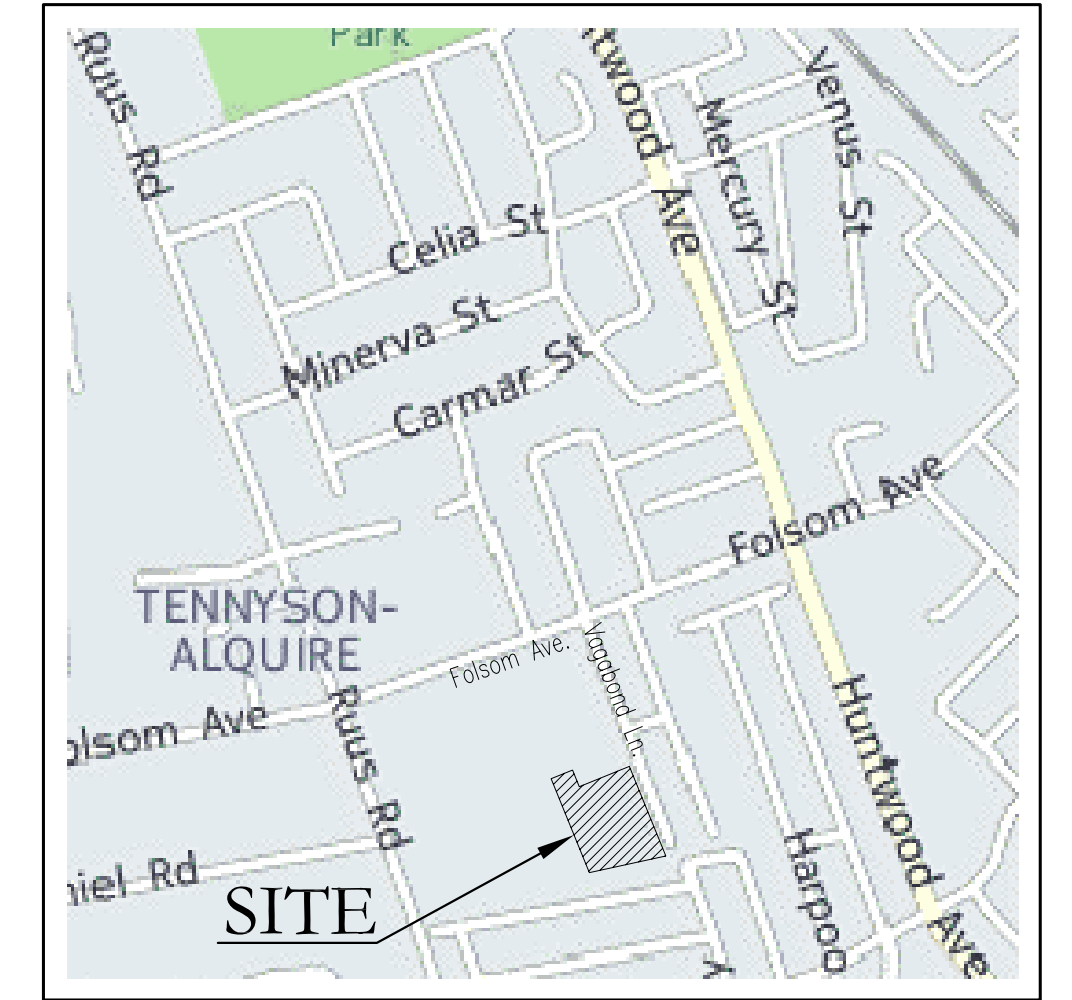
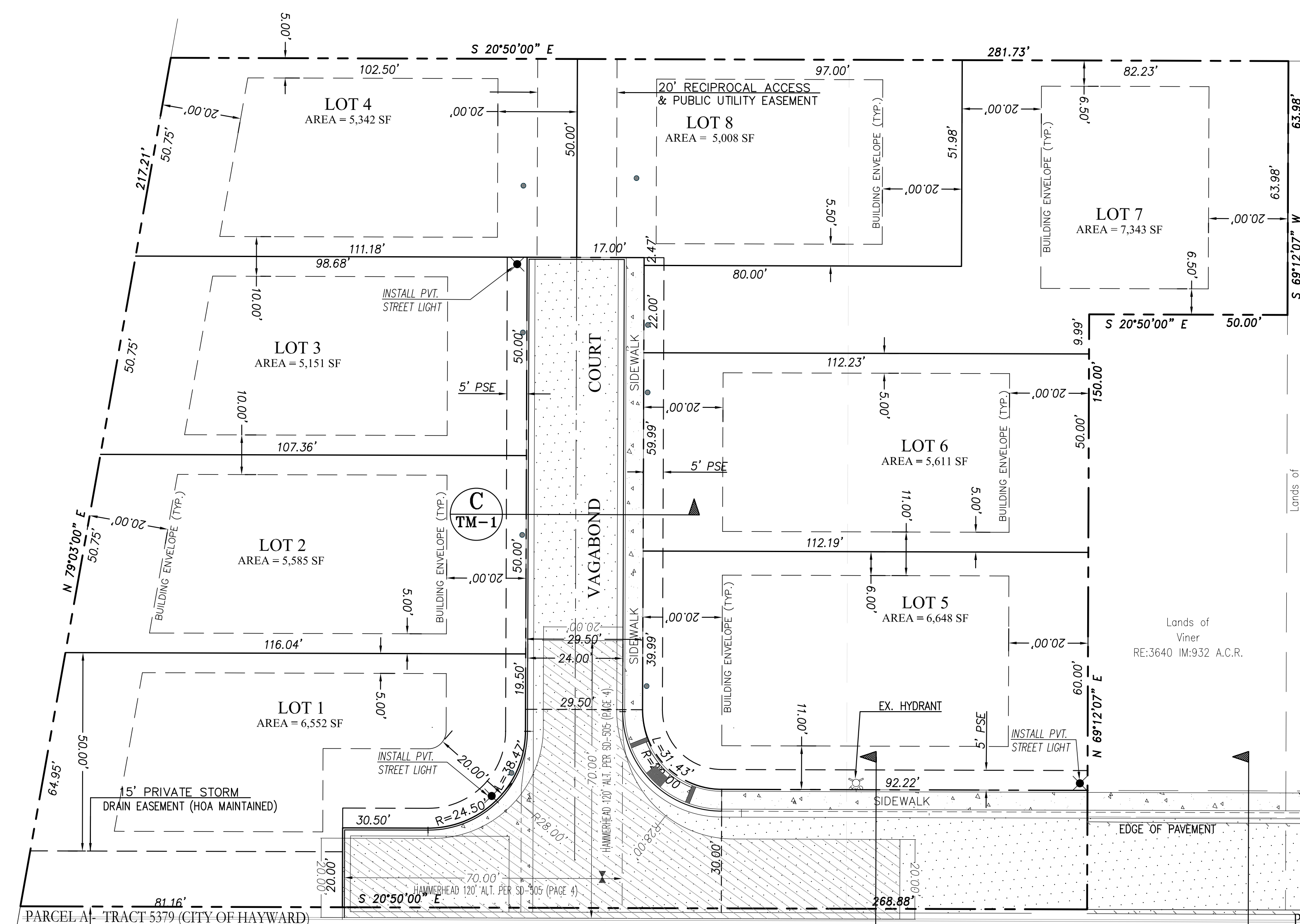


VESTING TENTATIVE TRACT 8280 VAGABOND ESTATES



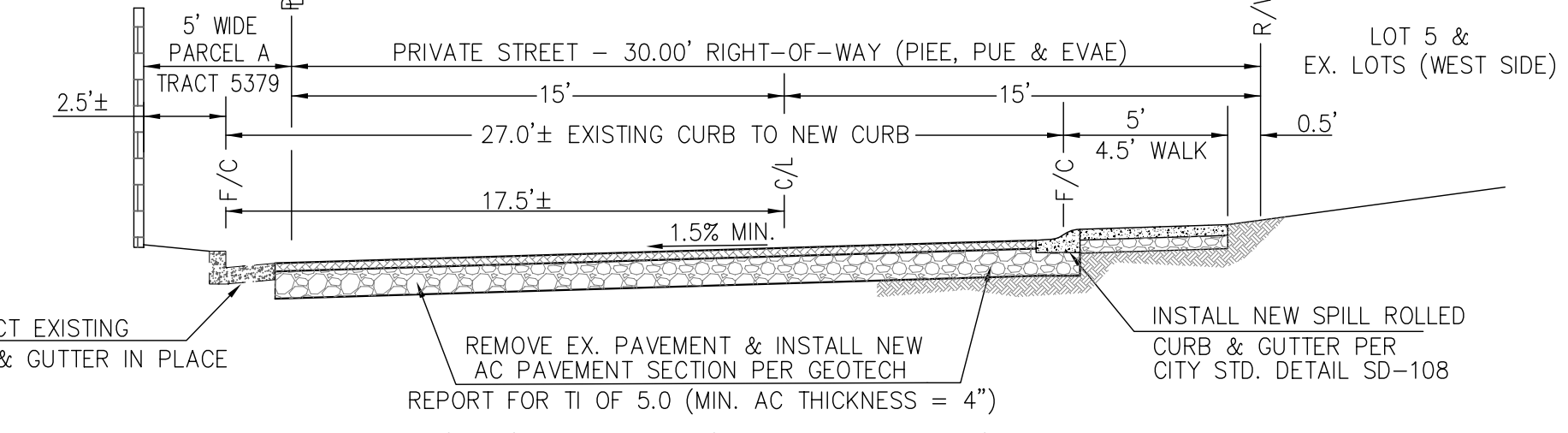
VICINITY MAP
NOT TO SCALE



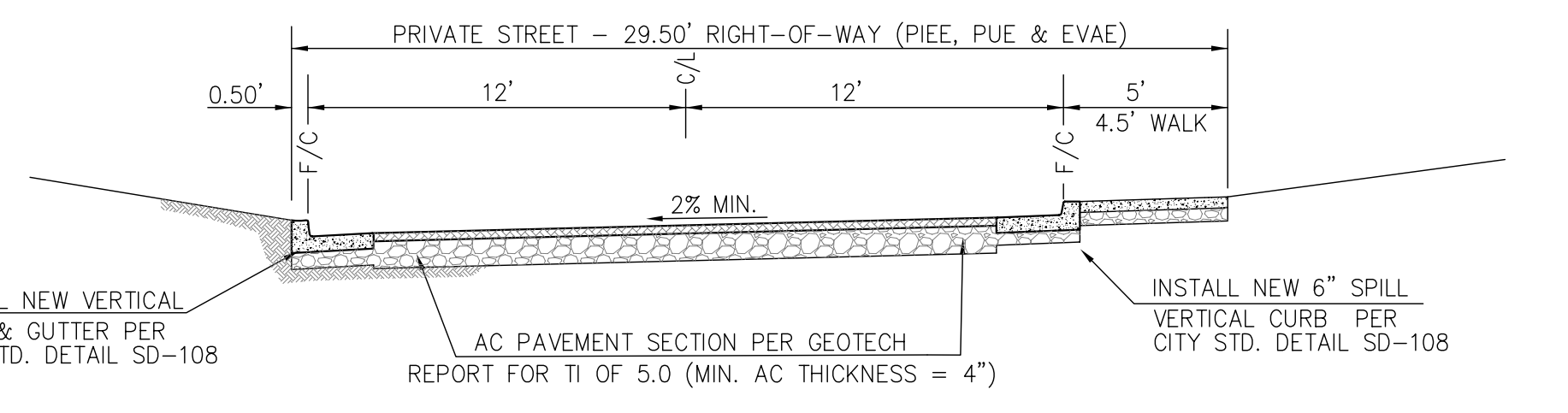
PROJECT GENERAL NOTES:

1. OWNER(S) : ASEF HABIB
34497 SALINAS PLACE
FREMONT, CA 94555
CONTACT: REZA HABIB, 510-529-8448
2. DEVELOPER : ASEF HABIB
34497 SALINAS PLACE
FREMONT, CA 94555
CONTACT: REZA HABIB, 510-529-8448
3. CIVIL ENGINEER : STERLING CONSULTANTS
11040 BOLLINGER CANYON ROAD, SUITE E-102
SAN RAMON, CA 94582
CONTACT: DILIP S. KISHNANI, P.E., QSD
TEL: 925-705-3633; FAX: 866-966-6343
4. SOILS ENGINEER : TO BE DECIDED
5. APNs: 465-0060-002 & 465-0060-003
6. EXISTING LAND USE: RESIDENTIAL
7. PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL
8. SITE AREA: 56,560 SF (1.298 ACRES GROSS)
9. NUMBER OF LOTS : 8 (EIGHT)
10. LOT AREAS - NET: MINIMUM = 5,008 SF; MAXIMUM = 7,343 SF
11. GENERAL PLAN: LOW DENSITY RESIDENTIAL
12. EXISTING ZONING: RS (SINGLE FAMILY RES. MIN LOT SIZE = 5,000 SF)
13. PROPOSED ZONING: RS (SINGLE FAMILY RES. MIN LOT SIZE = 5,000 SF)
14. DENSITY: 6.16 DU / ACRE
15. WATER SYSTEM: CITY OF HAYWARD
16. SEWER SYSTEM: CITY OF HAYWARD
17. STORM DRAIN SYSTEM: CITY OF HAYWARD
18. GAS & ELECTRIC: PACIFIC GAS & ELECTRIC (P.G.&E.)
19. CABLE: COMCAST CABLE
20. TOPOGRAPHY: EXISTING TOPOGRAPHY IS BASED ON A FIELD SURVEY DONE IN MARCH 2014.
21. BOUNDARY: BOUNDARY AS SHOWN IS BASED ON A FIELD SURVEY DONE IN MARCH 2014.
22. STREETS: PRIVATE ON-SITE STREETS; ACCESS FROM FOLSOM AVENUE THROUGH EXISTING PRIVATE LANE (VAGABOND LANE)
23. FLOOD ZONE: ZONE X (SHADED)
24. GRADING: TENTATIVE GRADES ALONG THE VAGABOND LANE EXTENSION AND NEW PRIVATE STREETS ARE SHOWN. DETAILED FINE GRADING ON EACH LOT SHALL BE SHOWN WITH THE BUILDING PERMIT APPLICATION FOR RESPECTIVE LOTS.
25. DIMENSIONS: LOT DIMENSIONS (SHOWN TO NEAREST TENTH OF A FOOT) AND AREAS SHOWN HEREIN ARE APPROXIMATE AND SUBJECT TO MINOR CHANGES DURING FINAL DESIGN.
26. CONTOURS: EXISTING CONTOURS ARE SHOWN.
27. UTILITIES: ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND. ALL STORM DRAINS, SANITARY SEWERS AND WATER MAINS SHALL ADHERE TO MINIMUM SIZES & SLOPES PER THE GOVERNING AGENCIES.

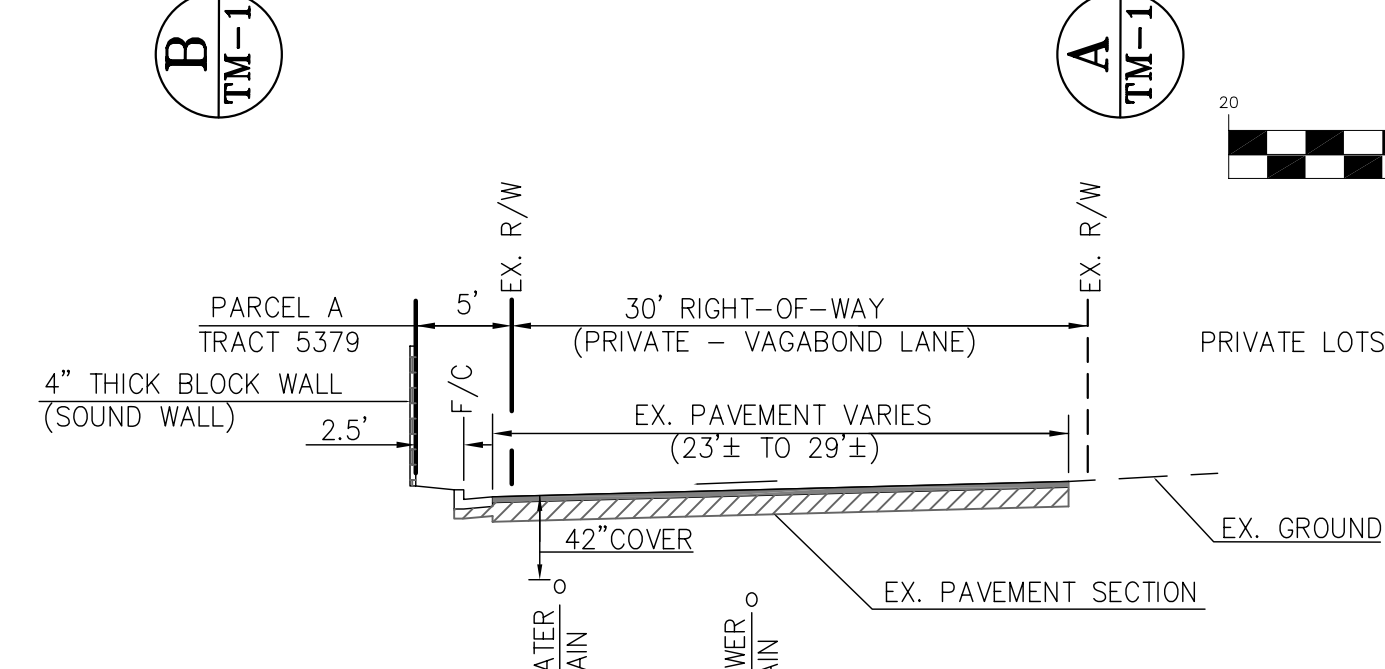
PROPOSED SUBDIVISION PLAN
SCALE: 1" = 20'



SECTION B - VAGABOND LANE - ULTIMATE & EXTENSION
NOT TO SCALE



SECTION C - 25' PRIVATE STREET w/ 4.5' WALK (CITY STD.)
NOT TO SCALE

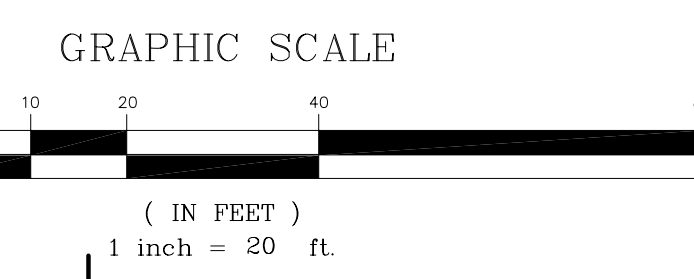


SECTION A - VAGABOND LANE (EXISTING)
NOT TO SCALE

OWNER'S STATEMENT
I HEREBY APPLY FOR APPROVAL OF A SUBDIVISION OF REAL PROPERTY AS SHOWN ON THIS TENTATIVE MAP AND CERTIFY THAT THIS MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

ASEF HABIB
PROPERTY OWNER
DATE _____

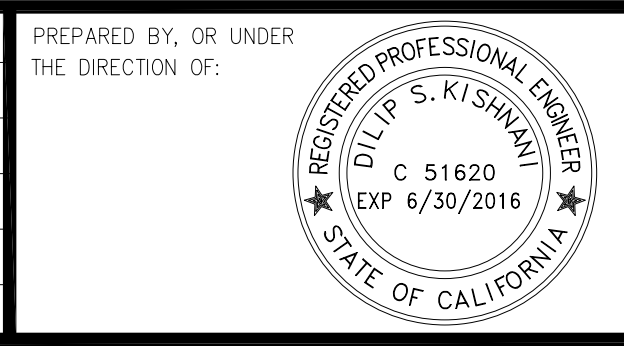
VAGABOND LANE (PRIVATE STREET)
30' WIDE DRIVEWAY & PEDESTRIAN EASEMENT



SHEET INDEX

| SHEET NO. | DESCRIPTION |
|-----------|---|
| TM-1 | TITLE SHEET, SITE PLAN, NOTES & TYPICAL DETAILS |
| TM-2 | EXISTING CONDITION MAP & DEMOLITION PLAN |
| TM-3 | PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN |
| TM-4 | PRELIMINARY STORM WATER CONTROL PLAN |

| | | | | | |
|--------------------|-----|----|------|-----------|-----------|
| DATE: MAY 16, 2016 | NO. | BY | DATE | REVISIONS | CITY APPR |
| SCALE: AS NOTED | | | | | |
| DRAWN: DSK | | | | | |
| DESIGNED: DSK | | | | | |
| ENGINEER: DSK | | | | | |
| MANAGER: DSK | | | | | |



PREPARED BY:
STERLING CONSULTANTS
ENGINEERING ■ SURVEYING ■ CONSTRUCTION SUPPORT
11040 BOLLINGER CANYON RD., SUITE E-102
SAN RAMON, CA 94582
1sterlingconsultants@gmail.com
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ASEF HABIB
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FREMONT, CA 94555
(510) 386-0221

APNs: 465-0060-002 & - 003
29265 VAGABOND LANE
VESTING TENTATIVE TRACT MAP 8280
VAGABOND ESTATES
TITLE SHEET, SITE PLAN, NOTES & TYPICAL DETAILS
CITY OF HAYWARD
ALAMEDA COUNTY
CALIFORNIA

SHEET NO.
TM-1
1 OF 4 SHEETS
JOB NO.
2013-121

LEGEND

| SYMBOL | DESCRIPTIONS | ABBREVIATIONS |
|----------|---|-------------------------------------|
| --- | BOUNDARY LINE | AD AREA DRAIN |
| --- | LOT LINE | BSW BACK OF WALL |
| --- | EASEMENT LINE | BW BOTTOM OF WALL |
| --- | CENTERLINE (CL) | DS ROOF DOWN SPOUT LOCATION |
| --- | RIGHT OF WAY | DWY DRIVEWAY |
| SS | EX. SEWER MAIN OR LATERAL | EP EDGE OF PAVEMENT |
| W | EX. WATER MAIN OR LATERAL | EX. EXISTING |
| --- | 4" PVC PIPE WITH AREA DRAIN | FF FINISHED FLOOR ELEVATION |
| 2% | PERCENT GRADE | FG FINISHED GRADE ELEVATION |
| 607.00 | FINISHED GRADE ELEVATION | FL FLOW LINE |
| X 167.20 | EXISTING GRADE ELEVATION | FV FLOOD VENT PER ARCH PLANS |
| --- | ROOF DOWNSPOUT | GFF GARAGE FINISHED FLOOR ELEVATION |
| --- | w/ 2' SPLASH BLOCK | GR GRATE ELEVATION |
| --- | TREE PROTECTION ZONE WITH TYPE II FENCING AT DRIP LINE AND BACK OF WALK | INV. INVERT ELEVATION |
| | | POC POINT ON CURVE |
| | | PRC POINT OF REVERSE CURVATURE |
| | | PUE PUBLIC UTILITY EASEMENT |
| | | TC TOP OF CURB ELEVATION |
| | | TW TOP OF WALL |
| | | UFV UNDER-FLOOR VENT |

DEMOLITION LEGEND

| | |
|-----|----------------------|
| --- | PROPERTY LINE |
| --- | EASEMENT LINE |
| X | REMOVE EXISTING TREE |

REMOVAL NOTES

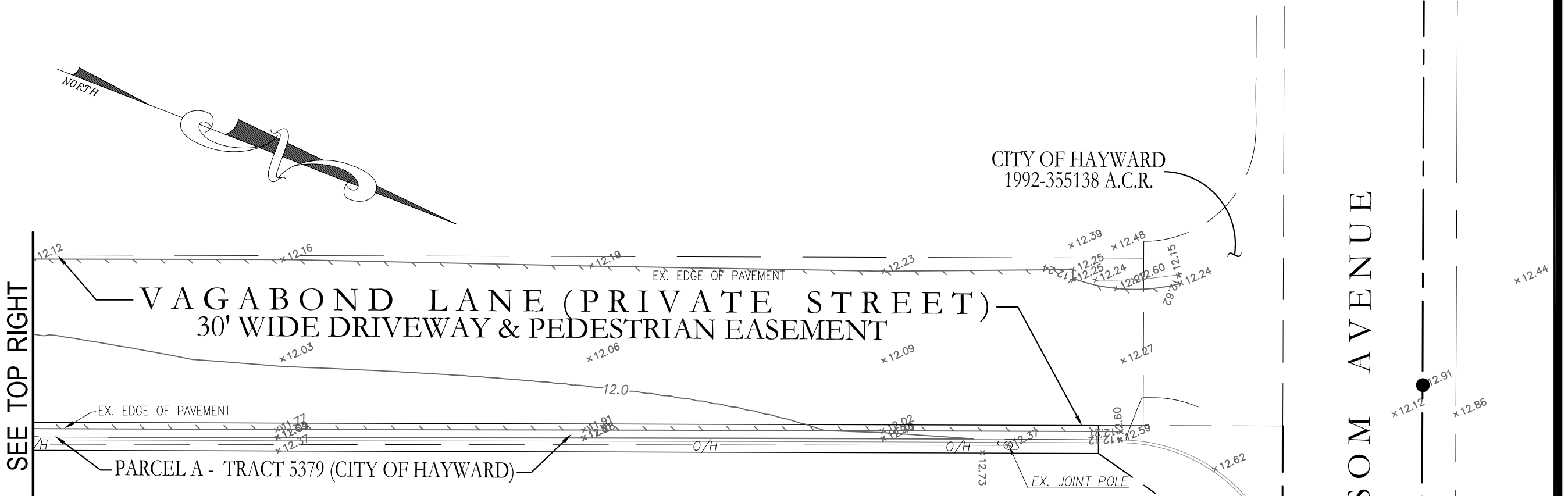
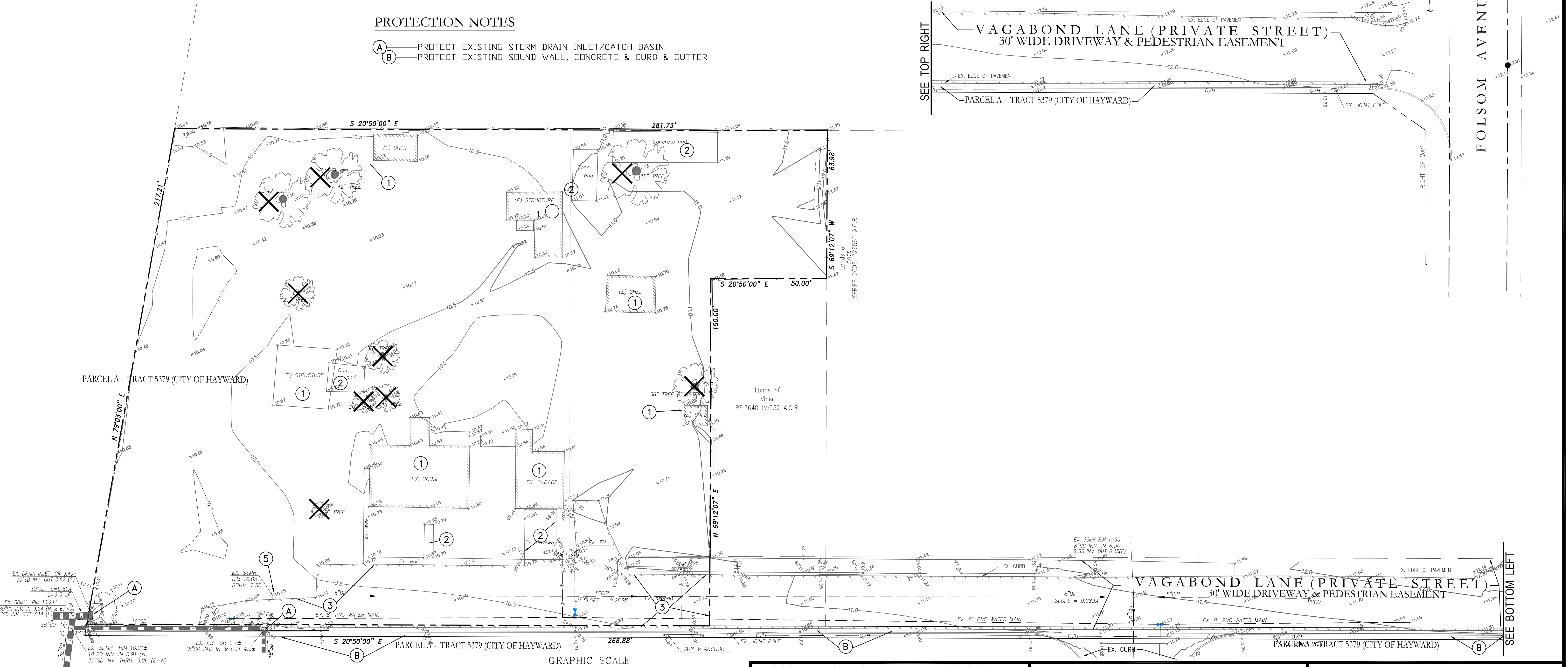
- 1 REMOVE EXISTING STRUCTURE AS SHOWN
- 2 REMOVE EXISTING CONCRETE WALK / PATIO / BRICK / STEPS
- 3 REMOVE EXISTING ASPHALT PAVEMENT
- 4 REMOVE EXISTING FENCE & REPLACE WITH RETAINING WALL+ GOOD NEIGHBOR FENCE
- 5 REMOVE EXISTING UTILITY STRUCTURE

PROTECTION NOTES

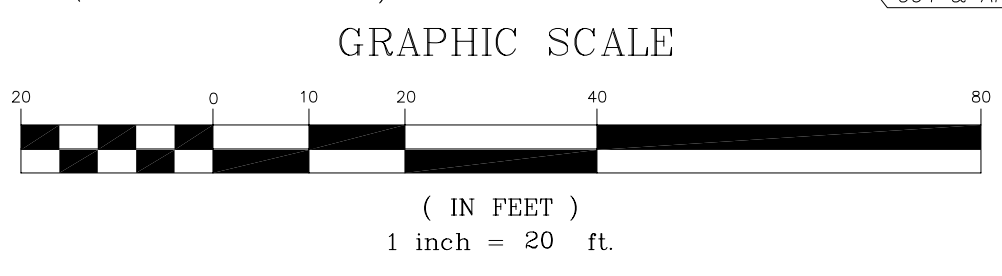
- A PROTECT EXISTING STORM DRAIN INLET/CATCH BASIN
- B PROTECT EXISTING SOUND WALL, CONCRETE & CURB & GUTTER

DEMOLITION NOTES

1. DEVELOPER'S CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE COUNTY OF ALAMEDA BUILDING DEPARTMENT PRIOR TO START OF DEMOLITION.
2. THE PROPERTY LINE SHALL BE THE LIMITS OF DEMOLITION UNDER THE GRADING PERMIT.
3. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS WITH THE RESPECTIVE UTILITY AGENCIES PRIOR TO START OF DEMOLITION ON THE SITE.
4. UTILITIES TO BE ABANDONED WITHIN THE AREAS OF PROPOSED IMPROVEMENTS SHALL BE REMOVED IN THEIR ENTIRETY OR ABANDONED IN PLACE PER RECOMMENDATIONS OF THE PROJECT SOILS REPORT.



EXISTING CONDITION AND DEMOLITION PLAN
SCALE: 1" = 20'

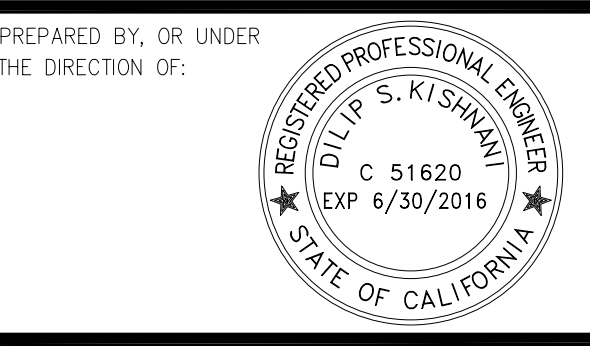


BASIS OF BEARINGS: N69°12'07"E BETWEEN TWO 6' OFFSET MONUMENTS NORTHWEST OF THE FOLSOM AVENUE C/L - ONE AT RUUS ROAD AND THE OTHER AT COLONY CT., AS SHOWN ON THE MAP OF TRACT 5379, BOOK 117 OF MAPS AT PAGES. 52-56, ALAMEDA COUNTY RECORDS.

BENCHMARK: ELEVATIONS BASED ON CITY OF HAYWARD FIELD NOTES DATED 3-11-2003 ON MONUMENT DISK AT FOLSOM AVENUE & VAGABOND LANE; ELEVATION = 12.12 (DATUM NOT PROVIDED)

FIELD SURVEY: BOUNDARY & TOPOGRAPHY BASED UPON A FIELD SURVEY PERFORMED BY HELMUT R. KORSTICK, LS 7739 ON FEBRUARY 15, 2014.

| | | | | |
|--------------------|----|------|-----------|-----------|
| DATE: MAY 16, 2016 | | | | |
| SCALE: AS NOTED | | | | |
| DRAWN: DSK | | | | |
| DESIGNED: DSK | | | | |
| ENGINEER: DSK | | | | |
| MANAGER: DSK | | | | |
| NO. | BY | DATE | REVISIONS | CITY APPR |



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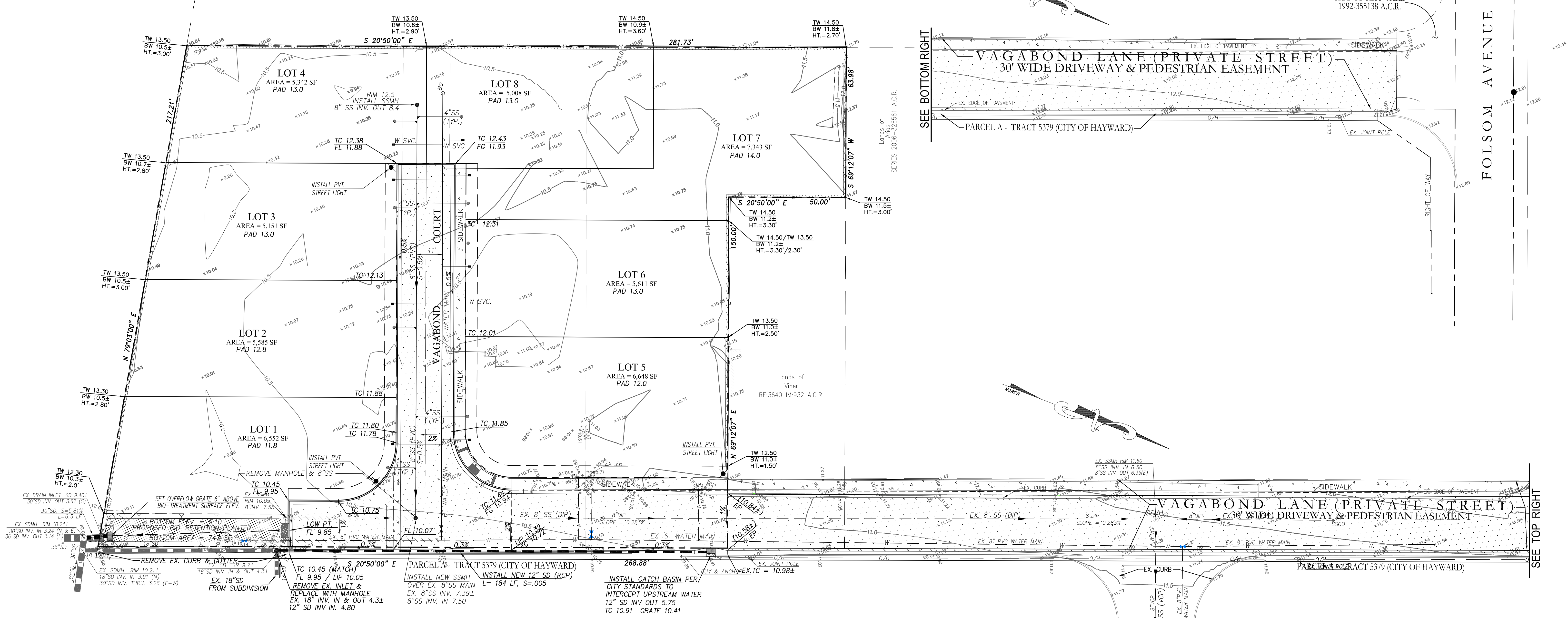
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APNs: 465-0060-002 & - 003
29265 VAGABOND LANE
VESTING TENTATIVE TRACT MAP 8280
VAGABOND ESTATES
EXISTING CONDITION MAP & DEMOLITION PLAN
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

| | |
|-------------|----------|
| SHEET NO. | TM-2 |
| OF 4 SHEETS | 2 |
| JOB NO. | 2013-121 |

PRELIMINARY • NOT FOR CONSTRUCTION

PRINTED: MAY 16, 2016



PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

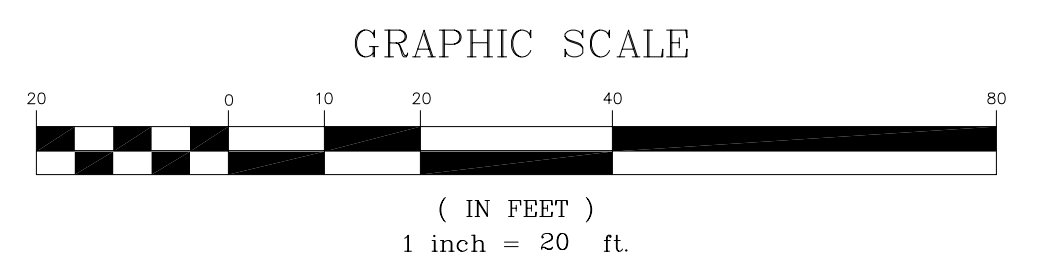
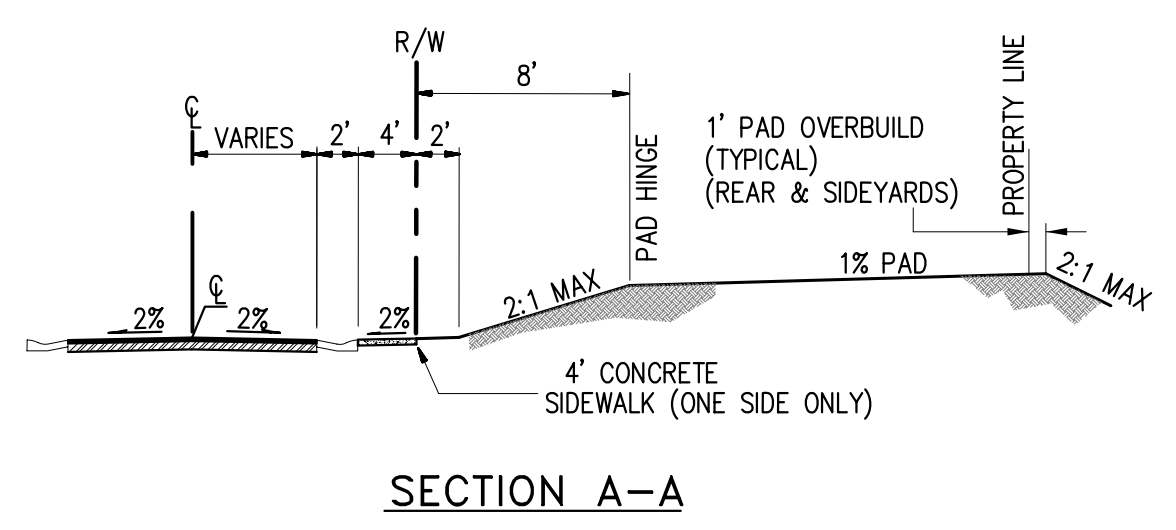
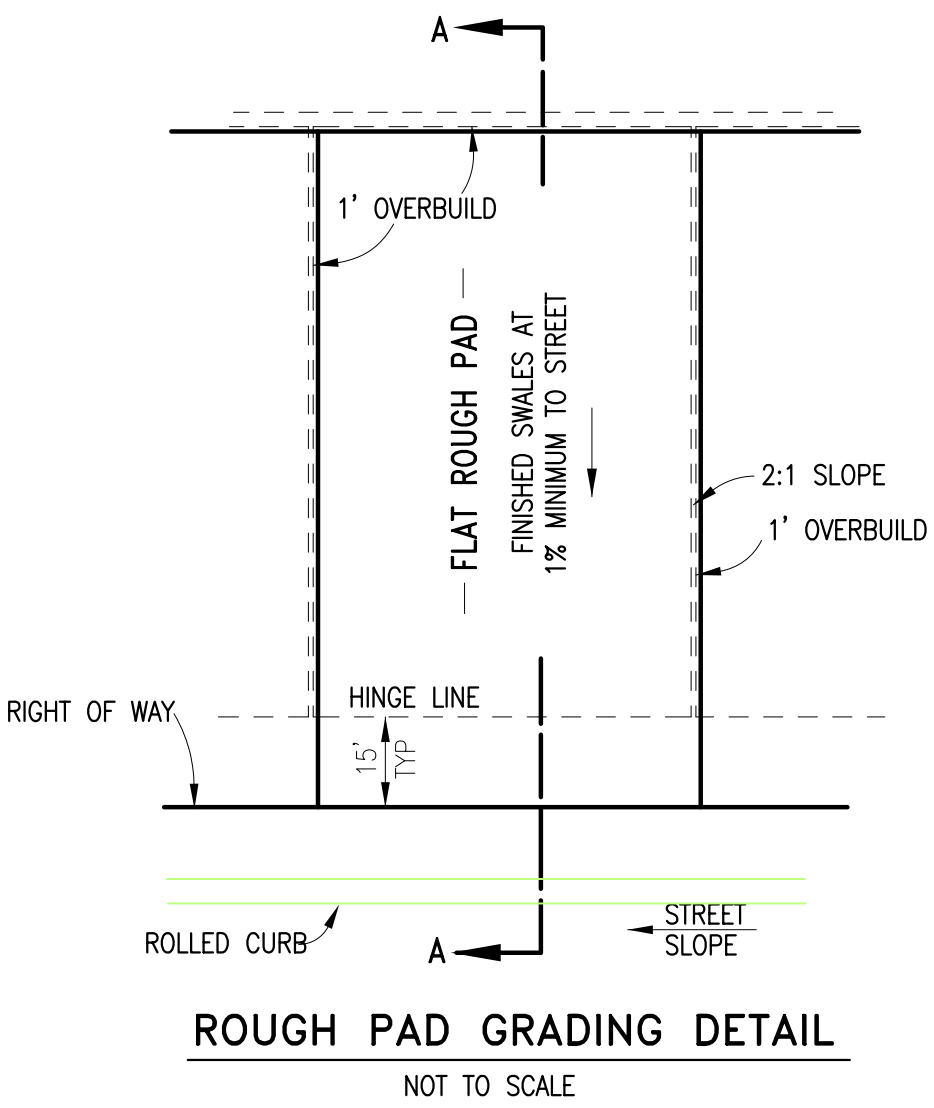
SCALE: 1" = 20'

EARTHWORK SUMMARY

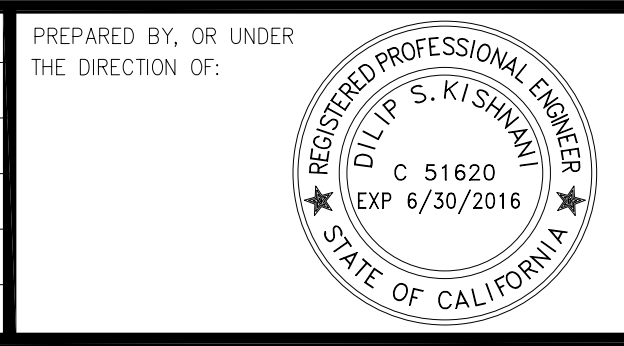
| | |
|--|----------|
| MEASURED RAW CUT : (STREET SUBGRADE AT 1.2' BELOW FINISHED GRADE, BACK OF CURB TO BACK OF WALK) | 250 CY |
| MEASURED RAW FILL (STREET+ LOTS) : | 2,750 CY |
| ESTIMATED NET IMPORT: | 2,500 CY |

EARTHWORK QUANTITIES SHOWN HEREON ARE APPROXIMATE ONLY FOR ESTABLISHMENT OF FEES. CONTRACTORS SHALL BASE BID AND OR CONTRACT AMOUNTS UPON THEIR OWN EARTHWORK ESTIMATES FOR COMPLETION OF THE WORK SHOWN HEREON, NOT ON THE QUANTITIES SHOWN ABOVE.

NO ADJUSTMENTS HAVE BEEN APPLIED FOR SHRINK OR SWELL AND UTILITY SPOILS.



| | | | | | |
|--------------------|-----|----|------|-----------|-----------|
| DATE: MAY 16, 2016 | NO. | BY | DATE | REVISIONS | CITY APPR |
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| DRAWN: DSK | | | | | |
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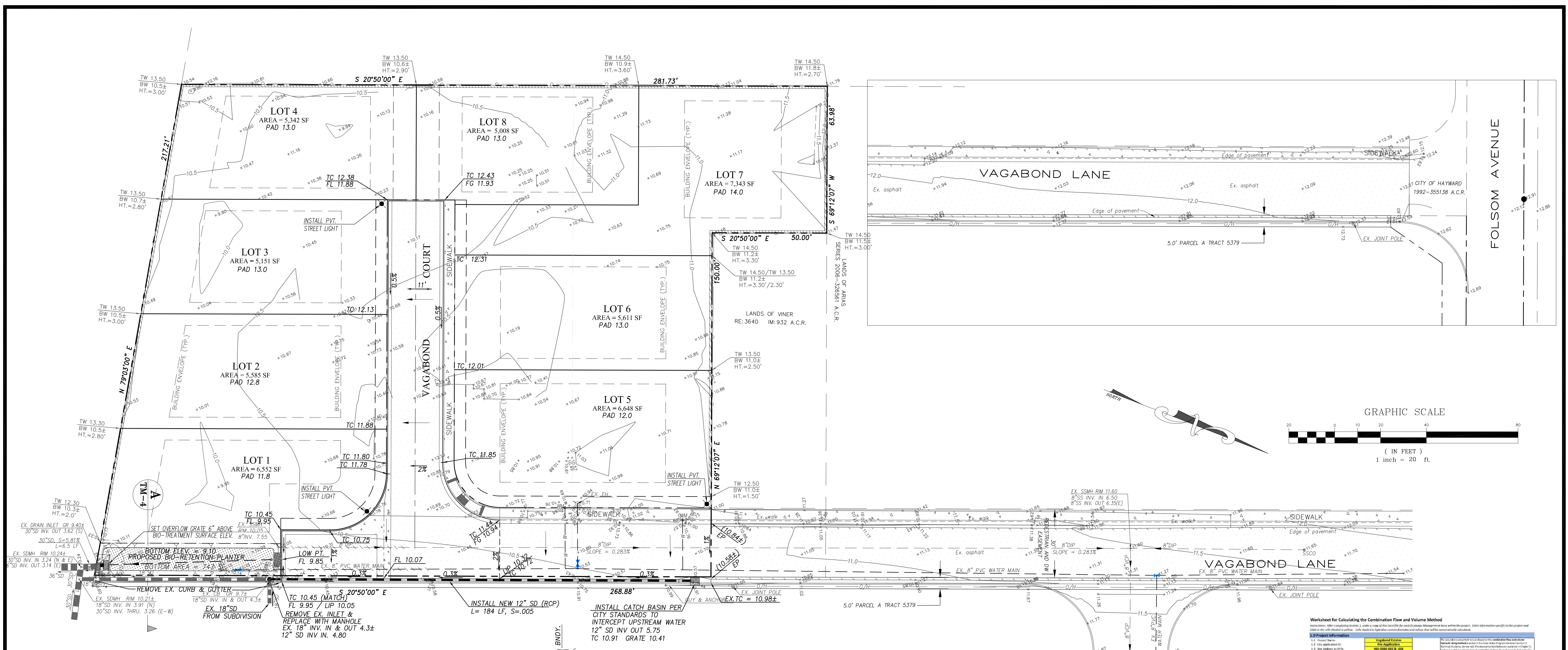
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 SAN RAMON, CA 94582
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 34497 SALINAS PLACE
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 (510) 386-0221

APNs: 465-0060-002 & - 003
 29265 VAGABOND LANE
VESTING TENTATIVE TRACT MAP 8280
VAGABOND ESTATES
 PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
 CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SHEET NO.
TM-3
 3 OF 4 SHEETS
 JOB NO.
 2013-121

PRINTED: MAY 16, 2016



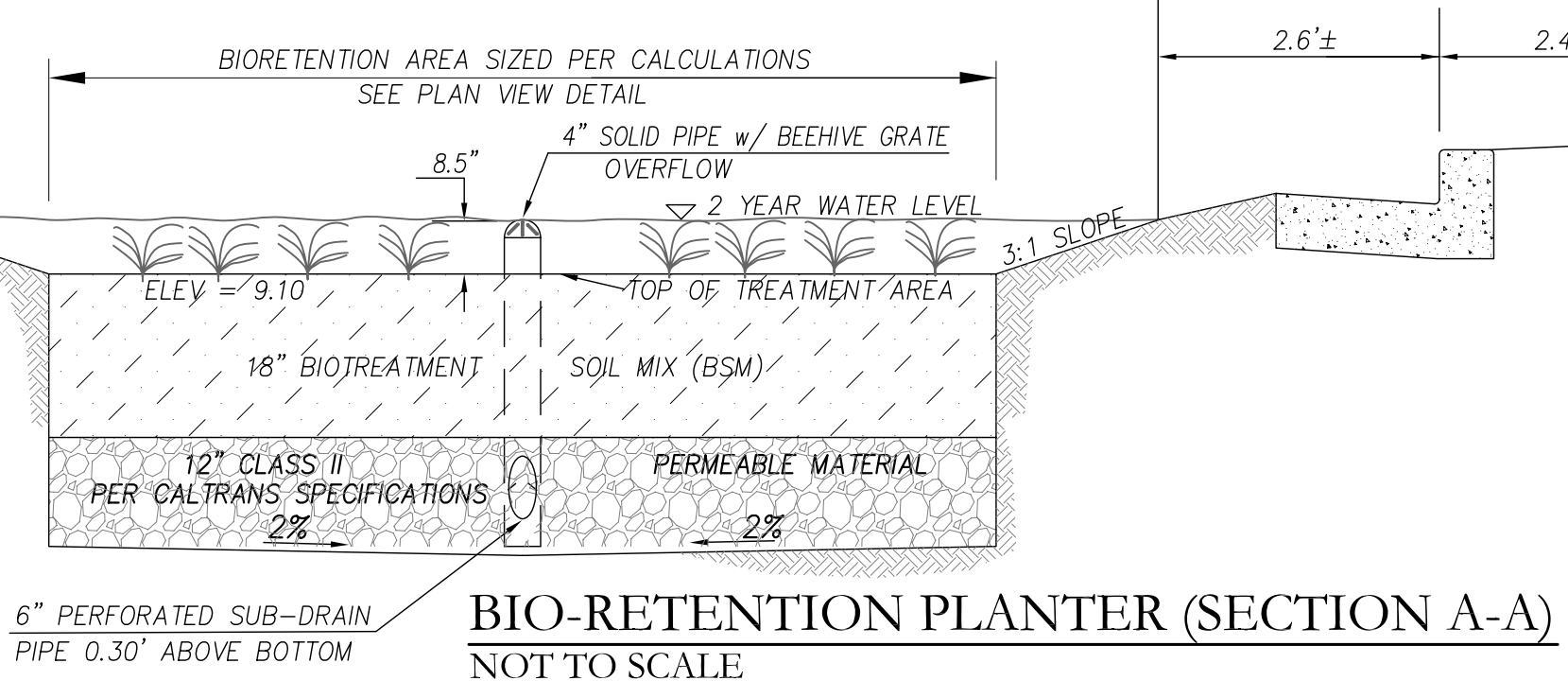
PRELIMINARY STORMWATER CONTROL PLAN

SCALE: 1" = 20'

STORMWATER DRAINAGE MANAGEMENT AREA NOTE:

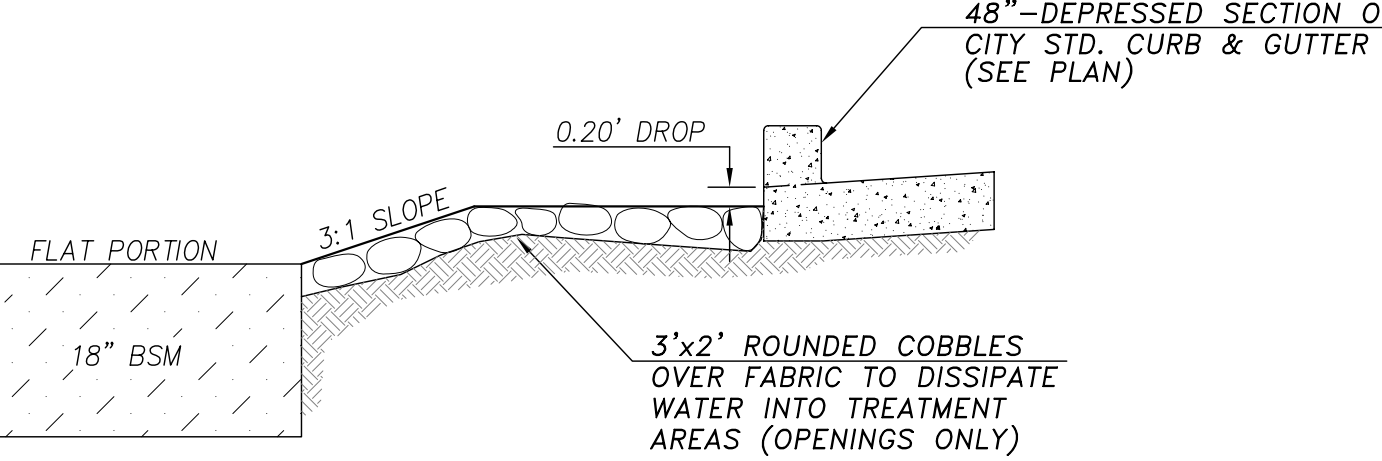
THE ENTIRE TRACT IS ONE DRAINAGE MANAGEMENT AREA. THE BREAKDOWN OF IMPERVIOUS AREAS USED FOR TEH COMBINED FLOW-VOLUME SPREADSHEET SHOWN HEREON IS AS FOLLOWS:

- ON-LOT IMPERVIOUS AREAS: 2000 SF PER LOT = 16,000 SF
- NEW PAVEMENT WITHIN BOUNDARY = 8,055 SF
- NEW SIDEWALK WITHIN BOUNDARY = 1,100 SF
- TOTAL IMPERVIOUS AREA (NEW) = 25,155 SF
- PERVIOUS AREAS USED = 31,405 SF
- TOTAL AREA (= PROJECT AREA) = 56,560 SF



BIO-RETENTION PLANTER (SECTION A-A)
NOT TO SCALE

NOTE: THE BIO-TREATMENT SOIL MIX (BSM) USED IN THE DESIGN OF THE PROPOSED BIO-TREATMENT AREA SHALL BE PER ATTACHMENT L OF THE C.3 STORMWATER TREATMENT TECHNICAL GUIDANCE DATED JANUARY 1, 2015 WITH A MINIMUM INFILTRATION RATE OF 5" PER HOUR.



BIO-RETENTION PLANTER (@ OPENING)
NOT TO SCALE

Worksheet for Calculating the Combined Flow and Volume Method

Instructions: After completing Section 1, make a copy of this spreadsheet and use the 'Project Information' tab to enter project-specific information. The spreadsheet will calculate the combined flow and volume for the project. The spreadsheet is a Microsoft Excel spreadsheet. The spreadsheet is a Microsoft Excel spreadsheet. The spreadsheet is a Microsoft Excel spreadsheet.

1.0 Project Information

| | |
|----------------------------|---------------------|
| 1.1 Project Name | Vagabond Lane |
| 1.2 City/County | Hayward, CA |
| 1.3 Site Address or APN | 465-0060-002 & -003 |
| 1.4 Date of Report | 5/16/2016 |
| 1.5 Site Area (Acres) | 1.0 |
| 1.6 Site Area (Sq. Ft.) | 43,560 |
| 1.7 Project Area (Sq. Ft.) | 56,560 |

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

| | | |
|------------------------|--------|-------|
| 2.1 Impervious Surface | 25,155 | 43.8% |
| 2.2 Pervious Surface | 31,405 | 56.2% |
| 2.3 Total Area | 56,560 | 100% |

3.0 Calculate Unit Basin Storage Volume in Inches

| | |
|-------------------------------|-------|
| 3.1 Unit Basin Storage Volume | 0.67 |
| 3.2 Unit Basin Storage Volume | 0.66 |
| 3.3 Unit Basin Storage Volume | 1.550 |

4.0 Calculate the Duration of the Rain Event

| | |
|----------------------------|------|
| 4.1 Rainfall Intensity | 0.2 |
| 4.2 Duration of Rain Event | 3.20 |

5.0 Preliminary Estimate of Surface Area of Treatment Measure

| | |
|---|--------|
| 5.1 1% of DMA Impervious Surface | 251.55 |
| 5.2 Area of 1% of DMA Impervious Surface | 642 |
| 5.3 Initial Adjustment of Depth of Surface Ponding Area | 1,162 |

6.0 Initial Adjustment of Depth of Surface Ponding Area

| | |
|---|-------|
| 6.1 Initial Adjustment of Depth of Surface Ponding Area | 1,162 |
| 6.2 Initial Adjustment of Depth of Surface Ponding Area | 1,162 |
| 6.3 Initial Adjustment of Depth of Surface Ponding Area | 1,162 |

7.0 Optimize Size of Treatment Measure

| | |
|--|-------|
| 7.1 Optimize Size of Treatment Measure | 742 |
| 7.2 Optimize Size of Treatment Measure | 1,023 |
| 7.3 Optimize Size of Treatment Measure | 527 |

8.0 Surface Area of Treatment Measure for DMA

| | |
|---|-----|
| 8.1 Surface Area of Treatment Measure for DMA | 742 |
|---|-----|

| | | | | | |
|--------------------|----|------|-----------|-----------|--|
| DATE: MAY 16, 2016 | | | | | |
| SCALE: AS NOTED | | | | | |
| DRAWN: DSK | | | | | |
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29265 VAGABOND LANE

VESTING TENTATIVE TRACT MAP 8280

PRELIMINARY STORMWATER CONTROL PLAN

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SHEET NO.

TM-4

4 OF 4 SHEETS

JOB NO. 2013-121