

ATTACHMENT III



# ARCHITECTURAL PLAN SET

**COMMERCIAL CANNABIS BUSINESS**  
**MEDICAL & ADULT-USE RETAIL & DELIVERY SALES**

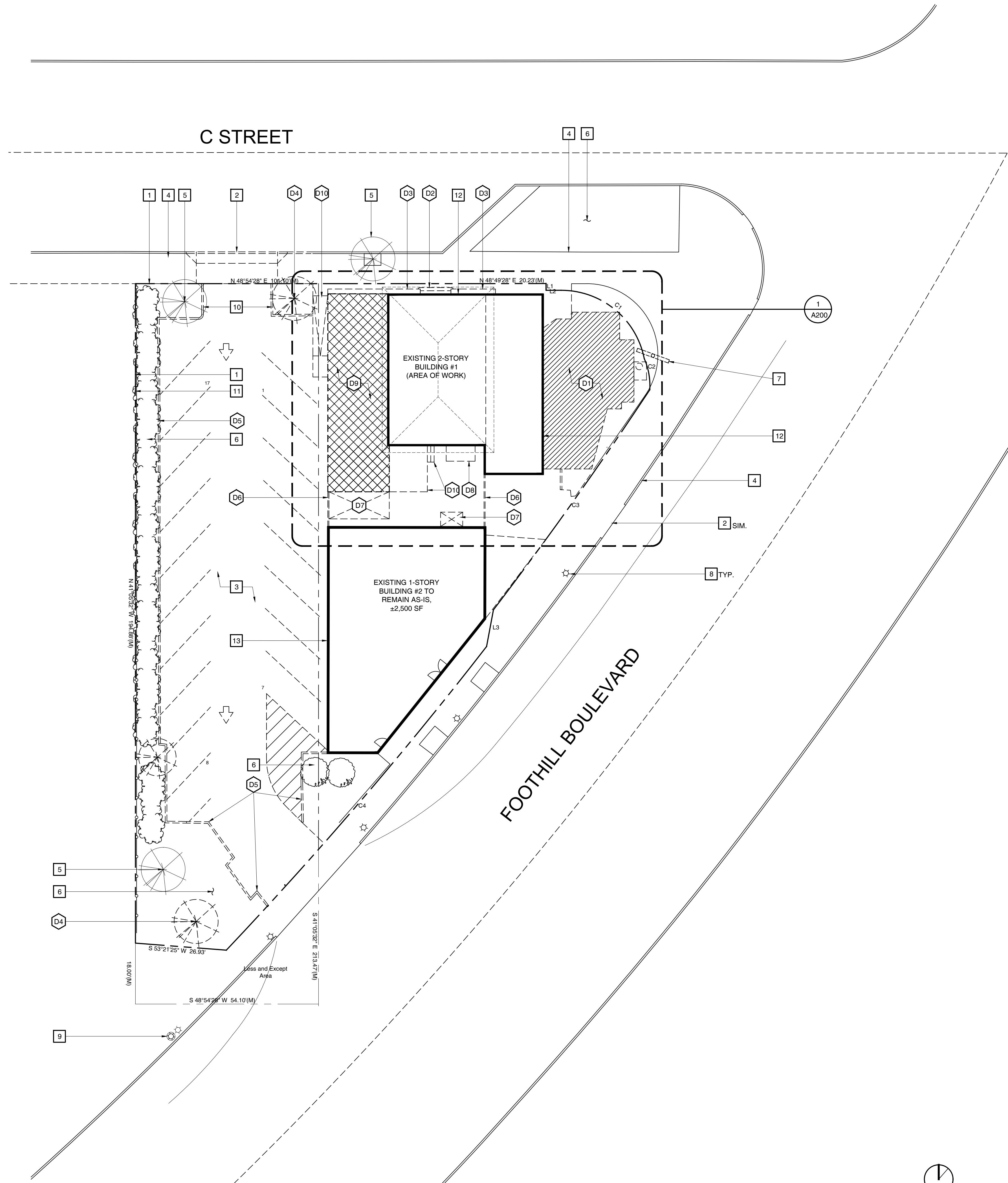
# 22701 FOOTHILL BLVD & 1055 C STREET

## HAYWARD, CA 94541

COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT  
22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541

APN: 428-0066-(056-00) (058-01)

LEGEND & SYMBOLS	ABBREVIATIONS	PROJECT TEAM	PROJECT INFORMATION	SHEET INDEX																								
<p><b>(A)</b> COLUMN LINE</p> <p><b>1</b> ELEVATION KEY</p> <p><b>1</b> DRAWING NO.</p> <p><b>2</b> PAGE NO.</p> <p><b>3</b> SECTION KEY</p> <p><b>1</b> DRAWING NO.</p> <p><b>1</b> PAGE NO.</p> <p><b>1</b> DETAIL SYMBOL/ ENLARGED AREA</p> <p><b>1</b> DETAIL NUMBER</p> <p><b>1</b> SHEET NUMBER</p> <p><b>SALES</b> ROOM NAME</p> <p><b>100</b> ROOM NO. TAG</p> <p><b>100</b> ROOM NO.</p> <p><b>X</b> PARTITION TYPE</p> <p><b>100</b> DOOR NUMBER</p> <p><b>X</b> KEYNOTE</p> <p><b>+11'-0"</b> ELEVATION HEIGHT</p> <p><b>A.F.F.</b></p> <p>EXISTING PARTITION TO REMAIN</p> <p>NEW PARTITION</p> <p>EXISTING CONSTRUCTION TO BE REMOVED</p> <p>NEW DOOR</p> <p>EXISTING DOOR TO REMAIN</p> <p>ALIGN</p> <p>REVISION #</p> <p>AREA OF REVISION</p> <p>BREAK LINE</p> <p>CENTER LINE</p> <p>N.I.C. - NOT IN CONTRACT</p>	<p><b>AND</b> AND</p> <p><b>ANGLE</b> ANGLE</p> <p><b>AT</b> CENTERLINE</p> <p><b>DIAMETER OR ROUND</b> DIAMETER OR ROUND</p> <p><b>PERPENDICULAR</b> PERPENDICULAR</p> <p><b>PROPERTY LINE</b> PROPERTY LINE</p> <p><b>FOUND OR NUMBER</b> FOUND OR NUMBER</p> <p><b>ANCHOR BOLT</b> ANCHOR BOLT</p> <p><b>ABOVE</b> ABOVE</p> <p><b>ASPHALTIC CONCRETE</b> ASPHALTIC CONCRETE</p> <p><b>AIR CONDITIONING</b> AIR CONDITIONING</p> <p><b>ACOUSTICAL</b> ACOUSTICAL</p> <p><b>ADJ.</b> ADJUSTABLE</p> <p><b>A.F.F.</b> ABOVE FINISH FLOOR</p> <p><b>AGGR.</b> AGGREGATE</p> <p><b>ALUM.</b> ALUMINUM</p> <p><b>ANOD.</b> ANODIZED</p> <p><b>A.P.A.</b> AMERICAN PLYWOOD ASSOCIATION</p> <p><b>APPROX.</b> APPROXIMATE</p> <p><b>ARCH.</b> ARCHITECTURAL</p> <p><b>A.S.</b> ADJUSTABLE SHELF</p> <p><b>BD.</b> BOARD</p> <p><b>BIT.</b> BITUMINOUS</p> <p><b>BLDG.</b> BUILDING</p> <p><b>BLK.</b> BLOCK</p> <p><b>BLKG.</b> BLOCKING</p> <p><b>BM.</b> BENCH MARK</p> <p><b>B.M.</b> BOTTOM</p> <p><b>BT.</b> BOTTOM</p> <p><b>BRG.</b> BEARING</p> <p><b>BTWN.</b> BETWEEN</p> <p><b>B.U.R.</b> BUILD-UP ROOFING</p> <p><b>B.W.</b> BOTH WAYS</p> <p><b>CAB.</b> CABINET</p> <p><b>C.B.</b> CATCH BASIN</p> <p><b>CBC</b> CALIFORNIA BUILDING CODE</p> <p><b>CEM.</b> CEMENT</p> <p><b>CER.</b> CERAMIC</p> <p><b>CFI</b> CONTRACTOR FURNISHED</p> <p><b>CONTRACTOR</b> CONTRACTOR</p> <p><b>INSTALLED</b> CONTRACTOR</p> <p><b>C.F.</b> CUBIC FEET</p> <p><b>C.I.</b> CAST IRON</p> <p><b>C.J.</b> CONTROL JOINT</p> <p><b>CL.</b> CLOSET</p> <p><b>CLG.</b> CEILING</p> <p><b>CLKG.</b> CALLING</p> <p><b>C.L.R.</b> CLEARANCE</p> <p><b>C.M.U.</b> CONCRETE MASONRY UNIT</p> <p><b>COL.</b> COLUMN</p> <p><b>COMP.</b> COMPOSITION</p> <p><b>CONC.</b> CONCRETE</p> <p><b>CONN.</b> CONNECTION</p> <p><b>CONSTR.</b> CONSTRUCTION</p> <p><b>CONT.</b> CONTINUOUS</p> <p><b>COR.</b> CORRUGATED</p> <p><b>C.O.T.G.</b> CLEAN-OUT TO GRADE</p> <p><b>CSMT.</b> CASEMENT</p> <p><b>CSWK.</b> CASEWORK</p> <p><b>C.T.</b> CERAMIC TILE</p> <p><b>CTR.</b> COUNTER</p> <p><b>CTS.K.</b> COUNTERSINK</p> <p><b>C.Y.</b> CUBIC YARD</p> <p><b>DBL.</b> DOUBLE</p> <p><b>DEPT.</b> DEPARTMENT</p> <p><b>DET.</b> DETAIL</p> <p><b>D.F.</b> DOUGLAS FIR</p> <p><b>D.G.</b> DECOMPOSED</p> <p><b>GRANITE</b> GRANITE</p> <p><b>D.H.</b> DOUBLE HUNG</p> <p><b>DIAG.</b> DIAGONAL</p> <p><b>DIA.</b> DIAMETER</p> <p><b>DIMEN.</b> DIMENSION</p> <p><b>DISP.</b> DISPENSER/DISPOSER</p> <p><b>ID.</b> INSIDE DIAMETER</p> <p><b>INCL.</b> INCLUDE(D) (ING)</p> <p><b>INSUL.</b> INSULATE(D) (ING)</p> <p><b>INT.</b> INTERIOR</p> <p><b>INV.</b> INVERT</p> <p><b>JAN.</b> JANITOR</p> <p><b>J.H.</b> JOIST HANGER</p> <p><b>J.T.</b> JOINT</p> <p><b>DN.</b> DOWN</p> <p><b>DR.</b> DRAWING</p> <p><b>D.S.</b> DOWNSPOUT</p> <p><b>DWR.</b> DRAWER</p> <p><b>D.W.</b> DISH WASHER</p> <p><b>E.</b> EAST</p> <p><b>(E)</b> EXISTING</p> <p><b>E.A.</b> EACH</p> <p><b>E.J.</b> EXPANSION JOINT</p> <p><b>ELEV.</b> ELEVATION</p> <p><b>ELEC.</b> ELECTRICAL</p> <p><b>EMER.</b> EMERGENCY</p> <p><b>ENCL.</b> ENCLOSURE</p> <p><b>EQUIP.</b> EQUIPMENT</p> <p><b>EXP.</b> EXPOSED/EXPANSION</p> <p><b>EXT.</b> EXTERIOR</p> <p><b>F.A.</b> FIRE ALARM</p> <p><b>FAST.</b> FASTENER</p> <p><b>F.A.</b> FLOOR DRAIN</p> <p><b>F.D.</b> FIRE EXTINGUISHER</p> <p><b>F.F.</b> FINISH FLOOR</p> <p><b>F.G.</b> FINISH GRADE</p> <p><b>FOUND.</b> FOUNDATION</p> <p><b>F.E.</b> FIRE EXTINGUISHER</p> <p><b>FIBERGLASS</b> FIBERGLASS</p> <p><b>FIN.</b> FINISHED</p> <p><b>FLASH.</b> FLASHING</p> <p><b>FLR.</b> FLOORING</p> <p><b>FLUOR.</b> FLUORESCENT</p> <p><b>FACE OF</b> FACE OF</p> <p><b>F.O.B.</b> FACE OF BLOCK</p> <p><b>F.O.C.</b> FACE OF CONCRETE</p> <p><b>F.O.F.</b> FACE OF FINISH</p> <p><b>F.O.M.</b> FACE OF MASONRY</p> <p><b>F.O.S.</b> FACE OF STUD</p> <p><b>FIREPLACE</b> FIREPLACE</p> <p><b>FIBERGLASS REINF.</b> FIBERGLASS REINFORCING</p> <p><b>INSTALLED</b> INSTALLED</p> <p><b>O.F.O.I.</b> OWNER FURNISHED, CONTRACTOR</p> <p><b>FT.</b> FOOT/FEET</p> <p><b>FT.</b> FOOT/FEET</p> <p><b>FTG.</b> FOOTING</p> <p><b>FUR.</b> FURRED (ING)</p> <p><b>FUT.</b> FUTURE</p> <p><b>GA.</b> GALVE/GAGE</p> <p><b>GALV.</b> GALVANIZED</p> <p><b>G.B.</b> GRAB BAR</p> <p><b>G.I.</b> GALVANIZED IRON</p> <p><b>GL.</b> GLASS/GLAZING</p> <p><b>GL.B.</b> GLUE-LAM BEAM</p> <p><b>GR.</b> GRADE(ING)</p> <p><b>G.W.B.</b> GYPSUM WALLBOARD</p> <p><b>H.B.</b> HOSE BIB</p> <p><b>HBD.</b> HARDBOARD</p> <p><b>H.A.</b> HOLLOW CORE</p> <p><b>HDR.</b> HEADER</p> <p><b>HDWR.</b> HARDWARE</p> <p><b>H.M.</b> HOLLOW METAL</p> <p><b>HORIZ.</b> HORIZONTAL</p> <p><b>H.S.</b> HEAVY SHEET</p> <p><b>HT.</b> HEIGHT</p> <p><b>HTG.</b> HEATING</p> <p><b>H.W.</b> HOT WATER</p> <p><b>HWD.</b> HARDWOOD</p> <p><b>HVAC.</b> HEATING, VENTILATING &amp; AIR CONDITIONING</p> <p><b>ID.</b> INSIDE DIAMETER</p> <p><b>INCL.</b> INCLUDE(D) (ING)</p> <p><b>INSUL.</b> INSULATE(D) (ING)</p> <p><b>INT.</b> INTERIOR</p> <p><b>INV.</b> INVERT</p> <p><b>JAN.</b> JANITOR</p> <p><b>J.H.</b> JOIST HANGER</p> <p><b>J.T.</b> JOINT</p> <p><b>L.</b> LENGTH</p> <p><b>LAM.</b> LAMINATE</p> <p><b>LAV.</b> LAVATORY</p> <p><b>L.B.</b> LAG BOLT</p> <p><b>LOC.</b> LOCATION</p> <p><b>L.V.L.</b> LAMINATED VENEER LUMBER</p> <p><b>L.W.</b> LIGHTWEIGHT</p> <p><b>MAS.</b> MASONRY</p> <p><b>MAT.</b> MATERIAL(S)</p> <p><b>MAX.</b> MAXIMUM</p> <p><b>M.B.</b> MACHINE BOLT</p> <p><b>M.C.</b> MEDICINE CABINET</p> <p><b>M.H.</b> MAN HOLE</p> <p><b>MECH.</b> MECHANICAL</p> <p><b>MEMB.</b> MEMBRANE</p> <p><b>MEZZ.</b> MEZZANINE</p> <p><b>MFR.</b> MANUFACTURE(ER)</p> <p><b>MIN.</b> MINIMUM</p> <p><b>MIR.</b> MIRROR</p> <p><b>MISC.</b> MISCELLANEOUS</p> <p><b>M.D.G.</b> MOLDING/MOULDING</p> <p><b>M.O.</b> MASONRY OPENING</p> <p><b>MTD.</b> MOUNTED</p> <p><b>MET.</b> METAL</p> <p><b>MULL.</b> MULLION</p> <p><b>N.</b> NORTH</p> <p><b>NEW.</b> NEW</p> <p><b>NAT.</b> NATURAL</p> <p><b>N.I.C.</b> NOT IN CONTRACT</p> <p><b>NOM.</b> NOMINAL</p> <p><b>N.T.S.</b> NOT TO SCALE</p> <p><b>O/</b> OVER</p> <p><b>O.C.</b> ON CENTER(S)</p> <p><b>O.D.</b> OUTSIDE DIAMETER</p> <p><b>OFF.</b> OFFICE</p> <p><b>O.F.C.I.</b> OWNER FURNISHED, CONTRACTOR</p> <p><b>O.F.O.I.</b> OWNER FURNISHED, CONTRACTOR</p> <p><b>T.D.</b> TO BE DETERMINED</p> <p><b>T.A.</b> TELEPHONE</p> <p><b>TEL.</b> TELEPHONE</p> <p><b>TEMP.</b> TEMPERED</p> <p><b>T.E.N.</b> TYPICAL EDGE MILING</p> <p><b>T.G.</b> TONGUE &amp; GROOVE</p> <p><b>THK.</b> THICKNESS</p> <p><b>THRESH.</b> THRESHOLD</p> <p><b>T.J.J.</b> TRUSS JOIST</p> <p><b>INT.</b> INTERNATIONAL</p> <p><b>T.O.</b> TOP OF</p> <p><b>T.O.P.</b> TOP OF PAVEMENT</p> <p><b>TV.</b> TELEVISION</p> <p><b>T.W.</b> TOP OF WALL</p> <p><b>TYP.</b> TYPICAL</p> <p><b>U/L.</b> UNDERWRITER'S</p> <p><b>LABORATORY</b> LABORATORY</p> <p><b>UN.O.</b> UNLESS NOTED</p> <p><b>OTHERWISE</b> OTHERWISE</p> <p><b>U.O.N.</b> UNLESS OTHERWISE NOTED</p> <p><b>URINAL</b> URINAL</p> <p><b>V.I.F.</b> VERIFY IN FIELD</p> <p><b>W.</b> WEST/WIDTH/WIDE</p> <p><b>WITH</b> WITH</p> <p><b>W.C.</b> WATER CLOSET</p> <p><b>WOOD</b> WOOD</p> <p><b>WDW.</b> WINDOW</p> <p><b>WI.</b> WATER HEATER</p> <p><b>WOODWORK</b> WOODWORK</p> <p><b>WI.</b> WIRE</p> <p><b>INSTITUTE</b> INSTITUTE</p> <p><b>W.D.</b> WITHOUT</p> <p><b>W.P.</b> WATERPROOF(ING)</p> <p><b>W.R.</b> WATER RESISTANT</p> <p><b>W.S.</b> WOOD SCREW</p> <p><b>W.S.C.T.</b> WAINSCOT</p> <p><b>W.S.M.</b> WEIGHT</p> <p><b>W.W.M.</b> WELDED WIRE MESH</p> <p><b>REOMT.</b> REQUIREMENT</p> <p><b>RESIL.</b> RESILIENT</p> <p><b>REV.</b> REVERSED</p> <p><b>RM.</b> ROOM</p> <p><b>R.O.</b> ROUGH OPENING</p> <p><b>R.O.W.</b> RIGHT OF WAY</p> <p><b>R.S.</b> RESAWN</p> <p><b>RUB.</b> RUBBER</p> <p><b>RWD.</b> REDWOOD</p> <p><b>R.W.L.</b> RAIN WATER LEADER</p> <p><b>S.</b> SOUTH</p> <p><b>S.B.</b> SOLID BLOCKING</p> <p><b>S.C.</b> SOLID CORE</p> <p><b>SCHED.</b> SCHEDULE</p> <p><b>S.A.</b> STORM DRAIN</p> <p><b>SECT.</b> SECTION</p> <p><b>SERV.</b> SERVICE</p> <p><b>S.F.</b> SQUARE FOOT</p> <p><b>S.G.</b> STAIN GRADE</p> <p><b>SHWR.</b> SHOWER</p> <p><b>SH.T.</b> SHEATHING</p> <p><b>SHLR.</b> SHILAR</p> <p><b>SIM.</b> SEE STRUCTURAL DRAWINGS</p> <p><b>S.S.D.</b> SHEET METAL SCREW</p> <p><b>S.M.S.</b> SHEET METAL SCREW</p> <p><b>SPEC.</b> SPECIFICATION</p> <p><b>SQ.</b> SQUARE</p> <p><b>STL.</b> STEEL</p> <p><b>STD.</b> STANDARD</p> <p><b>STAG.</b> STAGGERED</p> <p><b>STOR.</b> STORAGE</p> <p><b>STRUCT.</b> STRUCTURAL</p> <p><b>SUSP.</b> SUSPENDED</p> <p><b>SY.M.</b> SYMMETRY(CAL)</p> <p><b>SYS.</b> SYSTEM</p>	<p><b>PROPERTY OWNER/ LANDLORD:</b></p> <p>THE OROSCO GROUP 10 HARRIS COURT, SUITE B-1 MONTEREY, CALIFORNIA 93940 ph: (831) 649-0220 Email: MNOHR@OROSCOGROUP.COM Contact: MATT NOHR</p> <p><b>BUSINESS OWNER/ PRINCIPAL:</b></p> <p>JIVA LIFE LLC (To Be Transferred to Jiva HWD LLC) 436 CLEMENTINA STREET (STE 303) SAN FRANCISCO, CALIFORNIA 94103 ph: (731) 801-6300 Email: RAJ@JIVALIFE.ORG Contact: RAJ J. POTTABATHNI</p>	<p><b>ADDRESS:</b> 22701 FOOTHILL BLVD &amp; 1055 C STREET, HAYWARD, CA 94541</p> <p><b>PARCEL# APN:</b> 428-0066-(056-00) (058-01)</p> <p><b>ACREAGE:</b> 0.46 AC</p> <p><b>ZONING:</b> CC-C: CENTRAL CITY COMMERCIAL</p> <p><b>OCCUPANCY GROUP:</b> M (MERCANTILE)</p> <p><b>MAXIMUM LOT COVERAGE:</b> 90%</p> <p><b>SETBACKS:</b> SIDE SETBACK (C STREET) 4' ENCROACHMENT ZONE FRONT SETBACK (FOOTHILL BLVD) 0'-4' SETBACK</p> <p><b>HISTORIC RESOURCES:</b> L DESIGNATION</p> <p><b>HAZARDS:</b> FLOOD ZONE: 0.2 PCT ANNUAL CHANCE FLOOD HAZARD FLOOD PANEL: 06001C0287G SEISMIC LANDSLIDE HAZARD: NO SEISMIC LIQUEFACTION HAZARD: YES WITHIN FAULT ZONE: NOT</p> <p><b>BUILDING SQUARE FOOTAGES:</b></p> <p><b>BUILDING #1:</b> FIRST FLOOR: SALES FLOOR ± 1,448 SF BACK OF HOUSE ± 750 SF TO BE REMOVED ± 1,059 SF</p> <p>*SECOND FLOOR (TO BE ABANDONED) NON-HABITABLE ATTIC ± 1,298 SF</p> <p>ADDITION: ± 338 SF TOTAL TO REMAIN: ± 2,536 SF</p> <p><b>BUILDING #2 (TO REMAIN):</b> ± 2,500 SF</p> <p><b>TOTAL BUILDING FOOTPRINT ON LOT:</b> ± 5,036 SF</p> <p><b>OCCUPANCY DATA</b></p> <table border="1"> <thead> <tr> <th>USE</th> <th>AREA</th> <th>LOAD FACTOR</th> <th>OCCUPANTS</th> </tr> </thead> <tbody> <tr> <td>SALES FLOOR (MERCANTILE)</td> <td>1,786 SF</td> <td>1/60 GROSS</td> <td>30</td> </tr> <tr> <td>BACK OF HOUSE (STOR./MECH/EQUIP)</td> <td>750 SF</td> <td>1/300 GROSS</td> <td>3</td> </tr> <tr> <td>TOTAL</td> <td>2,536 SF</td> <td></td> <td>33</td> </tr> </tbody> </table> <p><b>PARKING:</b></p> <p><b>PARKING REQUIREMENT:</b> NON-RESIDENTIAL USES: 2 MIN. PLUS 2 STALLS PER EVERY 1,000 SF ABOVE FIRST 5,000 SF: ± 5,036 SF (BUILDING #1 + BUILDING #2)</p> <p><b>TOTAL REQUIRED:</b> 02</p> <p><b>PARKING PROVIDED:</b></p> <table border="1"> <thead> <tr> <th>STANDARD SPACES (9' X 19')</th> <th>ACCESSIBLE SPACE (VAN)</th> <th>COMPACT SPACES (8' X 15')</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>17</td> <td>01</td> <td>02 (&lt; 30%)</td> <td>20</td> </tr> </tbody> </table> <p><b>BICYCLE RACK SPACES (2x6')</b> 04 2 SHORT TERM BICYCLE SPACES 2 LONG TERM BICYCLE SPACES</p>	USE	AREA	LOAD FACTOR	OCCUPANTS	SALES FLOOR (MERCANTILE)	1,786 SF	1/60 GROSS	30	BACK OF HOUSE (STOR./MECH/EQUIP)	750 SF	1/300 GROSS	3	TOTAL	2,536 SF		33	STANDARD SPACES (9' X 19')	ACCESSIBLE SPACE (VAN)	COMPACT SPACES (8' X 15')	TOTAL	17	01	02 (< 30%)	20	<p><b>DRAWING TITLE</b></p> <p>ARCHITECTURAL A001 COVER SHEET A100 EXISTING CONDITIONS / DEMOLITION SITE PLAN A103 EXISTING CONDITIONS PHOTOS - EXTERIOR A104 EXISTING CONDITIONS PHOTOS - INTERIOR A110 SITE PLAN A200 GROUND FLOOR PLAN - DEMOLITION A201 GROUND FLOOR PLAN - PROPOSED A301 EXTERIOR ELEVATIONS - DEMOLITION A302 EXTERIOR ELEVATIONS - DEMOLITION A401 EXTERIOR ELEVATIONS - PROPOSED A402 EXTERIOR ELEVATIONS - PROPOSED A410 RENDERINGS A411 RENDERINGS</p> <p><b>SCOPE OF WORK</b></p> <ol style="list-style-type: none"> <li>EXISTING SIGN POSTS TO REMAIN, SIGNS TO BE UPDATED</li> <li>ALL EXISTING DIRECTIONAL &amp; INFORMATIONAL SIGNS THROUGH THE SITE TO BE REPLACED</li> <li>ALL EXISTING PLANTERS, LANDSCAPING AND TREES TO REMAIN U.O.N.</li> <li>EXISTING ONE-WAY PARKING LOT TO BE SLURRY COATED AND MODIFIED TO PROVIDE TWO-WAY TRAFFIC CIRCULATION WITH 90" PARKING. NEW PARKING LOT LAYOUT WILL PROVIDE AN ENTRY AND EXIT FROM AND TO C STREET AND FOOTHILL BLVD.</li> <li>DEMOLISH APPROXIMATELY 1,059 SF OF EXISTING BUILDING#1 TO ACCOMMODATE TWO-WAY DRIVEWAY AND PARKING LAYOUT.</li> <li>DEMOLISH EXISTING 995 SF NON-CONFORMING COVERED PATIO AREA TO ACCOMMODATE NEW WORK AND LANDSCAPING.</li> <li>NEW COVERED TRASH ENCLOSURE PER CITY STANDARDS</li> <li>NEW PARKING LAYOUT INCLUDING VAN ACCESSIBLE PARKING STALL AND AISLE PER ADA AND CITY STANDARDS.</li> <li>NEW CONCRETE STAIRS, ADA RAMP, AND HARDSCAPE PER CITY STANDARDS.</li> <li>BUILDING #1 INTERIOR REMODEL AT FIRST FLOOR SHALL CONSIST OF: 10.1. REMOVE REAR 1-STORY PORTION OF BUILDING #1, APPROX. 1,059 SF. 10.2. REMOVE EXISTING INTERIOR STAIRS AND CONVERT SECOND FLOOR TO MECHANICAL YARD (APPROX. 1,298 SF) NON-HABITABLE ATTIC 10.3. NEW 338 SF ADDITION AT FIRST FLOOR. 10.4. NEW UNI-SEX ADA RESTROOM 10.5. NEW SECURITY CAMERA SYSTEM</li> </ol> <p><b>CONDITIONS OF APPROVAL</b></p> <p>PUBLIC WORKS DEPARTMENT - TRANSPORTATION DIVISION 1. APPLICANT SHALL SUBMIT ON-SITE AND OFF-SITE SIGNING AND STRIPING PLANS. THE OFF-SITE SIGNING AND STRIPING SHALL INCLUDE THE MINIMUM LIMITS OF C STREET FROM THE MID-BLOCK CROSSWALK TO THE BULB-OUT JUST WEST OF FOOTHILL BOULEVARD AND DICTATE AN UPGRADE TO THE MID-BLOCK CROSSWALK TO STAGGERED CONTINENTAL STRIPING ACCOMPANIED BY PEDESTRIAN WARNING SIGNS AND ANY INDICATIONS AS TO MARKING A RIGHT TURN ONLY LANE INTO THE DRIVEWAY.</p>
USE	AREA	LOAD FACTOR	OCCUPANTS																									
SALES FLOOR (MERCANTILE)	1,786 SF	1/60 GROSS	30																									
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	<p><b>LOCATION AERIAL MAP</b></p>	<p><b>VICINITY MAP</b></p>		<p>SUBMITTALS / REVISIONS</p> <p>PLANNING DEPT 04.14.20 SUBMITTAL</p> <p>DRAWING TITLE/ NO.</p> <p>COVER SHEET</p> <p><b>A001</b></p>																								



**01 EXISTING CONDITIONS / DEMOLITION SITE PLAN**  
 SCALE: 1/16" = 1'-0"

**PROPERTY BEARINGS**

LINE	BEARING	DISTANCE		
L1	S 41° 10'32" E	2.00'		
L2	N 48°49'28" E	4.43'		
L3	S 30°32'08" E	11.02'		

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CORD BEARING
C1	25.00'	34.45'	31.79'	N 88°18'04" E
C2	20.00'	9.46'	9.37'	S 51°11'44" E
C3	1195.00'	79.79'	79.78'	S 05°42'04" E
C4	1200.00'	118.22'	118.18'	S 00°29'45" E

**DEMOLITION KEY NOTES**

- THE DEMOLITION KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY.
- D1** REMOVE AND LEGALLY DISPOSE OF EXISTING COVERED PATIO IN ITS ENTIRETY (SHOWN DASHED), INCLUDING BUT NOT LIMITED TO FOUNDATION, WALL AND ROOF ASSEMBLIES (I.E. POSTS, DOORS, WINDOWS, ELECTRICAL, ETC.).
  - D2** REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE STEPS
  - D3** REMOVE AND LEGALLY DISPOSE OF PLANTER BOXES
  - D4** REMOVE EXISTING TREE TO ACCOMMODATE NEW WORK
  - D5** REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE CURB TO ACCOMMODATE NEW WORK
  - D6** REMOVE AND LEGALLY DISPOSE OF EXISTING WOOD/CHAIN-LINK FENCING
  - D7** REMOVE AND LEGALLY DISPOSE OF EXISTING STORAGE SHED
  - D8** REMOVE AND LEGALLY DISPOSE OF EXISTING AWNING ABOVE.
  - D9** REMOVE AND LEGALLY DISPOSE OF EXISTING PORTION OF EXISTING BUILDING IN ITS ENTIRETY (SHOWN CROSS HATCHED), INCLUDING BUT NOT LIMITED TO FOUNDATION WALL AND ROOF ASSEMBLIES, ETC. PREP AREA FOR NEW WORK.
  - D10** REMOVE AND LEGALLY DISPOSE OF (E) CONCRETE RAMP, STAIRS AND LANDING.

**KEYED NOTES**

- 1** EXISTING PROPERTY LINE
- 2** EXISTING CONCRETE DRIVEWAY APPROACH TO REMAIN
- 3** EXISTING AC PAVEMENT TO REMAIN
- 4** EXISTING CONCRETE CURB, GUTTER & SIDEWALK IN PUBLIC RIGHT OF WAY
- 5** EXISTING TREE TO REMAIN
- 6** EXISTING LANDSCAPED AREA TO REMAIN. NO WORK.
- 7** EXISTING MONUMENT SIGN TO REMAIN - REFURBISH UNDER SEP PERMIT
- 8** INDICATES EXISTING STREET LAMP TO REMAIN
- 9** EXISTING FIRE HYDRANT TO REMAIN
- 10** EXISTING CONCRETE CURB
- 11** EXISTING FENCING TO REMAIN
- 12** NOT USED
- 13** INDICATES EXISTING 1-STORY BUILDING EXTERIOR WALL. NO WORK.
- 14** INDICATES EXISTING 2-STORY BUILDING EXTERIOR WALL, ROOF PROFILE AND EXTERIOR WALL AT SECOND STORY SHOWN DASHED.

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SUBMITTALS / REVISIONS  
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DRAWING TITLE/ NO.

EXISTING CONDITIONS /  
 DEMOLITION SITE PLAN

**A100**

APN: 428-0066-(056-00) (058-01)



**01 EXISTING PARKING LOT**

SCALE: NTS



**02 EXISTING FOOTHILL BLVD DRIVEWAY APRON**

SCALE: NTS



**03 EXISTING BUILDING #2**

SCALE: NTS



**04 EXISTING BUILDING #1**

SCALE: NTS



(E) NON-CONFORMING PATIO  
(E) MONUMENT SIGN

**05 EXISTING BUILDING #1 AND ADJACENT PARKING STRUCTURE**

SCALE: NTS



**06 EXISTING BUILDING #1**

SCALE: NTS



**07 EXISTING BUILDING #1 CLOSEUP**

SCALE: NTS



**08 EXISTING BUILDING #1 FROM 'C' STREET**

SCALE: NTS



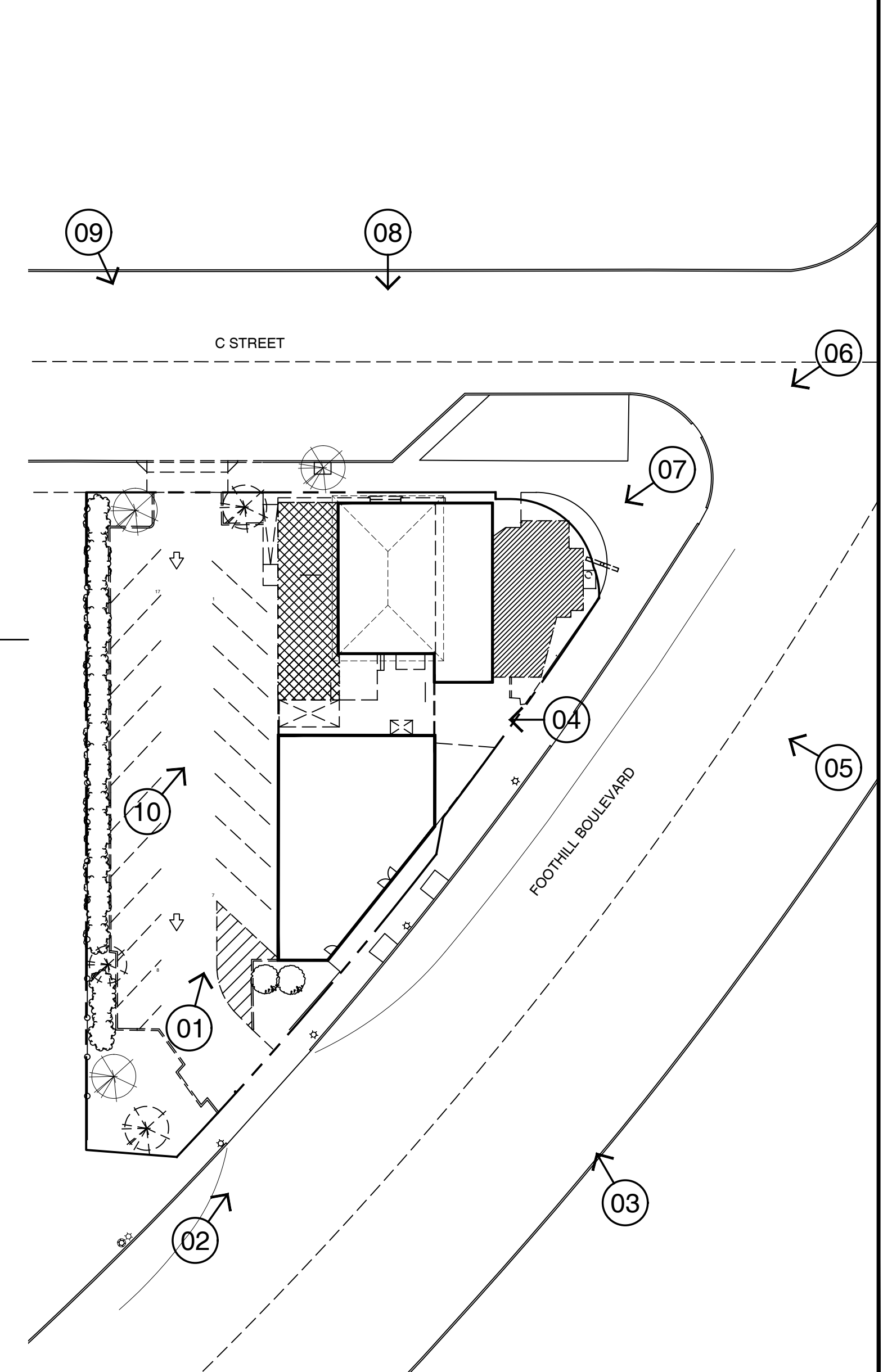
**09 EXISTING BUILDING #1 'C' STREET DRIVEWAY APRON**

SCALE: NTS



**10 EXISTING BUILDING REAR ENTRY AND PARKING LOT**

SCALE: NTS



**PHOTO KEY SITE PLAN**

SCALE: 1/32" = 1'-0"

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DRAWING TITLE/ NO.

EXISTING CONDITIONS PHOTOS

**A103**



**01 EXISTING OUTDOOR PATIO ENTRY**

SCALE: NTS



**02 EXISTING OUTDOOR PATIO INTERIOR**

SCALE: NTS



**03 EXISTING OUTDOOR PATIO INTERIOR**

SCALE: NTS



**04 EXISTING OUTDOOR PATIO ENTRY**

SCALE: NTS



**05 INTERIOR EXISTING CONDITION**

SCALE: NTS



**06 INTERIOR EXISTING CONDITION**

SCALE: NTS



**07 INTERIOR EXISTING CONDITION**

SCALE: NTS



**08 INTERIOR EXISTING CONDITION**

SCALE: NTS



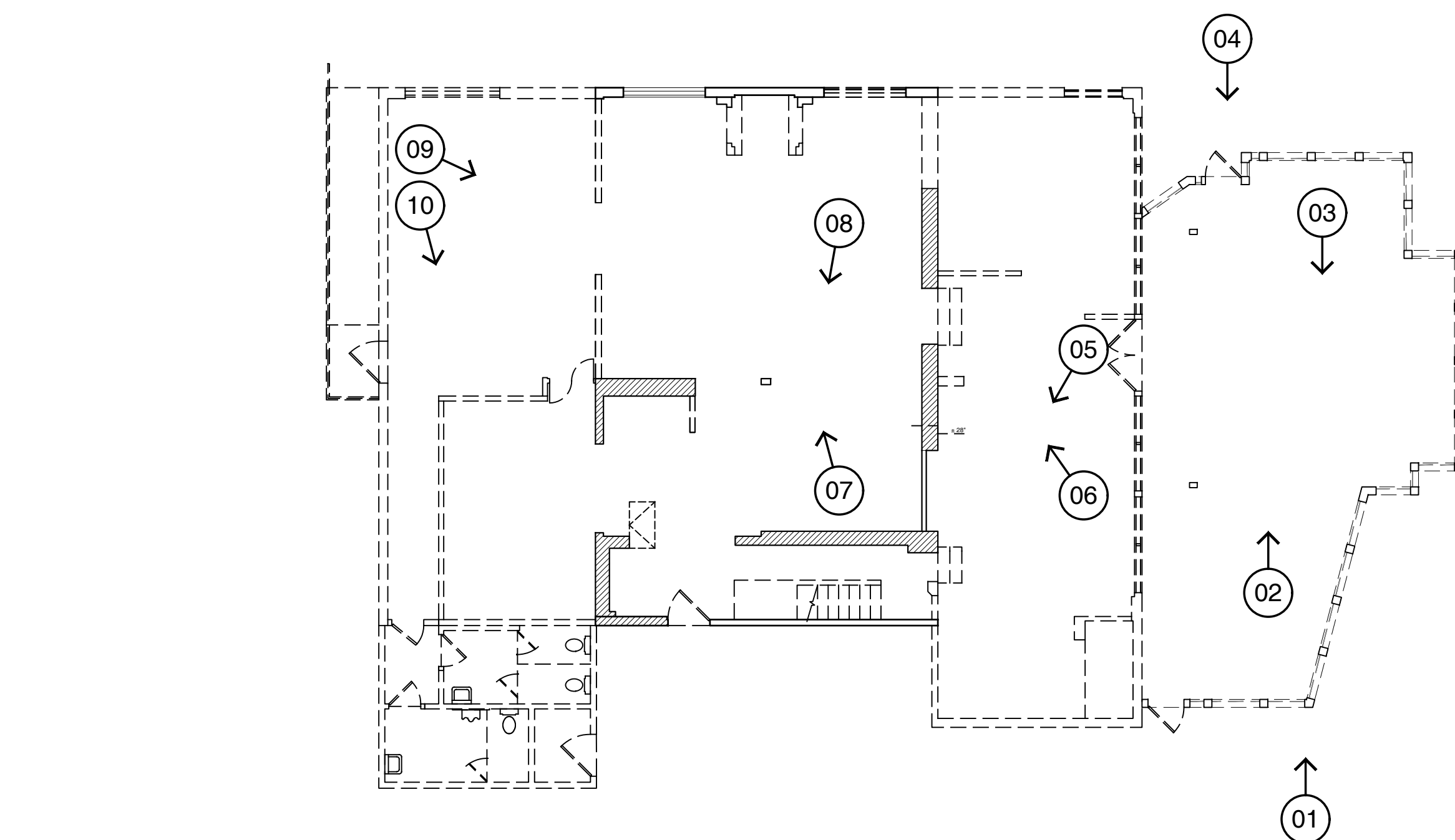
**09 INTERIOR EXISTING CONDITION**

SCALE: NTS



**10 INTERIOR EXISTING CONDITION**

SCALE: NTS



**PHOTO KEY SITE PLAN**

SCALE: 1/32" = 1'-0"

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EXISTING CONDITIONS  
BUILDING #1 INTERIOR

**A104**

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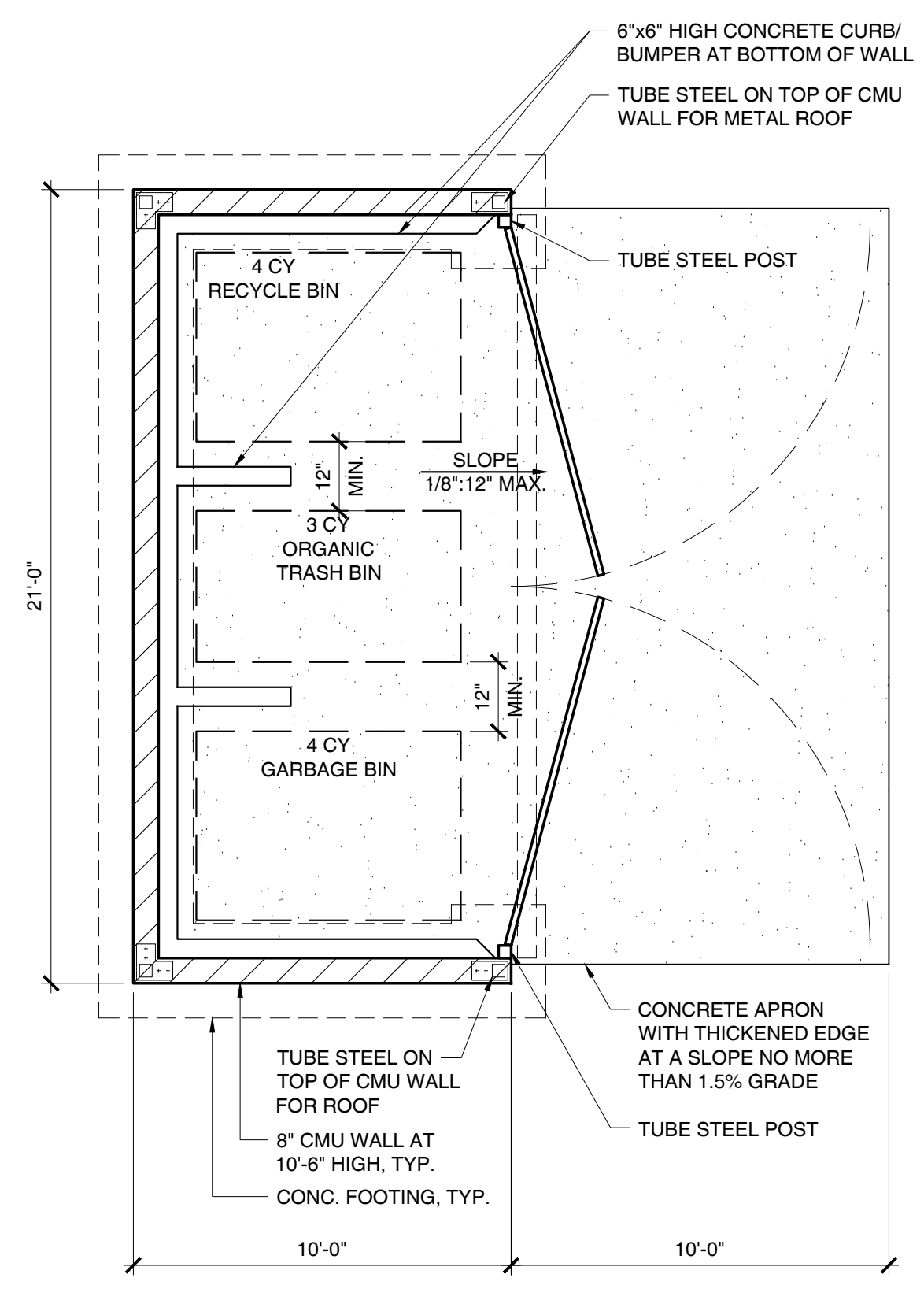
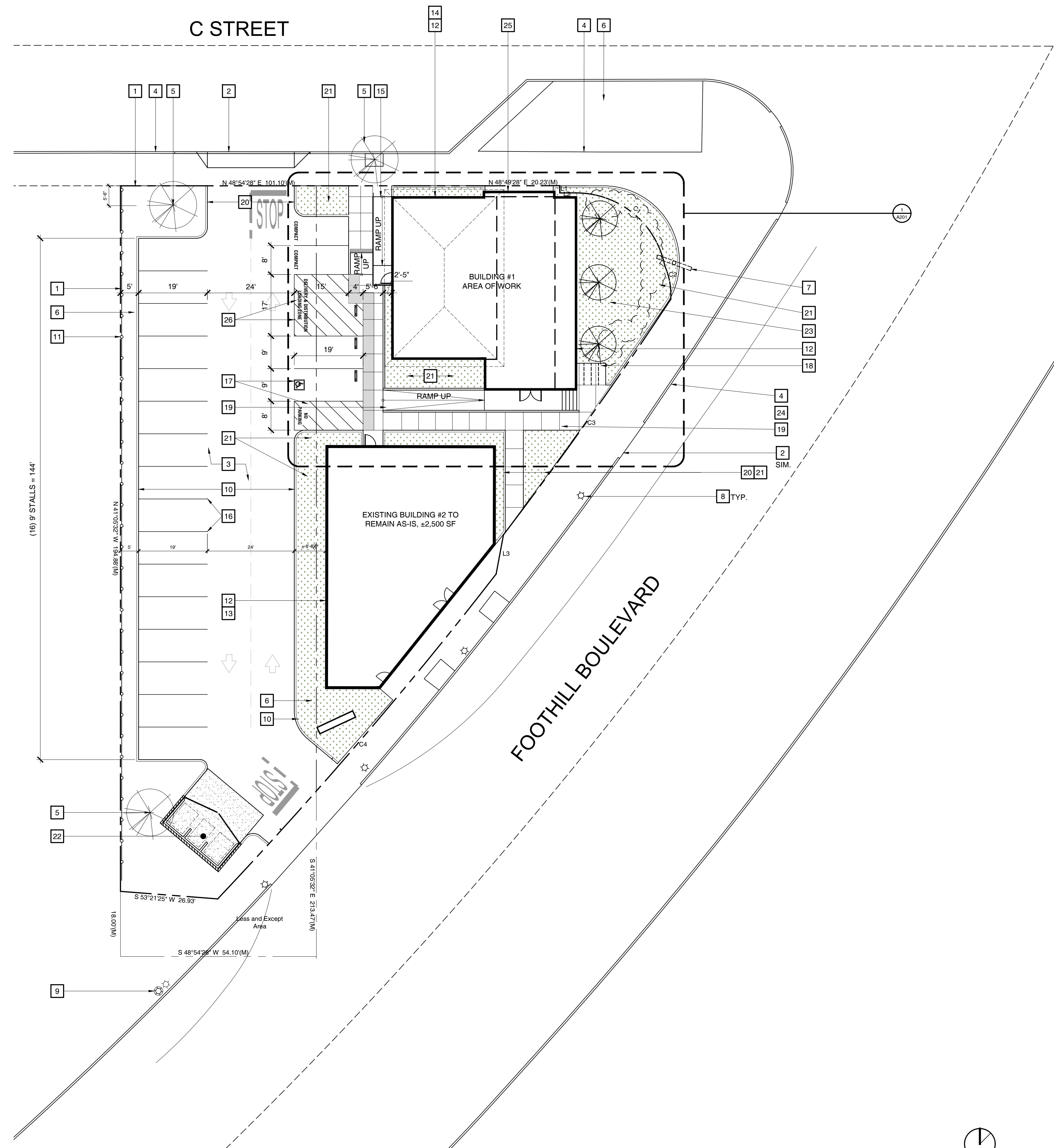
DRAWING TITLE/ NO.

PROPOSED SITE PLAN

**A110**

PROPERTY BEARINGS				
LINE	BEARING	DISTANCE		
L1	S 41° 10'32" E	2.00'		
L2	N 48°49'28" E	4.43'		
L3	S 30°32'08" E	11.02'		
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CORD BEARING
C1	25.00'	34.45'	31.79'	N 88°18'04" E
C2	20.00'	9.46'	9.37'	S 51°11'44" E
C3	1195.00'	79.79'	79.78'	S 05°42'04" E
C4	1200.00'	118.22'	118.18'	S 00°29'45" E

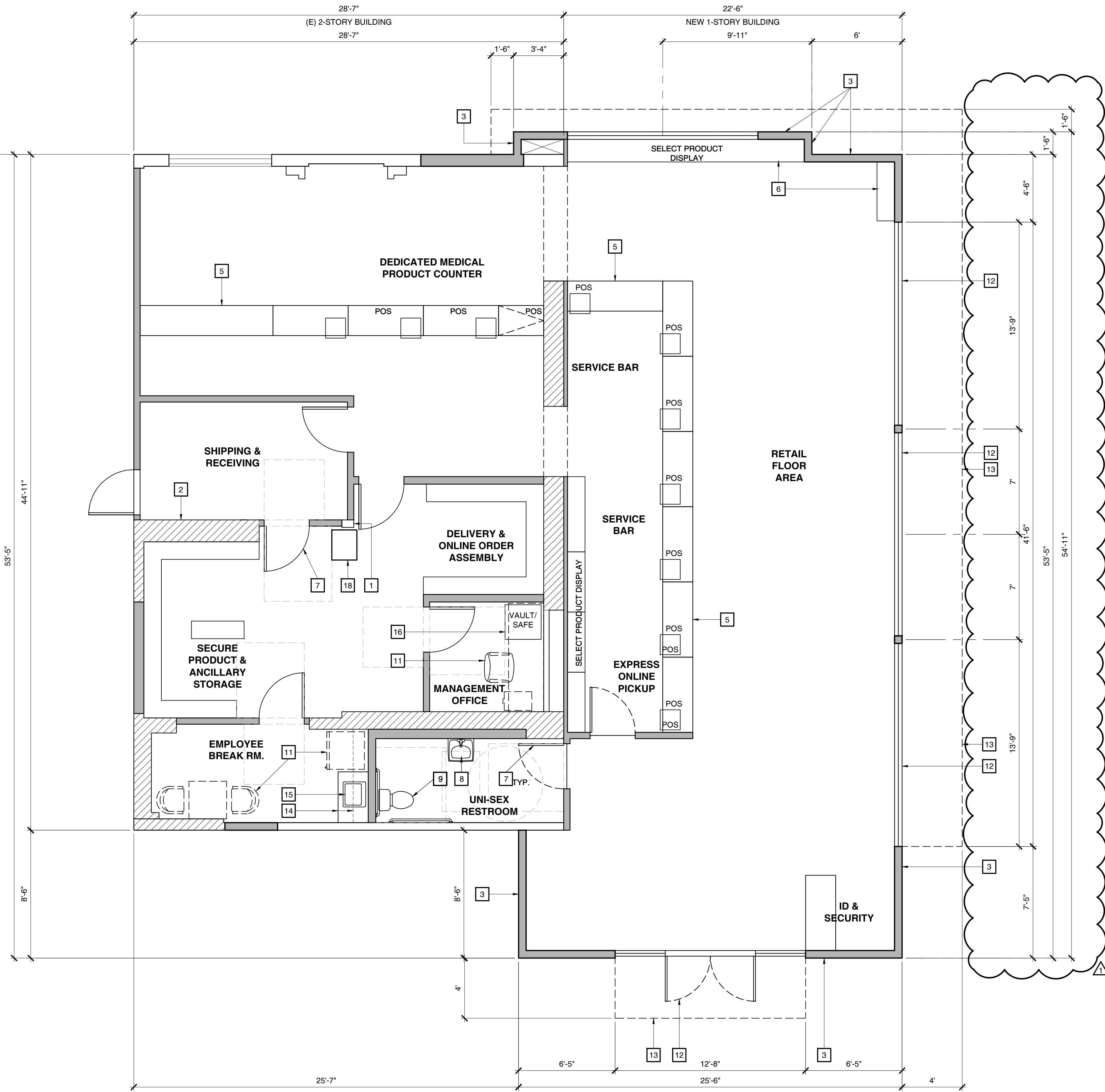
- KEYED NOTES**
- 1 EXISTING PROPERTY LINE
  - 2 EXISTING CONCRETE DRIVEWAY APPROACH TO REMAIN
  - 3 EXISTING AC PAVEMENT TO REMAIN
  - 4 EXISTING CONCRETE CURB, GUTTER & SIDEWALK IN PUBLIC RIGHT OF WAY
  - 5 EXISTING TREE TO REMAIN
  - 6 EXISTING LANDSCAPED AREA TO REMAIN, NO WORK.
  - 7 EXISTING MONUMENT SIGN TO REMAIN - REFURBISH UNDER SEP PERMIT
  - 8 INDICATES EXISTING STREET LAMP TO REMAIN
  - 9 EXISTING FIRE HYDRANT TO REMAIN
  - 10 NEW 6" HIGH CONCRETE CURB
  - 11 EXISTING FENCING TO REMAIN
  - 12 INDICATES EXISTING BUILDING EXTERIOR WALL
  - 13 EXISTING 1-STORY BUILDING TO REMAIN, NO WORK.
  - 14 EXISTING 2-STORY BUILDING AREA OF IMPROVEMENT, ROOF STRUCTURE SHOWN DASHED.
  - 15 NEW CONCRETE RAMP AND LANDING
  - 16 NEW WHITE STALL STRIPING PER CITY STDS
  - 17 NEW VAN ACCESSIBLE PARKING STALL & ACCESS AISLE PER CBC REQMTS
  - 18 NEW BIKE PARKING PER CITY STDS
  - 19 NEW ACCESSIBLE CONCRETE RAMP/ WALKWAY
  - 20 NEW 6" HIGH CONCRETE CURB
  - 21 [Symbol] INDICATES NEW LANDSCAPE AREA - SEE 'CONCEPTUAL PLANTING PLAN'
  - 22 NEW SECURED CMU TRASH ENCLOSURE PER CITY STDS, SEE DETAIL 02/A110
  - 23 NEW SMALL TREES IN GRID
  - 24 NEW CONCRETE STAIRS
  - 25 NEW 1-STORY BUILDING FOOTPRINT
  - 26 NEW DISTRIBUTION/ DELIVERY LOADING ZONE



**02 TRASH ENCLOSURE PLAN**  
 SCALE: 1/4"=1'-0"

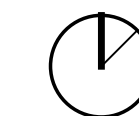
**01 PROPOSED SITE PLAN**  
 SCALE: 1:10





**PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**KEYED NOTES**

- 1 EXISTING STEEL COLUMN TO REMAIN
- 2 EXISTING MASONRY WALL TO REMAIN, TYPICAL AS SHOWN
- 3 NEW WOOD SLAT RAINSCREEN WALL
- 4 NOT USED
- 5 NEW TRANSACTION COUNTER, TYPICAL AS SHOWN.
- 6 NEW DISPLAY COUNTER/ MILLWORK
- 7 NEW DOOR
- 8 NEW WALL MOUNTED SINK
- 9 NEW WATER CLOSET AND GRAB BARS BY CODE
- 10 ACCESSIBILITY LIFT AS REQUIRED BY CODE
- 11 FURNITURE SHOWN FOR REFERENCE ONLY
- 12 NEW STOREFRONT DOOR(S) AND/OR WINDOW SYSTEM. PROVIDE FROSTED FILM TO GLAZING AS REQUIRED TO BLOCK MERCHANDISE VISIBILITY FROM PUBLIC RIGHT OF WAY FIELD OF VIEW.
- 13 NEW METAL AWNING ABOVE
- 14 NEW UPPER AND LOWER CASEWORK
- 15 NEW STAINLESS STEEL SINK
- 16 REFRIGERATOR SPACE, SHOWN FOR REFERENCE.
- 17 POINT OF SALE (POS)
- 18 SECURED CANNABIS WASTE RECEPTACLE

**LEGEND**

- EXISTING MASONRY WALL TO REMAIN INTACT.
- EXISTING WOOD STUD FRAMED WALL TO REMAIN INTACT
- EXISTING DOOR AND/OR WINDOW TO REMAIN INTACT
- NEW WOOD STUD FRAMED WALL
- NEW DOOR
- NEW WINDOW

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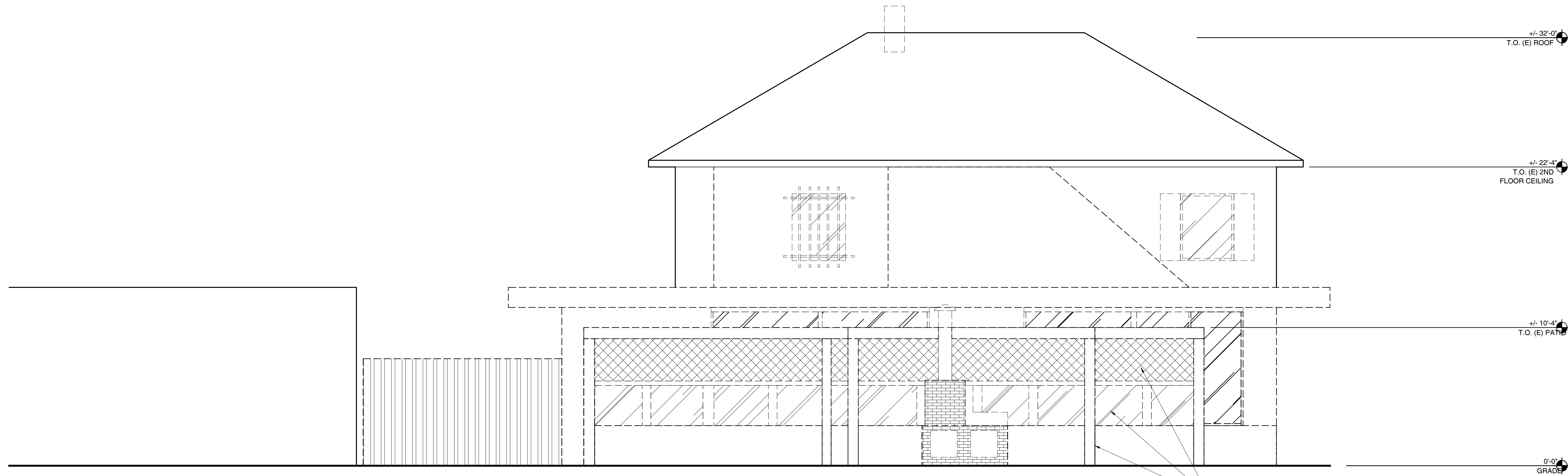
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08.10.20	RE-SUBMITTAL #1

DRAWING TITLE/ NO.

PROPOSED  
FIRST FLOOR PLAN

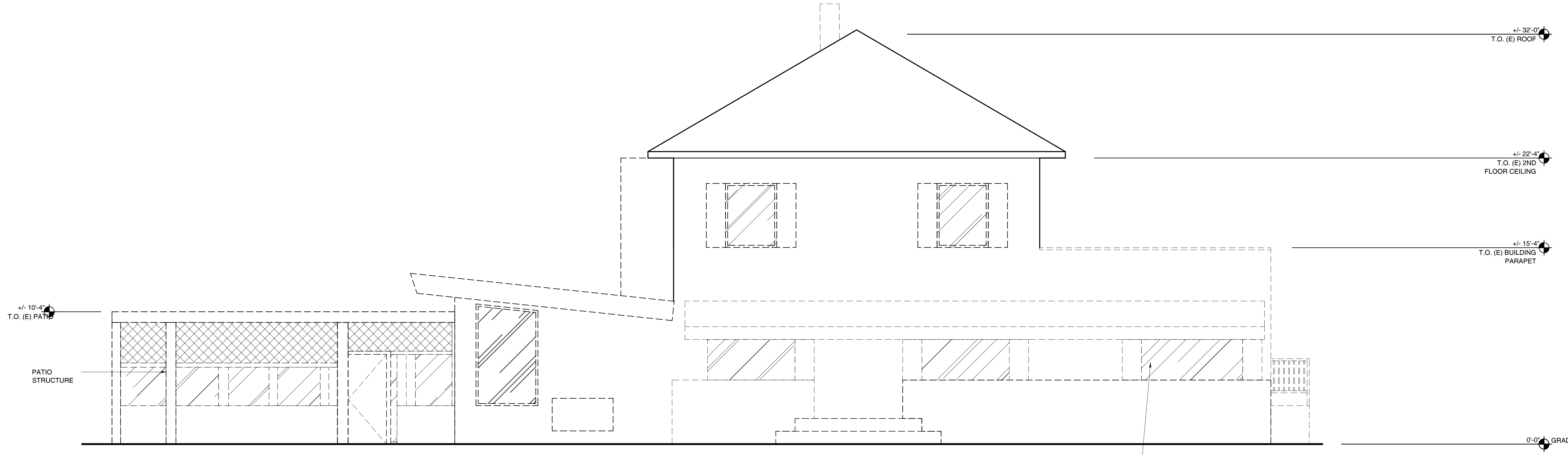
**A201**





**01 NORTHEAST EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



**02 NORTHWEST EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"

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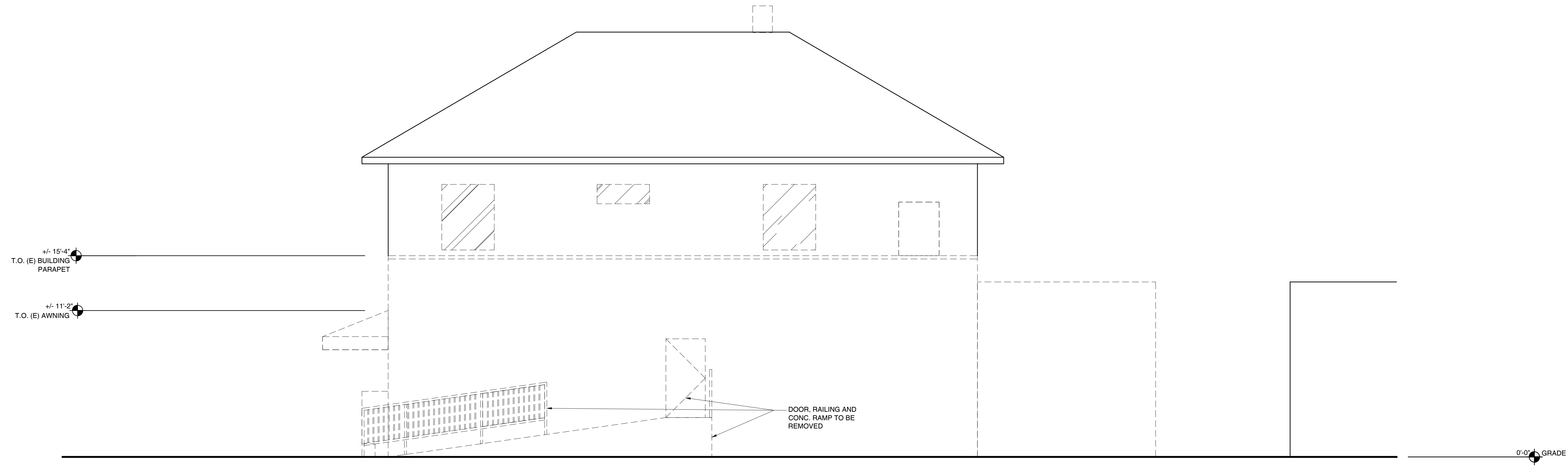
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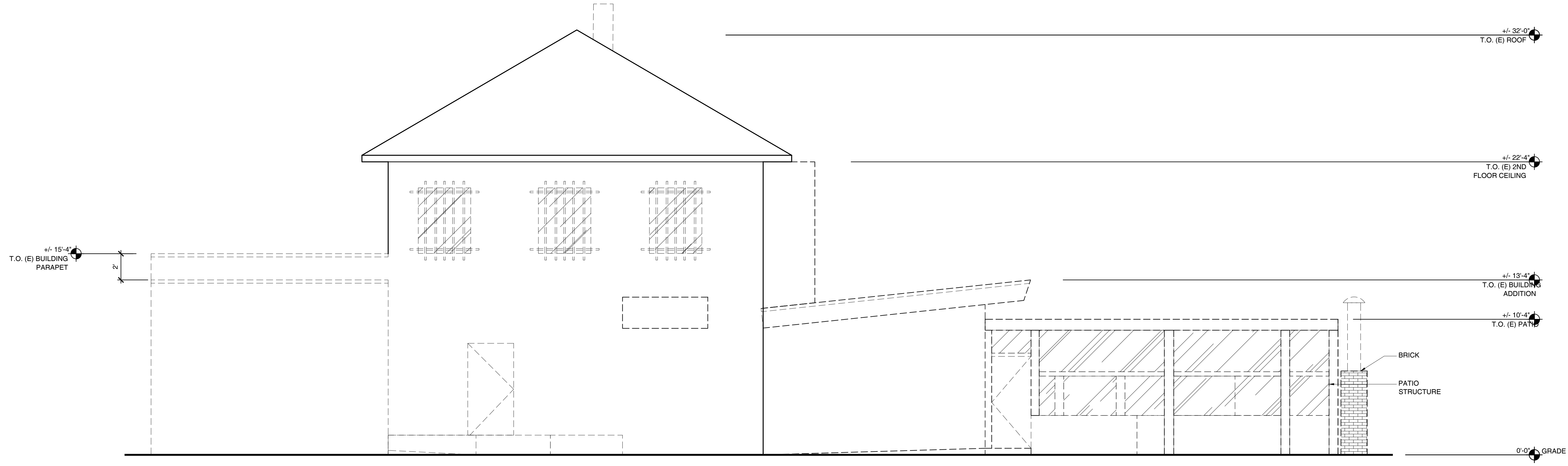
EXISTING CONDITIONS / DEMO.  
 EXTERIOR ELEVATIONS

**A301**



01 SOUTHEAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



02 SOUTHWEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

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DRAWING TITLE/ NO.

EXISTING CONDITIONS / DEMO.  
EXTERIOR ELEVATIONS

A302

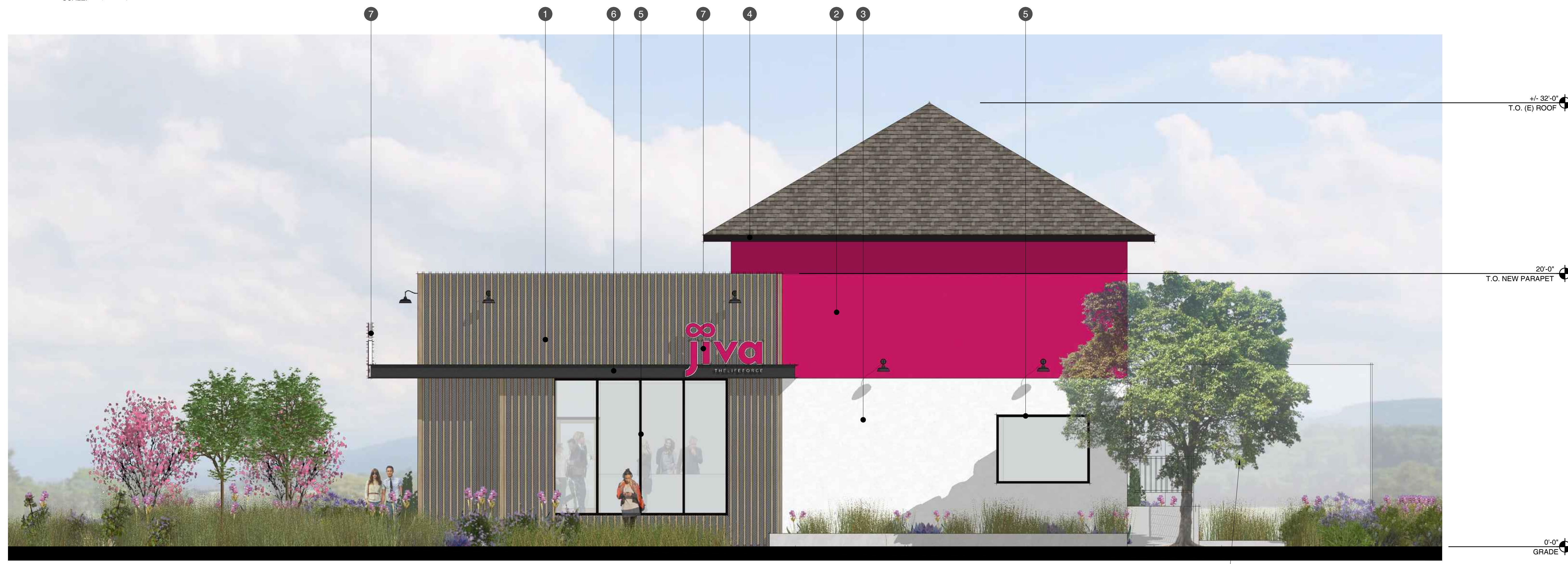


**MATERIALS + COLOR PALETTE**

- 1 ALUMINUM BATTEN SYSTEM  
MFR: AWNEX  
2"x 2" VERTICAL PROFILE  
COLOR: WOOD GRAIN, KNOTWOOD BATTEN
- 2 CEMENT PLASTER  
COLOR: SW 6843 'HOT'
- 3 CEMENT PLASTER  
COLOR: SW 7566 'WESTHIGHLAND WHITE'
- 4 TRIM  
COLOR: MATCH ANODIZED BRONZE
- 5 DOOR, WINDOW & EXT. LIGHTING  
COLOR: ANODIZED ALUM. DARK BRONZE, TEMPERED GLASS
- 6 ALUMINUM CANOPY SYSTEM  
COLOR: CHARCOAL
- 7 SIGNAGE (UNDER SEPARATE PERMIT)  
INTERNALLY ILLUMINATED CHANNEL LETTERS  
SIGN ATTACHED TO METAL AWNING, 5" DEEP

+/- 32'-0" T.O. (E) ROOF  
 + 20'-0" T.O. NEW PARAPET  
 B.O. AWNING  
 10'  
 F.F.  
 2'-4"  
 0'-0" GRADE

**01 NORTHEAST EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



+/- 32'-0" T.O. (E) ROOF  
 20'-0" T.O. NEW PARAPET  
 0'-0" GRADE

**02 NORTHWEST EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

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DRAWING TITLE/ NO.

PROPOSED EXTERIOR ELEVATIONS

**A401**



**01 SOUTHEAST EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



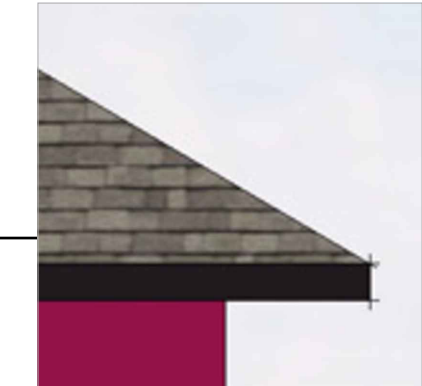
**1 ALUMINUM BATTEN SYSTEM**  
MFR: AWNEX  
2"x2" VERTICAL PROFILE  
COLOR: WOOD GRAIN, KNOTWOOD BATTEN



**2 CEMENT PLASTER**  
COLOR: SW 6843 'HOT'



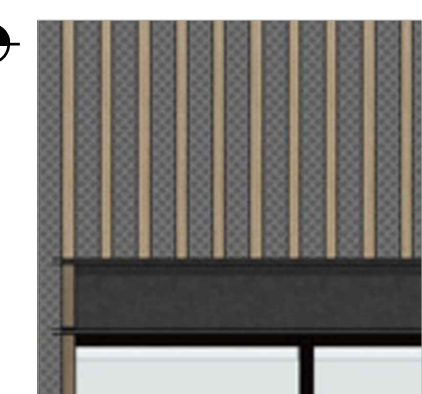
**3 CEMENT PLASTER**  
COLOR: SW 7566 'WESTHIGHLAND WHITE'



**4 TRIM**  
COLOR: MATCH ANODIZED BRONZE



**5 DOOR, WINDOW & EXT. LIGHTING**  
COLOR: ANODIZED ALUM. DARK BRONZE, TEMPERED GLASS



**6 ALUMINUM CANOPY SYSTEM**  
COLOR: CHARCOAL



**7 SIGNAGE (UNDER SEPARATE PERMIT)**  
INTERNALLY ILLUMINATED CHANNEL LETTERS  
SIGN ATTACHED TO METAL AWNING, 5" DEEP

MATERIALS + COLOR PALETTE

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DRAWING TITLE/ NO.

PROPOSED EXTERIOR ELEVATIONS

**A402**

**02 SOUTHWEST EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"





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PERSPECTIVE RENDERINGS

**A410**



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PERSPECTIVE RENDERINGS

**A411**