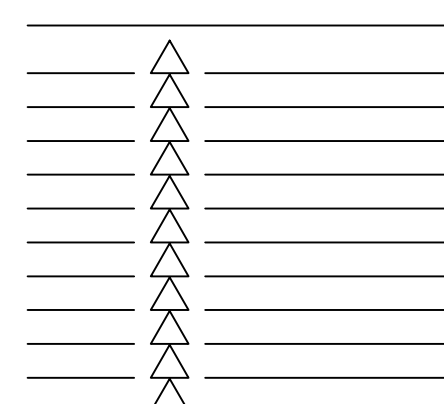


**OVERALL  
 SITE PLAN**

**DSJ6 T.I.**  
 2701 WEST WINTON AVE  
 HAYWARD, CALIFORNIA  
 94545

PROJECT:  
**DSJ6**  
**HAYWARD CALIFORNIA**  
 ADDRESS:  
**2701 W. WINTON AVE**

Date: 04.20.2020  
 Project Number: 2019-00  
 Plan Check Number: PC # XXXXXX



**SSA1.0**



PARKING BREAKDOWN	
TYPE OF PARKING	NUMBER OF SPACES
EMPLOYEE & MANAGER SPACES	189
CUSTOMER SPACES	6
INCAPACITATED VAN HOLDING SPACES	8
VAN PARKING SPACES	480
VAN DRIVER PERSONAL VEHICLE SPACES	460
TOTAL PARKING	1143
VAN & FLEX LOADING	50
VAN & FLEX STAGING	50
LOADING DOCKS FOR LINE HAUL TRUCKS	8

DRAWING INDEX & BLDG. INFO.

DSJ6 2701 WEST WINTON AVE HAYWARD, CALIFORNIA 94545

PROJECT: DSJ6 HAYWARD CALIFORNIA ADDRESS: 2701 W. WINTON AVE FOR: BLACK CREEK GROUP 518 17TH STREET 17TH FLOOR DENVER CO 80202

Revision table with columns for revision number, description, and date.

DAB.A1.1

VICINITY MAP



KEYNOTES

- 1 PROPERTY LINE
2 METAL SWING GATE
3 ACCESSIBLE PATH OF TRAVEL
4 ASPHALT PAVING
5 6"x6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" : 12" MAX.
6 LOCATION OF TRANSFORMER.
7 CONCRETE WALKWAY, MEDIUM BROOM FINISH.
8 NOT USED
9 SHORT TERM BIKE RACK
10 EXTERIOR STAIR.
11 12 X 14 GRADE DOOR
12 PARKING STRIPING
13 CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
14 PRE-CAST CONC. WHEEL STOP.
15 TRUNCATED DOMES.
16 ACCESSIBLE PARKING STALL SIGN.
17 ELECTRICAL ROOM.
18 ACCESSIBLE ENTRY SIGN.
19 EMPLOYEE BREAK AREA
20 EXTERIOR LIGHT POLE. SEE PHOTOMETRIC PLAN
21 FIRE HYDRANT
22 TRASH ENCLOSURE
23 6' HIGH TUBULAR STEEL FENCE
24 LANDSCAPE: ALL LANDSCAPE AREAS INDICATED BY SHADING
25 PROVIDE METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. CONTRACTOR TO DESIGN - DETAIL GATES, DRAWINGS AND CALCULATION PRIOR TO FABRICATION. PROVIDE CONDUIT FOR FUTURE.
26 FIRE PUMP ROOM
27 PROPOSED LOCATION OF MONUMENT SIGN
28 DIRECTIONAL SIGN TO BAY TRAIL - HAYWARD SHORELINE
29 EV CHARGING STATION
30 EXISTING 6" CHAIN LINK FENCE
31 EXISTING CMU WALL

GENERAL NOTES

- 1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE , PROJECT NUMBER
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAILS FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 1/2 EA. WAY W/ 1/20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM.
11. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE.

SITE PLAN LEGEND

Legend defining symbols for concrete paving, standard parking stalls, clean air/carpool/electro vehicle stalls, landscaped areas, parking striping, van parking, accessible parking stalls, accessible parking (van), path of travel, lighting locations, and landscape refer to drawings.

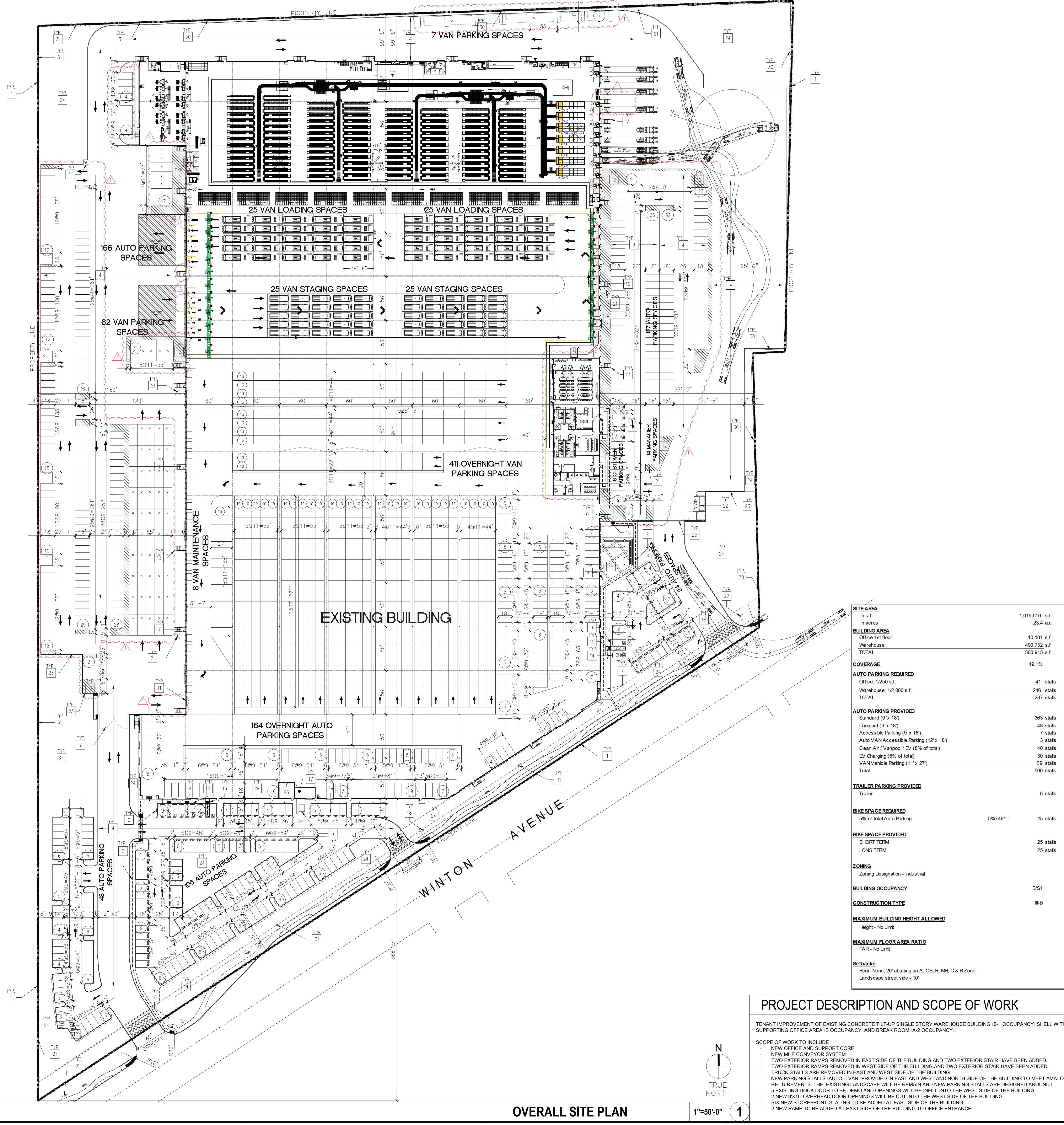
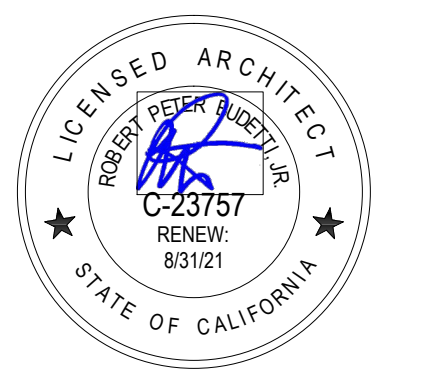


Table with columns for category (Site Area, Buildings Area, Coverage, etc.) and values (in s.f., in acres, etc.).

PROJECT DESCRIPTION AND SCOPE OF WORK

TENANT IMPROVEMENT OF EXISTING CONCRETE TILT-UP SINGLE STORY WAREHOUSE BUILDING... SCOPE OF WORK TO INCLUDE: NEW OFFICE AND SUPPORT CORE, NEW MHE CONVEYOR SYSTEM, TWO EXTERIOR RAMPS REMOVED IN EAST SIDE OF THE BUILDING...

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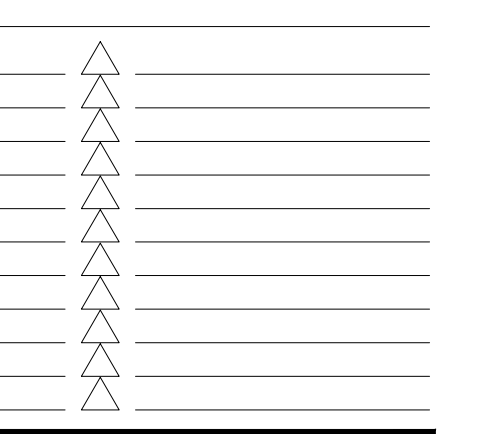


DRAWING INDEX & BLDG. INFO.

DSJ6  
2701 WEST WINTON AVE  
HAYWARD, CALIFORNIA  
94545

PROJECT:  
DSJ6  
HAYWARD CALIFORNIA  
ADDRESS:  
2701 W. WINTON AVE  
FOR:  
BLACK CREEK GROUP  
518 17TH STREET 17TH FLOOR  
DENVER CO 80202

Revision table with columns for revision number and date.



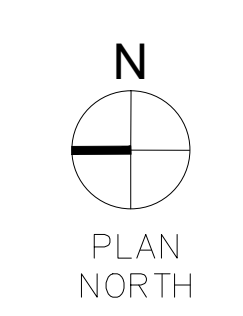
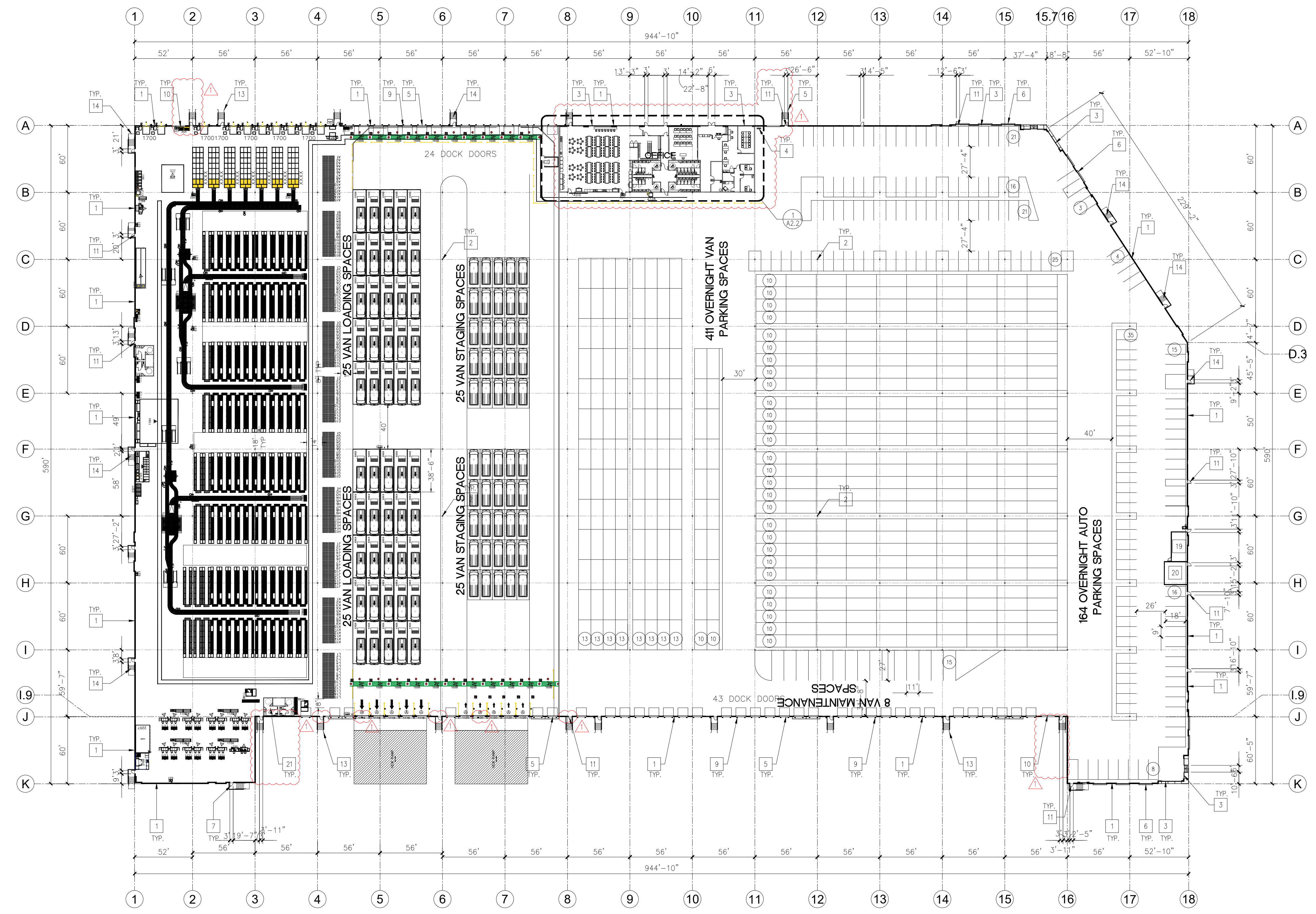
DAB.A2.1

KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 INTERIOR BIKE RACK
- 5 9' X 10' TRUCK DOOR. SECTIONAL O.H. STANDARD GRADE.
- 6 METAL CANOPY
- 7 5'6" X 5'6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOM FINISH.
- 8 DOCK LEVELER
- 9 DOCK DOOR BUMPER
- 10 12' X 14' GRADE LEVEL DOOR. SECTIONAL O.H. STANDARD GRADE.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR
- 12 SOFFIT LINE ABOVE
- 13 CONCRETE FIELD GUARD POST. 5" DIA. U.N.O. 42".
- 14 EXTERIOR STAIR
- 15 4' X 8' METAL LOUVER
- 16 INTERIOR ROOF DRAIN AND OVERFLOW DRAIN.
- 17 EXTERIOR METAL DOWNSPOUT WITH OVERFLOW SCUPPER
- 18 Z-GUARD DOCK DOOR PROTECTION

GENERAL NOTES

- 1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' +/- . A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH CBC TABLE 910.3
- 2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- 3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- 4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER
- 5. THE BUILDING FLOOR SLAB IS FLAT/LOPED. SEE CIVIL.
- 6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOCOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- 7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- 8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRID LINE, OR FACE OF STUD U.N.O.
- 9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- 10. FOR DOOR TYPES AND SIZES. SEE DETAIL SHEET AS 1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- 11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- 12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
- 13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- 14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
- 15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- 16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6
- 17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE.



OVERALL FLOOR PLAN

1"=50'-0" 1

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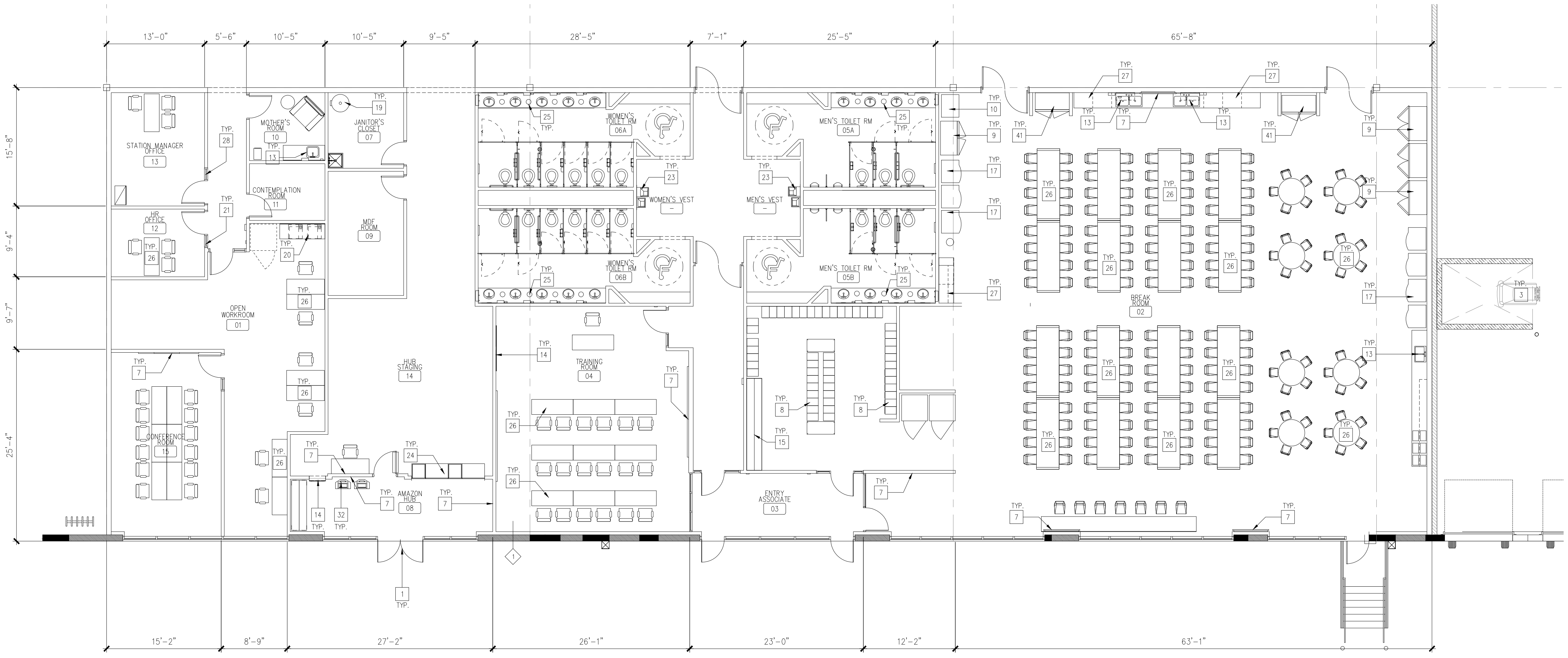
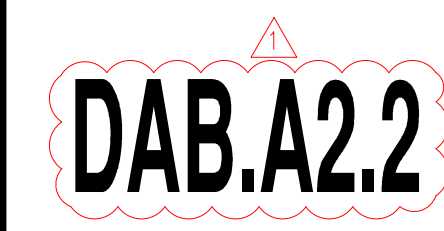
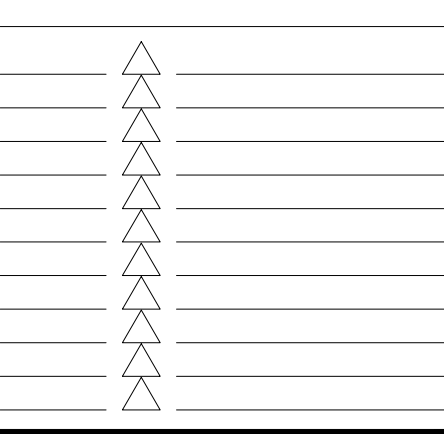
Division

ENLARGED CORE PLAN

DSJ6
2701 WEST WINTON AVE
HAYWARD, CALIFORNIA 94545

PROJECT: DSJ6 HAYWARD CALIFORNIA
ADDRESS: 2701 W. WINTON AVE
FOR: BLACK CREEK GROUP
518 17TH STREET 17TH FLOOR
DENVER CO 80202

REVISION 05.05.2020



ENLARGED FLOOR PLAN

1/8" = 1'-0" 1

KEYNOTES

- 1 ENTRANCE EGRESS DOORS AS REQUIRED JURISDICTION HAVING AUTHORITY. REPLACE EXISTING MAN ENTRY DOORS WITH DOUBLE STOREFRONT ALUM. DOOR IF IT IS A SINGLE ENTRY DOOR.
2 BOLLARDS, G.C. TO PAINT P-9 REF: 6/A1.7
3 SCRUBBER DUMP, HOSE BIBB TO BE PROVIDED. REF: 1.2 & 4/A1.7
4 ROOM SIGNAGE BY AMZL STARTUP.
5 MILLWORK W/ CABINETS AND SINK PROVIDED/INSTALLED BY G.C. REF: 3 & 4/A1.3 FOR ELEVATIONS.
6 PLANS HOLDER, G.C. RESPONSIBLE FOR INSTALLATION. PRINTS OF FINAL AS-BUILT DRAWINGS AND LABELING. REF: 4/A1.1A FINAL PLACEMENT TO BE DETERMINED BY AMAZON REPRESENTATIVE.
7 WALL MOUNTED TV AT A.F.F TO BE SUPPLIED INSTALLED BY TENANT. PROVIDE BACKING IN WALL FOR UNIT ATTACHMENT. SEE DETAIL 14/A1.3
8 ACCESSIBLE EMPLOYEE LOCKERS TO BE PROVIDED AND INSTALLED BY AMZL. LOCATE PER AMZL APPROVED COMPOSITE LAYOUT.
9 DOUBLE DOOR REACH-IN COOLER, IMBERA VRD43. SEE AMZL 2019 DELIVERY STATION DESIGN GUIDANCE FOR CUT SHEET. (3 TOTAL)
10 FLOOR MOUNTED BASELINE ICE MACHINE BY ICE-O-MATIC ICE0600FA-B40PS (UPGRADED VERSION: ICE-O-MATIC ICE1600FA-C340130). SEE AMZL 2019 DELIVERY STATION DESIGN GUIDANCE FOR CUT SHEET. PROVIDE FLOOR SINK. REF: PLUMBING DRAWINGS.
11 COFFEE VENDING MACHINE W/ WATER LINE. SEE AMZL 2019 DELIVERY STATION DESIGN GUIDANCE FOR CUT SHEET.
12 TOILET ROOM FACILITIES SHOWN PER AMZL 2019 DELIVERY STATION DESIGN GUIDANCE. FOR REQUIRED ACCESSORIES REF: TOILET ROOM ACCESSORY SCHEDULE & PLUMBING DRAWINGS.
13 DROP-IN SINK IN BREAK AREAS AND MOTHER'S ROOM. UNDER SINKS IN TOILET ROOMS REF: PLUMBING DRAWINGS.
14 TIME CLOCK (5 REQUIRED) W/ BULLETIN BOARDS.
15 GLOBAL INDUSTRIAL FREE STANDING ADA LOCKER ROOM BENCH 42"W X 20"D X 17 1/4" H (MODEL #79F269885) PROVIDED AND INSTALLED BY G.C. (QTY 1)
16 AREA FOR FUTURE ERC COUNTERTOP WITH DIVIDE.
17 VENDING MACHINES. (4) TOTAL (SNACK, FOOD, AND BEVERAGE) PROVIDED BY CLIENT.
18 WATER COOLER TO BE PROVIDED AND INSTALLED BY G.C. REF: PLUMBING DRAWINGS.
19 JANITOR'S CLOSET TO INCLUDE FLOOR MOUNTED WATER HEATER, MOP SINK AND FAUCET. REF: PLUMBING DRAWINGS.
20 MILLWORK PROVIDE AND INSTALLED BY G.C. TO PROVIDE POWER FOR PRINTER STATION. SEE DETAIL 2/A1.3.
21 PROVIDE WINDOW TREATMENT FOR SIDLIGHT AT HR OFFICE & OPEN OFFICE / WAREHOUSE DOORS. SEE MATERIAL SCHEDULE ON A1.2.
22 AREA SHOWN DASHED DENOTED AS 'GAME AREA'. APPROX. 200-300 SF.
23 PROVIDE HILO DRINKING FOUNTAIN. REF: PLUMBING DRAWINGS.
24 PHONE BOOTH. PREFABRICATED UNIT AS MANUFACTURED BY ROOM ONE.
25 WASTE CHUTE. REF: SHEET A1.4.
26 TABLES AND CHAIRS PROVIDED BY AMZL.
27 MICROWAVES. (12) TOTAL PROVIDED/INSTALLED BY AMZL.
28 PROVIDE 6'-0" X 3'-2" CLEAR ANODIZED GLAZING HOLLOW METAL (16GA) WELDED FRAME WITH 1/4" TEMPERED GLAZING FRO STATION MANAGER WINDOW.
29 PICK UP LOCKERS PROVIDED BY CLIENT. REF: ELECTRICAL DRAWINGS. CONFIRM DIMENSIONS CLEARANCES.
30 PASS THRU WINDOW. HEIGHT AND WIDTH TO BE PROVIDED BY AMZL.
31 WALL MOUNTED T.V. PROVIDED & INSTALLED BY CLIENT. G.C. TO PROVIDE BACKING IN WALL FOR MOUNTING. REF: ELECTRICAL DRAWINGS.
32 CHECK-IN KIOSK PROVIDED & INSTALLED BY CLIENT. REF: ELECTRICAL DRAWINGS.
33 MILLWORK PROVIDED BY AMZL.
34 DESK AND CHAIRS PROVIDED AND INSTALLED BY AMZL.
35 MANUALLY OPERATED PULL-DOWN PROJECTOR SCREEN ABOVE PROVIDED AND INSTALLED BY AMZL.
36 G.C. TO PROVIDE (4) 13 GA TIE WIRES FROM ROOF STRUCTURE DOWN TO SUSPENDED CEILING FOR AMZL PROVIDED PROVIDED CEILING MOUNT PROJECTOR.
37 TEMPERED GLASS WHITE BOARD WITH 12'-0" CHAIRS RAIL, CR-1, 8'-0" S.S. MARKER TRAY WITH 12'-0" BELOW. REF: 5/A1.3 & 7/A1.3.
38 RESTROOM SIGNAGE. REF: SG-4.0
39 GLOBAL INDUSTRIAL LOCK BENCH 120"W X 9'-5" D X 14"H (MODEL #79F183676) PROVIDED AND INSTALLED BY G.C. (QTY 1)
40 GARMENTS RACKS, SUPPLIED/ INSTALLED BY AMZL.
41 27" TALL UNDER COUNTER REFRIGERATOR (STAPLES ITEM #: 1600295) PROVIDED AND INSTALLED BY G.C. (QTY 1)
42 ALL WALLS AT TRAINING ROOM TO RECEIVED CHAIR RAIL, CR-1, REF: 6/A1.3 EXCEPT ATE WHITE BOARD, REF: 6/A1.3.
43 PROVIDE WALL GLAZING SYSTEMS AND SIDE LIGHT AS DIRECTED BY AMZL.

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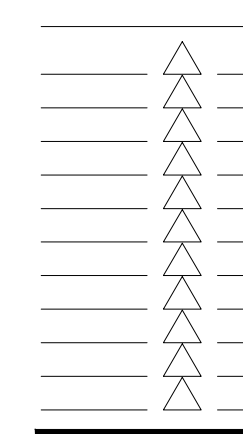
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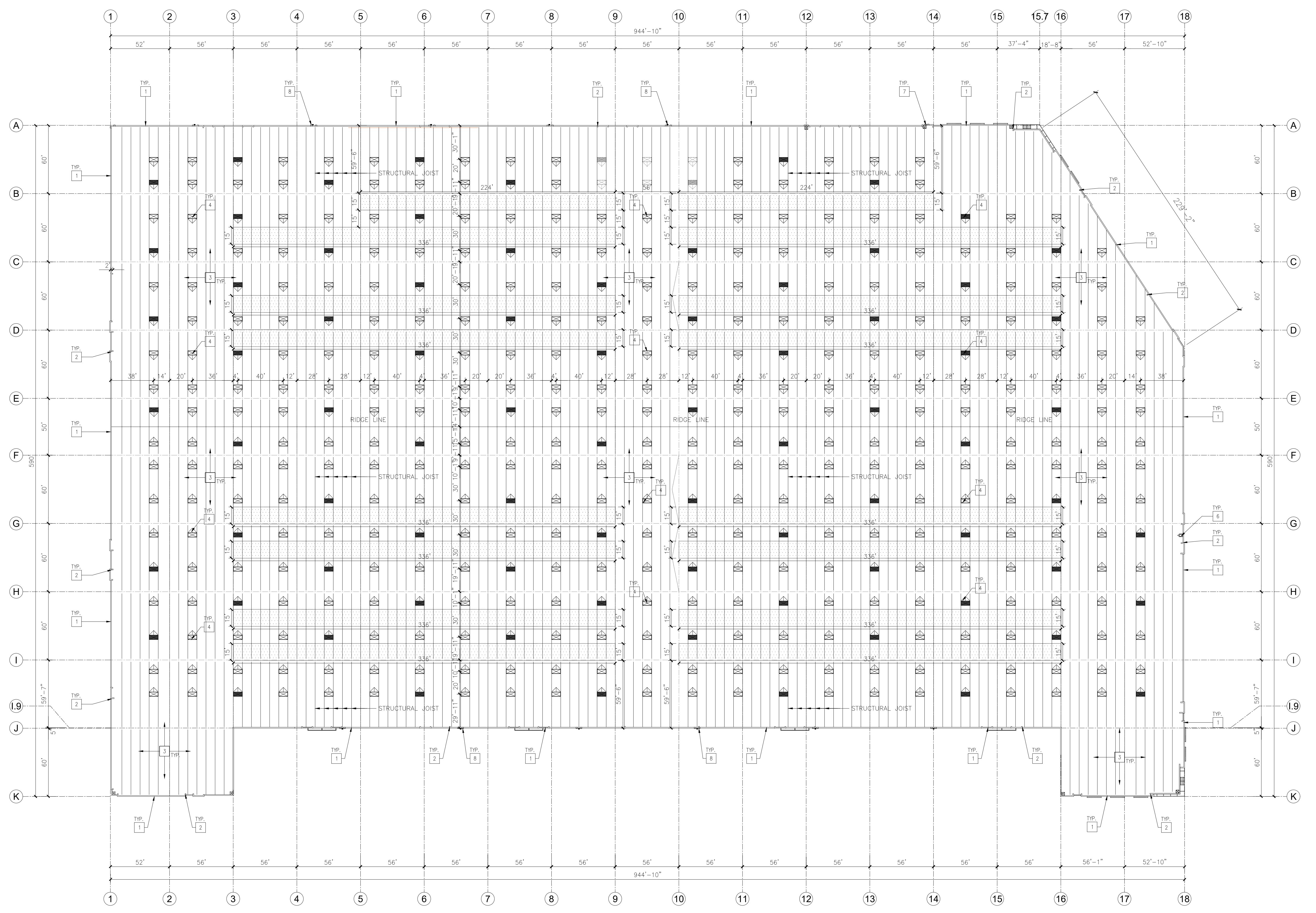
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HAYWARD, CALIFORNIA  
94545

PROJECT:  
**DSJ6**  
HAYWARD CALIFORNIA  
ADDRESS:  
2701 W. WINTON AVE  
FOR:  
BLACK CREEK GROUP  
518 17TH STREET 17TH FLOOR  
DENVER CO 80202

Project Number: 2019-020  
Plan Check Number: PC 8.0000.0000



**DAB.A2.10**



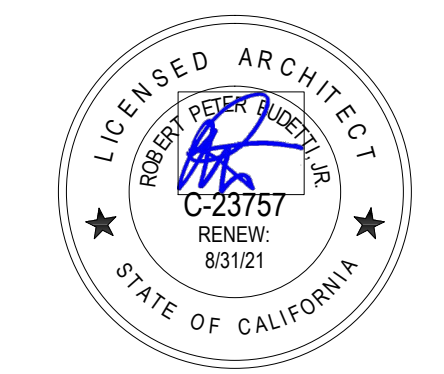
**OVERALL ROOF PLAN** 1/4"=1'-0" 1

KEYNOTES	
1	CONCRETE PARAPET. SEE "S" DRAWINGS FOR THICKNESS.
2	PARAPET RETURN. FINISHED DURING CONSTRUCTION PER CITY.
3	60 MIL TPO ROOFING OVER DENSE DECK OVER ROOF SHEATHING.
4	4' X 8' SKYLIGHT
5	EXHAUST FAN
6	ROOF HATCH
7	INTERIOR ROOF DRAIN WITH 2 OVERFLOW SCUPPERS.
8	ROOF ADDRESS PAINTED BLACK 4" HIGH W/ 1" WIDE STROKE PER LETTER. ADDRESSING WILL BE PROVIDED PER JURISDICTIONS REQUIREMENTS PAINT SHALL BE LATEX.
9	A/C UNIT. SEE "M" DRAWINGS. PROVIDE SUPPORT □ ROOF AS REQUIRED.
10	NOT USED.
11	EXTERIOR DOWNSPOUT / SCUPPERS.
12	WATER COOLERS. F/OI/FIT: G-C TO PROVIDE 1/2" WATERLINE. 3/8" O.D. DISCONNECT AND 120V GFI OUTLET AT ALL LOCATIONS. FINAL NUMBER AND LOCATIONS TBD.
13	ICE MACHINE. F/OI/FIT: G-C TO PROVIDE ALL REQUIRED POWER. WATERLINE W/ SHUT OFF VALVE AND FLOOR DRAIN. COORD. W/ MANUF.
14	COFFEE VENDING MACHINE. F/OI/FIT: G-C TO PROVIDE ALL REQUIRED POWER AND WATER LINE W/ SHUT OFF VALVE. COORD. W/ MANUFACTURER.
15	RECESSED WALL MOUNTED TELEVISION. F/OI/FIT: G-C. TO PROVIDE ALL REQUIRED POWER. DATA CONDUIT. PULL STRING. AND IN-WALL BLOCKING.

ROOF PLAN GENERAL NOTES	
A.	ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, GRIDLINE, OR FACE OF STUD. (U.N.C.)
B.	VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT.).
C.	REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
D.	CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
E.	FOR TYP. ROOF PENETRATIONS, SEE DETAIL 6.7.8.A/D.3 CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS
F.	CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
G.	NOT USED.
H.	ALL SKYLIGHTS TO BE DESIGNED PER REQUIRED WINDLOAD RESISTANCE. EXPOSURE "C" W/ STRONGER FRAMES, SUPPORTS AND DOMES. MANUFACTURER TO CONFIRM IN WRITING.
I.	ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 8" DIA. SEE "P" DRAWINGS FOR EXACT SIZE.
J.	NOT USED.
K.	PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/2" PER FOOT (MIN).
L.	TPO 60ML REINFORCED MECHANICALLY FASTENED ROOFING. DESIGNED PER WINDLOAD AND TO BE ALL CLASS A ROOF. 140 UPLIFT RATING. ROOFING WRAPS SHALL BE SEALED UNDER COPING.
M.	ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS. PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY MUTUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.
N.	ALL SKYLIGHTS TO BE PLACED A MIN. OF 18" FROM INSIDE FACE OF PARAPET.
O.	BASE FLASHING SHALL BE TWO PILES AND CAP WITH 18" SBS AT PANEL JOINTS.
P.	ROOF DRAINS, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODES FOR TESTING DRAIN, WASTE AND VENT SYSTEMS
Q.	ROOF DRAINS, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
R.	MANUFACTURED ROOF DRAINS AND OVERFLOWS (FITURES) SHALL BE IAPMO LISTED
S.	PROVIDE WHITE SCUM FOL INSULATION IN THE WAREHOUSE. FOL INSULATION SHALL BE CUT BACK TO EXPOSE HANGER AND ALLOW VENTING TO OCCUR.

ROOF LEGEND	
	4' X 8' DOUBLE DOME CURB MOUNTED FIXED SKYLIGHTS
	BUILDING PARAPET LINE
	EXTERIOR METAL DOWNSPOUT W/ OVERFLOW SCUPPER
	INTERIOR ROOF DRAIN W/ OVERFLOW SCUPPER

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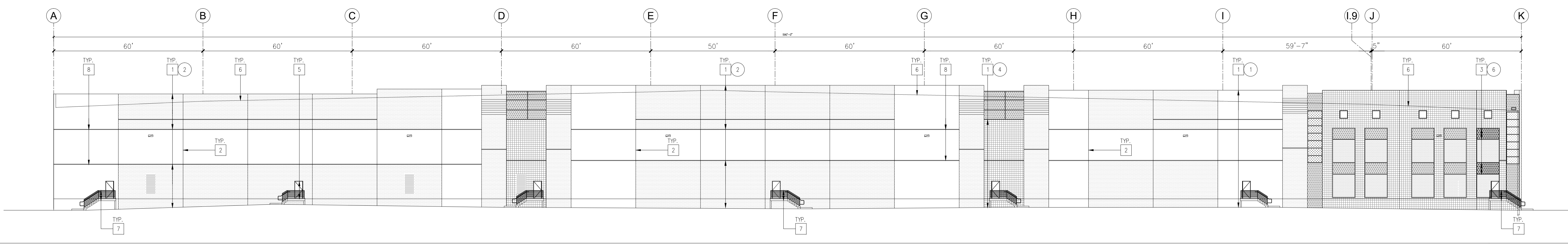
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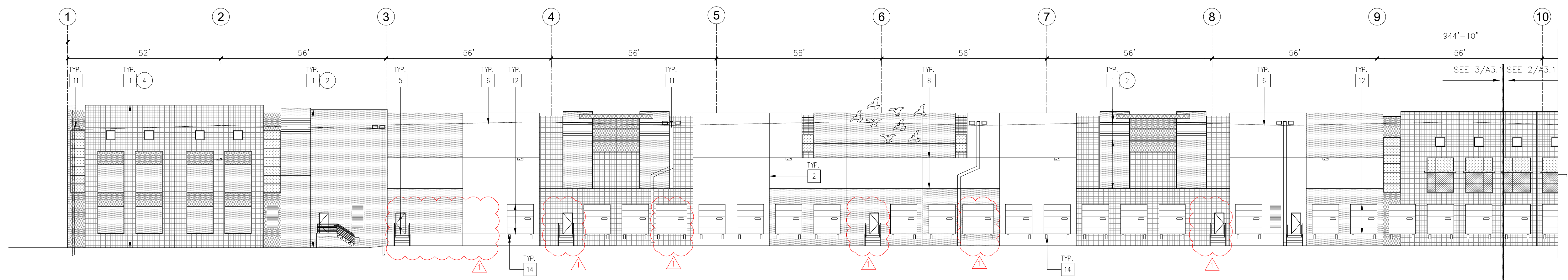
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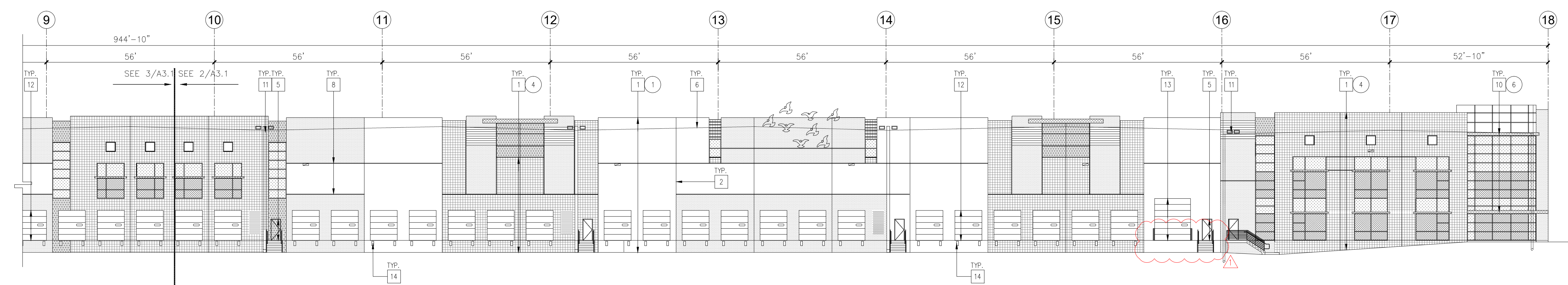
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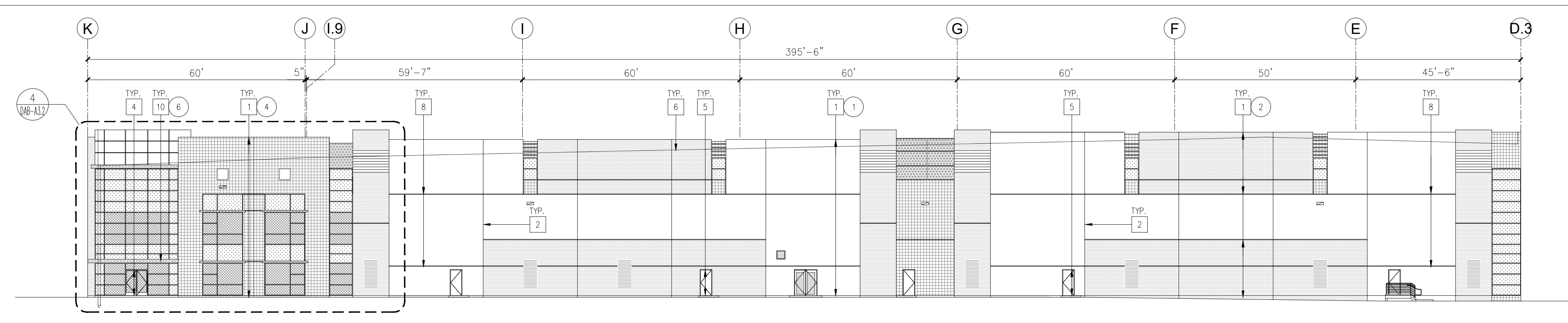
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**WEST ELEVATION** 1"=20'-0" 1



**WEST ELEVATION (CONT.)** 1"=20'-0" 1



**SOUTH ELEVATION** 1"=20'-0" 1

**GENERAL NOTES**

- ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- T.O.P. EL. TOP OF PARAPET ELEVATION.
- F.F. FINISH FLOOR ELEVATION.
- STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED, EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR U.N.O.
- CHANGE IN PAINT COLOR OCCURS AT BACK OF REVEAL TYP. U.N.O.
- CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT, ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- FOR SPANDREL GLAZING: ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- EXTERIOR STAIRS: RAMPS AND RAILING TO MATCH BUILDING COLOR.
- ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

**KEYNOTES**

- TILT UP CONCRETE PANEL PAINT PER LEGEND TYP.
- PANEL JOINT TYP.
- CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM TYP.
- ALUMINUM DOOR TO MATCH STOREFRONT SYSTEM TYP.
- HOLLOW METAL DOOR FRAME TYP. PAINT TO MATCH ADJACENT WALLS
- LINE OF ROOF BEYOND
- EXTERIOR CONCRETE STAIR.
- 3/4" V GROOVE REVEAL
- NOT USED
- ENTRY CANOPY
- PRE-FINISHED METAL SCUPPER
- 9' X 10' DOCK DOOR: SECTIONAL O.H.: STANDARD GRADE.
- 12' X 14' DOCK DOOR: SECTIONAL O.H.
- DOCK BUMPER.

**ELEVATION COLOR LEGEND/SCHED.**

1	CONCRETE TILT-UP PANEL	SHERWIN WILLIAMS SW 6385 DOVER WHITE
2	CONCRETE TILT-UP PANEL	SHERWIN WILLIAMS SW 7653 SILVERPOINTE
3	CONCRETE TILT-UP PANEL	SHERWIN WILLIAMS SW 7660 EARL GREY
4	CONCRETE TILT-UP PANEL	SHERWIN WILLIAMS SW 7733 BAMBOO SHOOT
5	CONCRETE TILT-UP PANEL	SHERWIN WILLIAMS SW 7734 OLIVE GROVE
6	METAL CANOPY	SHERWIN WILLIAMS SW 7006 METALIC EXTRA WHITE
7	MULLIONS	CLEAR ANODIZED
8	GLAZING	MED. PERFORMANCE BLUE

**GLAZING LEGEND**

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

IV	INSULATED VISION GLASS	SPANDREL GLASS WITH CONCRETE BEHIND
V	SINGLE LITE VISION GLASS	SPANDREL GLASS

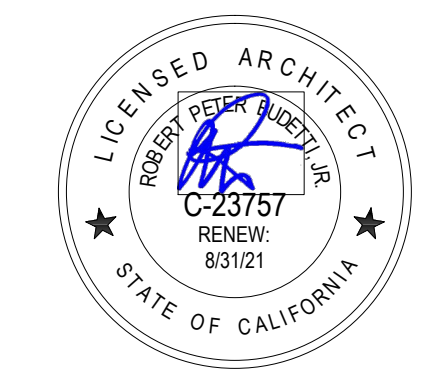
IV: INSULATED VISION GLASS  
1/4" ATLANTICA + 1/4" SUNGATE 400 CLEAR  
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES  
U: 0.27 SHGC: 0.35 VLT: 58%  
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B

SC: SPANDREL WITH CONCRETE BEHIND  
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE, INSTALLED ON CONCRETE.

V: VISION GLASS  
1/4" ATLANTICA

S: SPANDREL  
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE, INSTALLED ON OPENINGS.

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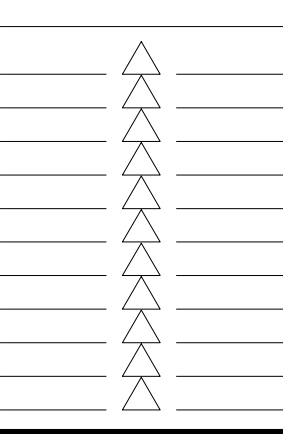


**ELEVATION**

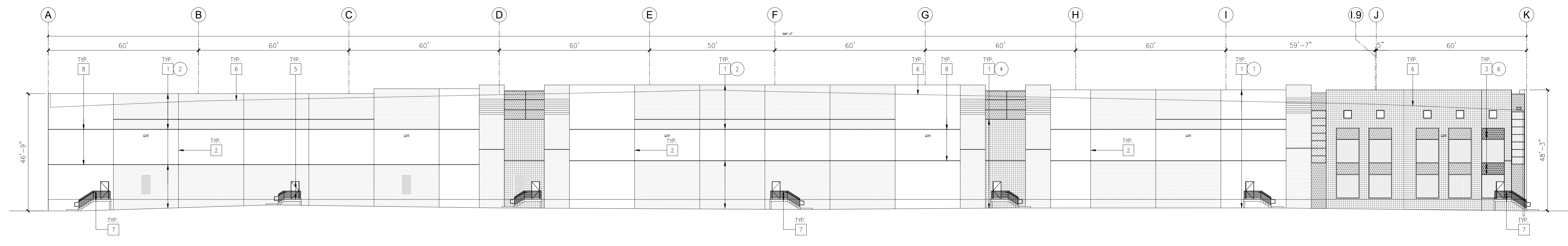
**DSJ6**  
2701 WEST WINTON AVE  
HAYWARD, CALIFORNIA  
94545

PROJECT:  
**DSJ6**  
HAYWARD CALIFORNIA  
ADDRESS: 2701 W. WINTON AVE  
FOR: BLACK CREEK GROUP  
518 17TH STREET 17TH FLOOR  
DENVER CO 80202

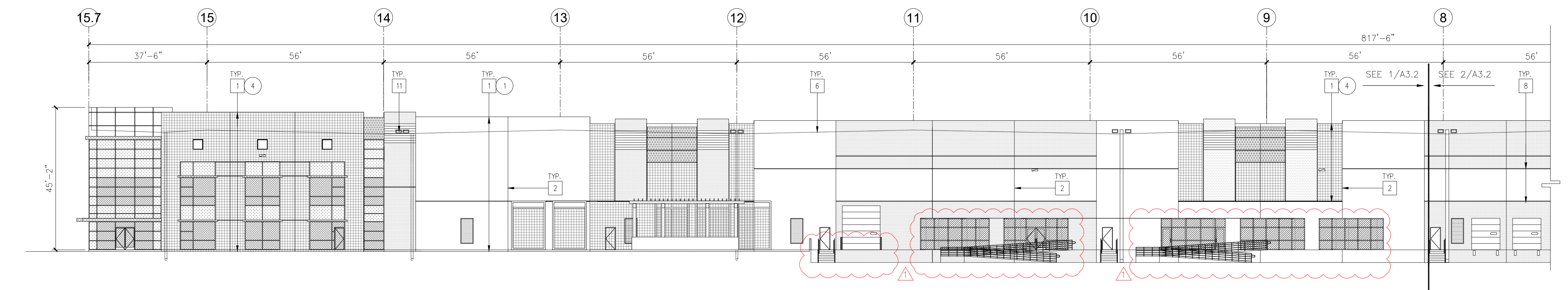
Project Number: 2019-020  
Plan Check Number: PC 810000000  
REVISION: 06-08-2020



**DAB.A3.2**



**SOUTHEAST ELEVATION** 1"=20'-0" 1



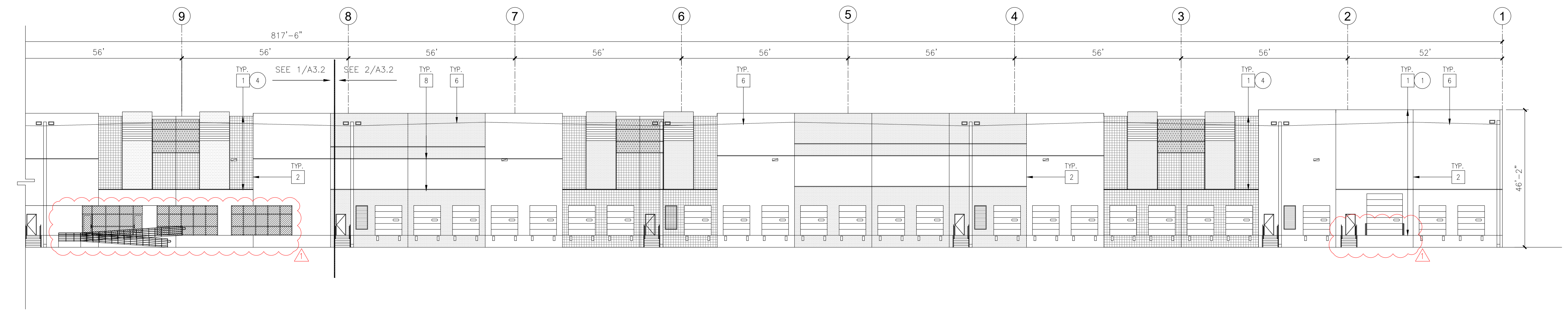
**EAST ELEVATION** 1"=20'-0" 2

**GENERAL NOTES**

- 1 ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- 2 ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- 3 T.O.P. EL. TOP OF PARAPET ELEVATION.
- 4 F.F. FINISH FLOOR ELEVATION.
- 5 STOREFRONT CONSTRUCTION GLASS METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED. EXPOSURE 'C' WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- 6 ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR U.N.O.
- 7 CHANGE IN PAINT COLOR OCCURS AT BACK OF REVEAL TYP. U.N.O.
- 8 CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- 9 BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- 10 FOR SPANDREL GLAZING ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- 11 EXTERIOR STAIRS/RAMP AND RAILING TO MATCH BUILDING COLOR.
- 12 ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

**KEYNOTES**

- 1 TILT UP CONCRETE PANEL PAINT PER LEGEND TYP.
- 2 PANEL JOINT TYP.
- 3 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM TYP.
- 4 ALUMINUM DOOR TO MATCH STOREFRONT SYSTEM TYP.
- 5 HOLLOW METAL DOOR FRAME TYP. PAINT TO MATCH ADJACENT WALLS
- 6 LINE OF ROOF BEYOND
- 7 EXTERIOR CONCRETE STAIR
- 8 3/4" V GROOVE REVEAL
- 9 NOT USED
- 10 ENTRY CANOPY
- 11 PRE-FINISHED METAL SCUPPER
- 12 9' X 10' DOCK DOOR SECTIONAL O.H. STANDARD GRADE.
- 13 12' X 14' DOCK DOOR SECTIONAL O.H.
- 14 DOCK BUMPER.



**EAST ELEVATION (CONT.)** 1"=20'-0" 3

**GLAZING LEGEND**

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

	INSULATED VISION GLASS		SPANDREL GLASS WITH CONCRETE BEHIND
	SINGLE LITE VISION GLASS		SPANDREL GLASS

IV : INSULATED VISION GLASS  
1/4" ATLANTICA + 1/4" SUNGATE 400 CLEAR  
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES  
U: 0.27 SHGC: 0.35 VLT: 58%  
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B

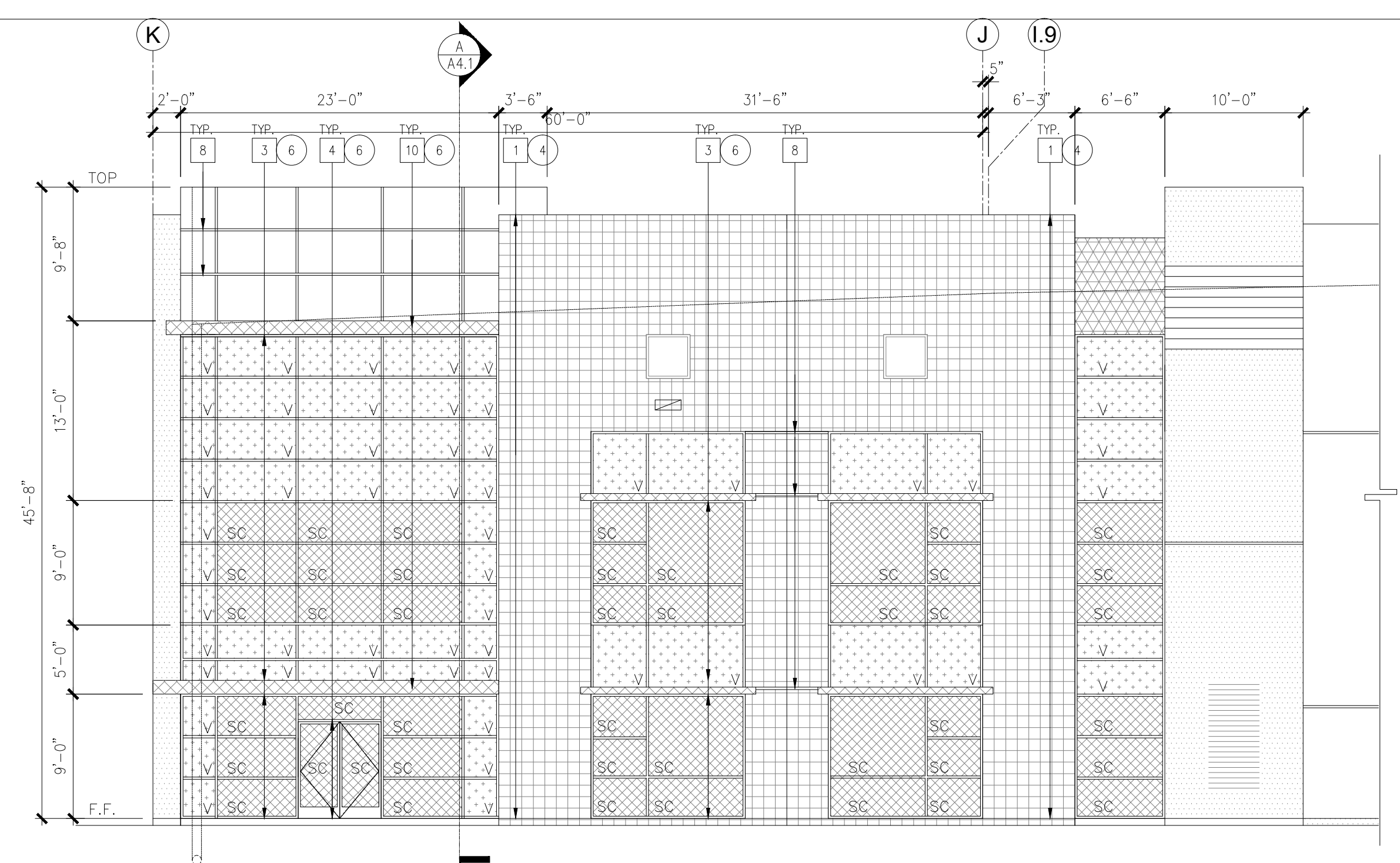
SC : SPANDREL WITH CONCRETE BEHIND  
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE.  
INSTALLED ON CONCRETE.

V : VISION GLASS  
1/4" ATLANTICA

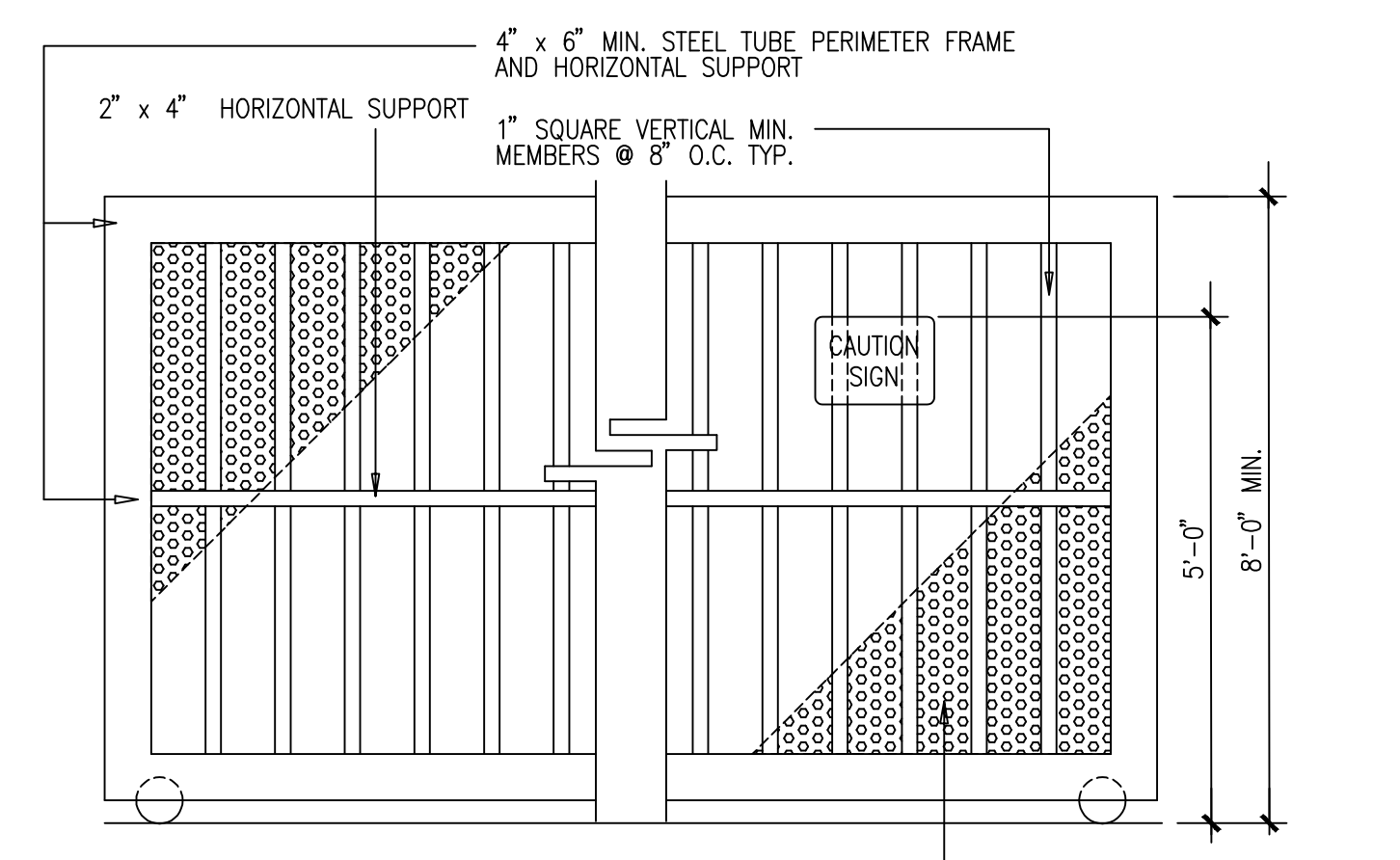
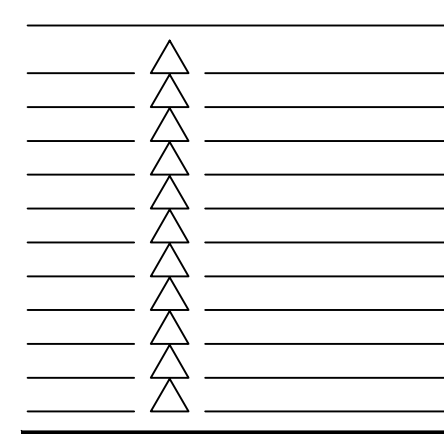
S : SPANDREL  
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE.  
INSTALLED ON OPENINGS.

**ELEVATION COLOR LEGEND/SCHED.**

- |  |  |
|--|--|
|  | 1 CONCRETE TILT-UP PANEL SHERWIN WILLIAMS SW_6385 DOVER WHITE  |
|  | 2 CONCRETE TILT-UP PANEL SHERWIN WILLIAMS SW_7653 SILVERPOINTE |
|  | 3 CONCRETE TILT-UP PANEL SHERWIN WILLIAMS SW_7660 EARL GREY    |
|  | 4 CONCRETE TILT-UP PANEL SHERWIN WILLIAMS SW_7733 BAMBOO SHOOT |
|  | 5 CONCRETE TILT-UP PANEL SHERWIN WILLIAMS SW_7734 OLIVE GROVE  |
|  | 6 METAL CANOPY SHERWIN WILLIAMS SW_7006 METALIC EXTRA WHITE    |
|  | 7 MULLIONS CLEAR ANODIZED                                      |
|  | 8 GLAZING MED. PERFORMANCE BLUE                                |

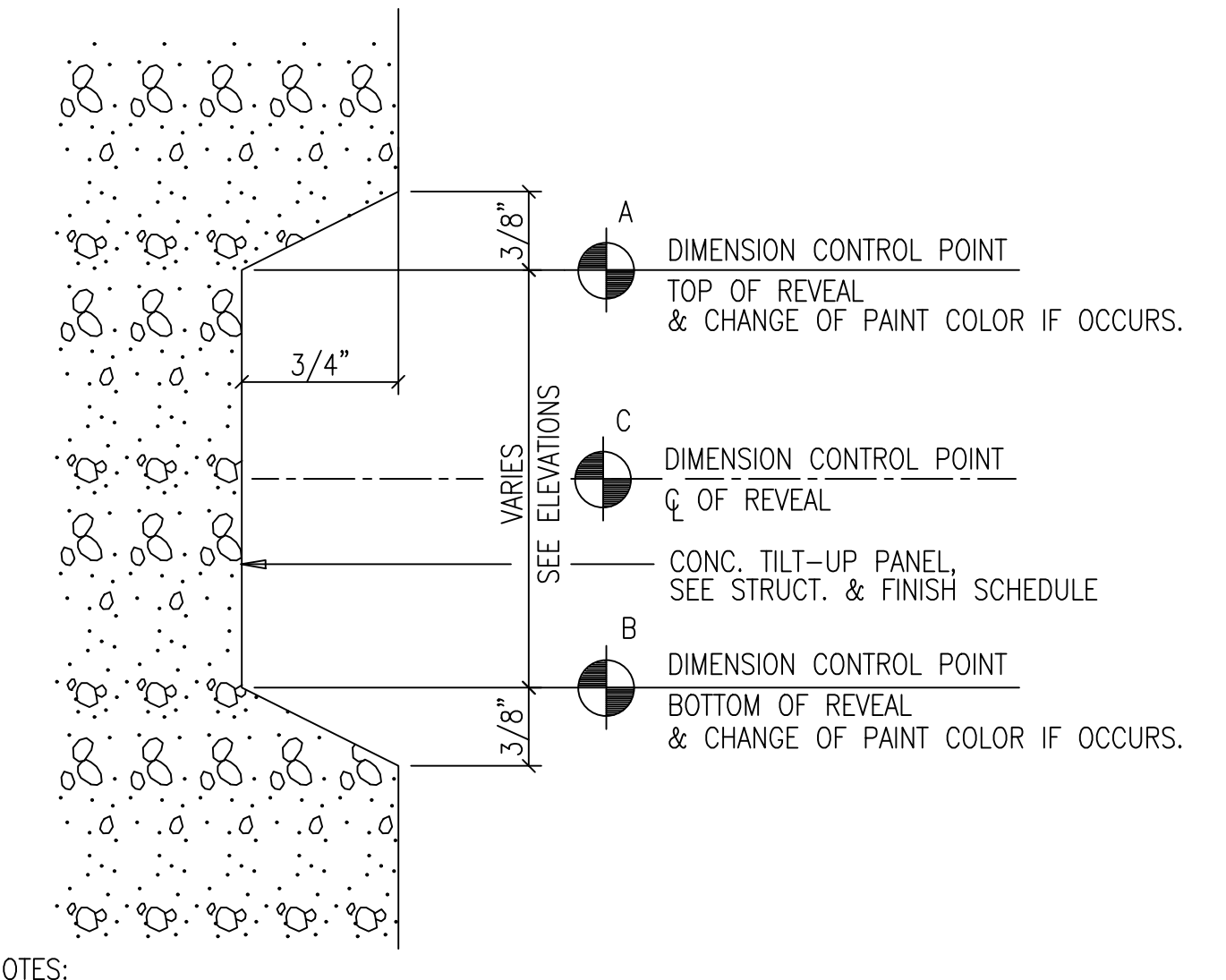


**ENLARGED SOUTH ELEVATION** 1/8"=1'-0" 4



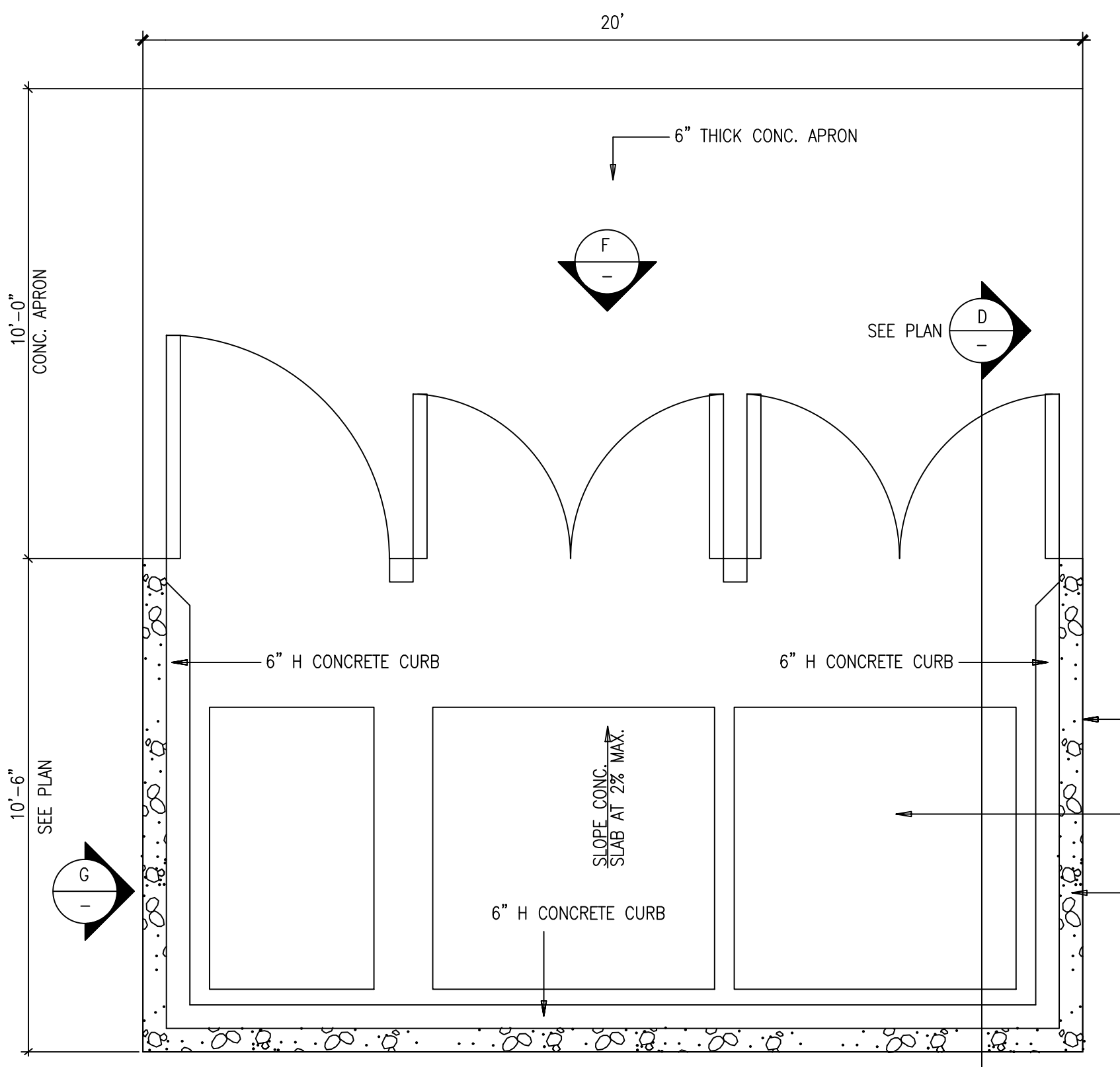
NOTES:  
1. SAND AND GRIND ALL WELDS SMOOTH. PRIME AND PAINT BLACK.  
2. SEE SCREEN WALL ELEVATION FOR HEIGHT.  
3. FOR CAUTION SIGN, SEE DETAIL 12 AND 17

**METAL GATE**  
scale: N.T.S. **C**



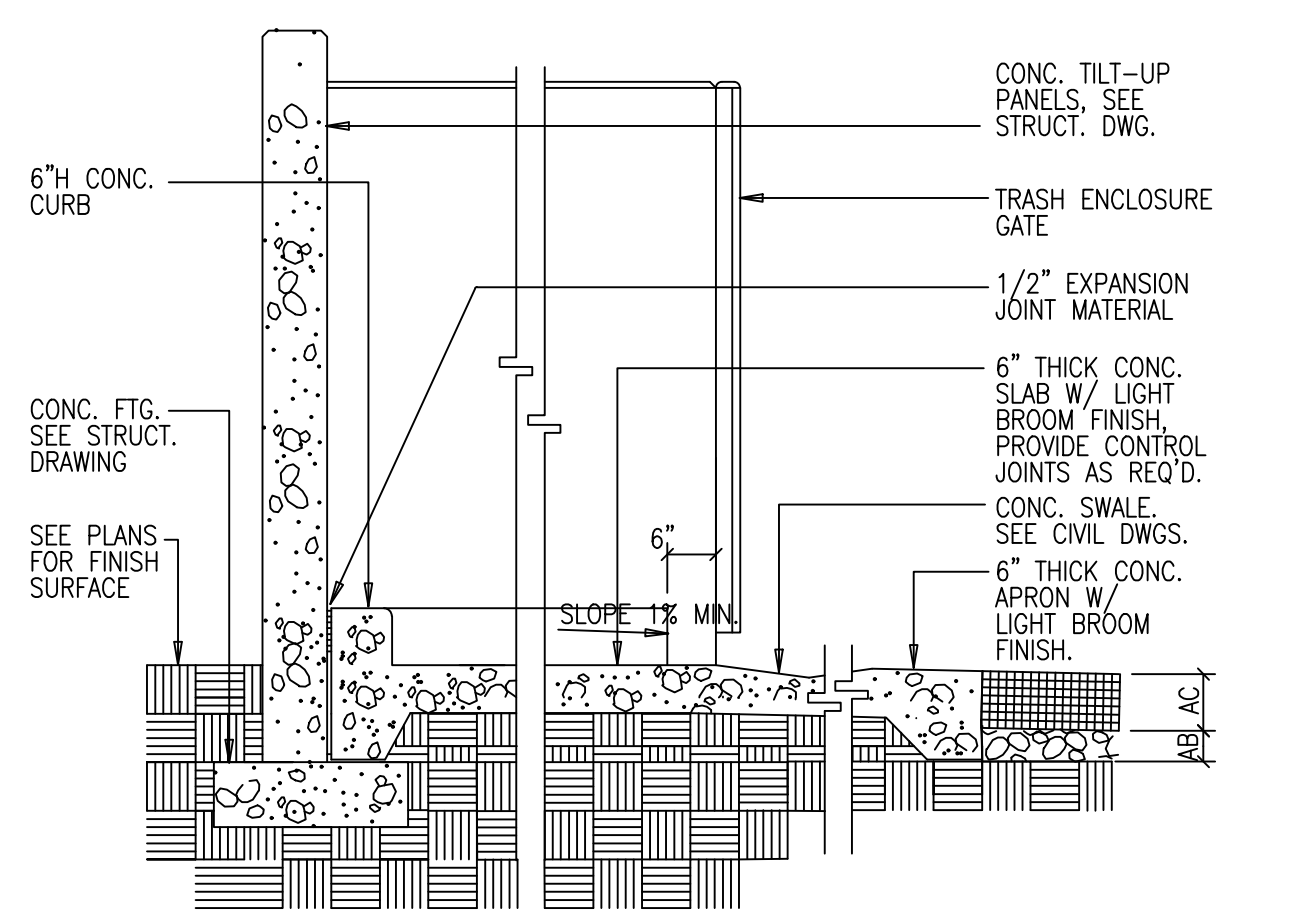
NOTES:  
1. DIMENSION CONTROL POINTS AT REVEALS AND EDGE OF CONCRETE OPENINGS WHERE OCCUR, SEE WALL SECTIONS.  
2. PAINT COLOR CHANGES TO ALWAYS OCCUR AT CONTROL POINT "A" OR "B"

**TYP. CONCRETE REVEAL**  
scale: N.T.S. **B**



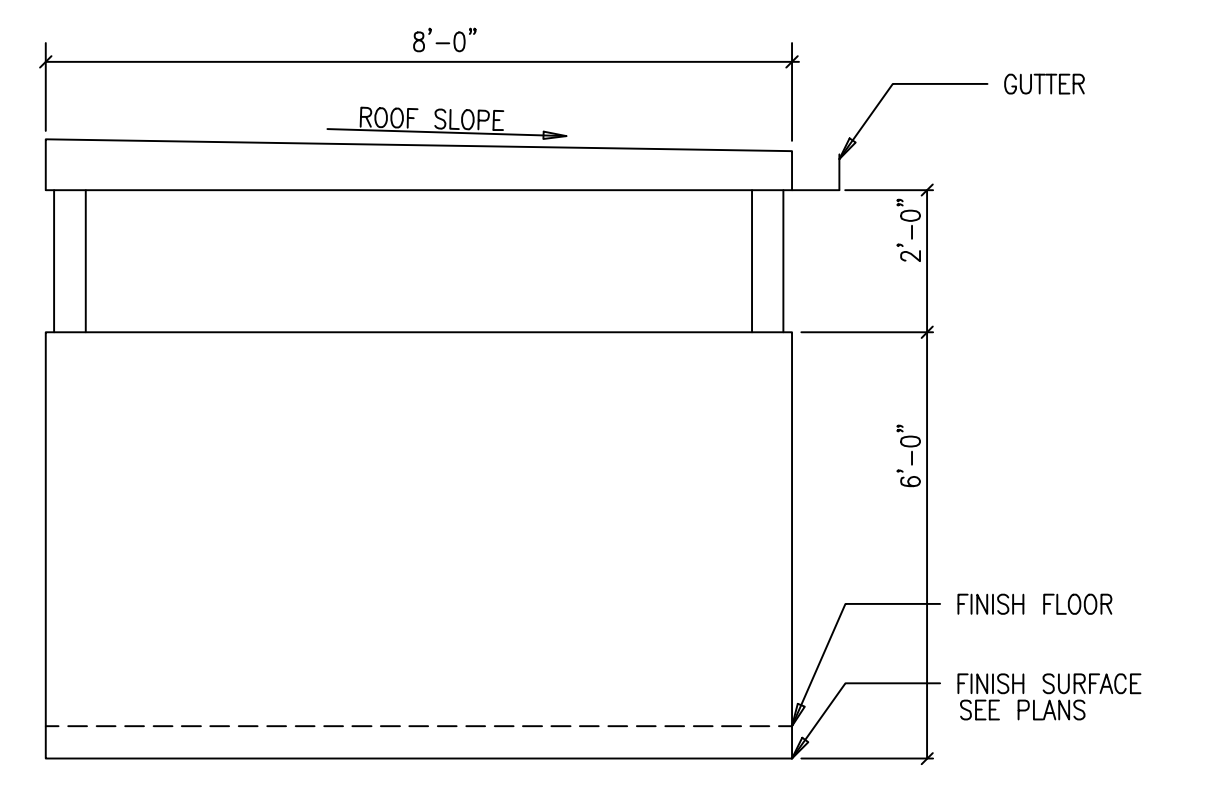
NOTES:  
1. SEE SITE PLAN FOR LOCATIONS.  
2. SEE STRUCTURAL DRAWINGS FOR STEEL REINFORCING.  
3. SACK AND PATCH ALL PANEL LIFT POINTS ON OF WALL AND PAINT TO MATCH.

**TRASH ENCLOSURE PLAN**  
scale: N.T.S. **E**

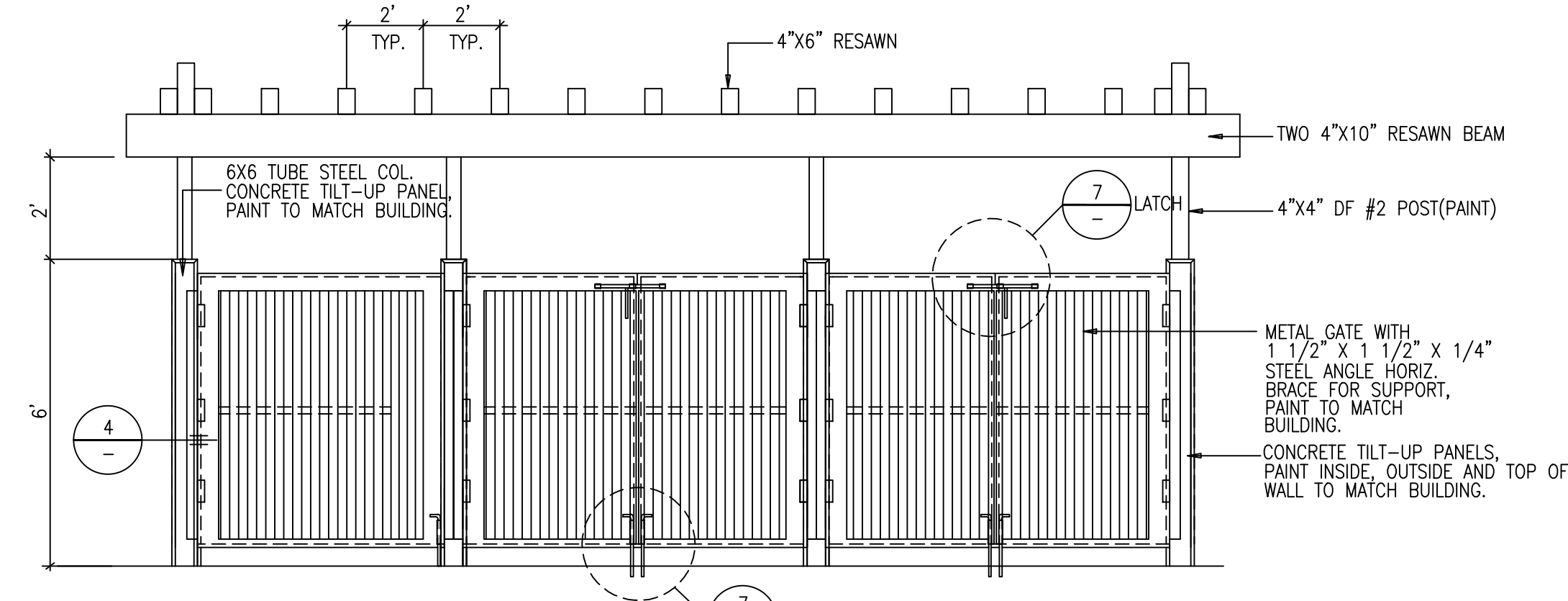


NOTES:  
1. SEE SOILS REPORT FOR BELOW SLAB PREPARATIONS AND STEEL REINFORCEMENT RECOMMENDATIONS.  
2. SEE DETAILS 2 AND 3 FOR ADDITIONAL NOTES.

**TRASH ENCLOSURE SECTION**  
scale: N.T.S. **D**

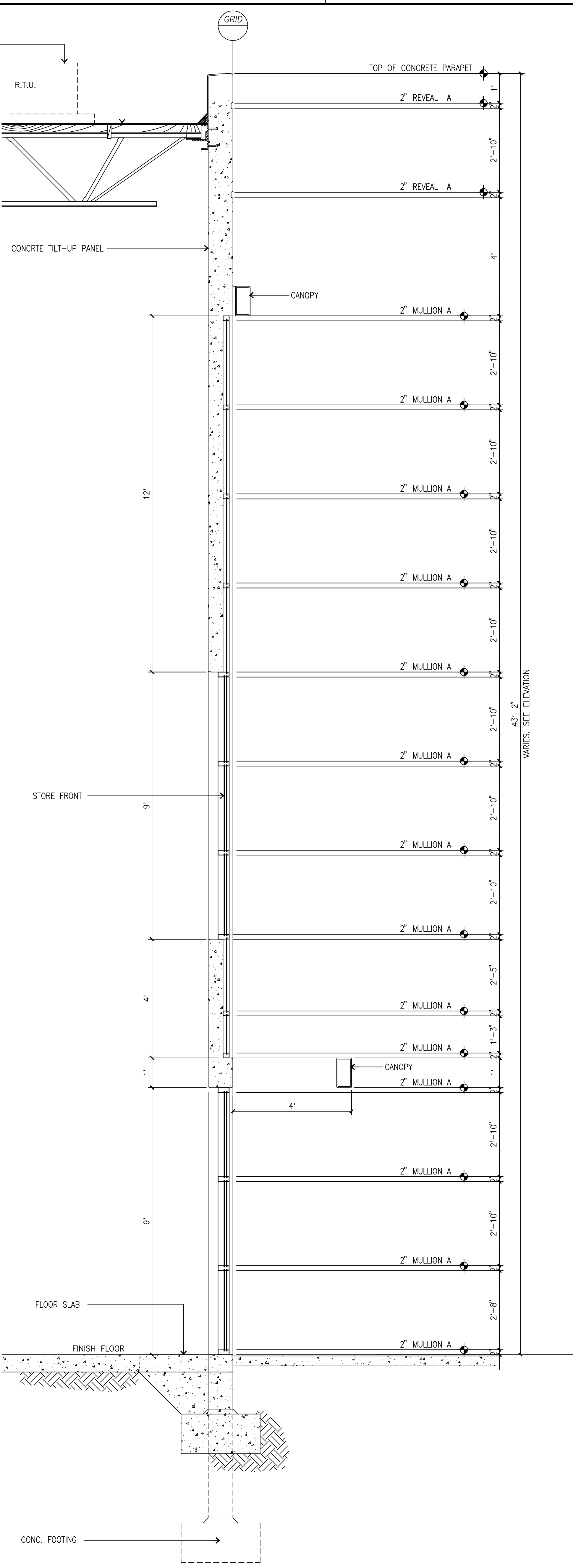


**TRASH ENCLOSURE GATE ELEVATION**  
scale: 1/2" = 1'-0" **G**



NOTES:  
1. PAINT METAL PER SPECIFICATIONS.  
2. FOR ADDITIONAL INFORMATION, SEE DETAIL 2

**TRASH ENCLOSURE GATE ELEVATION**  
scale: 1/2" = 1'-0" **F**



**WALL SECTION - WINDOWS**  
scale: 1/2" = 1'-0" **A**





**raSmith**  
CREATIVITY BEYOND ENGINEERING

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Irvine, CA 92618-4236  
(949) 872-2378  
rasmith.com

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DATE: 04/14/2020  
SCALE: AS SHOWN  
JOB NO. 3190490  
PROJECT MANAGER:  
SAMUEL J. JACOBY  
DESIGNED BY: EAR  
CHECKED BY: SJJ

**DSJ6 T.I.**  
2701 WEST WINTON AVE  
HAYWARD, CALIFORNIA  
94545

PROJECT:  
**DSJ6**  
HAYWARD CALIFORNIA  
ADDRESS:  
2701 W. WINTON AVE  
OFFICE:  
BLACK CREEK GROUP  
518 17TH STREET, 17TH FLOOR  
DENVER, CO 80202

Project Number: 2019-020  
Plan Check Number: PC # XXXXX-XXX

**ZONING INFORMATION**  
I - INDUSTRIAL

**FLOOD ZONE**  
ACCORDING TO FIRM PANEL 06001C0269H  
EFFECTIVE DATE 12/21/2018 THE BFE  
ESTABLISHED FOR THE PORTION DEPICTED  
WITHIN ONE AE IS 10'

**NRCS SOIL DATA**  
HSG D SOILS 23.41 AC  
REYES CLAY, 0 TO 2% SLOPES  
WILLOWS CLAY, DRAINED

SOIL "DEPTH TO WATER TABLE" RATING :CM  
DEPTH IS BETWEEN 168 CM AND 92 CM

**SITE CONDITIONS SUMMARY:**

**EXISTING CONDITIONS AREA SUMMARY**

PERVIOUS AREA 0.00 AC  
IMPERVIOUS AREA 0.30 AC

**PROPOSED CONDITIONS AREA SUMMARY**

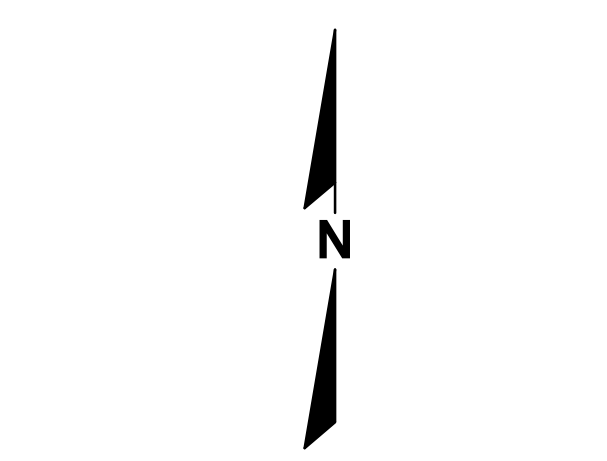
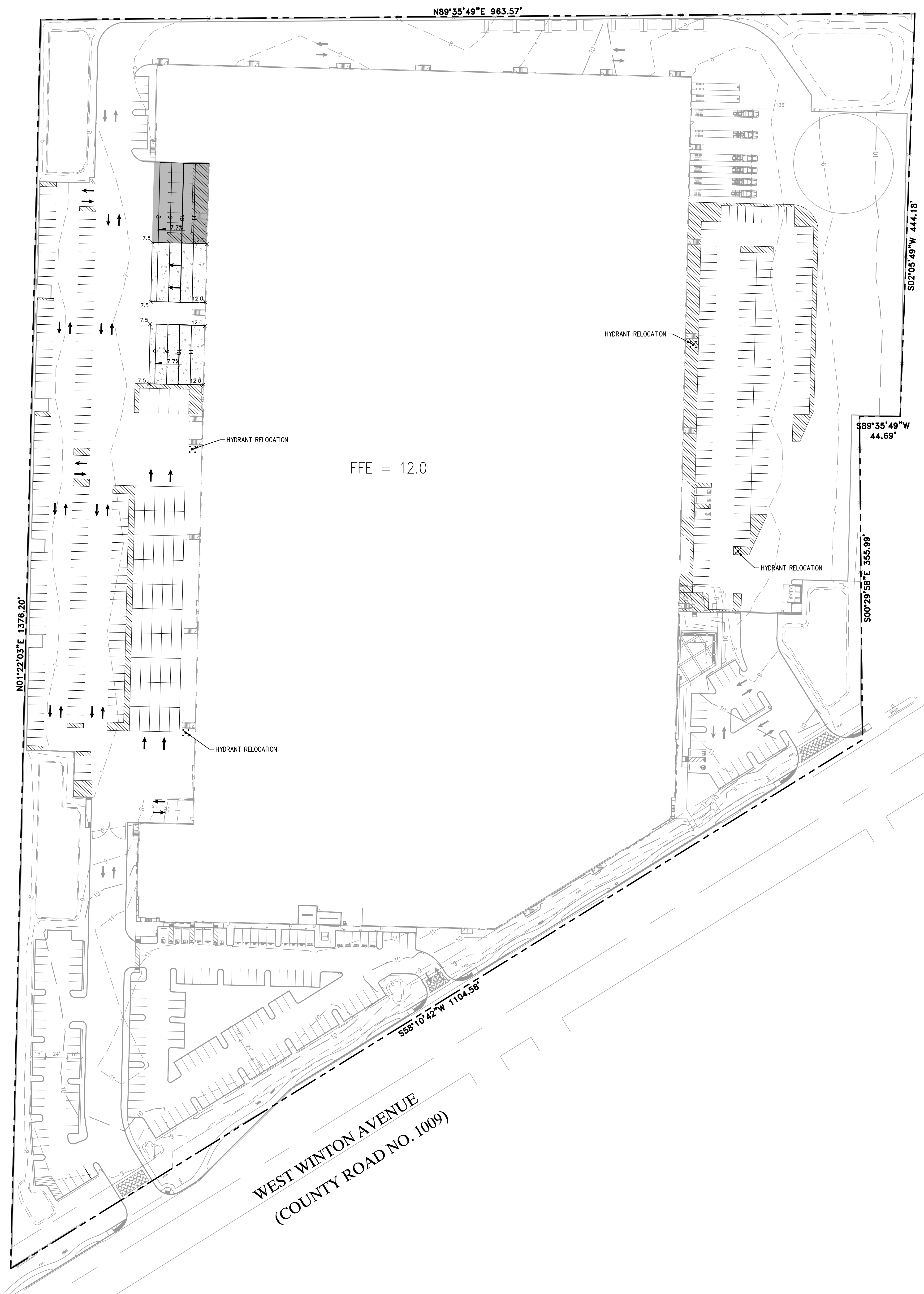
PERVIOUS AREA 0.00 AC  
IMPERVIOUS AREA 0.30 AC

**BMP NOTES**

STORMWATER TREATMENT MEASURES AND  
HYDROMODIFICATION MANAGEMENT CONTROLS AS  
APPROVED AND RECORDED WITH MAINTENANCE  
AGREEMENT DOC 2019105170 REMAIN UNCHANGED AS  
A RESULT OF THIS PROJECT.

**LEGEND:**

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED PAVEMENT STRIPING



Know what's below.  
Call before you dig.

RA SMITH ASSUMES NO RESPONSIBILITY FOR DAMAGES,  
LIABILITY OR COSTS RESULTING FROM CHANGES OR  
ALTERATIONS MADE TO THIS PLAN WITHOUT THE  
EXPRESSED WRITTEN CONSENT OF RA SMITH.  
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN  
ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER  
UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA  
THAT ARE NOT SHOWN.

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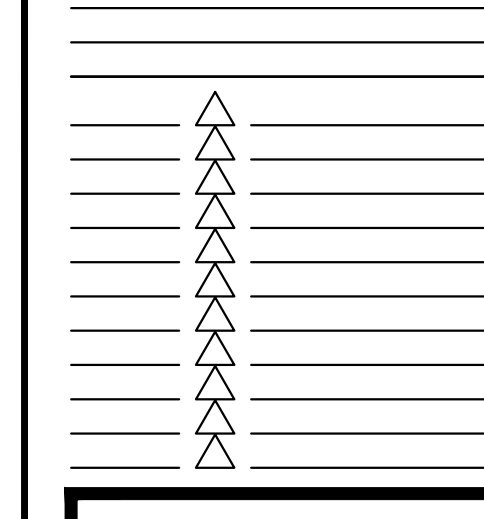


SITE PHOTOMETRIC STUDY

DSJ6 T.I. 2701 WEST WINTON AVE HAYWARD, CALIFORNIA 94545

PROJECT: DSJ6 HAYWARD CALIFORNIA ADDRESS: 2701 W. WINTON AVE

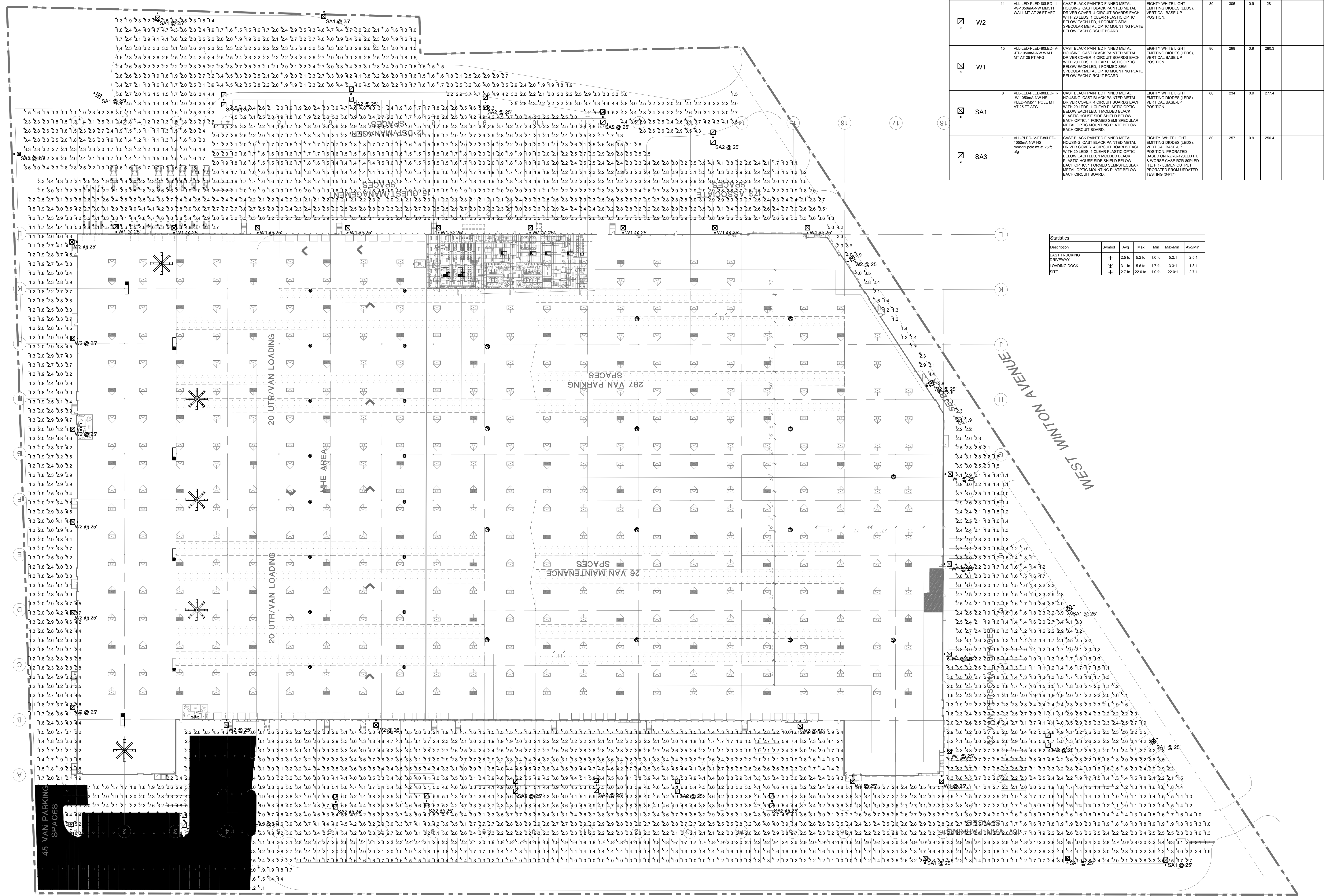
PROJECT NUMBER: 2019-020 PLAN CHECK NUMBER: PC# 20000-000



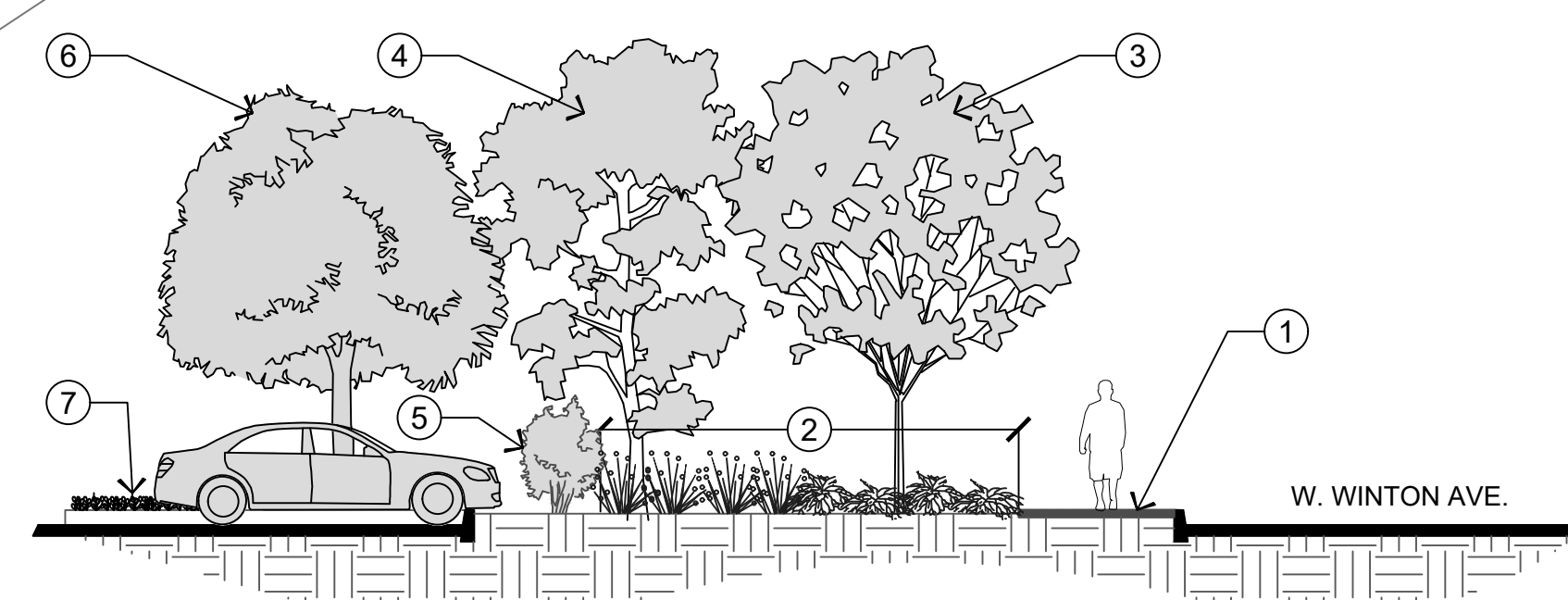
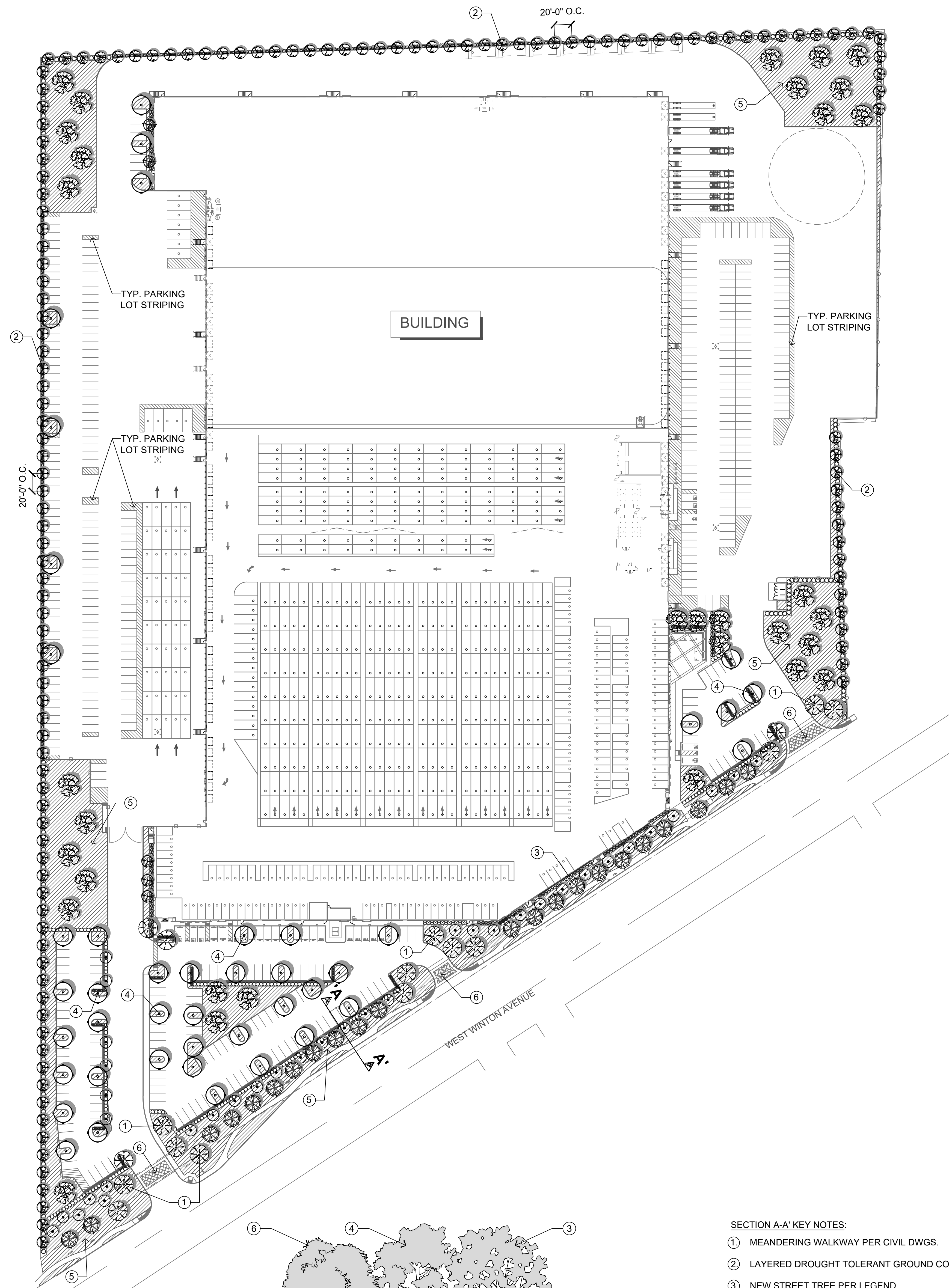
E-2.1

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LF	Wattage	Polar Plot
SA2		15	W-LED-FLED-ROLED-1000-W-1000-W-NW-MM511 POLE MT AT 25 FT AFG	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 4 CIRCUIT BOARDS EACH WITH 20 LEADS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 FORMED SEMI-SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	EIGHTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE-UP POSITION.	80	326	0.9	661.6	
W2		11	W-LED-FLED-ROLED-1000-W-1000-W-NW-MM511 WALL MT AT 25 FT AFG	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 4 CIRCUIT BOARDS EACH WITH 20 LEADS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 FORMED SEMI-SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	EIGHTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE-UP POSITION.	80	305	0.9	281	
W1		15	W-LED-FLED-ROLED-1000-W-1000-W-NW-MM511 WALL MT AT 25 FT AFG	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 4 CIRCUIT BOARDS EACH WITH 20 LEADS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 FORMED SEMI-SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	EIGHTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE-UP POSITION.	80	298	0.9	280.3	
SA1		8	W-LED-FLED-ROLED-1000-W-1000-W-NW-MM511 POLE MT AT 25 FT AFG	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 4 CIRCUIT BOARDS EACH WITH 20 LEADS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 FORMED SEMI-SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	EIGHTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE-UP POSITION.	80	234	0.9	277.4	
SA3		1	W-LED-FLED-ROLED-1000-W-1000-W-NW-MM511 POLE MT AT 25 FT AFG	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 4 CIRCUIT BOARDS EACH WITH 20 LEADS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 FORMED SEMI-SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	EIGHTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE-UP POSITION, PROTRATED BASED ON R290-100LED (FLA W/ 16 - LUMEN OUTPUT PROTRATED FROM UPDATED TESTING (0417).	80	257	0.9	256.4	

Description	Symbol	Avg	Max	Min	MaxMin	AvgMin
EAST TRACKING DRIVEWAY	+	2.5	5.2	1.0	5.2	2.5
LOADING DOCK	X	3.1	5.6	1.7	3.1	1.8
SITE	+	2.7	22.0	1.0	22.0	2.7



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SECTION 'A-A'  
SCALE: 1/8" = 1'-0"

- SECTION 'A-A' KEY NOTES:**
- 1 MEANDERING WALKWAY PER CIVIL DWGS.
  - 2 LAYERED DROUGHT TOLERANT GROUND COVER PER LEGEND.
  - 3 NEW STREET TREE PER LEGEND.
  - 4 EVERGREEN SCREEN TREE PER LEGEND.
  - 5 EVERGREEN SCREEN SHRUB PER LEGEND.
  - 6 PARKING LOT SHADE TREE PER LEGEND.
  - 7 FINGER ISLAND PLANTING PER LEGEND.

**DESIGN KEY NOTES:**

- 1 FLOWERING ACCENT TREE AT PROJECT FOCAL AREAS PER LEGEND.
- 2 REQUIRED SCREEN TREES ALONG PROPERTY LINE (20'-0" O.C.)
- 3 TYP. FOUNDATION SHRUB PER LEGEND.
- 4 BROAD CANOPY PARKING LOT SHADE TREE.
- 5 DROUGHT TOLERANT GROUND COVER AND SHRUB PLANTING PER LEGEND.
- 6 TYP. ENHANCED VEHICULAR ENTRY PAVING. COLORED GRID PATTERN CONC.

**PLANTING LEGEND**

TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	NEW STREET TREE ALONG WINTON AVE. PLATANUS ACERIFOLIA 'BLOOD GOOD', LONDON PLANE TREE 24" BOX SIZE. (40' TALL X 30' WIDE)	22	L
	PARKING LOT SHADE TREE ULMUS 'REGAL', REGAL ELM 15 GAL. SIZE. (40' TALL X 20' WIDE)	43	M
	SMALL FLOWERING ACCENT TREE LAGERSTROEMIA X 'TUSCARORA', CRAPE MYRTLE 24" BOX SIZE. LOW BRANCHING. (20' TALL X 20' WIDE)	17	L
	EVERGREEN SCREEN TREE TRISTANIA CONFERTA, BRISBANE BOX 15 GAL. SIZE. (35' TALL X 25' WIDE)	136	L
	EVERGREEN SCREEN TREE PINUS HALEPENSIS, ALEPPO PINE 15 GAL. SIZE. (50' TALL X 30' WIDE)	36	L
	VERTICAL TREE ALONG BUILDING BRACHYCHITON POPULNEUS, BOTTLE TREE 15 GAL. SIZE. (30' TALL X 15' WIDE)	5	L
	LARGE FOCAL TREE QUERCUS AGRIFOLIA, COAST LIVE OAK 24" BOX SIZE. (20' TALL X 10' WIDE)	32	L
	<b>SHRUB NAME</b> ALL PROPOSED SHRUBS SHALL BE CHOSEN FROM THE FOLLOWING LIST:		<b>WUCOLS</b>
	DIETES GRANDIFLORA 'VARIEGATA', FORTNIGHT LILY 5 GAL. SIZE		L
	ROSMARINUS 'TUSCAN BLUE', TUSCAN BLUE ROSEMARY 5 GAL. SIZE		L
	CARPENTERIA C. 'ELIZABETH', BUSH ANEMONE 5 GAL. SIZE		M
	ELAEAGNUS PUNGENS, SILVERBERRY 5 GAL. SIZE		M
	<b>GROUND COVER AND SHRUB MASSES NAME</b> ALL PROPOSED GROUND COVER AND SHRUB MASSES SHALL BE CHOSEN FROM THE FOLLOWING LIST:		<b>WUCOLS</b>
	ROSMARINUS O. 'PROSTRATUS', PROSTRATE ROSEMARY 1 GAL. SIZE @ 24" O.C.		L
	LOMANDRA LONGIFOLIA 'BREEZE' 1 GAL. SIZE @ 24" O.C.		L
	FESTUCA GLAUCA, BLUE FESCUE 1 GAL. SIZE @ 15" O.C.		L
	SALVIA GREGGI, AUTUMN SAGE 1 GAL. SIZE @ 48" O.C.		L
	MUHLENBERGIA RIGENS, DEER GRASS 1 GAL. SIZE @ 42" O.C.		L

**SOURCE BOOK:**  
PERRY, ROBERT C. *LANDSCAPE PLANTS FOR CALIFORNIA GARDENS: AN ILLUSTRATED REFERENCE OF PLANTS FOR CALIFORNIA LANDSCAPES*. LAND DESIGN PUBLISHING, 2010.

**NOTE:**  
REQUIRED DEPTH OF MULCH TO BE MAINTAINED SHALL BE 3-INCHES INCLUDING BIO-RETENTION AREAS. MULCH SHALL BE ORGANIC RECYCLED CHIPPED WOOD IN DARK BROWN COLOR. THE SIZE SHALL NOT EXCEED 1 1/2-INCH IN DIAMETER

**GENERAL NOTES:**

- ALL UTILITY EQUIPMENT SUCH AS BACKFLOW UNITS, TRANSFORMERS, FIRE DETECTOR CHECKS AND FIRE CHECK VALVES WILL BE SCREENED WITH EVERGREEN PLANT MATERIAL ONCE FINAL LOCATIONS HAVE BEEN DETERMINED.
- ALL PROPOSED TREES WITHIN 5' OF HARDSCAPE AREA SHALL BE INSTALLED WITH DEEP ROOT BARRIER PANELS.
- ALL PARKING STALL CURBS ADJACENT TO LANDSCAPE PLANTERS SHALL BE INSTALLED WITH 12" WD. CONC. STEP-OFF. TYP.
- PROJECT SHALL BE IRRIGATED WITH POTABLE WATER SUPPLY.

**CONCEPTUAL PLAN NOTE:**

THIS IS A CONCEPTUAL LANDSCAPE PLAN. IT IS BASED ON PRELIMINARY INFORMATION WHICH IS NOT FULLY VERIFIED AND MAY BE INCOMPLETE. IT IS MEANT AS A COMPARATIVE AID IN EXAMINING ALTERNATE DEVELOPMENT STRATEGIES AND ANY QUANTITIES INDICATED ARE SUBJECT TO REVISION AS MORE RELIABLE INFORMATION BECOMES AVAILABLE.

**SUMMARY TABLE**

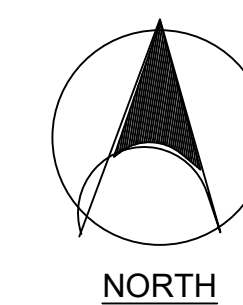
TOTAL LANDSCAPE PROVIDED = APPROX 111,192 SQ. FT.  
SITE AREA = 1,019,516 SQ. FT. (23.4 ACRES)

I HAVE COMPLIED WITH THE CRITERIA OF CITY OF HAYWARD BAY-FRIENDLY WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

SIGNATURE (LANDSCAPE ARCHITECT) *Scott Perry* DATE 04-14-2020

**WUCOLS PLANT FACTOR**  
THIS PROJECT IS LOCATED IN 'WUCOLS' REGION '1-NORTH CENTRAL COASTAL'.

H = HIGH WATER NEEDS  
M = MODERATE WATER NEEDS  
L = LOW WATER NEEDS  
VL = VERY LOW WATER NEEDS



0 60' 120' 180'  
SCALE: 1" = 60'-0"



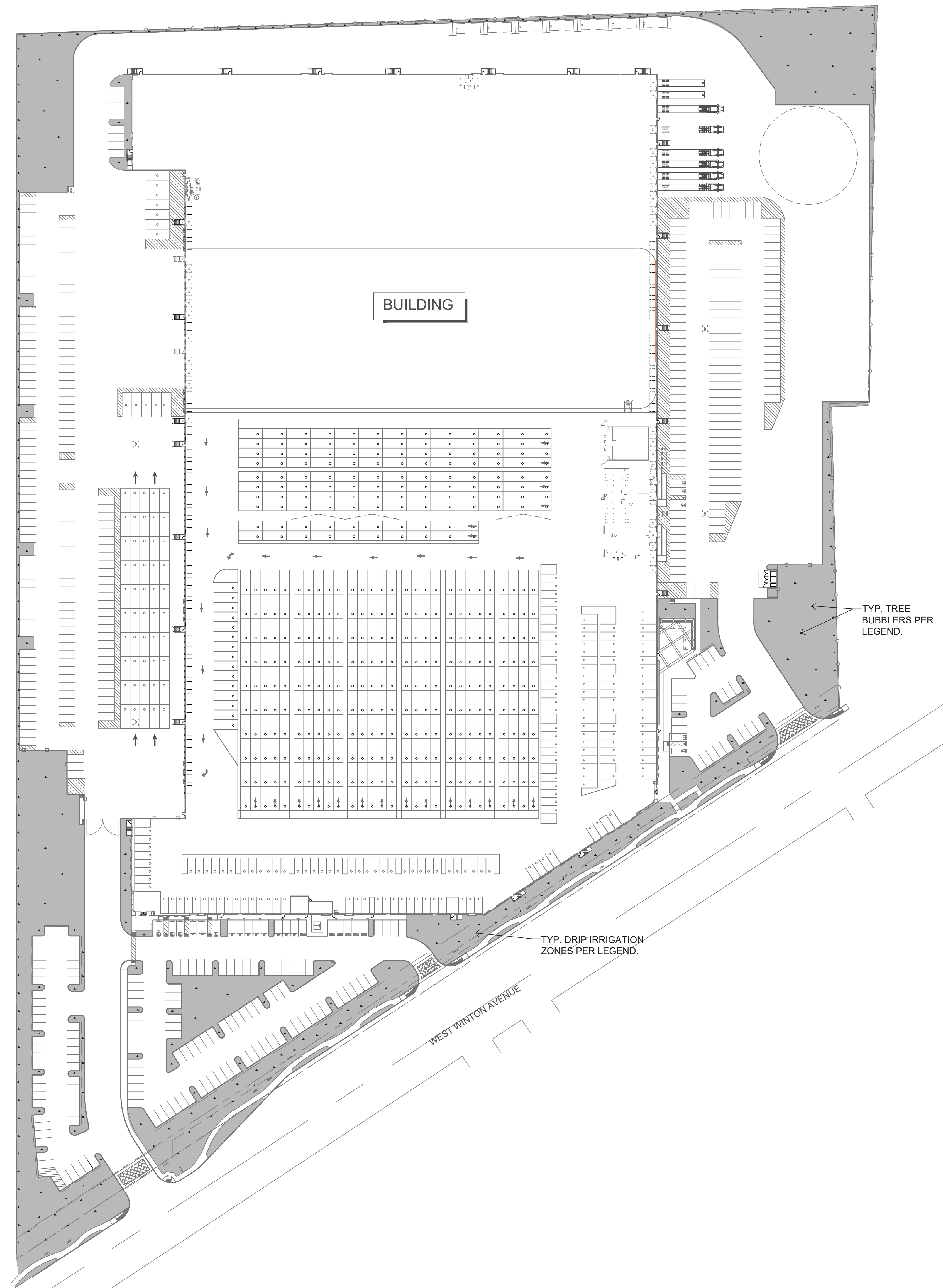
**DSJ6 T.I.**  
2701 WEST WINTON AVE  
HAYWARD, CALIFORNIA  
94545

PROJECT: DSJ6 HAYWARD CALIFORNIA  
ADDRESS: 2701 W. WINTON AVE  
OWNER: BLACK CREEK GROUP  
518 17TH STREET, 17TH FLOOR  
DENVER, CO 80202

Project Number: XXXX  
Plan Check Number: PC # XXXX-XXX  
CITY SUBMITTAL 04-14-2020

**CONCEPTUAL  
LANDSCAPE  
PLAN**

**L-1**

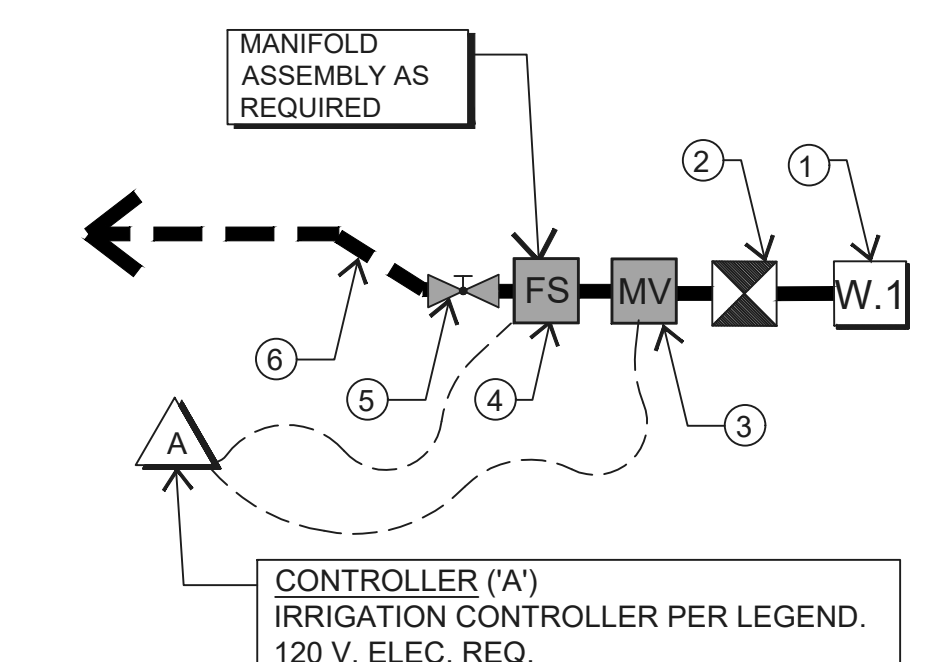


**IRRIGATION LEGEND**

[Symbol]	REPRESENTS SUB-SURFACE DRIP IRRIGATION ZONE BY RAINBIRD XFS-09-18-500 DRIPLINE. LOW WATER APPLICATION.
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**IRRIGATION HEADS**

SYMBOL	MANUF.	TYPE	MODEL	GPM	RAD.	PSI	REMARKS
▲	RAINBIRD	TREE BUBBLER	(2) 1806-PRS-SAM-5BQ	5	30	6"	6" POP-UP NOTE: INSTALL (2) BUBBLERS ALONG EACH SIDE OF TREE ROOT BALL. INSTALL BUBBLERS ON RAINBIRD 1806-PRS-SAM POP-UP BODY.



- KEY NOTES:**
- NEW 1 1/2" WATER METER PER LEGEND
  - 2" BACKFLOW UNIT PER LEGEND
  - 2" MASTER VALVE PER LEGEND
  - RAINBIRD FLOW SENSOR PER LEGEND
  - GATE VALVE PER LEGEND
  - IRRIGATION MAIN LINE

**IRRIGATION POINT OF CONNECTION DIAGRAM**  
N.T.S.

**IRRIGATION NOTE:**  
THE PROJECT WILL BE EQUIPPED WITH A LOW FLOW IRRIGATION SYSTEM CONSISTING OF ET WEATHER BASED SMART CONTROLLER, LOW FLOW ROTORS, BUBBLER AND/ OR DRIP SYSTEMS USED THROUGHOUT. THE IRRIGATION WATER EFFICIENCY WILL MEET OR SURPASS THE CURRENT STATE MANDATED AB-1881 WATER ORDINANCE.

I HAVE COMPLIED WITH THE CRITERIA OF CITY OF HAYWARD BAY-FRIENDLY WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.  
 SIGNATURE (LANDSCAPE ARCHITECT) \_\_\_\_\_ DATE 04-14-2020

**PRELIMINARY MAWA CALCULATIONS**  
 MAWA = (44.2) (0.62) [(0.7 X LA) + (0.3 X SLA)]  
 FORMULA  
 MAWA = (44.2) (0.62) [0.45 X 111,192] + (0.3X0)  
 MAWA = (44.2) (0.62) (50,036)  
 MAWA = 1,371,187 GAL/YEAR

