG'	'ARMSTRONG' RED MAPLE	24" BOX	AS SHOWN	MOD		15'-25' Ø / 50'-60' H
AM	ARBUTUS MARINA	STRAWBERRY TREE	24" BOX	AS SHOWN	LOW		25'-40' Ø / 40'-50' H
CR	CEANOTHUS RAY HARTMAN 'STD'	CEANOTHUS	24" BOX	AS SHOWN	LOW		10'-20' Ø / 12'-20' H
CA	CELTIS AUSTRALIS	EUROPEAN HACKBERRY	24" BOX	AS SHOWN	LOW		30'-40' Ø / 40'-70' H
CS	CUPRESSUS SEMPERVIRENS 'GLAUCA'	BLUE ITALIAN CYPRESS	24" BOX	AS SHOWN	LOW		4'-6' Ø / 60'-80' H
LI	LAGERSTROEMIA INDICA 'PURPLE TOWER'	CREPE MYRTLE	24" BOX	AS SHOWN	LOW		10' Ø / 25'-30' H
MG	MAGNOLIA GRANDIFLORA 'RUSSET'	RUSSET SOUTHERN MAGNOLIA	24" BOX	AS SHOWN	MOD		20'-25' Ø / 60'-80' H
MF	MALUS FLORIBUNDA 'PRAIRIEFIRE'	PRAIRIEFIRE CRABAPPLE	24" BOX	AS SHOWN	MOD		15'-20' Ø / 15'-20' H
OE	OLEA EUROPAEA	'SWAN HILL' FRUITLESS OLIVE	48" BOX	AS SHOWN	VERY LOW		20'-30' Ø / 30' H
PA	PLATANUS X. ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	24" BOX	AS SHOWN	MOD		30'-40' Ø / 40'-80' H
PY	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT PEAR	24" BOX	AS SHOWN	MOD		16' Ø / 36' H

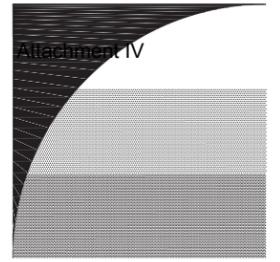
SHRUBS / GROUND COVER							SIZE AT MATURITY
SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS		DIA / HT
AD	ARCTOSTAPHYLOS D. 'HOWARD MC MINN'	MANZANITA	5 GAL	5'-0" O.C.	LOW		6'-12' Ø / 6'-10' H
BH	BUDDLEIA HYBRID 'FLUTTERBY PETITE PINK'	DWARF PINK BUTTERFLY BUSH	5 GAL	2'-6" O.C.	LOW		30" Ø / 30" H
CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER'	FEATHER REED GRASS	5 GAL	2'-6" O.C.	MOD		2' Ø / 2' H (BLOOMS TO 6')
LJ	CALLISTEMON VIMINALIS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL	3'-0" O.C.	MOD		4'-6' Ø / 3'-5' H
CD	CAREX BARBARAE	SANTA BARBARA SEDGE	1 GAL	1'-6" O.C.	LOW		1'-2' Ø / 1'-2' H
CP	CAREX PANSA	CALIFORNIA MEADOW SAGE	1 GAL	1'-0" O.C.	LOW		6"-8" H (SPREADING)
DS	CEANOTHUS 'DARK STAR'	WILD LILAC	5 GAL	5'-6" O.C.	LOW		10' Ø / 6' H
CG	CEANOTHUS G. H. 'YANKEE POINT'	YANKEE POINT WILD LILAC	5 GAL	2'-0" O.C.	LOW		8'-10' Ø / 2'-3' H
DT	DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED FLAX LILY	5 GAL	3'-0" O.C.	MOD		1'-2' Ø / 1'-2' H
EK	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GAL	2'-6" O.C.	LOW		3'-5' Ø / 1'-2' H
LC	LEYMUS C. 'CANYON PRINCE'	LYME GRASS	1 GAL	3'-6" O.C.	LOW		2'-3' Ø / 2'-3' H
LL	LOMANDRA LONGIFOLIA	LOMANDRA	1 GAL	3'-0" O.C.	LOW		2'-4' Ø / 2'-3' H
MA	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	5 GAL	4'-0" O.C.	LOW		3'-4' Ø / 2'-3' H
MR	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	3'-0" O.C.	LOW		4'-6' Ø / 4'-5' H
RC	RHAMNUS CALIFORNICA 'EVE CASE'	COFFEEBERRY	5 GAL	5'-0" O.C.	LOW		6'-8' Ø / 6'-8' H
RJ	RHAPHIOLEPIS I. 'JACK EVANS'	INDIAN HAWTHORN	5 GAL	3'-6" O.C.	LOW		4' Ø X 4'-5' H
RC	ROMNEYA COULTERI	MATILJA POPPY	5 GAL	6'-0" O.C.	VERY LOW		6'-8' Ø X 3'-5' H
SG	SALVIA GREGGII	AUTUMN SAGE	1 GAL	3'-6" O.C.	LOW		2'-3' Ø / 2'-3' H
SV	SANTOLINA VIRENS	GREEN LAVENDER COTTON	5 GAL	3'-0" O.C.	MOD		2'-3' Ø / 2' H
SM	SENECIO MANDRALISCAE	BLUE CHALK STICKS	1 GAL	1'-6" O.C.	MOD		2'-3' Ø / 12" H
TL	TEUCRIUM LUCIDRYS	GERMANDER	1 GAL	2'-0" O.C.	LOW		2'-3' Ø / 1'-2' H

VINES							SIZE AT MATURITY
SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS		HT
BP	BOULEVARD PARISIENNE CLEMATIS	CLEMATIS 'EVIPO019' P.P.#16069	5 GAL	AS SHOWN	MOD		4'-5' H
GS	GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	5 GAL	AS SHOWN	LOW		10'-20' HT

TURF						
SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	
••••	AGROSIS PALLENS	WEST COAST NATIVE BENTGRASS	SOD	AS SHOWN	LOW	

PLANTING LEGEND

-  **XX** TREE NAME
XX QUANTITY
-  **XX** SHRUB NAME
XX QUANTITY
-  **XX** GROUND COVER
XX QUANTITY
-  **XX** VINE
XX QUANTITY



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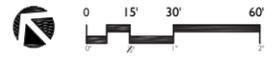
MISSION VILLAGE

HAYWARD, CA

ISSUE	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/02/15
2	PLANNING RESUBMITTAL	03/15/16
3	PLANNING RESUBMITTAL	06/27/16
4	PLANNING RESUBMITTAL	09/28/16

NOT FOR CONSTRUCTION

PROJECT NUMBER: 4980
DRAWN: CC | KP
CHECK: RC
DATE: 09/28/2016
SCALE: 1"=30'-0"



LAYOUT AND PLANTING LEGEND

L-2

MISSION VILLAGE

HAYWARD, CA

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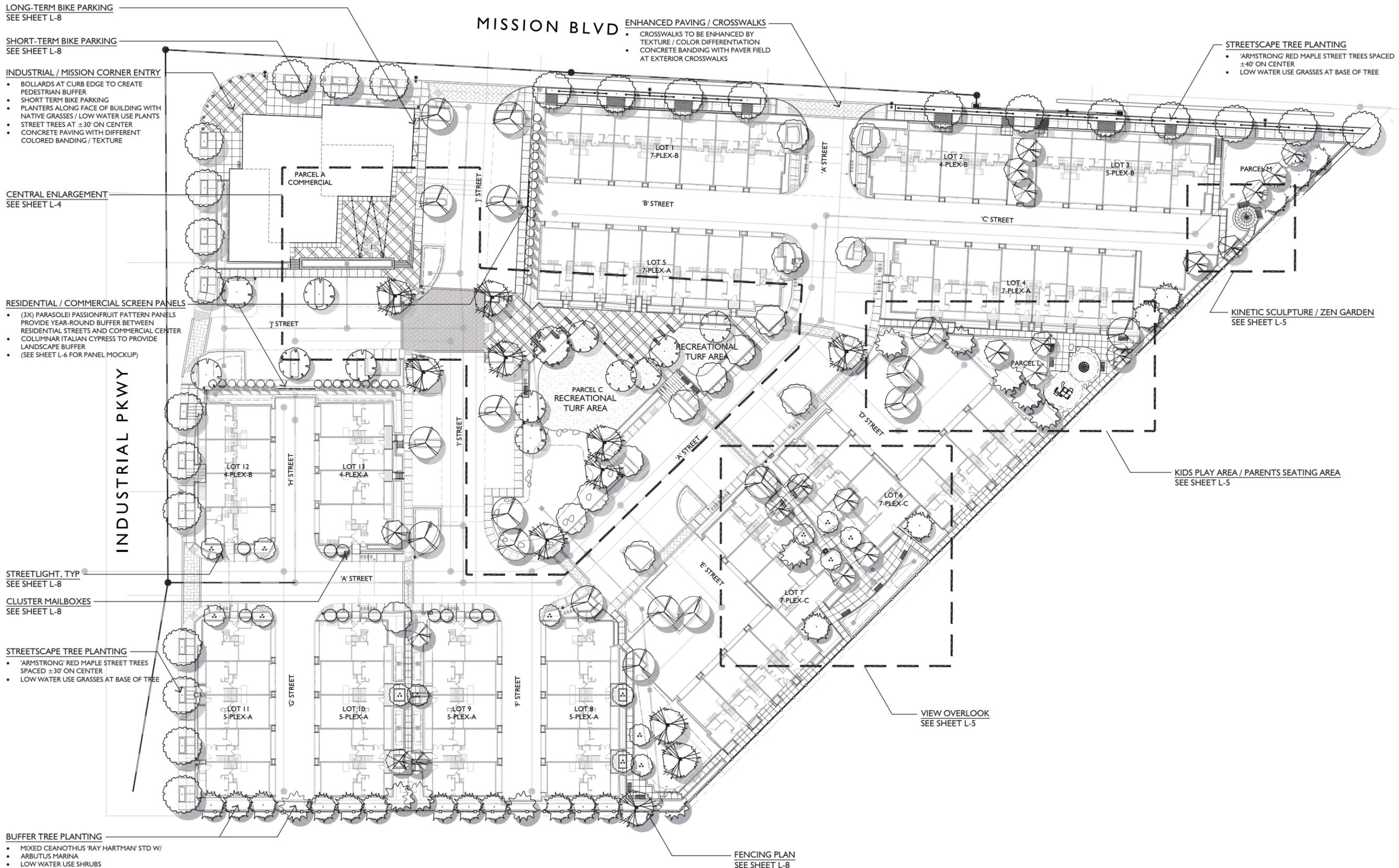
NOT FOR CONSTRUCTION

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SCALE:	1"=30'-0"



CONCEPTUAL
 LANDSCAPE PLAN

L-3



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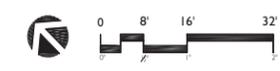
MISSION VILLAGE

HAYWARD, CA

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4	PLANNING RESUBMITTAL	09/28/16

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SCALE: 1/8" = 1'-0"



CONCEPTUAL ENLARGEMENT PLAN

L-4

- COMMERCIAL PLAZA**
- LARGE CENTRAL OPEN SPACE FOR CIRCULATION
 - CONCRETE TEXTURED / COLORED BANDING
 - PLANTERS DOUBLE AS C3 ZONE ALONG SOUTHWEST SIDE OF PLAZA
 - ACCESS IS OPEN ALONG SOUTHEAST SIDE OF PLAZA TO SIDEWALK
 - OUTDOOR FIREPIT WITH CASUAL SEATING
 - TIVOLI LIGHTS CREATE INFORMAL YET PRIVATE OUTDOOR SPACE
 - BOLLARDS TO PROTECT / SEPARATE EATING SPACE
 - INFORMAL, MOVABLE SEATING IN PLAZA SPACE
 - LOW WATER USE NATIVE GRASSES FOR PLANTING AT PLAZA
 - POTS AROUND PLAZA CREATE INTEREST

- ENTRY CORNER PLAZA**
- LARGE CENTRAL SPECIMEN OLIVE TREE AT ENTRY
 - LARGE PLAZA OVERLOOKS OPEN SPACE / RECREATIONAL LAWN AREA
 - CENTRAL PATHWAY CONNECTS TO DEVELOPMENT / CENTRAL LOOKOUT
 - LOW CONCRETE SEATWALLS PLAY OFF PAVING PATTERN
 - BIKE RACK / TRASH & RECYCLING
 - BENCHES AROUND CENTRAL SPACE
 - TEXTURED / COLORED BANDING IN CONCRETE

- CENTRAL PARK PLAZA / PARK OVERLOOK**
- METAL SHADE ARBOR
 - LOW LANDSCAPE WALLS AT BASE OF ARBORS ADD SEATING OPTIONS & LAWN OVERLOOK
 - CENTRAL EATING AREA OVERLOOKS PARK AND PROVIDES PASS THROUGH TO LAWN AREA
 - PICNIC TABLES
 - TRASH & RECYCLING
 - TEXTURED / COLORED BANDING IN CONCRETE

- LANDSCAPE BUFFER**
- 5' LANDSCAPE BUFFER PROVIDED AT HOMES ALONG CENTRAL OPEN AREA
 - EVERGREEN LOW WATER USE SHRUBS TO PROVIDE INTEREST / BUFFER
 - PAVING IS FLUSH WITH PLAZA

- SOUTHEAST ENTRANCE TO PLAZA**
- ENHANCED PAVING
 - PATH ADJUSTED TO ALLOW FOR TREE BUFFER
 - CONNECTION TO CROSSWALK

- SECONDARY LAWN AREA**
- OPEN RECREATIONAL LAWN ZONE
 - RECREATIONAL TURF AREA

- SOUTH ENTRANCE TO CENTRAL OPEN SPACE**
- 2X BENCH SEATING WITH TRASH/RECYCLING
 - PAVING PATTERN AT ENTRANCE
 - CENTRAL AXIS TO PUBLIC PLAZA
 - TRASH AND RECYCLING
 - BIKE RACKS

- RECREATIONAL LAWN OPEN SPACE**
- LARGE OPEN SPACE
 - LARGE RECREATIONAL LAWN AREA
 - MIX OF EVERGREEN STREET TREES, DECIDUOUS FALL FOLIAGE TREES AND ACCENT TREES

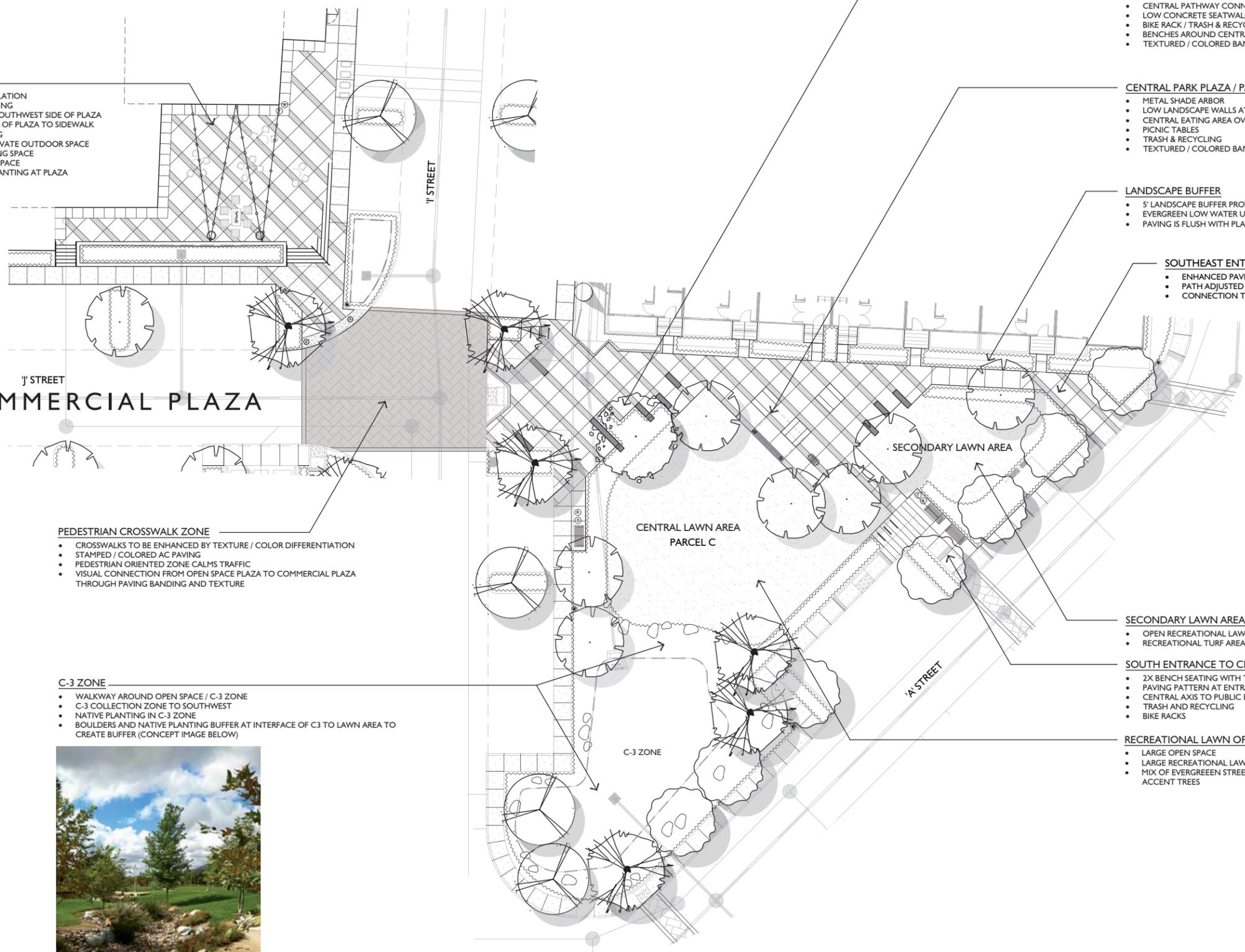
- PEDESTRIAN CROSSWALK ZONE**
- CROSSWALKS TO BE ENHANCED BY TEXTURE / COLOR DIFFERENTIATION
 - STAMPED / COLORED AC PAVING
 - PEDESTRIAN ORIENTED ZONE CALMS TRAFFIC
 - VISUAL CONNECTION FROM OPEN SPACE PLAZA TO COMMERCIAL PLAZA THROUGH PAVING BANDING AND TEXTURE

- C-3 ZONE**
- WALKWAY AROUND OPEN SPACE / C-3 ZONE
 - C-3 COLLECTION ZONE TO SOUTHWEST
 - NATIVE PLANTING IN C-3 ZONE
 - BOULDERS AND NATIVE PLANTING BUFFER AT INTERFACE OF C3 TO LAWN AREA TO CREATE BUFFER (CONCEPT IMAGE BELOW)



COMMERCIAL PLAZA

CENTRAL OPEN SPACE / C-3



MISSION VILLAGE

HAYWARD, CA

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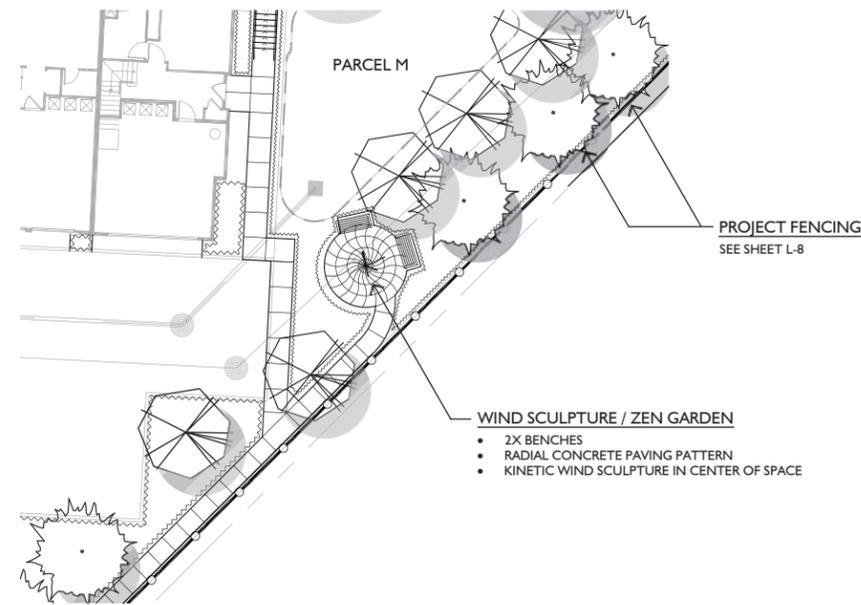
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 DRAWN: CC | KP
 CHECK: RC
 DATE: 09/28/2016
 SCALE: 1/8" = 1'-0"

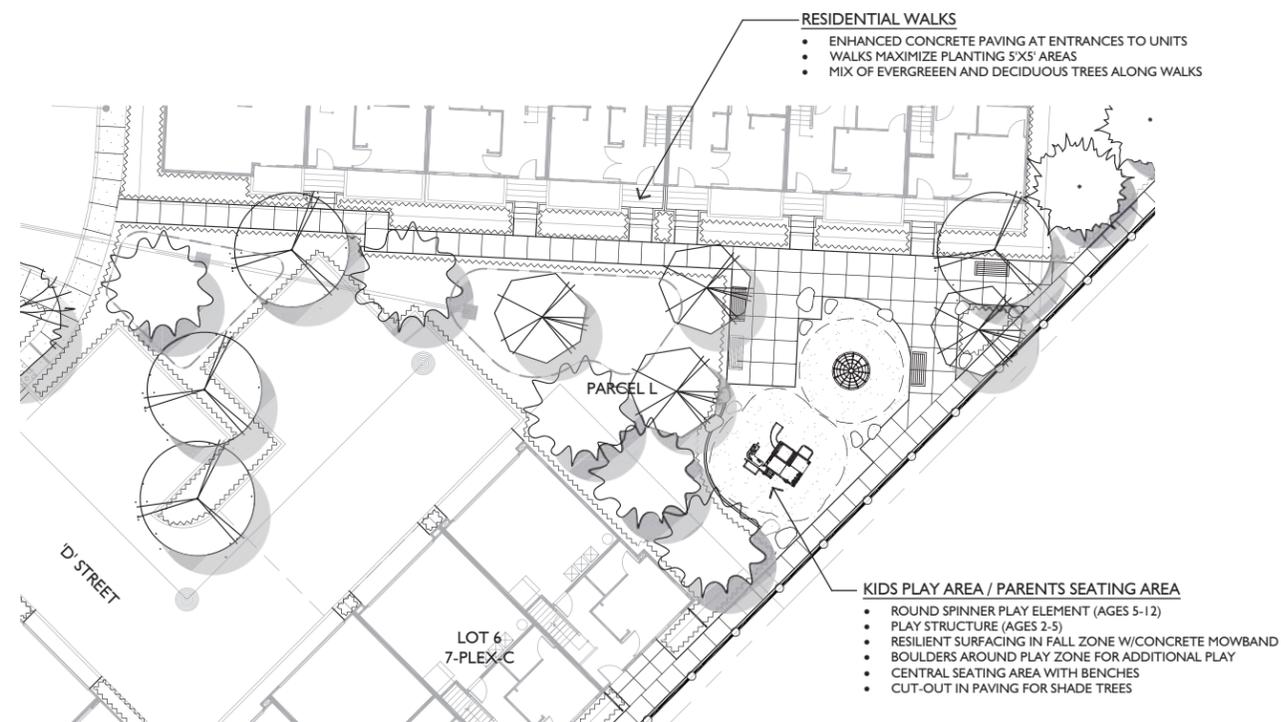


CONCEPTUAL ENLARGEMENT PLAN

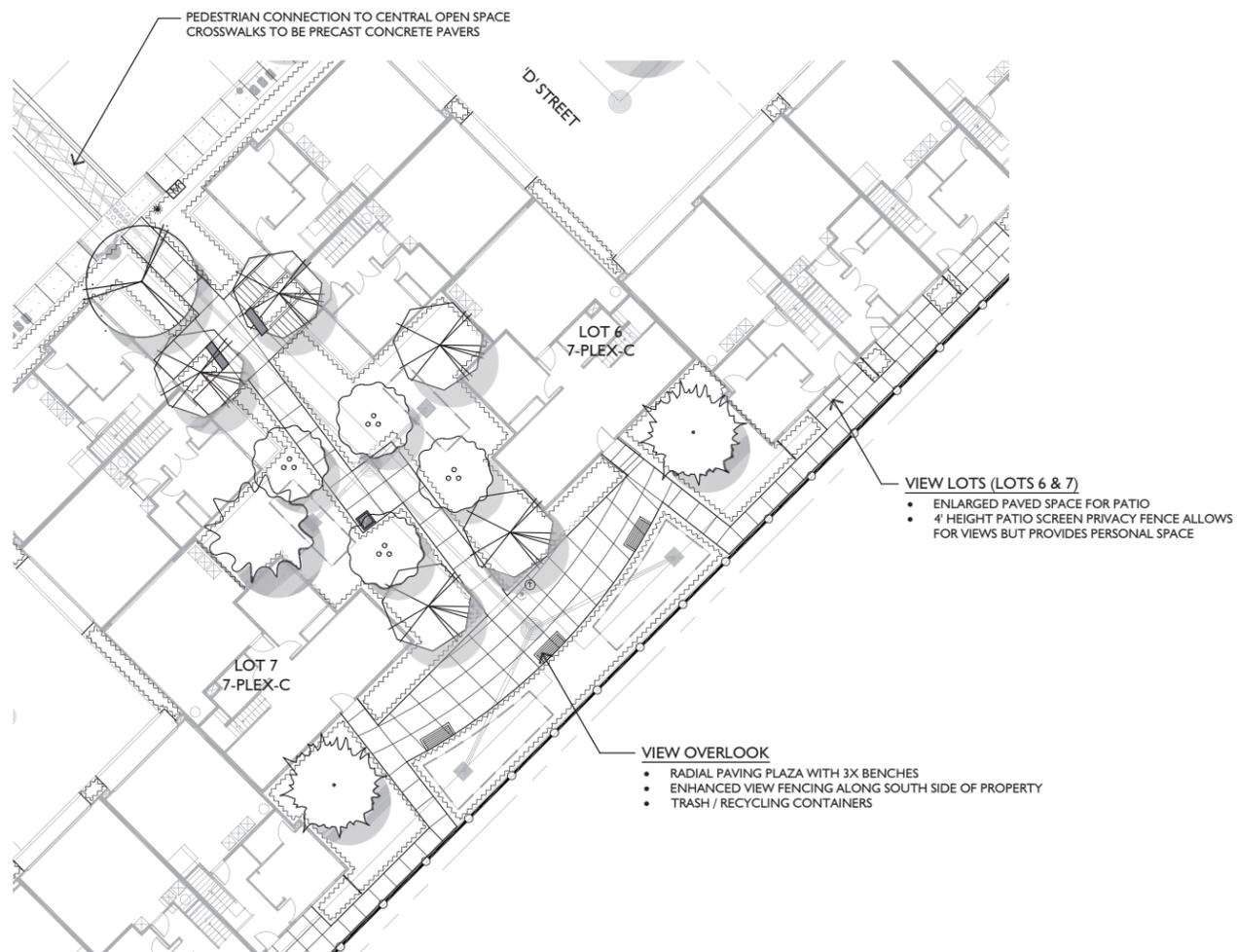
L-5



WIND SCULPTURE / ZEN GARDEN



TOT LOT / RESIDENTIAL WALKS



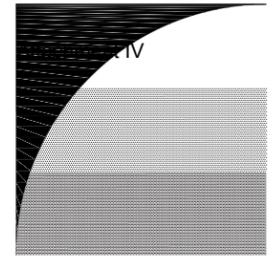
VIEW OVERLOOK



NOTES:

- ARCHITECTURE SHOWN IS CONCEPTUAL AND FOR REFERENCE ONLY. FINAL DESIGN IS SUBJECT TO CHANGE.
- RAILING DESIGN AS SHOWN IS CONCEPTUAL, FINAL DESIGN TBD.
- STREET LIGHT LOCATION SHOWN FOR REFERENCE ONLY, FINAL LOCATIONS ARE SUBJECT TO CHANGE PENDING PHOTOMETRIC PLANS PREPARED BY OTHERS.

- 36-INCH DECORATIVE RAILING
FINAL DESIGN TBD
- CONCRETE PAVERS
- 4-FOOT PLANTER
- BIKE LANE
- LANDSCAPED MEDIAN

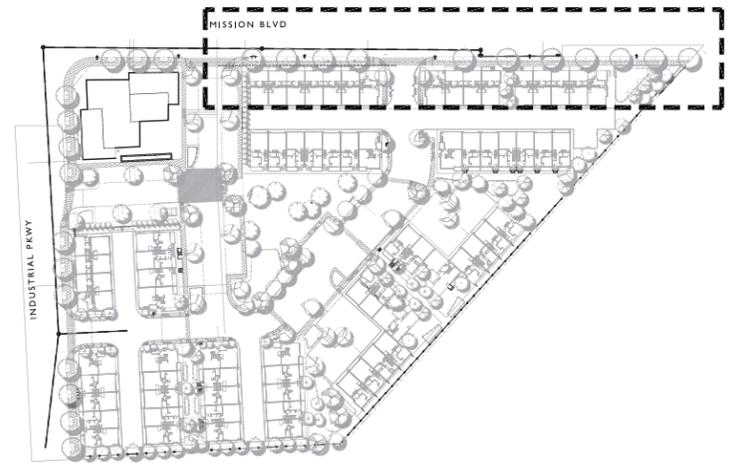


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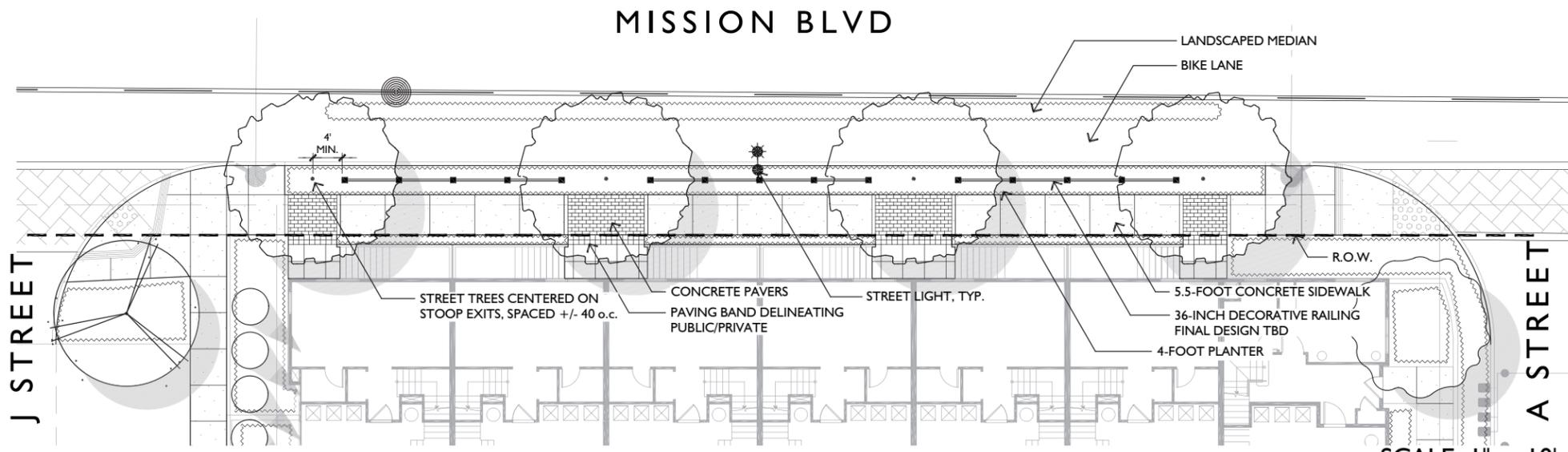
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MISSION VILLAGE

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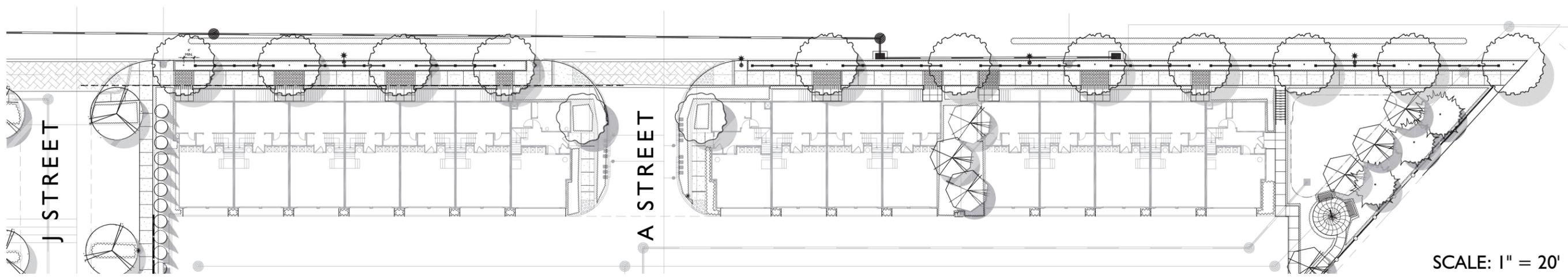
KEYMAP



ISSUE	DESCRIPTION	DATE
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NOT FOR CONSTRUCTION

MISSION BLVD



PROJECT NUMBER:	4980
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SCALE:	



MISSION BLVD STREETSCAPE

L-6

8 of 18



TIVOLI LIGHTS AT COMMERCIAL PLAZA



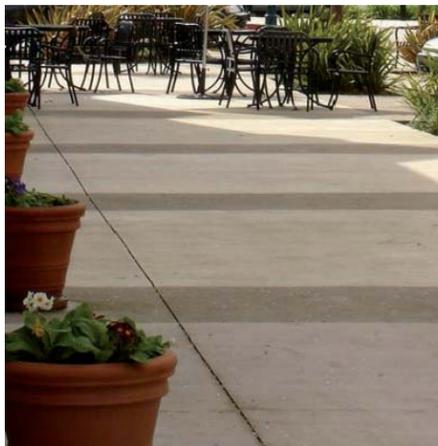
CENTRAL FIREPIT AT COMMERCIAL PLAZA



LARGE SPECIMEN OLIVE TREE AT ENTRANCE TO CENTRAL OPEN SPACE



OVERHEAD SHADE ELEMENT OVER ACCESSIBLE SEATING AT CENTRAL OPEN SPACE



PAVING WITH ACCENT BANDING



STREET TREES ALONG BIKE PATH



CONCRETE SEATPAD INTEGRATES WITH PAVING PATTERN



ACCESSIBLE SEATING FORMS+SURFACES - APEX TABLE



TRASH RECEPTACLE DUMOR #474



WOOD BENCH DUMOR WOOD AND METAL BENCH #270



LANDSCAPE STRUCTURES SMART CUBE



ELEPHANT PLAY ROTATING DISH



PARK LIGHTS; SELUX LIGHTING SATURN 2 CUTOFF LED



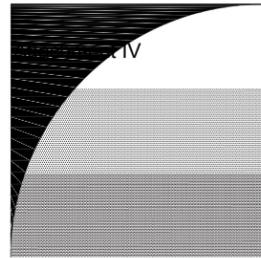
LIGHT BOLLARDS SELUX LIGHTING - SATURN LED BOLLARD



KINETIC ART



SCREEN PANELS AT INTERFACE OF RESIDENTIAL / COMMERCIAL PLAZA PARASOLEI PASSIONFRUIT PANELS - 8' X 4' (3 PANELS PER APPLICATION)



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DATE:	09/28/2016
SCALE:	1"=30'-0"



SITE ELEMENTS

L-7

STREET TREES

PROJECT TREES



ACER RUBRUM 'ARMSTRONG'



ARBUTUS MARINA



CEANOTHUS RAY HARTMAN 'STD'



CELTIS AUSTRALIS



LAGERSTROEMIA INDICA 'PURPLE TOWER'



MAGNOLIA GRANDIFLORA 'RUSSET'



MALUS FLORIBUNDA 'PRAIRIEFIRE'



OLEA EUROPAEA 'SWAN HILL' (FRUITLESS OLIVE)



PLATANUS X. ACERIFOLIA



PYRUS CALLERYANA 'ARISTOCRAT'

SHRUBS / GROUNDCOVER



ARCTOSTAPHYLOS D. 'HOWARD MC MINN'



BUDDLEIA HYBRID 'FLUTTERBY PETITE PINK'



CALLISTEMON VIMINALIS 'LITTLE JOHN'



CEANOTHUS 'DARK STAR'



CEANOTHUS GRISEUS HORIZ. 'YANKEE POINT'



DIANELLA TASMANICA 'VARIEGATA'



ERIGERON KARVINSKIANUS



MAHONIA AQUIFOLIUM 'COMPACTA'



RHAMNUS CALIFORNICA 'EVE CASE'



RHAPHIOLEPIS I. 'JACK EVANS'



ROMNEYA COULTERI



SALVIA GREGGII



SANTOLINA VIRENS



SENECIO MANDRALISCAE



TEUCRIUM LUCIDRYS

GRASSES



CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER'



SANTA BARBARA SEDGE



CALIFORNIA MEADOW SAGE



LEYMUS C. 'CANYON PRINCE'



LOMANDRA LONGIFOLIA



MUHLENBERGIA RIGENS

VINES



BOULEVARD PARISIENNE CLEMATIS



CAROLINA JESSAMINE

LOW WATER USE TURF



AGROSIS PALLENS

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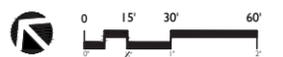
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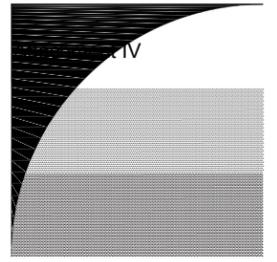
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SCALE:	1"=30'-0"



PLANTING IMAGES & LEGEND

L-8



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MISSION VILLAGE

HAYWARD, CA

INDUSTRIAL PKWY

MISSION BLVD



CLUSTER MAILBOX UNITS

UNIT	UNITS SERVED
A	13
B	16
C	14
D	16
E	14

PARK PARKING LOT LIGHTS, TYP

6 ☼ SEE SHEET L-2 FOR LEGEND; SEE SHEET L-6 FOR IMAGE

PROJECT FENCING



1 6' WOOD GOOD NEIGHBOR FENCE
TOTAL LENGTH = ±294 LF



2 6' VIEW FENCE - ALUM BLACK MONTAGE PLUS FENCING BY AMERISTAR
TOTAL LENGTH = ±600 LF



3 4' TALL WOOD PRIVACY FENCE
TOTAL LENGTH = ±50 LF

BIKE PARKING



4 BIKE LOCKER W/ U-BAR LOCK
2 BIKE CAPACITY
MODEL: BTWL02M
COLOR: RAL 8019-GREY BROWN
WWW.BIKEPARKING.COM
4 SPACES FOR LONG TERM PARKING ON SITE



5 STAINLESS STEEL ROUND BIKE RACK
2 BIKES PER LOOP
BELSON.COM / MODEL CBBR-2CR-SSD
20 SPACES FOR SHORT-TERM PARKING ON SITE

ISSUE	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/02/15
2	PLANNING RESUBMITTAL	03/15/16
3	PLANNING RESUBMITTAL	06/27/16
4	PLANNING RESUBMITTAL	09/28/16

NOT FOR CONSTRUCTION

PROJECT NUMBER:	4980
DRAWN:	CC KP
CHECK:	RC
DATE:	09/28/2016
SCALE:	1" = 30'-0"



MAILBOX, FENCING & BIKE PARKING

L-9

IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC.
- DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THEN WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING, AND ARCHITECTURAL FEATURES.
- ELECTRICAL CONTRACTOR TO SUPPLY 120 VOLT A.C. (2.5 AMP) SERVICE TO CONTROLLER LOCATION. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL STUB-OUT TO CONTROLLER.
- EACH CONTROLLER SHALL HAVE ITS OWN INDEPENDENT GROUND WIRE.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS WHERE POSSIBLE (NOT IN LAWN AREA).
- SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE AND 100 FEET ON CENTER ALONG WIRE RUN. TAPE WIRE IN BUNDLES 10 FEET ON CENTER. NO TAPING PERMITTED INSIDE SLEEVES.
- INSTALL FOUR (4) SPARE CONTROL WIRES ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES. SPARE WIRES SHALL BE YELLOW, COMMON WIRES SHALL BE WHITE AND CONTROL WIRES SHALL BE RED.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL DRIP TUBES FOR OPTIMUM PERFORMANCE.
- NOTIFY ARCHITECT OF ANY ASPECTS OF LAYOUT WHICH WILL PROVIDE INCOMPLETE OR INSUFFICIENT WATER COVERAGE OF PLANT MATERIAL AND DO NOT PROCEED UNTIL HIS INSTRUCTIONS ARE OBTAINED.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE DESIGNATED ON THE PLANS.
- INSTALL A VALCON 5000 SERIES SPRING LOADED CHECK VALVE BELOW DRIP BUBBLERS WHERE LOW HEAD DRAINAGE WILL CAUSE EROSION AND EXCESS WATER.
- INSTALL VALVE BOXES 12" FROM AND PERPENDICULAR TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF VALVE BOX SHALL BE PARALLEL TO WALK, CURB LAWN, ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- OPERATE IRRIGATION CONTROLLER(S) BETWEEN THE HOURS OF 10:00 PM AND 7:00 AM.
- IRRIGATION CONTRACTOR TO NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- PRIOR TO TRENCHING, CALL UNDERGROUND SERVICE ALERT, (1-800) 642-2444 FOR NORTHERN CALIFORNIA
- WHEN VERTICAL OBSTRUCTIONS (STREET LIGHTS, TREES, FIRE HYDRANTS, ETC.) INTERFERE WITH THE PATTERN OF THE DRIP TUBING LAYOUT SO AS TO PREVENT PROPER COVERAGE, THE IRRIGATION CONTRACTOR SHALL FIELD ADJUST THE DRIP SYSTEM AT THE LOCATION OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	PSI	GPM	PRECIPI	RADIUS
▲	OCT816	PEPCO OCTA BUBBLER-SHRUBS	30	2 GPH	-	-
■	RWS-B-C-1401	TREE BUBBLERS IN TURF- TWO RAINBIRD BUBBLER IN DEEP WATERING TUBE PER TREE	30	.25 EACH	-	-
→	M64/AP100	SPEARS FLUSHING END PLUG - LOCATE AT END OF LONG DRIP LINES				
⊕	P-220-27	TORO REMOTE CONTROL VALVE				
✂	T-113-K	NIBCO GATE VALVE (LINE SIZE) WITH CROSS HANDLE INSIDE ROUND VALVE BOX				
◆	33-DLRC	RAIN BIRD 3/4" QUICK COUPLING VALVE				
☒	825Y-BV-SBBC-30SS	FEBCO BACKFLOW PREVENTOR WITH STRONG BOX ENCLOSURE				
☒	1-1201-1151-B130 PMR-MF-30-1"	AMIAD 1" FILTER WITH 130 MESH SCREEN WITH SENNINGER 1" IN-LINE PRESSURE REDUCING VALVE (1-22 GPM)				
Ⓐ	RME24EG RS1000	RAINMASTER ET BASED CONTROLLER WALL MOUNTED INSIDE METAL ENCLOSURE WITH IRRITROL SYSTEMS WIRELESS RAIN SENSOR				
		IRRIGATION INSIDE DASHED OUTLINE AREA: TORO DL2000 DRIPLINE DRIP EMITTER TUBING PART NUMBER: RGP-412-10 - 1.0 GPH EMITTERS 12" ON CENTER DRIPLINE PIPE WITH TORO LOC-EZE FITTINGS (OR EQUAL) INSTALLED 4" COVER BELOW SOIL LEVEL AND 8" FROM EDGE OF SIDEWALK OR CURB. INSTALL DRIPLINE PER INSTALLATION DETAILS SHEET L-8				
		STATION NUMBER GALLONS PER MINUTE VALVE SIZE				
		MAINLINE: SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.				
		LATERAL LINE: 1120-CLASS 200 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.				
		SLEEVE: 1120-200 PSI PVC PLASTIC PIPE W/SCHEDULE 40 PVC PLASTIC FITTINGS. 24" COVER. SIZE NOTED ON PLANS.				

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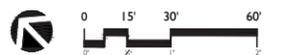
MISSION VILLAGE

HAYWARD, CA

ISSUE	DESCRIPTION	DATE
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2	PLANNING RESUBMITTAL	03/15/16
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**NOT FOR
CONSTRUCTION**

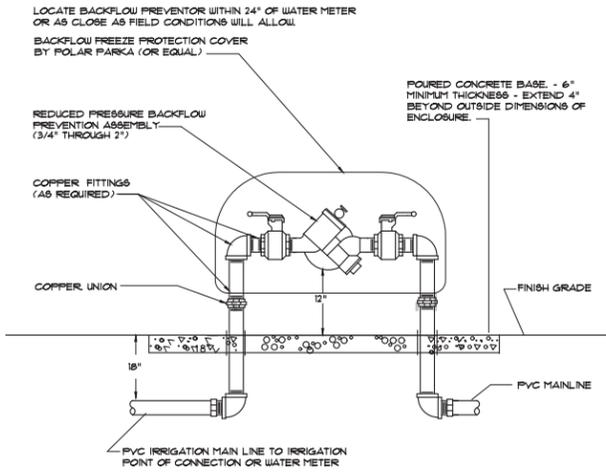
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DRAWN: CC | KP
CHECK: RC
DATE: 09/28/2016
SCALE: 1"=30'-0"



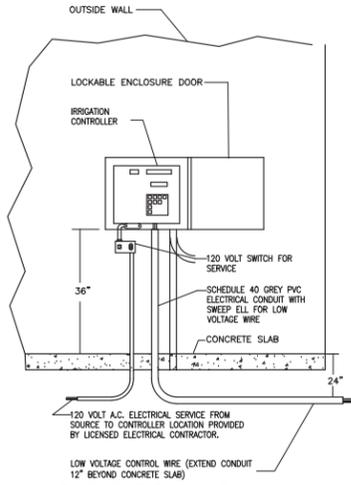
IRRIGATION LEGEND

L-11

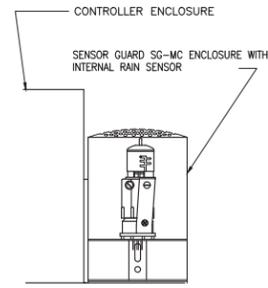
13 of 18



1 BACKFLOW ASSEMBLY
NTS

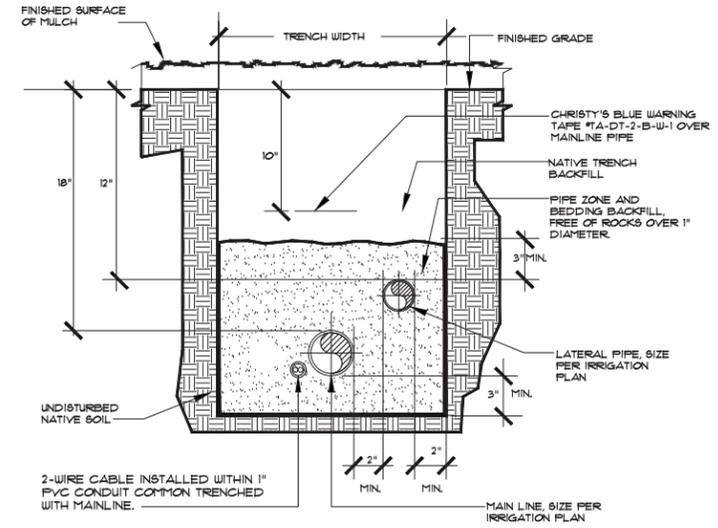


2 WALL MOUNT CONTROLLER
NTS

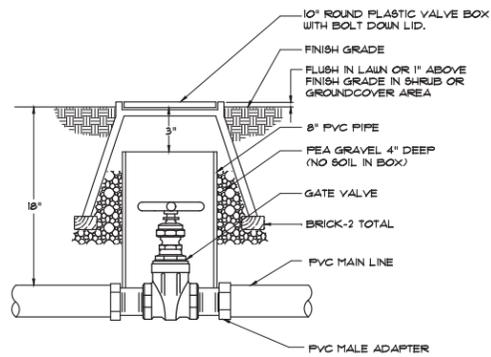


NOTE:
LOCATE ON SIDE OF CONTROLLER ENCLOSURE PER MANUFACTURERS RECOMMENDATIONS.

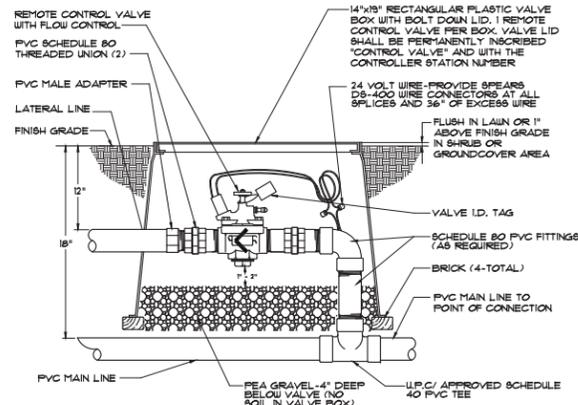
3 RAIN SENSOR DETAIL
NTS



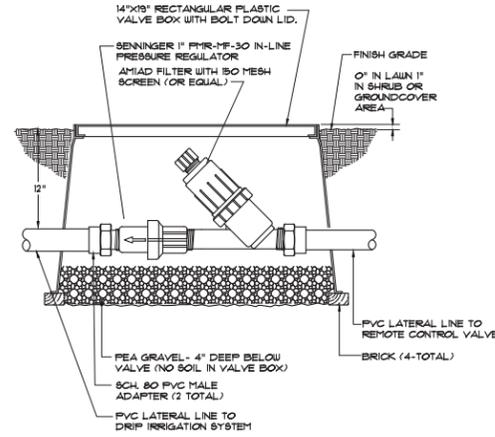
4 TYPICAL COMBINATION TRENCH
NTS



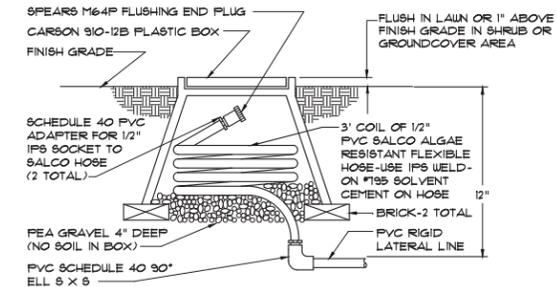
5 GATE VALVE INSTALLATION
NTS



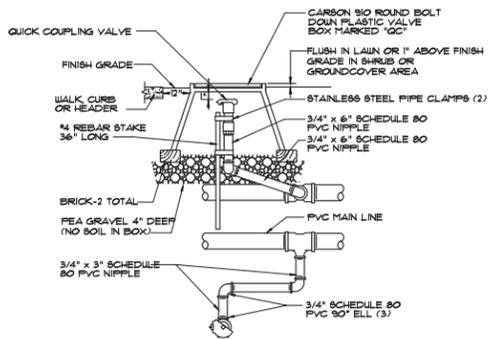
6 REMOTE CONTROL VALVE INSTALLATION
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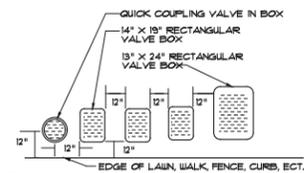
7 FILTER AND PRESSURE REGULATOR
NTS



8 FLUSHING END PLUG INSTALLATION
NTS



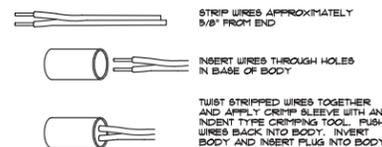
9 3/4\"/>



NOTES:

- CENTER BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
- SET BOXES 1\"/>

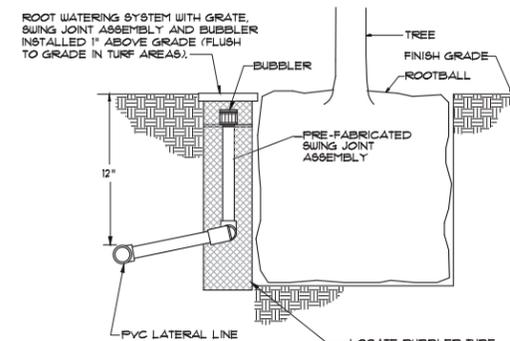
10 VALVE BOX INSTALLATION
NTS



NOTES:

- ONE CONNECTOR HANDLES #10 AWG, #12 AWG AND #14 AWG WIRES.
- WIRES CONNECTORS WILL ACCEPT THREE WIRE OR TWO WIRE CONNECTIONS.
- MANUFACTURED BY 8PEARS #DS-500, KING #6135 OR EQUAL.

11 WIRE CONNECTION
NTS



NOTES:
1. ONE BUBBLER PER TREE TO BE PLACED UPHILL SIDE OF ROOTBALL.

12 TREE BUBBLER INSTALLATION
NTS

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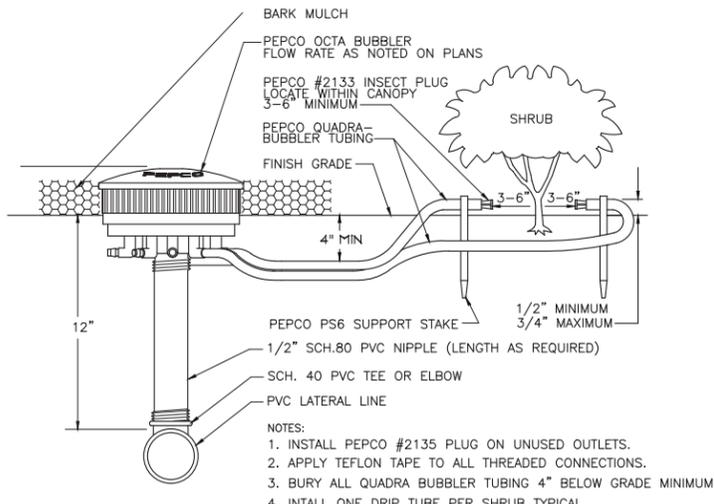
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PROJECT NUMBER:	4980
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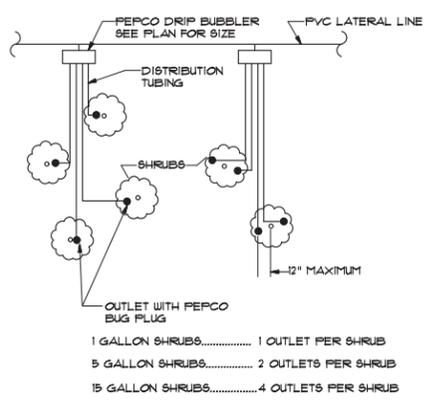


IRRIGATION DETAILS

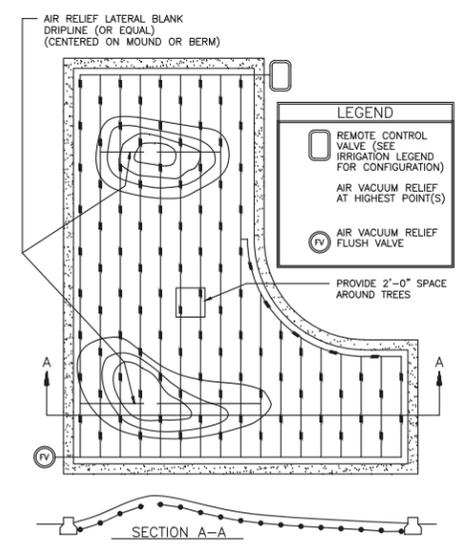
L-12



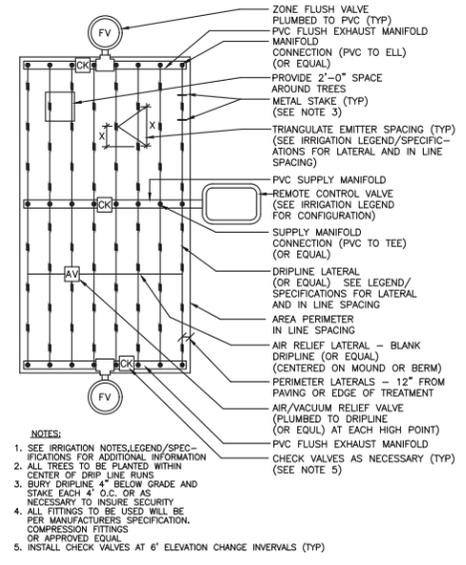
13 OCTA-BUBBLER IN ACCESS BOX DETAIL
NTS



14 TYPICAL DRIP BUBBLER LAYOUT
NTS

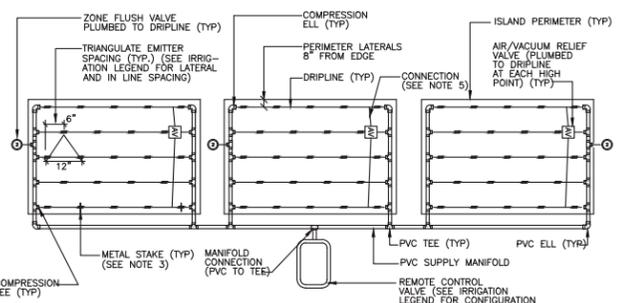


15 TYPICAL DRIP LAYOUT ON MOUNDS
NTS

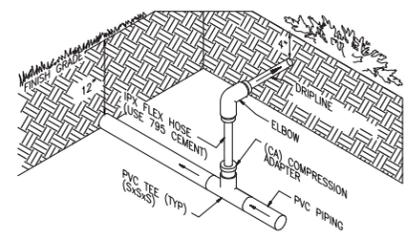


16 TYPICAL CENTER FEED DRIP SYSTEM LAYOUT
NTS

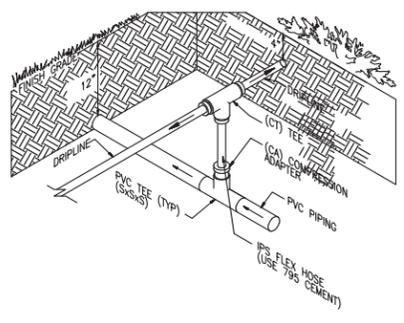
- NOTES:
1. SEE IRRIGATION NOTES, LEGEND/SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. ALL TREES TO BE PLANTED WITHIN CENTER OF DRIP LINE RUNS
 3. BURY DRIPLINE 4" BELOW GRADE AND STAKE EACH 36" O.C. LOCATED AT EMITTER AND AS NECESSARY TO INSURE SECURITY.
 4. ALL FITTINGS TO BE USED WILL BE PER MANUFACTURERS SPECIFICATION, COMPRESSION FITTINGS OR APPROVED EQUAL.
 5. CONNECT WITH BLANK TUBING TO EACH DRIPLINE.



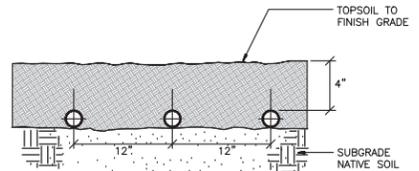
17 MANIFOLD FOR MULTIPLE PLANTERS
NTS



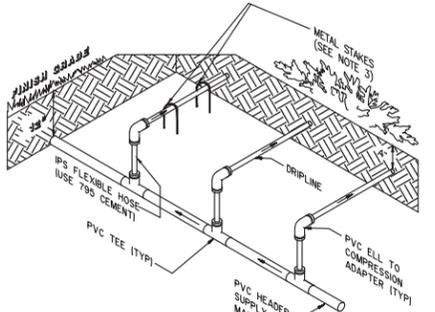
18 DRIPLINE TO PVC INSTALLATION
NTS



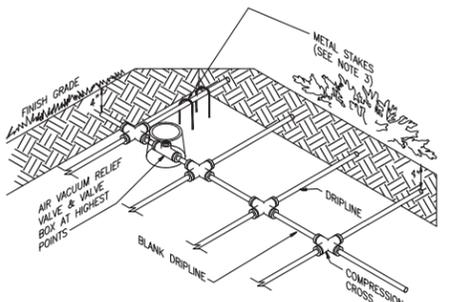
19 DRIPLINE TO PVC INSTALLATION
NTS



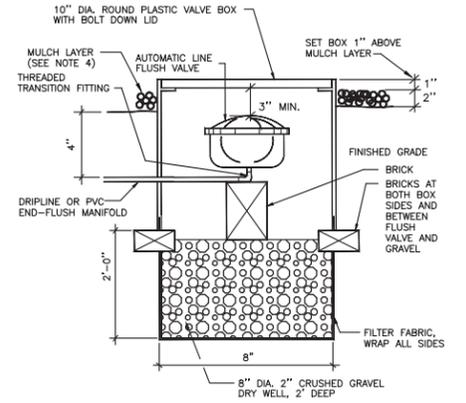
20 TYPICAL DRIPLINE SUBGRADE INSTALLATION
NTS



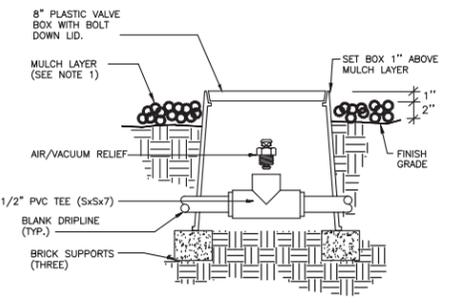
21 DRIPLINE TO PVC HEADER INSTALLATION
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22 AIR VACUUM RELIEF VALVE LOCATION
NTS

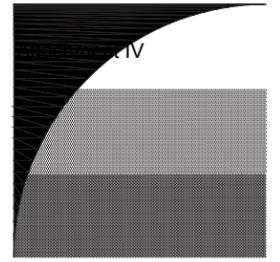


23 FLUSH VALVE FOR SUB SURFACE TUBING
NTS



24 AIR/VACUUM RELIEF VALVE
NTS

- SUBSURFACE IRRIGATION INSTALLATION NOTES:
1. ASSEMBLE AND INSTALL FILTER, REMOTES CONTROL VALVE AND PRESSURE REGULATING VALVE ASSEMBLIES ACCORDING TO DETAILS.
 2. ASSEMBLE AND INSTALL SUPPLY HEADERS ACCORDING TO DETAIL. TAPE OR PLUG OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION.
 3. ASSEMBLE AND INSTALL EXHAUST HEADERS IN ACCORDANCE WITH DETAILS. TAPE OR PLUG ALL OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION.
 4. INSTALL DRIP LATERALS. TAPE OR PLUG OPEN ENDS WHILE INSTALLING TO PREVENT DEBRIS CONTAMINATION.
 5. INSTALL AIR VACUUM RELIEF VALVES AT HIGHEST POINTS OF THE IRRIGATION ZONES IN ACCORDANCE WITH DETAILS.
 6. THOROUGHLY FLUSH DRIPLINE LATERALS AND CONNECT TO EXHAUST HEADERS OR INTERCONNECTING LATERALS WHILE FLUSHING.
 7. THOROUGHLY FLUSH EXHAUST HEADERS AND INSTALL LINE FLUSHING VALVES ACCORDING TO DETAILS.
 8. THOROUGH FLUSHING OF EACH INSTALLATION SEGMENT IS NECESSARY TO ENSURE THAT NO DEBRIS CONTAMINATION OCCURS.
 9. LOCATE AND INSTALL CHECK VALVE(S) AS NEEDED AND AS SHOWN IN INSTALLATION DETAILS.



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MISSION VILLAGE

HAYWARD, CA

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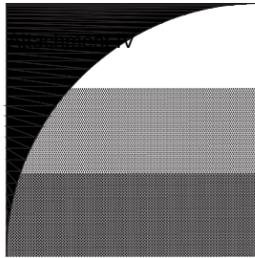
PROJECT NUMBER:	4980
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SCALE:	1"=30'-0"



IRRIGATION DETAILS

L-13

PATH: P:\HAYWARD\MISSION VILLAGE (4980)_ACAD\DCSD-IRR-HOLIDAY-BOWL.DWG
 PLOT DATE: 9/28/2016 12:14 PM



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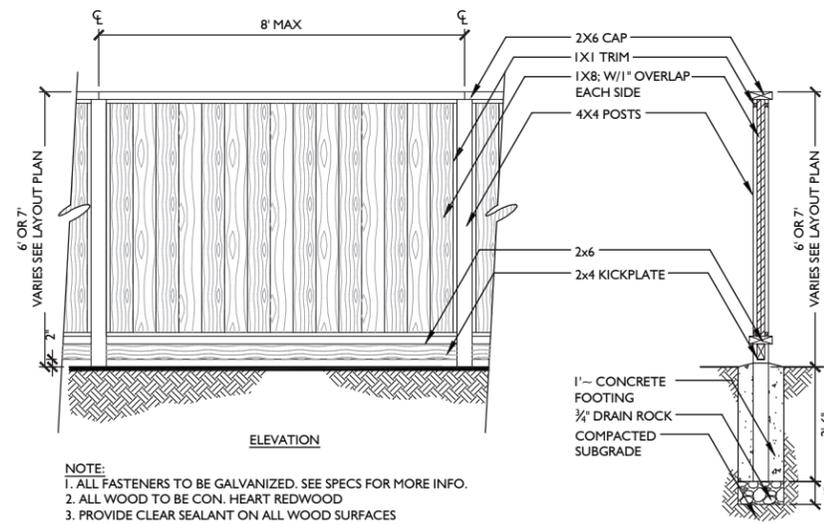
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DRAWN:	CC KP
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DATE:	09/28/2016
SCALE:	NO SCALE

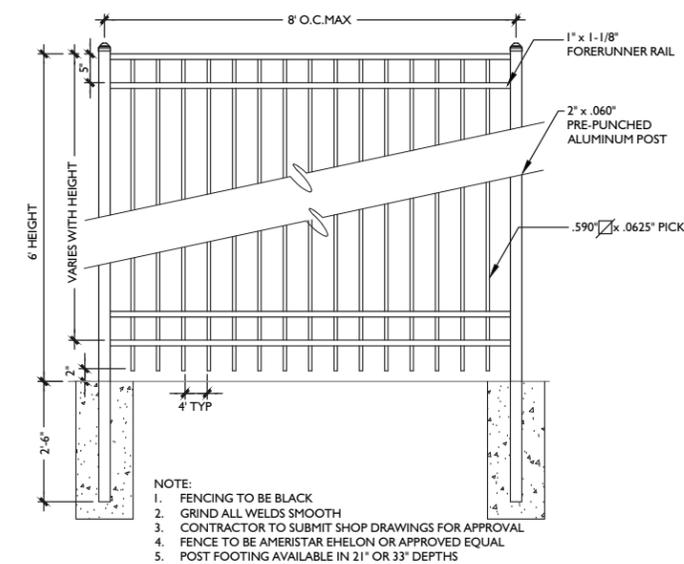


CONSTRUCTION DETAILS

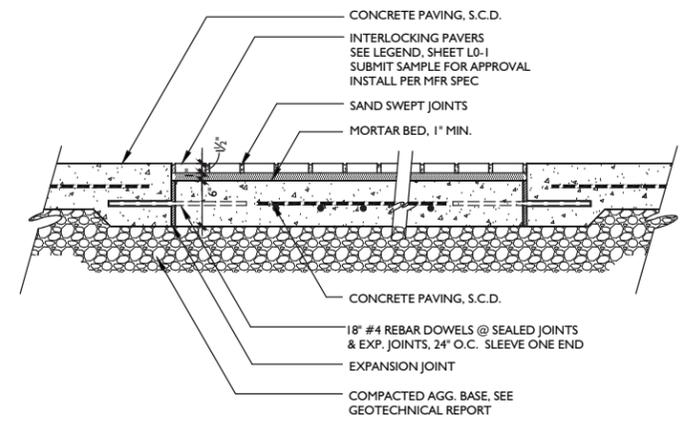
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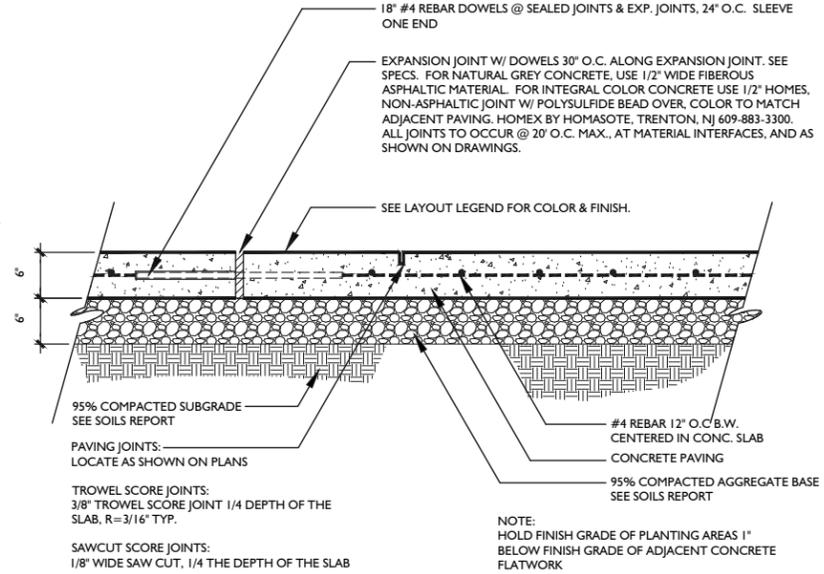
6 6' GOOD NEIGHBOR FENCE
SCALE: 1/2" = 1'-0"



5 6' ALUMINUM VIEW FENCE
SCALE: 3/4" = 1'-0"

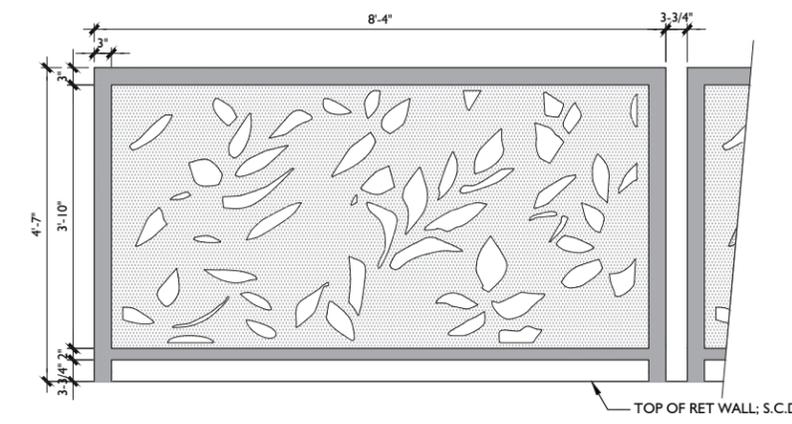


3 VEHICULAR PAVERS ON CONCRETE
SCALE: 1" = 1'-0"

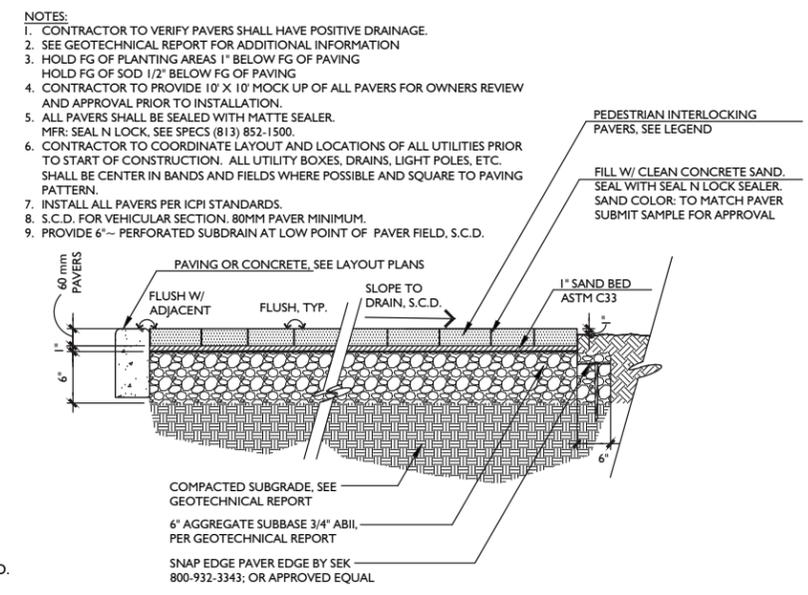


2 VEHICULAR CONCRETE PAVING
SCALE: 1 1/2" = 1'-0"

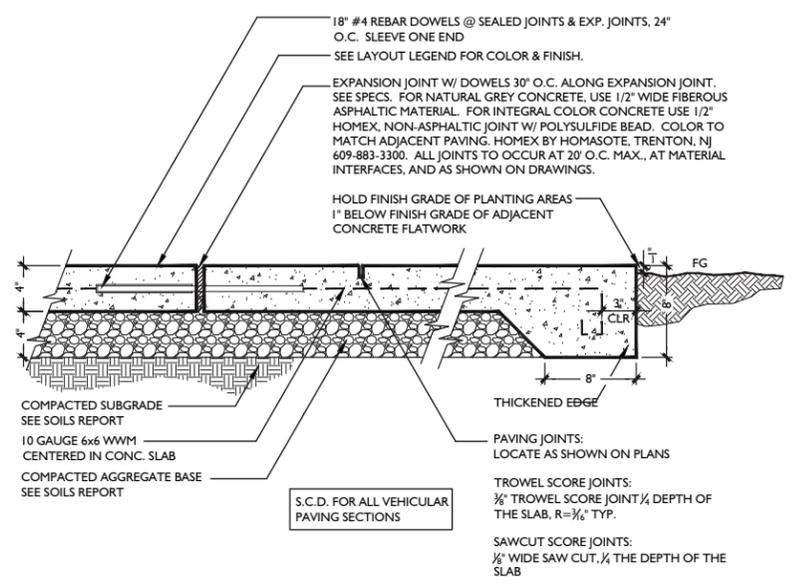
- NOTES:
1. GRIND ALL WELDS SMOOTH.
2. PANELS AVAILABLE FROM PARASOLEIL PANELS PATTERN: BB LEAVES SIZE: 4' TX 8' W' T: (303) 589-4524
3. FINISHES AND COLORS TBD
4. DRAWING IS FOR DESIGN INTENT ONLY



7 SCREEN PANEL
SCALE: 3/4" = 1'-0"

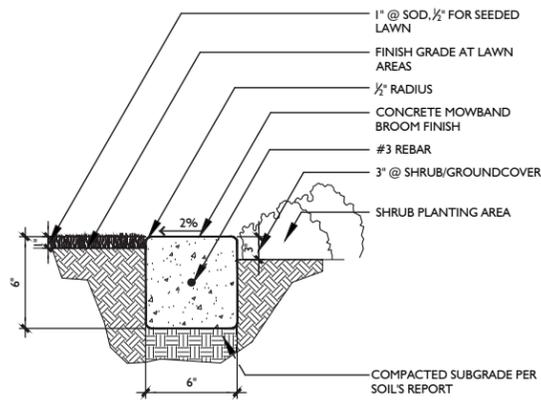


4 PEDESTRIAN INTERLOCKING PAVERS
SCALE: 3/4" = 1'-0"

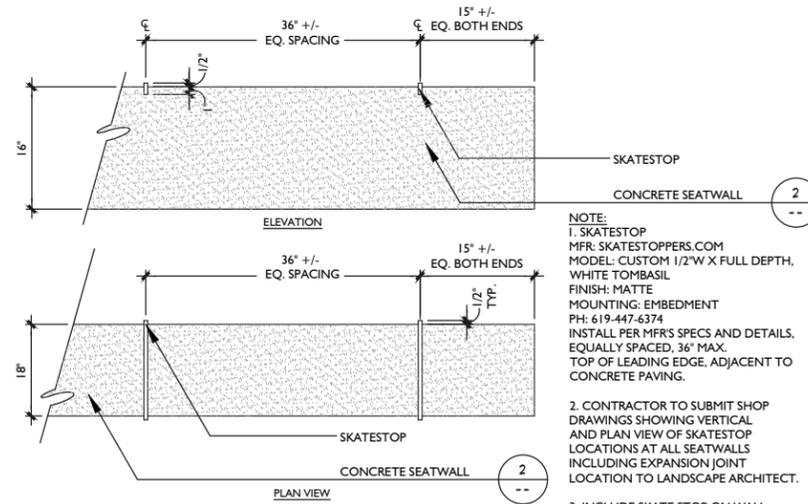


1 CONCRETE PAVING
SCALE: 1 1/2" = 1'-0"

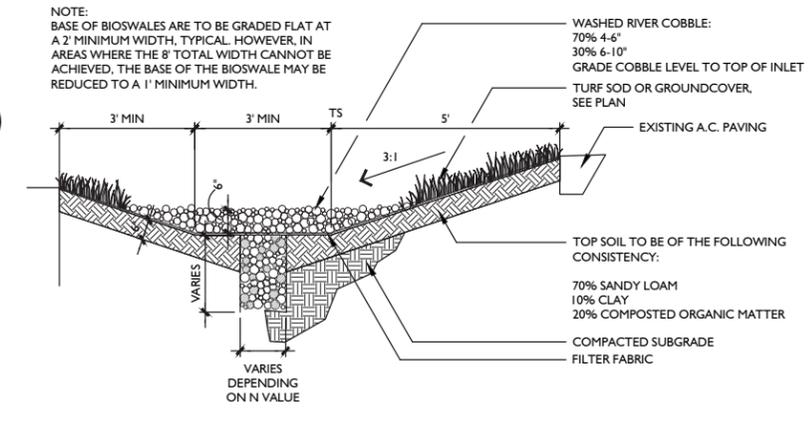
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PLOT DATE: 9/26/2016 12:14 PM



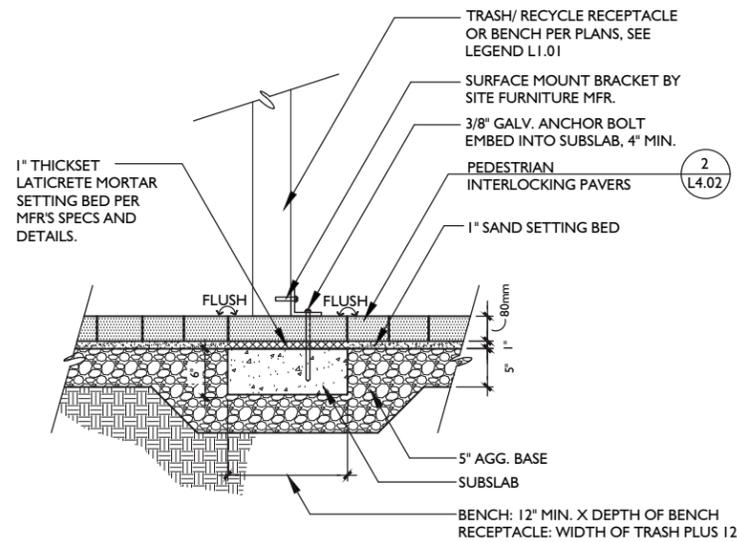
9 6" CONCRETE MOWBAND
SCALE: 1 1/2" = 1'-0"



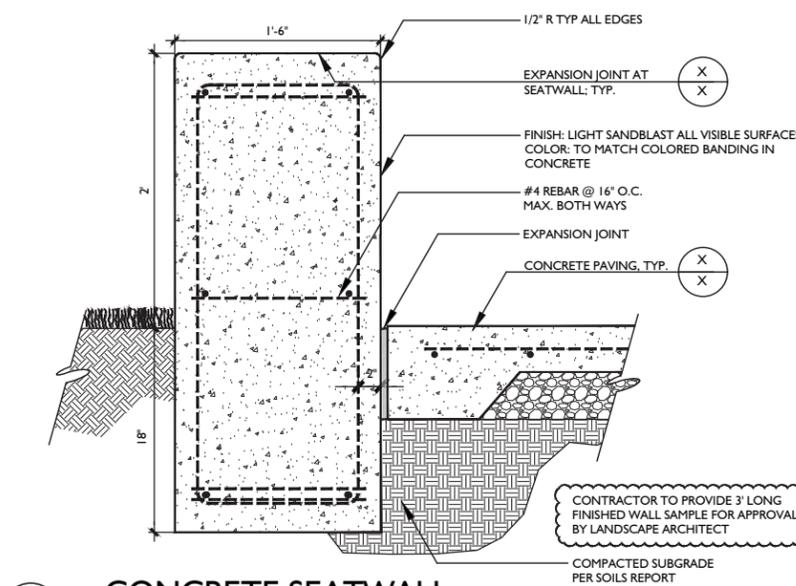
6 SKATESTOP AT SEATWALL
SCALE: 1" = 1'-0"



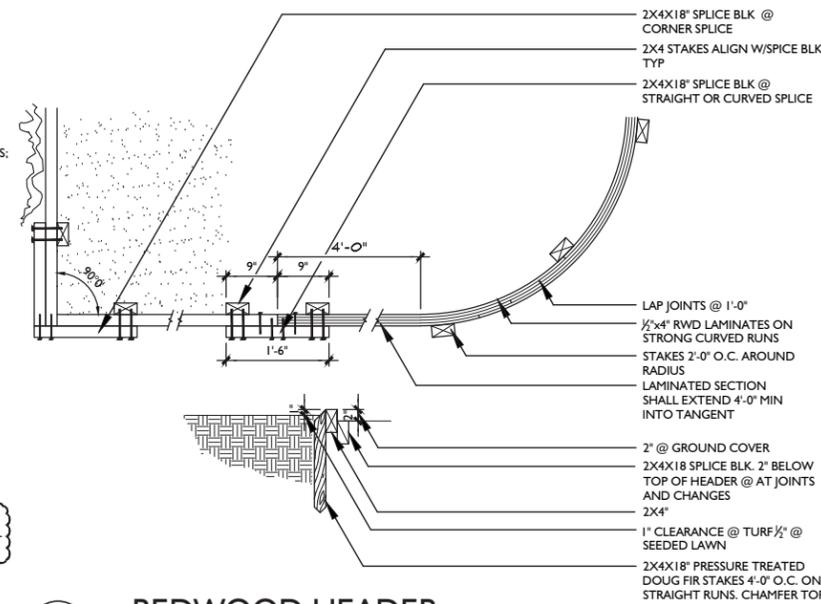
3 COBBLE AT CATCH BASINS
SCALE: 1/2" = 1'-0"



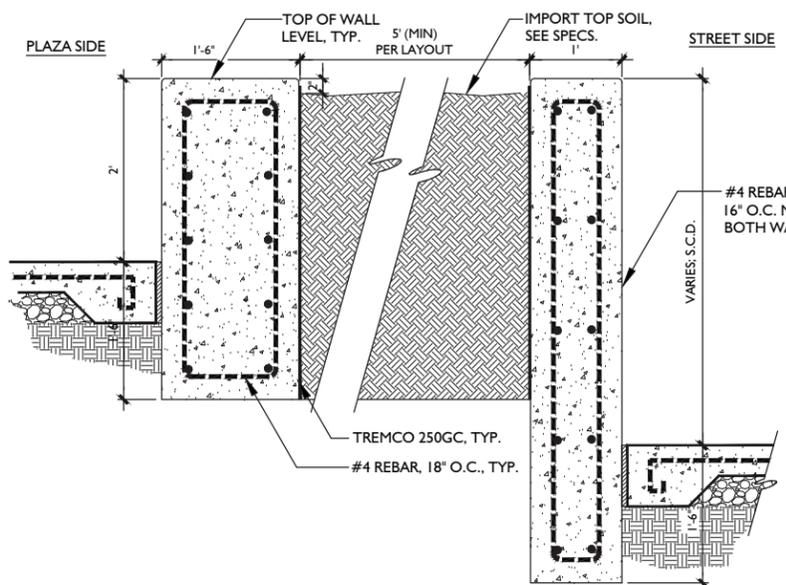
8 RECEPTACLE/ BENCH ON PAVERS PER PLANS
SCALE: 1" = 1'-0"



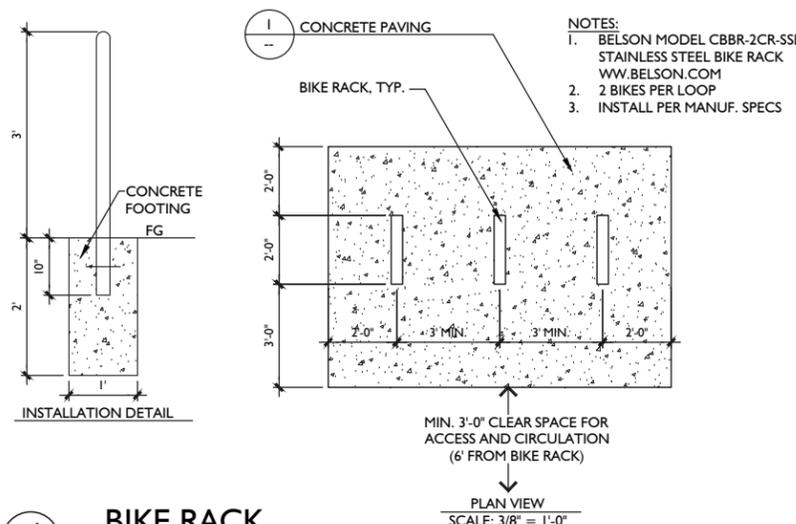
5 CONCRETE SEATWALL
SCALE: 1 1/2" = 1'-0"



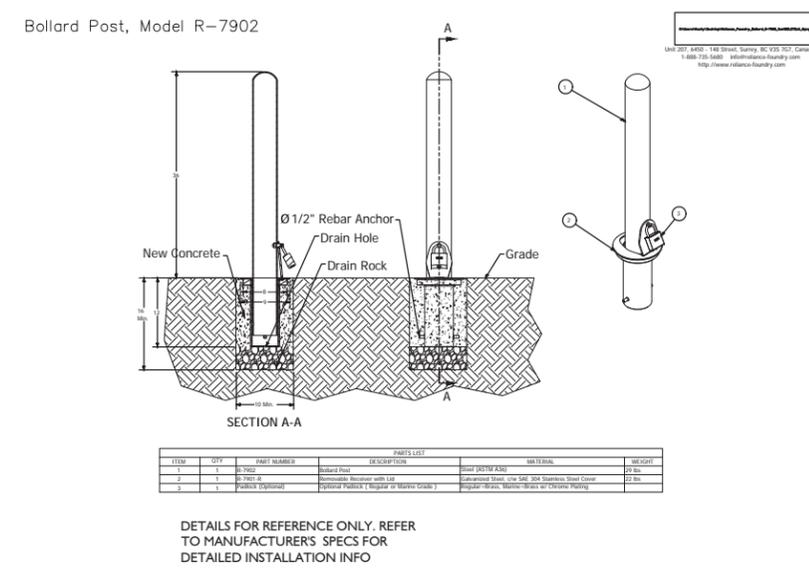
2 REDWOOD HEADER
SCALE: 3/4" = 1'-0"



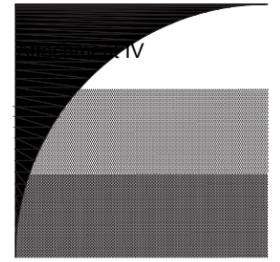
7 RAISED PLANTER W/ PRECAST CAP
SCALE: 1" = 1'-0"



4 BIKE RACK
SCALE: 3/4" = 1'-0"



1 REMOVABLE BOLLARD
SCALE: 3/4" = 1'-0"



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MISSION VILLAGE

HAYWARD, CA

ISSUE	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/02/15
2	PLANNING RESUBMITTAL	03/15/16
3	PLANNING RESUBMITTAL	06/27/16
4	PLANNING RESUBMITTAL	09/28/16

NOT FOR CONSTRUCTION

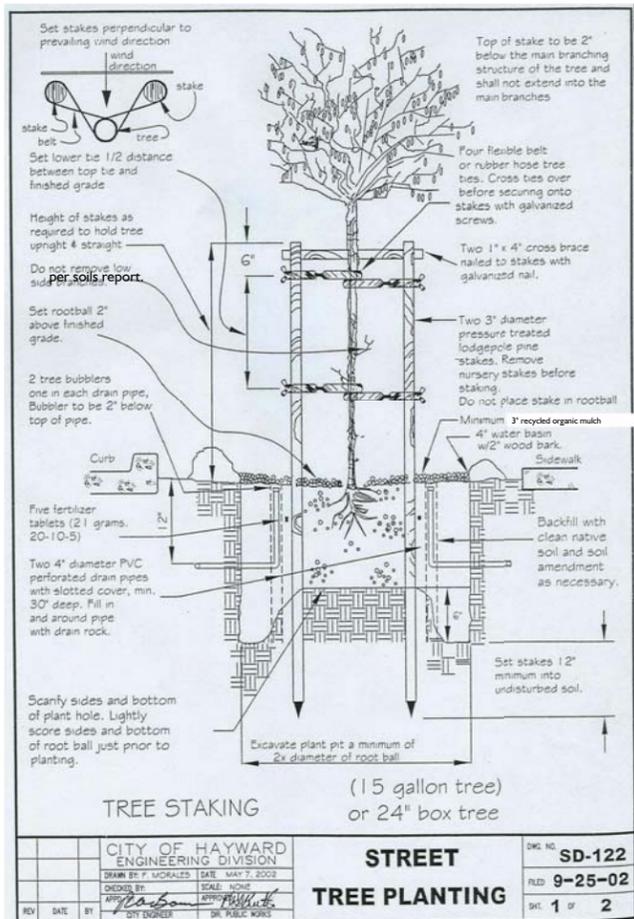
PROJECT NUMBER: 4980
DRAWN: CC | KP
CHECK: RC
DATE: 09/28/2016
SCALE: NO SCALE



CONSTRUCTION DETAILS

L-15

PATH: P:\HAYWARD\MISSION VILLAGE (P4980)_ACAD\DCSD-D-HOLIDAY.DWG
PLOT DATE: 9/26/2016 12:14 PM



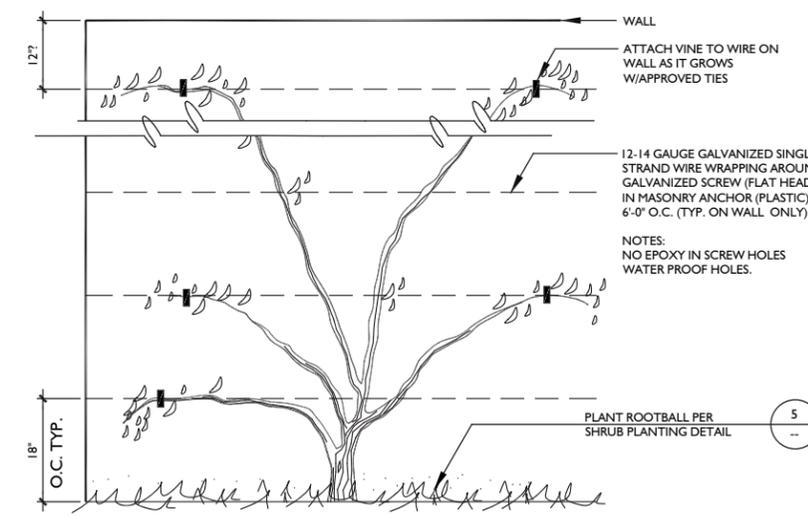
CITY OF HAYWARD ENGINEERING DIVISION		DWG. NO. SD-122
DRAWN BY: J. MORALES	DATE: MAY 7, 2002	FILED: 9-25-02
DESIGNED BY: [Signature]	SCALE: NONE	SHT: 1 OF 2
APPROVED BY: [Signature]	DATE: [Blank]	OR: PUBLIC WORKS

STREET TREE PLANTING SPECIFICATIONS

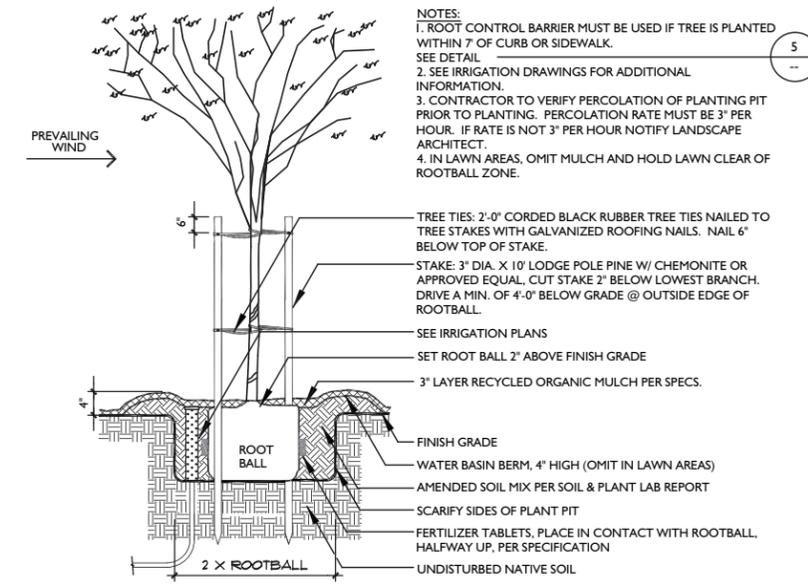
1. Tree shall be healthy, disease and insect-free, well rooted, and properly trained with a straight trunk that can stand upright without support. Tree shall exhibit a central leader, or a main branch that can be trained as a central leader. Branches shall be well-developed and shall be evenly and radially distributed around the trunk. Root ball shall not exhibit kinked or circling roots. After planting, no roots shall be left exposed.
2. Tree shall comply with federal and state laws requiring inspection for plant diseases and pest infestation. Clearance from the county agricultural commissioner, as required by law, shall be obtained before planting trees delivered from outside the county.
3. Prior to planting tree, determine the location of existing or future underground utilities. Locate tree a minimum of 5 feet from lateral service lines and driveways. Locate tree a minimum of 15 feet from a light pole, and a minimum of 30 feet from the face of a traffic signal, or as otherwise specified by the City.
4. Tree pit shall be tested for proper drainage prior to planting tree. Fill pit with water, if water remains after a 24-hour period, auger three 4" diameter by 3-foot deep holes at the bottom of the tree pit. Backfill with drain rock.
5. Set tree in an upright and plumb position. As much as possible, tree shall be positioned such that dominant branches are parallel to the roadway and are oriented away from potential conflicts.
6. If required by the City, a pressure-compensating bubbler, or drip emitters, shall be provided to each tree.
7. Depending on the planter strip width, or the tree well size and the tree species being planted, a 24" deep root-barrier may be required by the City to be placed between the root-ball and the curb and/or sidewalk. Length of strip barrier or size of the box barrier will be specified by the City.
8. Stakes are to be removed when the tree diameter meets or exceeds the diameter of the stake.

CITY OF HAYWARD ENGINEERING DIVISION		DWG. NO. SD-122
DRAWN BY: J. MORALES	DATE: JUNE 23, 2002	FILED: 9-25-02
DESIGNED BY: [Signature]	SCALE: NONE	SHT: 2 OF 2
APPROVED BY: [Signature]	DATE: [Blank]	OR: PUBLIC WORKS

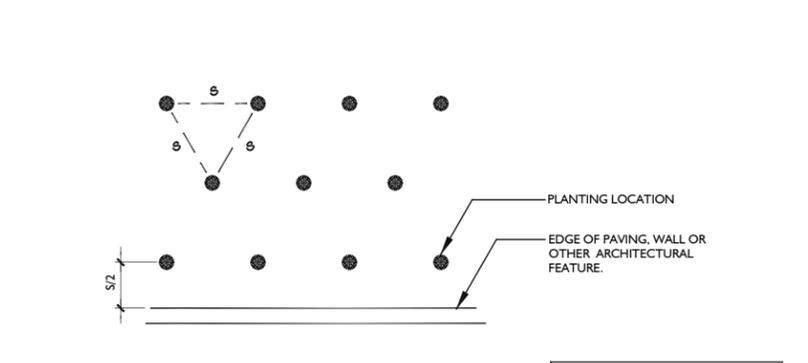
7 STREET TREE PLANTING
1" = 1'-0"



6 VINE PLANTING
SCALE: N.T.S.



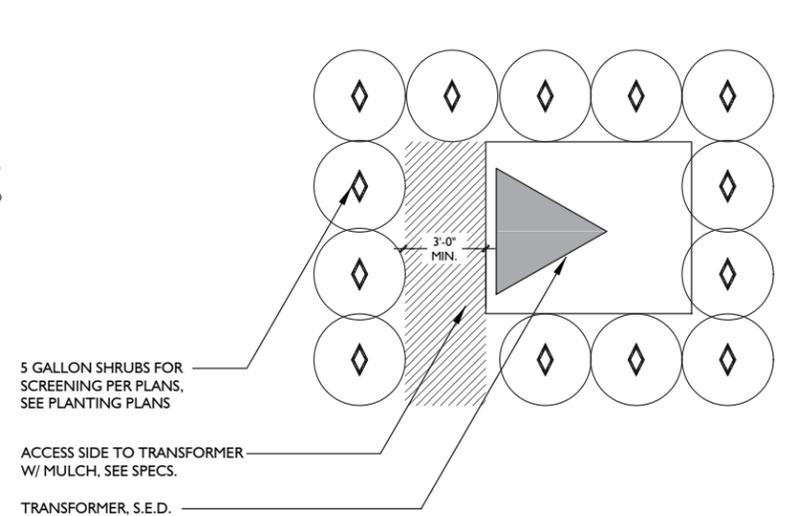
5 TREE STAKING DETAIL - ON SITE
SCALE: 3/8" = 1'-0"



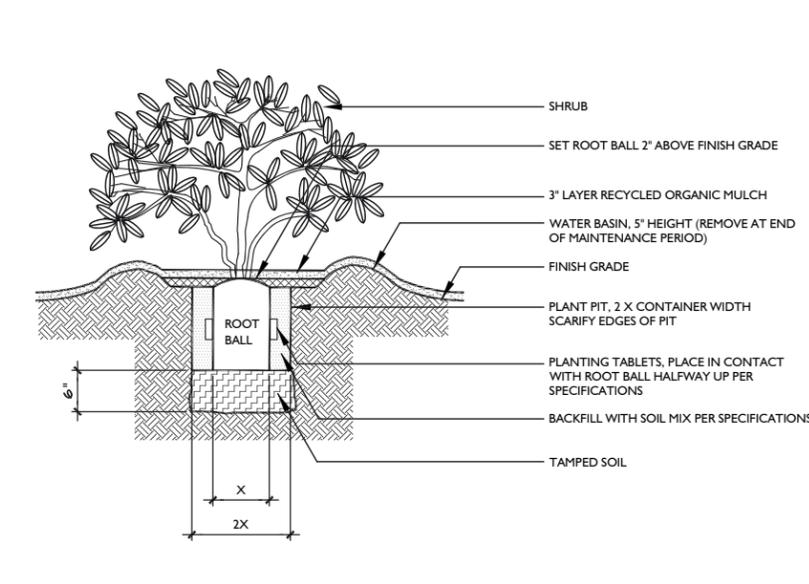
NOTES:
A. S = PLANT SPACING DISTANCE ON CENTER, SEE CHART
B. FOR USE AS A GUIDE FOR SHRUBS AND GROUND COVER WHEN PLANTS ARE SPACED EQUIDISTANT FROM EACH OTHER.

Spacing	# of Plants/S.F.
6" o.c.	4.60
8" o.c.	2.60
12" o.c.	1.15
18" o.c.	.512
24" o.c.	.290
30" o.c.	.185
36" o.c.	.128
42" o.c.	.087
48" o.c.	.063

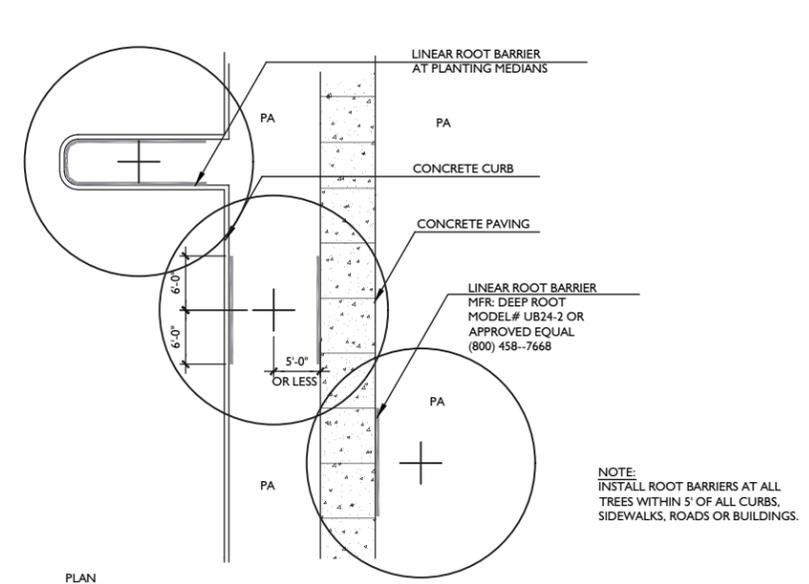
4 PLANT SPACING
SCALE: N.T.S.



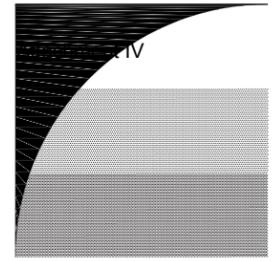
3 TRANSFORMER SCREEN PLANTING
SCALE: 1/4" = 1'-0"



2 SHRUB PLANTING
SCALE: N.T.S.



1 LINEAR ROOT BARRIER
SCALE: 1" = 10'-0"



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MISSION VILLAGE

HAYWARD, CA

ISSUE	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/02/15
2	PLANNING RESUBMITTAL	03/15/16
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4	PLANNING RESUBMITTAL	09/28/16

NOT FOR CONSTRUCTION

PROJECT NUMBER:	4980
DRAWN:	CC KC
CHECK:	RP
DATE:	09/28/2016
SCALE:	NO SCALE

CONSTRUCTION DETAILS

L-16

PATH: P:\HAYWARD\MISSION VILLAGE (P4980)_ACAD\DCSD-D-HOLIDAY.DWG
PLOT DATE: 9/26/2016 12:14 PM



Retail (One Floor) - Front Elevation
SCALE: 1/8" = 1'-0" 4



Retail (One Floor) - Right Elevation
SCALE: 1/8" = 1'-0" 3



Retail (One Floor) - Back Elevation
SCALE: 1/8" = 1'-0" 2



Retail (One Floor) - Left Elevation
SCALE: 1/8" = 1'-0" 1



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Hayward, California

Valley Oak Partners

734 The Alameda
San Jose, CA

Sheet Title:

Retail Elevations

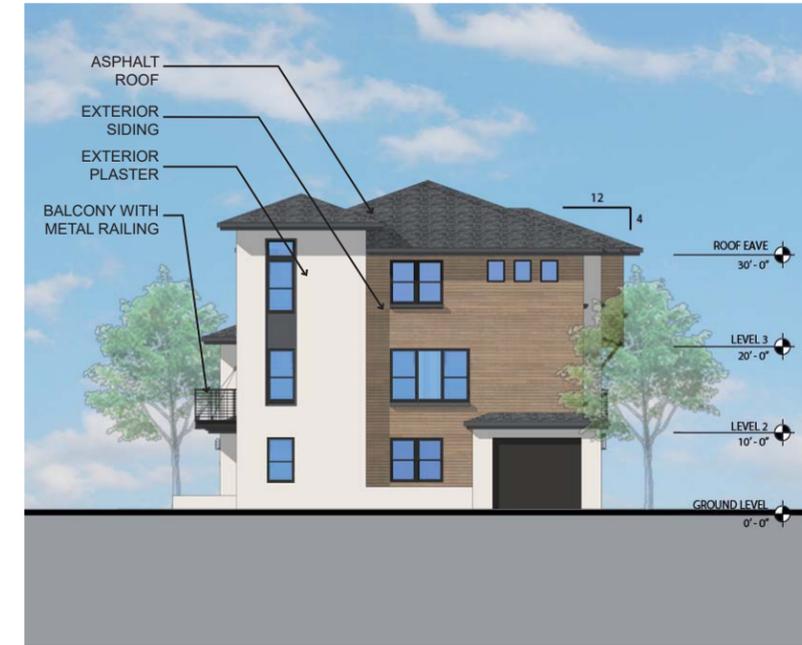
Job No. 15020
Date: 09/26/2016
Scale: 1/8" = 1'-0"
Drawn By:

Sheet No:

A1.0



Building 4A - Front Elevation
SCALE: 1/8" = 1'-0" 4



Building 4A - Right Elevation
SCALE: 1/8" = 1'-0" 3



Building 4A - Back Elevation
SCALE: 1/8" = 1'-0" 2



Building 4A - Left Elevation
SCALE: 1/8" = 1'-0" 1



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Sheet Title:

Townhome
Elevations -
Building 4A

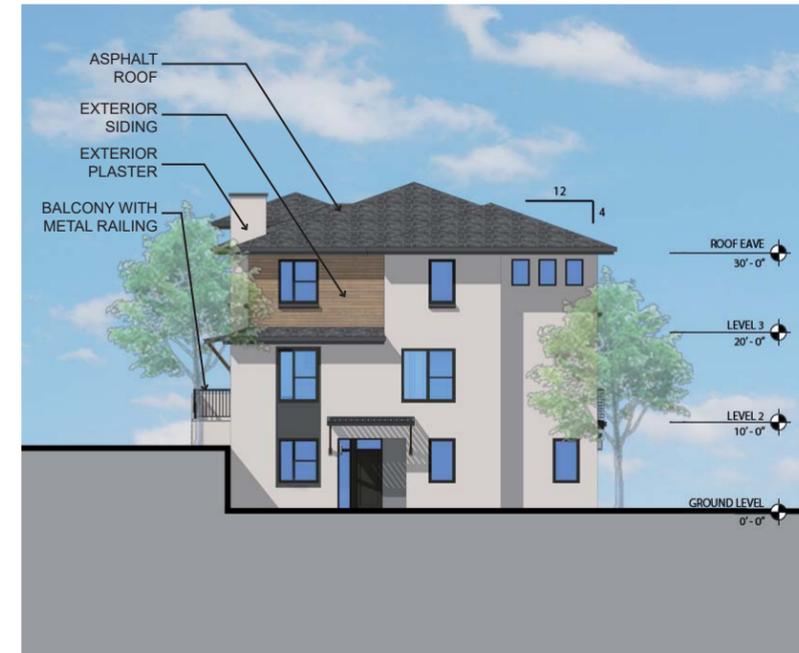
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Date: 09/26/2016
Scale: 1/8" = 1'-0"
Drawn By:

Sheet No:

A2.0



Building 4B - Front Elevation
SCALE: 1/8" = 1'-0" 4



Building 4B - Right Elevation
SCALE: 1/8" = 1'-0" 3



Building 4B - Back Elevation
SCALE: 1/8" = 1'-0" 2



Building 4B - Left Elevation
SCALE: 1/8" = 1'-0" 1



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Sheet Title:

Townhome
Elevations -
Building 4B

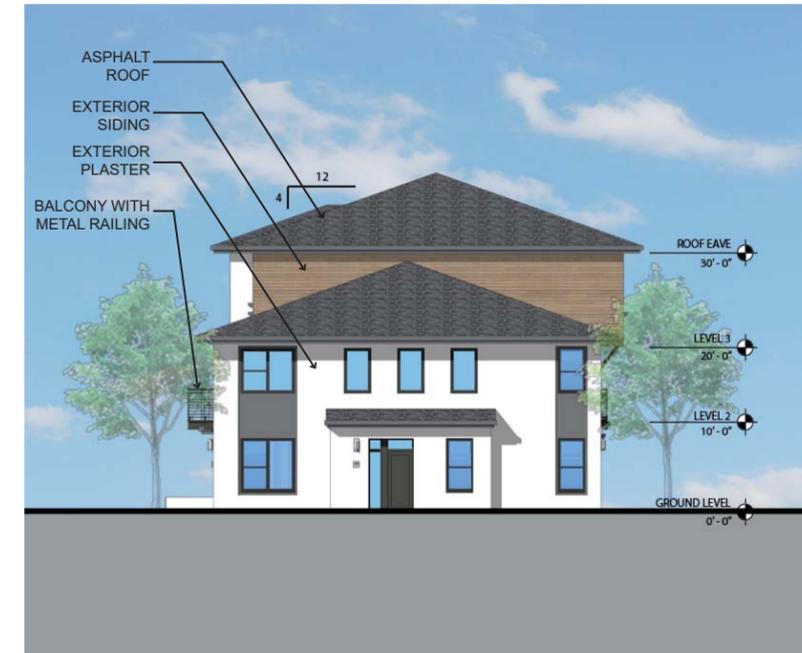
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Date: 09/26/2016
Scale: 1/8" = 1'-0"
Drawn By:

Sheet No:

A2.1



Building 5A - Front Elevation
SCALE: 1/8" = 1'-0" 4



Building 5A - Right Elevation
SCALE: 1/8" = 1'-0" 3



Building 5A - Back Elevation
SCALE: 1/8" = 1'-0" 2



Building 5A - Left Elevation
SCALE: 1/8" = 1'-0" 1



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San Jose, CA

Sheet Title:

Townhome
Elevations -
Building 5A

Job No. 15020
Date: 09/26/2016
Scale: 1/8" = 1'-0"
Drawn By:

Sheet No:

A2.2



Building 5B - Front Elevation

SCALE: 1/8" = 1'-0"

4



Building 5B - Right Elevation

SCALE: 1/8" = 1'-0"

3



Building 5B - Back Elevation

SCALE: 1/8" = 1'-0"

2



Building 5B - Left Elevation

SCALE: 1/8" = 1'-0"

1



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Sheet Title:

Townhome
Elevations -
Building 5B

Job No. 15020
Date: 09/26/2016
Scale: 1/8" = 1'-0"
Drawn By:

Sheet No:

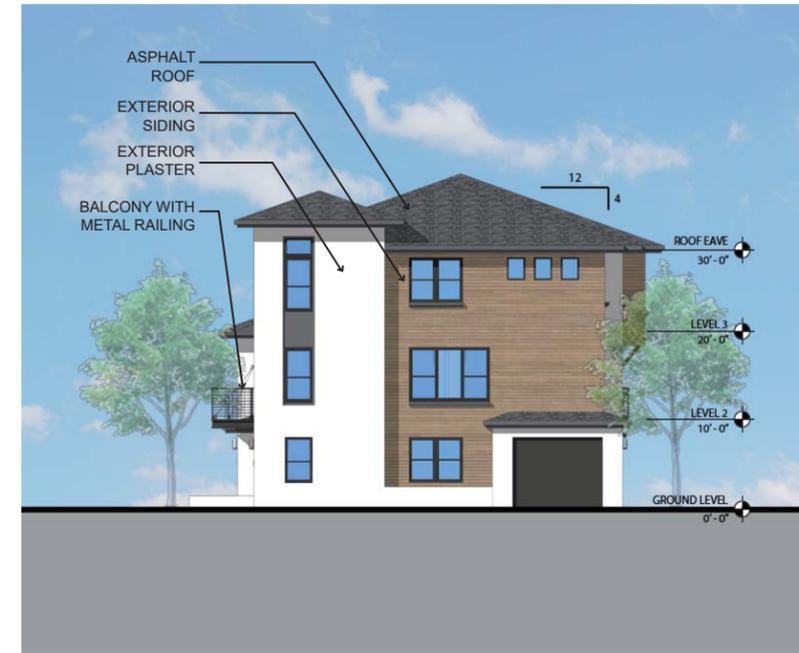
A2.3



Building 7A - Front Elevation

SCALE: 1/8" = 1'-0"

4



Building 7A - Right Elevation

SCALE: 1/8" = 1'-0"

3



Building 7A - Back Elevation

SCALE: 1/8" = 1'-0"

2



Building 7A - Left Elevation

SCALE: 1/8" = 1'-0"

1



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San Jose, CA

Sheet Title:

Townhome
Elevations -
Building 7A

Job No. 15020
Date: 09/26/2016
Scale: 1/8" = 1'-0"
Drawn By:

Sheet No:

A2.4



Building 7B - Front Elevation

SCALE: 1/8" = 1'-0"

4



Building 7B - Right Elevation

SCALE: 1/8" = 1'-0"

3



Building 7B - Back Elevation

SCALE: 1/8" = 1'-0"

2



Building 7B - Left Elevation

SCALE: 1/8" = 1'-0"

1



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Valley Oak Partners
734 The Alameda
San Jose, CA

Sheet Title:

Townhome
Elevations -
Building 7B

Job No. 15020
Date: 09/26/2016
Scale: 1/8" = 1'-0"
Drawn By:

Sheet No:

A2.5



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Building 7C - Front Elevation
SCALE: 1/8" = 1'-0" 4



Building 7C - Right Elevation
SCALE: 1/8" = 1'-0" 3



Building 7C - Back Elevation
SCALE: 1/8" = 1'-0" 2



Building 7C - Left Elevation
SCALE: 1/8" = 1'-0" 1

Mission Village
Hayward, California

Valley Oak Partners
734 The Alameda
San Jose, CA

Sheet Title:

Townhome
Elevations -
Building 7C

Job No. 15020
Date: 09/26/2016
Scale: 1/8" = 1'-0"
Drawn By:

Sheet No:

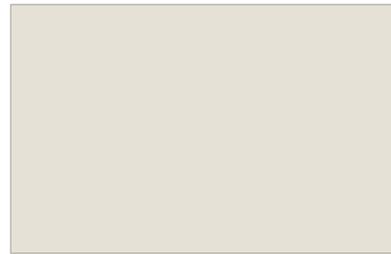
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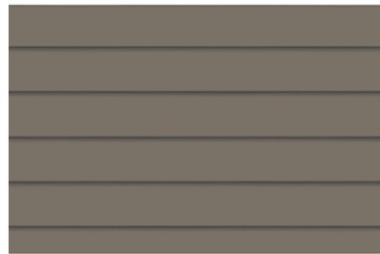
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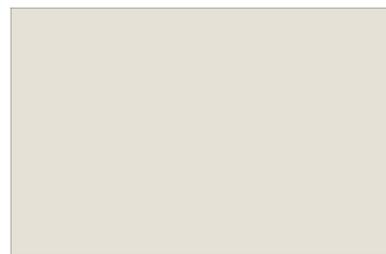
1 STUCCO COLOR
KELLY-MOORE
YANG MIST



2 SIDING
KELLY-MOORE
CREME DE CAMEL



3 BALCONY
METAL RAILING



1 STUCCO COLOR
KELLY-MOORE
YANG MIST



2 CULTURED STONE
ELDORADO MOUNTAIN LEDGE



3 CANOPY
METAL



4 SIDING
HARDIE BOARD
KELLY-MOORE
STONE HEARTH



5 ROOF
ASPHALT SHINGLE



4 STOREFRONT
ALUMINUM WITH CLEAR GLASS



5 ROOF
STANDING SEAM METAL



TOWNHOMES



RETAIL

Mission Village
Hayward, California

Valley Oak Partners
734 The Alameda
San Jose, CA

Sheet Title:

Materials and Colors

Job No. 15020
Date: 09/26/2016
Scale: 1/8" = 1'-0"
Drawn By:

Sheet No:

A3.0



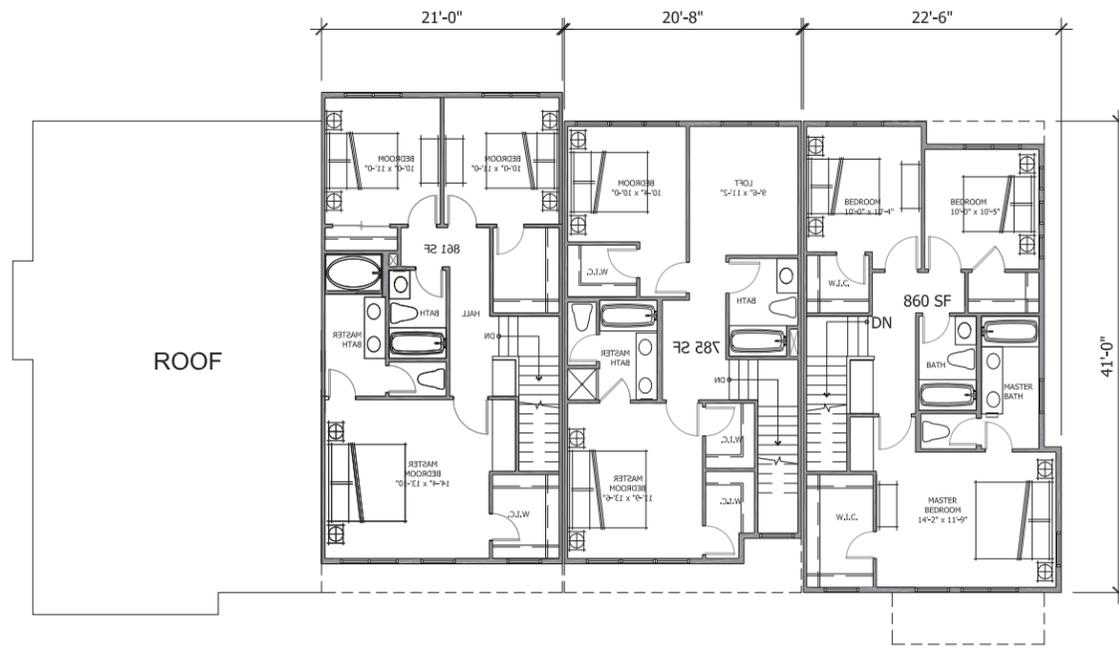
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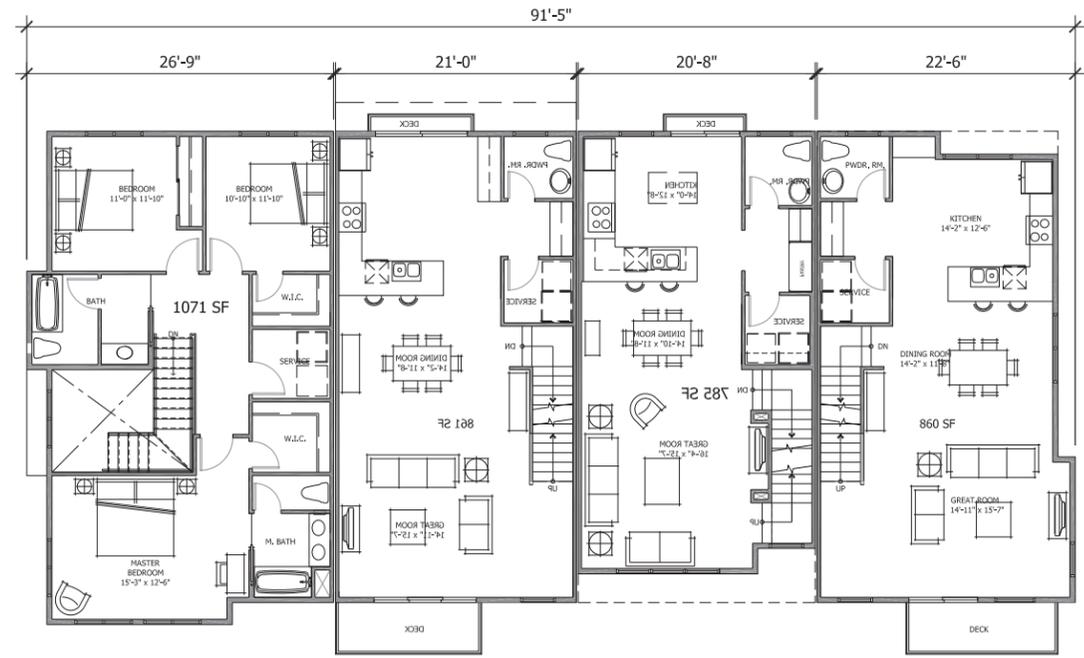


D1 | 3 BDRM
26'-9" WIDE
2 STORY

B1 | 3 BDRM
21' WIDE
3 STORY

A1 | 3 BDRM
20'-8" WIDE
3 STORY

B1E | 3 BDRM
21' WIDE
3 STORY



D1 | 3 BDRM
26'-9" WIDE
2 STORY

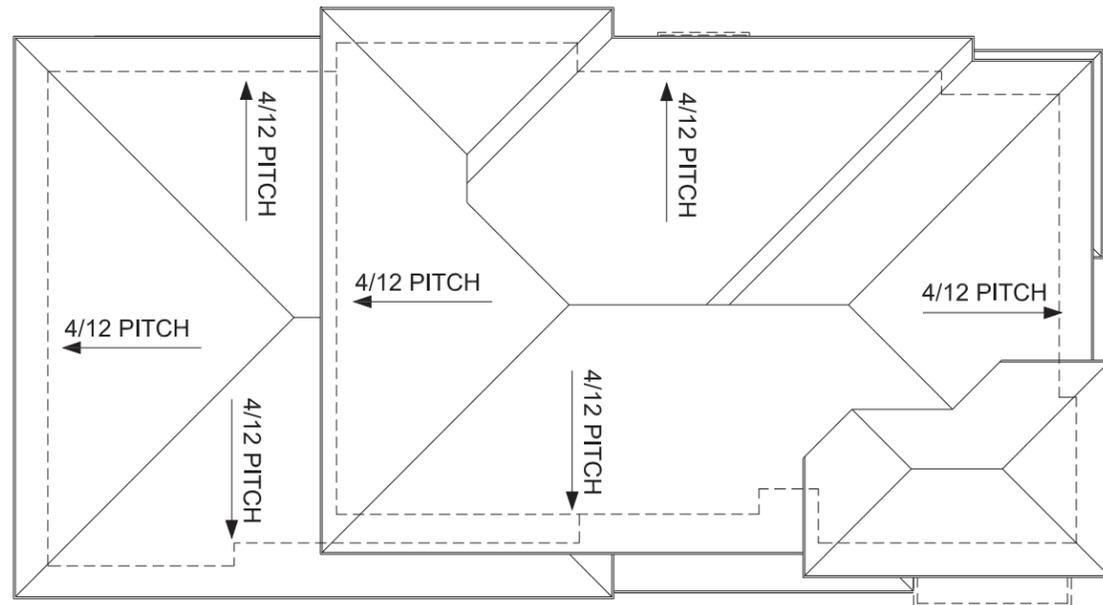
B1 | 3 BDRM
21' WIDE
3 STORY

A1 | 3 BDRM
20'-8" WIDE
3 STORY

B1E | 3 BDRM
22'-6" WIDE
3 STORY

THIRD LEVEL | 3

SECOND LEVEL

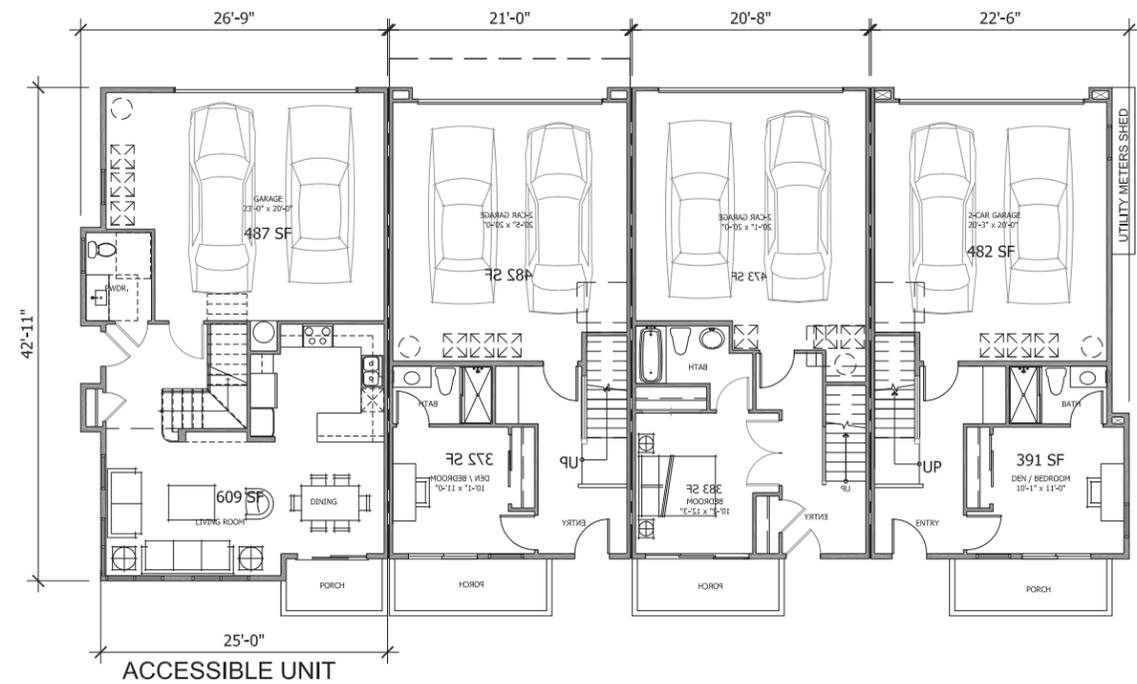


D1 | 3 BDRM
26'-9" WIDE
2 STORY

B1 | 3 BDRM
21' WIDE
3 STORY

A1 | 3 BDRM
20'-8" WIDE
3 STORY

B1E | 3 BDRM
21' WIDE
3 STORY



D1 | 3 BDRM
26'-9" WIDE
2 STORY

B1 | 3 BDRM
21' WIDE
3 STORY

A1 | 3 BDRM
20'-8" WIDE
3 STORY

B1E | 3 BDRM
22'-6" WIDE
3 STORY

ROOF LEVEL | 4

GROUND LEVEL

Sheet Title:

**4-Plex Building
 Floor & Roof Plan**

Job No. 15020
 Date: 09/26/2016
 Scale: 1/8" = 1'-0"
 Drawn By:

Sheet No:

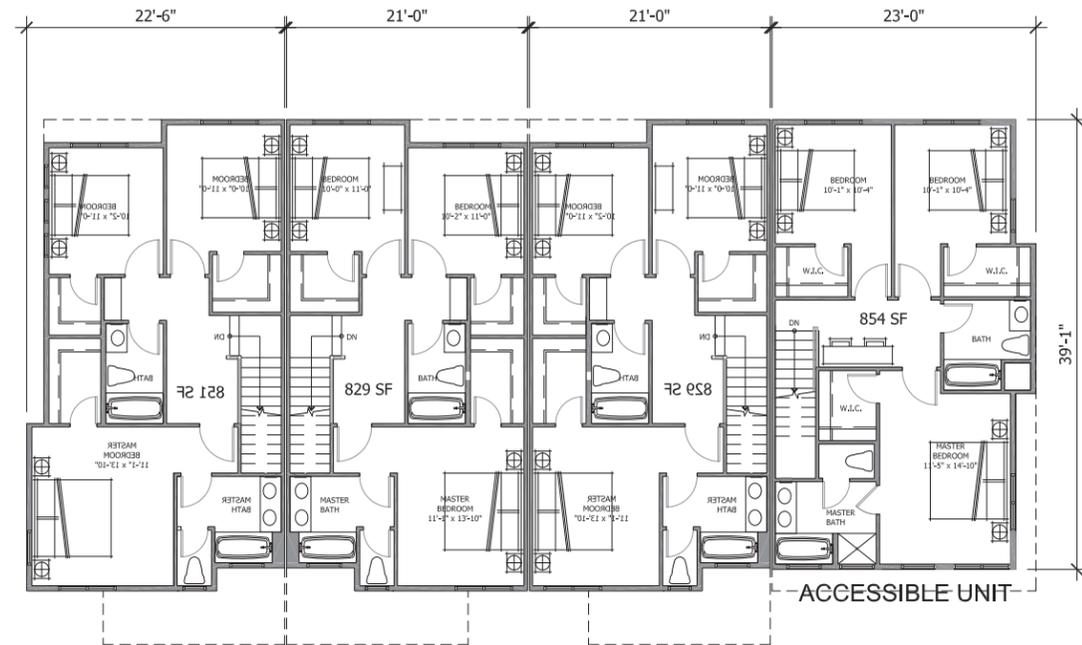
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STUDIO T SQUARE

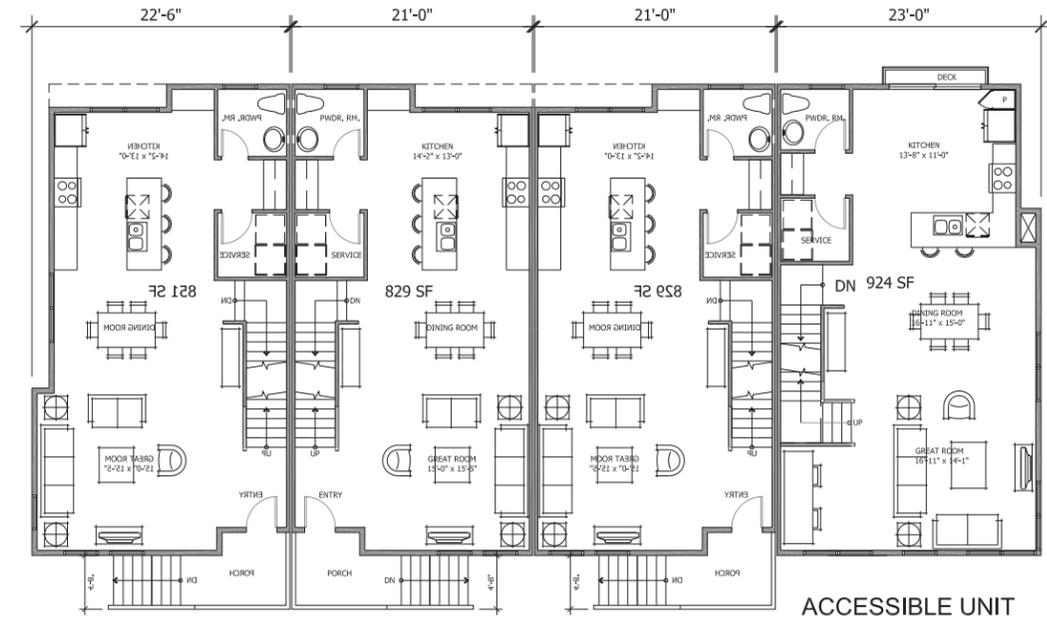
: 304 12th Street, Suite 2A
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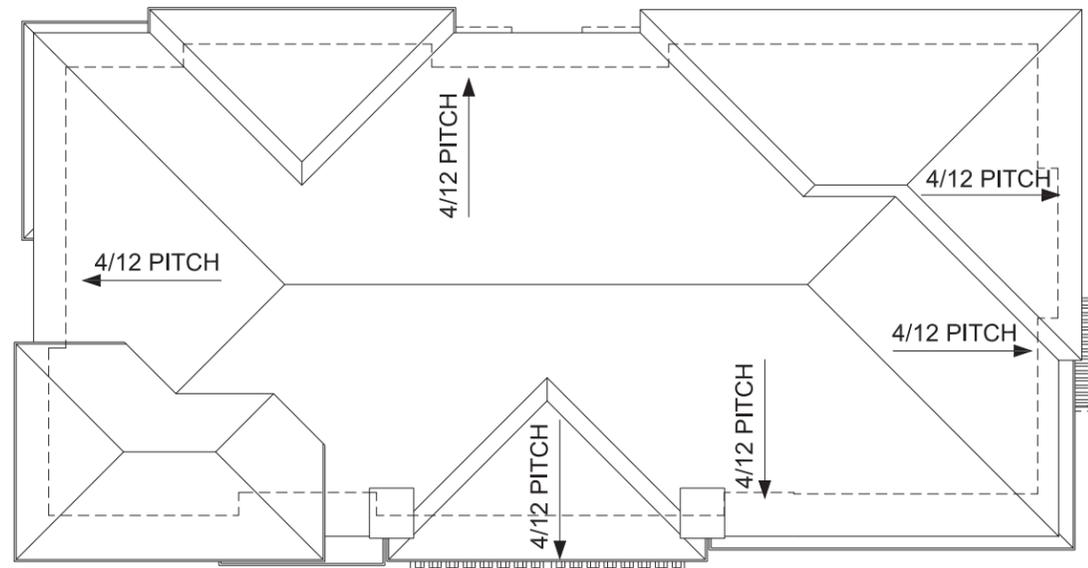
B2E	3 BDRM 22'-6" WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	C1	3 BDRM 23' WIDE 3 STORY
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THIRD LEVEL 3



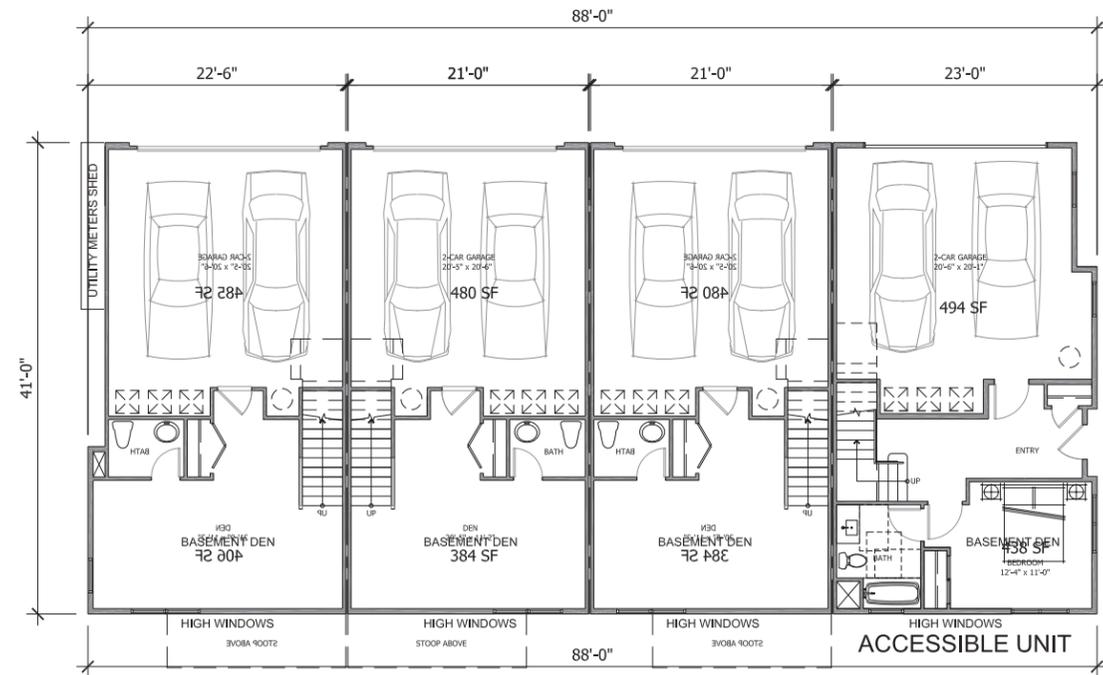
B2E	3 BDRM 22'-6" WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	C1	3 BDRM 23' WIDE 3 STORY
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SECOND LEVEL 2



B2E	3 BDRM 22'-6" WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	C1	3 BDRM 23' WIDE 3 STORY
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ROOF LEVEL 4



B2E	3 BDRM 22'-6" WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	C1	3 BDRM 23' WIDE 3 STORY
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GROUND LEVEL 1

Mission Village
Hayward, California

Valley Oak Partners
734 The Alameda
San Jose, CA

Sheet Title:

4B-Plex Building
Floor & Roof Plan

Job No. 15020
 Date: 09/26/2016
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A4.1



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Mission Village
Hayward, California

Valley Oak Partners

734 The Alameda
San Jose, CA

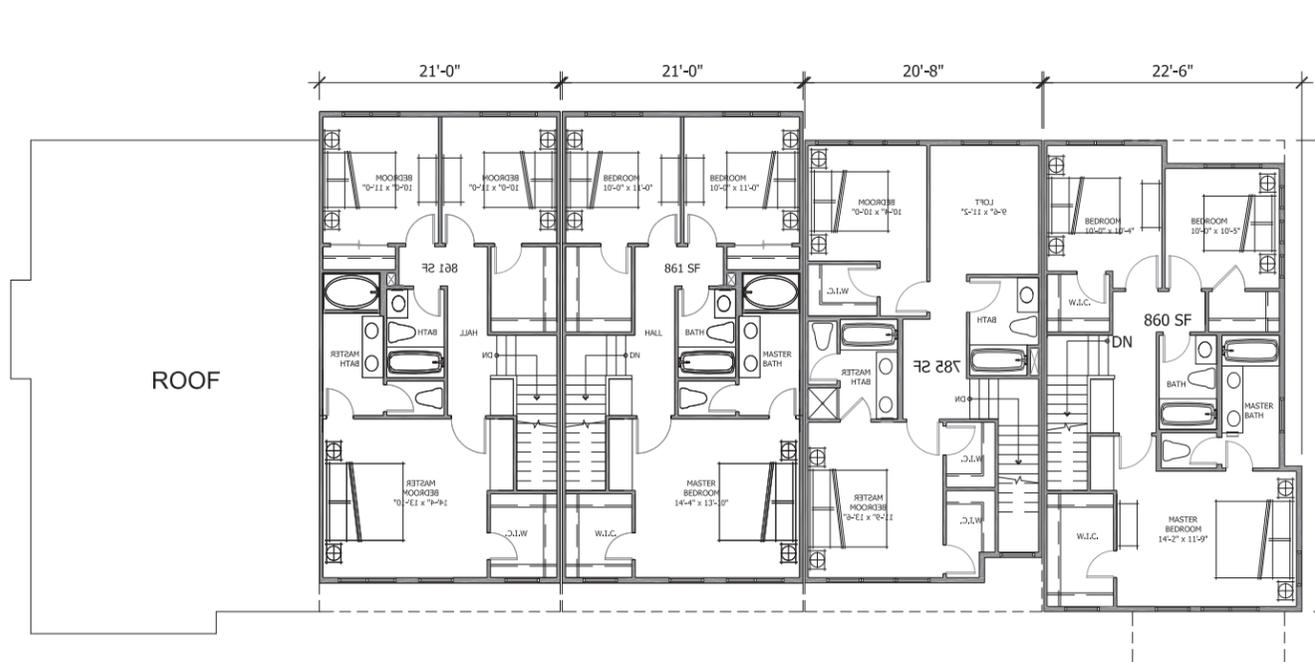
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5-Plex Building
Floor & Roof Plan

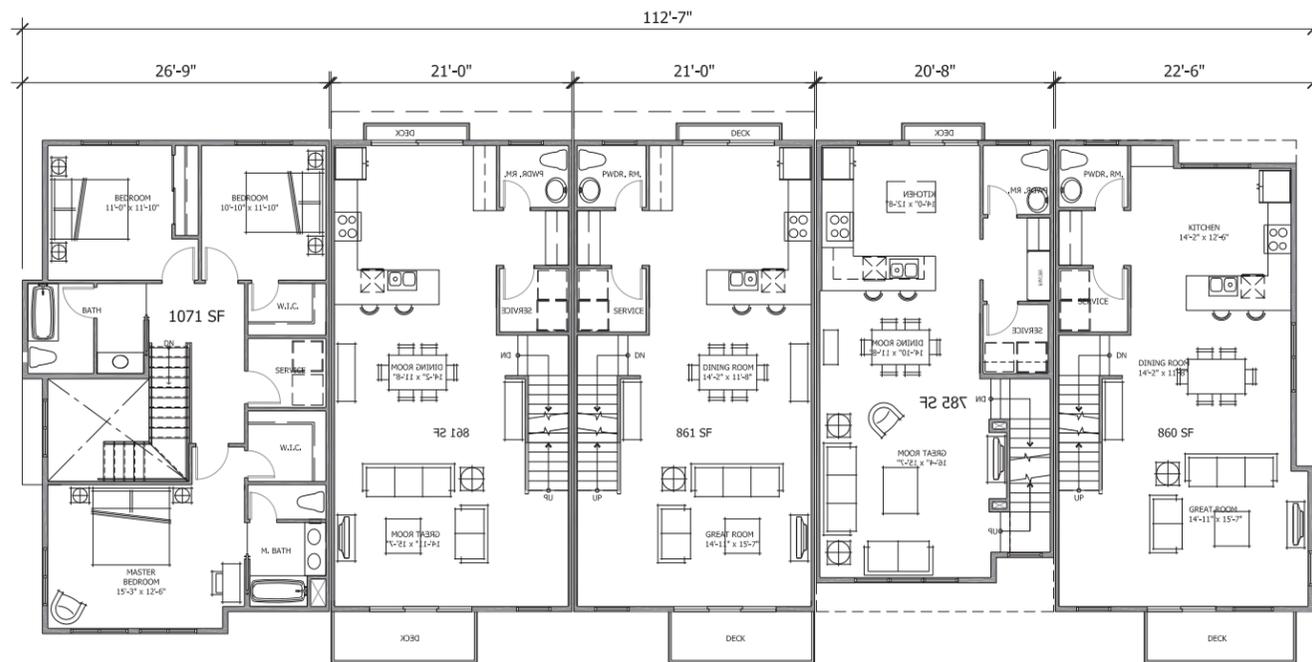
Job No. 15020
Date: 09/26/2016
Scale: 1/8" = 1'-0"
Drawn By:

Sheet No:

A4.2



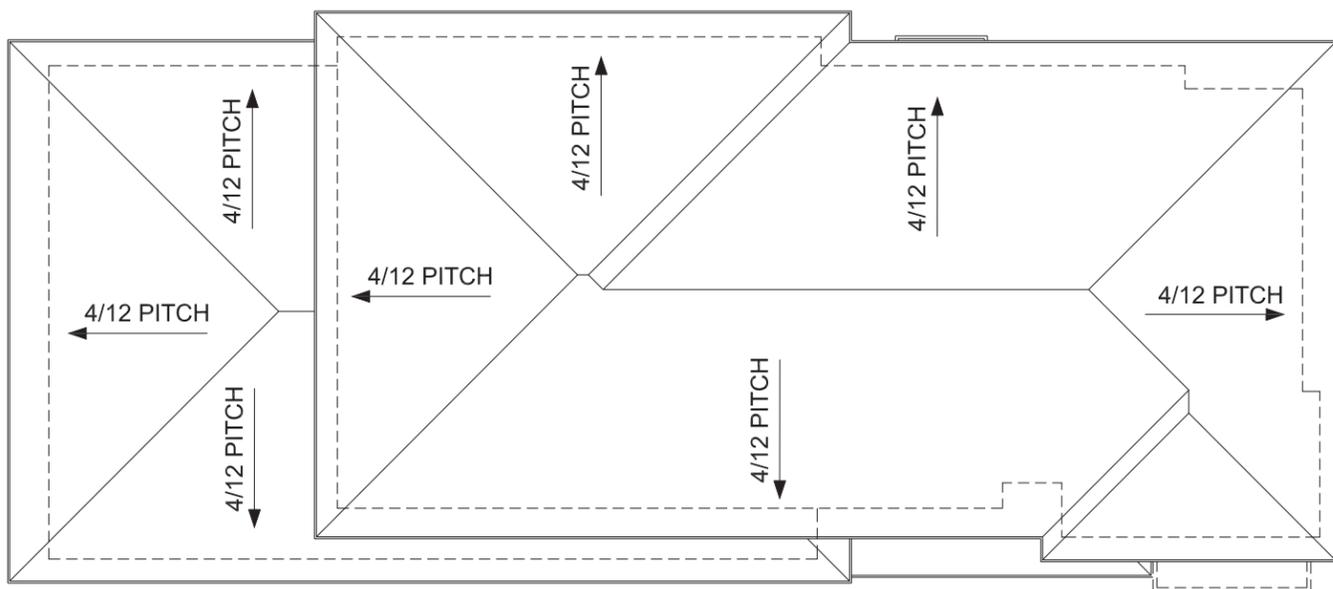
D1 | 3 BDRM | 26'-9" WIDE | 2 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
A1 | 3 BDRM | 20'-8" WIDE | 3 STORY
B1E | 3 BDRM | 22'-6" WIDE | 3 STORY



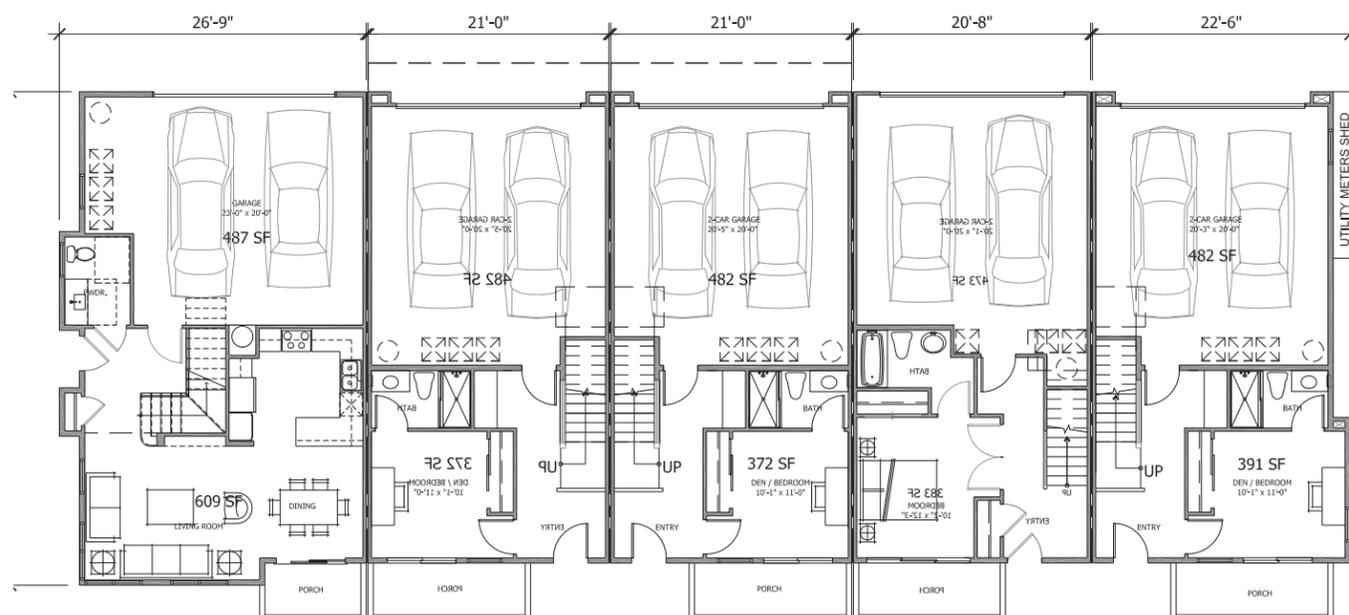
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B1 | 3 BDRM | 21' WIDE | 3 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
A1 | 3 BDRM | 20'-8" WIDE | 3 STORY
B1E | 3 BDRM | 22'-6" WIDE | 3 STORY

THIRD LEVEL 3

SECOND LEVEL 2



D1 | 3 BDRM | 26'-9" WIDE | 2 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
A1 | 3 BDRM | 20'-8" WIDE | 3 STORY
B1E | 3 BDRM | 22'-6" WIDE | 3 STORY

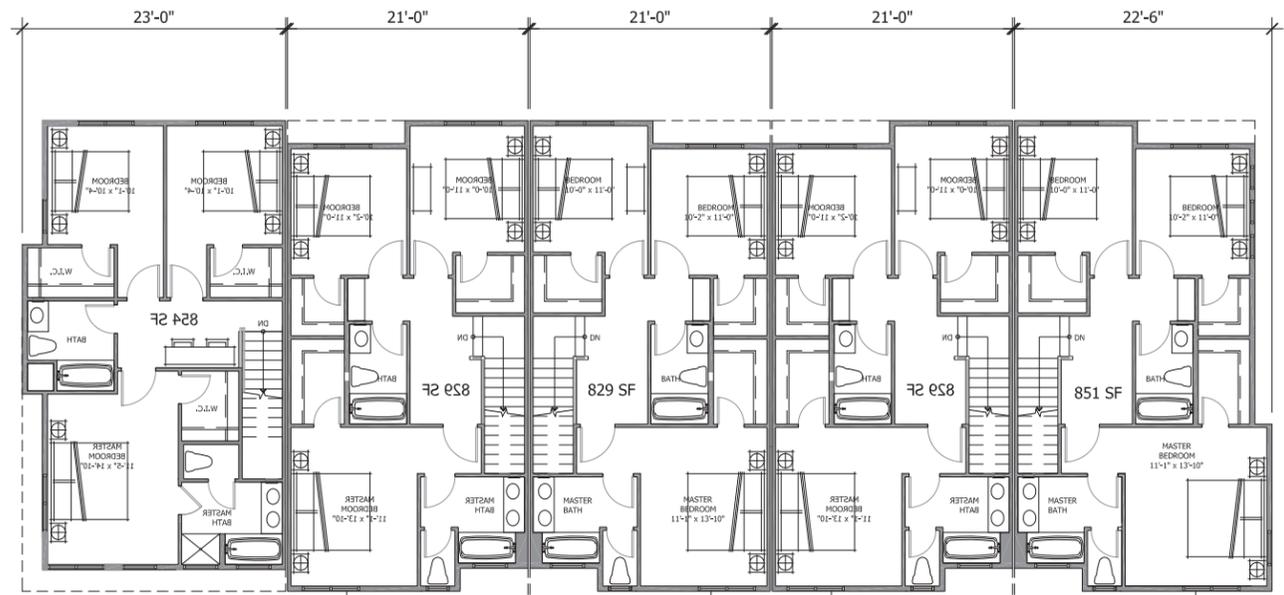


ACCESSIBLE UNIT

D1 | 3 BDRM | 26'-9" WIDE | 2 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
A1 | 2 BDRM | 20'-8" WIDE | 3 STORY
B1E | 3 BDRM | 22'-6" WIDE | 3 STORY

ROOF LEVEL 4

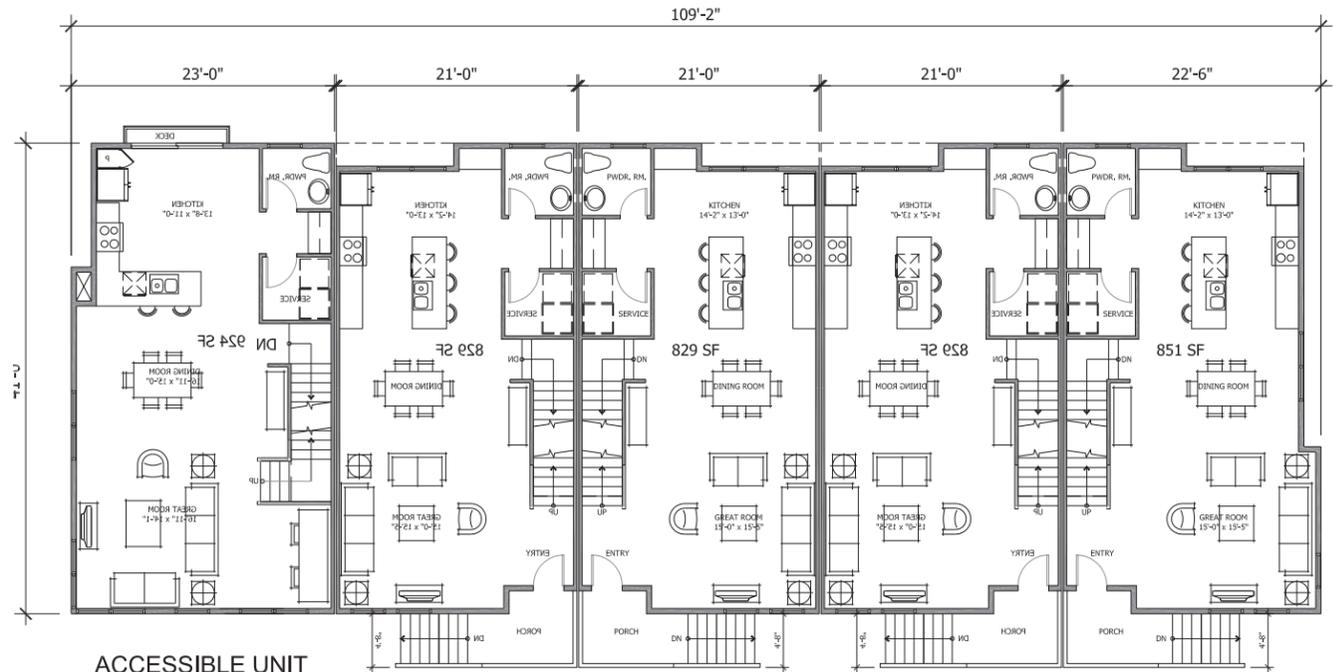
GROUND LEVEL 1



ACCESSIBLE UNIT

C1	3 BDRM 23' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2E	3 BDRM 22'-6" WIDE 3 STORY
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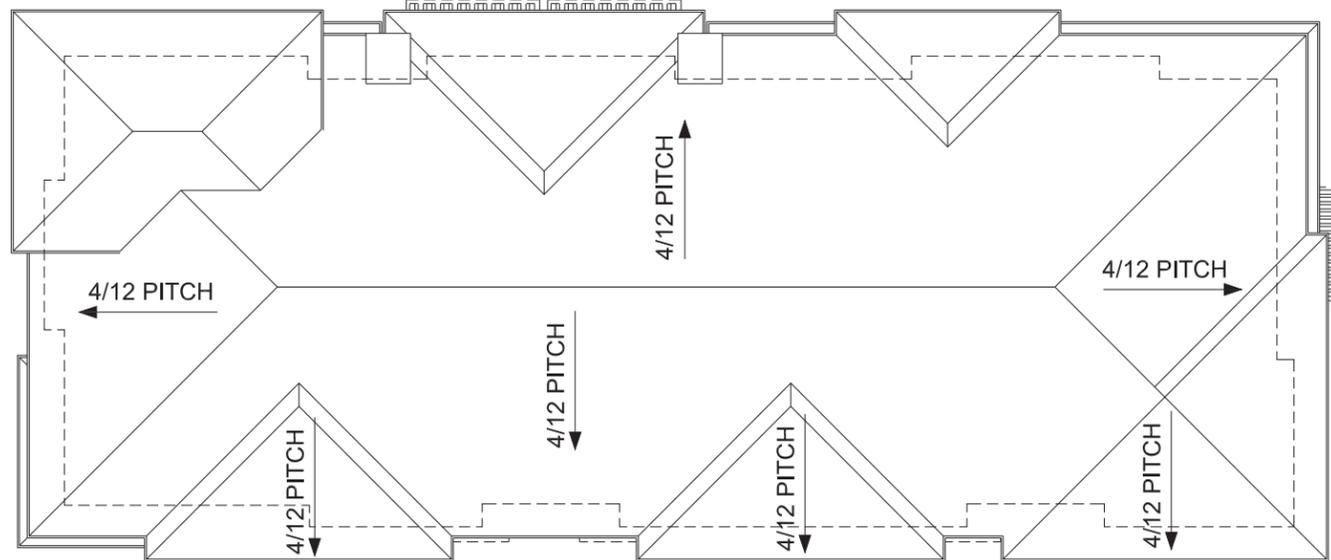
THIRD LEVEL 3



ACCESSIBLE UNIT

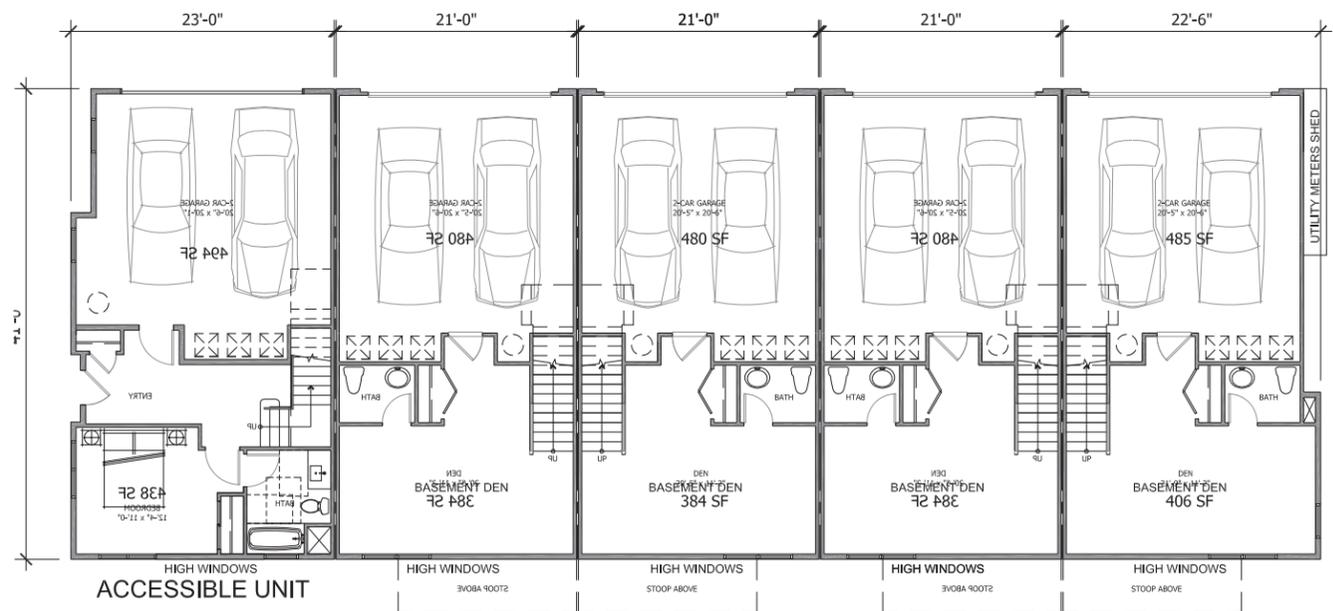
C1	3 BDRM 23' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2E	3 BDRM 22'-6" WIDE 3 STORY
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SECOND LEVEL 2



C1	3 BDRM 23' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2E	3 BDRM 22'-6" WIDE 3 STORY
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ROOF LEVEL 4



ACCESSIBLE UNIT

C1	3 BDRM 23' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2	3 BDRM 21' WIDE 3 STORY	B2E	3 BDRM 22'-6" WIDE 3 STORY
-----------	-------------------------------	-----------	-------------------------------	-----------	-------------------------------	-----------	-------------------------------	------------	----------------------------------

GROUND LEVEL 1



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Mission Village
Hayward, California

Valley Oak Partners
734 The Alameda
San Jose, CA

Sheet Title:

5B-Plex Building
Floor & Roof Plan

Job No. 15020
Date: 09/26/2016
Scale: 1/8" = 1'-0"
Drawn By:

Sheet No:

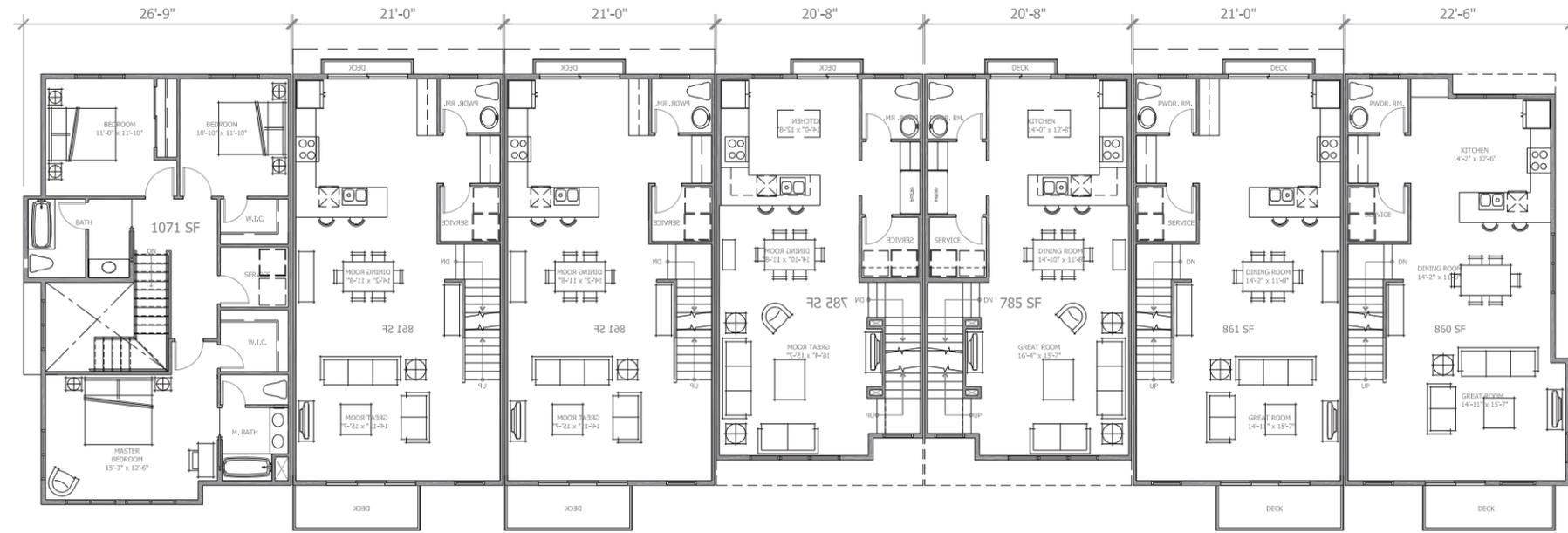
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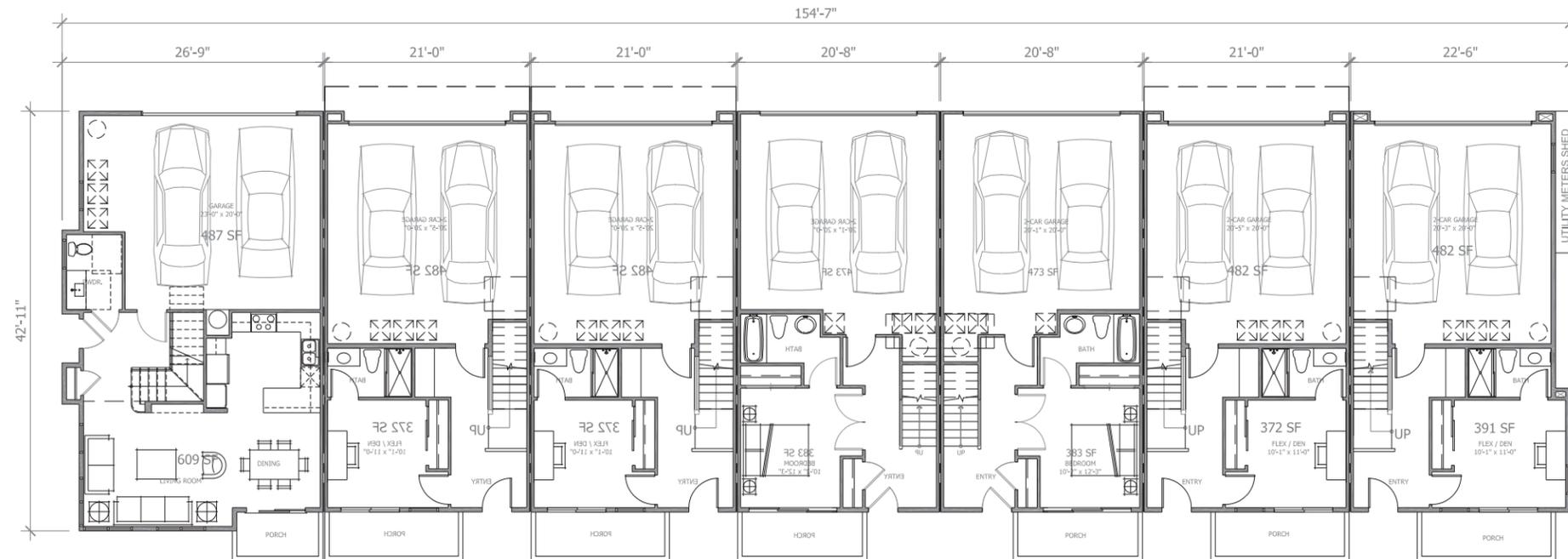
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D1 3 BDRM 26'-9" WIDE 2 STORY	B1 3 BDRM 21' WIDE 3 STORY	B1 3 BDRM 21' WIDE 3 STORY	A1 2 BDRM 20'-8" WIDE 3 STORY	A1 2 BDRM 20'-8" WIDE 3 STORY	B1 3 BDRM 21' WIDE 3 STORY	B1E 3 BDRM 22'-6" WIDE 3 STORY
--	---	---	--	--	---	---

SECOND LEVEL 2



D1 3 BDRM 26'-9" WIDE 2 STORY	B1 3 BDRM 21' WIDE 3 STORY	B1 3 BDRM 21' WIDE 3 STORY	A1 2 BDRM 20'-8" WIDE 3 STORY	A1 2 BDRM 20'-8" WIDE 3 STORY	B1 3 BDRM 21' WIDE 3 STORY	B1E 3 BDRM 22'-6" WIDE 3 STORY
--	---	---	--	--	---	---

GROUND LEVEL 1

Mission Village
Hayward, California

Valley Oak Partners
734 The Alameda
San Jose, CA

Sheet Title:

**P7-A Building
Floor Plan
1st & 2nd Level**

Job No. 15020
 Date: 09/26/2016
 Scale: 1/8" = 1'-0"
 Drawn By:

Sheet No:

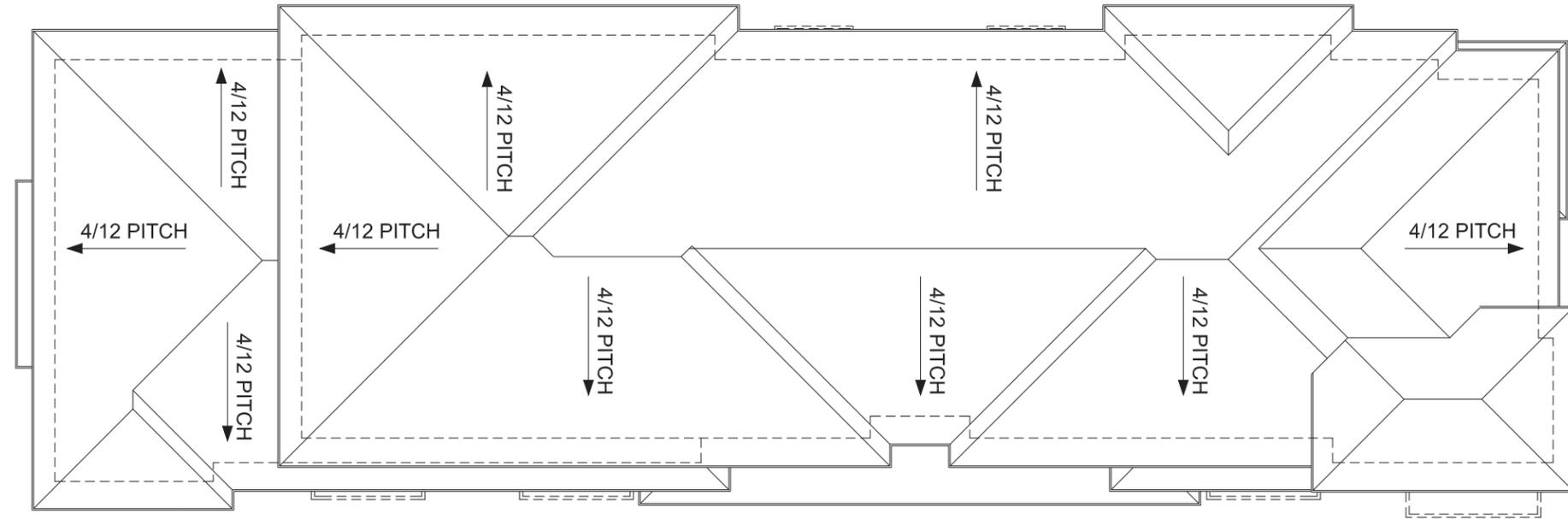
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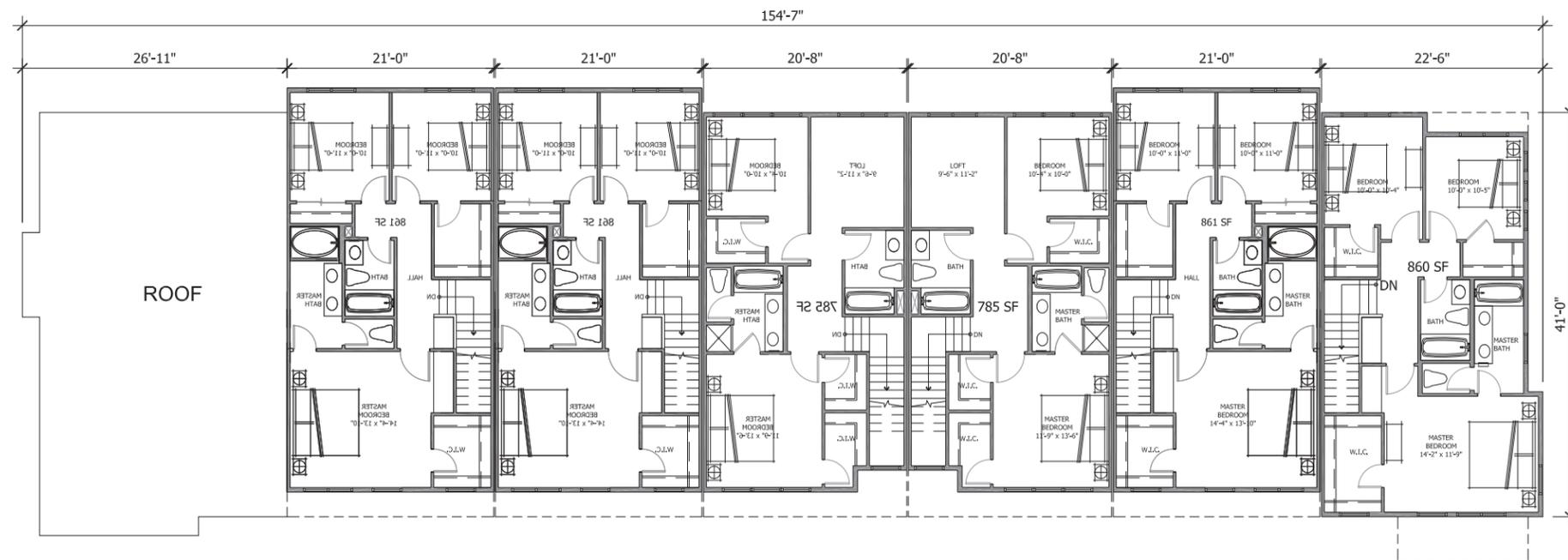
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D1 | 3 BDRM | 26'-9" WIDE | 2 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
A1 | 2 BDRM | 20'-8" WIDE | 3 STORY
A1 | 2 BDRM | 20'-8" WIDE | 3 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
B1E | 3 BDRM | 22'-6" WIDE | 3 STORY

ROOF LEVEL | 2



D1 | 3 BDRM | 26'-9" WIDE | 2 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
A1 | 2 BDRM | 20'-8" WIDE | 3 STORY
A1 | 2 BDRM | 20'-8" WIDE | 3 STORY
B1 | 3 BDRM | 21' WIDE | 3 STORY
B1E | 3 BDRM | 22'-6" WIDE | 3 STORY

THIRD LEVEL | 1

Mission Village
 Hayward, California
Valley Oak Partners
 734 The Alameda
 San Jose, CA

Sheet Title:
P7-A Building
Floor & Roof Plan
3rd Level

Job No. 15020
 Date: 09/26/2016
 Scale: 1/8" = 1'-0"
 Drawn By:

Sheet No:

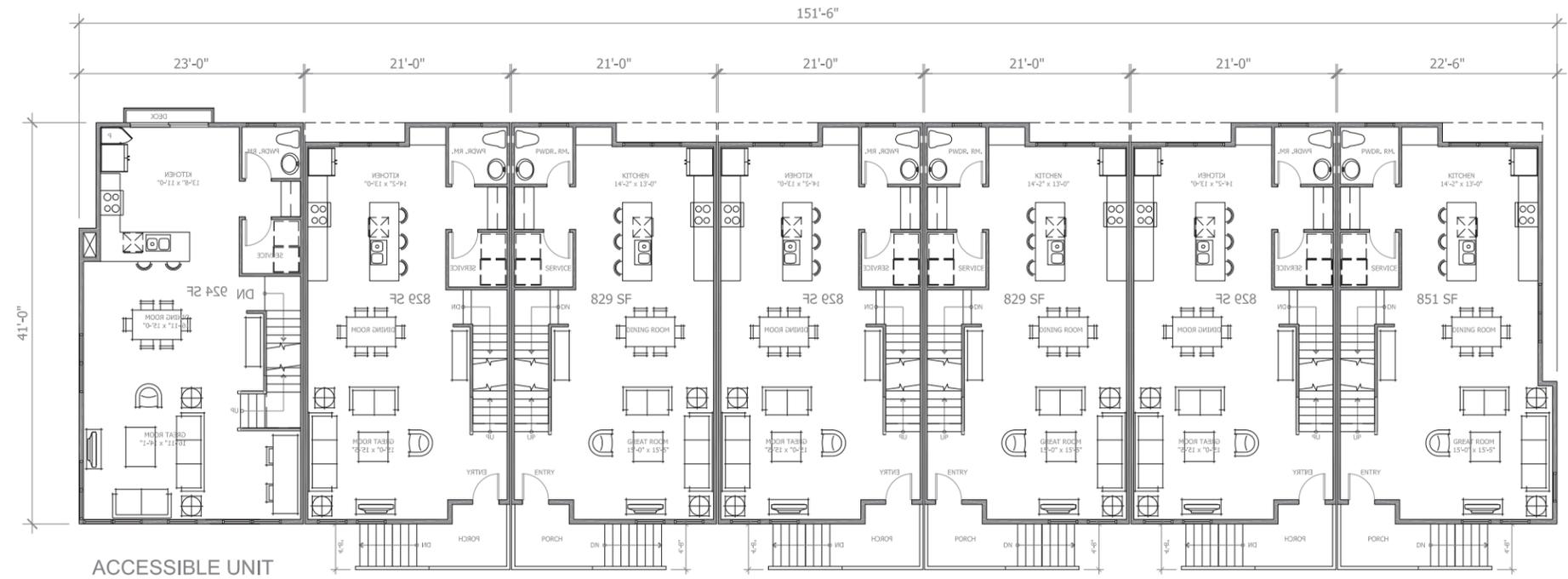
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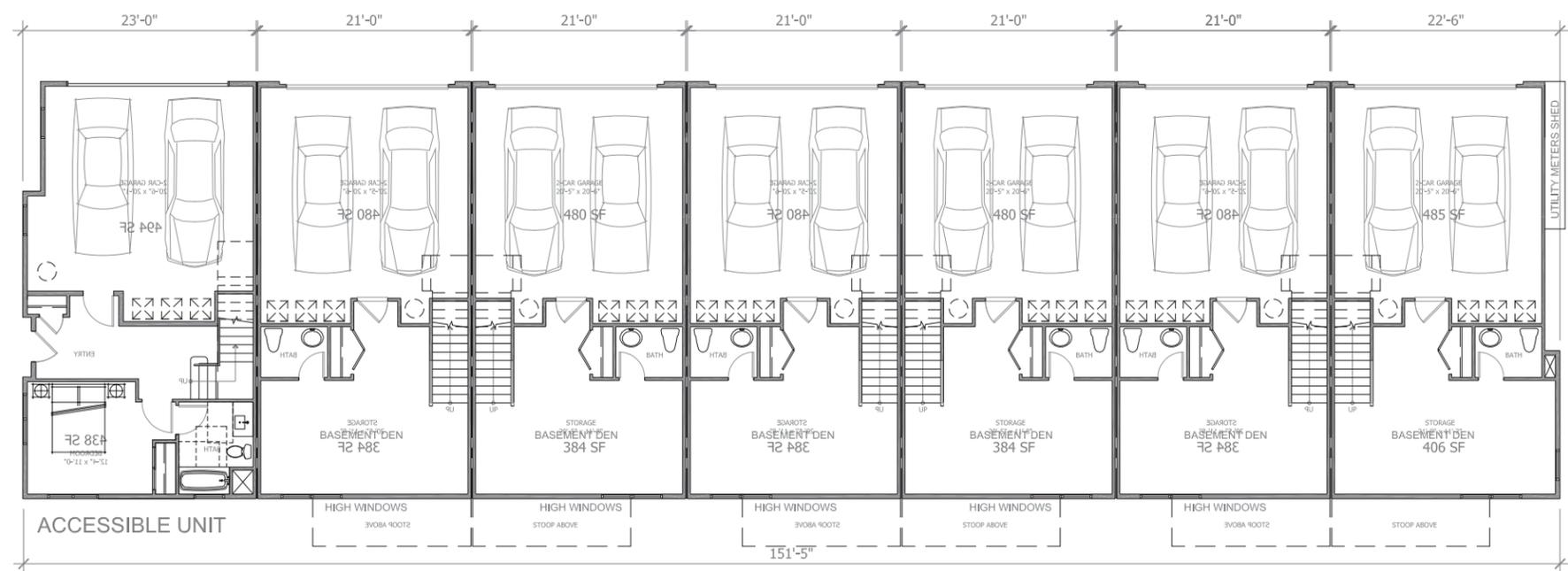
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- C1 | 3 BDRM
23' WIDE
3 STORY
- B2 | 3 BDRM
21' WIDE
3 STORY
- B2 | 3 BDRM
21' WIDE
3 STORY
- B2 | 3 BDRM
21' WIDE
3 STORY
- B2 | 3 BDRM
21' WIDE
3 STORY
- B2 | 3 BDRM
21' WIDE
3 STORY
- B2E | 3 BDRM
22'-6" WIDE
3 STORY

SECOND LEVEL 2



- C1 | 3 BDRM
23' WIDE
3 STORY
- B2 | 3 BDRM
21' WIDE
3 STORY
- B2 | 3 BDRM
21' WIDE
3 STORY
- B2 | 3 BDRM
21' WIDE
3 STORY
- B2 | 3 BDRM
21' WIDE
3 STORY
- B2 | 3 BDRM
21' WIDE
3 STORY
- B2E | 3 BDRM
22'-6" WIDE
3 STORY

GROUND LEVEL 1

Mission Village
 Hayward, California

Valley Oak Partners
 734 The Alameda
 San Jose, CA

Sheet Title:
**P7-B Building
 Floor Plan
 1st & 2nd Level**

Job No. 15020
 Date: 09/26/2016
 Scale: 1/8" = 1'-0"
 Drawn By:

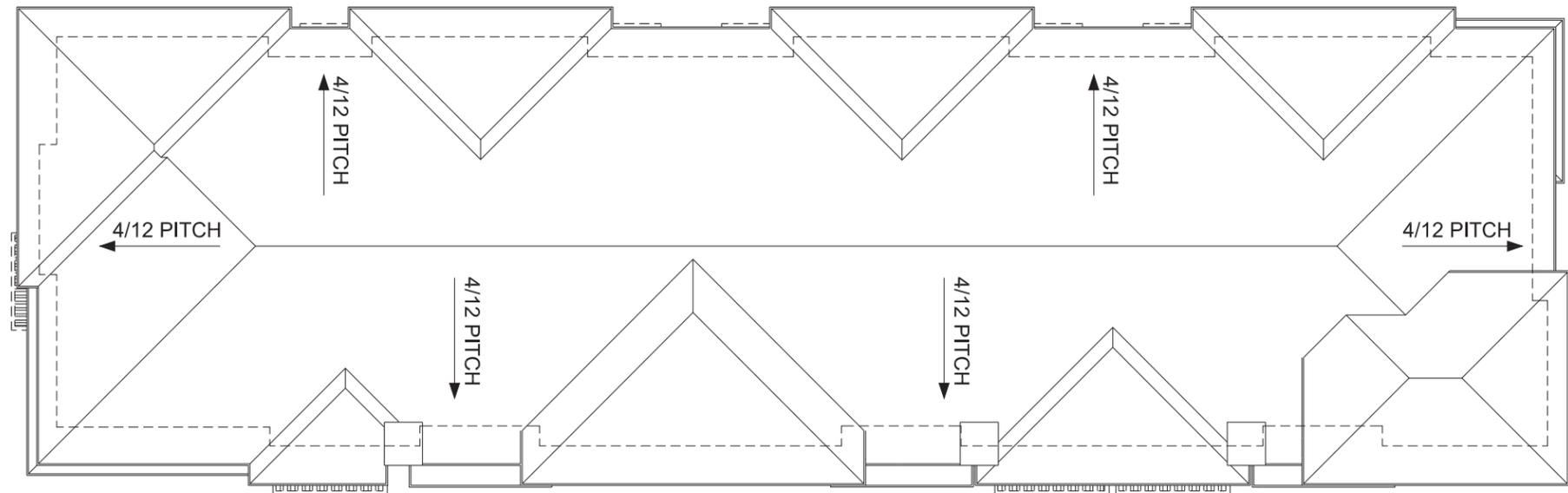
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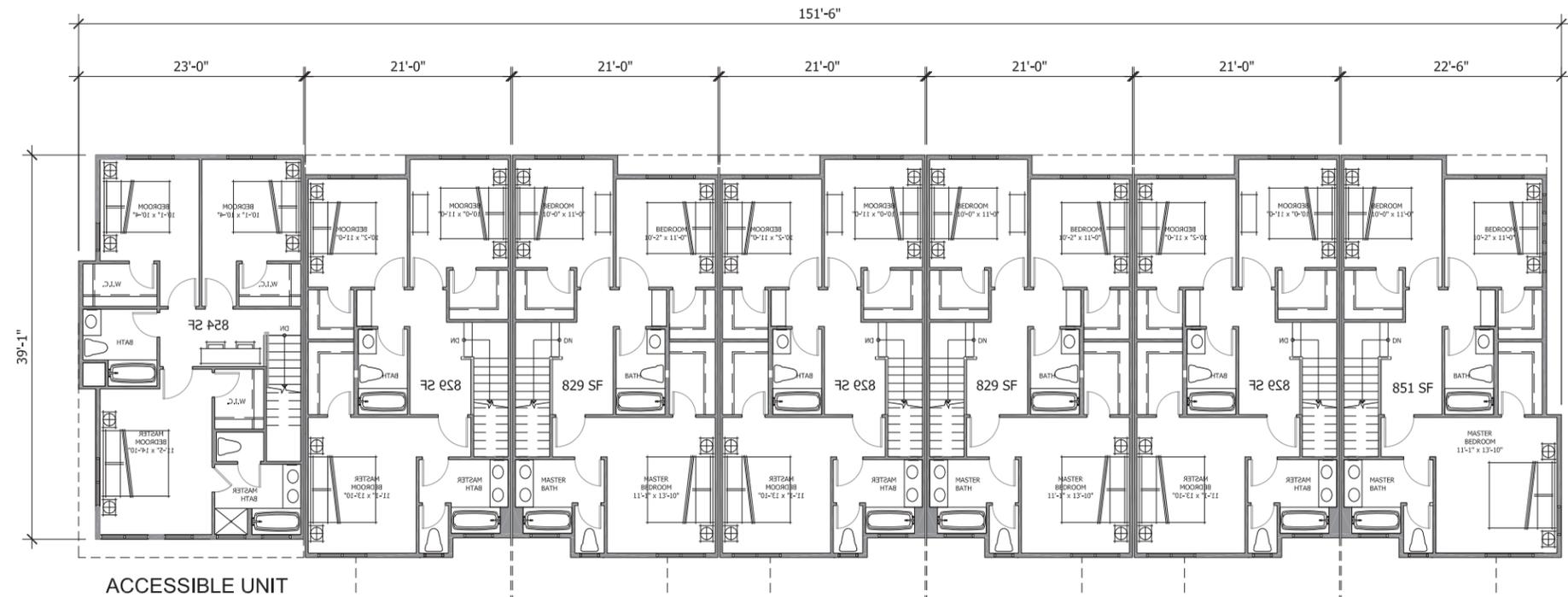
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C1 3 BDRM 23' WIDE 3 STORY	B2 3 BDRM 21' WIDE 3 STORY	B2E 3 BDRM 22'-6" WIDE 3 STORY				
---	---	---	---	---	---	---

ROOF LEVEL 2



C1 3 BDRM 23' WIDE 3 STORY	B2 3 BDRM 21' WIDE 3 STORY	B2E 3 BDRM 22'-6" WIDE 3 STORY				
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THIRD LEVEL 1

Mission Village
Hayward, California

Valley Oak Partners
734 The Alameda
San Jose, CA

Sheet Title:
**P7-B Building
 Floor & Roof Plan
 3rd Level**

Job No. 15020
 Date: 09/26/2016
 Scale: 1/8" = 1'-0"
 Drawn By:

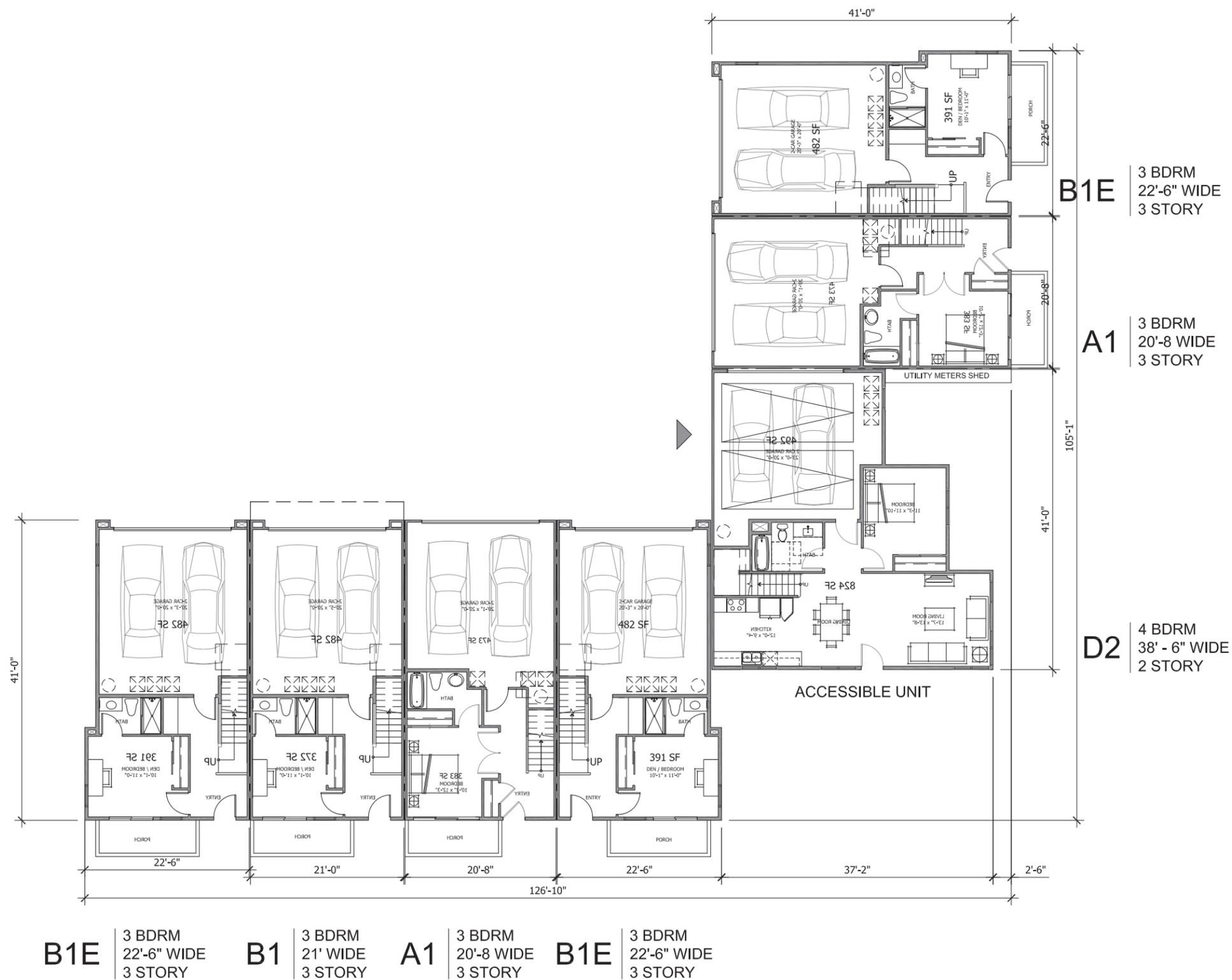
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Mission Village
 Hayward, California

Valley Oak Partners
 734 The Alameda
 San Jose, CA

Sheet Title:

**P7-C Building
 Floor Plan
 1st Level**

Job No. 15020
 Date: 09/26/2016
 Scale: 1/8" = 1'-0"
 Drawn By:

Sheet No:

A4.8



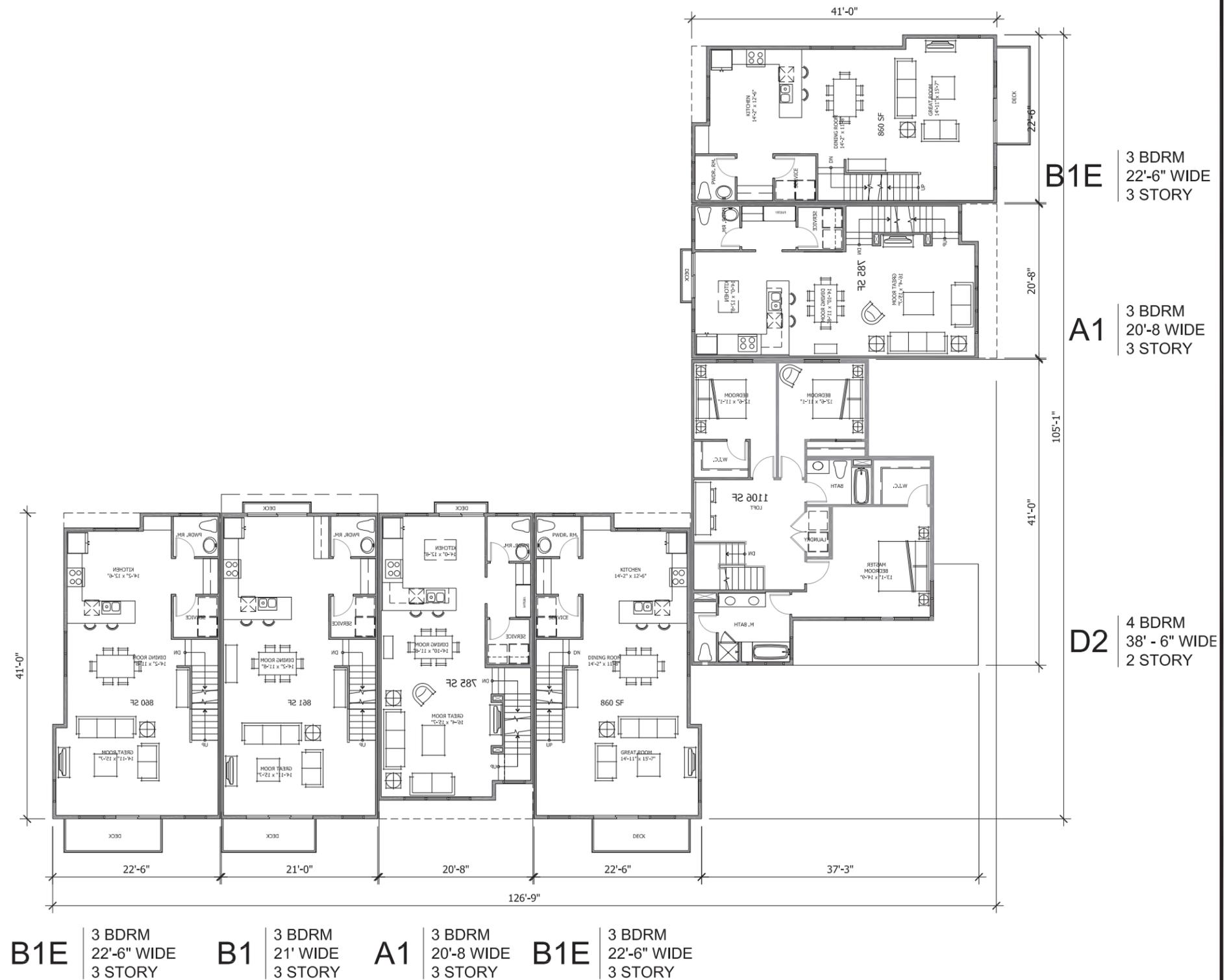
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 San Jose, CA



Sheet Title:

**P7-C Building
 Floor Plan
 2nd Level**

Job No. 15020
 Date: 09/26/2016
 Scale: 1/8" = 1'-0"
 Drawn By:

Sheet No:

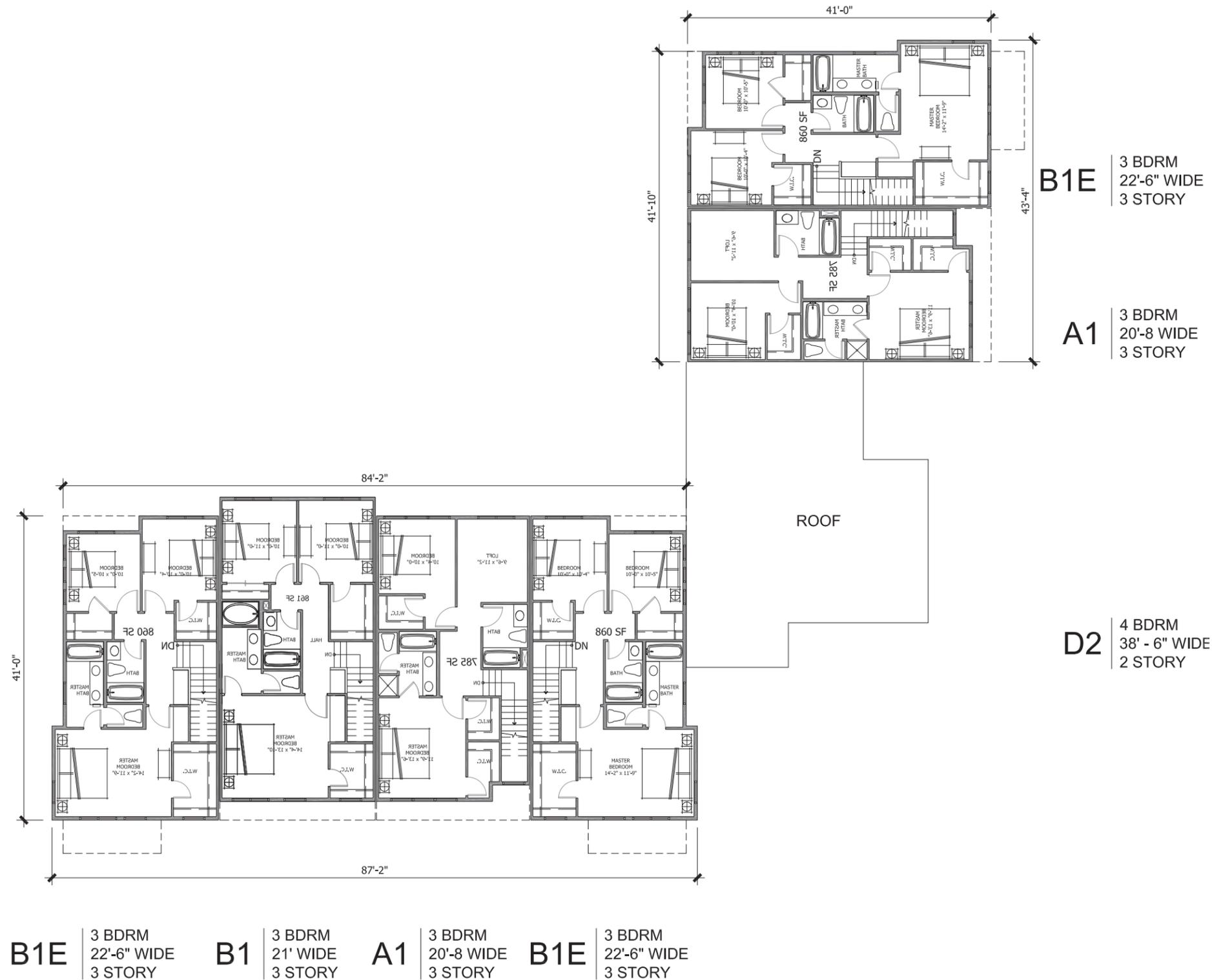
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Mission Village
 Hayward, California

Valley Oak Partners
 734 The Alameda
 San Jose, CA

Sheet Title:

**P7-C Building
 Floor Plan
 3rd Level**

Job No. 15020
 Date: 09/26/2016
 Scale: 1/8" = 1'-0"
 Drawn By:

Sheet No:

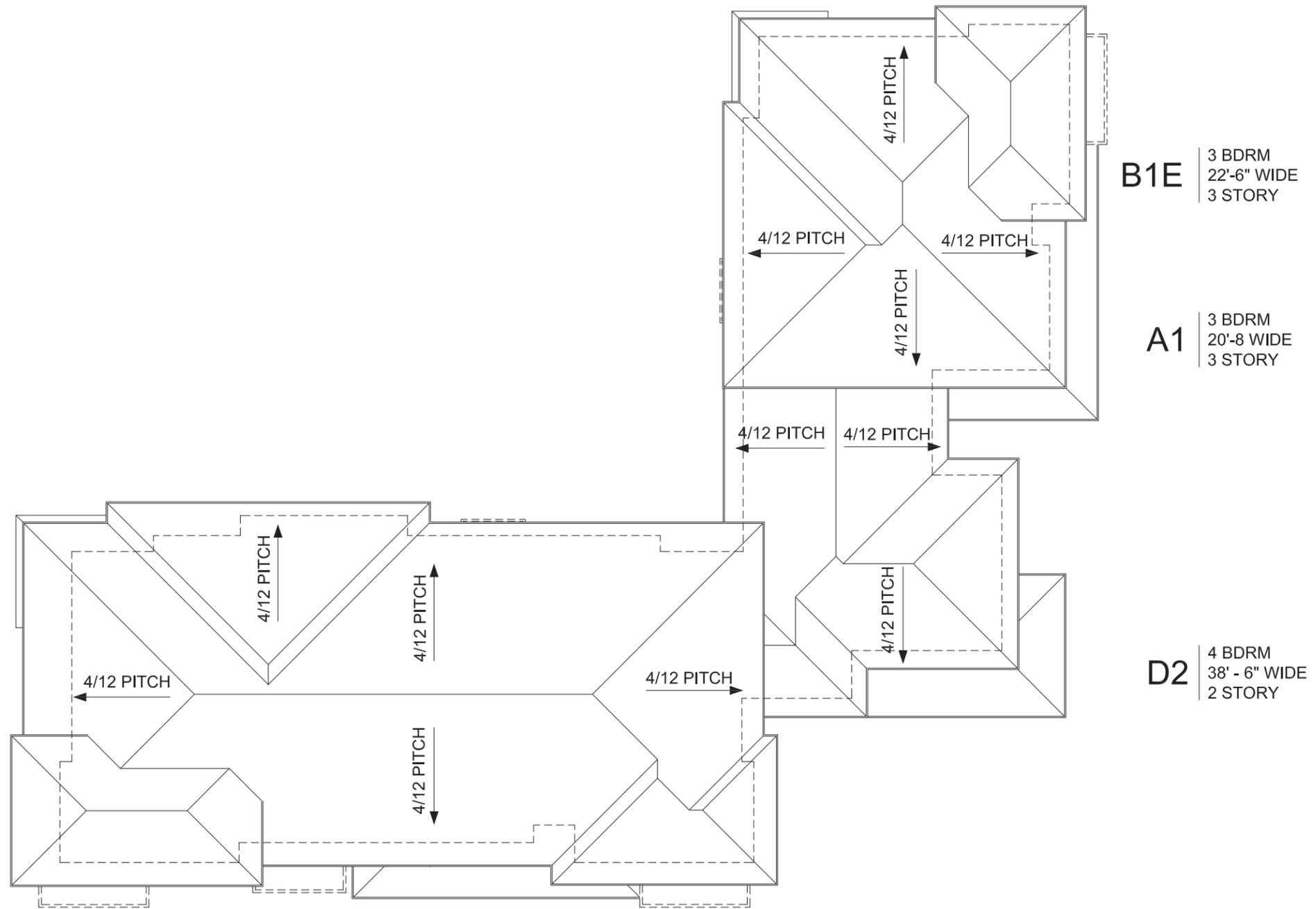
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B1E | 3 BDRM
 22'-6" WIDE
 3 STORY

A1 | 3 BDRM
 20'-8 WIDE
 3 STORY

D2 | 4 BDRM
 38' - 6" WIDE
 2 STORY

B1E | 3 BDRM
 22'-6" WIDE
 3 STORY

B1 | 3 BDRM
 21' WIDE
 3 STORY

A1 | 3 BDRM
 20'-8 WIDE
 3 STORY

B1E | 3 BDRM
 22'-6" WIDE
 3 STORY

Mission Village
 Hayward, California

Valley Oak Partners
 734 The Alameda
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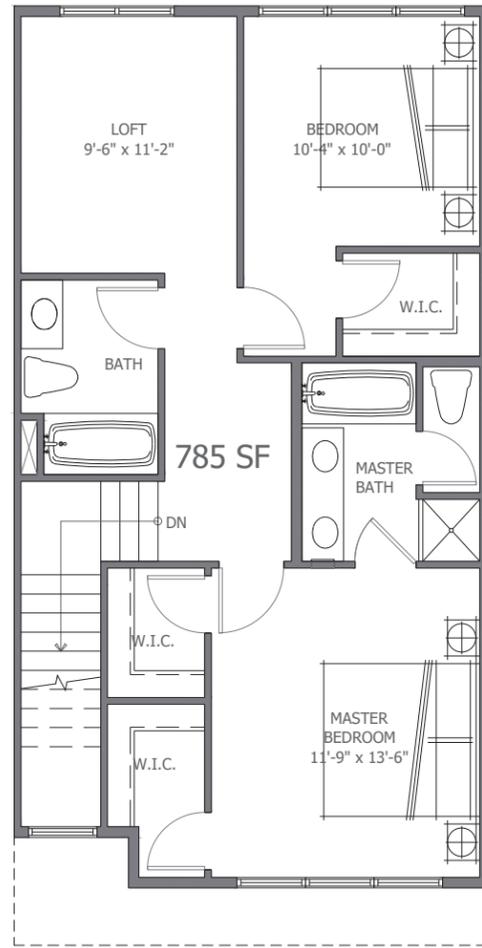
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**P7-C Building
 Roof Plan**

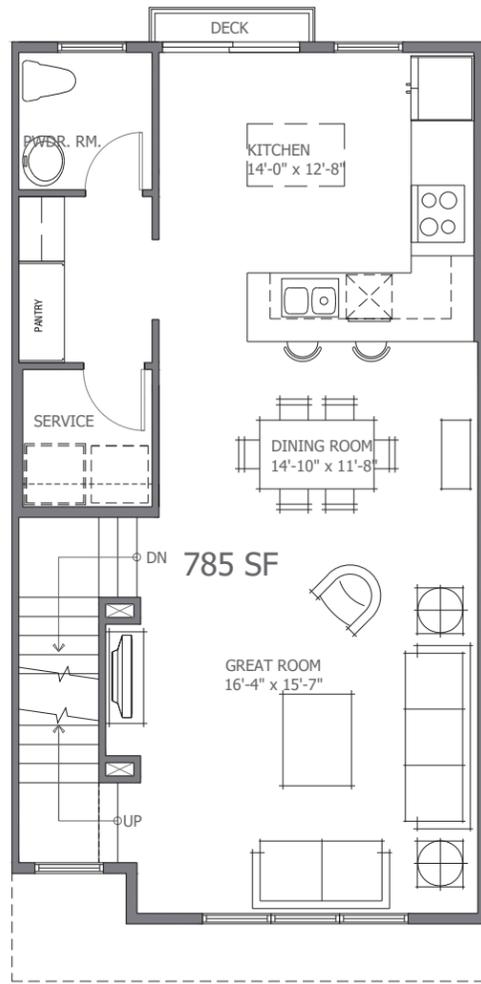
Job No. 15020
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Sheet No:

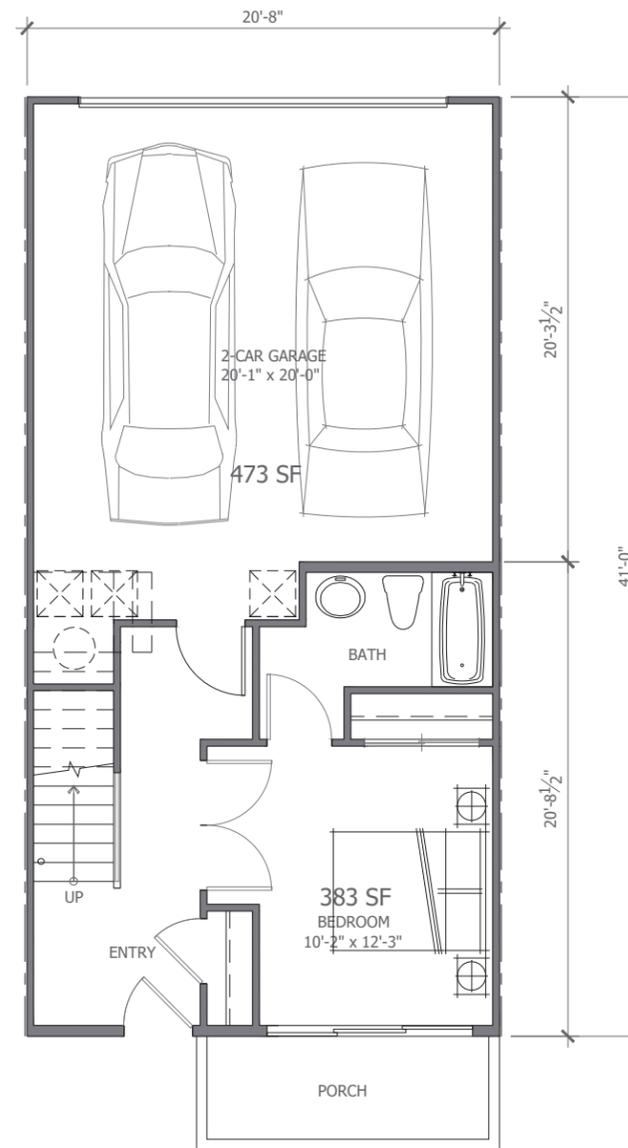
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THIRD FLOOR



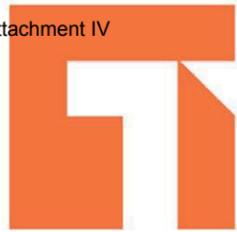
SECOND FLOOR



FIRST FLOOR

A1 UNIT PLAN

1,953 S.F.
3 BR / 3 BA + LOFT



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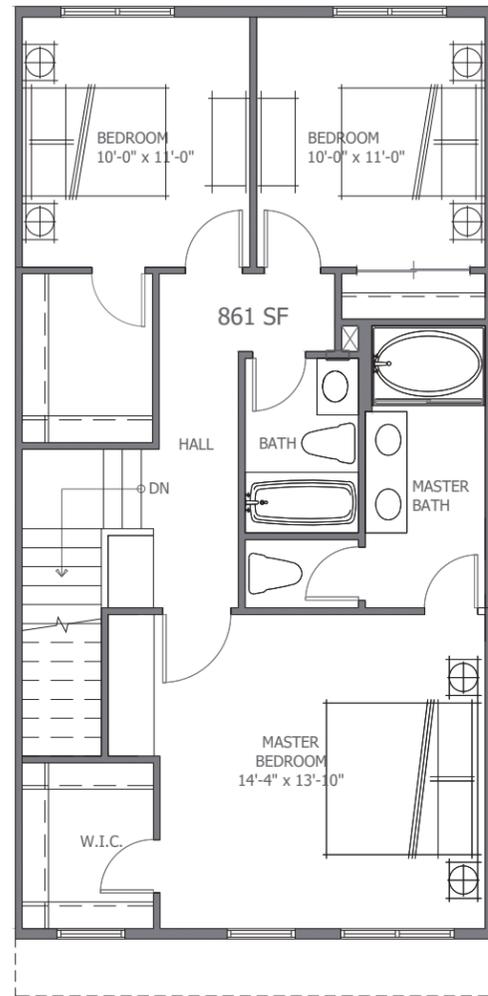
Sheet Title:

Building A1
Unit Plan

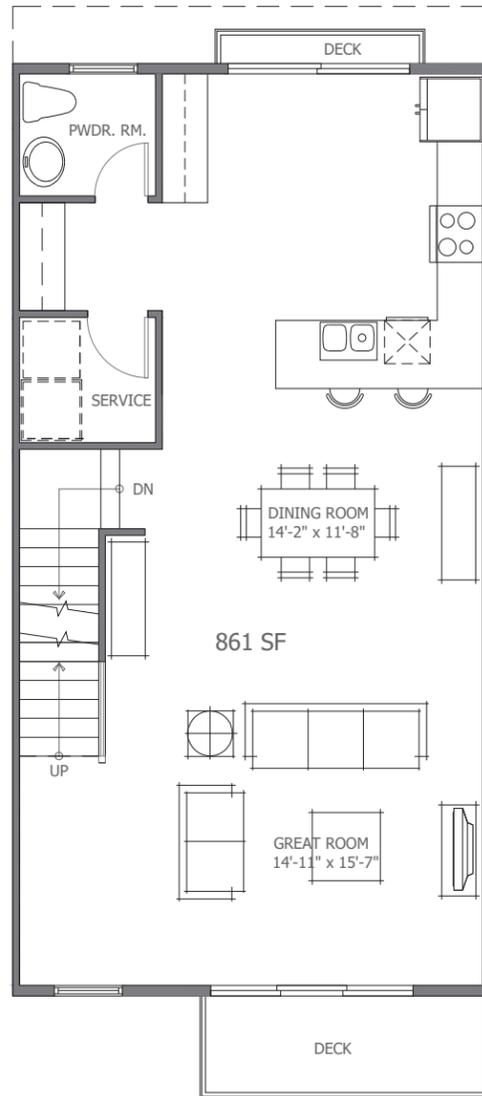
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Date: 09/26/2016
Scale: 1/4" = 1'-0"
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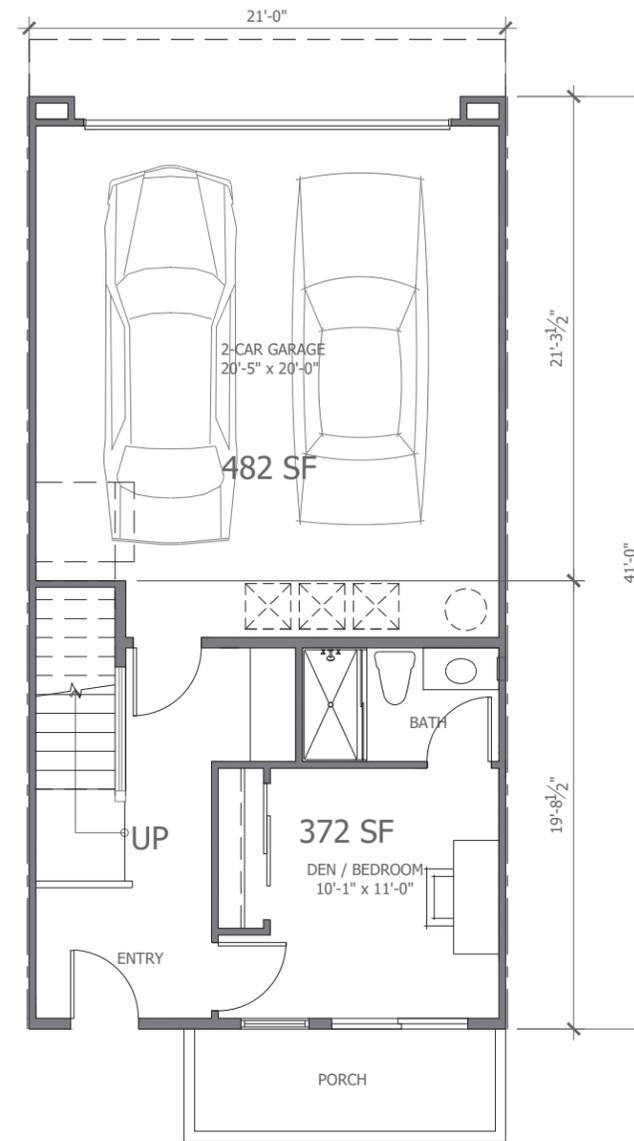
A5.0



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

B1 UNIT PLAN

2094 S.F.
3 BR + Option Den/4 BR / 3 BA



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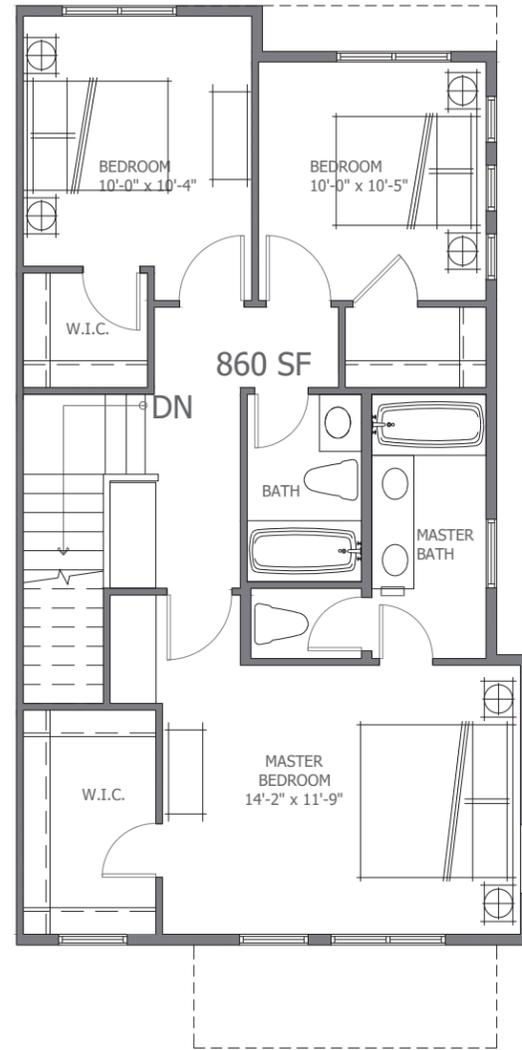
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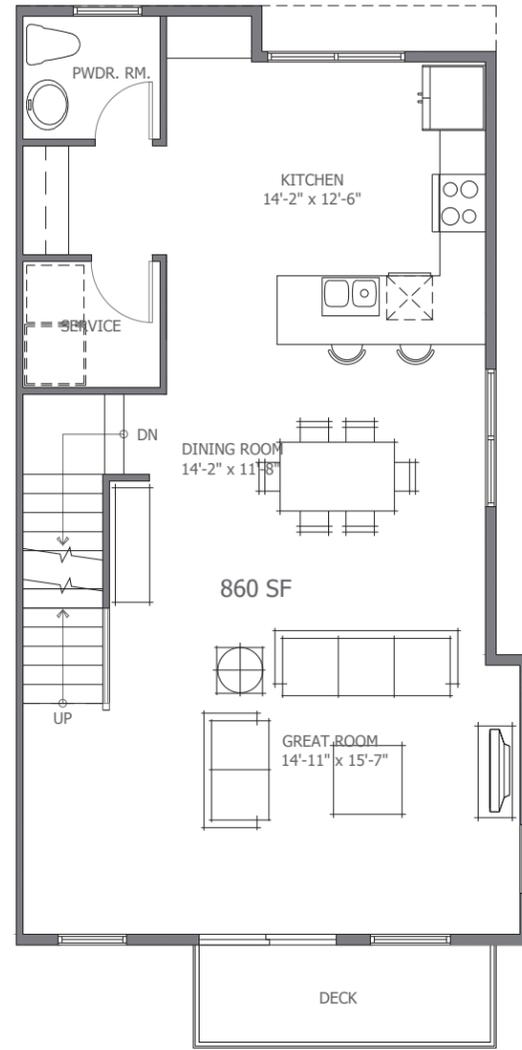
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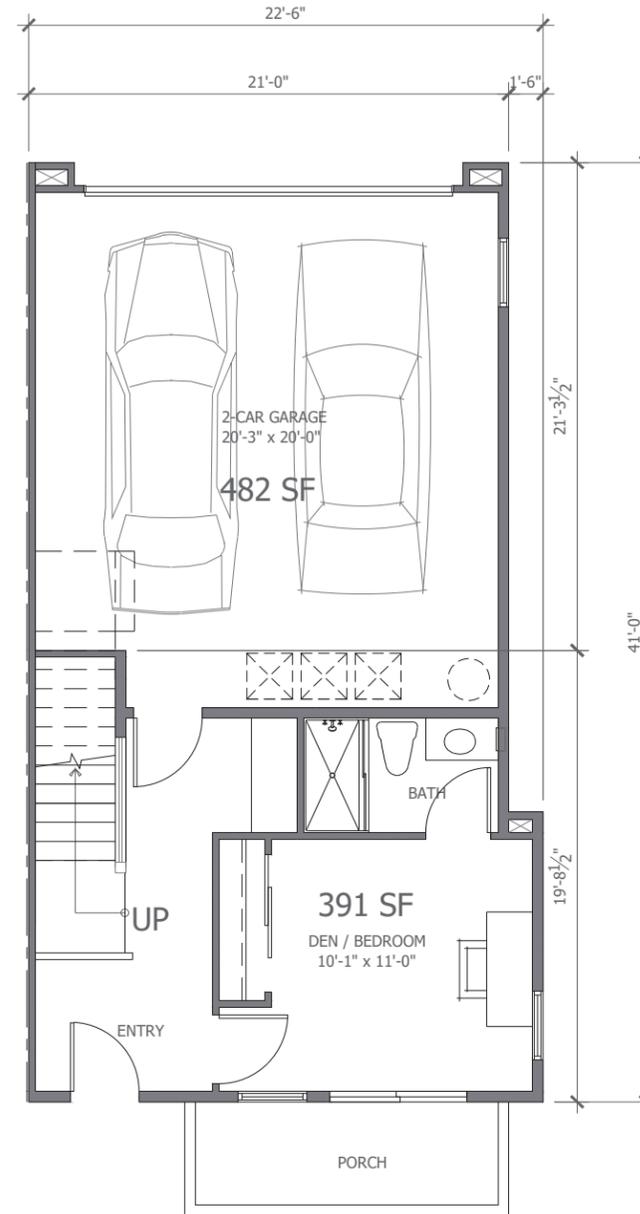
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THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

B1E UNIT PLAN

2,111 S.F.
3 BR + Option Den/4 BR / 3 BA



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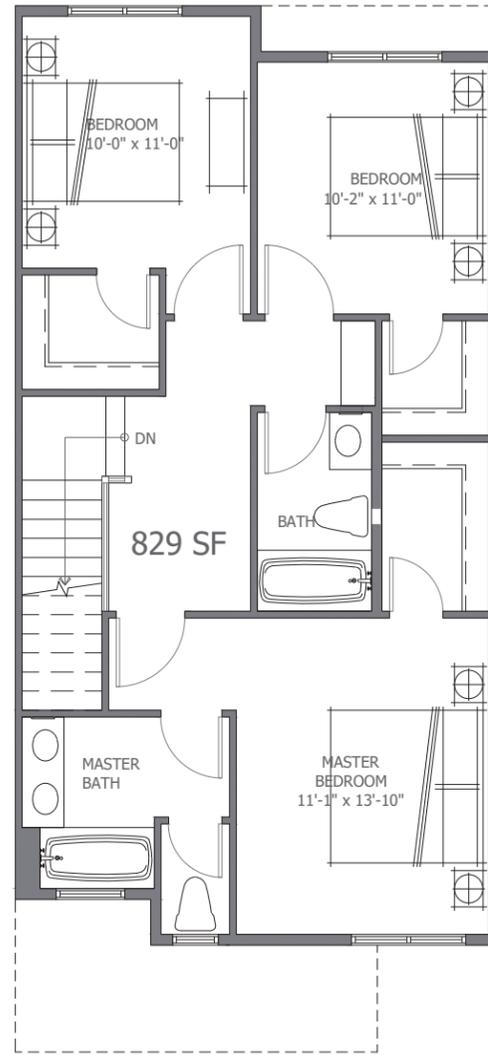
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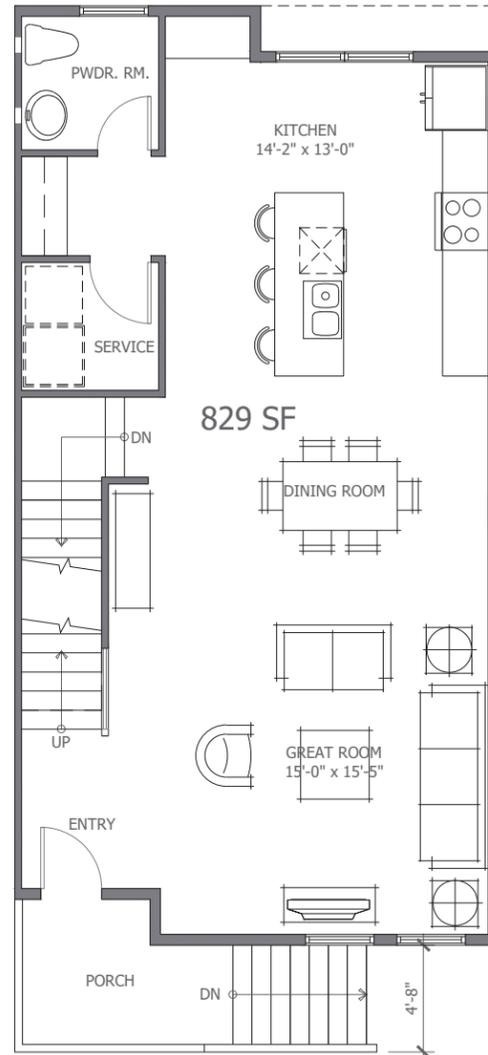
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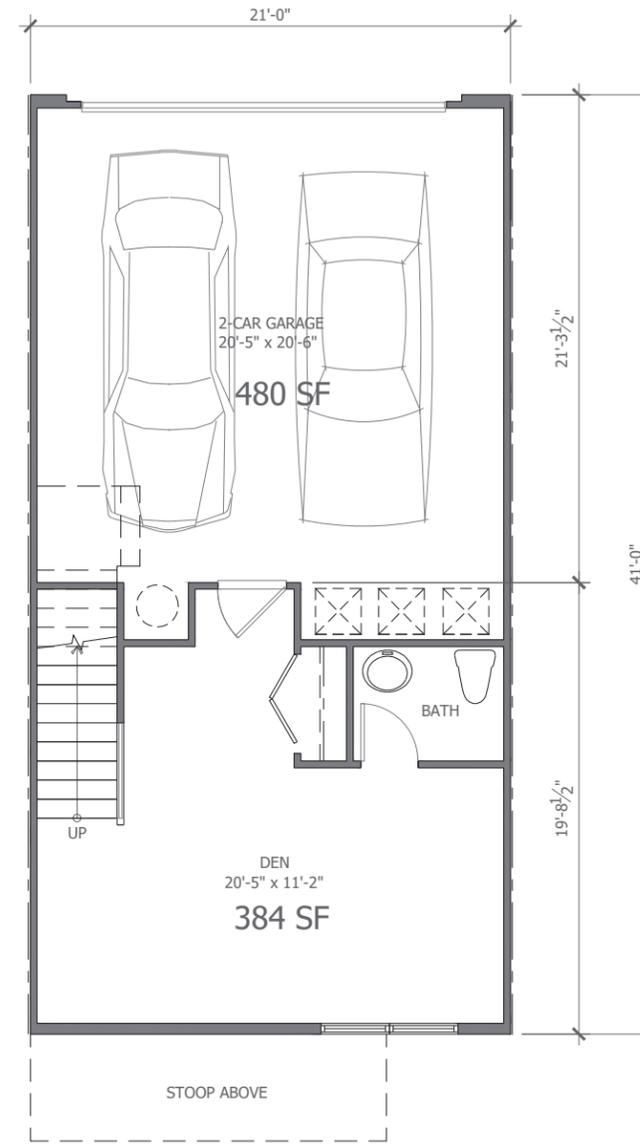
A5.2



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

B2 UNIT PLAN

2,042 S.F.
3 BR + DEN / 2.5 BA



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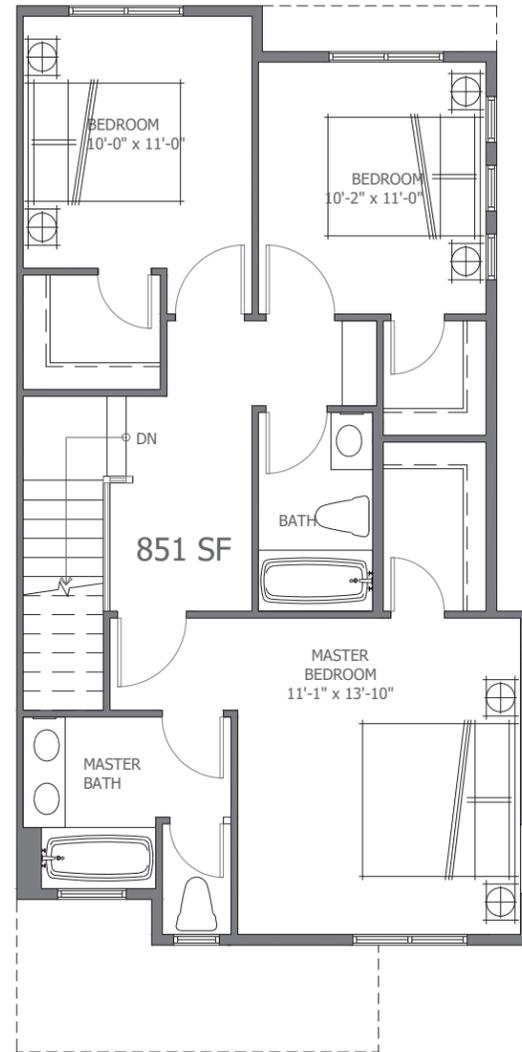
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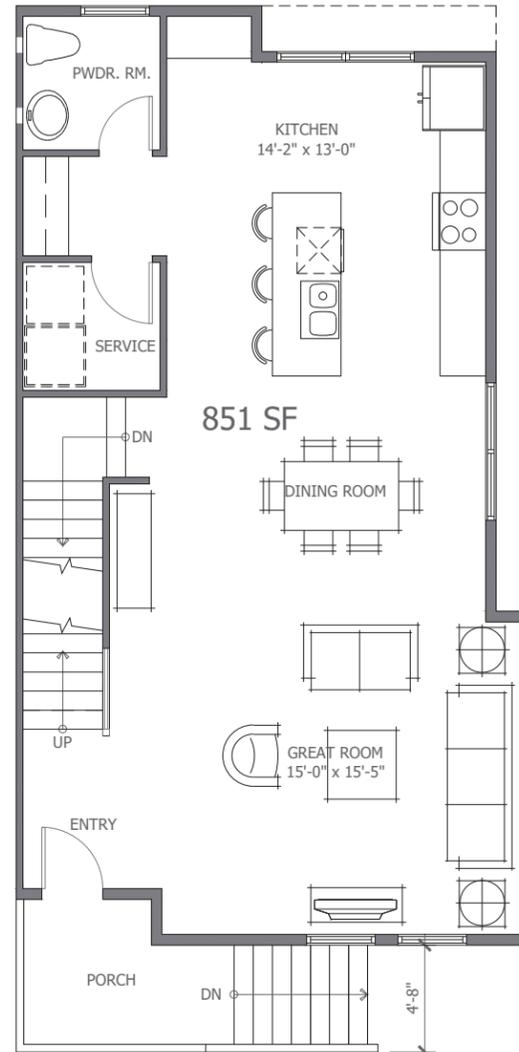
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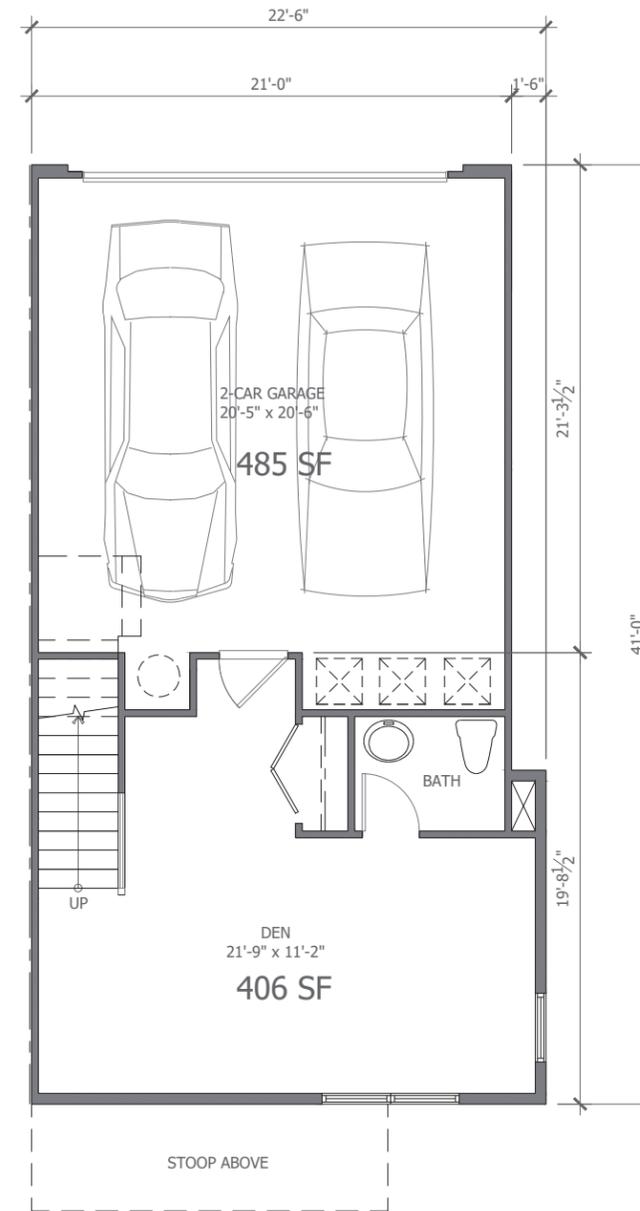
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THIRD FLOOR



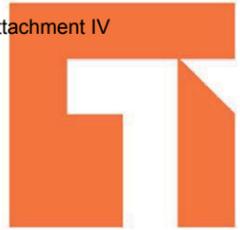
SECOND FLOOR



FIRST FLOOR

B2E UNIT PLAN

2,108 S.F.
3 BR + DEN / 2.5 BA



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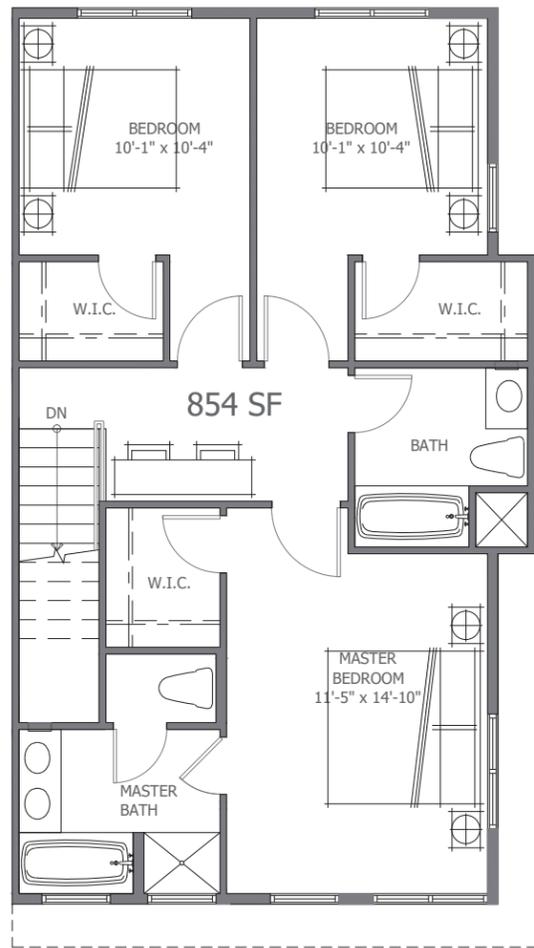
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Unit Plan

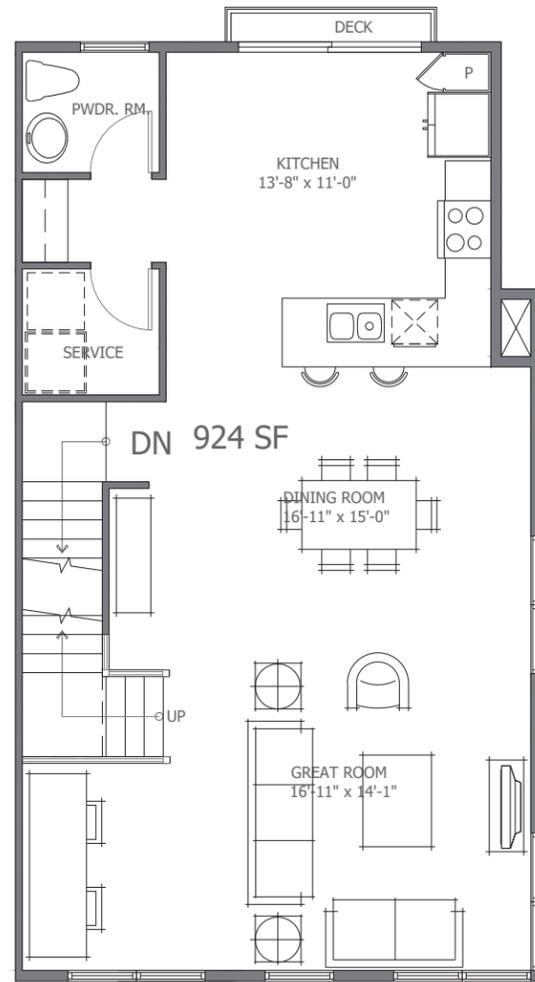
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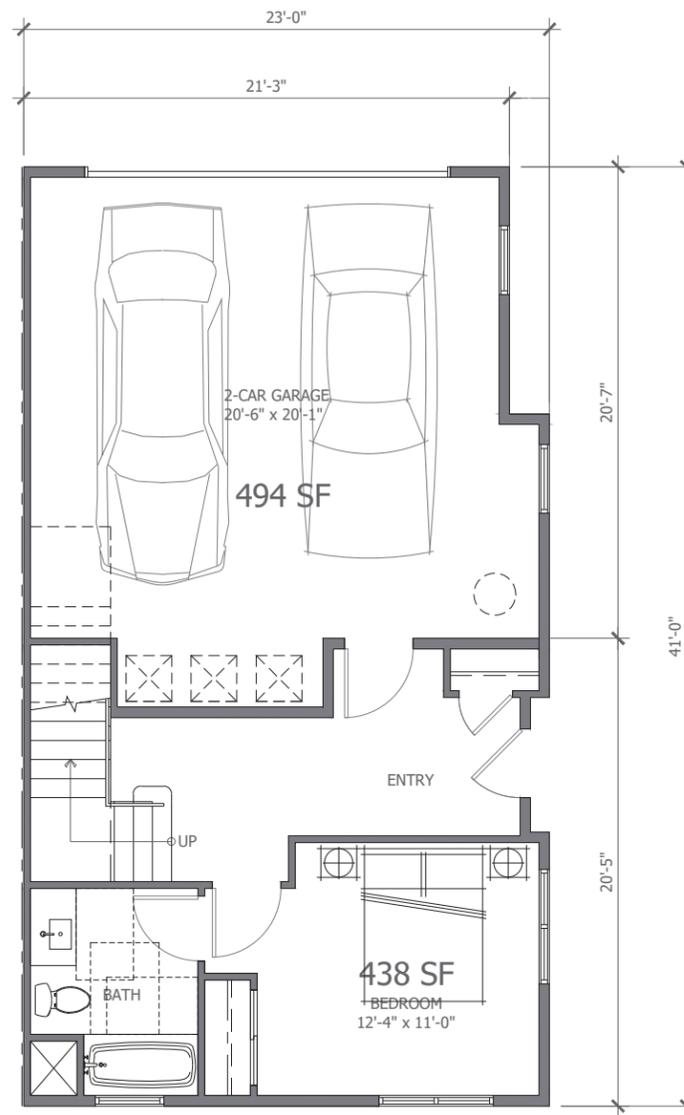
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THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

C1 UNIT PLAN

2,216 S.F.
4 BR / 3 BA
ACCESSIBLE UNIT



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Sheet Title:

Building C1
Unit Plan

Job No. 15020
Date: 09/26/2016
Scale: 1/4" = 1'-0"
Drawn By:

Sheet No:

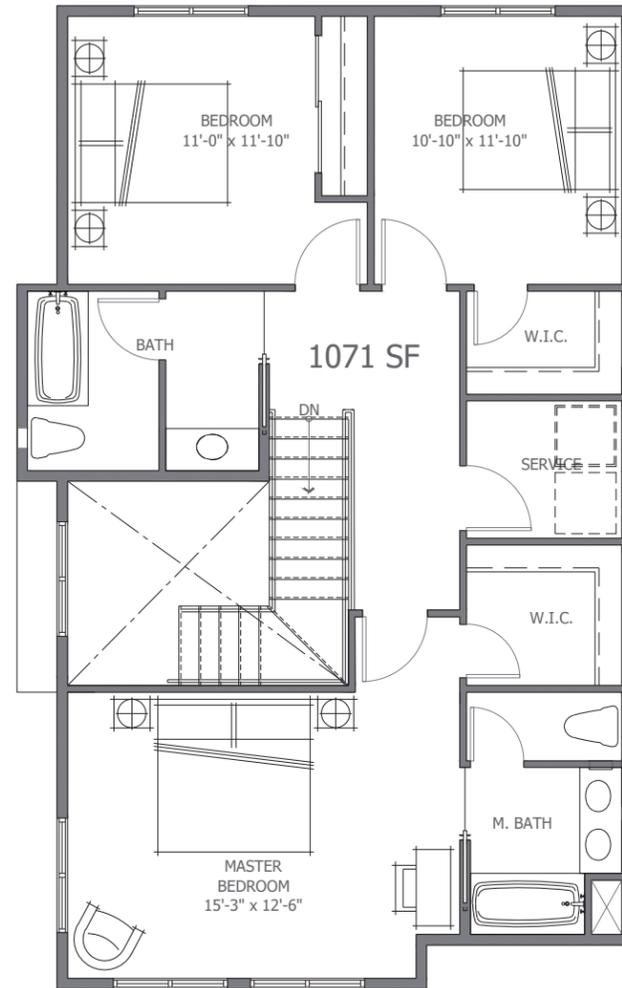
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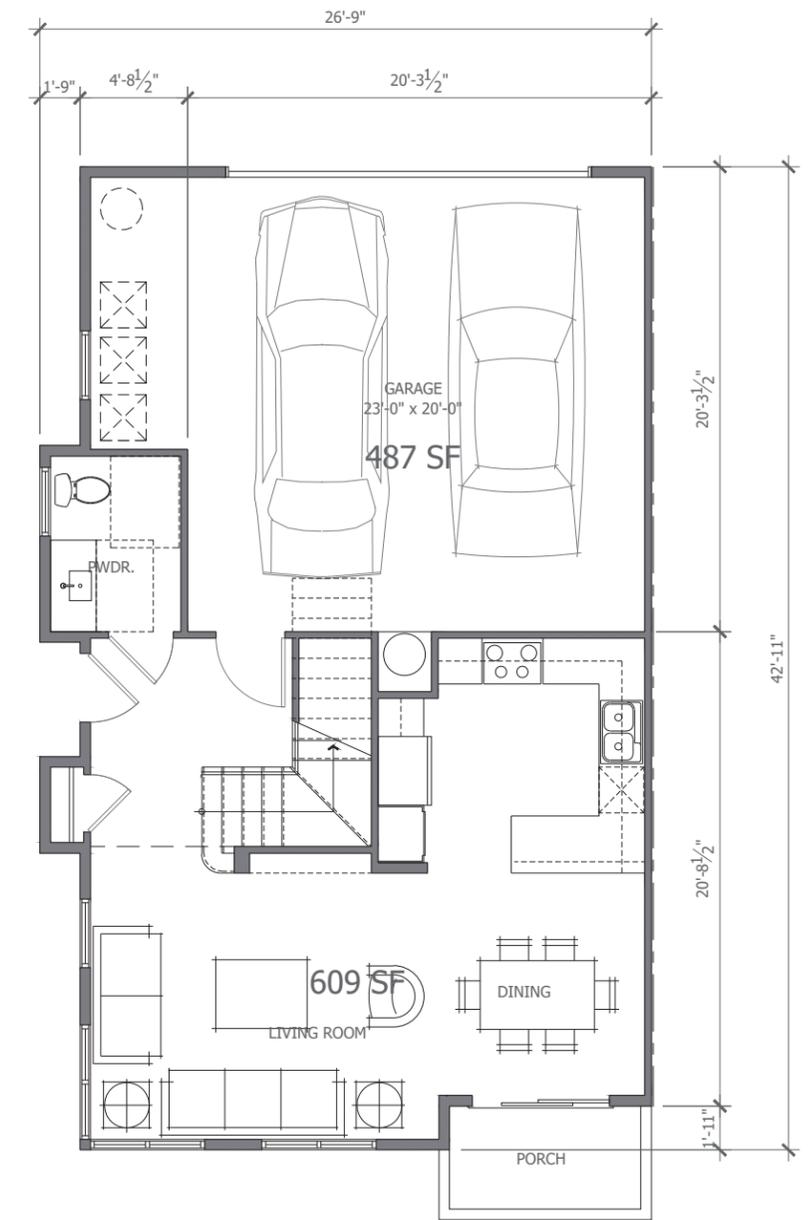
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SECOND FLOOR



FIRST FLOOR

D1 UNIT PLAN

1,680 S.F.
3 BR / 2.5 BA
ACCESSIBLE UNIT

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Sheet Title:

Building D1
Unit Plan

Job No. 15020
Date: 09/26/2016
Scale: 1/4" = 1'-0"
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Sheet No:

A5.6



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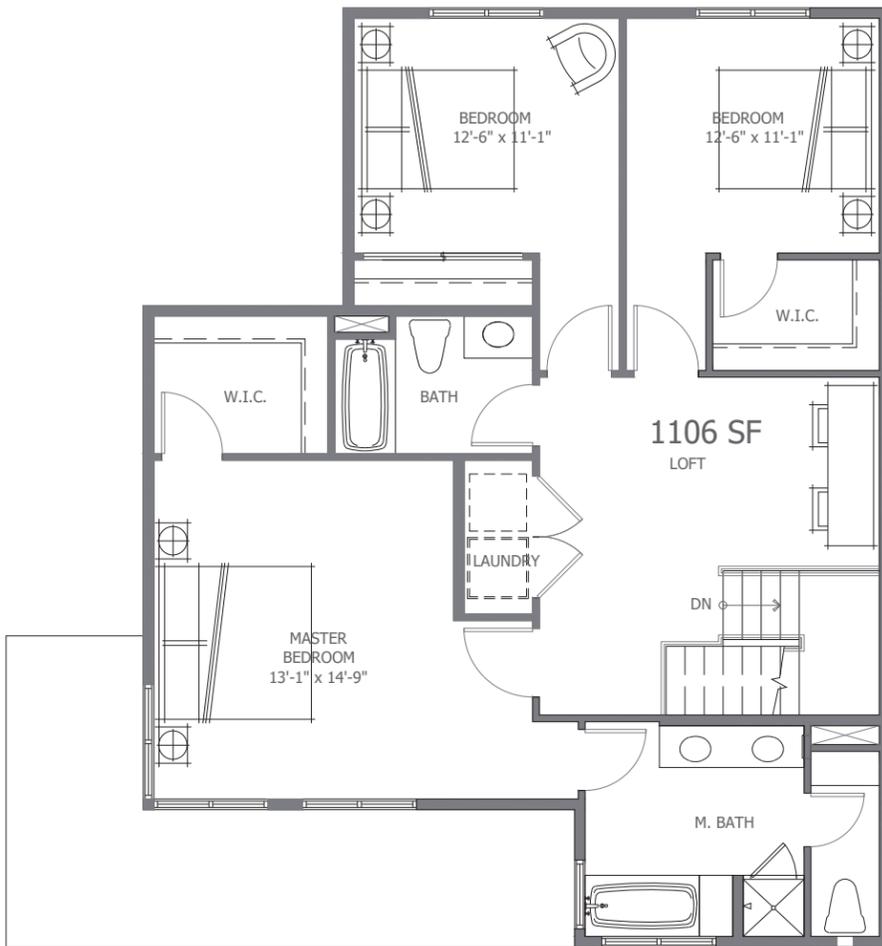
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**Building D2
Unit Plan**

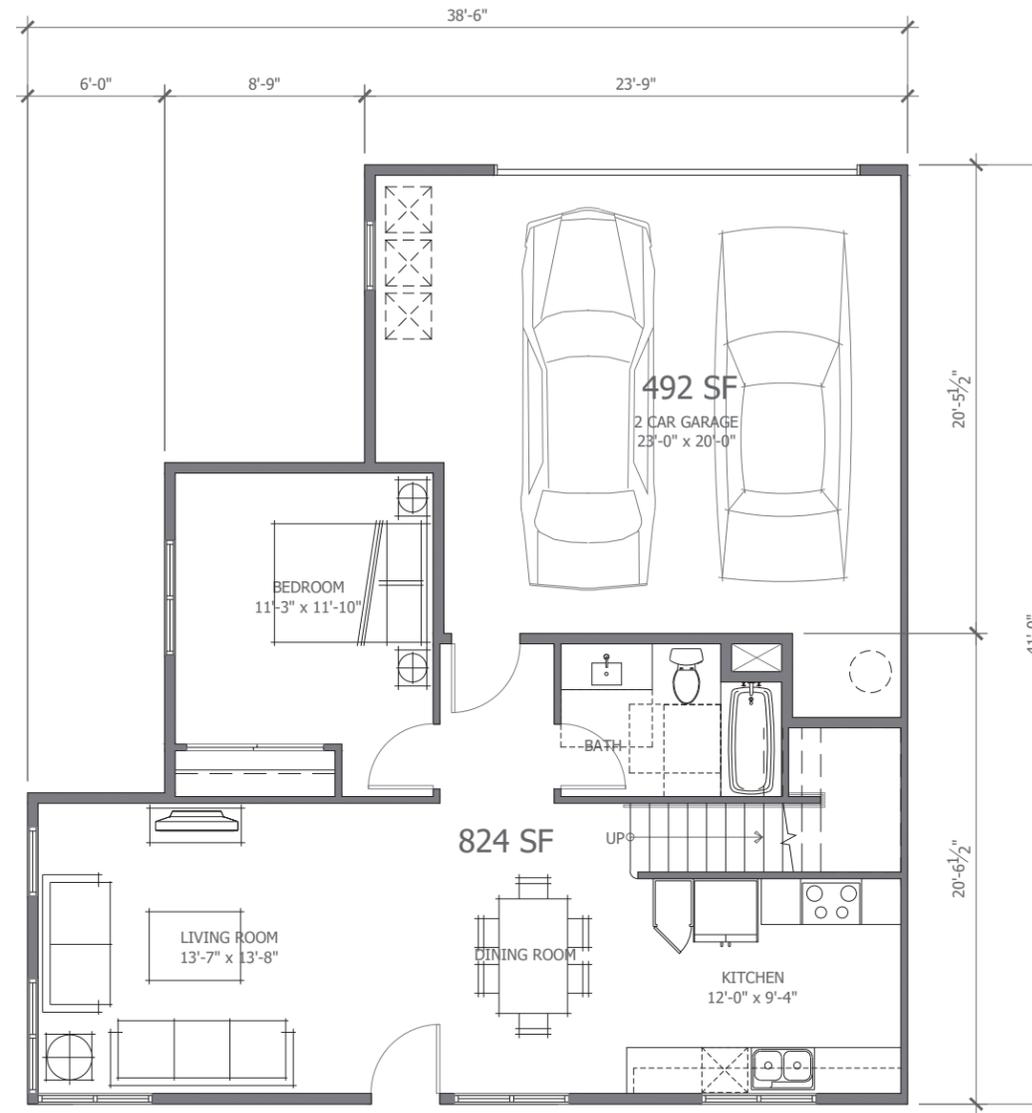
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SECOND FLOOR



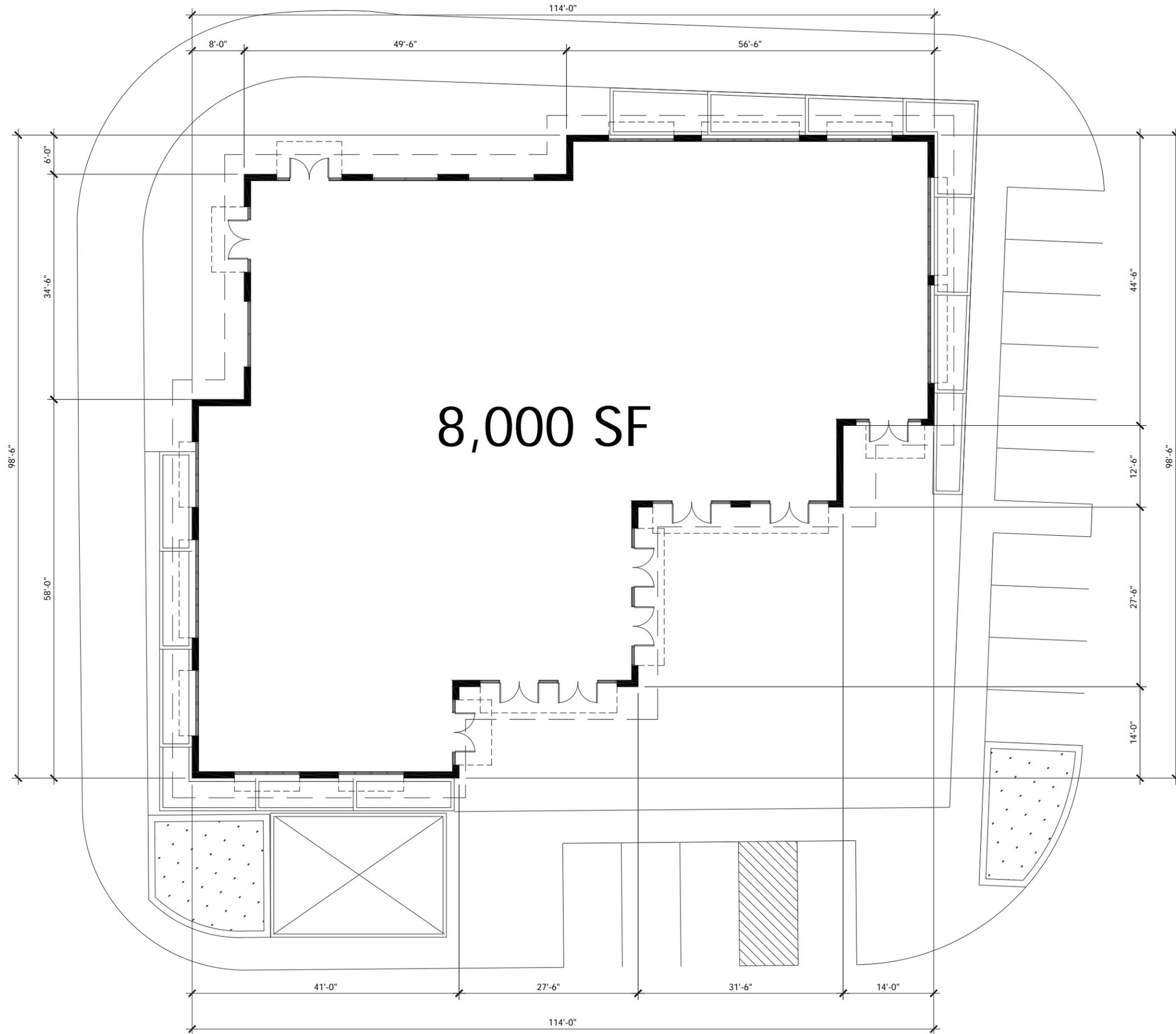
FIRST FLOOR

D2 UNIT PLAN

**1,930 S.F.
4 BR / 3 BA + LOFT
ACCESSIBLE UNIT**

MISSION BLVD

INDUSTRIAL PKWY



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Sheet Title:

Retail Floor Plan

Job No. 15020
Date: 09/26/2016
Scale: 1/8" = 1'-0"
Drawn By:

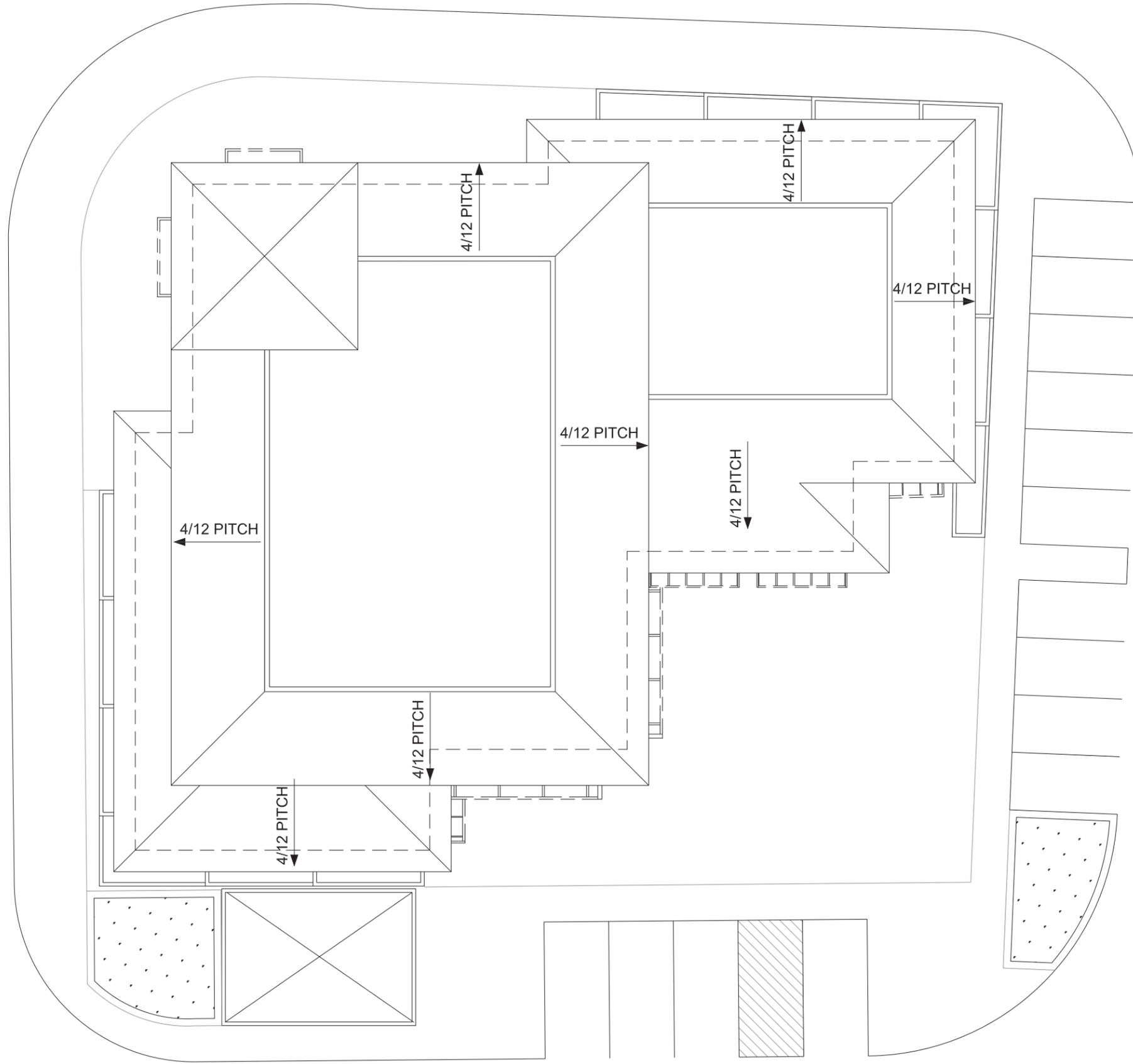
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MISSION BLVD

INDUSTRIAL PKWY



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Sheet Title:
Retail Roof Plan

Job No. 15020
 Date: 09/26/2016
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 Drawn By:

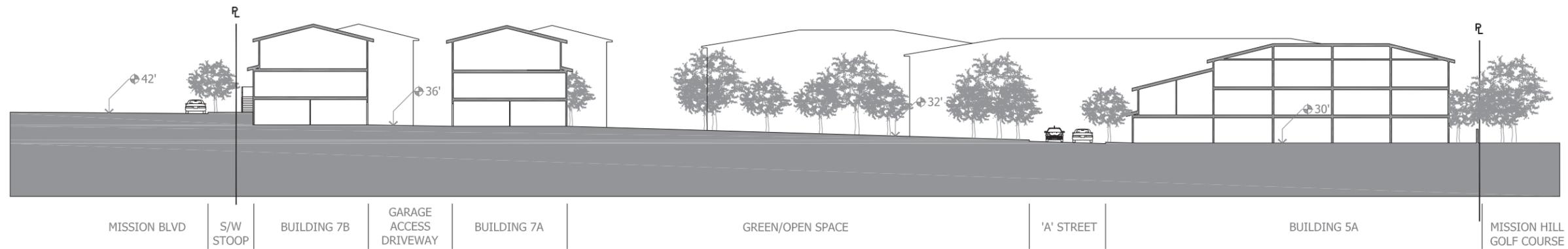
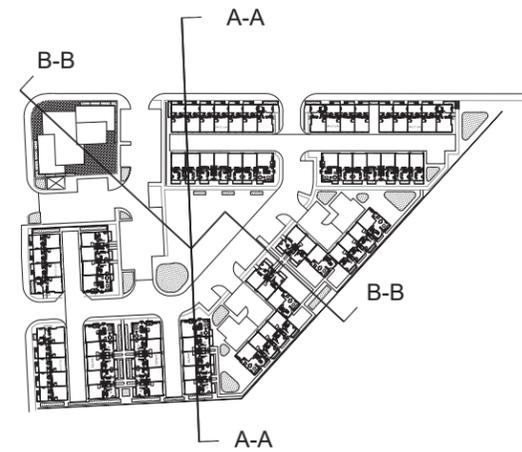
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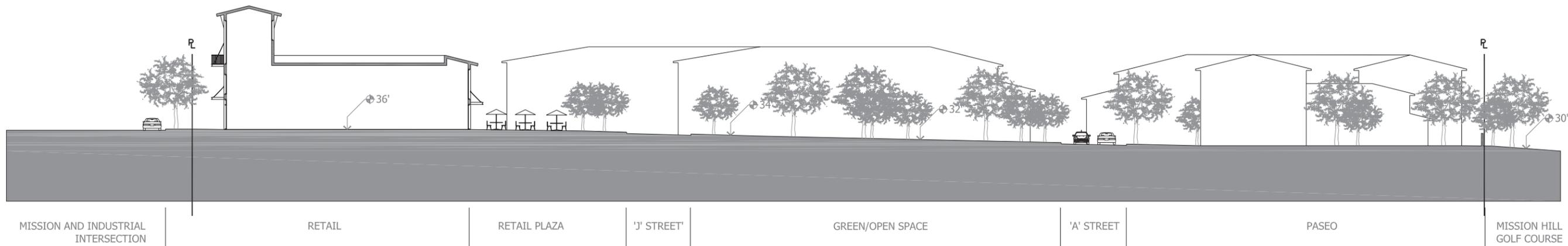
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MISSION BLVD | S/W STOOP | BUILDING 7B | GARAGE ACCESS DRIVEWAY | BUILDING 7A | GREEN/OPEN SPACE | 'A' STREET | BUILDING 5A | MISSION HILL GOLF COURSE

Section A-A
SCALE: 3/64" = 1'-0" 1



MISSION AND INDUSTRIAL INTERSECTION | RETAIL | RETAIL PLAZA | 'J' STREET | GREEN/OPEN SPACE | 'A' STREET | PASEO | MISSION HILL GOLF COURSE

Section B-B
SCALE: 3/64" = 1'-0" 2

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Sheet Title:

Site Section

Job No. 15020
Date: 09/26/2016
Scale: 3/64" = 1'-0"
Drawn By:

Sheet No:

A7.0