

MISSION VILLAGE RETAIL

29705 MISSION BLVD.
HAYWARD, CA 94544

ISSUED FOR SITE DEVELOPMENT PERMIT



SCOPE OF WORK

CONSTRUCTION OF NEW RETAIL SHELL BUILDING. SUBMITTAL INCLUDES BUILDING WORK, SITE WORK WITH UNDERGROUND UTILITIES, LANDSCAPE AND TRASH ENCLOSURE

GENERAL INFORMATION

OCCUPANCY: M
 TYPE OF CONSTRUCTION: V-B
 SPRINKLERED: YES
 SITE AREA: 42,405 SF
 BUILDING AREA: 6,313 SF
 ZONING: S-T4 URBAN GENERAL ZONE
 APN: 78G-2651-9-2

PREVAILING CODES

CITY OF HAYWARD MUNICIPAL CODE
 2019 CBG, CPC, CMC, CEC
 2019 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)
 2019 BUILDING ENERGY EFFICIENCY STANDARDS
 2019 CALIFORNIA GREEN BUILDING STANDARDS

PRIOR APPROVALS

PROJECT DIRECTORY

CLIENT: VALLEY OAK PARTNERS, LLC
 734 THE ALAMEDA
 SAN JOSE, CA 95126
 DOUG RICH
 P: (925) 570-4593
 E: doug@valleyoakpartners.com

ARCHITECT: EATON HALL ARCHITECTURE INC.
 1501 THE ALAMEDA, STE. 105
 SAN JOSE, CA 95126
 CHRIS HALL, AIA
 P: (408) 599-7003
 E: chris@ehastudio.com

CIVIL ENGINEER: CBG
 2633 CAMINO RAMON, SUITE 350
 SAN RAMON, CA 94583
 RYAN HANSEN, P.E.
 P: (925) 322-7984
 E: rhanzen@cbandg.com

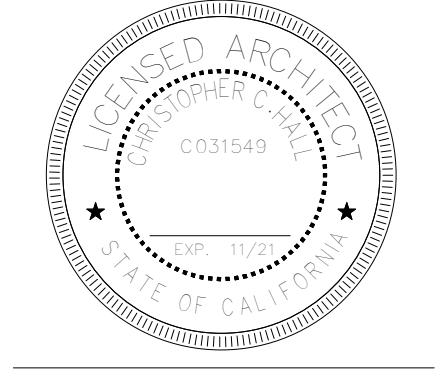
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EATON HALL ARCHITECTURE
 1501 The Alameda, Ste 105
 San Jose, CA 95126

TEL 408.265.5255
 FAX 408.265.6155
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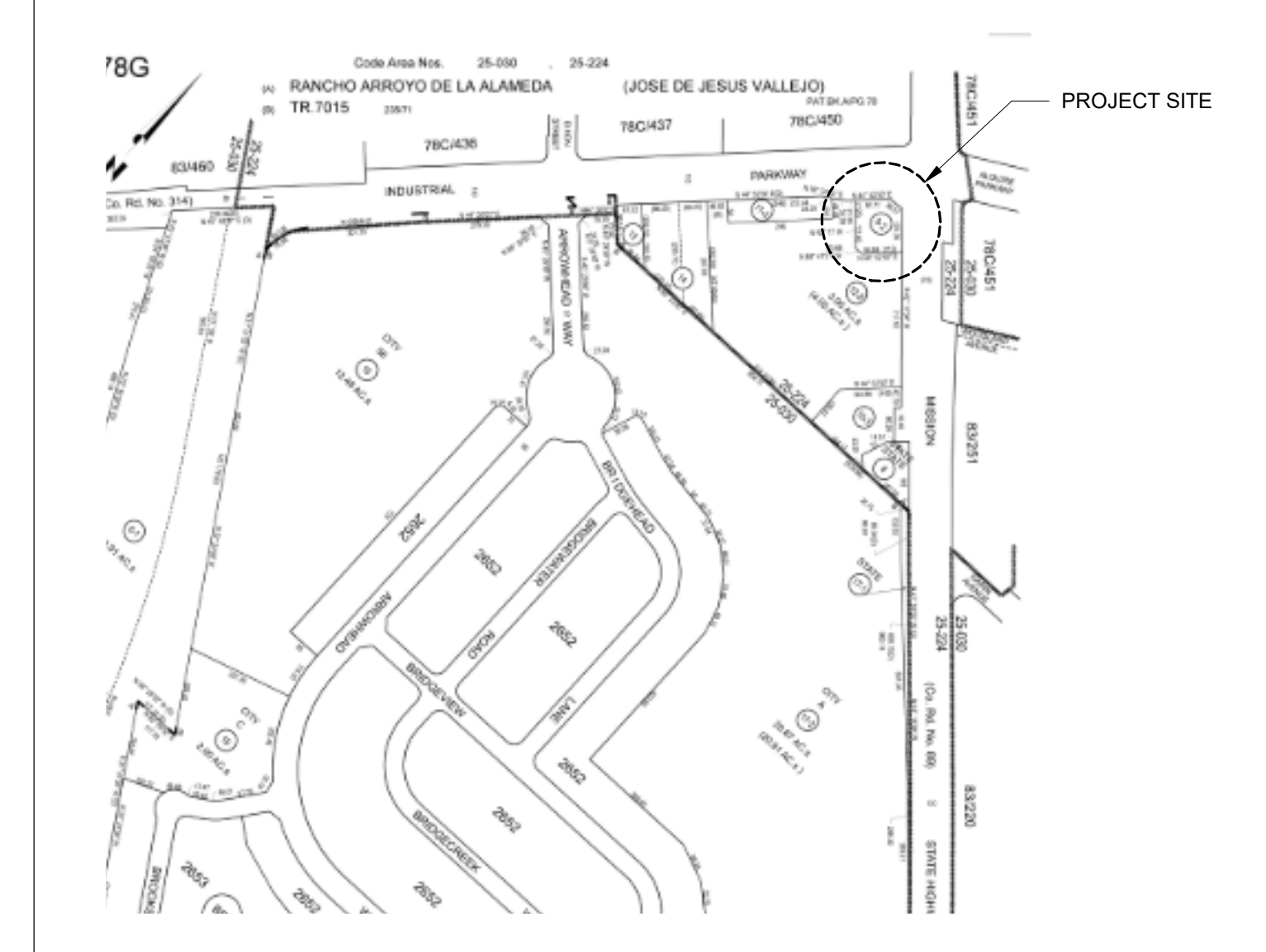
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 Drawn by: Author
 Checked by: Checker

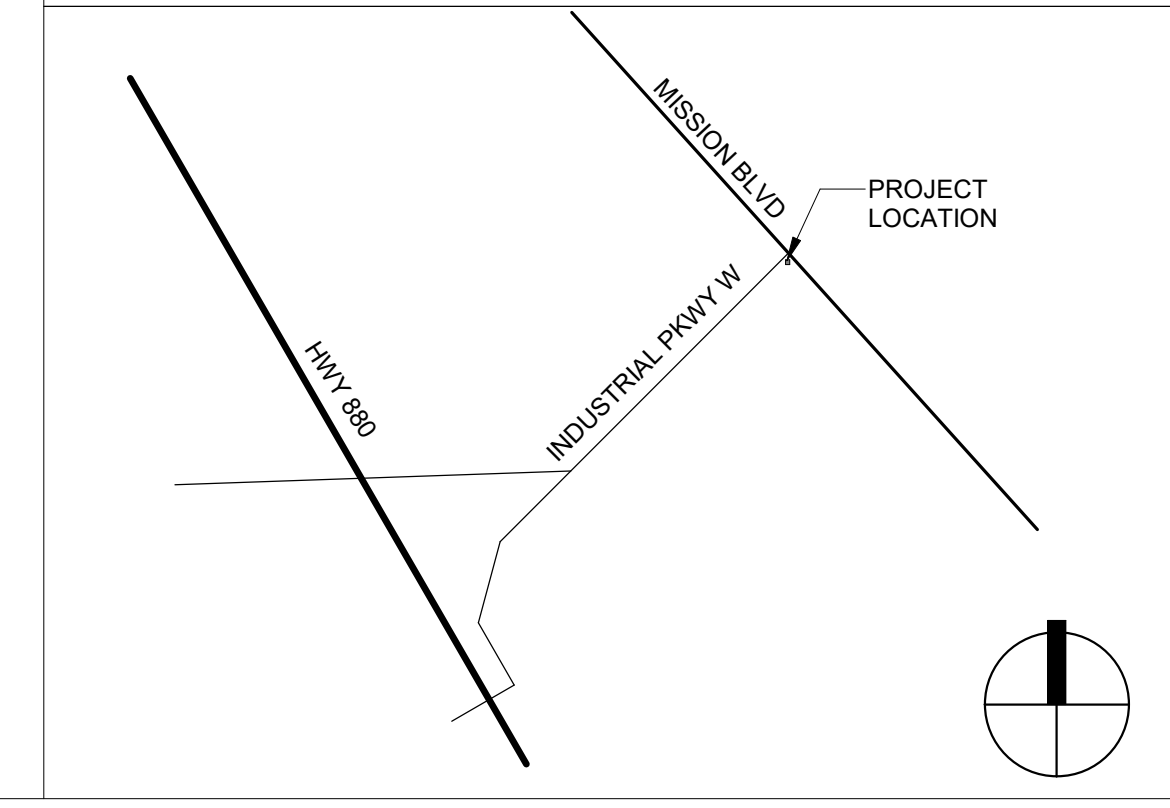
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GENERAL INFORMATION

PA0.0

ACCESSOR'S PARCEL MAP

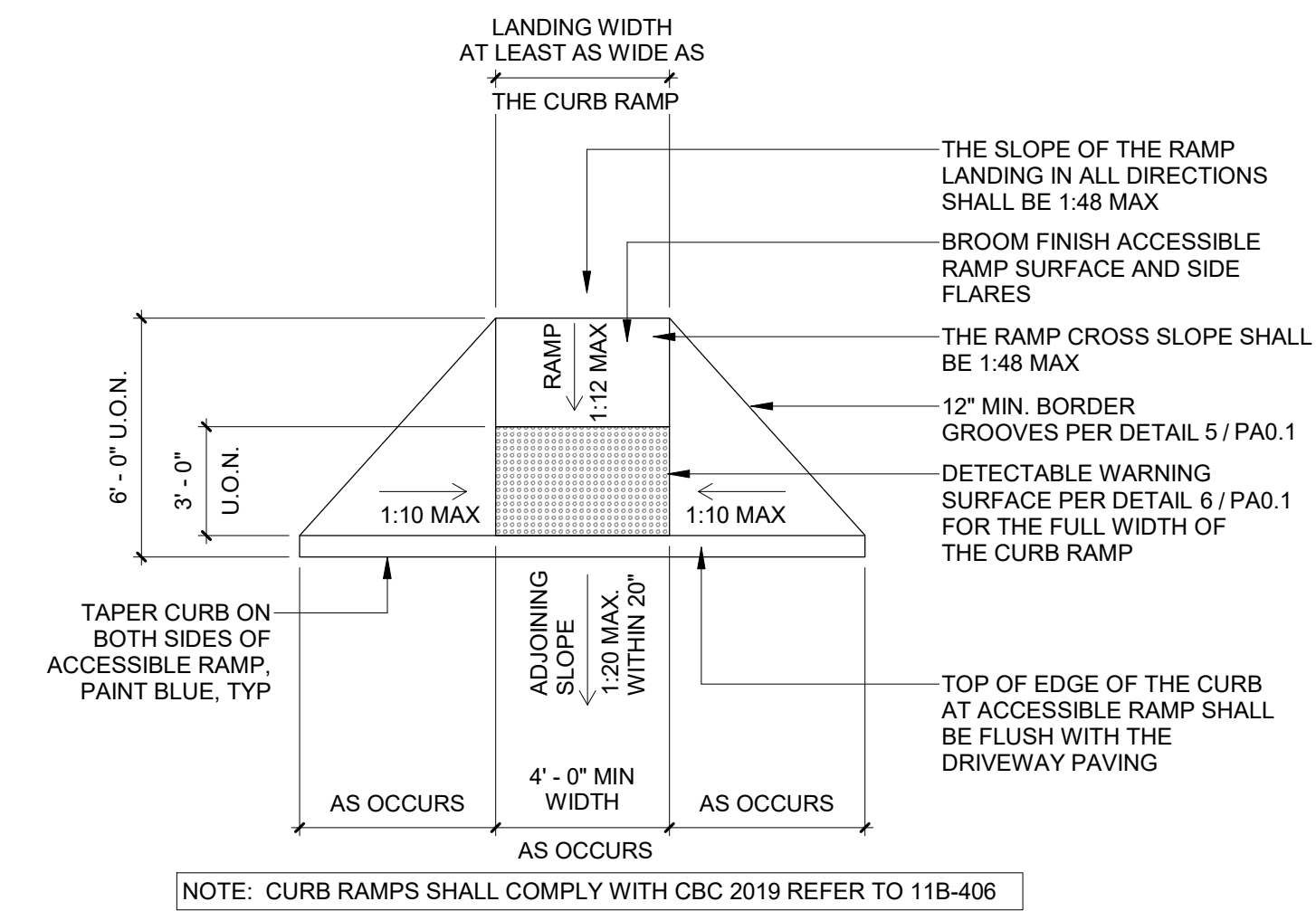
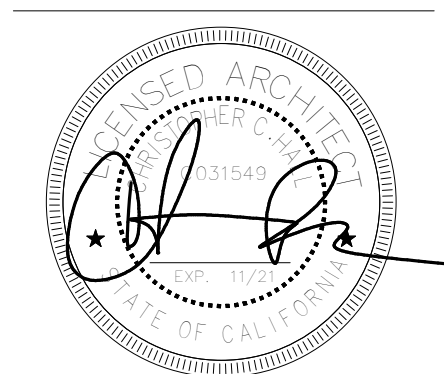


VICINITY MAP

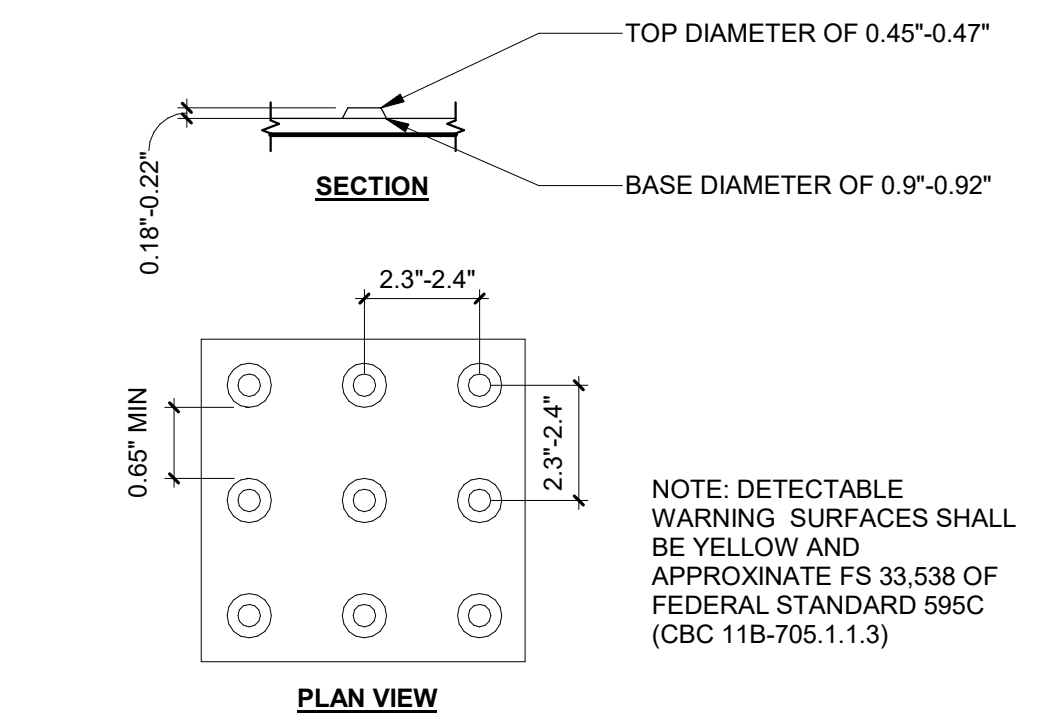




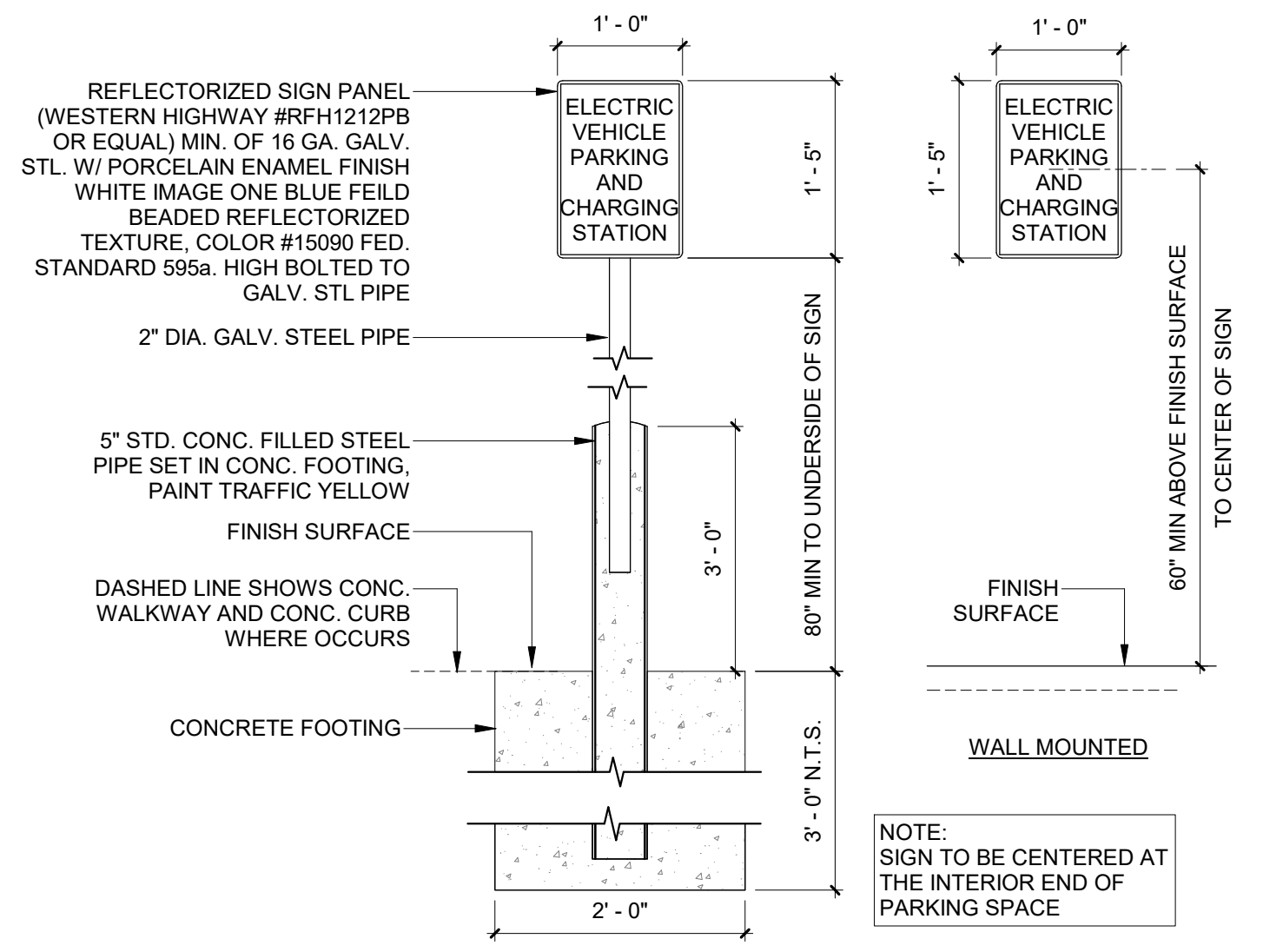
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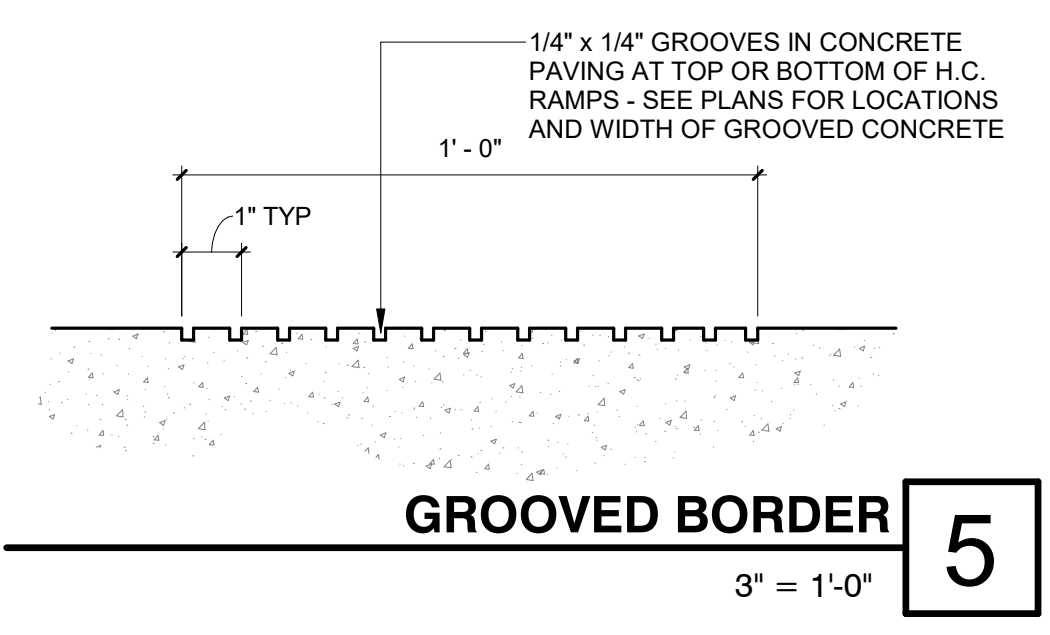
ACCESSIBLE PERPENDICULAR CURB RAMP
NS 10



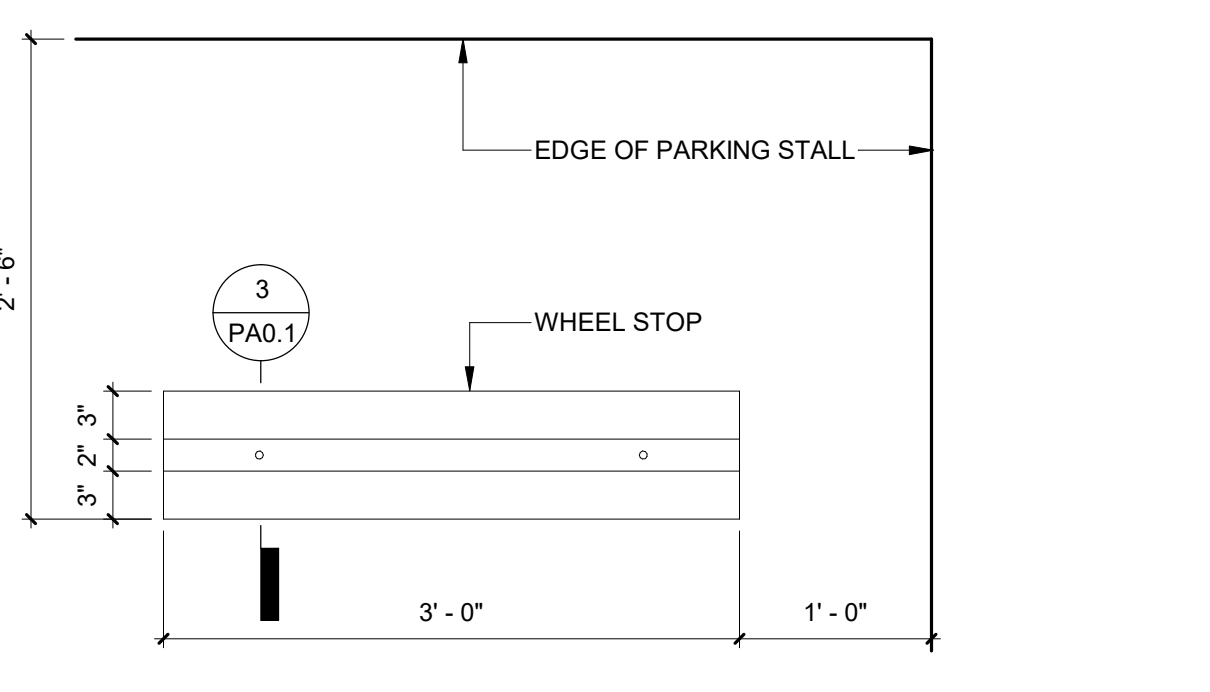
TRUNCATED DOME DETAILS
3" = 1'-0"



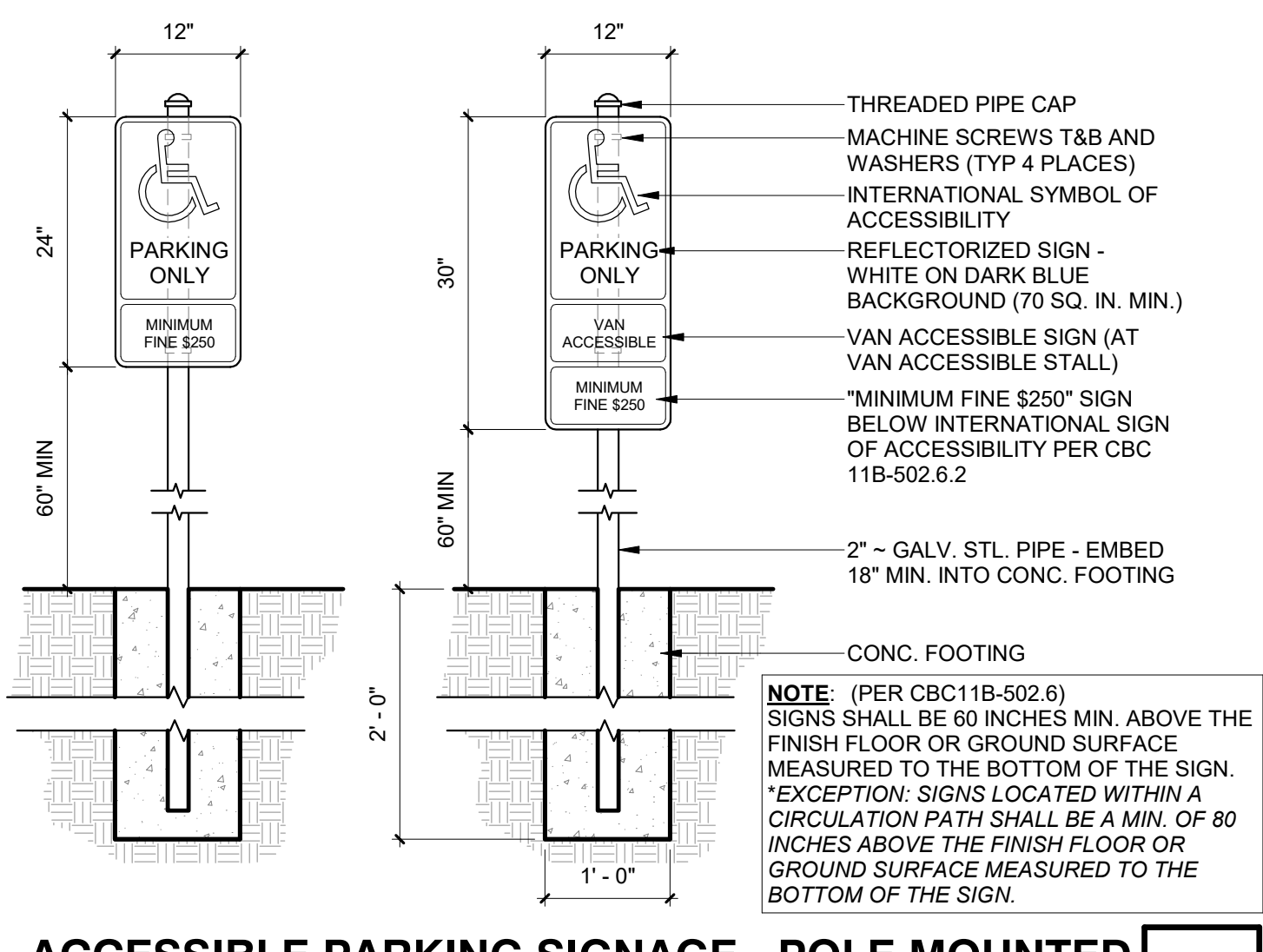
ELECTRICAL VEHICLE SIGNAGE
NS 9



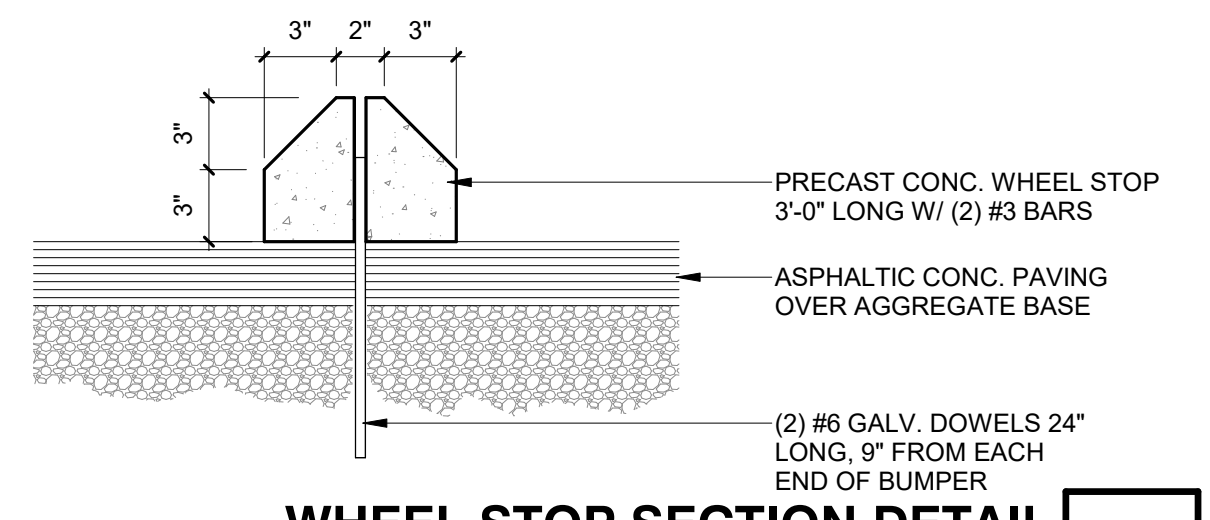
GROOVED BORDER
3" = 1'-0"



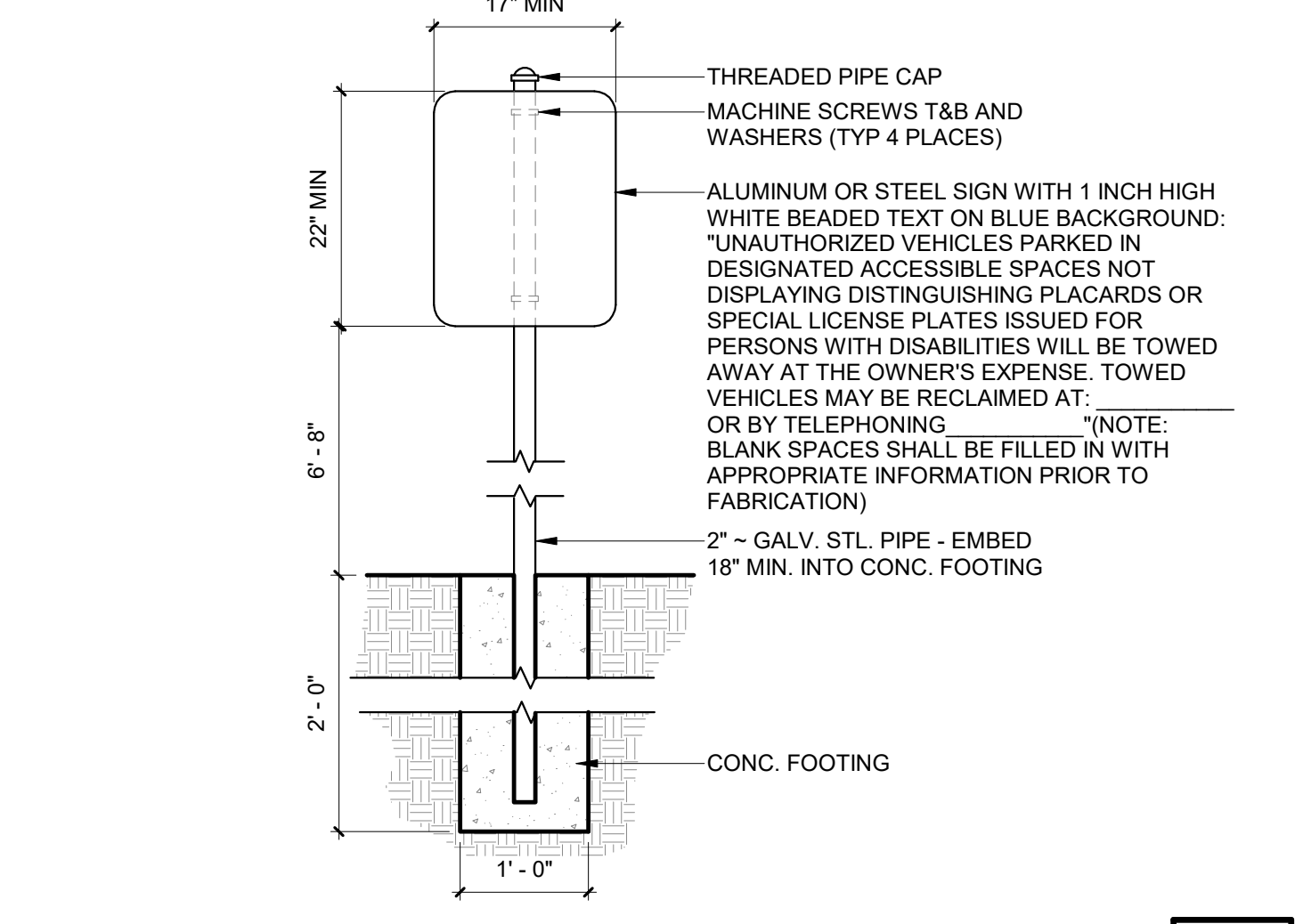
WHEEL STOP PLAN DETAIL
1" = 1'-0"



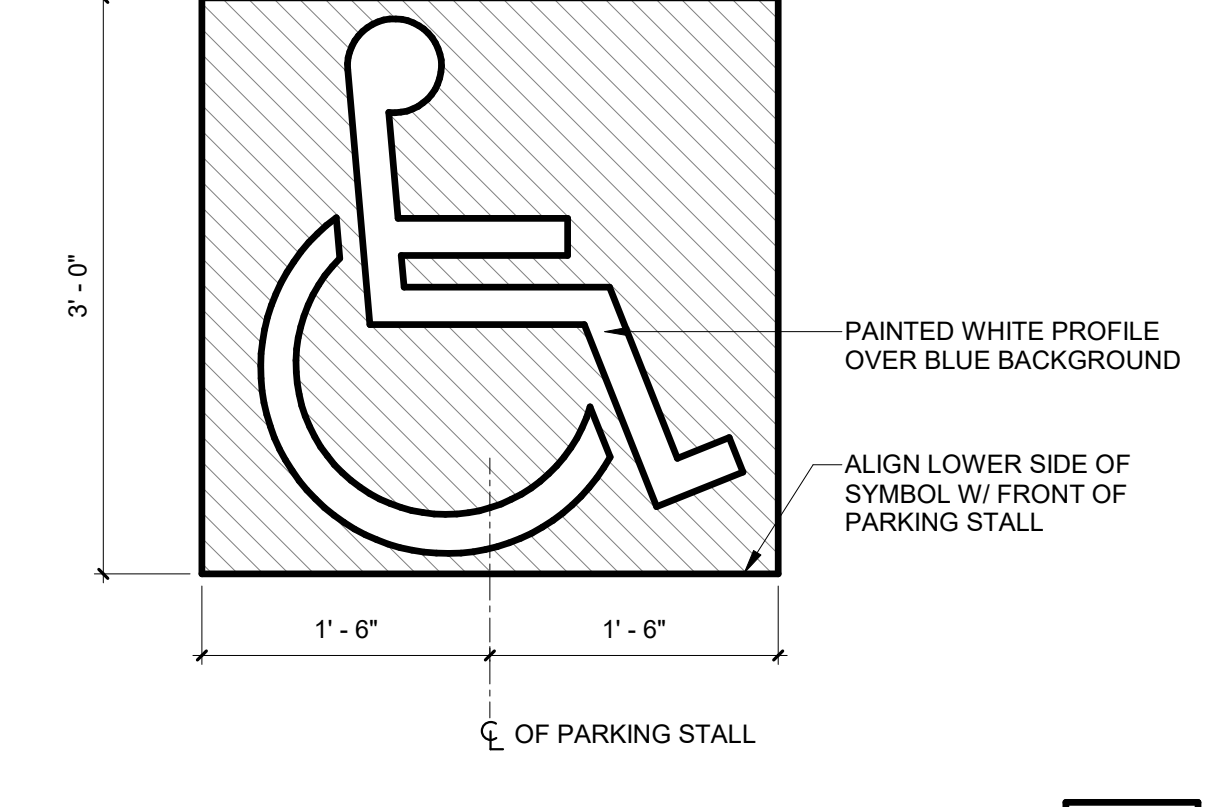
ACCESSIBLE PARKING SIGNAGE - POLE MOUNTED
3/4" = 1'-0"



WHEEL STOP SECTION DETAIL
1 1/2" = 1'-0"



ENTRANCE ACCESSIBLE SIGNAGE
3/4" = 1'-0"



ACCESSIBLE SYMBOL
1" = 1'-0"

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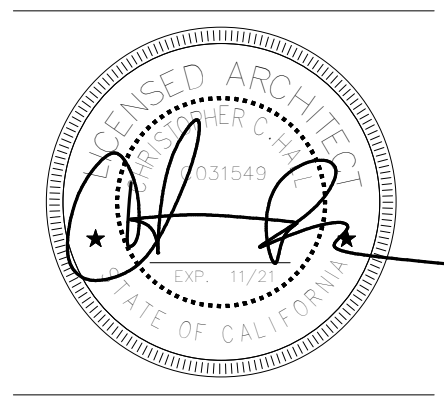
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Sheet Title:
SITE ACCESSIBILITY

PA0.1



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San Jose, CA 95126
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LEGEND

- PROPERTY LINE
- LENGTH OF PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL: 48" MIN CLR. WIDTH, 5% MAX RUNNING SLOPE, AND 2% MIN CROSS SLOPE PER 2019 CBC 11B-403
- PARKING TOTAL

SITE PLAN NOTES

1. AT LEAST FOUR ELECTRICAL CHARGING STATION AND ONE HANDICAPPED SPACE SHALL BE PROVIDED PRIOR TO OCCUPANCY.
2. WALKWAYS AND SIDEWALK ALONG ACCESSIBLE ROUTES OF TRAVEL ARE CONTINUOUSLY ACCESSIBLE. HAVE MAXIMUM 1/2" CHANGES IN ELEVATION, OR ARE PROVIDED WITH CURB RAMPS WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5%.
3. ALL ACCESSIBLE PATHS OF TRAVEL HAVE A MAXIMUM CROSS SLOPE OF 2%.
4. DETECTABLE WARNING SURFACES SHALL BE YELLOW AND APPROXIMATE F3 33538 OF FEDERAL STANDARD 595C.
5. THE ACCESSIBLE ROUTE SHALL COINCIDE WITH OR BE LOCATED IN THE SAME AREA AS GENERAL CIRCULATION PATHS PER CBC 11B-206.2.1 AND 11B-206.3

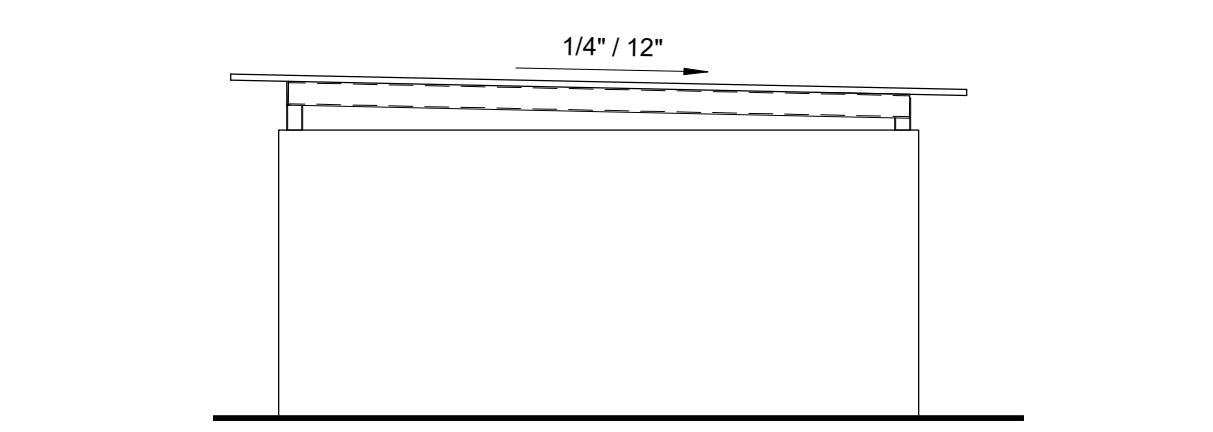
PARKING TABULATION

BUILDING AREA:	6,313 SF
PARKING LOAD FACTOR:	1/175 SF
TOTAL PARKING REQUIRED:	36 SPACES
TOTAL PARKING PROVIDED:	37 SPACES
ACCESSIBLE (PER CBC TBL 11B-208.2)	REQ'D 2 (INCLUDING 1 VAN ACCESSIBLE) PROV'D 3 (INCLUDING 2 VAN ACCESSIBLE)
CLEAN AIR VEHICLE / VAN POOL (PER CGC TBL 5.106.5.2)	REQ'D 3 PROV'D 3
EVCS* (PER CGC TBL 5.106.5.3.3)	REQ'D 2 PROV'D 2
ACCESSIBLE EVCS* (PER CBC TBL 11B-228.3.2.1)	REQ'D 1 VAN ACCESSIBLE PROV'D 1 VAN ACCESSIBLE

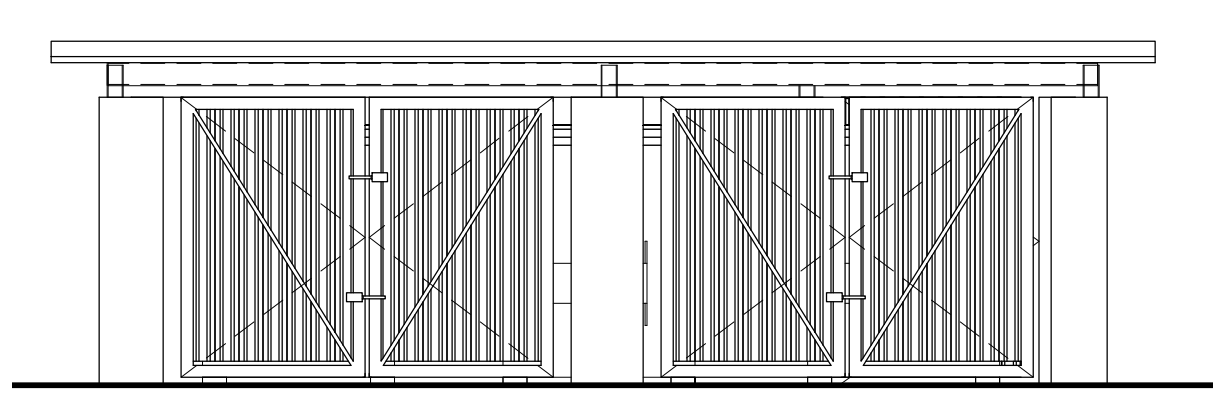
* ELECTRIC VEHICLE CHARGING STATIONS (EVCS) SHALL COMPLY WITH CBC SECTION 11B-812 AS REQUIRED BY CBC SECTION 11B-228.3.

BICYCLE PARKING TABUL.

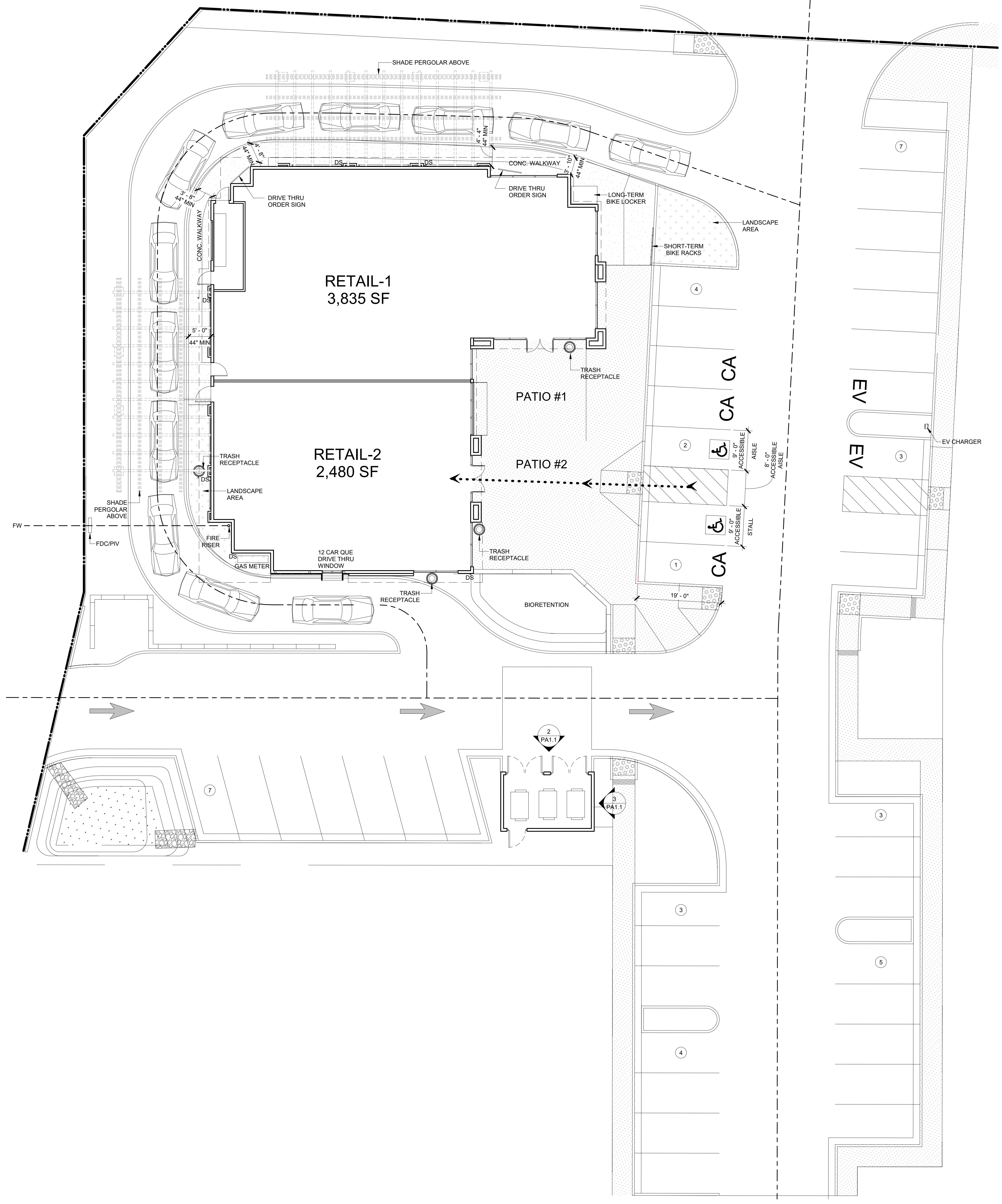
	TOTAL	SHORT-TERM	LONG-TERM
REQ'D	4	2	2
PROV'D	4	2	2



TRASH ENCLOSURE - SIDE ELEVATION 3
1/4" = 1'-0"



TRASH ENCLOSURE-FRONT ELEVATION 2
1/4" = 1'-0"



SITE PLAN 1
1" = 10'-0"

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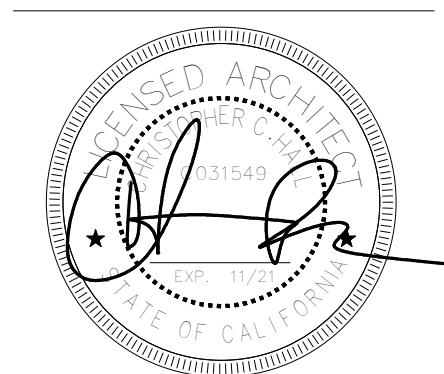
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SITE PLAN

PA1.1



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ROOF DRAIN AREA TABUL.

(PER CPC 2019, TABLE 1101.12)

RAIN FALL FOR HAYWARD: 2.3 RANGE (PER U.S. CLIMATE)

MAX. ALLOWABLE HORIZONTAL PROJECTED ROOF AREA (SIZE OF DRAWIN 4"): 6,130 SF

AREA NO.	DRAIN NO.	PROVIDED HORIZONTAL PROJECTED ROOF AREA	(SEE 3/PA2.1)
1	1	998 SF	< 6,130 SF OK
2	2	1,283 SF	< 6,130 SF OK
3	3	985 SF	< 6,130 SF OK
4	4	1,319 SF	< 6,130 SF OK

LEGEND

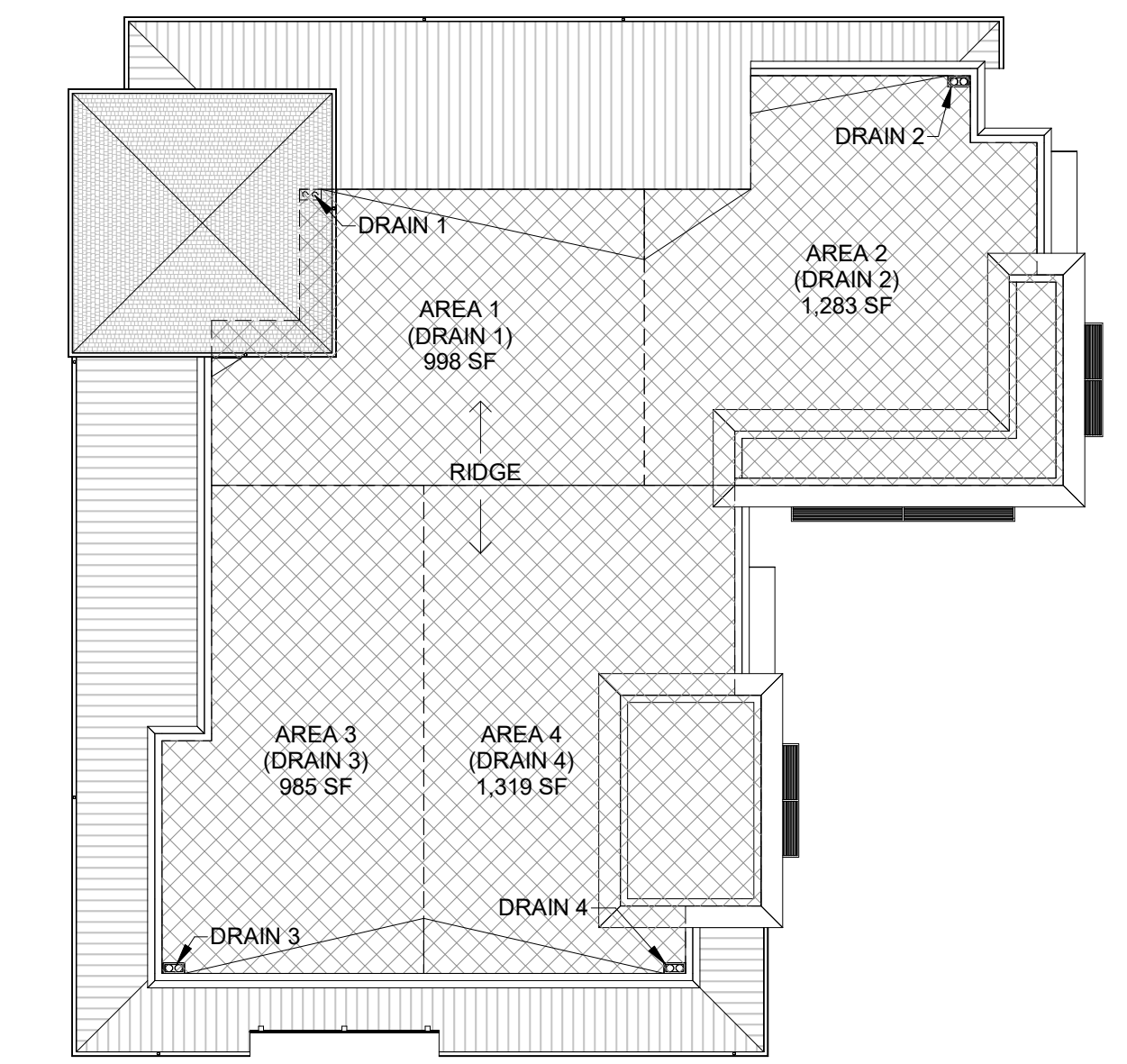
- (E) WALL TO REMAIN
- (E) DOOR TO REMAIN
- (N) WALL
- (N) DOOR

PLAN NOTES

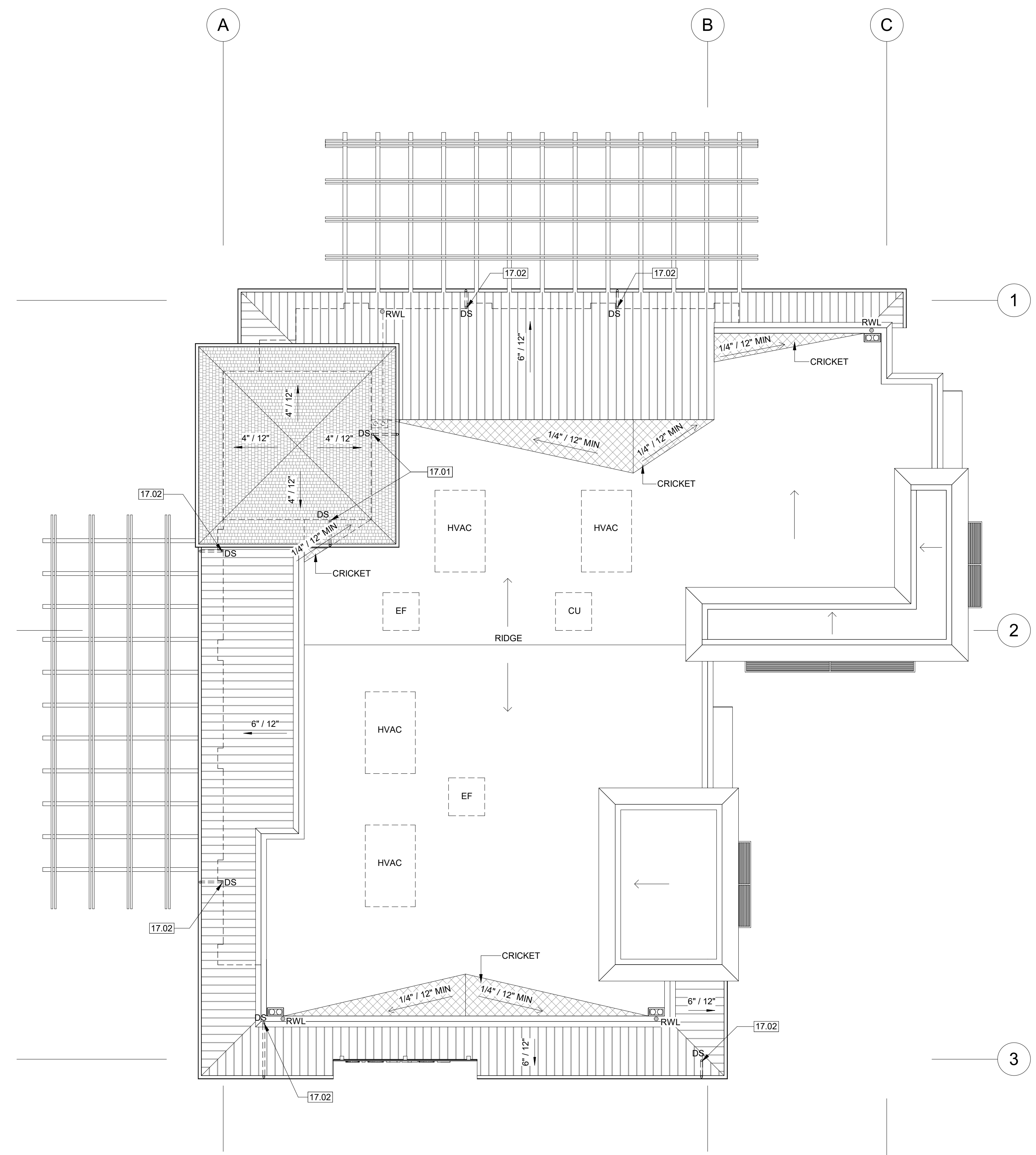
- EXISTING SHELL & CORE CONSTRUCTION SHOWN w/ POCHÉ AND OR SCREENED
- REFER TO FURNITURE PLAN FOR FURNITURE LAYOUT, DIMENSIONS, ETC.
- REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL DIMENSIONS DESCRIBING PARTIAL HEIGHT WALLS, CASEWORK LAYOUT, SPECIALTY OUTLET LOCATIONS, ETC.
- REFER TO REFLECTED CEILING PLANS FOR SOFFITS, CEILING HEIGHTS & PLENUM BARRIER LOCATIONS.
- REFER TO SHEET A0.1 FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, & SCHEDULES.

KEYNOTES

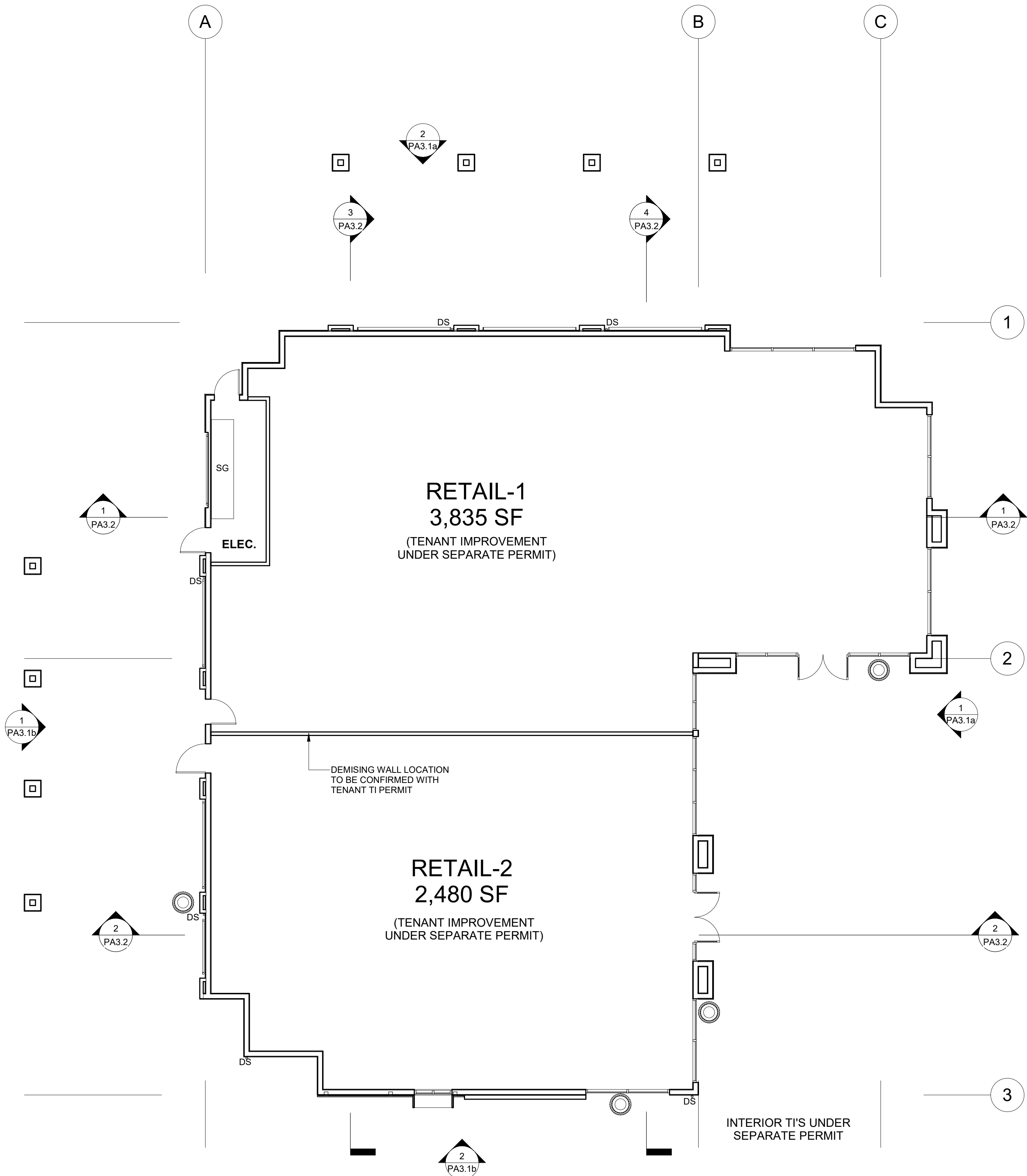
- 17.01 DOWNSPOUT TO ROOF BELOW
- 17.02 SURFACE MOUNTED DOWNSPOUT FOR MANSARD ROOF GUTTER



ROOF DRAIN AREA PLAN 3
1/16" = 1'-0"



ROOF PLAN 2
1/8" = 1'-0"



PROPOSED FLOOR PLAN 1
1/8" = 1'-0"

NEW CONST. NOTES

- NEW CONSTRUCTION TO INCLUDE WALLS, CEILING, DOORS, LIGHTING, CASEWORK, FLOORING & OTHER FINISHES THROUGHOUT.
- GYP. BD. PARTITIONS SHALL BE OF LEVEL 4 FINISH, TYP. UON.
- ALL PARTITIONS ARE DIMENSIONED FROM FACE OF STUD U.O.N. ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED & SHALL ALLOW FOR THICKNESSES OF ALL WALL FINISHES U.O.N. & SHALL NOT VARY MORE THAN ± 1/4" w/o WRITTEN INSTRUCTION FROM ARCHITECT.
- PARTITIONS THAT ARE NOT DIMENSIONED ARE TO BE LOCATED FLUSH & SQUARE WITH THE EXISTING PARTITION OR CENTERLINE OF WINDOW MULLION AS SHOWN.
- WALLS THAT APPEAR TO ALIGN DO ALIGN. WALLS THAT APPEAR CENTERED ON COLUMNS OR MULLIONS ARE CENTERED ON COLUMNS OR MULLIONS.
- "ALIGN" MEANS TO ACCURATELY LOCATE THE FINISHED FACES IN THE SAME PLANE.
- DIMENSIONS MARKED ± MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 1/4" FROM INDICATED DIMENSION, U.N.O. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE w/ THE ARCHITECT. SECURE ARCHITECT'S APPROVAL.
- NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN LOCATION(S) OF NEW OR EXISTING CONSTRUCTION. UPON COMPLETION OF PARTITION LAYOUT, NOTIFY ARCHITECT. ALLOW TIME IN THE SCHEDULE FOR VERIFICATION OF THE LAYOUT BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION.
- REVIEW LAYOUT OF CURVED PARTITIONS w/ ARCHITECT PRIOR TO FRAMING.
- ALL WORK SHALL BE ERECTED & INSTALLED PLUMB, LEVEL, SQUARE & TRUE.
- DIMENSIONS LOCATING DOORS ARE TO FINISHED OPENING UON.
- ALL DOORS SHALL HAVE 18" CLEAR ON STRIKE/FULL SIDE OF DOOR. VERIFY & ADVISE ARCHITECT OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS.
- ALL WORK SHALL BE ERECTED & INSTALLED PLUMB, LEVEL, SQUARE & TRUE.
- DIMENSIONS LOCATING DOORS ARE TO FINISHED OPENING UON.
- ALL DOORS SHALL HAVE 18" CLEAR ON STRIKE/FULL SIDE OF DOOR. VERIFY & ADVISE ARCHITECT OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS.
- PROVIDE FLOOR PREPARATION (GRINDING, FILLING & OR LEVELING) TO MEET THE TOLERANCES FOR THE PROPER INSTALLATION OF THE MATERIALS INDICATED. MODIFY EXISTING SUBSTRATE AS REQUIRED TO RECEIVE NEW FLOORING MATERIALS, THUS PREVENTING NOTICEABLE LUMPS OR DEPRESSIONS.
- ALL EXISTING & NEW FLOOR PENETRATIONS FOR PIPING SHALL BE FULLY PACKED & SEALED IN ACCORDANCE w/ THE APPLICABLE BLDG. & FIRE CODES.
- UNDERCUT DOORS TO CLEAR THE TOP OF FINISHED FLOOR, AS APPLICABLE. BY 1/4" INCH MAX. UON. VERIFY FLOOR CONDITIONS.
- ALL GLASS SHALL BE CLEAR TEMPERED GLASS. UON. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN & POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.
- ALL MILLWORK TO BE FASTENED TO THE PARTITION. PROVIDE NON-COMBUSTIBLE BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY FLOOR OR ABOVE 4'-0" HT.
- ALL CONCEALED LUMBER & BLOCKING TO BE FIRE TREATED.
- PROVIDE BACKING AT WALLS FOR WALL MOUNTED OFFICE FURNITURE & EQUIPMENT. FOR WHITEBOARDS, AV EQUIP., ART LOCATIONS & CASEWORK.
- PROVIDE PLYWOOD BACKBOARD @ SERVER/ DATA ROOMS. COORDINATE EXTENT WITH I.T. CONSULTANT.
- PROVIDE BLOCKING IN CLG. FOR MOUNTED CAMERAS & PROJECTORS AS REQ. COORD. LOCATION w/ CLIENT. REFER TO RCP PLANS FOR ADD'L INFO.
- PROVIDE FIRE EXTINGUISHERS PER FLOOR PLAN. WRAP GYP. BD. BEHIND FIRE EXTINGUISHER CABINETS & ELEC. PANELS TO MAINTAIN FIRE RATING & ACOUSTICAL PROPERTY OF WALLS.

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PROPOSED FLOOR PLAN & ROOF PLAN

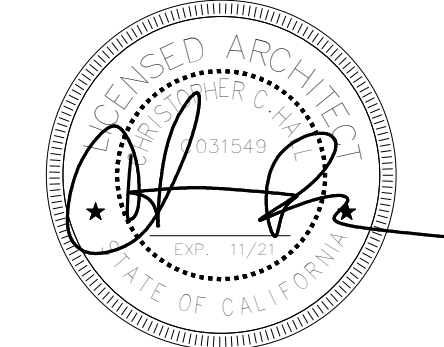
PA2.1

KEYNOTES

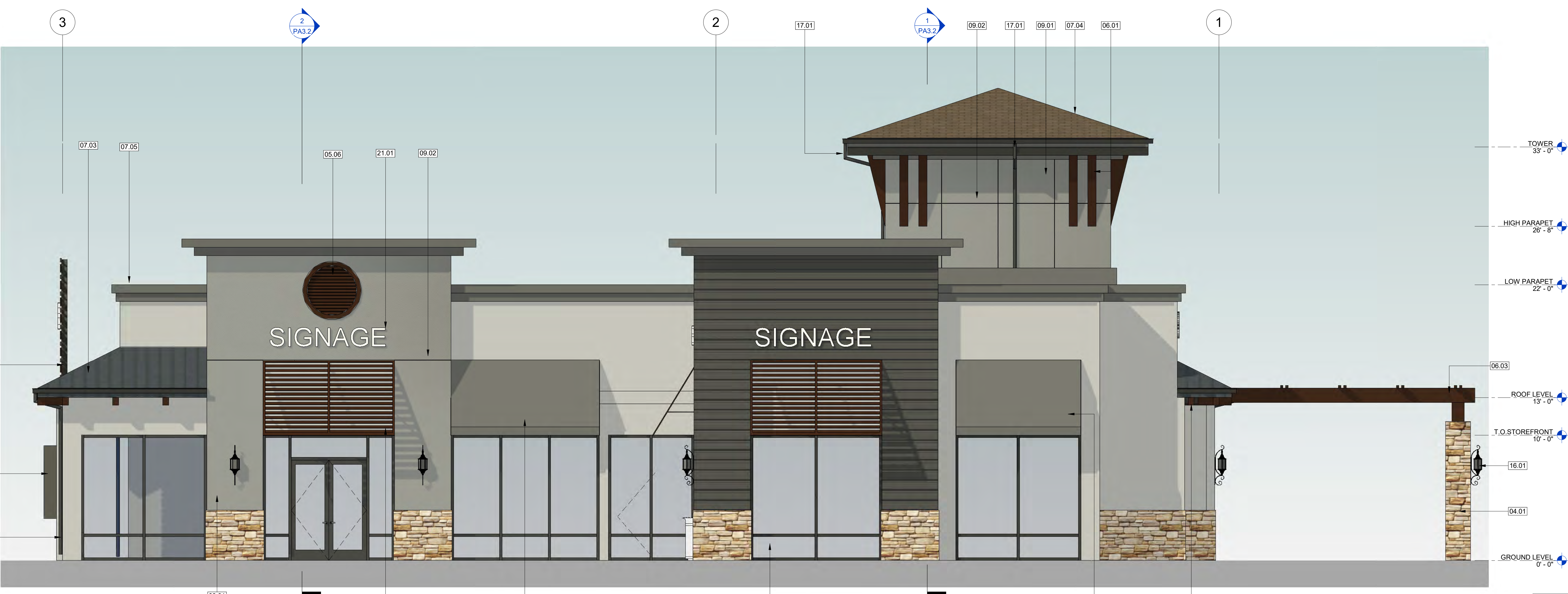
04.01	STONE VENEER
05.01	METAL AWNING
05.02	METAL CLADDING
05.03	BEAM SYSTEM
05.04	METAL WINDOW FRAME
05.06	ROUND LOUVER VENT
06.01	DECORATIVE WOOD RAFTERS, TYP
06.03	PERGOLA
06.04	DECORATIVE SCREEN
07.03	STANDING SEAM METAL ROOF
07.04	ROOF SHINGLES
07.05	CORNICE
08.01	ALUMINUM-FRAMED STOREFRONT SYSTEM, TYP
09.01	CEMENT PLASTER
09.02	CEMENT PLASTER REVEAL, TYP
10.01	FABRIC AWNING
16.01	WALL-MOUNTED LIGHT FIXTURE, TYP
17.01	DOWNSPOUT TO ROOF BELOW
17.02	SURFACE MOUNTED DOWNSPOUT FOR MANSARD ROOF GUTTER
21.01	SIGNAGE UNDER SEPERATE PERMIT, TYP



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PROPOSED NORTH EXTERIOR ELEVATION **2**
 1/4" = 1'-0"



PROPOSED EAST EXTERIOR ELEVATION **1**
 1/4" = 1'-0"

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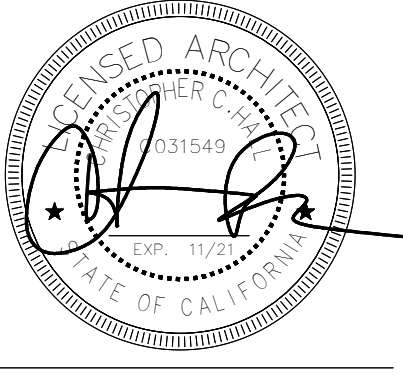
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 PROPOSED
 EXTERIOR
 ELEVATIONS

PA3.1a



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KEYNOTES

04.01	STONE VENEER
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09.02	CEMENT PLASTER REVEAL, TYP
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21.01	SIGNAGE UNDER SEPERATE PERMIT, TYP



PROPOSED SOUTH EXTERIOR ELEVATION 2
1/4" = 1'-0"



PROPOSED WEST EXTERIOR ELEVATION 1
1/4" = 1'-0"

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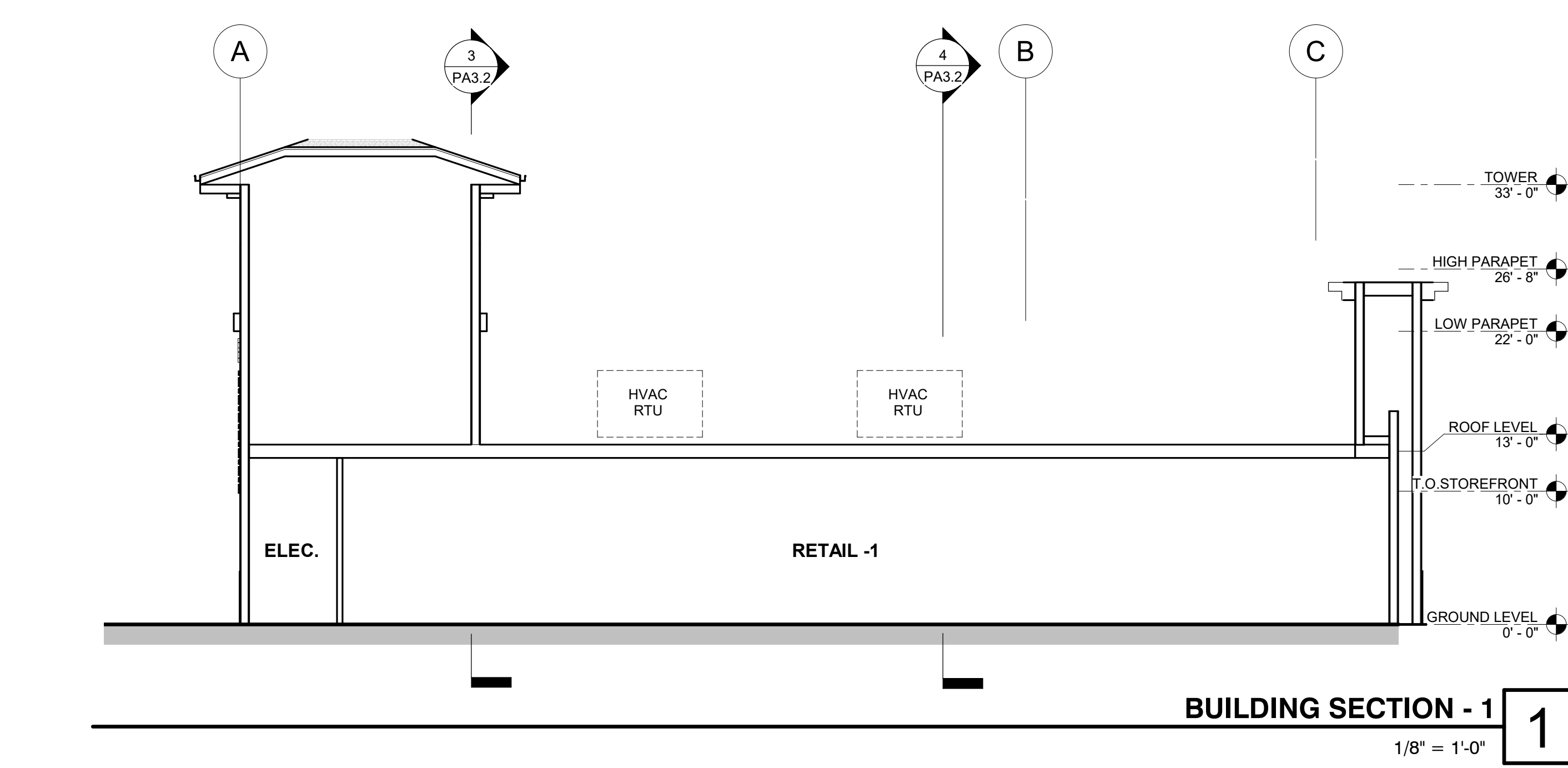
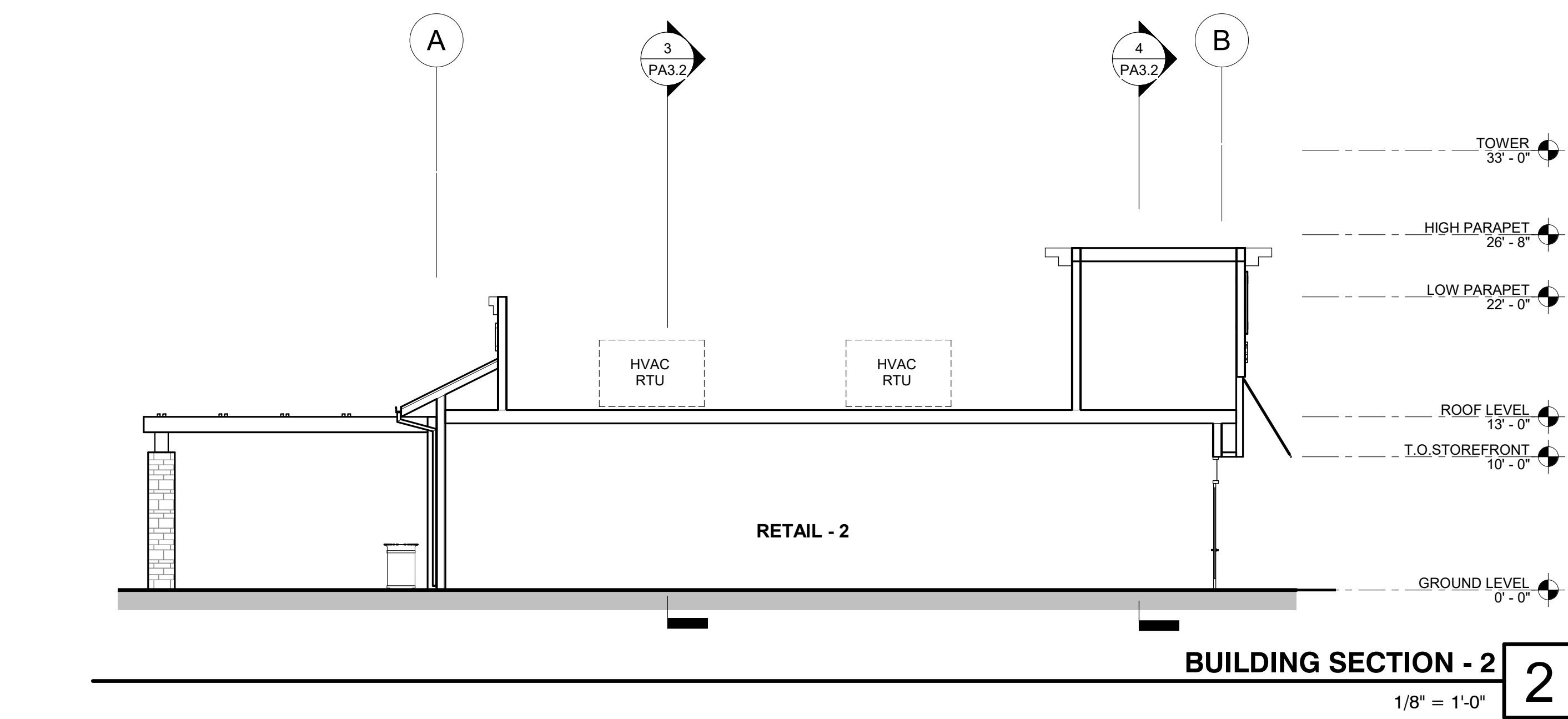
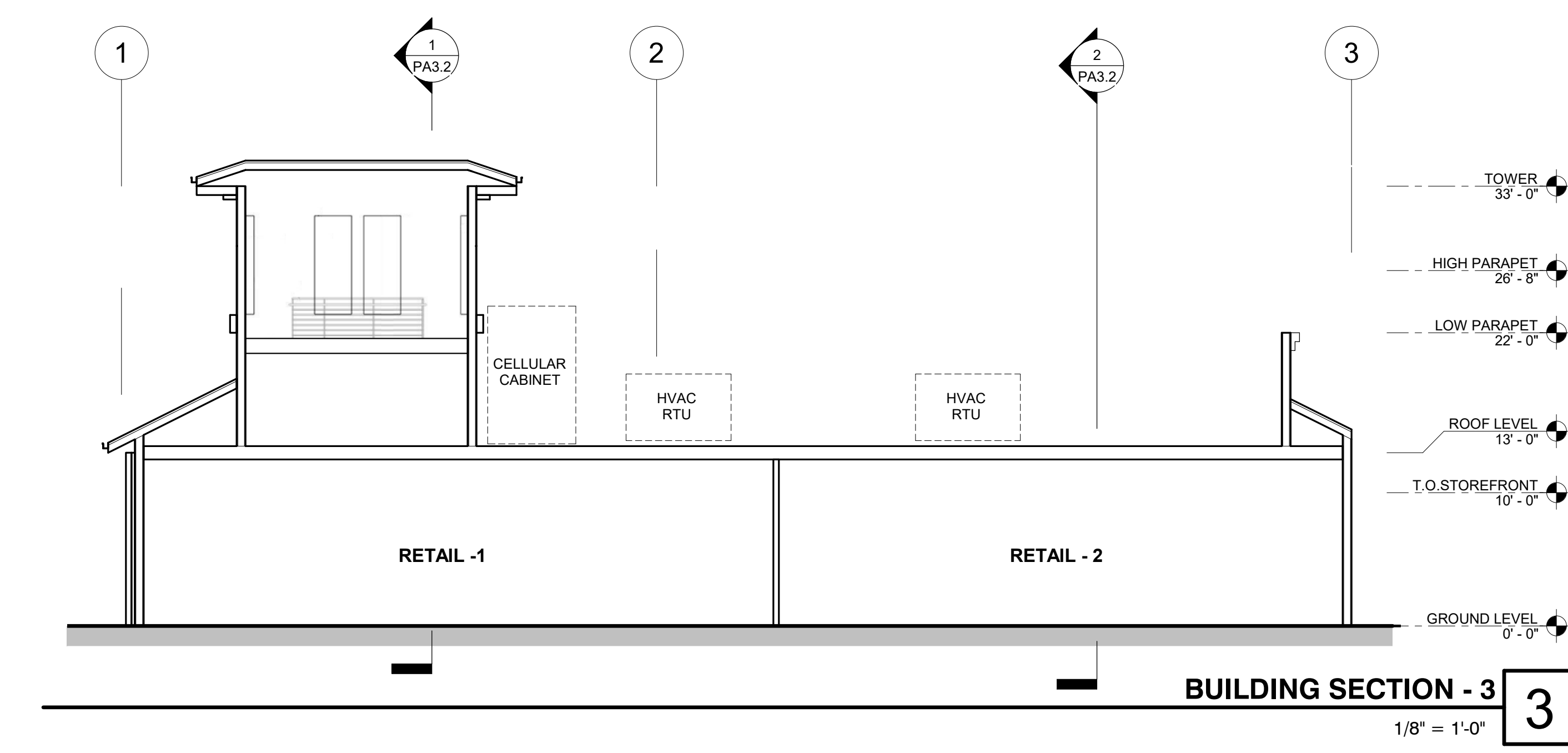
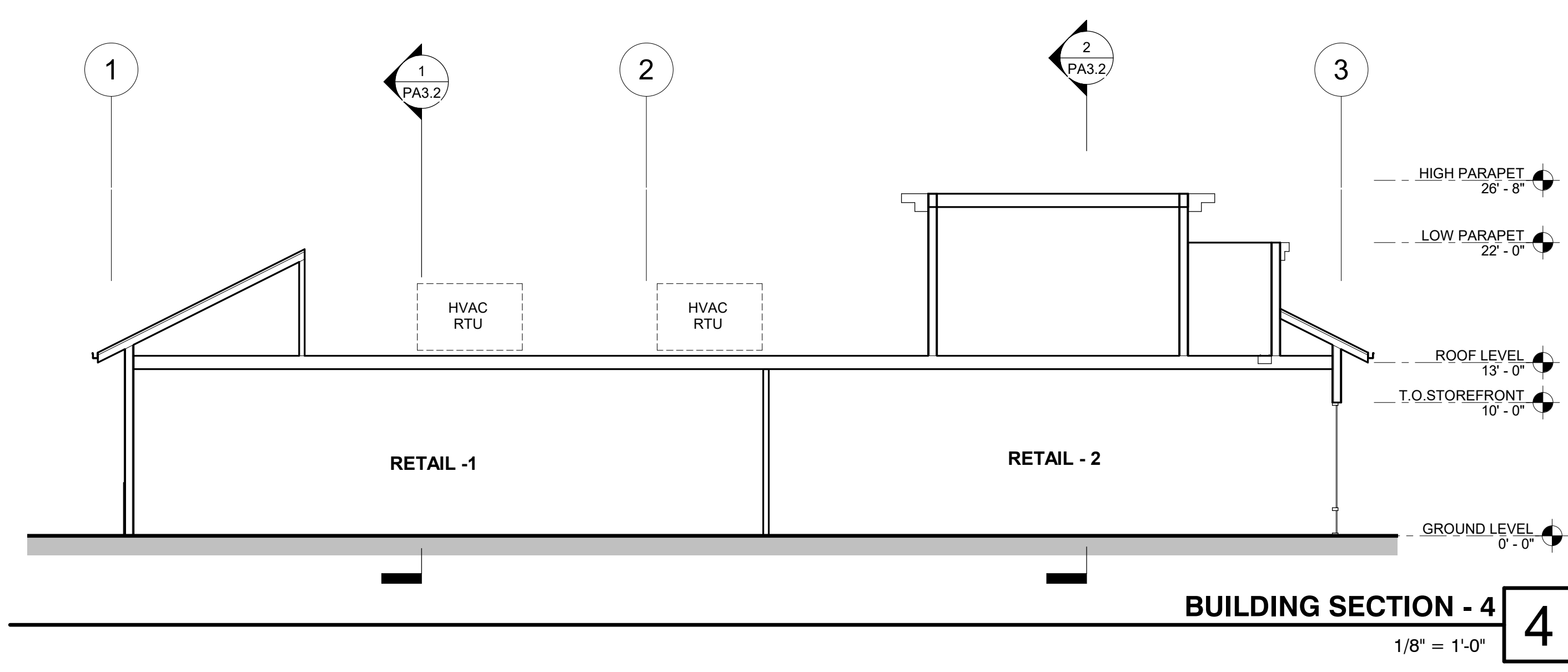
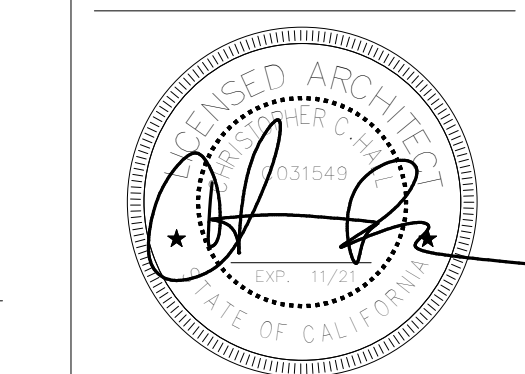
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PA3.1b



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BUILDING SECTIONS

PA3.2