

CITY OF HAYWARD

Hayward City Hall
777 B Street
Hayward, CA 94541
www.Hayward-CA.gov



CITY OF
HAYWARD
HEART OF THE BAY

Agenda

Thursday, September 28, 2023

7:00 PM

Council Chambers & Virtual Platform (Zoom)

Planning Commission

PLANNING COMMISSION MEETING

NOTICE: The Planning Commission will hold a hybrid meeting in the Council Chambers and virtually via Zoom.

Pursuant to Government Code section 54953, the meeting will include a teleconference location at Hampton Inn Long Beach Airport, 3771 North Lakewood Boulevard, Long Beach, CA 90808. Planning Commission Member Lowe will participate via teleconference. The agenda will be posted at the teleconference location and the public will have an opportunity to address the Planning Commission.

How to watch the meeting from home:

1. Comcast TV Channel 15
2. Live stream <https://hayward.legistar.com/Calendar.aspx>
3. YouTube Live stream: <https://www.youtube.com/user/cityofhayward>

How to submit written Public Comment:

Send an email to cityclerk@hayward-ca.gov by 3:00 p.m. the day of the meeting. Please identify the Agenda Item Number in the subject line of your email. Emails will be compiled into one file, distributed to the Planning Commission and staff, and published on the City's Meeting & Agenda Center under Documents Received After Published Agenda. Written comments received after 3:00 p.m. that address an item on the agenda will still be included as part of the record.

How to provide live Public Comment during the Planning Commission Meeting:

Please click the link below to join the meeting:

<https://hayward.zoom.us/j/88482504586?pwd=dXq8uKe0hFpbmSgL0PF4raD3SQNnqp.1>

Webinar ID: 884 8250 4586

Passcode: PC9/28@7pm

Or Telephone:

Dial (for higher quality, dial a number based on your current location):

1 669 900 6833 or +1 646 931 3860 (Toll Free)

Webinar ID: 884 8250 4586

Passcode: 8692431517

International numbers available: <https://hayward.zoom.us/j/kwV0INji4>

A Guide to attend virtual meetings is provided at this link: <https://bit.ly/3jmaUxa>

CALL TO ORDER Pledge of Allegiance**AB 2449 TELECONFERENCE NOTIFICATIONS AND CONSIDERATION****ROLL CALL****PUBLIC COMMENTS**

The PUBLIC COMMENTS section provides an opportunity to address the Planning Commission on items not listed on the agenda. The Commission welcomes your comments and requests that speakers present their remarks in a respectful manner, within established time limits and focus on issues which directly affect the City or are within the jurisdiction of the City. As the Commission is prohibited by State law from discussing items not listed on the agenda, your item will be taken under consideration and may be referred to staff for further action.

PUBLIC HEARING

For agenda item No. 1, the decision of the Planning Commission is final unless appealed. The appeal period is 10 days from the date of the decision. If appealed, a public hearing will be scheduled before the City Council for final decision.

- 1** [PH 23-036](#) Proposed Subdivision of a 0.35-Acre Site into Eight Lots and the Development of Five Townhomes and Two Common Areas Located at 1434 Grove Way (APN: 415-0170-027-00) Requiring Approval of a Vesting Tentative Tract Map 8426 and Site Plan Review (Application No. 201902285), and a Class 32 Exemption, In-Fill Development Project, Pursuant to the California Environmental Quality Act (CEQA). Applicant: Vrinder Makol, East Bay Developers; Owner: Vrinder Makol and Mohinder Dhillon.

Attachments: [Attachment I Staff Report](#)
[Attachment II Draft Finding](#)
[Attachment III Draft Conditions of Approval](#)
[Attachment IV Vesting Tentative Tract Map 8426](#)
[Attachment V Project Plans](#)
[Attachment VI Landscape and Irrigation Plans](#)
[Attachment VII Arborist's Report](#)
[Attachment VIII Arborist's Letter](#)

For agenda item No. 2, the decision of the Planning Commission is final unless appealed. The appeal period is 10 days from the date of the decision. If appealed, a public hearing will be scheduled before the City Council for final decision.

- 2 [PH 23-037](#) Vesting Tentative Tract Map (Tract 8104) and Site Plan Review Application No. TM-23-0003 for a 12-lot, 10-unit, 100 percent affordable Townhouse-Style Residential Subdivision on a Vacant 0.74-acre Site Located at 123 A Street for which a Corresponding Planned Development District Rezoning Application (PL-2013-0290) and Now-Expired Vesting Tentative Tract Map Application (PL-2013-0291) were Previously Approved in 2015 (APN 431-0016-088-03). Applicant: Ben Grubb, Habitat for Humanity East Bay/Silicon Valley; Property Owner: City of Hayward.

Attachments: [Attachment I Staff Report](#)
[Attachment II Draft Findings for Approval](#)
[Attachment III Draft Conditions of Approval](#)
[Attachment IV Project Plans](#)
[Attachment V Approved Affordable Housing Plan](#)
[Attachment VI Mitigated Negative Declaration](#)

APPROVAL OF MINUTES

- 3 [MIN 23-099](#) Minutes of the Planning Commission Meeting on August 24, 2023

Attachments: [Attachment I Draft Minutes of August 24, 2023](#)

COMMISSION REPORTS

Oral Report on Planning and Zoning Matters

Commissioners' Announcements, Referrals

ADJOURNMENT

NEXT MEETING, OCTOBER 12, 2023, 7:00PM

PLEASE TAKE NOTICE

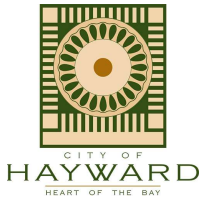
That if you file a lawsuit challenging any final decision on any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the City's public hearing or presented in writing to the City Clerk at or before the public hearing.

PLEASE TAKE FURTHER NOTICE

That the City Council has adopted Resolution No. 87-181 C.S., which imposes the 90 day deadline set forth in Code of Civil Procedure section 1094.6 for filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure section 1094.5.

****Materials related to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the Permit Center, first floor at the above address. Copies of staff reports for agenda items are available from the Commission Secretary and on the City's website the Friday before the meeting.****

Assistance will be provided to those requiring accommodations for disabilities in compliance with the Americans with Disabilities Act of 1990. Interested persons must request the accommodation at least 48 hours in advance of the meeting by contacting the City Clerk at (510) 583-4400 or cityclerk@hayward-ca.gov.



CITY OF HAYWARD

Hayward City Hall
777 B Street
Hayward, CA 94541
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File #: PH 23-036

DATE: September 28, 2023

TO: Planning Commission

FROM: Rozalynne Thompson, AICP, Senior Planner

SUBJECT

Proposed Subdivision of a 0.35-Acre Site into Eight Lots and the Development of Five Townhomes and Two Common Areas Located at 1434 Grove Way (APN: 415-0170-027-00) Requiring Approval of a Vesting Tentative Tract Map 8426 and Site Plan Review (Application No. 201902285), and a Class 32 Exemption, In-Fill Development Project, Pursuant to the California Environmental Quality Act (CEQA). Applicant: Vrinder Makol, East Bay Developers; Owner: Vrinder Makol and Mohinder Dhillon.

RECOMMENDATION

That the Planning Commission approve the Vesting Tentative Tract Map and Site Plan Review Application No. 201902285 and determine that the project is exempt from CEQA, pursuant to Class 32 In-Fill CEQA Exemption for the proposed townhome development based on the analysis set forth in this staff report and the Findings contained in Attachment II, and subject to the Conditions of Approval contained in Attachment III.

SUMMARY

The applicant is requesting the Planning Commission approve the Vesting Tentative Tract Map Tract 8426 (VTTM) and Site Plan Review application to allow the subdivision of an existing 0.35-acre site into eight lots and construction of two new townhouse buildings, one with three attached units and the other with two attached units, for a total of five units. Two other lots will serve as common areas for the project, while one lot will provide access to the units via private roadway. The common areas and private street are to be maintained by the newly formed Homeowners Association (HOA).

To comply with the requirements of the City's Affordable Housing Ordinance (AHO) in Chapter 10, Article 17 of the Hayward Municipal Code (HMC), the owner has committed to pay the applicable in-lieu fees for the project. The in-lieu fees will be required to be paid either prior to issuance of building permits or prior to issuance of a certificate of occupancy in accordance with the Ordinance.

ATTACHMENTS

File #: PH 23-036

Attachment I - Staff Report

Attachment II - Draft Findings

Attachment III - Draft Conditions of Approval

Attachment IV - Vesting Tentative Tract Map 8426

Attachment V - Project Plans

Attachment VI - Landscape and Irrigation Plans

Attachment VII - Arborist's Report

Attachment VIII - Arborist's Letter



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BACKGROUND

On February 18, 2019, the City received a Site Plan Review and VTTM application to subdivide a 0.35-acre lot into eight parcels and to construct six townhomes with one lot serving as common area and another lot providing vehicular access through a private street at 1434 Grove Way. On August 31, 2022, the applicant resubmitted the project plans and addressed comments from staff and as well as modified the project by reducing the number of residential units from six to five and increased the number of common areas from one to two.

Public Outreach: On April 23, 2019, the Planning Division mailed out 118 Notices of Receipt of Application (NOR) for the proposed SPR and VTTM to the owners and occupants of all property within 300 feet of the site.

On September 1, 2023, a Notice of this Public Hearing for the Planning Commission meeting was sent to property owners, residents, and businesses within 300-feet of the project site; emailed to interested parties and those who requested such notice; and, published in *The Daily Review* newspaper. As of the date this report, staff has not received any comments from members of the public regarding the proposed project.

PROJECT DESCRIPTION

Existing Conditions: The project site (415-0170-027-00) is approximately 0.35 acres and located on the northwest corner of the intersection of Oak Street and Grove Way. The project site is rectangularly shaped with a gentle upward slope from west to east and is bounded by a gas station to the west, Oak Street to the east, Grove Way to the south, and a vacant site to the north. There are two existing buildings on the project site, consisting of a single-family dwelling constructed in 1900 and a detached garage constructed in 1950, which would be demolished to allow for project construction. The existing single-family dwelling is sited near the southwestern corner of the project site and the existing garage is sited near the northwestern corner of the project site. A paved driveway located adjacent to the northeast side of the single-family dwelling provides vehicular access from Grove Way to the garage.

Proposed Project: The proposed project includes a VTTM to subdivide the existing 0.35-acre site into eight lots, and SPR to construct a new five lot townhome development and related site improvements. Of the eight newly-created lots, five lots would be developed with townhomes, two lots would be dedicated as common open space, bicycle parking, and guest parking, and the remaining lot would be a private street providing two-way ingress/egress to the site. The proposed lot sizes range from 967 square feet to 3,567 square feet and approx. 1,888 square feet of land will be dedicated to the City to widen Grove Way and extend the public sidewalk.

The proposed townhome development is comprised of two buildings total: one building containing three units and one building with two units. The three-story buildings are proposed at 40 feet in height and range in size from 1,745 square feet to 2,250 square feet. Each townhome will feature four bedrooms, three-and-a-half bathrooms, and a side-by-side two-car garage. Three floor plans are proposed; two of the floor plans will provide porches and decks on each floor, while the third floor plan has a porch at the first floor, a deck at the second floor, and a roof deck. A copy of the project plans, including the site plan and architectural renderings, are included as Attachment V.

Proposed Circulation and Access: Vehicular access to the townhomes is provided by a proposed private street (Cherry Court). The proposed private street would be perpendicular to Grove Way and will provide the only vehicular access to the site. The street will provide access at the southern property line and will terminate near northern property line of the proposed "B" and "C" lots. Two guest parking spaces and eight bicycle spaces are accessed from the private street.

Proposed Architecture: The proposed architecture is a contemporary design with elements of traditional styling, such as horizontal wood siding, stone veneer, and stucco. The buildings provide variation and massing breaks with the use of gable and shed roofs, balconies and recesses, modulation of the façades, and the use of color and enhanced materials. In addition, the project will incorporate a variety of building materials including stucco, metal railings, corrugated metal siding, horizontal cementitious siding, and composition roof shingles. The multi-tone color palette includes maroon, light gray, dark gray, beige, brown, and white. Materials, detailing, and colors will carry over to all building facades.

Landscaping and Open Space: The landscape plan proposes 4,474 square feet of landscaping and open space areas for the project, with a plant palette of trees, shrubs, ornamental plantings, and groundcovers. Ten protected trees on-site are proposed for removal and contain an assessed valuation of \$15,250. To satisfy the City's tree mitigation requirements, the project proposes to install ten, 36-inch box trees, including *Quercus Agrifolia* ("Coast Live Oak"), *Quercus Virginiana* ("Southern Live Oak") and *Acer Buergerianum* ("Trident Maple"), along with 12 varieties of shrubs. The proposed replacement landscape and hardscape materials are valued at \$15,250, which would satisfy the mitigation requirements for tree removal. In addition, all landscaping materials, including mitigation efforts, are subject to final review and approval by the City's Landscape Architect prior to building permit issuance and subject to inspection prior to occupancy. All landscaping is required to be compliant with the City's Bay-Friendly Water Efficient Landscape Ordinance and is subject to final inspection prior to occupancy.

The project also proposes several other open space features, such as decorative pavers, a community seat wall, trellis, lounge chairs and tables, and an eight-foot decorative masonry wall, which is proposed along the western and northern property lines. A copy of the proposed landscaping and irrigation plan is included as Attachment VI and a copy of the Arborist Report and supplemental letter is included as Attachment VII and VIII, respectively.

Historic Evaluation: On July 16, 2021, a historic resource evaluation (HRE) was prepared by Michael Baker International. The HRE found that although the existing single-family residence was constructed in 1900 and the garage was constructed in 1950, the features of both buildings have been replaced and non-original materials have been added to the buildings. Further, neither building displays elements which demonstrate outstanding attention to architectural design, detail, materials, or craftsmanship. Based on that analysis, the HRE concluded that the existing buildings at 1434 Grove Way are not eligible for listing in the California Historic Register or Hayward's Local Register under any criteria and, therefore, are not historic resources.

Sustainability Features: The project will be required to comply with the California Green Building Standards Code (CALGreen) and the City's Reach Code by featuring all-electric homes that contain no gas-powered appliances, be solar-ready, and provide parking spaces that are electric vehicle-ready. Additionally, all landscaping will be required to comply with the City's Bay-Friendly Water Efficient Landscape Ordinance for irrigation and drought tolerant plant materials.

POLICY CONTEXT AND CODE COMPLIANCE

Hayward 2040 General Plan: The project site is designated Commercial/High Density Residential (CHDR) in the *Hayward 2040 General Plan*. This land use designation allows residential development, including single-family attached homes and multifamily homes, at a maximum density of 34.8 dwelling units per net acre. The project proposes five residential units on 0.25 net acre (netting out private roadway access), resulting in a density of 20 dwelling units per net acre, consistent with the City's General Plan land use designation.

The project is also consistent with several General Plan goals and policies, including but not limited to the following:

- The City shall encourage property owners to revitalize or redevelop abandoned, obsolete, or underutilized properties to accommodate growth (General Plan Land Use Policy LU-1.4).
- The City shall implement land use policies that allow for a range of residential densities and housing types, prices, ownership, and size, including low-density single family uses, moderate-density townhomes, and higher-density apartments, condominiums, transit-oriented developments, live-work units, and units in mixed-use developments (Housing Policy H-3.1).
- The City shall encourage development of residential uses close to employment, recreational facilities, schools, neighborhood commercial areas, and transportation routes (Housing Policy H-3.4).

Zoning Ordinance: The project site is zoned Commercial Office (CO) District. This zoning classification allows for variety of administrative, professional, business, and financial service uses as well as residential uses. Pursuant to Hayward Municipal Code (HMC) Section 10-1145, multi-family projects shall be subject to the development standards contained in the Medium Density Residential (RM) District or High Density Residential (RH) District, respectively, whichever is most consistent with the applicable General Plan designation. For this project, the most consistent zoning district to the CHDR General Plan land use designation is the RH, High Density Residential District¹.

Sections 10-1.525, 10-1.530, and 10-1.535 of the Zoning Ordinance outline the development standards for townhome developments in the RH district. Subsection 10-1.530 of the Zoning Ordinance require that the minimum lot area of townhome developments to be consistent with building footprint and project areas. In the proposed project, all proposed building footprints are coextensive with the proposed lot areas. Moreover, with a 20-foot front yard setback, a 10-foot street and street-side yard setback, and a 20-foot rear yard setback, the proposed project complies with the required setbacks of the Zoning Ordinance. Furthermore, the proposed building height of 40 feet complies with the maximum height limit in Subsection 10-1.535(a). Therefore, the proposed project is consistent with the development standards for the RH zoning district and does not require any variances or exceptions for the project.

¹ RH, High Residential District Regulations:
https://library.municode.com/ca/hayward/codes/municipal_code?nodeId=HAYWARD_MUNICIPAL_CODE_CH10PLZOSU_ART1ZOOR_S10-1.500HIDEREDIRH

Subdivision Ordinance: In accordance with Section 10-3.150² of the Subdivision Ordinance of the HMC, in order to recommend approval an application for a Vesting Tentative Tract Map to the City Council, the Planning Commission must make the following findings:

1. The proposed subdivision is not in conflict with the General Plan and applicable specific plans and neighborhood plans;
2. The proposed subdivision meets the requirements of the City Zoning Ordinance; and
3. No approval of variances or other exceptions are required for the approval of the subdivision. As stated above, the proposed subdivision meets several goals and policies of the Hayward 2040 General Plan and complies with the applicable development standards of the City's Zoning Ordinance.

Additional details and analysis for each of the required findings is provided in the Draft Findings for Approval (Attachment II).

SB330 and Housing Crisis Act: In 2019, the State of California adopted new legislation (SB330) that is intended to address the State's housing crisis. SB330 strengthens the Housing Accountability Act (Government Code Section 65589.5), which states that a housing development project that complies with the objective standards of the General Plan and Zoning Ordinance must be approved by the City, unless the City is able to make written findings based on the preponderance of the evidence in the record that either: (1) the City has already met its Regional Housing Needs Assessment (RHNA) requirement; (2) there is an impact to the public health and safety and this impact cannot be mitigated; (3) the property is agricultural land; (4) approval of the project would violate State or Federal law and this violation cannot be mitigated; or (5) the project is inconsistent with the zoning and land use designation and not identified in the General Plan Housing Element RHNA inventory.

"Objective" means involving no personal or subjective judgment by a public official and being uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official. As noted above and following staff review, the project does comply with the objective standards of the applicable zoning district and General Plan land use designation.

Pursuant to SB330, the City may not approve a housing development project that requires the demolition of residential dwelling units unless the project will create at least as many units as will be demolished. Additionally, the City may not approve a housing development project if it requires demolition of a protected unit, unless the project will replace any existing, demolished, or removed protected units, imposes certain affordability conditions on the new units replacing the protected units, and provides any existing residents with specified benefits. "Protected units" are defined as:

1. Affordable units deed-restricted to households earning below 80 percent of area median income (AMI).
2. Occupied by low-income households earning below 80 percent of AMI.
3. Units vacated under the Ellis Act within 10 years prior to development application.

² Subdivision Ordinance:

https://library.municode.com/ca/hayward/codes/municipal_code?nodeId=HAYWARD_MUNICIPAL_CODE_CH10PLZOSU_ART3SUOR

As stated above, the site has been developed with a single-family residence that will be demolished to accommodate the project. The five units created by the project satisfies the requirement to create at least as many units as were demolished. Additionally, based on documentation received from the applicant, staff determined that the existing single-family residence is not a “protected unit” under SB330 and, therefore, the new units created by the project do not need to meet any of the replacement conditions relating to demolition of protected units.

Regional Housing Needs Allocation & Affordable Housing Ordinance: Local jurisdictions report progress annually on meeting their Regional Housing Needs Allocation (RHNA) goals which are included in the City’s Housing Element. The 6th Cycle Housing Element (2023-2031) was adopted by the City Council on February 7, 2023, and subsequently certified by the State Department of Housing and Community Development³. In the next eight-year cycle (2023-2031), the City is required to build 4,624 units at a variety of income levels. According to the Housing Element, Appendix C, Table C-3, Planned, Approved and Pending Projects, there are a total of 2,073 units that are approved or otherwise pending at a variety of income levels during the upcoming cycle. The proposed development would add five above moderate-income units to the total.

The proposed project is subject to the requirements of the City’s Affordable Housing Ordinance set forth in HMC Chapter 10, Article 17 - Affordable Housing Ordinance. An applicant may satisfy the requirements of the ordinance by paying an affordable housing in-lieu fee, including affordable units within the proposed development, or both. For this project, the applicant has elected to pay the applicable fractional in-lieu fees for the project. Affordable housing in-lieu fees are required to be paid either prior to issuance of a building permit for each dwelling unit or prior to approval of a final inspection or issuance of an occupancy permit for the units. According to the 2024 Master Fee Schedule⁴, the current Affordable Housing In Lieu fees are \$26 per square foot for lower density (less than 35 units per acre) ownership projects with a 10% increase for fees paid at issuance of occupancy permit.

Parkland Dedication: HMC Chapter 10, Article 16⁵ (Property Developers – Obligations for Parks and Recreation) sets forth the parkland dedication requirements for private development based on residential unit count. Pursuant to the Ordinance, the applicant must pay fees in lieu of land dedication (also referred to as Park Impact Fees). Currently, Park Impact Fee rate for a four-bedroom dwelling unit is \$26,175. The project proposes five dwelling units, each with four bedrooms. As such, the developer is required to pay \$130,875 in Park Impact Fees, based on the current rate. A Condition of Approval (Attachment III) was included which requires the applicant to pay the applicable Park Impact Fees in effect at the time of building permit issuance for the development.

³ Hayward 6th Cycle Housing Element (2023-2031). <https://www.hayward-ca.gov/your-government/departments/planning-division/hayward-housing-element-climate-action-plan-safety-element-and-environmental-justice-update>

⁴ Hayward 2024 Fee Schedule. https://www.hayward-ca.gov/sites/default/files/documents/Adopted-FY-2024-Master-Fee-Schedule_0.pdf

⁵ Parkland Dedication Requirements:

https://library.municode.com/ca/hayward/codes/municipal_code?nodeId=HAYWARD_MUNICIPAL_CODE_CH10PLZOSU_ART16PRDEBLPAR

STAFF ANALYSIS

Based on the staff's analysis in this staff report and per the draft findings in Attachment II, staff believes that the Planning Commission can make the necessary findings to approve the proposed project, as conditioned. As noted in this report, the proposed project adheres to all applicable standards of the City's Zoning and Subdivision Ordinance and does not require any variances or exceptions. In addition, the proposed project is consistent with several goals and policies of the *Hayward 2040 General Plan* and is designed to integrate well with the existing residential neighborhood. Specifically, staff notes that the project provided a suitable land use buffer between the commercial development to the west and the lower density residential development to the east of the project site; the buildings provide architectural variation and incorporates the use of gable and shed roofs, balconies and recesses, modulation of the façades, and incorporates a multi-tone color palette.

In addition, the project proposes a residential density of 20 units per acre, which is within the General Plan density range and will be operate in a manner compatible with surrounding developments because the proposed project is similar to other residential uses in the immediate vicinity and projects that have been recently approved by the City, such as Oak Street Townhomes project.

As previously noted, the project proposes to redevelop an underutilized 0.35-acre site with five new townhomes and will include guest parking, bicycle parking, new common areas, new landscaped areas and new pedestrian and vehicular access along Grove Way. The project, as conditioned, will also be subject to all applicable provisions of the Hayward Municipal Code related to construction, maintenance, and landscaping of the project site.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review in accordance with the California Environmental Quality Act (CEQA) Guidelines, Section 15332, In-Fill Development, because the project, as analyzed above, (1) is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (2) is located on a 0.35-acre site in an urbanized area within the City of Hayward; (3) has no value, as habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (5) can be adequately served by all required utilities and public services.

NEXT STEPS

Following the Planning Commission hearing, a ten-day appeal period for the project will occur. If no appeal is received, then the Commission's decision will become final, and the applicant will then prepare a Final Map for City Council approval and submit applications for improvement plans and building. If an appeal is filed, then a hearing by the City Council on the VTTM and SPR application will be scheduled for a date to be determined.

Prepared by: Rozalynne Thompson, AICP, Senior Planner

Recommended by: Leigha Schmidt, Principal Planner

Approved by:



Jeremy Lochirco, Planning Manager



Sara Buizer, AICP, Development Services Director

**CITY OF HAYWARD PLANNING COMMISSION
VESTING TENTATIVE TRACT MAP & SITE PLAN REVIEW
APPLICATION NO. 201902285
1434 GROVE WAY**

DRAFT FINDINGS FOR APPROVAL

VESTING TENTATIVE MAP

Pursuant to Hayward Municipal Code Section 10-3.150 and the Subdivision Map Act, in order for a vesting tentative tract map to be approved, the Planning Commission shall make the following findings:

A. The proposed subdivision is not in conflict with the General Plan and applicable specific plans and neighborhood plans;

The proposed vesting tentative map is consistent with the Commercial/High Density Residential (CHDR) land use designation of the *Hayward 2040 General Plan* because the proposed density is 20 units per net acre where a maximum density of 34.8 units per net acre is allowed. Per the General Plan, no minimum density is prescribed. Furthermore, the proposed subdivision is also consistent with the following General Plan policies:

- The City shall encourage property owners to revitalize or redevelop abandoned, obsolete, or underutilized properties to accommodate growth (General Plan Land Use Policy LU-1.4).
- The City shall implement land use policies that allow for a range of residential densities and housing types, prices, ownership, and size, including low-density single family uses, moderate-density townhomes, and higher-density apartments, condominiums, transit-oriented developments, live-work units, and units in mixed-use developments (Housing Policy H-3.1).
- The City shall encourage development of residential uses close to employment, recreational facilities, schools, neighborhood commercial areas, and transportation routes (Housing Policy H-3.4).

B. The proposed subdivision meets the requirements of the City Zoning Ordinance; and

Pursuant to HMC Section 10-1145, multi-family dwelling standards shall follow those set forth in the Medium Density Residential (RM) District or High Density Residential (RH) District, respectively, whichever is most consistent with the applicable General Plan designation. For this project, the most consistent zoning district to the Commercial/High Density Residential (CHDR) land use designation is the RH, High Density Residential District. The proposed townhome development, as proposed and conditioned, is consistent with all development standards and the permitted uses for the RH zoning district related to building setbacks, building height, lot coverage, lot size and open space; and the proposed subdivision is also consistent with the regulations of the Article 3, Subdivision Ordinance.

C. No approval of variances or other exceptions are required for the approval of the subdivision.

The proposed subdivision does not require the approval of any variances or exceptions. The subdivision will be compliant with the Hayward Municipal Code with respect to the Zoning Ordinance and Subdivision Ordinance.

SITE PLAN REVIEW

Pursuant to Hayward Municipal Code Section 10-1.3025, the Planning Commission may recommend approval of an application when all of the following findings are made:

A. The development is compatible with on-site and surrounding structures and uses and is an attractive addition to the City;

The proposed development is compatible with surrounding structures and uses, which includes a mix of commercial and residential development. Specifically, the townhome development would provide an intensification of uses between the commercial development to the west and the lower density residential development to the west of the project site, thus contributing to the mix of structures and uses within the vicinity of the project site. Moreover, the proposed architecture is generally a contemporary style with some traditional elements integrated in the design, such as horizontal wood siding, stone veneer, and stucco. The buildings will also provide variation and massing breaks with the use of gable and shed roofs, balconies and recesses, modulation of the façades, and the use of enhanced building materials and a multi-tone color palette. The project will also feature new landscaping and lighting, and include numerous site and right-of-way improvements for both vehicles and pedestrians along Grove Way. The result is a residential development that is aligned with the goals of the *Hayward 2040 General Plan*.

B. The development takes into consideration physical and environmental constraints;

The development takes into consideration the physical and environmental constraints of the site because the project proposes to redevelop an underutilized, 0.35-acre site with five new residential townhome units, guest parking, bicycle parking, two common areas, and expanded vehicular and pedestrian access along Grove Way. The site slopes gently upward from west to east along Grove Way and Oak Street. The existing site does not have value as habitat for endangered, rare, or threatened species; and, as conditioned, construction of the project would not result in any significant impacts relating to noise, air quality or water quality. The project site is within City limits and is adequately served by all required utilities and public services.

C. The development complies with the intent of City development policies and regulations; and

The project site is designated Commercial/High Density Residential (CHDR) in the *Hayward 2040 General Plan*. This land use designation allows residential development, including single-family attached homes and multifamily homes, at a maximum density of 34.8

dwelling units per net acre. The project proposes five residential units on 0.25 net acre, which is a density of 20 dwelling units per net acre. Therefore, the project is consistent with the site's General Plan land use designation.

The project is also consistent with several General Plan Goal and Policies, including but not limited to the following:

- The City shall encourage property owners to revitalize or redevelop abandoned, obsolete, or underutilized properties to accommodate growth (General Plan Land Use Policy LU-1.4).
- The City shall implement land use policies that allow for a range of residential densities and housing types, prices, ownership, and size, including low-density single family uses, moderate-density townhomes, and higher-density apartments, condominiums, transit-oriented developments, live-work units, and units in mixed-use developments (Housing Policy H-3.1).
- The City shall encourage development of residential uses close to employment, recreational facilities, schools, neighborhood commercial areas, and transportation routes (Housing Policy H-3.4).

The proposed project is also consistent with the City's Zoning Ordinance and related development standards. The project site is zoned Commercial Office (CO), which allows for a variety of administrative, professional, business, and financial service uses as well as allows a variety of residential uses. Pursuant to Hayward Municipal Code Section 10-1145, multi-family dwelling standards shall follow those set forth in the Medium Density Residential (RM) District or High Density Residential (RH) District, respectively, whichever is most consistent with the applicable General Plan designation. The most consistent zoning district to the CHDR General Plan land use designation is the RH District. As detailed in the staff report, the proposed development is consistent with the applicable development standards set forth in the RH District and no variances or exceptions are proposed.

D. The development will be operated in a manner determined to be acceptable and compatible with surrounding development.

The development will be operated in a manner determined to be acceptable and compatible with surrounding developments because the proposed project is a townhome development, which is similar to other residential uses adjacent to the project site. Multi-family residential is permitted by-right within the CO zoning district, and multifamily uses are intended within the CHDR General Plan land use designation.

Additionally, during construction, the proposed project will be subject to all applicable provisions of the Hayward Municipal Code related to construction, maintenance, and landscaping of the project site. The proposed development will be required to adhere to the Conditions of Approval applicable during construction including standard procedures of site preparation and development, permitted hours of construction activity, and construction stormwater management.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review in accordance with the California Environmental Quality Act (CEQA) Guidelines, Section 15332, In-Fill Development, because the project, as analyzed above, (1) is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulation; (2) is located on a 0.35-acre site in an urbanized area within the City of Hayward; (3) has no value, as habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (5) can be adequately served by all required utilities and public services.

**CITY OF HAYWARD PLANNING COMMISSION
VESTING TENTATIVE TRACT MAP 8426 & SITE PLAN REVIEW
APPLICATION NO. 201902285
1434 GROVE WAY**

DRAFT CONDITIONS OF APPROVAL

GENERAL

Planning

1. Vesting Tentative Tract Map (VTTM) 8426 and the Site Plan Review Application No. 201902285 are approved subject to the vesting tentative tract map and project plans date stamped May 13, 2023, and June 27, 2023, respectively, except as modified by the conditions listed below. Any proposal for alterations to the conditionally approved site plan and/ or design that does not require a variance to any zoning ordinance standard shall be subject to review and approval by the Development Services Director or his/her designee prior to implementation. Alterations requiring a variance shall be subject to review and approval by the Planning Commission, if applicable.
2. The developer shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers, and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
3. Failure to comply with any of the conditions set forth in this approval, or as subsequently amended in writing by the City, may result in failure to obtain a building final and/or a Certificate of Occupancy until full compliance is reached. The City's requirement for full compliance may require minor corrections and/ or complete demolition of a non-compliant improvement regardless of costs incurred where the project does not comply with design requirements and approvals that the applicant agreed to when permits were filed to construct the project.
4. All outstanding fees owed to the City, including permit charges and staff time spent processing or associated with the development review of this application shall be paid in full prior to any consideration of a request for approval extensions and/or the issuance of a building permit.
5. If determined to be necessary for the protection of the public peace, safety and general welfare, the City of Hayward may impose additional conditions or restrictions on this permit. Violations of any approved land use conditions or requirements will result in further enforcement action by the Code Enforcement Division. Enforcement includes, but is not limited to, fines, fees/penalties, special assessment, liens, or any other legal remedy required to achieve compliance including the City of Hayward instituting a revocation hearing before the Planning Commission.
6. A copy of these conditions of approval shall be scanned and included on a separate, full-sized sheet(s) in the building permit plan check set.

7. The Planning Director or designee may revoke this permit for failure to comply with, or complete all, conditions of approval or improvements indicated on the approved plans.
8. The owner shall maintain in good repair all building exteriors, walls, lighting, drainage facilities, landscaping, driveways, and parking areas. The premises shall be kept clean and weed-free.
9. The applicant shall be responsible for graffiti-free maintenance of the property and shall remove any graffiti within 48 hours of occurrence or City notification.
10. The applicant shall apply for and obtain all necessary permits from the City and/or outside agencies prior to any site work.
11. Within 60 days of following the issuance of a building permit and prior to construction, the applicant shall install one non-illuminated "Coming Soon" sign on the project site that includes a project rendering, a project summary, and developer contact information. The sign shall be constructed of wood or recyclable composite material, be placed in a location at least ten (10) feet back from the property line, and shall not impede pedestrian, bicycle, and vehicular visibility or circulation. The sign shall be maintained in accordance with Section 10-7-709 of the Hayward Municipal Code (HMC) and may be up to thirty-two (32) square feet of sign area and shall not exceed ten (10) feet in height. Sign design, size and location shall be reviewed and approved by the Planning Division prior to placement.
12. Prior to operation, issuance of a Building Permit or the Certificate of Occupancy, the applicant shall contact the Planning Division and be subject to a site inspection by the designated project planner to verify that all applicable mitigations and conditions of approval have been satisfied. The cost of inspection, including any subsequent inspections that are deemed necessary by the City, shall be paid by the applicant.
13. The permittee, property owner, or designated representative shall allow the City's staff to access the property for site inspection(s) to confirm all approved conditions have been completed and are being maintained in compliance with all adopted city, state and federal laws.
14. Details of the bicycle storage rack shall be submitted to the City for review and approval prior to issuance of building permit.
15. Group open space noise level shall not exceed 65 decibels (dB).
16. Mailboxes shall be installed in accordance with Post Office policy and include locking mechanisms to minimize opportunities for theft.
17. Property addresses will be assigned by the Development Services Department prior to issuance of a building permit.
18. All lighting fixtures shall incorporate a shield to allow for downward illumination. No spillover lighting to adjacent properties is permitted and all exterior lighting on walls, patios or balconies shall be recessed/shielded to minimize visual impacts.

19. The building colors and materials shown on the building permit plans shall match those shown on the architectural plans, color/material exhibit and/or renderings date stamped June 27, 2023. Any revision to the approved colors and materials shall be reviewed and approved by the Planning Division prior to the issuance of a building permit and/or prior to construction.
20. All vents gutters, downspouts, flashings, electrical conduits, etc. shall be painted to match the color of the adjacent material unless specifically designed as an architectural element.
21. All exterior and rooftop mechanical equipment shall be screened or located away from public view. Mechanical and rooftop equipment shall include, but is not limited to, electrical panels, pull boxes, air conditioning units, gas meters, and swimming pool equipment. All rooftop screening and mechanical equipment shall be shown on the project plans and be subject to final review and approval by City staff prior to the issuance of an occupancy permit. All screening shall be compatible with respect to forms and materials used on the building.
22. If permitted, all above-ground utility meters, air conditioners, mechanical equipment and water meters shall be enclosed within the buildings or shall be screened with shrubs and/or an architectural screen from all perspectives, unless other noise mitigation is required. All equipment shall be designed to be compatible with respect to location, form, design, exterior materials, and noise generation. The applicant shall obtain planning division review and approval prior to issuance of any permits.
23. No signs are approved with this project. Any signs placed on-site or off-site shall be reviewed and approved by the Planning Division and a Sign Permit application shall be required, consistent with HMC Sign Ordinance requirements.
24. This development is subject to the requirements of the Property Developers – Obligations for Parks and Recreation set forth in HMC Chapter 10, Article 16. Per HMC Section 10-16.10, the applicant shall pay impact fees. The impact fees shall be the rate that is in effect at the time of building permit issuance.
25. The proposed development is subject to the requirements of the Property Developer – Traffic Impact Fees set forth in HMC Chapter 10, Article 30. Per HMC Section 10-30.20, the applicant shall pay traffic impact fees. The impact fees shall be the rate that is in effect at the time the application is deemed complete by the Planning Division.
26. In accordance with HMC Section 10-3.246, approval of this VTTM application shall expire 36 months after the effective date of approval subject to statutory and discretionary extensions as allowed by the HMC and Subdivision Map Act.
27. In accordance with HMC Section 10- 1. 3055 and HMC Section 10-3.246, approval of this Site Plan Review and Vesting Tentative Tract Map is void 36 months after the effective date of approval unless:

- a. Prior to the expiration of the 36-month period, a building permit application has been submitted and accepted for processing by the Building Official or his/ her designee. If a building permit is issued for construction of improvements authorized by this approval, said approval shall be void two years after issuance of the building permit, or three years after approval of the application, whichever is later, unless the construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance on this approval; or
- b. A time extension of the approval has been granted by the Development Services Director or his/her designee, which requires that a request for an extension of this approval must be submitted in writing to the Planning Division at least 15 days prior to the expiration date of this approval.

Landscaping

- 28. Water provider is East Bay Municipal Utility District (EBMUD). Planting and irrigation plans shall be reviewed and approved by EBMUD for compliance with EBMUD's Water Efficient Landscape Ordinance prior to submitting landscape improvement plans for grading permit.
- 29. A dedicated irrigation water meter shall be provided to serve the development. The meter shall be located in the public right-of-way.
- 30. Street tree planting and related irrigation in the public right-of-way along Oak Street shall conform to the Alameda County's requirements.
- 31. Street tree planting and its irrigation in the sidewalk along Grove Way shall conform to City of Hayward requirements.
- 32. No building permit shall be issued prior to approval of landscape and irrigation improvement plans.
- 33. A tree removal permit shall be obtained from City Landscape Architect prior to the removal of any tree in addition to demolition and grading permits.
- 34. A tree preservation bond that is equal to the appraised tree value for trees for preservation shall be submitted to City Landscape Architect prior to issuance of grading permit. The bond will remain in place until the completion of construction. A written request for releasing the bond shall be submitted to City Landscape Architect.
- 35. Tree shall be located a minimum of five feet from all utility service lines and driveways, a minimum nine feet from the center line of fire hydrant, a minimum of fifteen feet from a light pole, and a minimum of thirty feet from the face of a traffic signal, or as otherwise specified by the City.
- 36. All final tree locations shall be field verified by the project landscape architect prior to planting and resolve any conflicts arise in the field.

37. Root barriers shall be installed linearly against the paving edge in all instances where a tree is planted within seven feet of pavement or buildings, and as recommended by the manufacturer.
38. All above ground mechanical equipment shall be screened from the street with five-gallon shrubs.
39. Pursuant to HMC Article 12 - Bay-Friendly Water Efficient Landscape Ordinance requires the following for single-family residential developments with usual yard: Section 10-12.14 requirement for installing basic “laundry to landscape” plumbing in each residence where usable private yard is available. Plumb-ready “laundry to landscape” system shall meet Plumbing Code and shall be addressed in the plumbing plan during building permit process.
40. Pursuant to HMC Section 10-12.15 Minimum one fifty (50) gallon lidded rainwater catchment device shall be located on the plan where it would be easily accessible to use.
41. Standard Landscape Maintenance:
 - a. Landscaping shall be maintained in a healthy, weed-free condition at all times and shall maintain irrigation system to function as designed performance, and minimize the use of fertilizers and pesticides, which contribute pollution to the Bay.
 - b. The owner’s representative shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over 30% dieback) shall be replaced within ten days of the inspection.
 - c. Three inches deep mulch should be maintained in all planting areas. Mulch shall be organic recycled chipped wood in the shades of Dark Brown Color and the size shall not exceed 1-1/2-inch diameter. The depth shall be maintained at three inches deep.
 - d. All nursery stakes shall be removed during tree installation and staking poles shall be removed when the tree is established or when the trunk diameter of the tree is equal or larger to the diameter of the staking pole.
 - e. All trees planted as a part of the development as shown on the approved landscape plans shall be “Protected” and shall be subjected to Tree Preservation Ordinance. Tree removal and pruning shall require a tree pruning or removal permit prior to removal by City Landscape Architect.
 - f. Any damaged or removed trees without a permit shall be replaced in accordance with the Tree Preservation Ordinance or as determined by City Landscape Architect within the timeframe established by the City and pursuant to the Municipal Code.
 - g. The irrigation system shall be tested periodically to maintain uniform distribution of irrigation water; irrigation controller shall be programmed seasonally; irrigation system should be shut-off during winter season; and the whole irrigation system should be flushed and cleaned when the system gets turn on in the spring.

Affordable Housing

42. This development is subject to the requirements of the Affordable Housing Ordinance (AHO) set forth in HMC Chapter 10, Article 17. The applicant shall comply with the requirements in section 10-17.410 of the AHO by paying the applicable affordable

housing in-lieu fee as set by resolution in effect at the time of payment. The applicant shall pay either prior to issuance of building permits or prior to approval of final inspection/issuance of an occupancy permit. No final inspections for occupancy will be approved and no occupancy permit will be issued for any unit unless the affordable housing in-lieu fees are paid in full. The project is subject to all applicable provisions of Senate Bill (SB) 330, including all tenant protections.

Solid Waste & Recycling

43. Residents shall not place carts at the curb any earlier than 6:00 a.m. the day before scheduled collection and are required to retrieve them no later than midnight the days the carts are emptied. (HMC Section 5-1.15).

Building

44. The project shall comply with the City of Hayward Reach Code. This is a local green building regulation that modifies the CA Energy Code to prohibit or discourage natural gas use in almost all new buildings. The Reach Code also expands the EV charging regulations in CalGreen. To learn more about the Reach Code and to find a checklist for your project, please see the City of Hayward website here: <https://www.hayward-ca.gov/reachcode>.

Fire Department

45. Where the grade plan and highest roof surface exceeds 30feet., fire apparatus roads shall have unobstructed width of 26 feet in the immediate vicinity of buildings (*highest roof surface shall be determined by measurement to the eve of a pitched roof*). At least one of the required access routes shall be located within a minimum of 15 feet and a maximum of 30 feet from the building and shall be positioned parallel to one entire side of the building. (*Grove Way and Oak Street*).
46. Fire apparatus access roads shall be designed and maintained to support 75,000 pounds, the imposed load of fire apparatus, and shall be surfaced to provide all-weather driving capability. An unobstructed vertical clearance of not less than 13 feet 6 inches shall be provided for all fire apparatus accesses.
47. Fire apparatus access road 20 feet to 26 feet wide shall be posted on both sides as a fire lane; fire apparatus access road 26 feet to 32 feet wide shall be posted on one side (Grove Way and Oak Street fronting the proposed) of the road as a fire lane. "No Parking" signs shall meet the City of Hayward Fire Department fire lane requirements.
48. Address and premise identification approved numbers shall be placed on all buildings in such a position as to be plainly visible and legible from the road or street fronting the property. Dimensions of address numbers or letters on the front of the buildings shall be approved by the fire department.
49. An approved fire apparatus access road shall be provided for every facility building or portion of a building constructed or moved within the jurisdiction. The fire apparatus

access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

50. A fire flow shall be provided in accordance with the 2022 California Fire Code Table B105.1 based on the construction type and building area when building exceeding 3,600 square feet. A fire flow reduction of up to 50 percent is allowed when the building is provided with automatic sprinkler system in accordance with National Fire Protection Association (NFPA) standard 13. The resulting fire flow shall not be less than 1,500 gallons per minute (gpm).
51. The minimum number of fire hydrants shall be provided in accordance with the Hayward Fire Code Ordinance and the California Fire Code (CFC). The average spacing between hydrants is 300 feet. Any portion of the building or facility shall be within 400 feet of a fire hydrant. Spacing and locations of fire hydrants shall be subject to review and approval by the Hayward Fire Department.
52. New fire hydrants shall be double steamer type equipped with (2) 4-1/2" outlets and (1) 2-1/2" outlet. Blue reflective fire hydrant blue dot markers shall be installed on the roadways indicating the location of the fire hydrants. Vehicular protection may be required for the fire hydrants.
53. An audible alarm bell (device) shall be installed on the exterior of the fire sprinkler system riser. The device shall activate upon any fire sprinkler system water flow activity. This requirement will apply if each dwelling unit has a separate sprinkler riser, each riser shall have an exterior device.
54. Combination smoke/carbon monoxide (CO) detectors shall be installed at approved locations based on the California Building (CBC), California Fire (CFC) Code(s) and NFPA 72 Standards.
55. CO detectors should be placed near the sleeping area on a wall about 5 feet above the floor. The detector may be placed on the ceiling. Each floor needs a separate detector.
56. An automatic fire sprinkler system in accordance with NFPA 13/13D Standards is required for this building. A separate fire permit is required for the fire sprinkler system installation. A State Licensed C-16 Fire Sprinkler Contractor shall be responsible for the fire sprinkler system installation. New water meter(s) shall be a minimum of 1-inch in diameter. *(Deferred submittal by licensed C16 contractor)*
57. A maximum static pressure of 80 pounds per square inch (PSI) should be used when test data indicates higher pressures. Residual pressures used in the calculation should also be adjusted accordingly.
58. Underground fire service lines that serve NFPA 13 systems shall be connected to the city water main per Hayward Public Works Dept. SD-204/216. *(Deferred submittal)*

59. An interior audible alarm device shall be installed within the dwelling in a location so as to be heard throughout the home. The device shall activate upon any fire sprinkler system waterflow activity.

Engineering

60. Street right-of-way at the intersection of Grove Way and Oak Street shall have a radius of not less than 20 feet.
61. The subdivision shall comply with Chapter 10 Article 3 of the HMC. Improvements required for public health, safety and welfare shall include, but are not limited to the ones shown on the Tract 8426 Tentative Map and as required for pedestrian and vehicular access to or from transportation facilities, emergency services, street lighting and safety lighting, signage, drainage collection, treatment and disposal, telecommunication, and utility services. All utility services to the new lots shall be underground.
62. Subdivision improvements shall comply with the current Standard Details of the City of Hayward and standards of other agencies as applicable.
63. All required and conditioned improvements shall be complete as per plans approved by the City Engineer prior to Final Map Approval or the subdivider shall execute a Subdivision Improvement Agreement.
64. The proposed development is served by East Bay Municipal Water District for water service and Oro Loma Sanitary District for sanitary sewer service. The developer shall comply with all requirements of East Bay Municipal Utility District and Oro Loma Sanitary District.
65. Unless otherwise stated, all necessary easements shall be dedicated and all improvements shall be designed and installed, at no cost to the City of Hayward. Prior to or concurrent with applicable final map recordation, developer shall record a reciprocal easement, ingress/egress easement and maintenance agreement(s) for common use facilities and access ways.
66. A Home/Property Owners Association (HOA) shall be formed, and its related Covenant, Conditions and Restrictions (CC&Rs) documents shall be filed in the public records of Alameda County prior to the issuance of building permit for any new structure in the Tract. Said documents shall be submitted to the City for its review and comments before submittal to the State Department of Real Estate (DRE) and filing in the County's public records. The CC&Rs shall include the following provisions:
- a. The HOA shall be managed and maintained by a professional property management company and maintain updated registration information with the Secretary of State.
 - b. The HOA shall own and maintain in fully functional condition and good repair all areas, improvements, common area retaining wall systems, and facilities created for common use of the property owners within the project but not dedicated or accepted by the City for its maintenance.

- c. The HOA shall be responsible for complying with the current and all future updates to the Community Preservation and Improvement Ordinance, HMC Chapter 5, Article 7.
- d. The HOA shall maintain the common area and its landscaping in a healthy, weed-free condition and maintain its irrigation system consistent with project development approvals.
- e. The CC&Rs shall describe how the stormwater treatment and site-design measures associated with privately owned improvements and landscaping shall be maintained by the association.
- f. The HOA shall own and maintain on-site area lights which shall have a decorative design approved by the Planning Director and the City Engineer.
- g. The HOA shall arrange for Street sweeping of the private street and private parking stalls at least once a month.

67. A current title report shall be submitted to identify current ownership and any existing easements or land use restrictions.

Transportation

68. Developer and Homeowners Association (HOA) shall maintain adequate visibility and sight distance at all project driveway(s) and access point(s).

Prior to the Issuance of Building Permit

Landscaping

69. Prior to issuance of the first building permit, detailed landscape improvement plans prepared by a licensed landscape architect on an accurately surveyed base shall be approved as a part of grading permit/Final Map. The plans shall comply with the City's Bay-Friendly Water Efficient Landscape Ordinance (California Building Code Title 23) and all relevant Municipal Codes. The plans shall be stamped, signed and dated by the project Landscape architect. The plans shall include the water efficiency compliance statement and water budget calculations. Once approved by the City, copies of the approved landscape improvement plans shall be submitted as a part of the building permit submittal.

70. Building Permit for Plot Plan. All required trees shown on the approved landscape improvement plans shall be shown on the plot plan clearly and legibly, and the following notes shall be provided on each plot plan:

- a. All final tree locations shall be field verified by the project landscape architect prior to planting and resolve any conflicts arise in the field.
- b. Prior to planting trees, determine the location of existing or future underground utilities. Locate tree a minimum of 5 feet from lateral service lines and driveways. Locate tree a minimum of 15 feet from a light pole, and a minimum of 30 feet from the face of a traffic signal, or as otherwise specified by the City. Provide root barriers when a tree is located less than 7 feet from face of buildings or edge of pavement.
- c. See irrigation plans for location of sleeves before pouring driveways and walkways.

Engineering

72. Improvement Plans and related design documents prepared by or under the direction of State licensed and qualified professionals shall be submitted to the City Engineer for all public and private improvements shown on the Tentative Map and necessary to develop the project site. The Improvement plans shall include all engineering studies and design documents and must be reviewed and approved by the City Engineer prior to Final Map approval.
73. No building permits will be issued for new structures on proposed lots prior to issuance of the City's grading permit and recordation of the Final Map. Model homes may be permitted before recordation of the Final Map as per the Subdivision Map Act Section 66499.30(a).
74. Subdivider shall get permits or approvals from all affected agencies or private parties. Copies of applicable permits or approvals shall be provided to the City Engineer.
75. Subdivider shall secure the City Fire Marshal's approval of Improvements for all weather emergency vehicle access and fire protection before flammable material is brought on-site.
76. All grading shall comply with Chapter 10, Article 8 (Subdivision Ordinance) of the HMC as determined by the City Engineer. A fine grading and drainage plan prepared by a State licensed civil engineer shall be submitted as part of the Improvement Plans for review and approval by the City Engineer prior to the issuance of building permits.
77. A soils report prepared by a licensed civil or geotechnical engineer subject to approval by the City Engineer shall be submitted and the grading, retaining walls, surface and sub-surface drainage, lot drainage, and utility trench backfilling shall be designed in accordance with the recommendations of the soils report. Plans for Final grading and drainage permit shall be reviewed and signed by the soils report engineer certifying that the recommendations in the report have been followed. The geotechnical/soils engineer shall submit a letter report to the City at completion of construction certifying that grading, drainage and backfill installation was performed in general compliance with recommendations in the geotechnical report. All material testing reports shall be attached to the certification letter report.
78. Structural calculations and details prepared by a licensed civil or structural engineer are required for all earth retaining structures taller than 4-feet (top of wall to bottom of footing) and shall be reviewed and approved by the Building Division of the Development Services Department.
79. The project shall not block runoff from, or augment runoff to, adjacent properties. The developer shall be required to mitigate augmented runoff to maintain post-

development site discharge rates to less than or equal to pre-development discharge rates to the satisfaction of the City Engineer.

80. The Alameda County Flood Control and Water Conservation District's Hydrology and Hydraulics Criteria Summary shall be used to design the storm drain system. On site surface drainage shall be collected and conveyed to a public drainage system as per plans approved by the City Engineer. The drainage system shall be designed to convey a 10-year storm event.
81. Drainage plans should include all proposed underground pipes, building drains, area drains and inlets. All building sites shall be graded to slope away from the building foundations per California Building Code, Chapter 18, Section 1804.3 Site Grading or as required by the Soils Engineer. On-site collector storm drains shall be sized to minimize potential for blockages. Drainage system shall be designed to prevent standing water.
82. The project's Stormwater Control Plan and updated Stormwater Requirements Checklist shall be submitted and shall show, at a minimum, drainage management areas, location and details of all treatment control measures and site design measures, and numeric sizing calculations in conformance with Alameda County Clean Water Program C3 design guidelines.
83. Concrete curb, gutter and accessibility compliant sidewalk with streetlights, trees and a driveway shall be extended along the public street frontages of Tract 8426 as shown on its Tentative Map. Two accessibility compliant directional ramps shall be provided at the street intersection.
84. The street pavement shall be extended to new gutters at cross slopes less than 3%. Damaged existing street pavement shall be replaced with a minimum 9-inch-deep A.C. pavement. Traffic signs and thermoplastic pavement markings shall be provided along this street.
85. A drainpipe shall be extended in Grove Way from the storm drain system in Foothill Boulevard with an inlet located in front of the property to collect street gutter flow.
86. Oak Street shall be improved with new concrete curb, gutter, accessible sidewalk, streetlight, and street trees as per plans approved by the Alameda County Public Works Agency across the full fronting of the property. A bulb-out may be required at the existing EBMUD facilities.
87. Street lighting along the development frontage and on-site lighting shall comply with current City lighting standards and the City's Security Ordinance. Lighting shall be designed by a qualified lighting designer. Photometric analysis/studies shall be submitted for review and approval by the City Engineer.
88. Existing overhead utilities and poles fronting the property shall be removed and replaced with underground utilities and structures. All service to the development shall be an "underground service" designed and installed in accordance with the Pacific Gas and Electric Company, AT&T (phone) Company and local cable company regulations. Transformers and switch gear cabinets shall be placed underground unless otherwise

approved by the Planning Director and the City Engineer. Underground utility plans must be submitted for City approval prior to installation as per the HMC Section 10-3.815).

89. The developer shall provide and install the appropriate facilities, conduit, junction boxes, etc., to allow for installation of a fiber optic network within the development.

Transportation

90. Applicant shall submit the following items as part of Improvement Plans to Public Works-Transportation for review prior to issuance of Building Permits:

- a. An on-site and off-site (fronting City right-of-way) Signing and Striping Plan in accordance with Caltrans' latest Standard Plans (refer to Caltrans Standard Plans Sheet A90A for more information on marking complaint disabled stalls).
- b. An on- and off-site Photometric Plan, refer to Hayward's Standard Plans Sheet SD-120 for roadway lighting criteria, link: <https://www.hayward-ca.gov/sites/default/files/documents/standard-details-updated-jan-2020.pdf>
- c. Turning Analysis using WB-50 or the largest vehicle expected on-site using AutoTurn software. Turning Analysis shall not depict vehicles backing into public streets/right-of-way.

91. Upon review of Improvement Plan(s) and required item(s) listed above by Public Works-Transportation, Applicant shall modify Improvement Plan(s) to address any deficiency(ies) or item(s) identified by Public Works-Transportation staff, to the satisfaction of the Public Works Director or his/her designee, prior to issuance of Building Permit(s).

During Construction

Landscaping

92. Pre-construction and Demolition Measures for Tree Preservation.

- a. Establish a Tree Protection Zone around each tree to be preserved. For design purposes, the Tree Protection Zone shall be the dripline or property line for trees. No grading excavation, construction or storage of materials shall occur within the protection zone.
- b. Non-movable chain link fence as shown in the detail shall be installed around the Protected Zone of each tree to be preserved prior to start of construction. No entry is permitted into a Tree Protection Zone without permission of the Project Arborist.
- c. Trees to be preserved may require pruning to provide clearance and/or correct defects in structure. All pruning shall be performed by an ISA Certified Arborist or Certified Tree Worker and shall adhere to the latest edition of the ANSI Z133 and A300 safety standards as well as the ISA Best Management Practices for Tree Pruning with a tree pruning permit from the City. The pruning contractor shall have the C-27/D-49 license specification.

- d. All tree work shall comply with the Migratory Bird Treaty Act as well as California Fish and Wildlife Code 3503-3513 to not disturb nesting birds. To the extent feasible tree pruning and removal should be scheduled outside of the breeding season. Breeding bird surveys should be conducted prior to tree work. Qualified biologists should be involved in establishing work buffers for active nests.

93. Tree Protection During Construction.

- a. Prior to beginning work, the contractors working in the vicinity of trees for preservation are required to meet with the Project Arborist at the site to review all work procedure, access routes, storage areas and tree protection measures.
- b. Any grading, construction, demolition or other work that is expected to encounter tree roots should be monitored by the Project Arborist. Any necessary root pruning shall be performed by a qualified arborist and not by construction personnel. Roots shall be cleanly pruned with a handsaw or sawzall, immediately covered with wet burlap, and kept moist until backfilled. A tree pruning permit shall be required for cutting equal or larger than one-inch diameter roots.
- c. If damages should occur to any existing trees designated for preservation during construction, it should be evaluated as soon as possible by the Project Arborist so that appropriate treatments can be applied. If the damages to tree result in removal, removed tree shall be replaced to its appraised value provided by the Project Arborist and approved by City Landscape Architect.
- d. Tree protection fence shall remain until all site work has been completed. Fences shall not be relocated or removed without permission of the Project Arborist.
- e. Any additional tree pruning needed for clearance during construction must be performed by a qualified arborist and not by construction personnel with a tree pruning permit from City Landscape Architect.
- f. Existing trees designated for preservation shall be irrigated on a schedule to be determined by the Project Arborist. Each irrigation session shall be wet the soil within the Tree Protection Zone to a depth of 30 inch.

- 94. Tree Replacement and Maintenance During Construction.** Replacement trees shall be planted with sufficient space to accommodate the mature size of the species and maintained sufficiently to ensure establishment. Preserved trees shall also be maintained to ensure the continued long-term health of the tree. Trees on-site will require monitoring and routine maintenance by a landscape specialist such as occasional pruning, fertilization, mulch, pest management, replanting, and irrigation.

Engineering

- 95. Construction Stormwater Management:** Developer shall be responsible for the preventing the discharge of pollutants (sediments) into the street and/or the public storm drain system from the project site during construction in accordance with the HMC Section 11-5.19. Projects proposed for construction between October 1st and April 30th, must have an erosion and sedimentation control program approved, and implemented to the maximum extent possible, prior to the start of any land disturbing activity. Trash and debris must be adequately contained at all times. Such measures

shall be maintained during the project's construction period. Violations or other noncompliance with stormwater management measures may result in the project being shut down, including any building permit activity, until full compliance with stormwater management requirements is achieved.

96. **Construction Damage:** The Developer shall remove and replace any damaged curb, gutter, sidewalks, driveways, signs, pavement, pavement markings, etc. within the public right-of-way along the project frontage and at any locations damaged by the construction of the proposed project. Damaged pavement surfaces shall be overlain or micro-surfaced. Damaged pavement surfaces shall be repaired or resurfaced as required by the City Engineer. Unused driveways or unused portions thereof shall be removed and replaced with curb, gutter and sidewalk per City Standards.
97. Developer shall be responsible for adjusting existing utility boxes/vaults to grade, locating and protecting the existing communication conduits (fiber optic and copper) along the project frontage.

Prior to Issuance of Certificate of Occupancy

Landscaping

98. Prior to the issuance of Certificate of Occupancy for each production home, landscape and irrigation installations shall be completed in accordance with the approved plans and details and shall be accepted by the City Landscape Architect. Prior to requesting an inspection from the City Landscape Architect, the project landscape architect shall inspect and accept landscape improvements and shall complete Appendix C. Certificate of Completion in the City's Bay-Friendly Water Efficient Landscape Ordinance. The completed Certificate of Completion Part 1, 2 and 6 shall be submitted electronically in prior to requesting an inspection from the City Landscape Architect.
99. Tract Acceptance.
 - a. The entire landscape improvements including production homes and common landscape area shall be completed and well maintained until the acceptance by the City. The acceptance inspection shall be performed by City Landscape Architect. Prior to requesting an inspection by City Landscape Architect, the project landscape architect shall field inspect and accept landscape improvements and shall submit completed Appendix C. Certificate of Completion Part 1 through 7 in the City's Bay-Friendly Water Efficient Landscape Ordinance to City Landscape Architect. If green waste was diverted to an authorized facility and the weigh tag was submitted and signed off by the City's Solid Waste Division at Utilities and Environmental Services Department, a copy of the signed document will replace Part 7.
 - b. Irrigation Audit. Pursuant to HMC Section 10-12.11, an irrigation auditing rate of one (1) in seven (7) lots or approximately fifteen percent (15 %) of the total production homes and an audit of all common landscape areas shall be done prior to tract acceptance. All landscape irrigation audits shall be conducted by a third-party certified landscape irrigation auditor. Landscape audits shall not be conducted by the person who designed the landscape or installed the landscape.

- c. Upon acceptance of the landscape installation in accordance with the approved landscape improvement plans by the City, As-Built digital plans shall be submitted to the Engineering Department by the developer.

Engineering

- 100. All public improvements, including the complete installation of all street improvements, fencing, sanitary sewer, storm drainage, water system, underground utilities, streetlights etc., shall be completed and attested to by the City Engineer before approval of occupancy of any unit in each phase of the subdivision. Where facilities of other agencies are involved, such installation shall be verified as having been completed and accepted by those agencies.
- 101. Prior to final inspection and issuance of final certificates of occupancy, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the Public Works Director and Development Services Director or his/her designees.
- 102. **Post Construction Stormwater Maintenance:** The property owner(s) association shall maintain all common-use improvements constructed on-site.
- 103. **Geotechnical Letter:** Prior to the issuance of any Certificates of Occupancy, Developer shall submit a confirming letter from the project geologic and/or geotechnical team confirming they have observed all grading activities and that those activities were performed in conformance with their recommendations.
- 104. **Final Engineer's Report:** Prior to the issuance of any Certificate of Occupancy, The Engineer of Record shall submit a confirming letter that all grading, drainage, and engineering components of the project have been performed in conformance with the approved plans and specifications.
- 105. **As-Built Records:** As-built records of site grading and improvements completed by the property owner shall be provided to the City Engineer on electronic media in AutoCAD and pdf formats.

LEGEND

SYMBOL		DESCRIPTION
EXISTING	PROPOSED	
		HINGE LINE/TOP/TOE
		CONCRETE V-DITCH
		GRADED SWALE
		CONTOUR LINES
		DAYLIGHT LINE/LIMIT OF GRADING
		PROPERTY LINE / BOUNDARY / RIGHT-OF-WAY
		EASEMENT LINE
		CENTERLINE (CL)
		FENCE (CHAIN LINK)
		DRIVEWAY
		CURB, GUTTER & SIDEWALK
		RETAINING WALL (AS DESCRIBED) w/ SUB-DRAIN
		CITY STANDARD BARRICADE
		WATER LINE AND VALVE
		SANITARY SEWER LINE AND MANHOLE OR CLEANOUT
		STORM DRAIN LINE AND MANHOLE
		4\" PERF/SOLID SUBDRAIN WITH CLEANOUTS
		WATER LATERAL / METER
		SANITARY SEWER CLEANOUT (SSCO)
		AREA DRAIN WITH SUMP BOTTOM (NDS 1212 OR APPROVED EQUAL)
		FLAT DRAIN INLET AS SPECIFIED
		FIRE HYDRANT
		STREETLIGHT STANDARD WITH MAST ARM AND LUMINAIRE (ELECTROLIER)
		PULL BOX (AS NOTED)
		ELECTRICAL CONDUIT
		GAS MAIN
		TELEPHONE CONDUIT
		STREET MONUMENT
		BOLLARD
		JOINT POLE w/ GUY ANCHOR
		PERCENT GRADE
		VERTICAL GRADE BREAK (PROFILE)
		BIO-RETENTION AREA NUMBER
		TREE

ABBREVIATIONS

AB	AGGREGATE BASE	N/B	NORTH BOUND
AC	ASPHALT CONCRETE	P	PAD
AD	AREA DRAIN	PA	PLANTER AREA
BC	BEGIN CURVE	PL, P/L	PROPERTY LINE
BM	BENCHMARK	PCC	POINT OF COMPOUND CURVATURE
BMP	BEST MANAGEMENT PRACTICE	PERF.	PERFORATED
BOT.	BOTTOM	PIE	PRIVATE INGRESS & EGRESS EASEMENT
BSW	BACK OF SIDEWALK	PRC	POINT OF REVERSE CURVATURE
BVC	BEGIN VERTICAL CURVE	PROJ.	PROJECTED
BW	BOTTOM OF WALL (EXPOSED)	PSDE	PRIVATE STORM DRAIN EASEMENT
CL	CENTER LINE	PUE	PUBLIC UTILITY EASEMENT
CB	CATCH BASIN	PV	PAVEMENT/ASPHALT GRADE
CO	CLEAN OUT	PVI	POINT OF VERTICAL INTERSECTION
CR	CURB RETURN	R=	RADIUS OF CURVE
DI	DRAIN INLET	Δ=	INCLUDED ANGLE OF CURVE
DS	ROOF DOWN SPOUT	L=	ARC LENGTH OF CURVE
EC	END CURVE	RCP	REINFORCED CONCRETE PIPE
EL	ELEVATION	RIM	RIM ELEVATION
EP	EDGE OF PAVEMENT	R/W	RIGHT OF WAY
EVC	END VERTICAL CURVE	S	SLOPE
EX	EXISTING	S/B	SOUTH BOUND
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SD	STORM DRAIN
FC, F/C	FACE OF CURB	SDCO	STORM DRAIN CLEANOUT
FDC	FIRE DEPARTMENT CONNECTION	SDE	STORM DRAIN EASEMENT
FF	FINISHED FLOOR	SDMH	STORM DRAIN MANHOLE
FG	FINISHED GRADE	SE	SIDEWALK EASEMENT
FH	FIRE HYDRANT	SF	SQUARE FOOT
FL	FLOW LINE	S.O.	SIDE OPENING
FOGLN	FOG LINE (WHITE STRIPE)	SS	SANITARY SEWER
GB	GRADE BREAK	SSE	SANITARY SEWER EASEMENT
GI	GREASE INTERCEPTOR	SSCO	SANITARY SEWER CLEANOUT
GM	GAS METER	SSMH	SANITARY SEWER MANHOLE
GR	GRATE ELEVATION	STD	STANDARD
HP	HIGH POINT	TB	TOP OF BERM
IRR	IRRIGATION	TC	TOP OF CURB
JT	JOINT TRENCH	TCM	TREATMENT CONTROL MEASURE
LF	LINAL FEET	TW	TOP OF WALL
LIP	LIP OF GUTTER	TYP	TYPICAL
LP	LOW POINT	VC	VERTICAL CURVE
MAX	MAXIMUM	W	WATER LINE
MH	MANHOLE	WM	WATER METER

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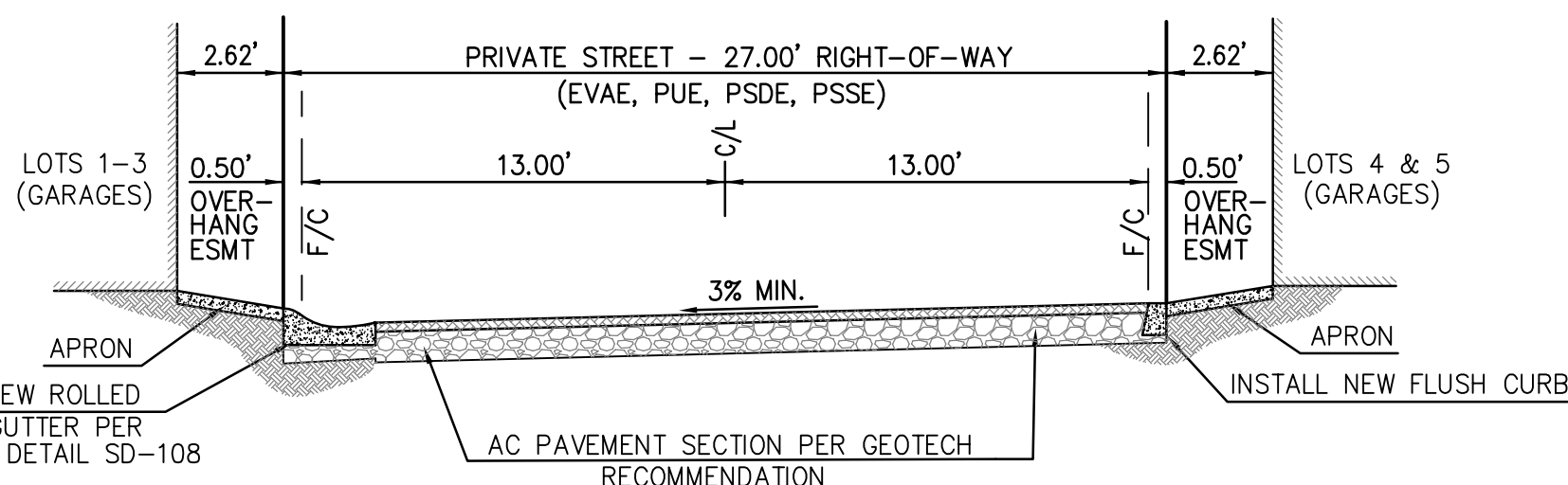
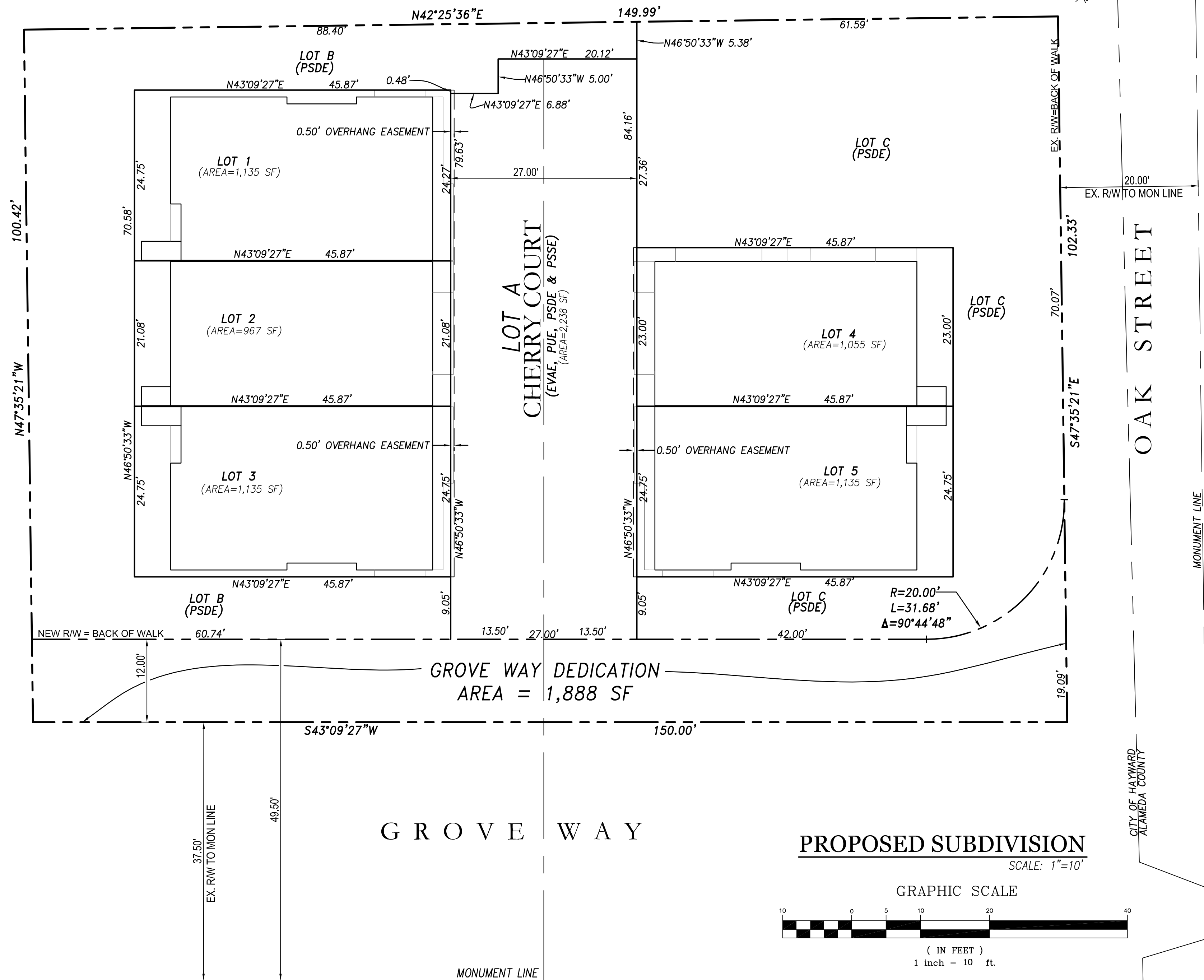
VESTING TENTATIVE TRACT 8426

1434 GROVE WAY

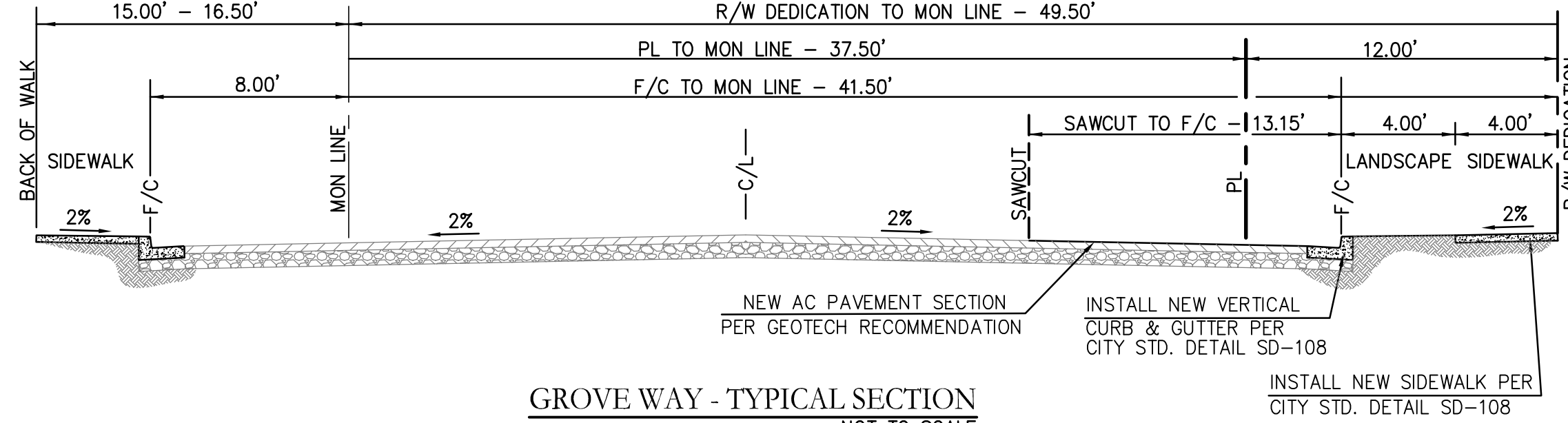
CITY OF HAYWARD

ALAMEDA COUNTY

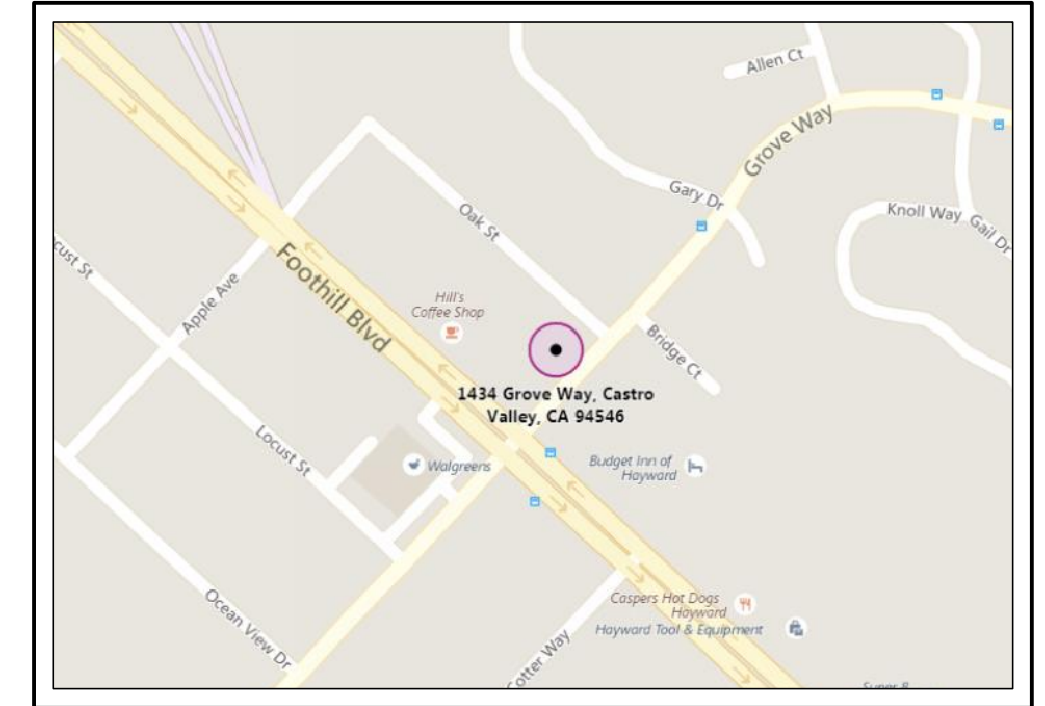
CALIFORNIA



CHERRY COURT - TYPICAL SECTION
NOT TO SCALE



GROVE WAY - TYPICAL SECTION
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

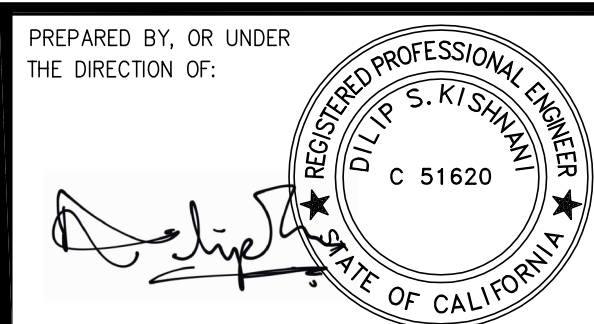
PROJECT GENERAL NOTES:

- OWNER(S) : NAV PAUL DHILLON
2811 DANWOOD CT.
SAN JOSE, CA 95418
- DEVELOPER : NAV PAUL DHILLON
2811 DANWOOD CT.
SAN JOSE, CA 95418
- CIVIL ENGINEER : STERLING CONSULTANTS
46560 FREMONT BOULEVARD, SUITE 205
FREMONT, CA 94538
CONTACT: DILIP S. KISHNANI, P.E., QSD
TEL: 510-344-8956
- SOILS ENGINEER : GEOTECHNICAL ENGINEERING INC.,
38750 PASO PADRE PARKWAY, SUITE B-1,
FREMONT, CA 94536
CONTACT: ALAN S. BORIS, CE
TEL: 510-791-0100
- APNs: 415-0170-027-00
- EXISTING LAND USE: RESIDENTIAL
- PROPOSED LAND USE: RESIDENTIAL
- SITE AREA: 15,204 SF (0.3490 ACRES) (GROSS)
11,078 SF (0.2543 ACRES) (NET - MINUS DEDICATION AND PRIVATE STREET)
- NUMBER OF LOTS : 5 FOR SALE LOTS; 3 COMMON AREA LOTS; 1 PRIVATE STREET
- GENERAL PLAN: COMMERCIAL / HIGH DENSITY RESIDENTIAL (CDHR)
- EXISTING ZONING: COMMERCIAL OFFICE (CO)
- WATER SYSTEM: EAST BAY MUNICIPAL UTILITY DISTRICT
- SEWER SYSTEM: ORO LOMA SANITARY DISTRICT
- STORM DRAIN SYSTEM: CITY OF HAYWARD
- GAS & ELECTRIC: PACIFIC GAS & ELECTRIC (P.G.&E.)
- CABLE: COMCAST CABLE
- TOPOGRAPHY: EXISTING TOPOGRAPHY AS SHOWN IS PER FIELD SURVEY DONE BY MISSION ENGINEERS & VERIFIED BY STERLING CONSULTANTS.
- BOUNDARY: BOUNDARY AS SHOWN IS BASED ON A FIELD SURVEY DONE BY STERLING CONSULTANTS.
- STREETS: THE PROPOSED NEW STREET (CHERRY COURT) IS PRIVATE AND WILL BE MAINTAINED BY HOA.
- FLOOD ZONE: ZONE-X; PANEL-06001C0287G
- GRADING: GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.
- DIMENSIONS: LOT DIMENSIONS (SHOWN TO NEAREST TENTH OF A FOOT) AND AREAS SHOWN HEREIN ARE APPROXIMATE AND SUBJECT TO MINOR CHANGES DURING FINAL DESIGN.
- CONTOURS: EXISTING CONTOURS ARE SHOWN AT 1-FOOT INTERVALS.
- UTILITIES: ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND. ALL STORM DRAINS, SANITARY SEWERS AND WATER MAINS SHALL ADHERE TO MINIMUM SIZES & SLOPES PER THE GOVERNING AGENCIES.
- C3 COMPLIANCE: SINCE IMPERVIOUS AREA CREATED BY THE PROJECT IS LESS THAN 10,000 SF, TREATMENT MEASURES ARE NOT WARRANTED. LOW IMPACT DEVELOPMENT SITE DESIGN MEASURES WILL BE IMPLEMENTED.

SHEET INDEX

SHEET NO.	DESCRIPTION
TM-1	TITLE SHEET - PROPOSED SUBDIVISION, NOTES & DETAILS
TM-2	EXISTING CONDITION MAP & DEMOLITION PLAN
TM-3	GRADING, DRAINAGE & UTILITY PLAN
TM-4	SITE CROSS-SECTIONS

DATE: MAY 18, 2023					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
NO.	BY	DATE	REVISIONS	CITY APPR	



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sterlingconsultants@gmail.com PHONE: 510.344.8956

PREPARED FOR:
Mr. NAV PAUL DHILLON
EAST BAY DEVELOPERS
2811 DANWOOD CT.
SAN JOSE, CA 95148

APN: 415-170-27

1434 GROVE WAY
VESTING TENTATIVE TRACT MAP 8426
TITLE SHEET- PROPOSED SUBDIVISION, NOTES & DETAILS

CITY OF HAYWARD

ALAMEDA COUNTY

CALIFORNIA

SHEET NO.
TM-1
1 OF 4 SHEETS
JOB NO.
2022-084

PRELIMINARY ● NOT FOR CONSTRUCTION

LEGEND

SYMBOL	DESCRIPTIONS	ABBREVIATIONS
---	BOUNDARY/RIGHT-OF-WAY LINE	AC AIR CONDITIONER UNIT
---	EASEMENT LINE	AD AREA DRAIN
---	CENTERLINE (C)	BSW BACK OF WALK
---	RETAINING WALL	BW BOTTOM OF WALL (EXPOSED FACE)
---	SANITARY SEWER LINE AND MANHOLE OR CLEANOUT	CONC. CONCRETE
---	DRAIN INLET	DBH DIAMETER AT BREAST HEIGHT
---	PERCENT GRADE	DI DRAIN INLET
---	EXISTING GRADE ELEVATION	DS DOWNSPOUT
---	EXISTING CONTOUR w/ ELEVATION	EP EDGE OF PAVEMENT
---	EXISTING TREE w/ DBH	EM ELECTRIC METER
---		EX EXISTING
---		FF FINISHED FLOOR ELEVATION
---		FG FINISHED GRADE ELEVATION
---		FL FLOW LINE ELEVATION
---		FW FACE OF WALL
---		GM GAS METER
---		MB MAIL BOX
---		O/H OVERHEAD
---		PL PROPERTY LINE
---		PUE PUBLIC UTILITY EASEMENT
---		R= RADIUS OF CURVE
---		Δ= INCLUDED ANGLE OF CURVE
---		L= LENGTH OF CURVE
---		WM WATER METER

DEMOLITION LEGEND

---	PROPERTY LINE = DEMOLITION LIMITS
---	EASEMENT LINE
---	REMOVE EXISTING TREE

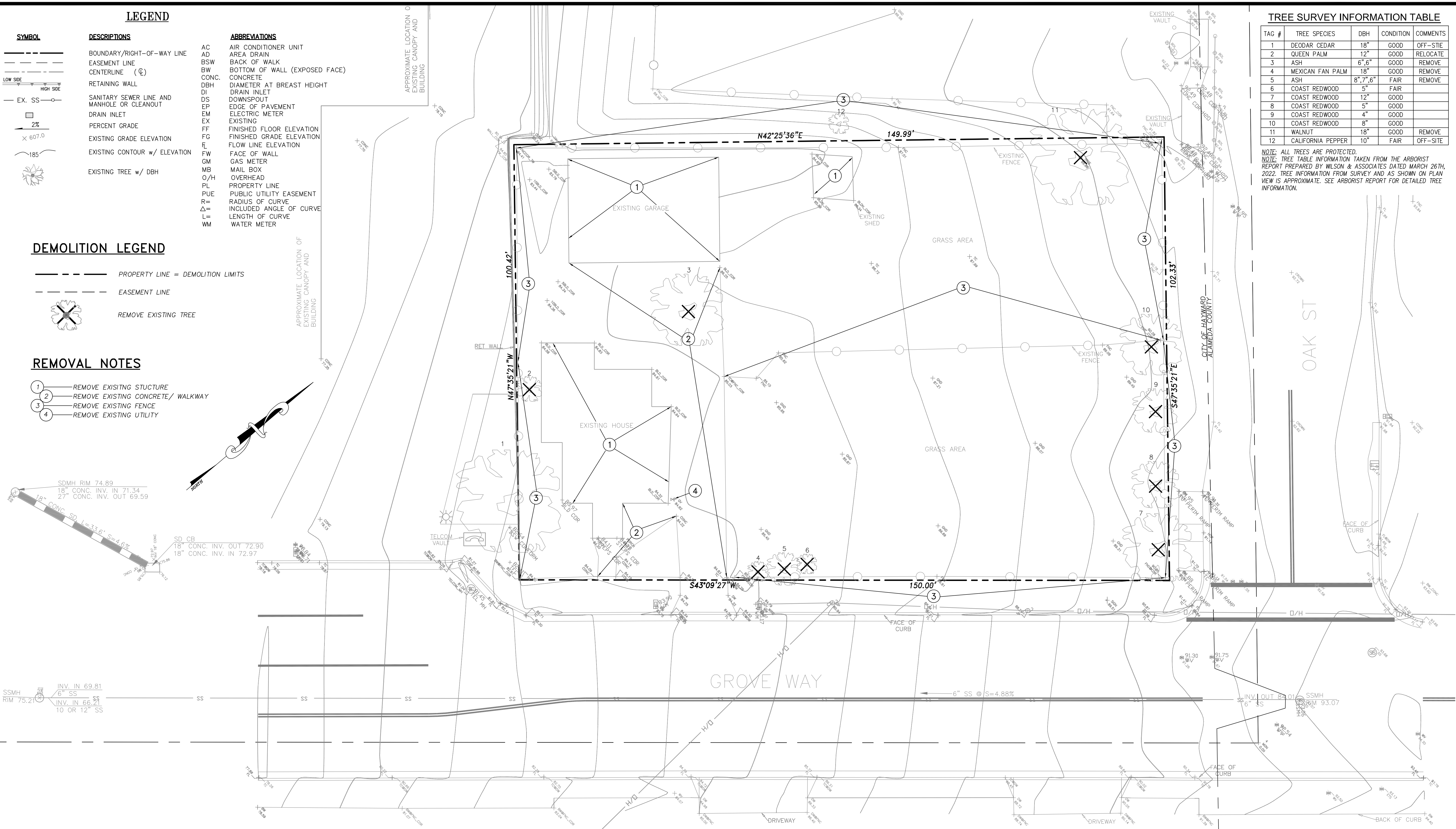
REMOVAL NOTES

- 1 REMOVE EXISTING STRUCTURE
- 2 REMOVE EXISTING CONCRETE/ WALKWAY
- 3 REMOVE EXISTING FENCE
- 4 REMOVE EXISTING UTILITY

TREE SURVEY INFORMATION TABLE

TAG #	TREE SPECIES	DBH	CONDITION	COMMENTS
1	DEODAR CEDAR	18"	GOOD	OFF-SITE
2	QUEEN PALM	12"	GOOD	RELOCATE
3	ASH	6",6"	GOOD	REMOVE
4	MEXICAN FAN PALM	18"	GOOD	REMOVE
5	ASH	8",7",6"	FAIR	REMOVE
6	COAST REDWOOD	5"	FAIR	
7	COAST REDWOOD	12"	GOOD	
8	COAST REDWOOD	5"	GOOD	
9	COAST REDWOOD	4"	GOOD	
10	COAST REDWOOD	8"	GOOD	
11	WALNUT	18"	GOOD	REMOVE
12	CALIFORNIA PEPPER	10"	FAIR	OFF-SITE

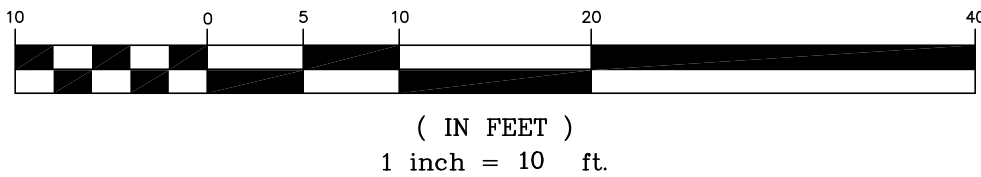
NOTE: ALL TREES ARE PROTECTED.
NOTE: TREE TABLE INFORMATION TAKEN FROM THE ARBORIST REPORT PREPARED BY WILSON & ASSOCIATES DATED MARCH 26TH, 2022. TREE INFORMATION FROM SURVEY AND AS SHOWN ON PLAN VIEW IS APPROXIMATE. SEE ARBORIST REPORT FOR DETAILED TREE INFORMATION.



EXISTING CONDITION MAP & DEMOLITION PLAN

SCALE: 1" = 10'

GRAPHIC SCALE

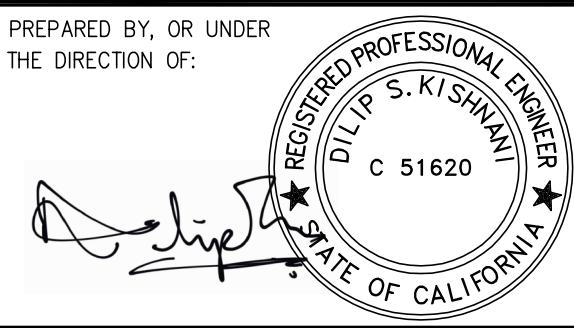


BENCHMARK: HORIZONTAL DATUM IS ASSUMED AND SITE SPECIFIC. ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM AND HAVE NOT BEEN REFERENCED TO AN OFFICIAL COUNTY OF ALAMEDA BECHMARK.

BASIS OF BEARINGS: HELD FOOTHILL BOULEVARD TAKEN AS N47°34'44"W MORE SPECIFICALLY; RECORD OF SURVEY OF MONUMENT LINE OF CERTAIN SHEETS IN HAYWARDS PARK HOMESTEAD UNION BOOK 7 OF MAPS PAGE 30 IN EDEN TOWNSHIP, ALAMEDA COUNTY, CALIFORNIA, JUNE 1963

BOUNDARY: BOUNDARY BASED UPON FIELD SURVEY PERFORMED BY HELMUT KORSTICK, PLS 7739.

DATE: MAY 18, 2023					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
NO.	BY	DATE	REVISIONS	CITY APPR	



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2811 DANWOOD CT.
SAN JOSE, CA 95148

APN: 415-170-27
VESTING TENTATIVE TRACT MAP 8426
EXISTING CONDITION MAP & DEMOLITION PLAN
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

1434 GROVE WAY

SHEET NO.
TM-2
2 OF 4 SHEETS
JOB NO. 2022-084

GRADING NOTES:

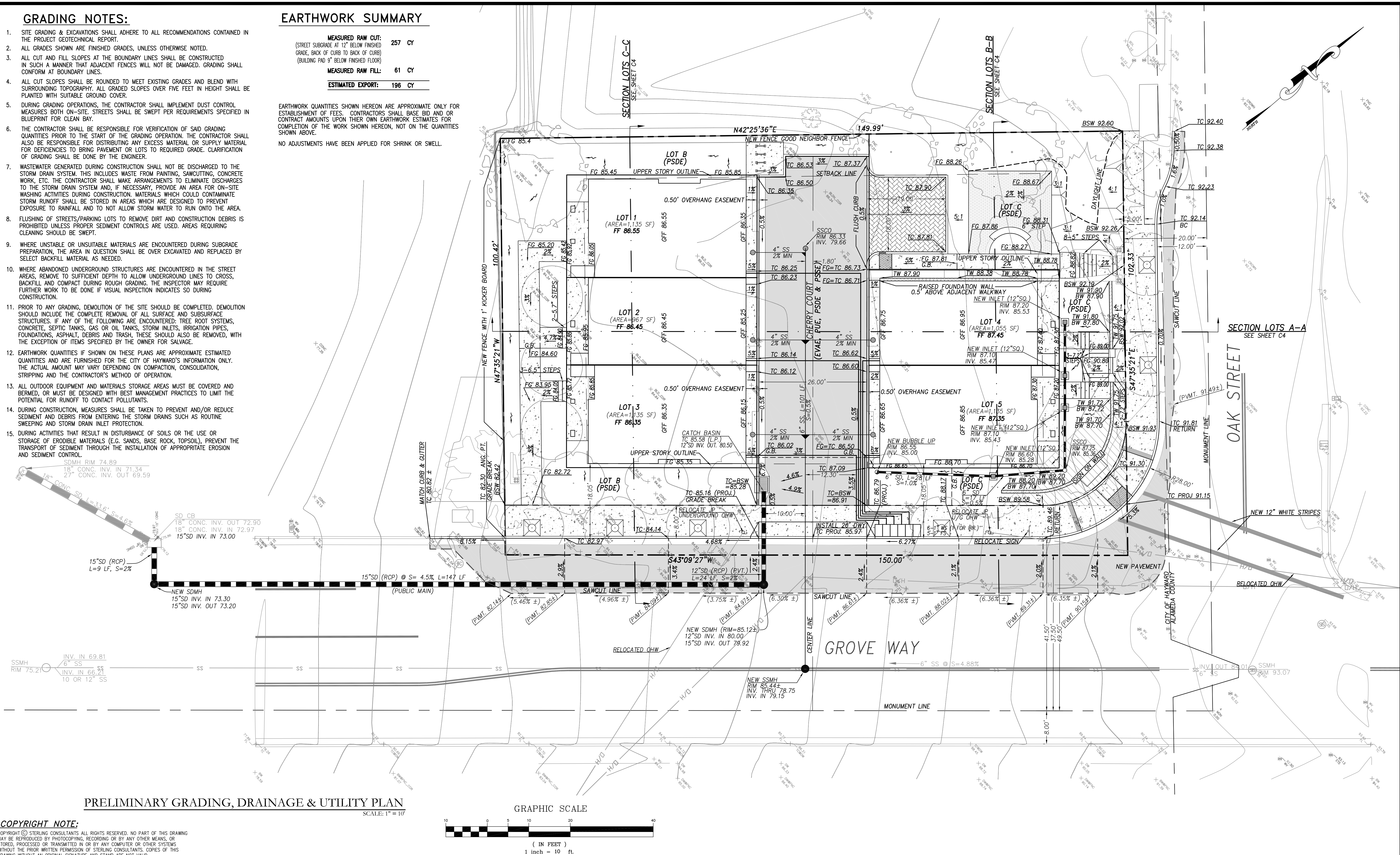
- SITE GRADING & EXCAVATIONS SHALL ADHERE TO ALL RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECHNICAL REPORT.
- ALL GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
- ALL CUT AND FILL SLOPES AT THE BOUNDARY LINES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FENCES WILL NOT BE DAMAGED. GRADING SHALL CONFORM AT BOUNDARY LINES.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- DURING GRADING OPERATIONS, THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES BOTH ON-SITE. STREETS SHALL BE SWEEPED PER REQUIREMENTS SPECIFIED IN BLUEPRINT FOR CLEAN BAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SAID GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLY MATERIAL FOR DEFICIENCIES TO BRING PAVEMENT OR LOTS TO REQUIRED GRADE. CLARIFICATION OF GRADING SHALL BE DONE BY THE ENGINEER.
- WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAWCUTTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND, IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS WHICH COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS WHICH ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.
- FLUSHING OF STREETS/PARKING LOTS TO REMOVE DIRT AND CONSTRUCTION DEBRIS IS PROHIBITED UNLESS PROPER SEDIMENT CONTROLS ARE USED. AREAS REQUIRING CLEANING SHOULD BE SWEEPED.
- WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS NEEDED.
- WHERE ABANDONED UNDERGROUND STRUCTURES ARE ENCOUNTERED IN THE STREET AREAS, REMOVE TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS, BACKFILL AND COMPACT DURING ROUGH GRADING. THE INSPECTOR MAY REQUIRE FURTHER WORK TO BE DONE IF VISUAL INSPECTION INDICATES SO DURING CONSTRUCTION.
- PRIOR TO ANY GRADING, DEMOLITION OF THE SITE SHOULD BE COMPLETED. DEMOLITION SHOULD INCLUDE THE COMPLETE REMOVAL OF ALL SURFACE AND SUBSURFACE STRUCTURES. IF ANY OF THE FOLLOWING ARE ENCOUNTERED: TREE ROOT SYSTEMS, CONCRETE, SEPTIC TANKS, GAS OR OIL TANKS, STORM INLETS, IRRIGATION PIPES, FOUNDATIONS, ASPHALT, DEBRIS AND TRASH, THESE SHOULD ALSO BE REMOVED, WITH THE EXCEPTION OF ITEMS SPECIFIED BY THE OWNER FOR SALVAGE.
- EARTHWORK QUANTITIES IF SHOWN ON THESE PLANS ARE APPROXIMATE ESTIMATED QUANTITIES AND ARE FURNISHED FOR THE CITY OF HAYWARD'S INFORMATION ONLY. THE ACTUAL AMOUNT MAY VARY DEPENDING ON COMPACTION, CONSOLIDATION, STRIPPING AND THE CONTRACTOR'S METHOD OF OPERATION.
- ALL OUTDOOR EQUIPMENT AND MATERIALS STORAGE AREAS MUST BE COVERED AND BERMED, OR MUST BE DESIGNED WITH BEST MANAGEMENT PRACTICES TO LIMIT THE POTENTIAL FOR RUNOFF TO CONTACT POLLUTANTS.
- DURING CONSTRUCTION, MEASURES SHALL BE TAKEN TO PREVENT AND/OR REDUCE SEDIMENT AND DEBRIS FROM ENTERING THE STORM DRAINS SUCH AS ROUTINE SWEEPING AND STORM DRAIN INLET PROTECTION.
- DURING ACTIVITIES THAT RESULT IN DISTURBANCE OF SOILS OR THE USE OR STORAGE OF ERODIBLE MATERIALS (E.G. SANDS, BASE ROCK, TOPSOIL), PREVENT THE TRANSPORT OF SEDIMENT THROUGH THE INSTALLATION OF APPROPRIATE EROSION AND SEDIMENT CONTROL.

EARTHWORK SUMMARY

MEASURED RAW CUT: (STREET SUBGRADE AT 12" BELOW FINISHED GRADE, BACK OF CURB TO BACK OF CURB)	257 CY
MEASURED RAW FILL: (BUILDING PAD 9" BELOW FINISHED FLOOR)	61 CY
ESTIMATED EXPORT:	196 CY

EARTHWORK QUANTITIES SHOWN HEREON ARE APPROXIMATE ONLY FOR ESTABLISHMENT OF FEES. CONTRACTORS SHALL BASE BID AND OR CONTRACT AMOUNTS UPON THEIR OWN EARTHWORK ESTIMATES FOR COMPLETION OF THE WORK SHOWN HEREON, NOT ON THE QUANTITIES SHOWN ABOVE.

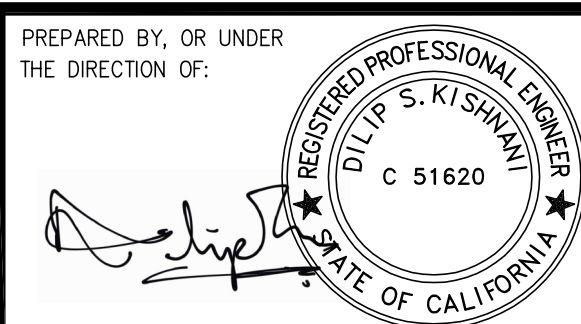
NO ADJUSTMENTS HAVE BEEN APPLIED FOR SHRINK OR SWELL.



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SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR



PREPARED BY:



46560 FREMONT BOULEVARD, SUITE NO. 205
FREMONT, CA 94538
sterlingconsultants@gmail.com PHONE: 510.344.8956

PREPARED FOR:

Mr. NAV PAUL DHILLON
EAST BAY DEVELOPERS
2811 DANWOOD CT.
SAN JOSE, CA 95148

APN: 415-170-27

VESTING TENTATIVE TRACT MAP 8426
PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

CITY OF HAYWARD

ALAMEDA COUNTY

CALIFORNIA

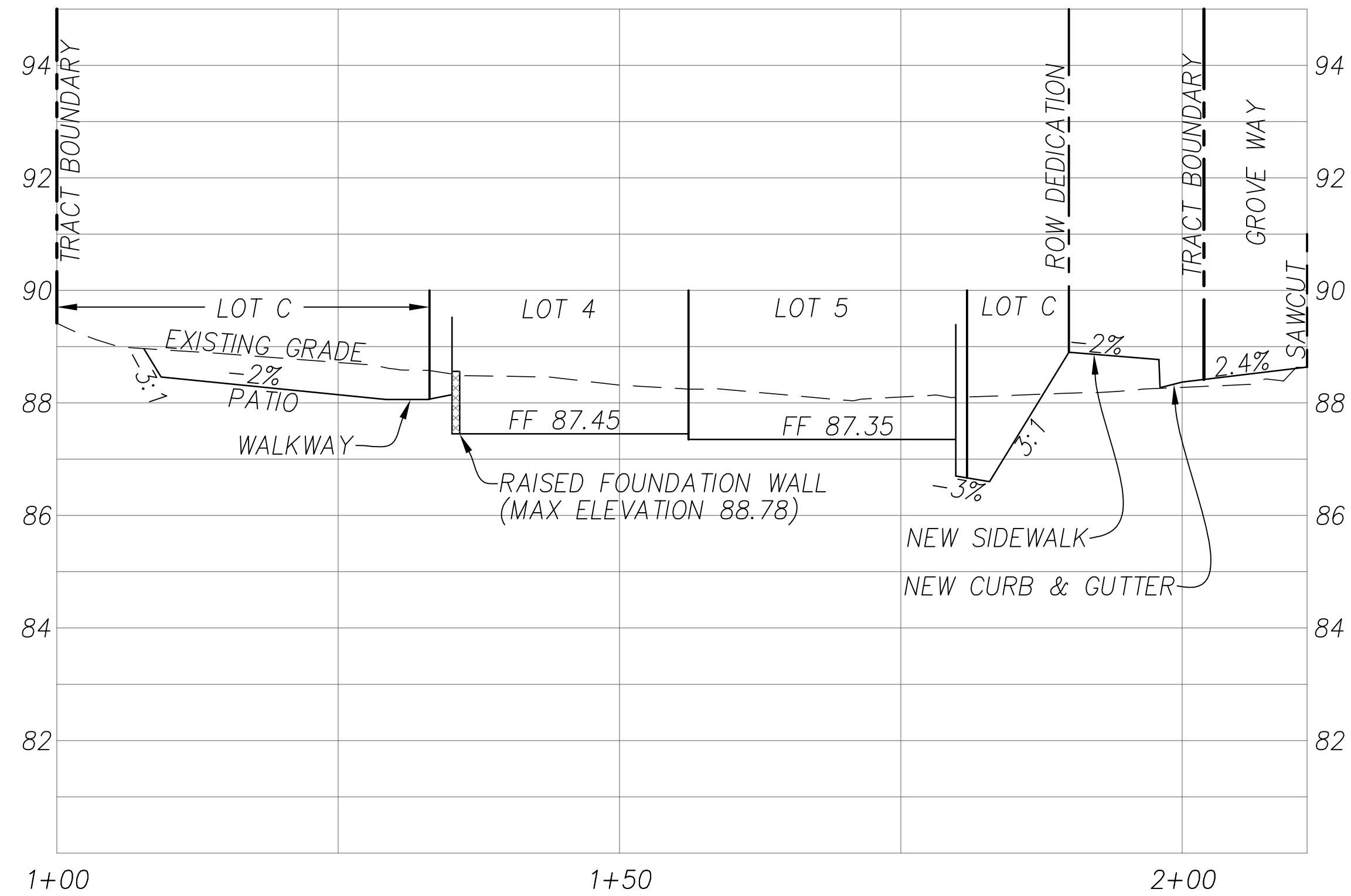
1434 GROVE WAY

SHEET NO.

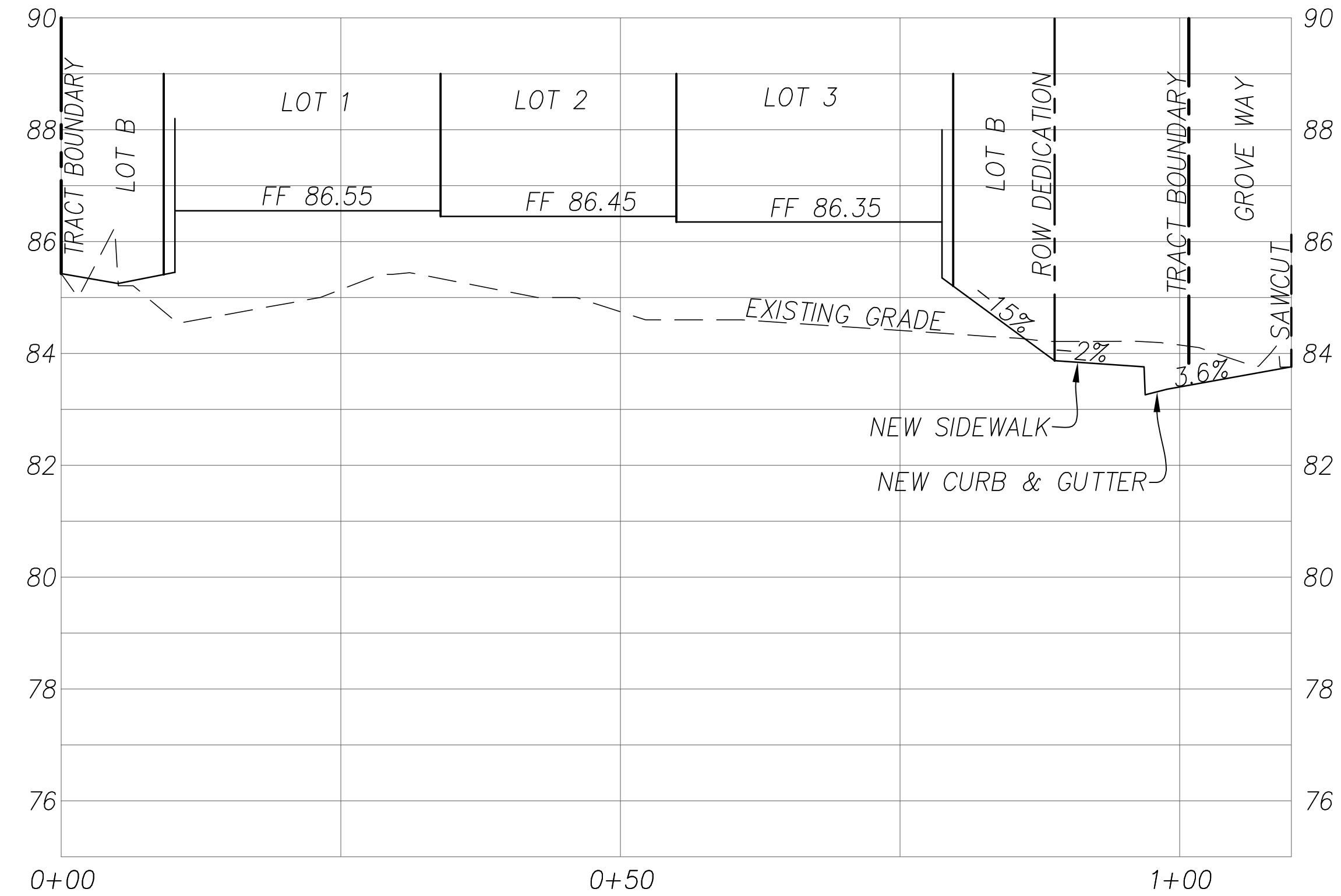
TM-3
3 OF 4 SHEETS

JOB NO. 2022-084

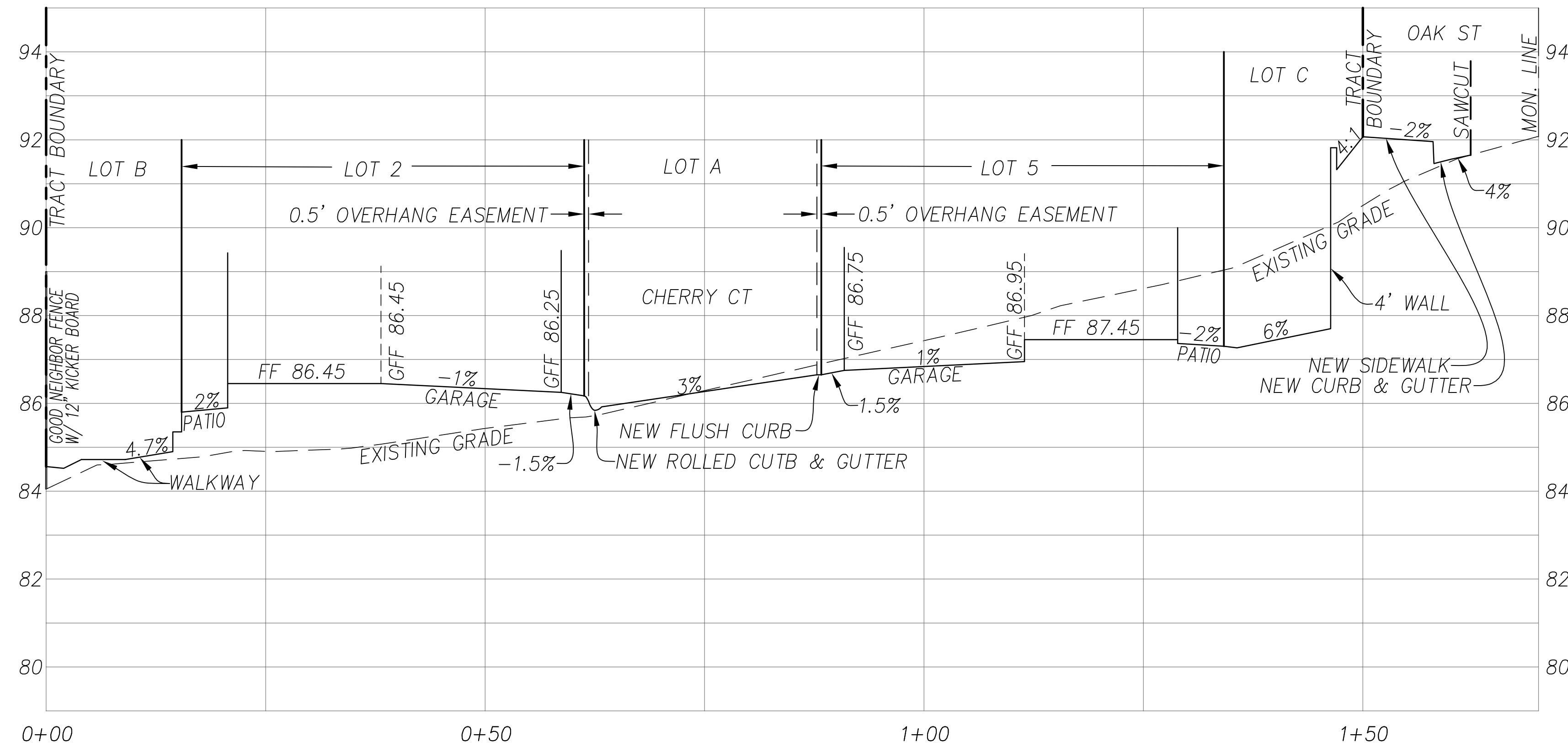
PRELIMINARY ● NOT FOR CONSTRUCTION



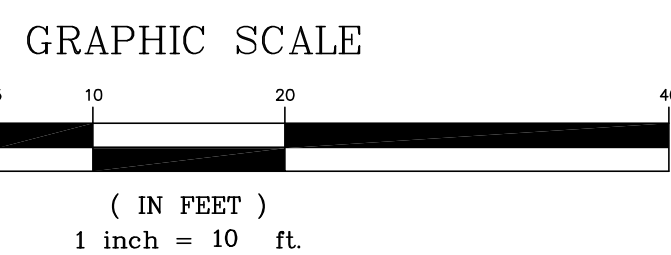
SECTION LOTS B-B
SCALES: HORZ: 1" = 10'; VERT: 1"=2'



SECTION LOTS C-C
SCALES: HORZ: 1" = 10'; VERT: 1"=2'

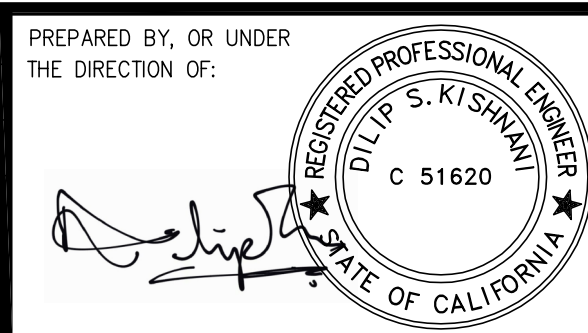


SECTION LOTS A-A
SCALES: HORZ: 1" = 10'; VERT: 1"=2'



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MANAGER: DSK					
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Mr. NAV PAUL DHILLON
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2811 DANWOOD CT.
SAN JOSE, CA 95148

APN: 415-170-27
VESTING TENTATIVE TRACT MAP 8426
SITE CROSS SECTIONS
CITY OF HAYWARD
ALAMEDA COUNTY
CALIFORNIA
1434 GROVE WAY

SHEET NO.
TM-4
4 OF 4 SHEETS
JOB NO. 2022-084

PROJECT GENERAL NOTES:

OWNER & DEVELOPER:	NAV PAUL DHILLON 2811 DANWOOD COURT SAN JOSE, CA 95418
CIVIL ENGINEER:	STERLING CONSULTANTS 46560 FREMONT BOULEVARD, SUITE 205 FREMONT, CA 94538 ATTN: DILIP S. KISHNANI , P.E., QD PH: 510.344.8956
ARCHITECT:	MOLINAR HOME DESIGN 7133 DUBLIN BOULEVARD DUBLIN, CA 94568 ATTN: MICHAEL W. SUCHOCKI PH: 925.457.7397 michael@molinarhomedesign.com
LANDSCAPE ARCHITECT:	GATES & ASSOCIATES 1655 NORTH MAIN STREET, SUITE 365 WALNUT CREEK, CA 94596 ATTN: MELONIE REYNOLDS , PLA PH: 925.736.8176 X-2004 melonie@dgates.com
ADDRESS & APN:	1434 GROVE WAY HAYWARD, CA 94546 415-0170-027-00
GENERAL PLAN: EXISTING & PROPOSED LAND USE: EXISTING ZONING:	COMM. / HIGH DENSITY RES. (CDHR) RESIDENTIAL COMMERCIAL OFFICE (CO)
SITE AREA:	15,201 s.f. (GROSS) 11,050 s.f. (NET - MINUS DEDICATION & PRIVATE STREET * ALSO SEE CIVIL DRAWINGS *
NUMBER OF BUILDINGS / LOTS:	TWO BLDGS. (ONE 2-PLEX & ONE 3-PLEX) 5 FOR SALE LOTS; 3 COMMON AREAS; 1 PRIVATE STREET
PARKING:	1 COVERED + AN ADDITIONAL 1.1 PER UNIT = 10.5 SPACES SPACES PROVIDED = 12 DEDICATED VISITOR SPACES = 2
BLDG CODE ANALYSIS:	R3 CONDOMINIUM / TYPE VB CONSTRUCTION
OCCUPANCY:	UNITS: R-3 PRIVATE GARAGES: U
LOT COVERAGE: (INCLUDES GARAGES & PORCHES)	TOTAL NET: 11,050 s.f. 2-PLEX BLDG. FOOTPRINT = 1,854 s.f. 3-PLEX BLDG. FOOTPRINT = 2,823 s.f. LOT COVERAGE: 4,677 / 11,050 = 42% LOT COVERAGE MAX = 65%



CONCEPTUAL RENDERING

CONCEPTUAL PERSPECTIVE

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A.0: COVER SHEET

CIVIL SHEETS -

- TM-1: TITLE SHEET - PROPOSED SUBDIVISION, NOTES & DETAILS
- TM-2: EXISTING CONDITION MAP & DEMOLITION PLAN
- TM-3: PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
- TM-4: SITE CROSS SECTIONS

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- A.2 SECOND FLOOR SITE PLAN
- A.3 THIRD FLOOR SITE PLAN
- A.4 ROOF DECK SITE PLAN
- A.5 PLAN 1 & 1A FIRST FLOOR PLAN
- A.6 PLAN 1 & 1A SECOND FLOOR PLAN
- A.7 PLAN 1 & 1A THIRD FLOOR PLAN
- A.8 PLAN 2 FIRST & SECOND FLOOR PLAN
- A.9 PLAN 2 THIRD & FOURTH FLOOR PLAN

- A.10 DUPLEX ROOF PLAN
- A.11 TRIPLEX ROOF PLAN
- A.12 DUPLEX PROPOSED ELEVATIONS ~ FRONT & RIGHT
- A.13 DUPLEX PROPOSED ELEVATIONS ~ REAR & LEFT
- A.14 DESIGN CONCEPT AERIALS @ OAK STREET
- A.15 TRIPLEX PROPOSED ELEVATIONS ~ FRONT & RIGHT
- A.16 TRIPLEX PROPOSED ELEVATIONS ~ REAR & LEFT
- A.17 DESIGN CONCEPT AERIALS SECTIONS
- A.18 COLOR & MATERIALS

CORNER OF GROVE WAY & OAK STREET

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- L0.2 TREE MITIGATION PLAN
- L1.1 CONCEPTUAL LANDSCAPE PLAN
- L1.2 FENCING & WALL PLAN
- L2.1 CONCEPTUAL PLANTING PLAN
- L2.2 PLANT PALETTE
- L3.1 HYDROZONE PLAN
- L3.1 IRRIGATION NOTES & CALCULATIONS
- L4.1 CONCEPTUAL LANDSCAPE DETAILS
- L4.2 CONCEPTUAL LANDSCAPE DETAILS

PLAN SQUARE FOOTAGE

PLAN 1 INTERIOR UNIT		4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	679 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	711 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
TOTAL:	1,745 Sq. Ft.	2nd FLR. DECK 2:	97 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.	3rd FLR. DECK:	55 Sq. Ft.
PLAN 1a EXTERIOR UNIT		4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	729 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	774 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
TOTAL:	1,858 Sq. Ft.	2nd FLR. DECK 2:	97 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.	3rd FLR. DECK:	55 Sq. Ft.
PLAN 2		4 BED / 3.5 BATH	
FIRST FLOOR:	400 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	845 Sq. Ft.	1st FLR. PORCH:	85 Sq. Ft.
THIRD FLOOR:	865 Sq. Ft.	2nd FLR. DECK:	85 Sq. Ft.
ROOF:	140 Sq. Ft.	SUN DECK (RF.):	162 Sq. Ft.
TOTAL:	2,250 Sq. Ft.		
2-CAR GARAGE:	477 Sq. Ft.		

PROJECT NARRATIVE:

THIS PROPOSED TWO BUILDING / FIVE UNIT FOR SALE PROJECT PROPOSED ON THE CORNER OF GROVE WAY AND OAK STREET SEEKS TO ADD VIBRANCE & A PEDESTRIAN-FRIENDLY CHARACTER TO THE NEIGHBORHOOD SERVING AS A TRANSITION FROM THE RESIDENTIAL AREA TO THE NORTH TO THE BUSY INTERSECTION AT FOOTHILL BOULEVARD. A VARIETY OF COLORS, MATERIALS & ARTICULATION PROVIDE A RICH BACKDROP TO THE STREETSCAPE WHILE CARS AND GARAGE DOORS SERVING THE UNITS ARE PLACED ON A PRIVATE DRIVE ALLOWING THE LESS UTILITARIAN ASPECTS OF THE ARCHITECTURE TO BE MORE PROMINENT. AMPLE OPEN SPACE ON THE GROUND LEVEL PROVIDES A PARK-LIKE SETTING WHILE AN ABUNDANCE OF PRIVATE OPEN SPACE IN THE FORM OF PORCHES, BALCONIES & ROOF DECKS ALLOW OWNERS TO ENJOY MORE PERSONALIZED OPEN SPACE AS WELL AS CREATING INTEREST AND ARTICULATION AT THE UPPER LEVELS. THE GROVE WAY PROJECT IS HOPEFUL THAT IT WILL LEAD THE WAY TO OTHER HIGH CALIBER DEVELOPMENTS ON ADJACENT LOTS TO BRING A RENEWED VIBRANCY TO THE NEIGHBORHOOD..

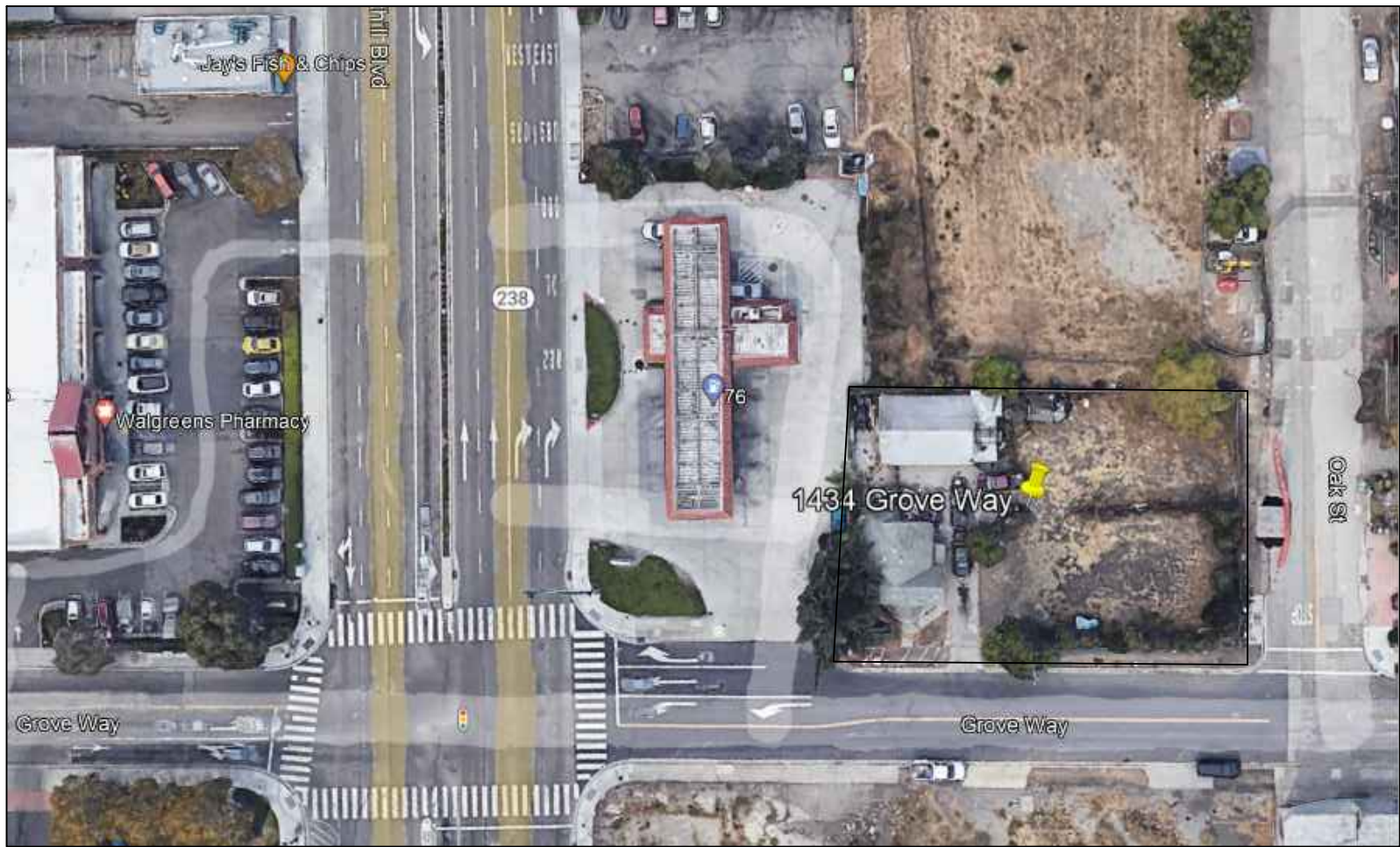
PLANNING DIVISION
SUBMITTAL

DATE MAY 4, 2023

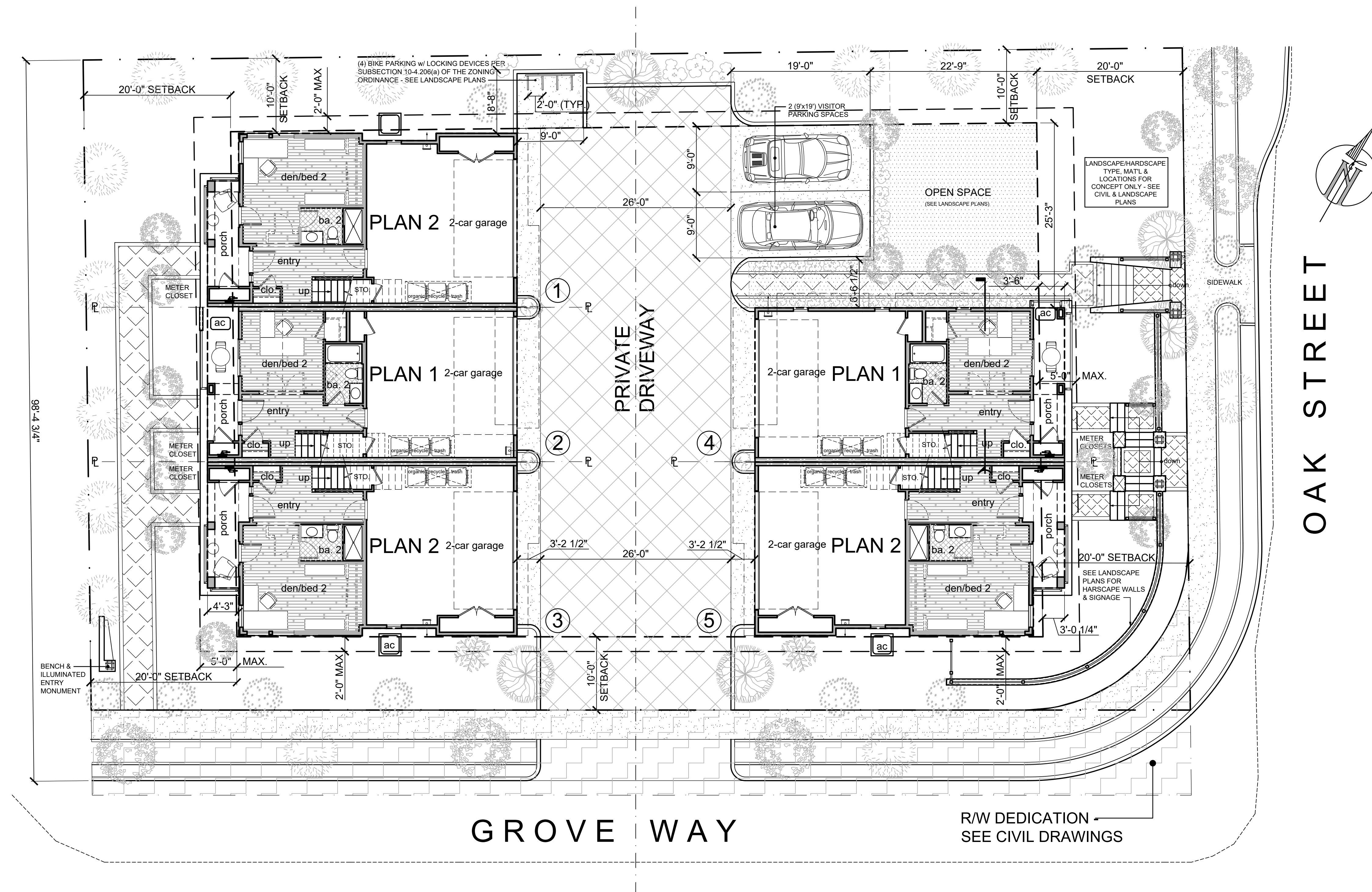
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A.0

1434 GROVE WAY
HAYWARD, CALIFORNIA



VICINITY MAP



FIRST FLOOR SITE PLAN

* ARCHITECTURAL SITE PLANS FOR PROPOSED FLOOR PLAN ADJACENCY PURPOSES ONLY - PLEASE SEE CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION

FIRST FLOOR SITE PLAN

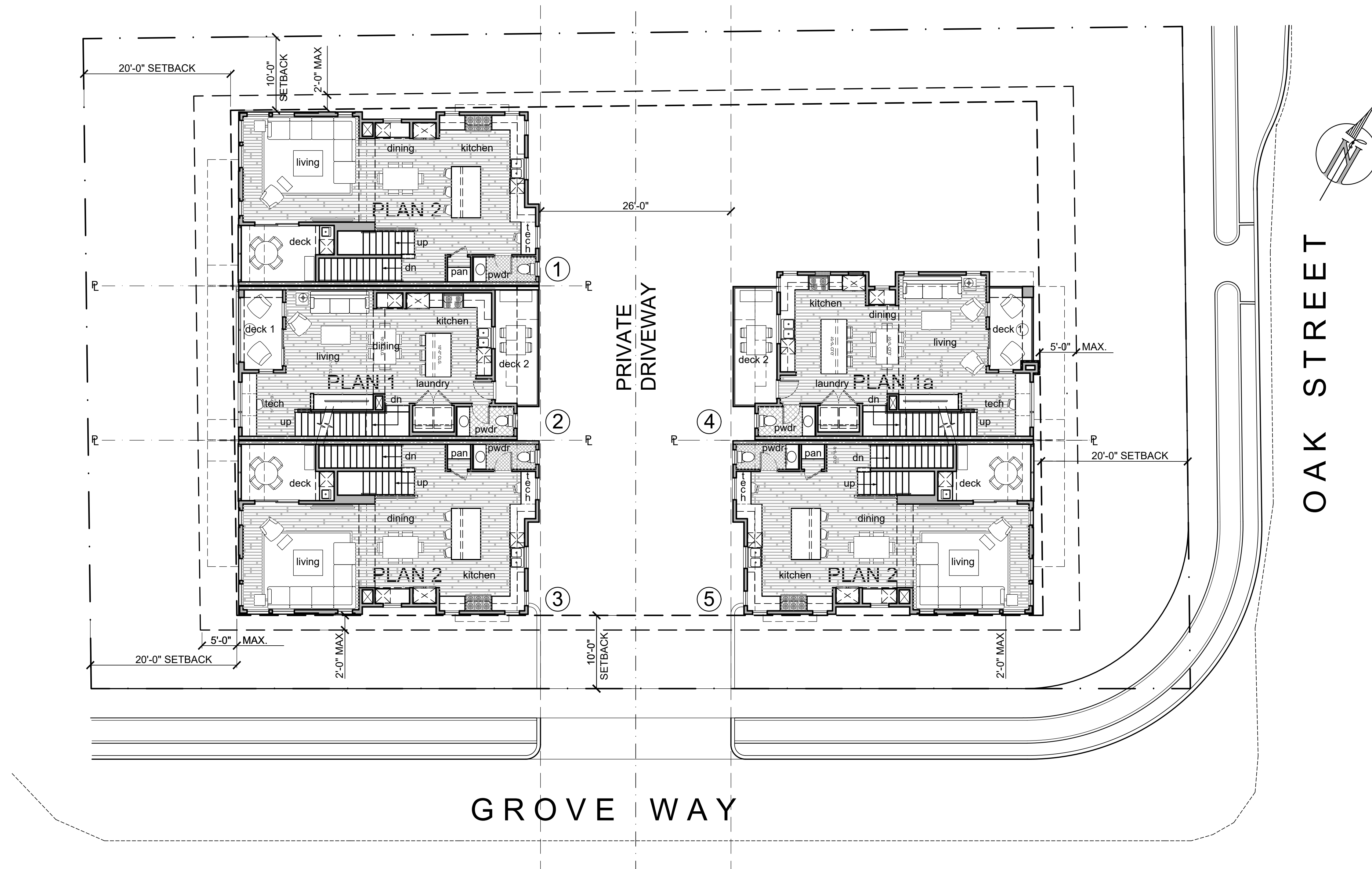


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A.1



SECOND FLOOR SITE PLAN

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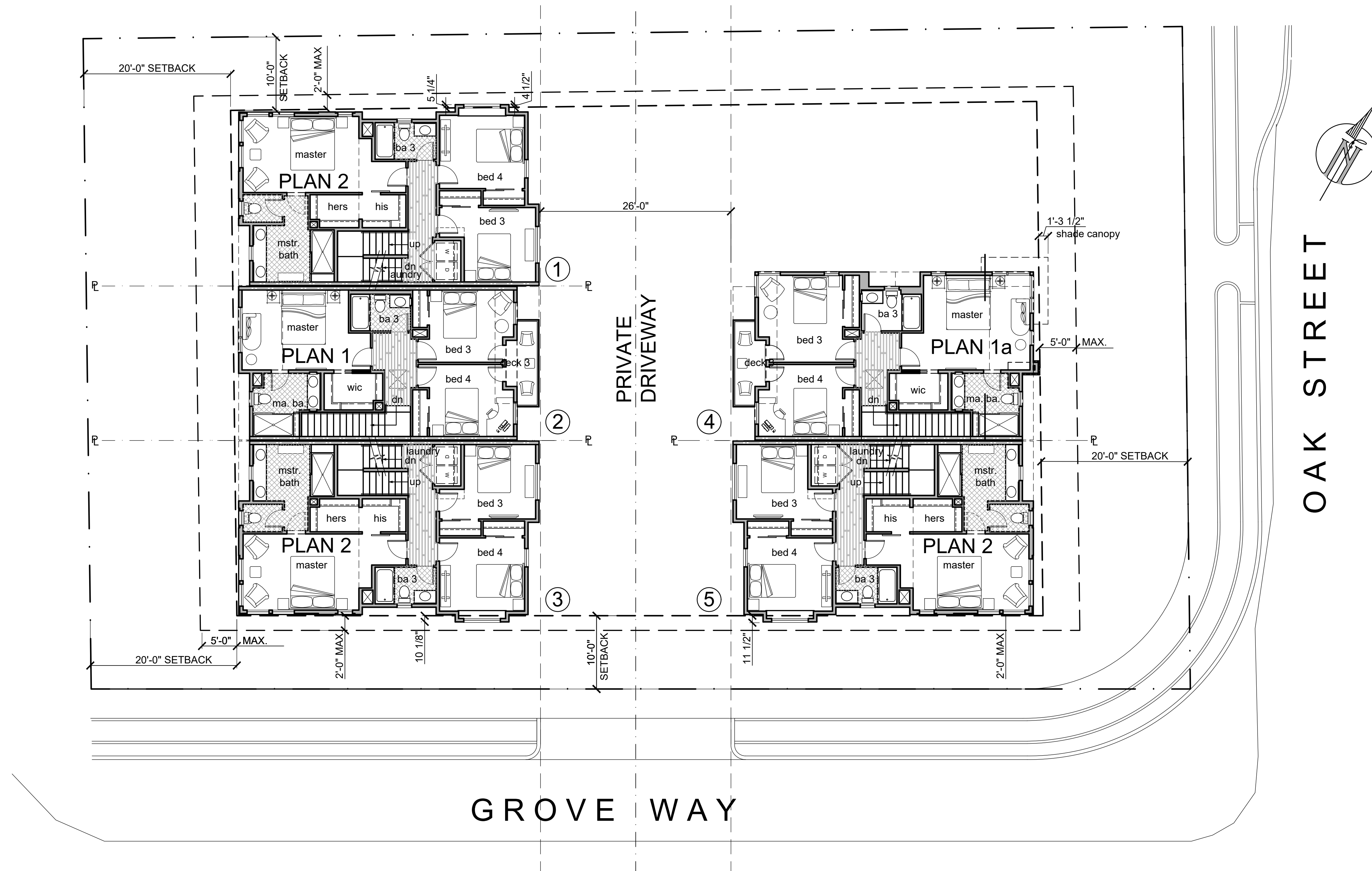
SECOND FLOOR
SITE PLAN



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A.2



THIRD FLOOR SITE PLAN

* ARCHITECTURAL SITE PLANS FOR PROPOSED FLOOR PLAN ADJACENCY PURPOSES ONLY - PLEASE SEE CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION

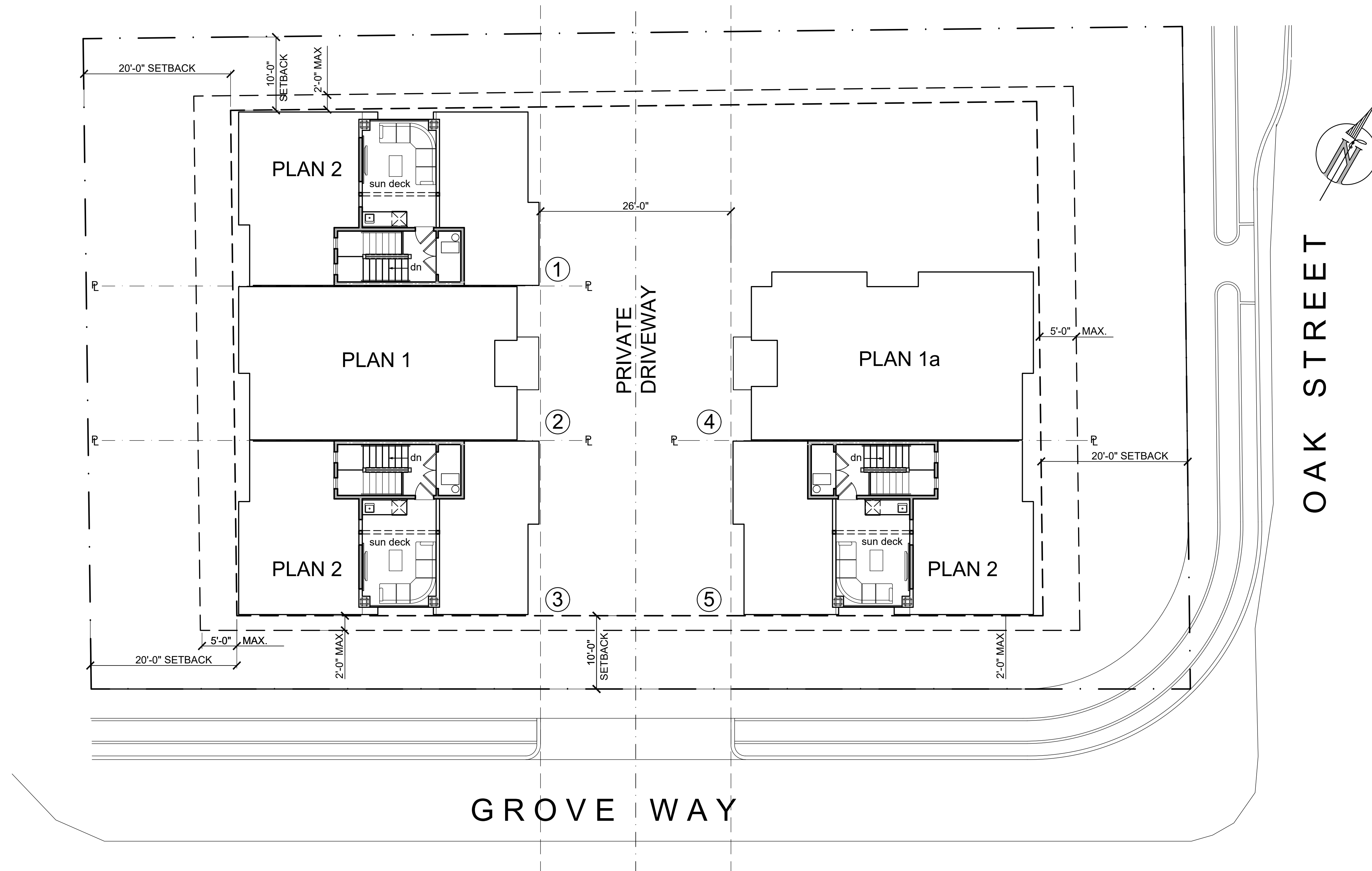
THIRD FLOOR SITE PLAN



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HAYWARD, CALIFORNIA

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A.3



FOURTH FLOOR SITE PLAN

* ARCHITECTURAL SITE PLANS FOR PROPOSED FLOOR PLAN ADJACENCY PURPOSES ONLY - PLEASE SEE CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION

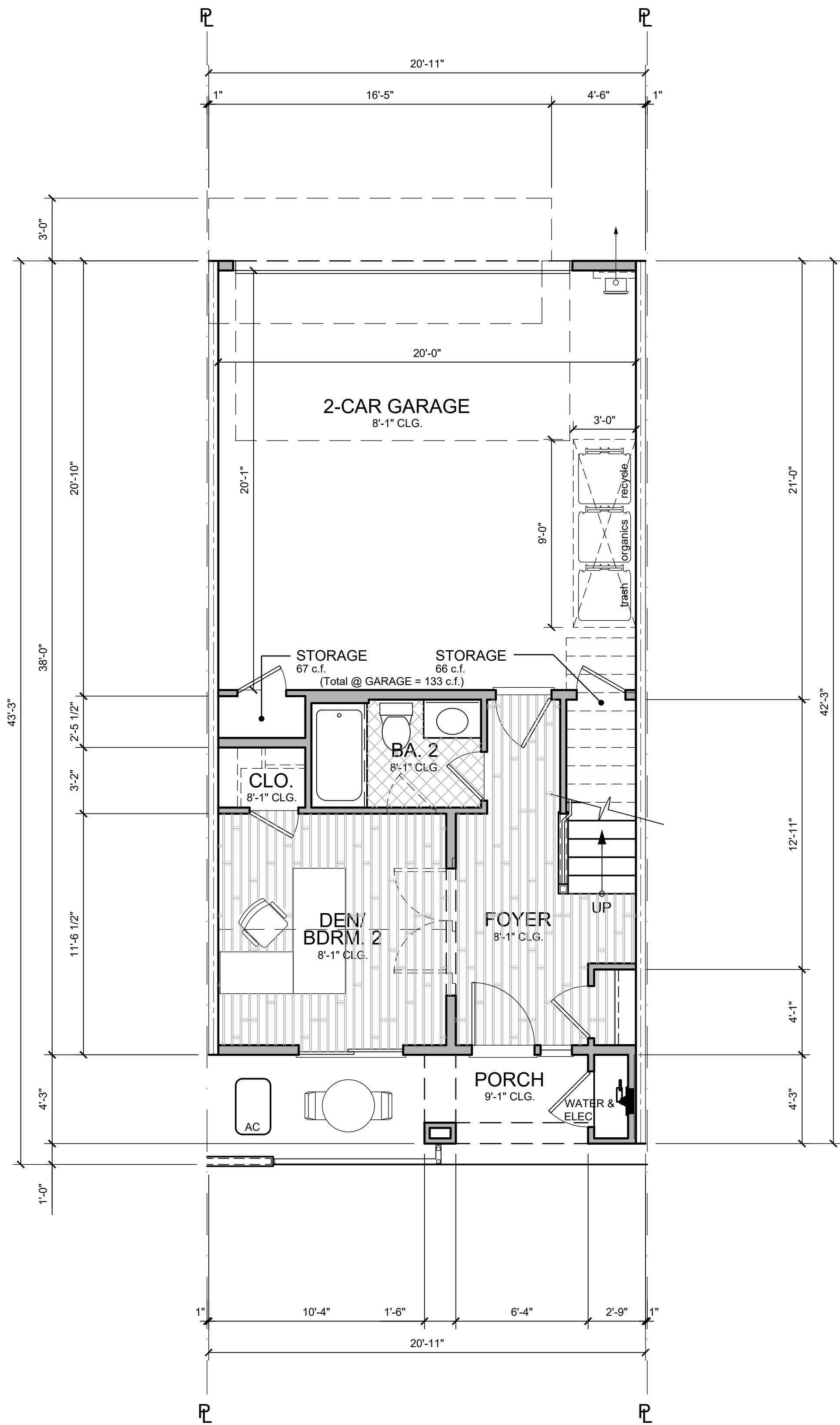
FOURTH FLOOR SITE PLAN



1434 GROVE WAY
HAYWARD, CALIFORNIA

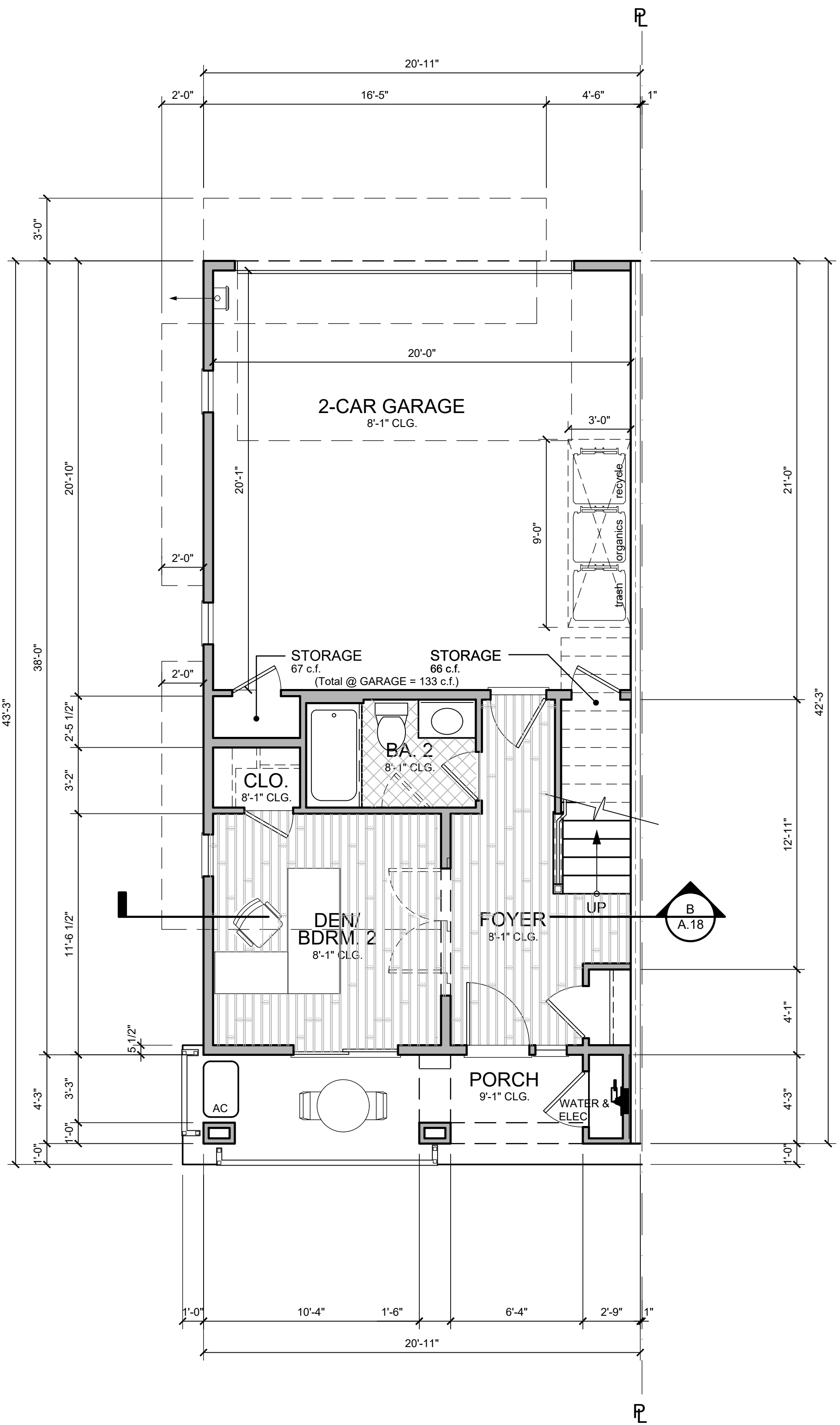
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A.4



PLAN 1 ~ FIRST FLOOR PLAN

LOT 2



PLAN 1A ~ FIRST FLOOR PLAN

LOT 4

PLAN SQUARE FOOTAGE

PLAN 1 INTERIOR UNIT 4 BED / 3.5 BATH

FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	679 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	711 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
TOTAL:	1,745 Sq. Ft.	2nd FLR. DECK 2:	97 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.	3rd FLR. DECK:	55 Sq. Ft.

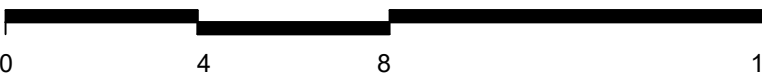
PLAN 1a EXTERIOR UNIT 4 BED / 3.5 BATH

FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	729 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	774 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
TOTAL:	1,858 Sq. Ft.	2nd FLR. DECK 2:	97 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.	3rd FLR. DECK:	55 Sq. Ft.

PLAN 2 4 BED / 3.5 BATH

FIRST FLOOR:	400 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	845 Sq. Ft.	1st FLR. PORCH:	85 Sq. Ft.
THIRD FLOOR:	865 Sq. Ft.	2nd FLR. DECK:	86 Sq. Ft.
ROOF:	140 Sq. Ft.	SUN DECK (RF.):	162 Sq. Ft.
TOTAL:	2,250 Sq. Ft.		
2-CAR GARAGE:	477 Sq. Ft.		

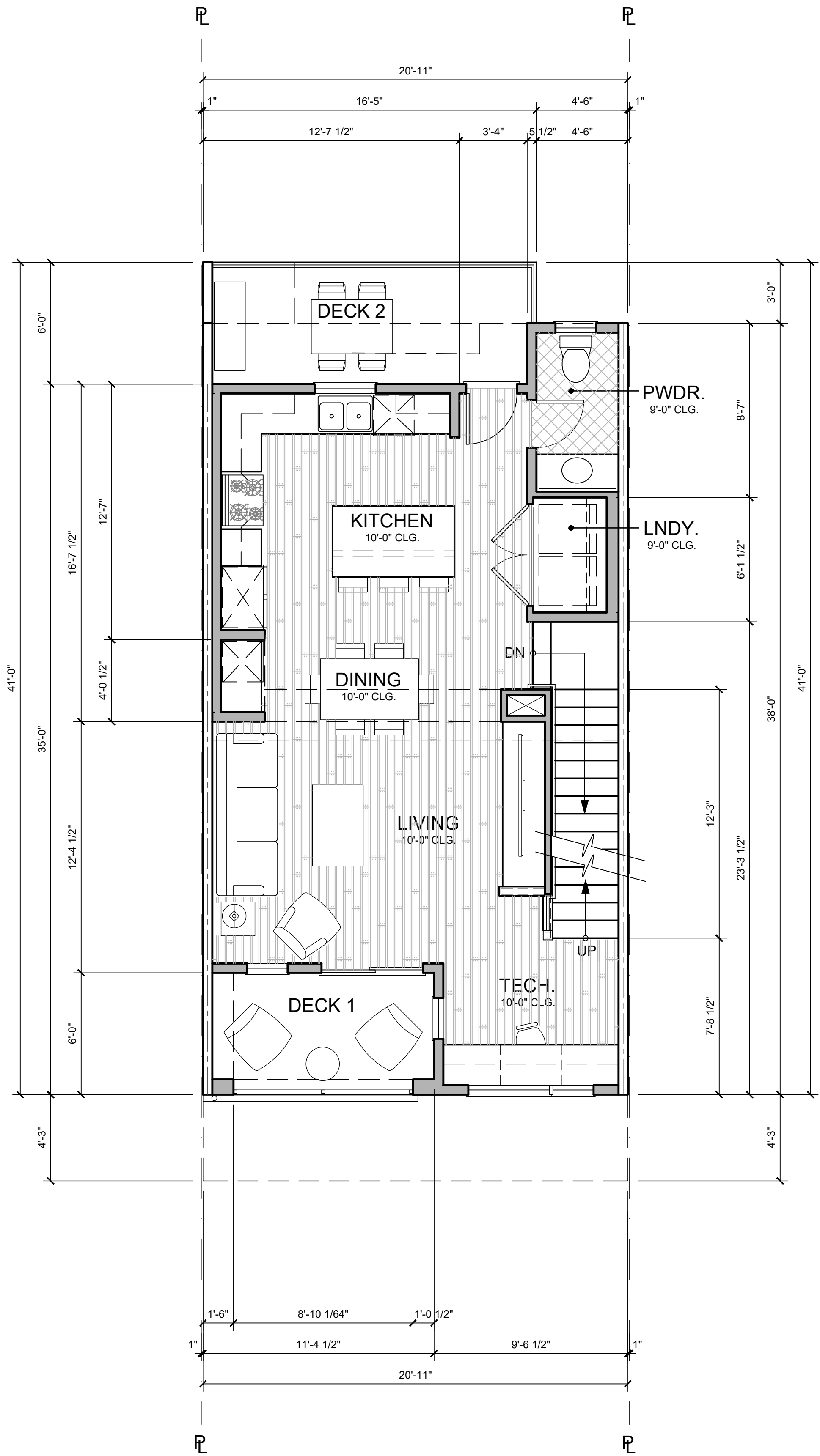
PLAN 1 & 1A
FIRST FLOOR
PLAN



1434 GROVE WAY
HAYWARD, CALIFORNIA

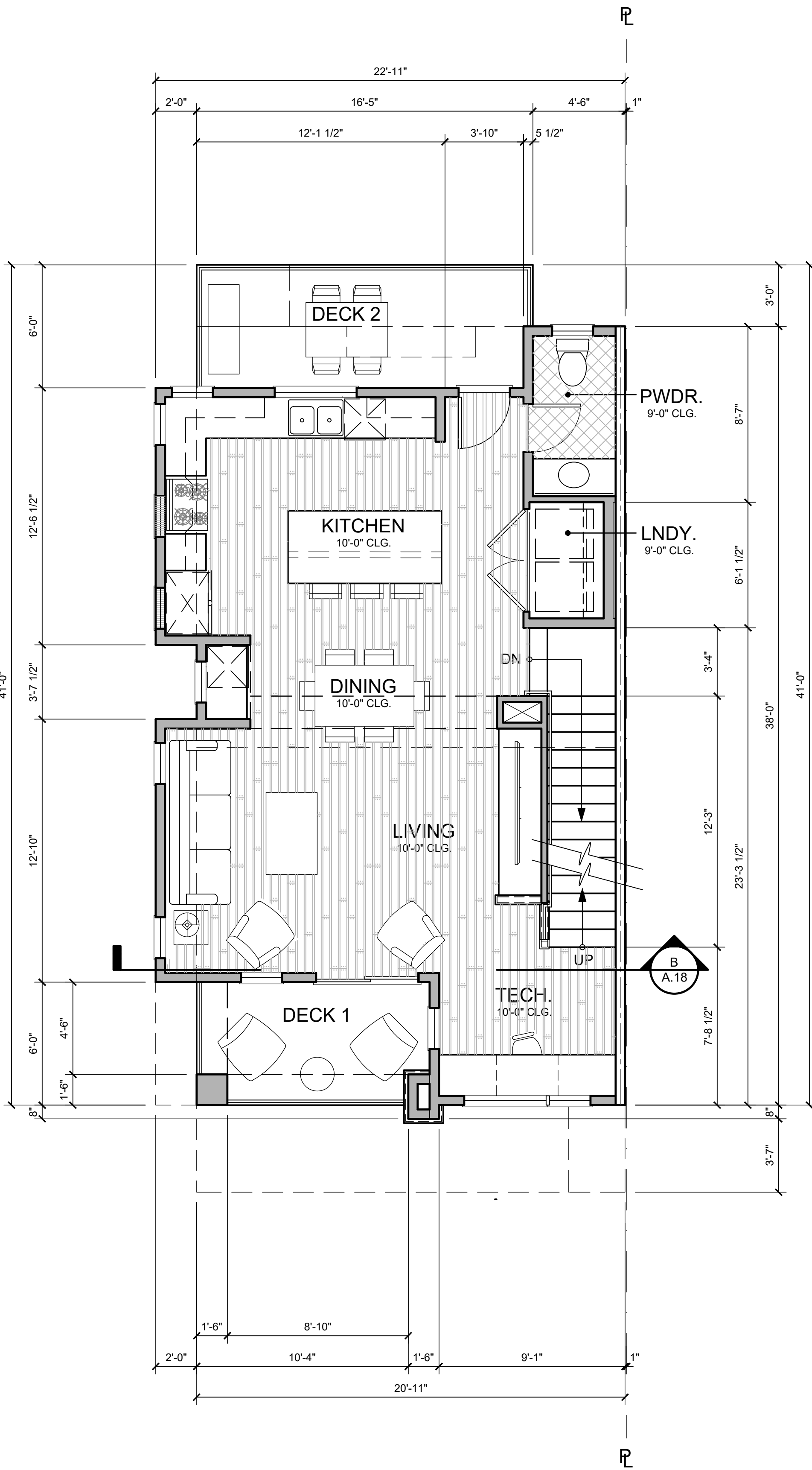
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A.5



PLAN 1 ~ SECOND FLOOR PLAN

LOT 2



PLAN 1A ~ SECOND FLOOR PLAN

LOT 4

PLAN SQUARE FOOTAGE

PLAN 1 INTERIOR UNIT 4 BED / 3.5 BATH

FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	679 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	711 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
		2nd FLR. DECK 2:	97 Sq. Ft.
		3rd FLR. DECK:	55 Sq. Ft.
TOTAL:	1,745 Sq. Ft.		
2-CAR GARAGE:	440 Sq. Ft.		

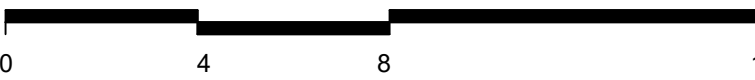
PLAN 1a EXTERIOR UNIT 4 BED / 3.5 BATH

FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	729 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	774 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
		2nd FLR. DECK 2:	97 Sq. Ft.
		3rd FLR. DECK:	55 Sq. Ft.
TOTAL:	1,858 Sq. Ft.		
2-CAR GARAGE:	440 Sq. Ft.		

PLAN 2 4 BED / 3.5 BATH

FIRST FLOOR:	400 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	845 Sq. Ft.	1st FLR. PORCH:	85 Sq. Ft.
THIRD FLOOR:	865 Sq. Ft.	2nd FLR. DECK:	86 Sq. Ft.
ROOF:	140 Sq. Ft.	SUN DECK (RF.):	162 Sq. Ft.
TOTAL:	2,250 Sq. Ft.		
2-CAR GARAGE:	477 Sq. Ft.		

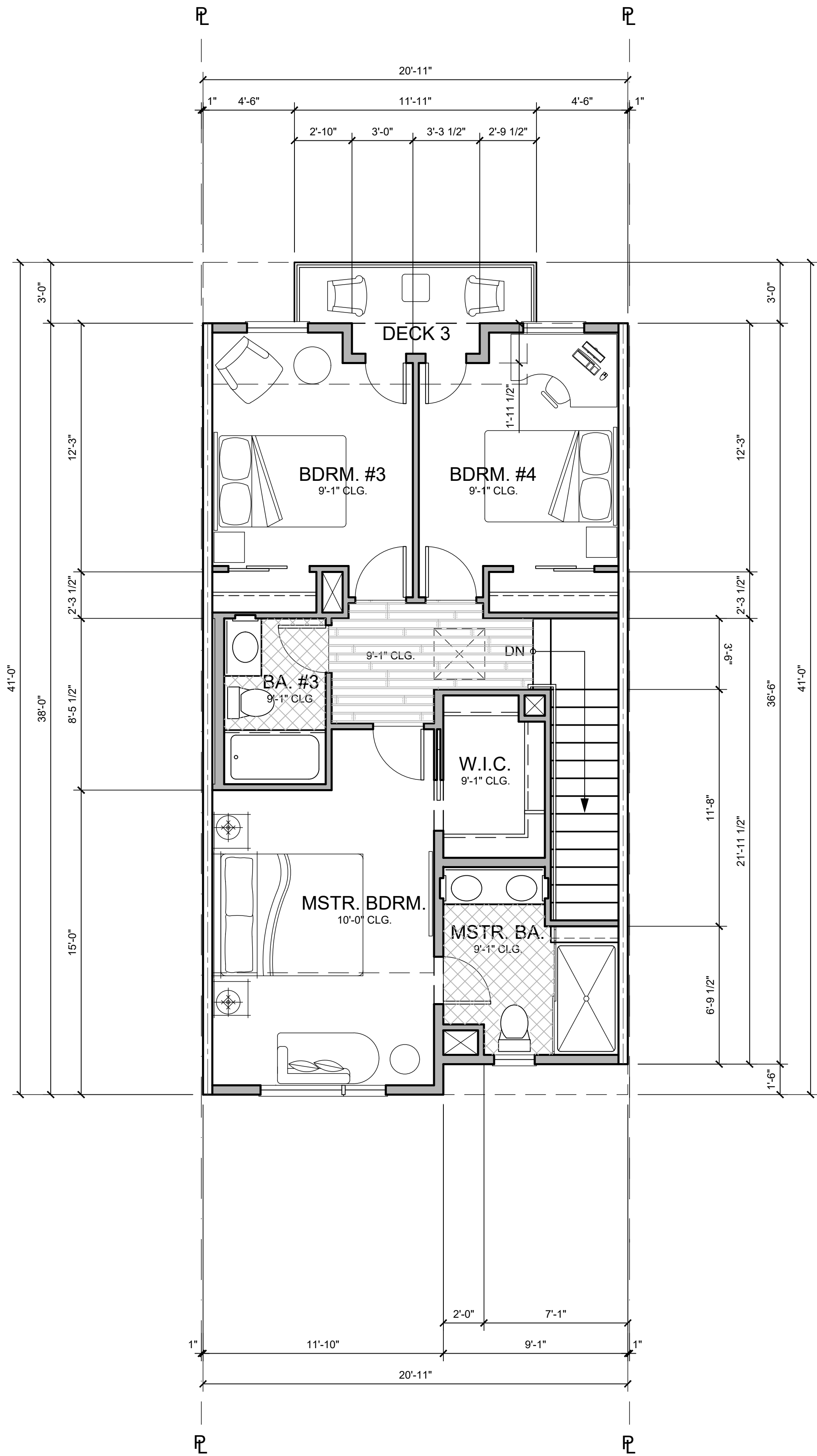
PLAN 1 & 1A
SECOND FLOOR
PLAN



1434 GROVE WAY
HAYWARD, CALIFORNIA

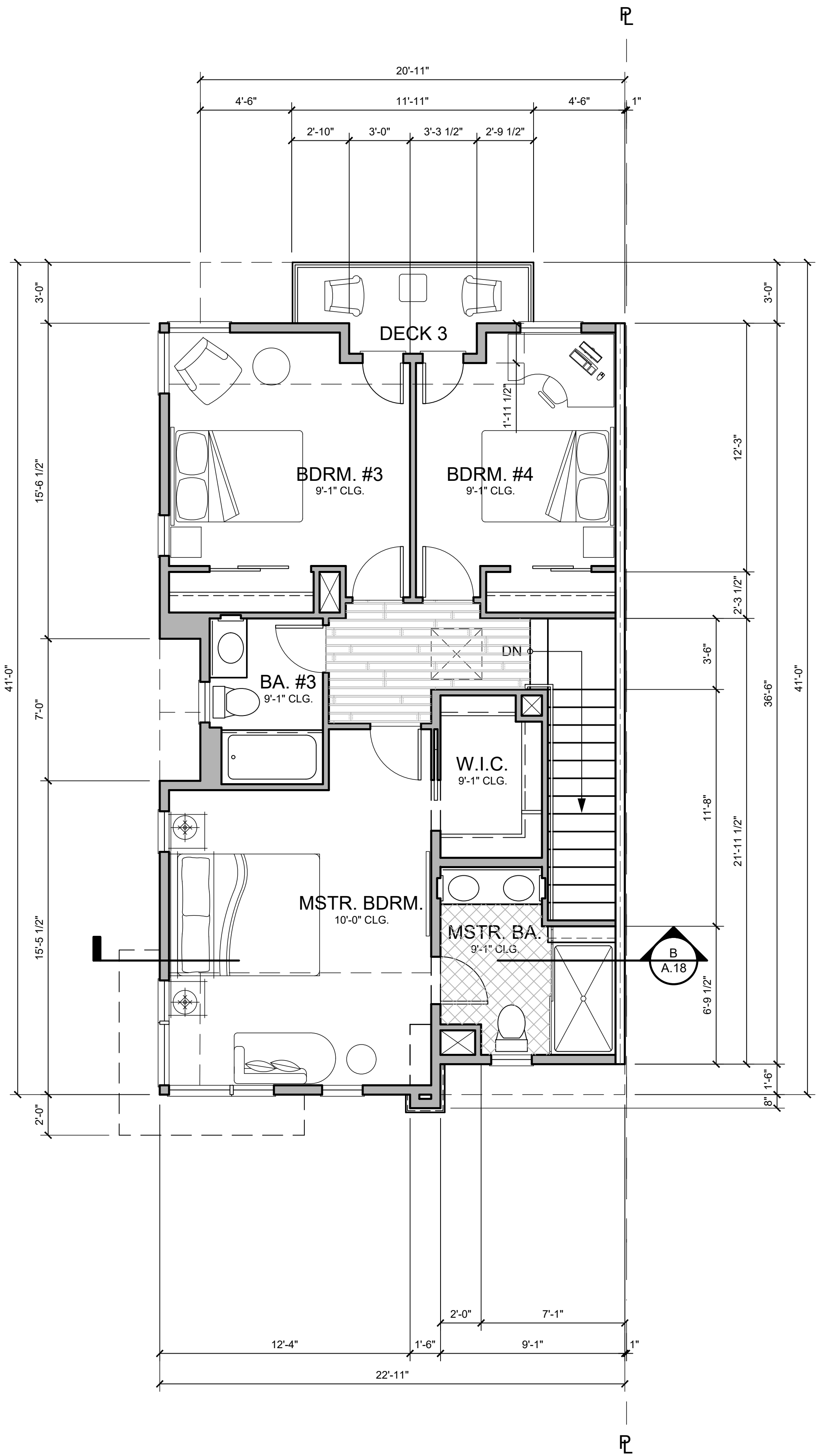
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A.6



PLAN 1 ~ THIRD FLOOR PLAN

LOT 2



PLAN 1A ~ THIRD FLOOR PLAN

LOT 4

PLAN SQUARE FOOTAGE			
PLAN 1 INTERIOR UNIT		4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	679 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	711 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
TOTAL:	1,745 Sq. Ft.	3rd FLR. DECK:	55 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.		
PLAN 1a EXTERIOR UNIT		4 BED / 3.5 BATH	
FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	729 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	774 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
TOTAL:	1,858 Sq. Ft.	3rd FLR. DECK:	55 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.		
PLAN 2		4 BED / 3.5 BATH	
FIRST FLOOR:	400 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	845 Sq. Ft.	1st FLR. PORCH:	85 Sq. Ft.
THIRD FLOOR:	865 Sq. Ft.	2nd FLR. DECK:	86 Sq. Ft.
ROOF:	140 Sq. Ft.	SUN DECK (RF.):	162 Sq. Ft.
TOTAL:	2,250 Sq. Ft.		
2-CAR GARAGE:	477 Sq. Ft.		

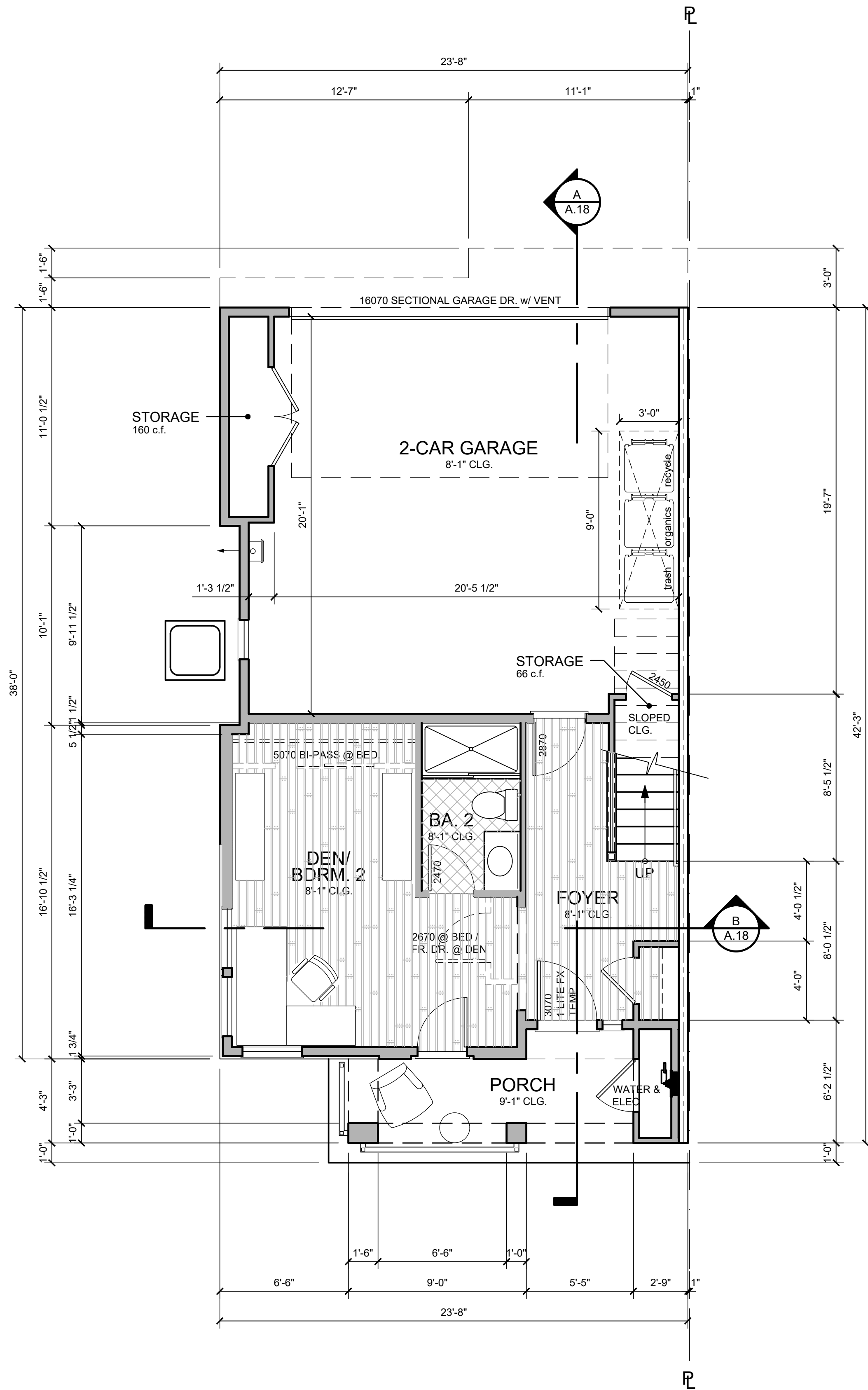
PLAN 1 & 1A
THIRD FLOOR
PLAN



1434 GROVE WAY
HAYWARD, CALIFORNIA

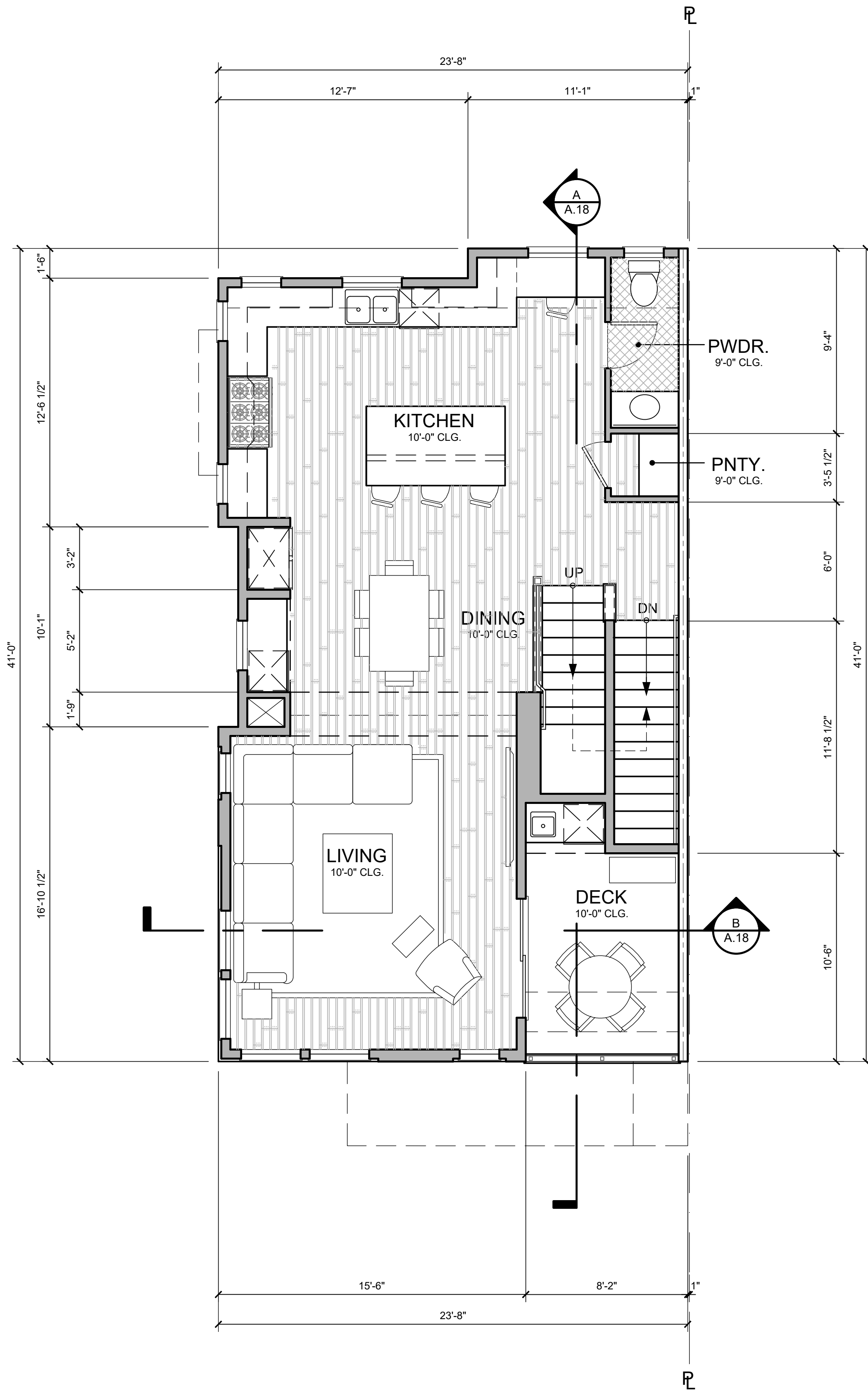
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A.7



PLAN 2 ~ FIRST FLOOR PLAN

LOTS 1,3 & 5



PLAN 2 ~ SECOND FLOOR PLAN

LOTS 1,3 & 5

PLAN SQUARE FOOTAGE

PLAN 1 INTERIOR UNIT 4 BED / 3.5 BATH

FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	679 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	711 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
TOTAL:	1,745 Sq. Ft.	2nd FLR. DECK 2:	97 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.	3rd FLR. DECK:	55 Sq. Ft.

PLAN 1a EXTERIOR UNIT 4 BED / 3.5 BATH

FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	729 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	774 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
TOTAL:	1,858 Sq. Ft.	2nd FLR. DECK 2:	97 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.	3rd FLR. DECK:	55 Sq. Ft.

PLAN 2 4 BED / 3.5 BATH

FIRST FLOOR:	400 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	845 Sq. Ft.	1st FLR. PORCH:	85 Sq. Ft.
THIRD FLOOR:	865 Sq. Ft.	2nd FLR. DECK:	86 Sq. Ft.
ROOF:	140 Sq. Ft.	SUN DECK (RF.):	162 Sq. Ft.
TOTAL:	2,250 Sq. Ft.		
2-CAR GARAGE:	477 Sq. Ft.		

PLAN 2
FIRST & SECOND
FLOOR PLANS

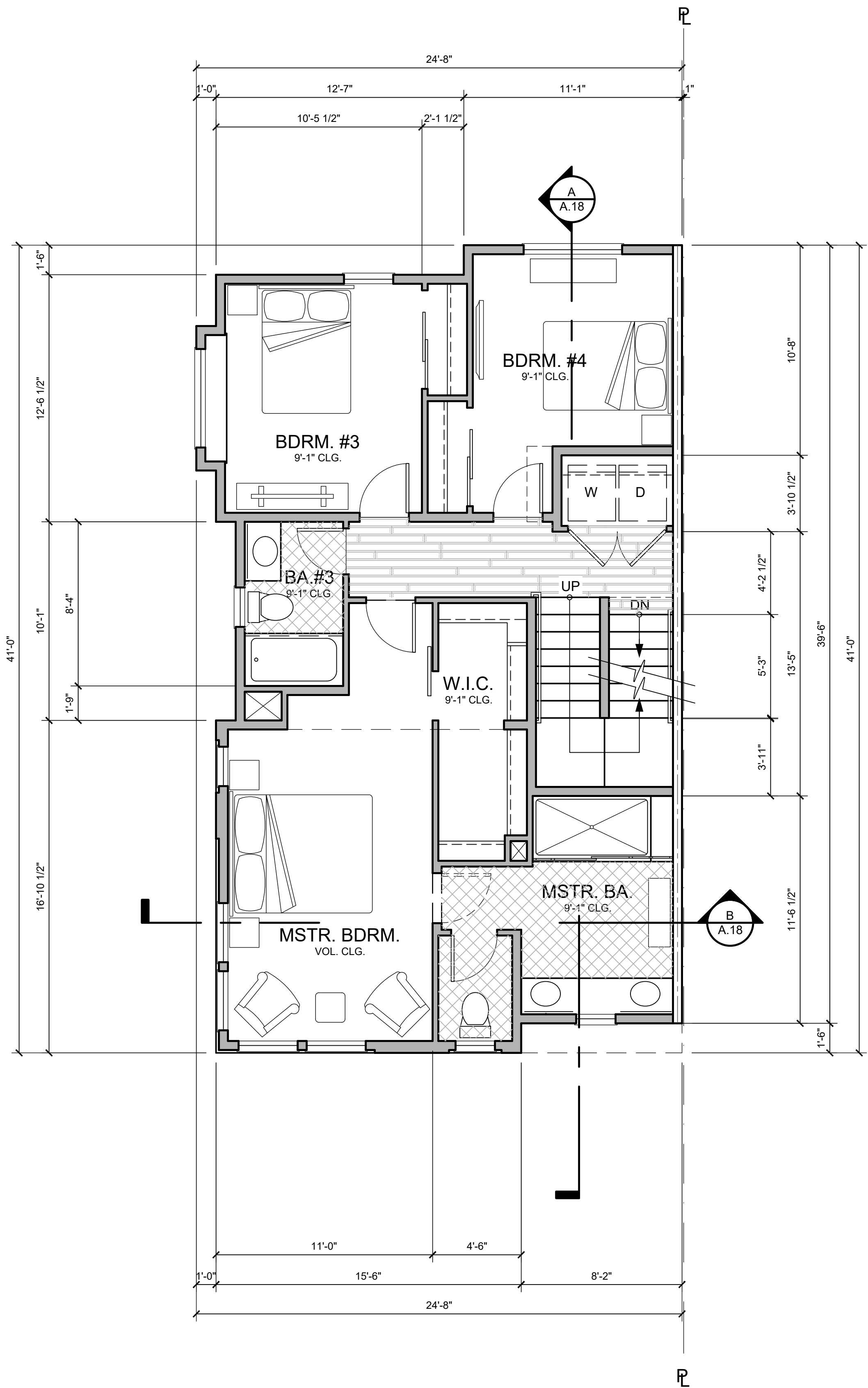


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HAYWARD, CALIFORNIA

DATE MAY 4, 2023

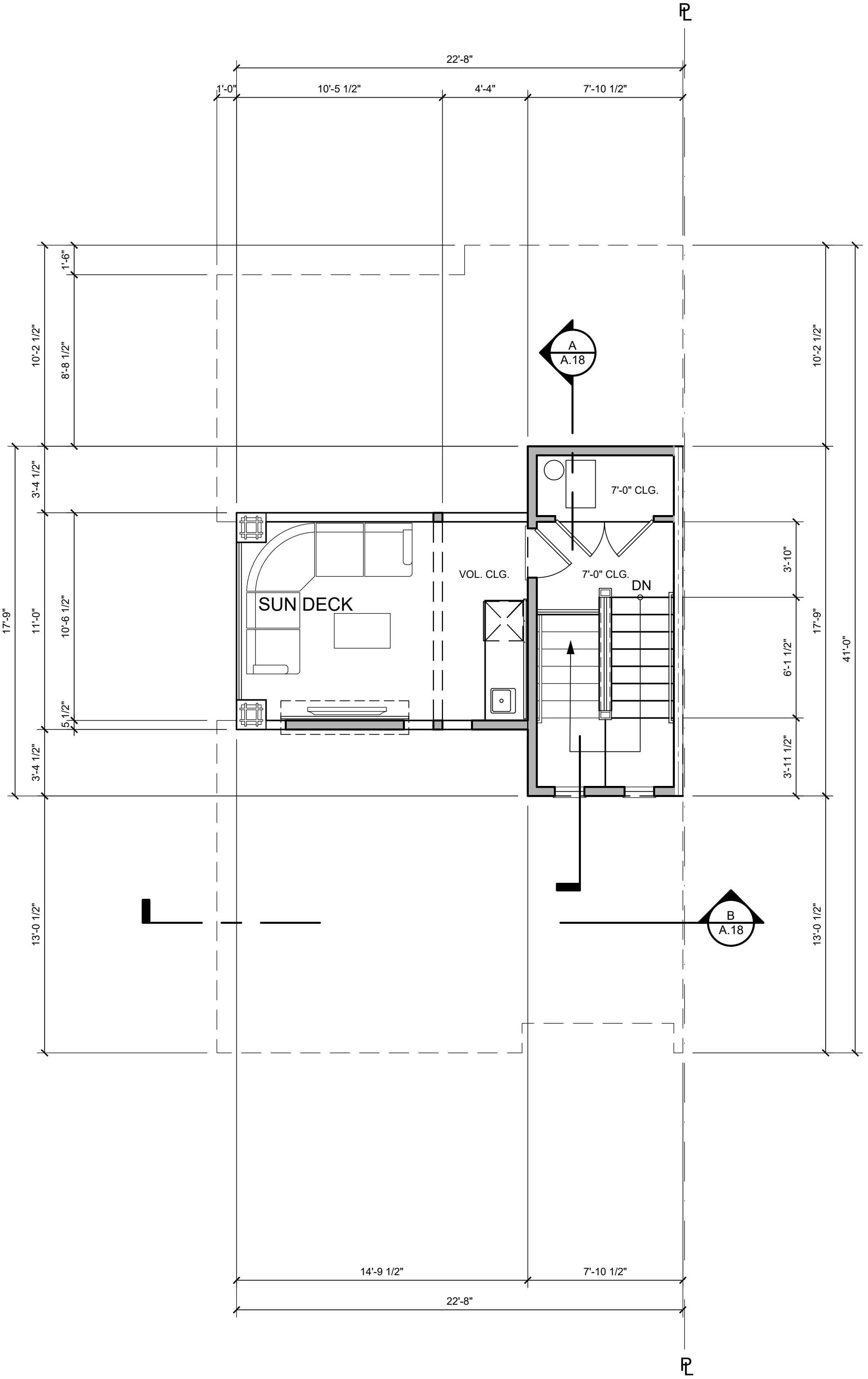
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PLAN 2 ~ THIRD FLOOR PLAN

LOTS 1,3 & 5



PLAN 2 ~ FOURTH FLOOR PLAN

LOTS 1,3 & 5

PLAN SQUARE FOOTAGE

PLAN 1 INTERIOR UNIT 4 BED / 3.5 BATH

FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	679 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	711 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
TOTAL:	1,745 Sq. Ft.	3rd FLR. DECK:	55 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.		

PLAN 1a EXTERIOR UNIT 4 BED / 3.5 BATH

FIRST FLOOR:	355 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	729 Sq. Ft.	1st FLR. PORCH:	110 Sq. Ft.
THIRD FLOOR:	774 Sq. Ft.	2nd FLR. DECK 1:	68 Sq. Ft.
TOTAL:	1,858 Sq. Ft.	3rd FLR. DECK:	55 Sq. Ft.
2-CAR GARAGE:	440 Sq. Ft.		

PLAN 2 4 BED / 3.5 BATH

FIRST FLOOR:	400 Sq. Ft.	PORCHES & DECKS:	
SECOND FLOOR:	845 Sq. Ft.	1st FLR. PORCH:	65 Sq. Ft.
THIRD FLOOR:	865 Sq. Ft.	2nd FLR. DECK:	86 Sq. Ft.
ROOF:	140 Sq. Ft.	SUN DECK (RF.):	162 Sq. Ft.
TOTAL:	2,250 Sq. Ft.		
2-CAR GARAGE:	477 Sq. Ft.		

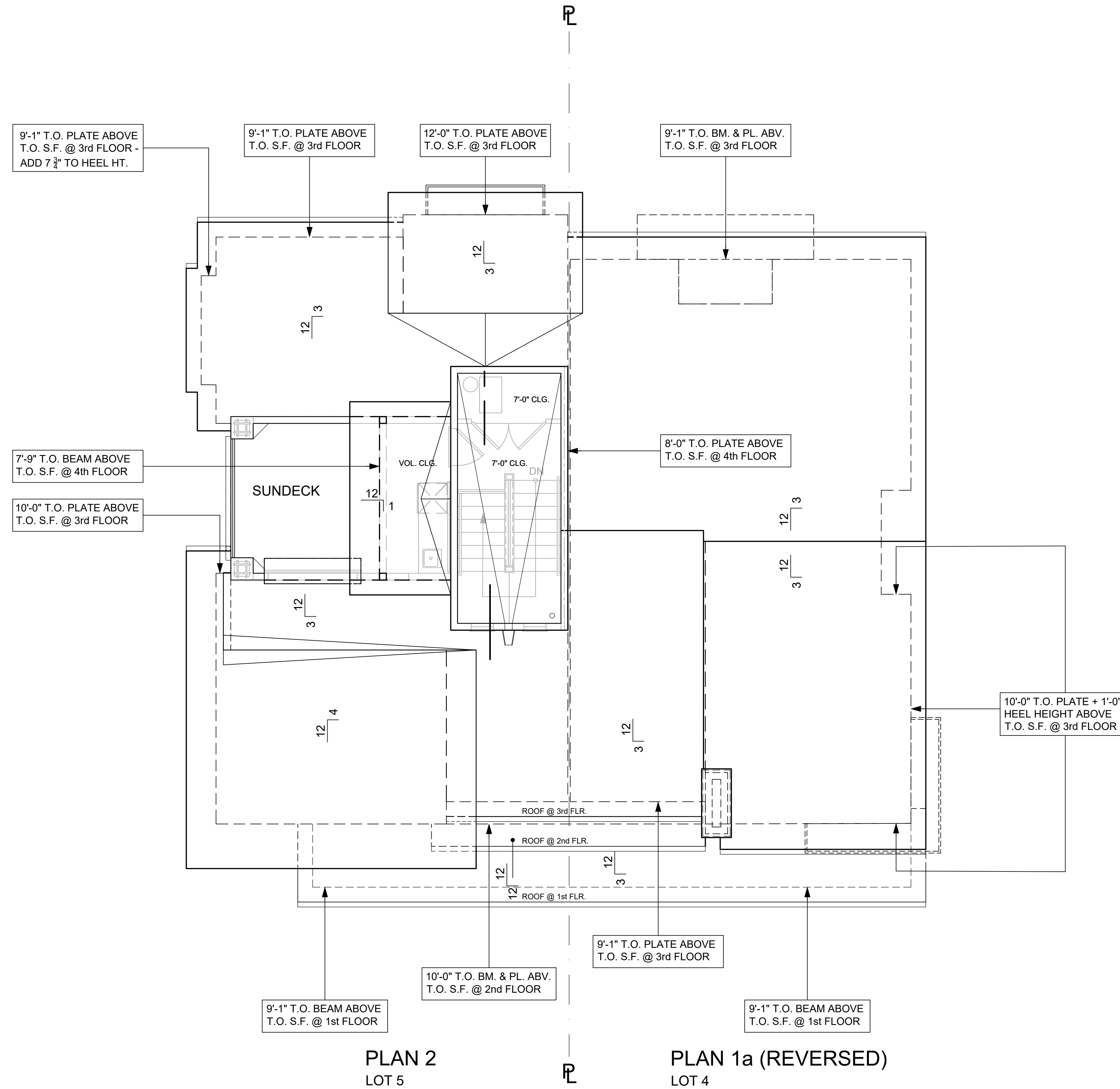
PLAN 2
THIRD & FOURTH
FLOOR PLANS



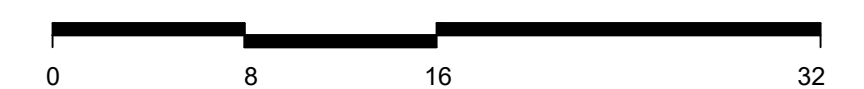
1434 GROVE WAY
HAYWARD, CALIFORNIA

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Dublin, CA 94568
925-200-2598

A.9



DUPLEX: ROOF PLAN



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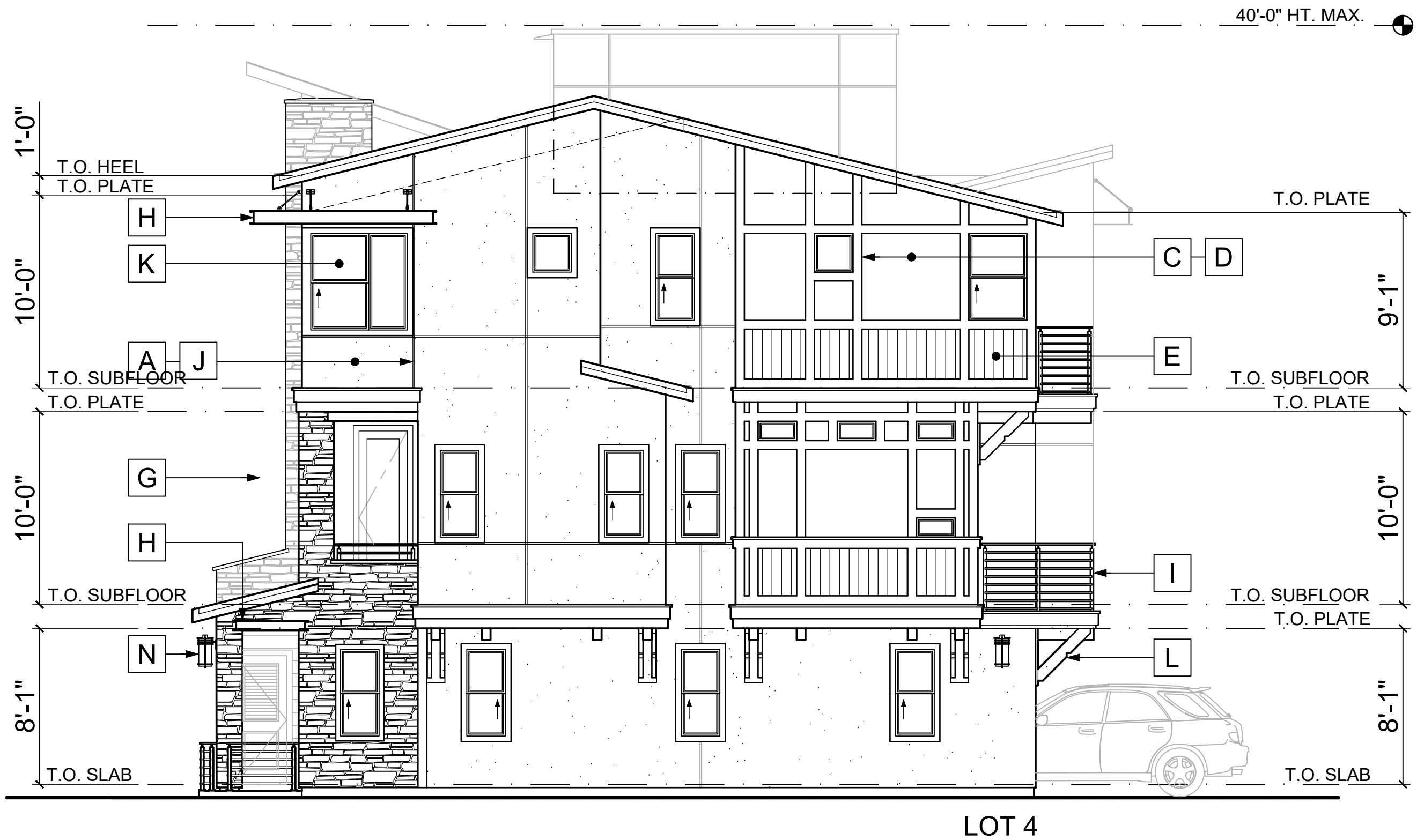


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DESIGN CONCEPT PERSPECTIVE #1: DUPLEX
VIEW FROM INTERSECTION OF GROVE WAY & OAK STREET



RIGHT ELEVATION
VIEW FROM OPEN SPACE

MATERIAL KEY	
ALSO SEE SHEET A.19 FOR COLORS & MATERIALS	
A:	3-COAT STUCCO
B:	CEMENTITIOUS HORIZONTAL LAP SIDING w/ 8" EXPOSURE
C:	CEMENTITIOUS SMOOTH PANEL
D:	2x CEMENTITIOUS WOOD-GRAIN TRIM
E:	CEMENTITIOUS WD-GRAIN VERTICAL SIDING
F:	CORRUGATED METAL SIDING
G:	"LEDGESTONE" STONE VENEER
H:	METAL, "I-BEAM" HEADER or SUN-SHADE w/ METAL ROD/CABLE SUPPORTS
I:	HORIZONTAL METAL BAR RAILING (TEMPERED GLASS WHERE OCCURS)
J:	EXPANSION JOINT
K:	WOOD-CLAD VINYL WINDOW
L:	WOOD KNEE-BRACE and/or CORBEL
M:	SECTIONAL GARAGE DOOR w/ FROSTED GLASS INSERTS
N:	'DARK-SKY' COMPLIANT LIGHT FIXTURE
O:	ILLUMINATED ADDRESS LIGHT
P:	2x4 STAINED WOOD RAIN-SCREEN WALL
Q:	COMPOSITION ROOF SHINGLE
R:	STANDING SEAM METAL ROOF



DESIGN CONCEPT PERSPECTIVE #2: DUPLEX
VIEW FROM OAK STREET ADJACENT TO OPEN SPACE



FRONT ELEVATION
VIEW FROM OAK STREET

DUPLEX:
PROPOSED
ELEVATIONS -
FRONT & RIGHT

1434 GROVE WAY
HAYWARD, CALIFORNIA

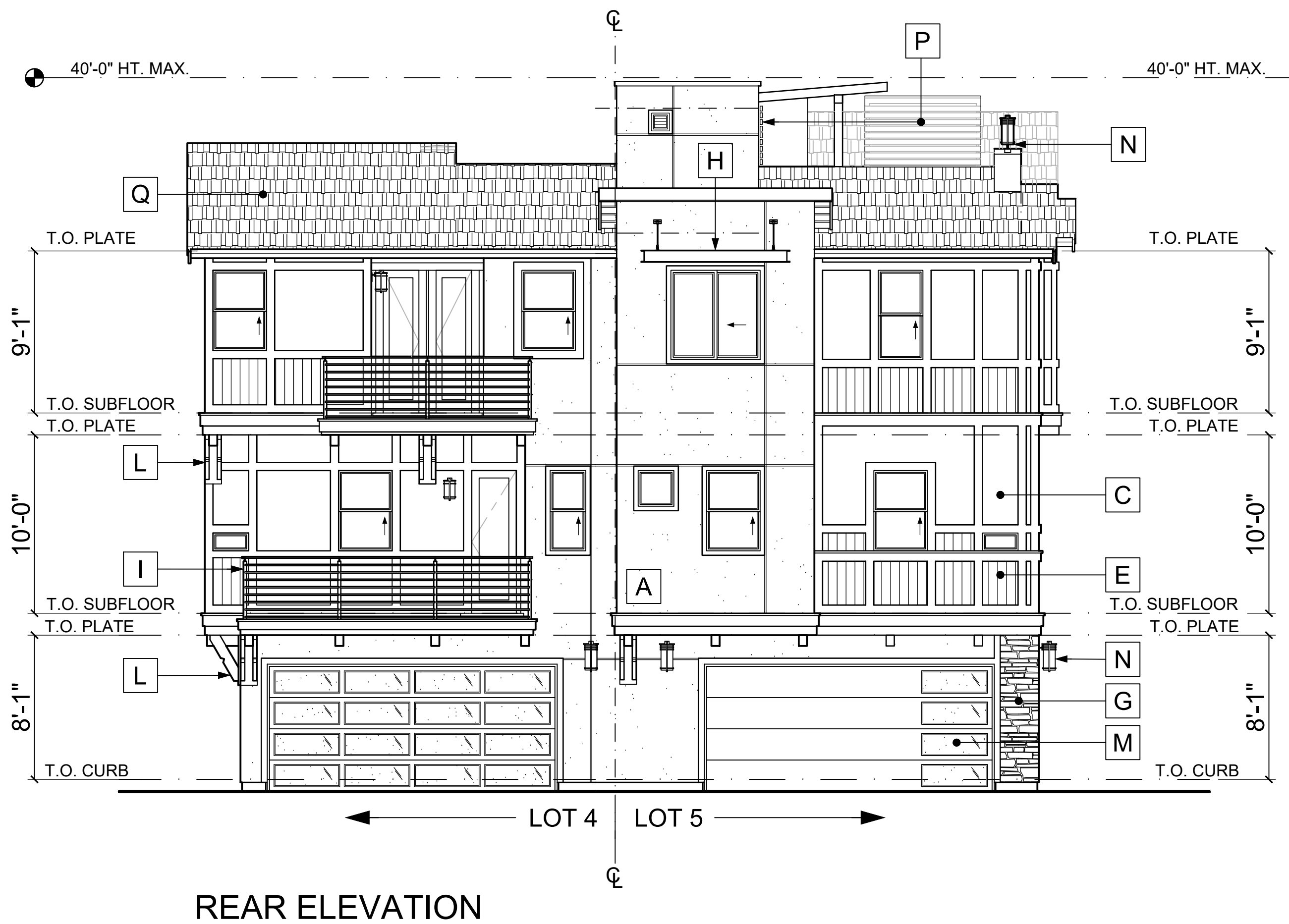
SCALE: $\frac{3}{16}" = 1'-0"$
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A.12



DESIGN CONCEPT PERSPECTIVE: DUPLEX

VIEW FROM END of AUTOCOURT



MATERIAL KEY

ALSO SEE SHEET A.19 FOR COLORS & MATERIALS

- A: 3-COAT STUCCO
- B: CEMENTITIOUS HORIZONTAL LAP SIDING w/ 8' EXPOSURE
- C: CEMENTITIOUS SMOOTH PANEL
- D: 2x CEMENTITIOUS WOOD-GRAIN TRIM
- E: CEMENTITIOUS WD-GRAIN VERTICAL SIDING
- F: CORRUGATED METAL SIDING
- G: "LEDGESTONE" STONE VENEER
- H: METAL, "I-BEAM" HEADER or SUN-SHADE w/ METAL ROD/CABLE SUPPORTS
- I: HORIZONTAL METAL BAR RAILING (TEMPERED GLASS WHERE OCCURS)
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- M: SECTIONAL GARAGE DOOR w/ FROSTED GLASS INSERTS
- N: 'DARK-SKY' COMPLIANT LIGHT FIXTURE
- O: ILLUMINATED ADDRESS LIGHT
- P: 2x4 STAINED WOOD RAIN-SCREEN WALL
- Q: COMPOSITION ROOF SHINGLE
- R: STANDING SEAM METAL ROOF

DUPLEX: PROPOSED ELEVATIONS - REAR & LEFT

1434 GROVE WAY
 HAYWARD, CALIFORNIA

SCALE: $\frac{3}{16}$ " = 1'-0"

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DESIGN CONCEPT AERIAL at OAK STREET



DESIGN CONCEPT AERIAL at GROVE WAY & OAK STREET

DESIGN CONCEPT AERIALS at OAK

1434 GROVE WAY
 HAYWARD, CALIFORNIA

N.T.S.

DATE

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A.14



DESIGN CONCEPT PERSPECTIVE: TRIPLEX
VIEW FROM NORTHWEST CORNER



RIGHT ELEVATION

VIEW FROM GROVE WAY

MATERIAL KEY	
ALSO SEE SHEET A.19 FOR COLORS & MATERIALS	
A:	3-COAT STUCCO
B:	CEMENTITIOUS HORIZONTAL LAP SIDING w/ 8' EXPOSURE
C:	CEMENTITIOUS SMOOTH PANEL
D:	2x CEMENTITIOUS WOOD-GRAIN TRIM
E:	CEMENTITIOUS WD-GRAIN VERTICAL SIDING
F:	CORRUGATED METAL SIDING
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L:	WOOD KNEE-BRACE and/or CORBEL
M:	SECTIONAL GARAGE DOOR w/ FROSTED GLASS INSERTS
N:	'DARK-SKY' COMPLIANT LIGHT FIXTURE
O:	ILLUMINATED ADDRESS LIGHT
P:	2x4 STAINED WOOD RAIN-SCREEN WALL
Q:	COMPOSITION ROOF SHINGLE
R:	STANDING SEAM METAL ROOF



FRONT ELEVATION

VIEW FROM FOOTHILL BOULEVARD

TRIPLEX:
PROPOSED
ELEVATIONS -
FRONT & RIGHT

1434 GROVE WAY
HAYWARD, CALIFORNIA

SCALE: $\frac{3}{16}" = 1'-0"$
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DESIGN CONCEPT PERSPECTIVE: TRIPLEX



LEFT ELEVATION

VIEW FROM REAR of LOT



REAR ELEVATION

VIEW FROM AUTOCOURT

MATERIAL KEY

ALSO SEE SHEET A.19 FOR COLORS & MATERIALS

- A: 3-COAT STUCCO
- B: CEMENTITIOUS HORIZONTAL LAP SIDING w/ 8' EXPOSURE
- C: CEMENTITIOUS SMOOTH PANEL
- D: 2x CEMENTITIOUS WOOD-GRAIN TRIM
- E: CEMENTITIOUS WD-GRAIN VERTICAL SIDING
- F: CORRUGATED METAL SIDING
- G: "LEDGESTONE" STONE VENEER
- H: METAL, "I-BEAM" HEADER or SUN-SHADE w/ METAL ROD/CABLE SUPPORTS
- I: HORIZONTAL METAL BAR RAILING (TEMPERED GLASS WHERE OCCURS)
- J: EXPANSION JOINT
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- M: SECTIONAL GARAGE DOOR w/ FROSTED GLASS INSERTS
- N: 'DARK-SKY' COMPLIANT LIGHT FIXTURE
- O: ILLUMINATED ADDRESS LIGHT
- P: 2x4 STAINED WOOD RAIN-SCREEN WALL
- Q: COMPOSITION ROOF SHINGLE
- R: STANDING SEAM METAL ROOF

TRIPLEX:
PROPOSED
ELEVATIONS -
REAR & LEFT

1434 GROVE WAY
HAYWARD, CALIFORNIA

SCALE: $\frac{3}{16}$ " = 1'-0"

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DESIGN CONCEPT AERIAL at GROVE WAY & FOOTHILL



DESIGN CONCEPT AERIAL FROM NORTHWEST CORNER

DESIGN CONCEPT AERIALS

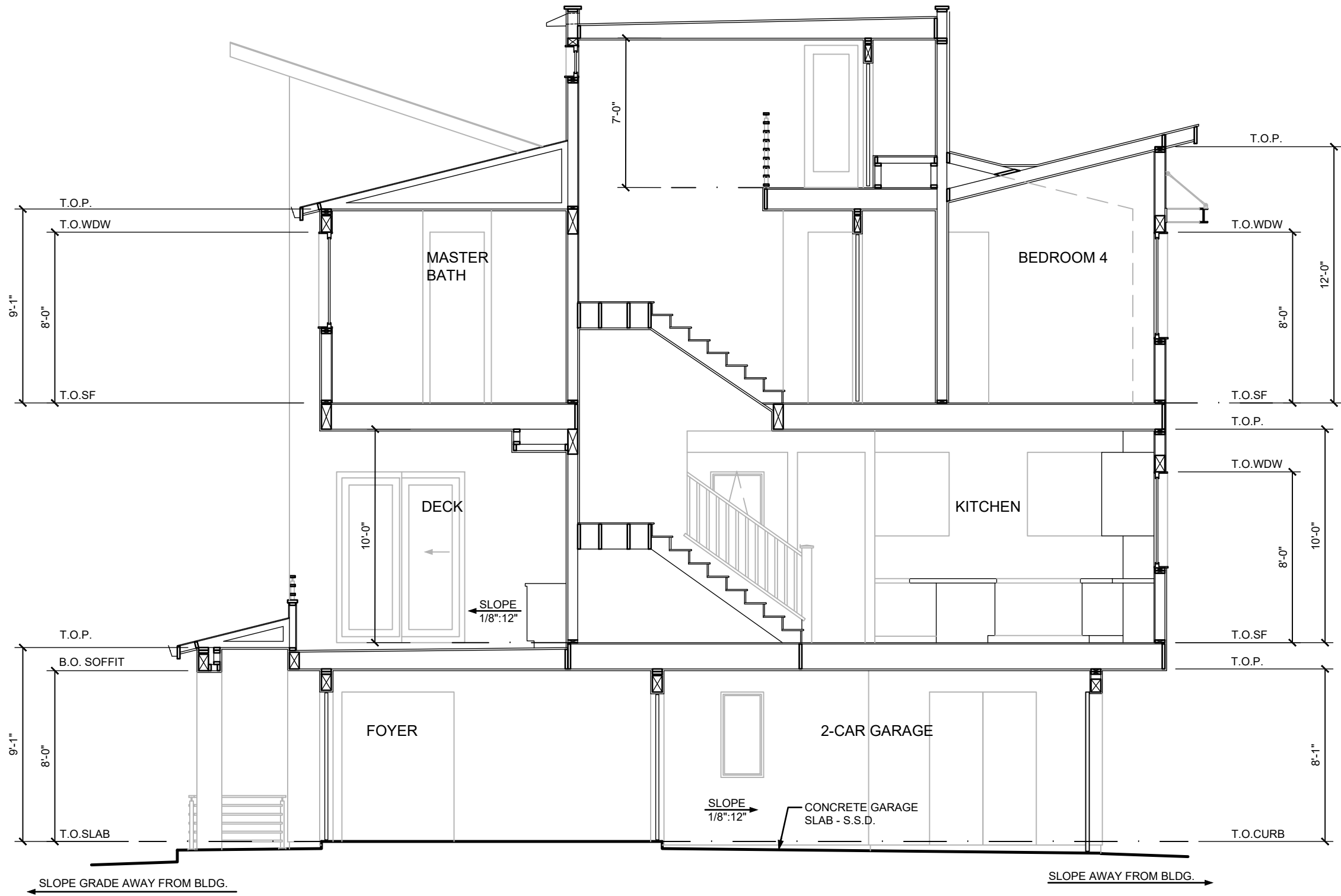
1434 GROVE WAY
 HAYWARD, CALIFORNIA

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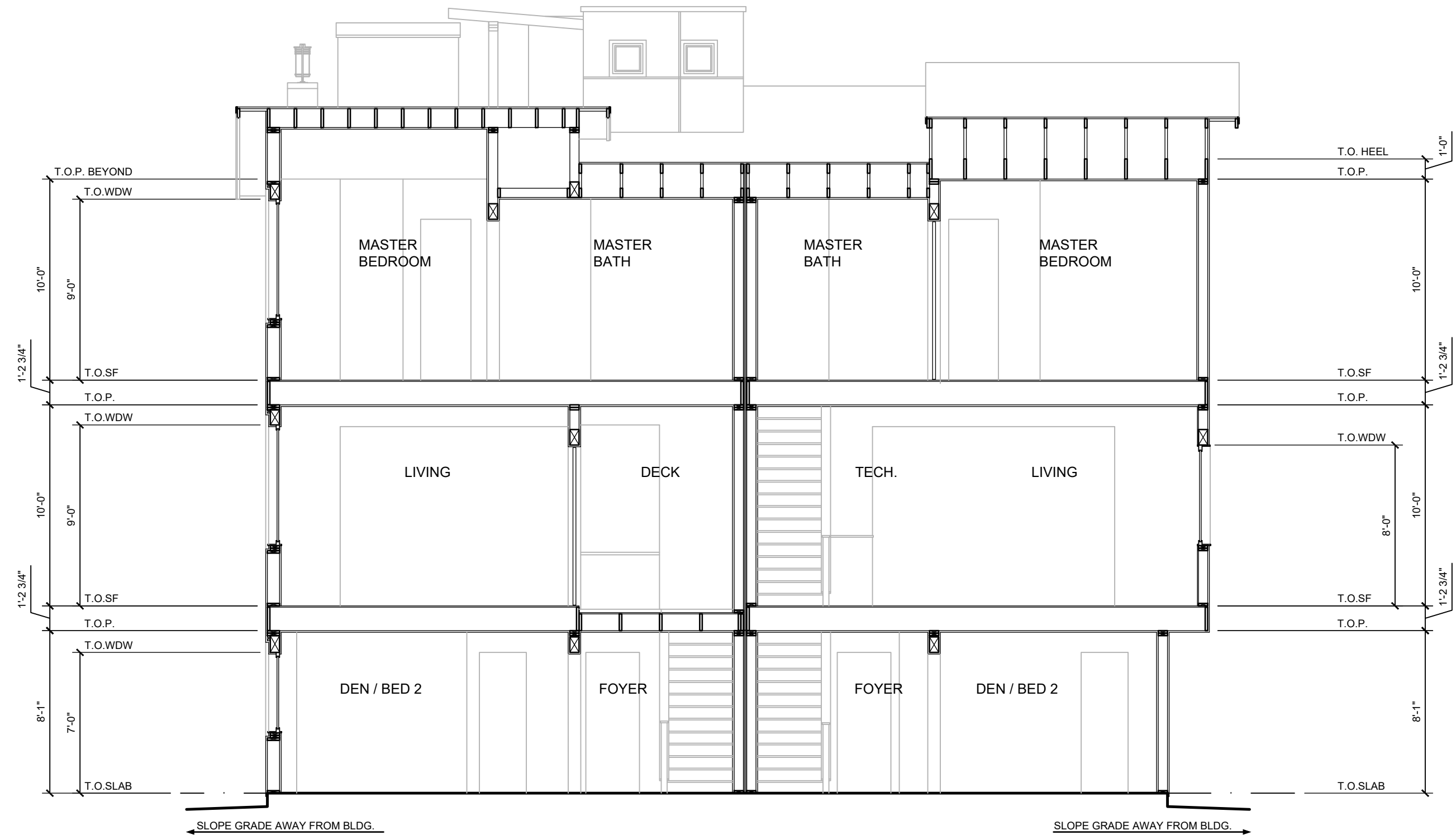
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SECTION "A"



SECTION "B"

BUILDING SECTIONS

1434 GROVE WAY
HAYWARD, CALIFORNIA

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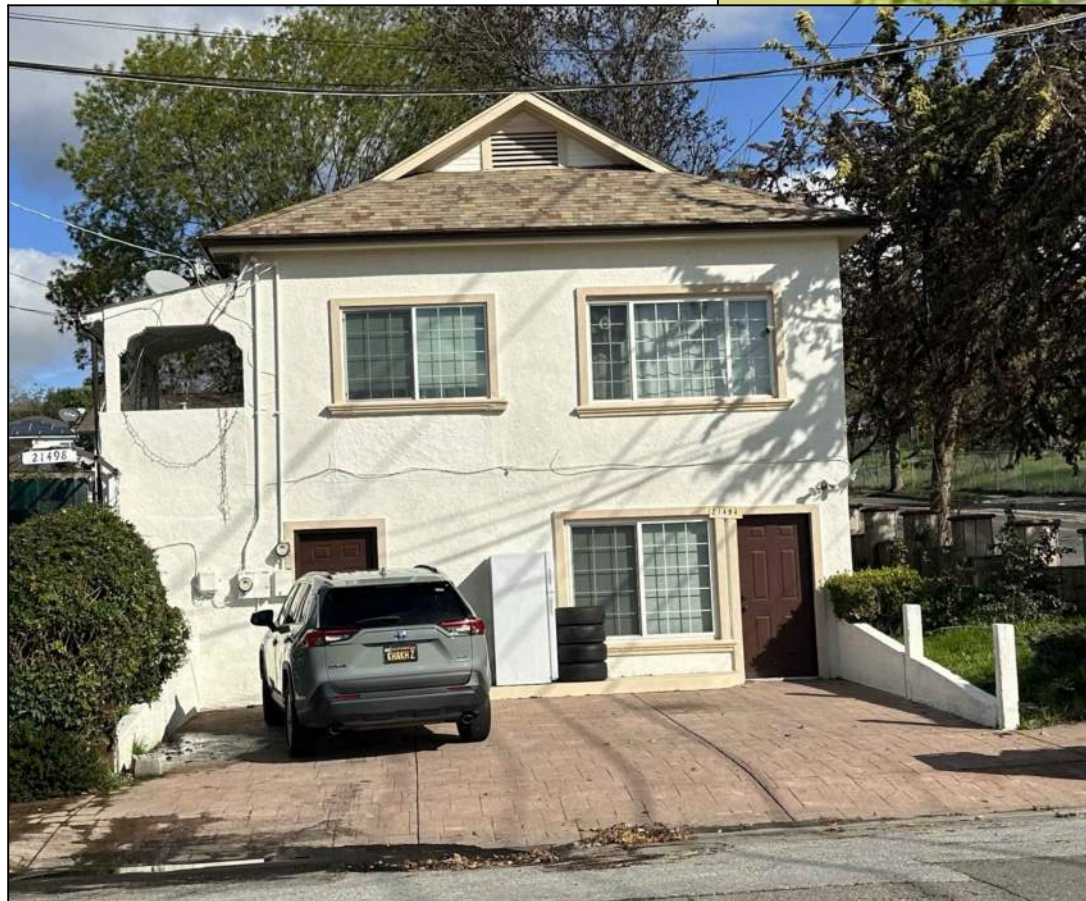
GAS STATION @ FOOTHILL & GROVE



ACROSS THE STREET ON OAK



ACROSS THE STREET ON GROVE



ACROSS THE STREET ON CORNER OF OAK & GROVE



GROVE WAY COLORS & MATERIALS

ALSO SEE MATERIAL KEY & CALLOUTS ON PREVIOUS ELEVATION SHEETS

COLOR KEY	
ALSO SEE ELEVATION SHEETS FOR MATERIALS	
1	"VINTAGEWOOD" CEDAR by NICHHA (or equal)
2	"PERFECT PERIWINKLE" (SW 9065) by SHERWIN-WILLIAMS
3	"ZINC METALLIC" WESTERN RIB METAL PANEL by WESTERN STATES METAL SIDING ROOFING (or EQUAL)
4	"WHITE FLOUR" (SW 7102) by SHERWIN-WILLIAMS
5	"CARRIAGE DOOR" (SW 7594) by SHERWIN-WILLIAMS
6	"ANCHORS AWEIGH" (SW 9179) by SHERWIN-WILLIAMS
7	"SLATE BLUE" WESTERN LOCK STANDING SEAM METAL ROOF by WESTERN STATES METAL SIDING ROOFING (or EQUAL)
8	"ANDANTE" FIELDLEDGE by ELDORADO STONE (or EQUAL)
FRONT DOORS:	
PLAN 1 - "PENNYWISE" (SW 6349) by SHERWIN-WILLIAMS	
PLAN 2 - "PERFECT PERIWINKLE" (SW 9065) by SHERWIN-WILLIAMS	
GARAGE DOORS:	
PLAN 1 - "PERFECT PERIWINKLE" (SW 9065) by SHERWIN-WILLIAMS	
PLAN 2 - "ANCHORS AWEIGH" (SW 9179) by SHERWIN-WILLIAMS	

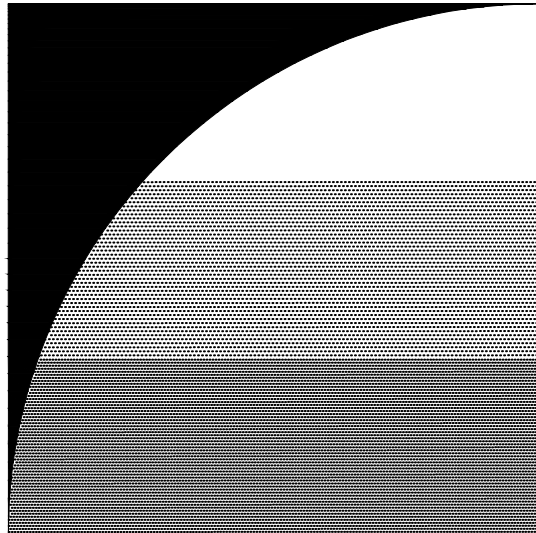
NEIGHBORHOOD CONTEXT

1434 GROVE WAY
HAYWARD, CALIFORNIA

COLORS & MATERIALS

N.T.S.
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Dublin, CA 94568
925-200-2598

A.19



GATES
+ASSOCIATES

LANDSCAPE ARCHITECTURE
LAND PLANNING • URBAN DESIGN

2671 CROW CANYON RD. SAN RAMON, CA 94583
T 925.736.8176 www.dgates.com

GROVE WAY

HAYWARD
CALIFORNIA

ISSUE:	DESCRIPTION:	DATE:
1	1ST CITY SUBMITTAL	07/07/2022
2	2ND CITY SUBMITTAL	03/13/2023
3	3RD CITY SUBMITTAL	05/09/2023



PROJECT NUMBER:	-
DRAWN:	TF
CHECK:	MR
DATE:	06/21/2023
SCALE:	



COVER SHEET

L0.1

GROVE WAY

PLANNED DEVELOPMENT SUBMITTAL

HAYWARD, CALIFORNIA

PROJECT DIRECTORY

CLIENT
MOLINAR HOME DESIGN
7133 DUBLIN BLVD,
DUBLIN, CA 94568
PH: (925) 200-2598
CONTACT: MICHAEL SUCHOCKI

LANDSCAPE ARCHITECT
GATES + ASSOCIATES
1655 N. MAIN STREET, STE 365,
WALNUT CREEK, CA 94596
PH: (925) 736-8176
CONTACT: MELONIE REYNOLDS

CIVIL ENGINEER
STERLING CONSULTANTS
46560 FREMONT BOULEVARD, SUITE 205
FREMONT, CA 94538
PH: (510) 344-8956
CONTACT: DILIP BHATTCHARYYA

LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL WRITTEN DIMENSIONS SUPERSEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF THE BUILDING, WALL, BACK OF CURB, EDGE OF WALK, PROPERTY LINE, OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL ANGLES ARE 45 DEGREE, 90 DEGREE, OR 135 DEGREE UNLESS OTHERWISE NOTED.
- ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH.
- SEE IRRIGATION SCHEMATIC FOR GENERAL SYSTEM REQUIREMENTS AND FOR LOCATION OF IRRIGATION MAINLINE PIPING SLEEVES TO ACCOMMODATE IRRIGATION PIPING, SIZED AS NEEDED, SHALL BE PLACED UNDER AND THROUGH SLABS AND WALLS, PRIOR TO POURING.
- SCORE LINES IN SIDEWALKS SHALL BE SPACED TO EQUAL THE WIDTH OF THE WALKWAY, UNLESS OTHERWISE SHOWN. EXPANSION JOINTS IN SIDEWALKS SHALL BE 30' ON CENTER MAXIMUM AND AS SHOWN ON THE PLANS. EXPANSION JOINTS SHALL BE PLACED AT THE INTERFACE OF WALLS AND BUILDINGS AND AT THE CHANGE OF DIRECTION OF TRAVEL.
- BUILDING LAYOUT AND LOCATION, SIDEWALK, CURB AND GUTTER, GRADING AND DRAINAGE IS BASED ON DRAWINGS PREPARED BY THE ARCHITECT AND THE CIVIL ENGINEER.
- SEE ELECTRICAL ENGINEER'S PLANS AND LIGHTING PLAN FOR ADDITIONAL INFORMATION.
- 6" CONCRETE MOW BAND SHALL BE INSTALLED IN BETWEEN THE SEAT WALL AND THE LAWN AREA, AS WELL AS ALONG THE EDGE OF THE RUBBER SURFACING PLAY AREA.
- HANDRAILS ARE ONLY REQUIRED AT EACH RESIDENCE WHEN THE NUMBER OF RISERS IS 3 OR MORE.

PLANTING NOTES

- ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE LANDSCAPE ARCHITECT.
- ALL TREES ARE TO BE STAKED AS SHOWN ON THE TREE STAKING/GUYING DETAIL.
- PLANT COUNT IS FOR THE CONVENIENCE OF THE CONTRACTOR. IN CASE OF DISCREPANCIES, THE PLAN SHALL GOVERN.
- PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES BUT NOT TO BLOCK WINDOWS NOR IMPEDE ACCESS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS, AND DELETIONS IN THE PLANTING SCHEME AS THEY FEEL NECESSARY WHILE WORK IS IN PROGRESS. SUCH CHANGES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF /WHEN NECESSARY.
- BRANCHING HEIGHT OF TREES SHALL BE A 6"-0" MINIMUM ABOVE FINISH GRADE.
- ALL TREES IN A FORMAL GROUP PLANTING SHALL BE MATCHING IN SIZE AND SHAPE.
- LANDSCAPE CONTRACTOR SHALL HIRE AN ACCREDITED SOILS ANALYSIS FIRM TO TEST SOIL AND ABIDE BY RECOMMENDATIONS CONTAINED WITHIN FOR PROPER PLANT GROWTH.
- ON GRADE PLANTING BACKFILL MIX SHALL CONSIST OF 50% IMPORTED TOPSOIL, 50 % NATIVE SOIL (WITH NO ROCKS LARGER THAN 2" DIAMETER).
- ALL ON-GRADE PLANTING AREAS ARE TO RECEIVE IRON AND NITROGEN STABILIZED REDWOOD SOIL CONDITIONER AT THE RATE OF 6 CUBIC YARDS/1000 SQUARE FEET, EVENLY TILLED 6" DEEP INTO THE SOIL TO FINISH GRADE.
- ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH 3" LAYER OF ORGANIC RECYCLED CHIPPED WOOD MULCH, COLOR DARK BROWN.
- ALL STREET TREES TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY.
- ALL TREES WITHIN 5' OF PAVING AREAS SHALL HAVE DEEP ROOT BARRIERS INSTALLED. DEEP ROOT BARRIER MODEL NO. UB-36.2. (415) 344.1464.
- THE LANDSCAPE CONTRACTOR SHALL AS A PART OF THIS BID PROVIDE FOR A PLANTING ALLOWANCE FOR THE AMOUNT OF \$1,500.00 (ONE THOUSAND FIVE HUNDRED DOLLARS), TO BE USED FOR SUPPLYING AND INSTALLING ADDITIONAL PLANT MATERIAL AS DIRECTED BY THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER IN WRITING. THE UNUSED PORTION OF THE ALLOWANCE SHALL BE RETURNED TO THE OWNER AT THE BEGINNING OF THE MAINTENANCE PERIOD.
- CONTRACTOR SHALL EXCAVATE ALL LIME-TREATED SOILS FROM ALL PLANTING AREAS.
- ADJACENT TO CURBS OR PAVING, CONTRACTOR TO HOLD CENTER OF PLANTINGS ½ THE DISTANCE OF THE ON-CENTER SPAONG.
- THE LANDSCAPE CONTRACTOR IS TO PROVIDE AN AGRICULTURAL SUITABILITIES ANALYSIS AND PERCOLATION TEST VERIFYING 3" PER HOUR DRAIN RATE FOR ON-SITE AND IMPORTED TOPSOIL. RECOMMENDATIONS FOR AMENDMENTS AND DRAINAGE SOLUTIONS CONTAINED IN THIS ANALYSIS, SHALL BE CARRIED OUT BEFORE PLANTING OCCURS IF DRAINAGE IS FOUND TO NOT AT A PROPER RATE.

GENERAL NOTES

- UTILITIES ON SITE SHALL BE SCREENED BY EVERGREEN SHRUBS
- FOR BIO-RETENTION AREA CROSS-SECTION, SEE CIVIL DRAWINGS
- SCHEMATIC CONCEPT PLANS WERE BASE ON CITY OF HAYWARD'S WATER CONSERVATION IN LANDSCAPING REGULATIONS GUIDELINES AND CHECKLIST. FOLLOWING CITY'S APPROVAL OF PD SUBMITTAL DOCUMENTS, THE CONSTRUCTION DOCUMENTS SHALL ALSO FOLLOW CITY OF HAYWARD'S WATER CONSERVATION IN LANDSCAPING REGULATIONS GUIDELINES.

WATER EFFICIENT LANDSCAPE STATEMENT

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET CURRENT WATER EFFICIENCY STANDARDS AND STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AB1881 AS REQUIRED BY LOCAL JURISDICTIONS WHILE ACHIEVING THE GOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF HIGH EFFICIENCY SPRAY IRRIGATION TO THE TURF AND GROUND COVER AREAS AND DRIP IRRIGATION BUBBLERS TO RESTRICTED SHRUB PLANTING AND SHRUB MASS PLANTING AREAS AS APPLICABLE.

IRRIGATION SYSTEMS SHALL BE DESIGNED TO ACCOMMODATE RECYCLED WATER WHERE AVAILABLE EITHER CURRENTLY OR IN THE FUTURE AS DIRECTED BY THE LOCAL WATER PURVEYOR. RECYCLED WATER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH LOCAL AND STATE CODES.

IRRIGATION SYSTEMS FOR LANDSCAPES GREATER THAT 5,000 SF SHALL HAVE A DEDICATED WATER METER FOR IRRIGATION.

A WATER EFFICIENT LANDSCAPE WORKSHEET SHALL BE INCLUDED WITH HYDROZONE INFORMATION TABLE, WATER BUDGET CALCULATIONS AND IRRIGATION OPERATION SCHEDULES.

A STATE OF THE ART ET BASED SELF ADJUSTING IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO AUTOMATICALLY CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPED PER INDIVIDUAL HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE). THIS SHALL INCLUDE RAIN AND FLOW SENSORS AS APPLICABLE FOR A HIGHER LEVEL OF WATER CONSERVATION.

TREE BUBBLERS SHALL BE INCLUDED ON SEPARATE CIRCUITS TO ISOLATE THE IRRIGATION TO THE TREES AND PROVIDE DEEP WATERING TO PROMOTE A DEEPER ROOT STRUCTURE.

SPRAY IRRIGATION SYSTEMS FOR GROUNDCOVER AREAS GREATER THAN 8' WIDE IN ANY DIRECTION SHALL BE DESIGNED WITH COMMERCIAL SERIES SPRAY HEADS WITH HIGH EFFICIENCY NOZZLES THAT INCLUDE INTERNAL CHECK VALVES AND PRESSURE COMPENSATION DEVICES. THE HEADS SHALL BE DESIGNED IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM. THE NOZZLES DELIVER WATER AT MINIMUM 70% EFFICIENCY WITH A LOW PRECIPITATION RATE THAT MATCHES THE INFILTRATION RATE OF THE SOIL.

THE DRIP SYSTEM WILL INCORPORATE PRESSURE COMPENSATING DRIP BUBBLERS WITH ¼" DRIP TUBES TO EACH PLANT WHICH DELIVERS WATER AT 90% EFFICIENCY AT AN APPLICATION RATE THAT MATCHES THE SOIL TYPE.

BAY FRIENDLY BASICS

- ALL SOIL ON SITE SHALL BE PROTECTED WITH A MINIMUM OF 3" OF MULCH AFTER CONSTRUCTION.
- COMPOST SHALL BE SPECIFIED AS THE SOIL AMENDMENT, AT THE RATES INDICATED BY A SOIL ANALYSIS TO BRING THE SOIL ORGANIC MATTER CONTENT TO A MINIMUM OF 3.5% BY DRY WEIGHT OR 1 INCH OF COMPOST. IF THE IMPORTED OR SITE SOIL MEETS THE ORGANIC CONTENT OF 3.5% OR MORE, THEN THE REQUIREMENT IS WAIVED.
- DIVERT 50% OF LANDSCAPE CONSTRUCTION AND DEMOLITION WASTE BY WEIGHT. VERIFY THE LOCAL JURISDICTION'S MINIMUM REQUIREMENT AND REPORTING PROCEDURES FOR CONSTRUCTION AND DEMOLITION (C&D) RECYCLING.
- SPECIES WILL BE SELECTED AND PLANTS SPACED TO ALLOW THEM TO GROW TO THEIR NATURAL SIZE AND SHAPE. PRUNING FOR STRUCTURAL INTEGRITY AND HEALTH OF PLANT IS PERMITTED. IN ADDITION, PLANTS LOCATED IN A ROW OR ADJACENT TO BUILDINGS, SIDEWALKS OR ROADS WILL BE SPACED BETWEEN THEIR MINIMUM AND MAXIMUM MATURE PLANT SPREAD ACCORDING TO A PUBLISHED REFERENCE PLANT BOOK AND STILL FIT INTO THEIR PLANTING AREA WITHOUT SIGNIFICANT OVERHANG. TREES MUST MEET THE SPACING REQUIREMENTS ONLY WHEN ADJACENT TO BUILDINGS, IN A ROW OR OTHER ADJACENT TO OTHER VERTICAL OBSTRUCTIONS. VINES ARE NOT SUBJECT TO SPACING REQUIREMENTS.
- NO INVASIVE PLANT MATERIALS SHALL BE INSTALLED AS DEFINE BY CAL-IPC.
- A MINIMUM OF 75% OF THE TOTAL NUMBER OF PLANTS FOR NON TURF AREAS MUST BE SPECIES THAT REQUIRE NO OR LITTLE SUMMER WATERING ONCE ESTABLISHED.
- A MAXIMUM OF 25% OF THE TOTAL IRRIGATED AREA IS SPECIFIED AS TURF.
- WEATHER-BASED IRRIGATION CONTROLLERS, SOIL MOISTURE BASED CONTROLLERS OR OTHER SELF-ADJUSTING IRRIGATION CONTROLLERS, SHALL BE REQUIRED FOR ALL IRRIGATION SYSTEMS.
- SPRINKLER AND SPRAY HEADS ARE NOT SPECIFIED IN AREAS LESS THAN OR EQUAL TO 8 FEET WIDE TO PREVENT OVERSPRAY AND RUNOFF. ACCEPTABLE ALTERNATIVES INCLUDE DRIP, SUBSURFACE DRIP, BUBBLERS OR NO IRRIGATION. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER BUBBLER.

BAY FRIENDLY NOTES:

EARTHWORK AND SOIL

- CONTRACTOR TO SUBMIT LABORATORY SOIL ANALYSIS RESULTS AND RECOMMENDATIONS FOR COMPOST AND NATURAL FERTILIZERS.
- CONTRACTOR TO REMOVE STORE AND REPLACE TOPSOIL BEFORE GRADING.
- INSTALL FENCING TO PROTECT SOIL FROM COMPACTION. INCLUDING UNDER TREES TO REMAIN AND FOR 50% OF NEW PLANTING AREAS.
- INSTALL PROTECTIVE COVERING TO LIMIT SOIL COMPACTION DURING THE RAINY SEASON.
- ALLEVATE COMPACTION IN SOILS TO A DEPTH OF AT LEAST 8".
- USE ONLY ORGANIC FERTILIZERS OR SOIL AMENDMENTS.
- PROHIBIT THE USE OF SYNTHETIC CHEMICAL PRE-EMERGENT HERBICIDES.
- INSTALL COMPOST BLANKETS, BERMS OR SOCKS FOR EROSIONS CONTROL.

MATERIALS

- INSTALL ONLY LOCAL MULCHES AND COMPOST PRODUCTS.
- DIVERT 50% OF CONSTRUCTION AND DEMOLITION WASTER AND 100% OF EXCAVATED SOIL AND LAND CLEARING DEBRIS.
- SEPARATE LANDSCAPE CONSTRUCTION AND DEMOLITION WASTE STREAMS.
- BLACK MULCH IS PROHIBITED.

PLANTING

- ALL PLANT MATERIALS SHALL BE NEONICOTINOID FREE.

IRRIGATION

- CONTRACTOR TO CONTRACT WITH A 3RD PARTY TO PERFORM AN IRRIGATION AUDIT.

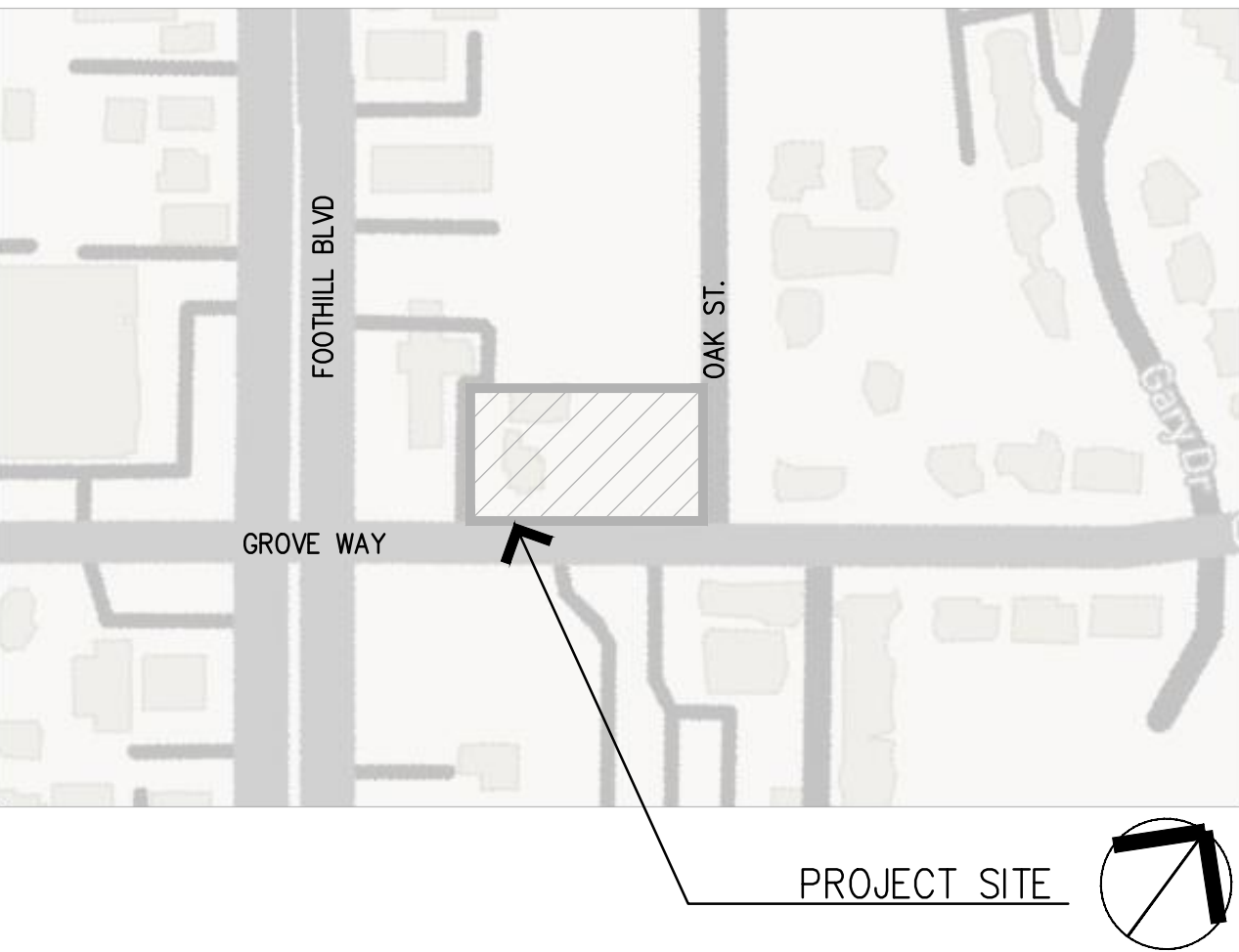
MAINTENANCE

- INCLUDE A BAY FRIENDLY QUALIFIED MAINTENANCE PROFESSIONAL ON THE MAINTENANCE TEAM.
- PLANT TRIMMINGS SHALL NOT BE DISPOSED OF IN THE LANDFILL.
- PLANT MATERIALS SHALL NOT BE HEDGED.
- PROTECT SOIL FROM COMPACTION.
- USE QUALITY ORGANIC COMPOST TO SUPPORT PLANT AND SOIL HEALTH.
- USE ONLY ORGANIC FERTILIZERS.
- REAPPLY MULCH REGULARLY AS NEEDED.
- CHECK IRRIGATION EQUIPMENT REGULARLY AND IMMEDIATELY REPLACE BROKEN EQUIPMENT.

SHEET LIST TABLE

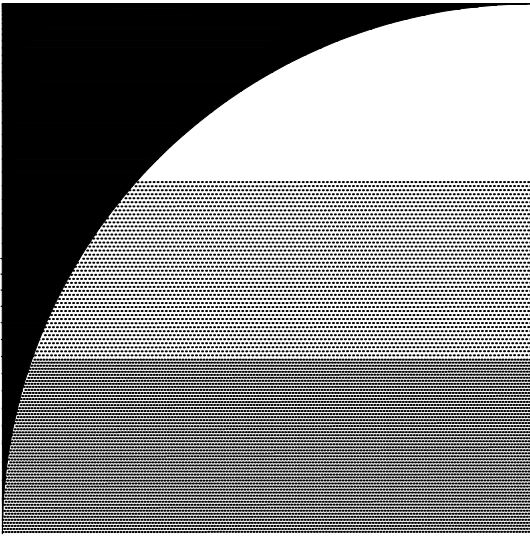
SHEET NUMBER	SHEET TITLE
L0.1	COVER SHEET
L0.2	TREE MITIGATION PLAN
L1.1	CONCEPTUAL PLAN
L1.2	FENCING PLAN
L2.1	CONCEPTUAL PLANTING PLAN
L2.2	PLANT PALETTE
L3.1	HYDROZONE PLAN
L3.1	IRRIGATION NOTES & CALCULATIONS
L4.1	CONCEPTUAL LANDSCAPE DETAILS
L4.2	CONCEPTUAL LANDSCAPE DETAILS

CONTEXT MAP



SIGNATURE
6/21/23

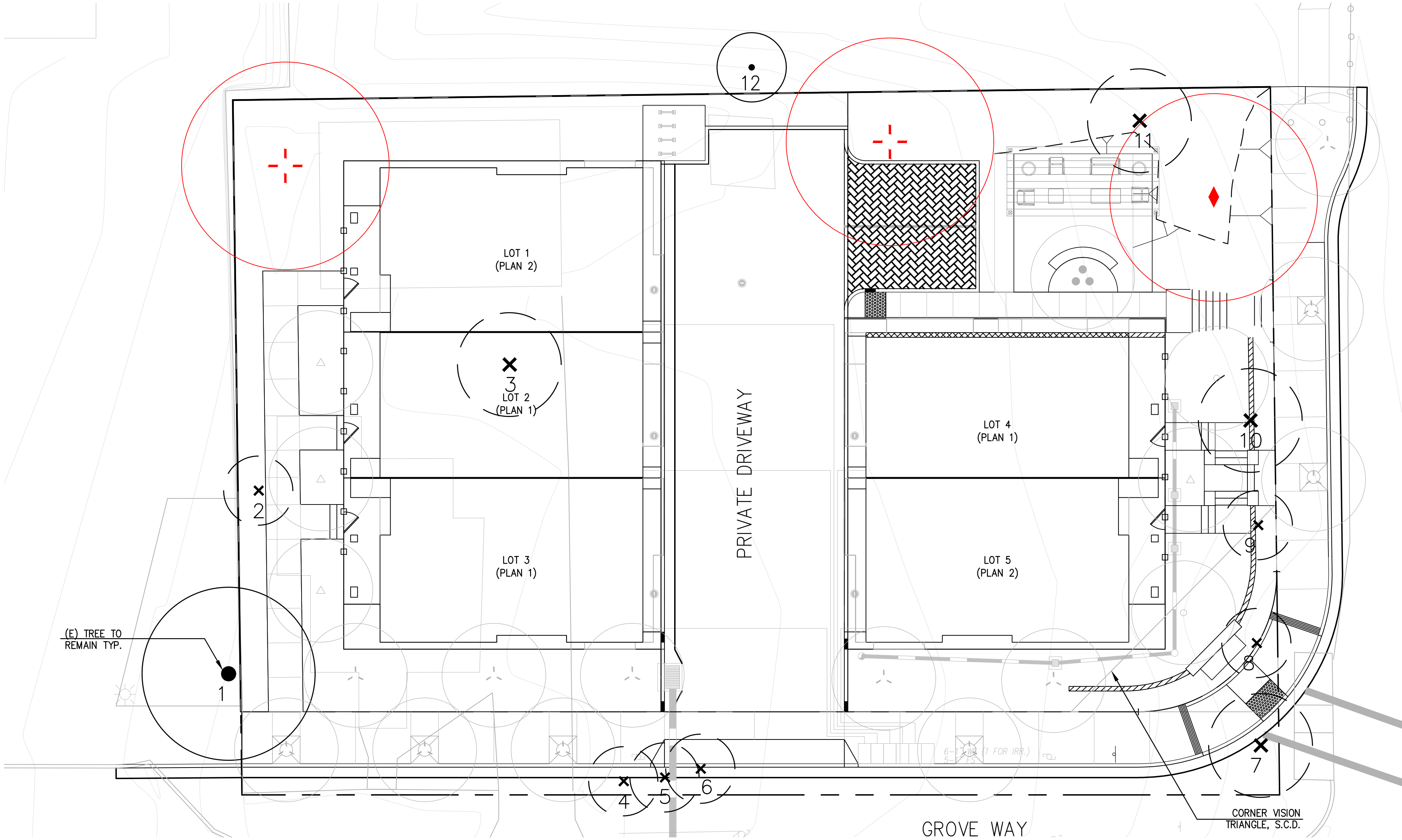
I HAVE COMPLIED WITH THE CRITERIA OF CITY OF HAYWARD BAY FRIENDLY WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLANS.



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GROVE WAY

HAYWARD
CALIFORNIA



SEE EXISTING TREE INVENTORY LIST AND TREE MITIGATION CHARTS L0.3

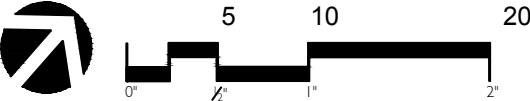
LEGEND

- TREES TO BE REMOVED
- TREES TO BE PRESERVED IN PLACE
- MITIGATION TREE

ISSUE:	DESCRIPTION:	DATE:
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SCALE: 1" = 10'-0"

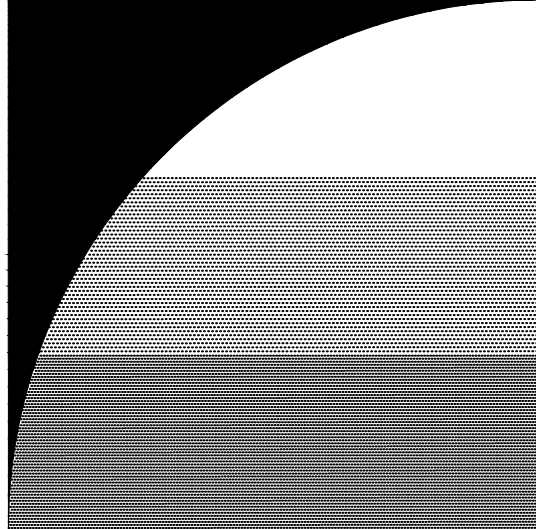


TREE MITIGATION PLAN

L0.2

SIGNATURE

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SCALE:	



TREE MITIGATION
CALCULATIONS

L0.3

EXISTING STREET TREE INVENTORY LIST

TREE #	BOTANICAL NAME	COMMON NAME	TRUNK CALIPER ø	PROTECTED TREE	IMPACTS	VALUE
1	CEDRUS DEODORA	DEODOR CEDER	18" ø	YES	PRESERVE, OFF-SITE	\$8,700
2	SYAGRUS ROMANZOFFIANUM	QUEEN PALM	12" ø	YES	REMOVE, WITHIN DEVELOPMENT	\$1,600
3	FRAXINUS SPP.	ASH	6",6" ø	YES	REMOVE, WITHIN DEVELOPMENT	\$1,500
4	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	18" ø	YES	REMOVE, WITHIN DEVELOPMENT	\$100
5	FRAXINUS SPP.	ASH	8",7",6" ø	YES	REMOVE, WITHIN DEVELOPMENT	\$2,700
6	SEQUOIA SEMPERVIRENS	COAST REDWOOD	5" ø	YES	REMOVE, WITHIN DEVELOPMENT	\$1,100
7	SEQUOIA SEMPERVIRENS	COAST REDWOOD	12" ø	YES	REMOVE, WITHIN DEVELOPMENT	\$2,300
8	SEQUOIA SEMPERVIRENS	COAST REDWOOD	5" ø	YES	REMOVE, WITHIN DEVELOPMENT	\$1,500
9	SEQUOIA SEMPERVIRENS	COAST REDWOOD	4" ø	YES	REMOVE, WITHIN DEVELOPMENT	\$1,200
10	SEQUOIA SEMPERVIRENS	COAST REDWOOD	8" ø	YES	REMOVE, WITHIN DEVELOPMENT	\$2,300
11	JUGLANS VAR.	WALNUT	18" ø	YES	REMOVE, WITHIN DEVELOPMENT	\$950
12	SCHINUS MOLLE	CALIFORNIA PEPPER TREE	10" ø	YES	PRESERVE, OFF-SITE	\$950
					TOTAL VALUE FOR PRESERVATION BOND	\$9,650
					TOTAL VALUE FOR MITIGATION	\$15,250

TREE MITIGATION SUMMARY CHART

REQUIRED TREES	REQUIRED TREE QUANTITY/SIZE/INSTALLED UNIT COST	PROPOSED TREE QUANTITY/SIZE/INSTALLED UNIT COST	UNIT COST DIFFERENT (PROPOSED SIZE – REQUIRED SIZE)	MITIGATION VALUE
STREET TREES	7/24"–BOX/\$350	7/36"–BOX/\$800	\$450	\$3,150
PARKING LOT TREES	1/15–GAL/\$175	1/36"–BOX/\$800	\$625	\$625
SCREENING TREES	2/24"–BOX/\$350	2/36"–BOX/\$800	\$450	\$900
			TOTAL	\$4,675
			MITIGATION GOAL	\$15,250
			BALANCE	\$10,575

PERMITTED MITIGATION

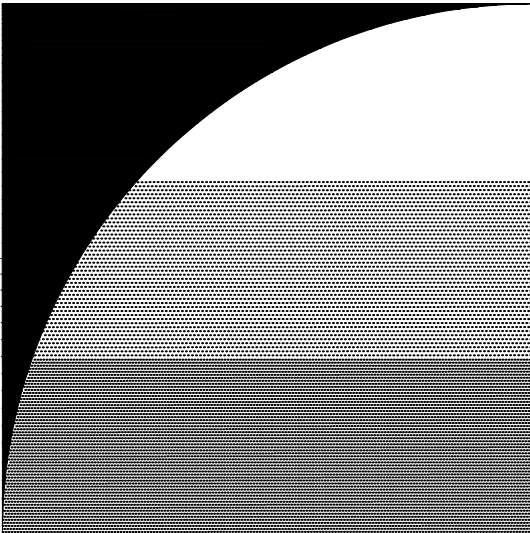
STANDARD MATERIAL/ INSTALLED UNIT COST (SF)	PROPOSED MATERIAL/ INSTALLED UNIT COST (SF)	UNIT COST DIFFERENCE	TOTAL SQUARE FOOTAGE (SF)	MITIGATION VALUE
AC PAVING FOR PARKING LOT/\$5	PERMEABLE PAVERS/\$35	\$30	355	\$10,650
			TOTAL	\$10,650

TOTAL MITIGATION

TREE MITIGATION	\$4,675
PERMITTED MITIGATION	\$10,650
TOTAL VALUE FOR MITIGATION	\$15,325
MITIGATION GOAL	\$15,250

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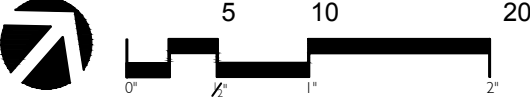
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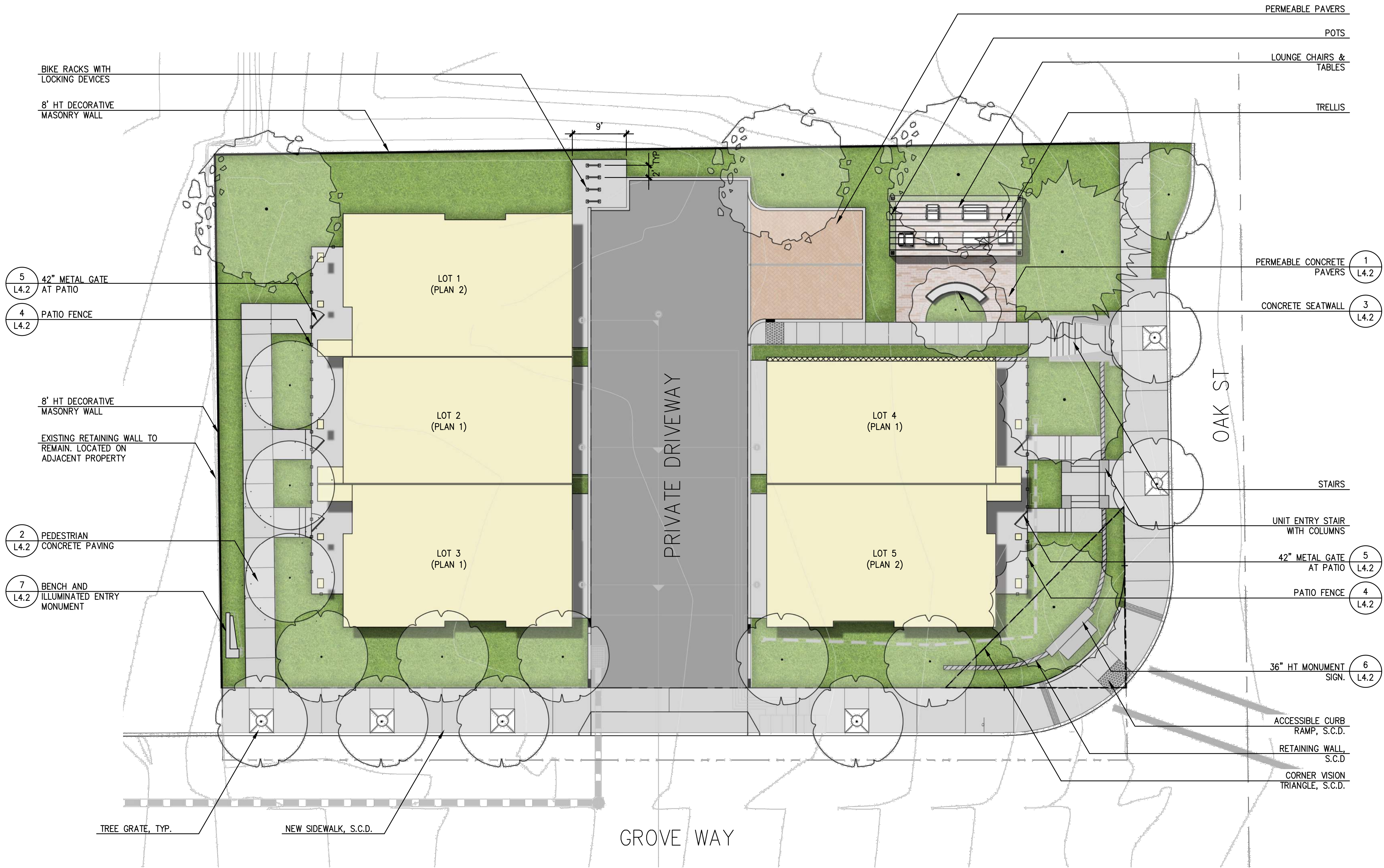


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CONCEPTUAL
LANDSCAPE PLAN

L1.1



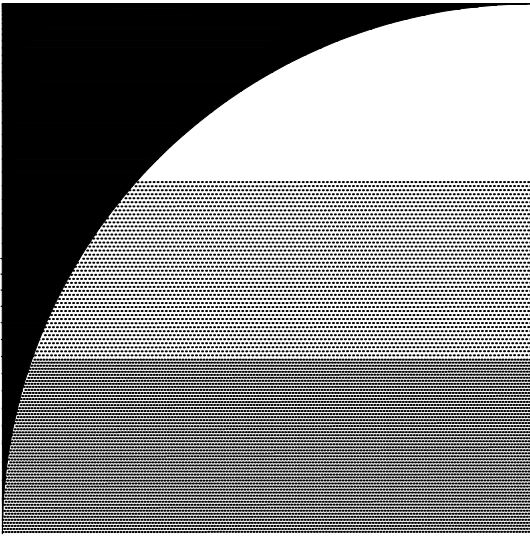
TREE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE
ACER BUERGERANUM	TRIDENT MAPLE	36" BOX
ARBUTUS 'MARINA' MULTI-TRUNK	MARINA STRAWBERRY TREE	24" BOX
CERCIS CANADENSIS	EASTERN REDBUD	24" BOX
PRUNUS Cerasifera 'KRAUTER VESUVIUS'	KRAUTER VESUVIUS PURPLE LEAF PLUM	24" BOX
QUERCUS agrifolia	COAST LIVE OAK	36" BOX
QUERCUS virginiana	SOUTHERN LIVE OAK	36" BOX

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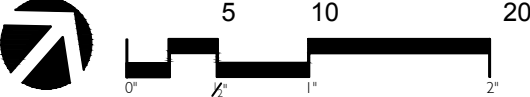
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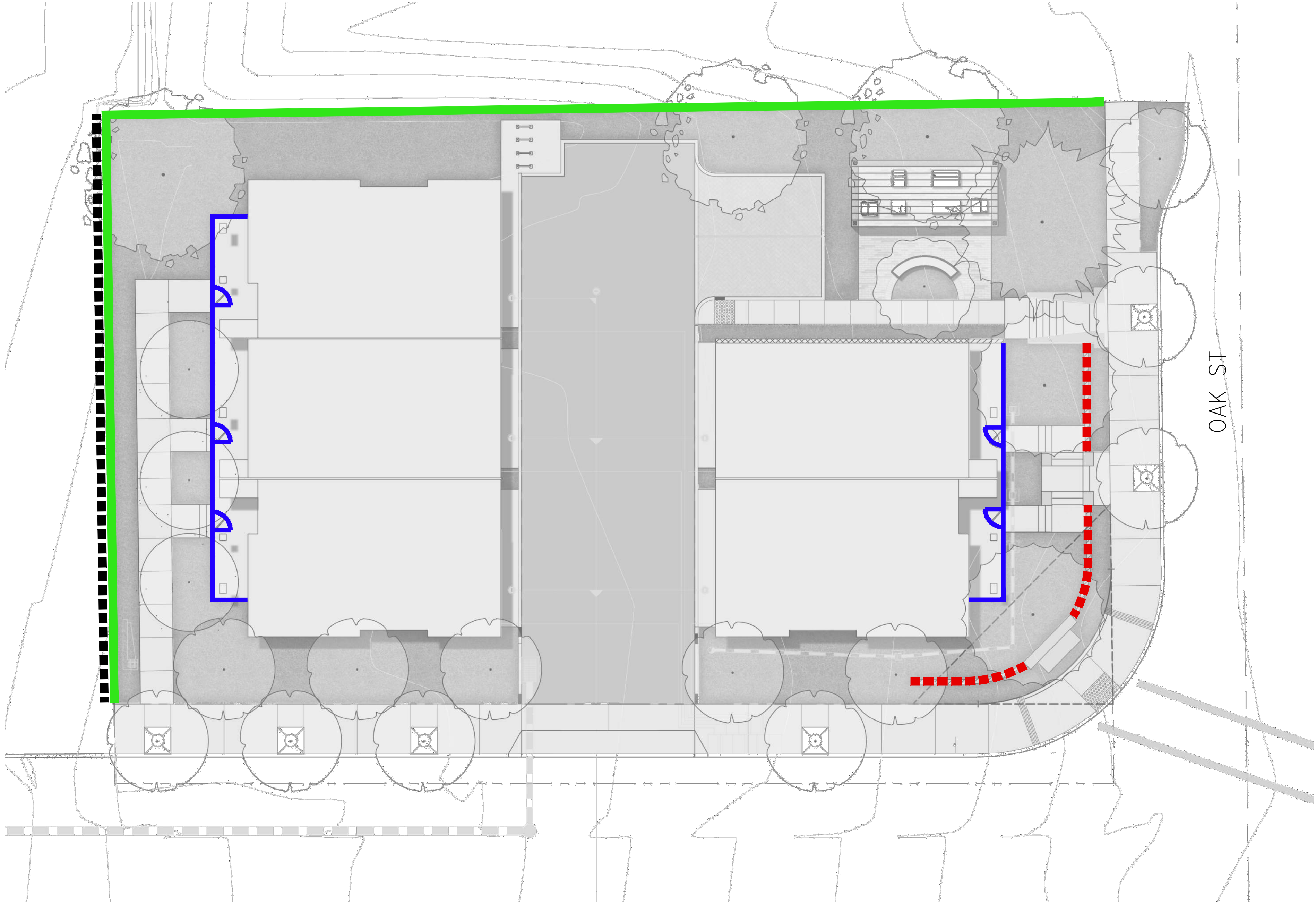


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FENCING & WALL PLAN

L1.2



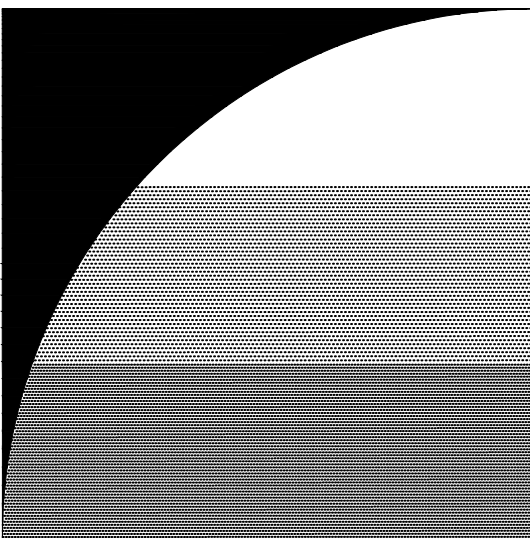
FENCE, WALL & GATE LEGEND

- 42" HT PATIO FENCE & GATES (4.5 L4.2)
- 8' HT DECORATIVE MASONRY WALL
- RETAINING WALL, SEE CIVIL DRAWINGS
- EXISTING RETAINING WALL TO REMAIN. (LOCATED ON ADJACENT PROPERTY)



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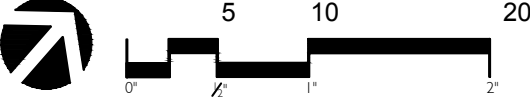
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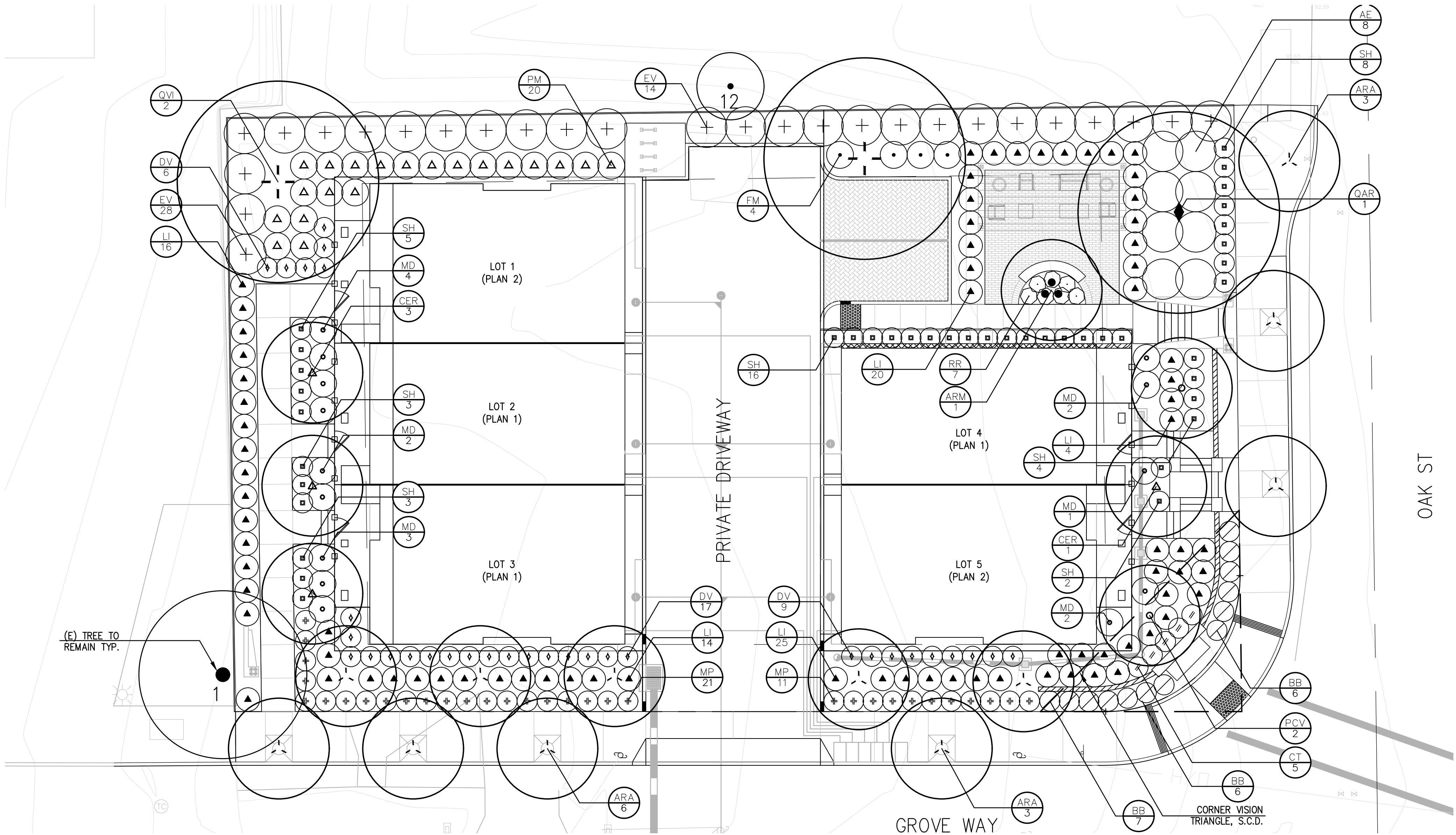


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CONCEPTUAL PLANTING
PLAN

L2.1



PLANT SCHEDULE

* TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING	MATURE SIZE
ARA	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	36" BOX	M (WUCOLS IV)	AS SHOWN	15'W X 30'H
ARB	ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE MULTI-TRUNK	24" BOX	L (WUCOLS IV)	AS SHOWN	15'W X 20'H
CER	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	24" BOX	M (WUCOLS IV)	AS SHOWN	15'W X 25'H
PCV	PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	KRAUTER VESUVIUS PURPLE-LEAF PLUM	15 GAL	L (WUCOLS IV)	AS SHOWN	15'W X 20'H
QAR	QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX	L (WUCOLS IV)	AS SHOWN	30'W X 40'H
QVI	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	36" BOX	L (WUCOLS IV)	AS SHOWN	30'W X 40'H
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING	MATURE SIZE
AE	ARCTOSTAPHYLOS HOOKERI 'MONTEREY CARPET'	MONTEREY CARPET MANZANITA	5 GAL	L (WUCOLS IV)	72" O.C.	72"W X 12"H
BB	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	5 GAL	L (WUCOLS IV)	36" O.C.	36"W X 36"H
CT	CHONDROPETALUM TECTORUM	CAPE RUSH	5 GAL	L (WUCOLS IV)	36" O.C.	36"W X 36"H
DV	DIETES VEGETA 'VARIEGATA'	VARIEGATED AFRICAN IRIS	5 GAL	L (WUCOLS IV)	36" O.C.	36"W X 48"H
EV	EUONYMUS JAPONICUS 'AUROVARIEGATUS'	GOLD SPOT EUONYMUS	5 GAL	M (WUCOLS IV)	60" O.C.	60"W X 96"H
FM	FESTUCA MAIREI	ATLAS FESCUE	5 GAL	L (WUCOLS IV)	24" O.C.	24"W X 24"H
LI	LOMANDRA LONGIFOLIA 'BREEZE'	BREEZE™ MAT RUSH	5 GAL	L (WUCOLS IV)	42" O.C.	42"W X 42"H
MP	MUHLENBERGIA CAPILLARIS 'PINK CLOUD'	PINK CLOUD PINK MUHLY GRASS	5 GAL	L (WUCOLS IV)	36" O.C.	36"W X 36"H
MD	MYRTUS COMMUNIS 'COMPACTA'	DWARF COMMON MYRTLE	5 GAL	L (WUCOLS IV)	42" O.C.	42"W X 42"H
PM	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	M (WUCOLS IV)	48" O.C.	48"W X 48"H
RR	ROSA X 'MEIGALPIO'	RED DRIFT® GROUND COVER ROSE	5 GAL	M (WUCOLS IV)	30" O.C.	30"W X 30"H
SH	SALVIA MICROPHYLLA 'HOT LIPS'	HOT LIPS GRAHAM SAGE	5 GAL	L (WUCOLS IV)	36" O.C.	36"W X 36"H

* ALL TREES WITHIN VISIONS TRIANGLES SHALL BE LIMBED UP TO 8'
HT PER CITY OF HAYWARD TRAFFIC CODE ARTICLE 9.02

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TREES



ACER RUBRUM 'ARMSTRONG'
ARMSTRONG MAPLE



ARBUTUS 'MARINA' MULTI-TRUNK
MARINA STRAWBERRY TREE



CERCIS CANADENSIS
EASTERN REDBUD



PRUNUS CERASIFERA 'KRAUTER VESUVIUS'
KRAUTER VESUVIUS PURPLE LEAF PLUM



QUERCUS AGRIFOLIA
COAST LIVE OAK



QUERCUS VIRGINIANA
SOUTHERN LIVE OAK

SHRUBS



ARBUTUS UNEDO 'OKTOBERFEST'
STRAWBERRY TREE



ARCTOSTAPHYLOS 'EMERALD CARPET'
CARPET MANZANITA



BOUTELOUA GRACILIS 'BLOND AMBITION'
BLUE GRAMA GRASS



CHONDROPETALUM TECTORUM
CAPE RUSH



DIETES VEGETA 'VARIEGATA'
VARIEGATED AFRICAN IRIS



EUONYMUS JAPONICUS 'AUREO VARIEGATA'
GOLD SPOT EUONYMUS



FESTUCA MAIREI
ATLAS FESCUE



JUNCUS PATENS 'ELK BLUE'
SPREADING RUSH



LOMANDRA LONGIFOLIA 'BREEZE'
DWARF MAT RUSH



MUHLENBERGIA DUBIA
PINE MUHLY



MYRTUS COMMUNIS 'COMPACTA'
DWARF MYRTLE



SALVIA MICROPHYLLA 'HOT LIPS'
BABY SAGE

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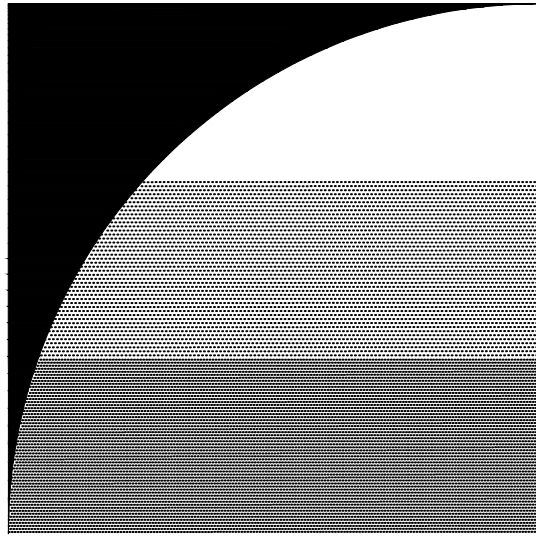


PLANT PALETTE

L2.2


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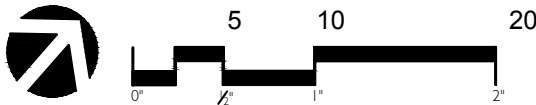
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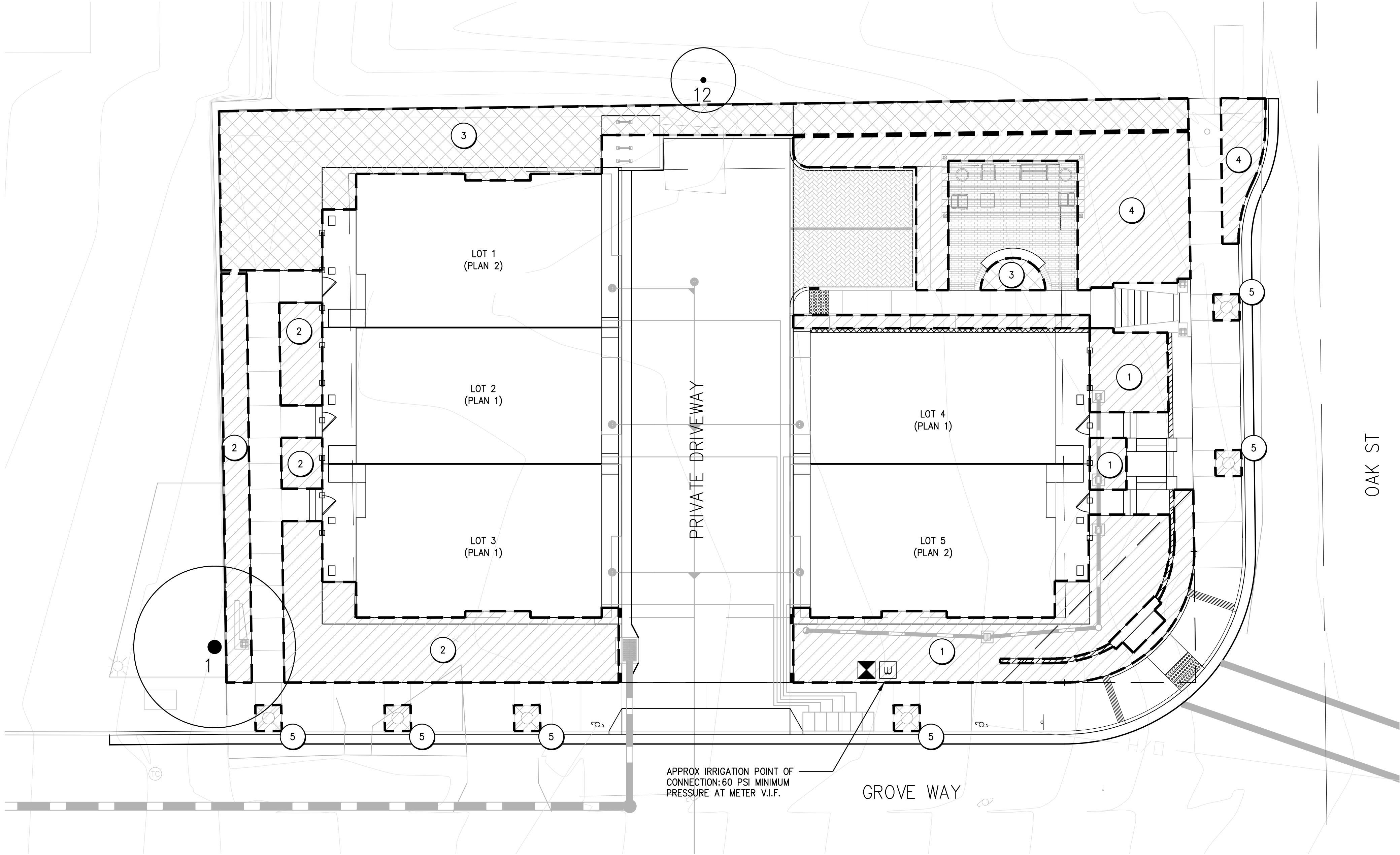


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HYDROZONE PLAN

L3.1



LEGEND

- 1" WATER METER
- 1" BACKFLOW PREVENT
- HYDROZONE NUMBER

HYDROZONE TABLE

LOW WATER USE PLANTS	3,081 SF	70%
MODERATE WATER USE PLANTS	1,344 SF	30%
TOTAL LANDSCAPE AREA	4425 SF	

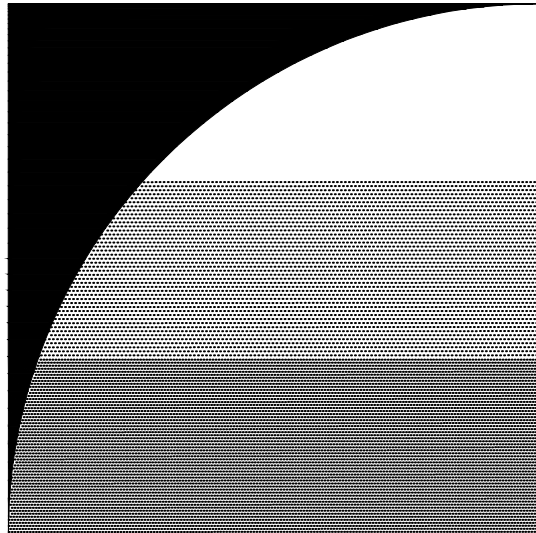
IRRIGATION NOTE

ALL IRRIGATION ALONG THE OAK STREET PUBLIC RIGHT OF WAY SHALL BE INSTALLED PER ALAMEDA COUNTY STANDARDS.

ALL IRRIGATION ALONG THE GROVE WAY PUBLIC RIGHT OF WAY SHALL BE INSTALLED PER CITY OF HAYWARD STANDARDS.

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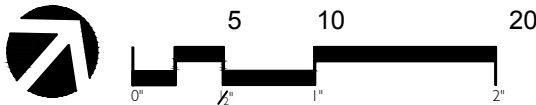
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IRRIGATION NOTES &
CALCULATIONS

L3.1

WATER EFFICIENT LANDSCAPE WORKSHEET

WATER TYPE	POTABLE
SITE ETO=	44.2

Hayward

Grove Way

REGULAR LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	SHRUBS	LOW	0.3	BUBBLER	0.81	0.37	1,115	413	11,317	0.035	15.13	25%
2	SHRUBS	LOW	0.3	BUBBLER	0.81	0.37	1,056	391	10,718	0.033	14.33	24%
3	SHRUBS	MOD	0.5	BUBBLER	0.81	0.62	1,344	830	22,735	0.070	30.39	30%
4	SHRUBS	LOW	0.3	BUBBLER	0.81	0.37	810	300	8,221	0.025	10.99	18%
5	TREES	LOW	0.3	BUBBLER	0.81	0.37	100	37	1,015	0.003	1.36	2%
TOTALS							4,425	1,971	54,006	0.17	72.20	100%

SPECIAL LANDSCAPE AREAS											
HYDROZONE #	HYDROZONE NAME		1		0						0%
TOTALS					0						0%

MAWA	GALLONS/YR	54,568
	ACRE FEET/YR	0.17
	HCF/YR	72.95

ETWU	GALLONS/YR	54,006
	ACRE FEET/YR	0.17
	HCF/YR	72.20

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
36.1%	0.36	YES

ETAF Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	1.971
TOTAL AREA	4,425
AVG. ETAF	44.54%

MAWA FORMULA
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR
MAWA = (ETo)(0.62)[(LA x 0.45) + (0.45 x SLA)]

ETo = REFERENCE EVAPOTRANSPIRATION
0.45= ET ADJUSTMENT FACTOR
LA=LANDSCAPED AREA (SQUARE FEET)
0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

ETWU FORMULA
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR
ETWU= ((ETO)(.62)(ETAF x LA))

ETo = REFERENCE EVAPOTRANSPIRATION
PF = PLANT FACTOR FOR HYDROZONES
HA = HYDROZONE AREA (SQ.FT)
0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

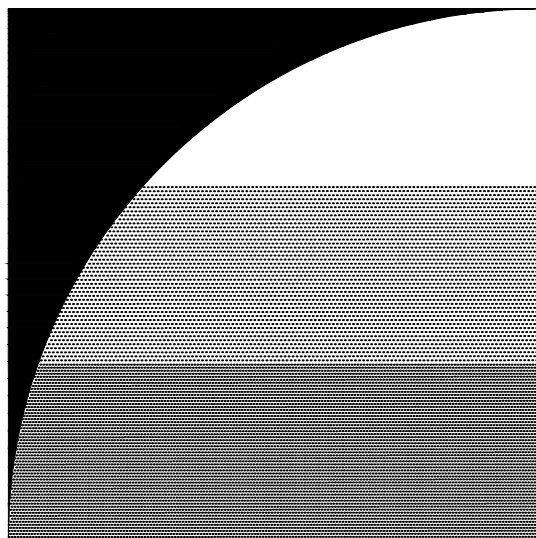
IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP
IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS WHERE POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR IS REQUIRED TO INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES WHICH MAY NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IN THE EVENT OF FIELD DIFFERENCES, THE CONTRACTOR IS REQUIRED TO PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATION. THE CONTRACTOR IS ALSO REQUIRED TO NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH ALL APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING, STRUCTURE, ETC., BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REQUIRED REVISIONS.
- THE CONTRACTOR SHALL EXERCISE CARE IN LOCATING PIPING AS TO NOT CONFLICT WITH OTHER UTILITIES. DO NOT INSTALL IRRIGATION PIPING PARALLEL TO AND DIRECTLY OVER OTHER UTILITIES.
- ELECTRICAL CONTRACTOR TO SUPPLY 120 VOLT A.C. (2.5 AMP) SERVICE TO CONTROLLER LOCATION. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL STUB-OUT TO CONTROLLER.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLERS TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS AND SLOPES, SUN, SHADE, AND WIND EXPOSURES.
- AT THE END OF THE REQUIRED MAINTENANCE PERIOD OF THE CONTRACTOR, THE OWNER SHALL PROVIDE REGULAR MAINTENANCE OF THE IRRIGATION SYSTEM TO ENSURE THE EFFICIENT USE OF WATER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT AND CONTROL SYSTEM.
- CONTRACTOR SHALL PROGRAM THE IRRIGATION CONTROLLER TO PROVIDE IRRIGATION TO ALL PLANTING WITHIN THE ALLOWED WATERING WINDOW OF TIME AS REQUIRED. THE CONTRACTOR SHALL CREATE CONTROLLER PROGRAMING THAT WILL NOT EXCEED THE MAXIMUM GALLONS PER MINUTE FLOW RATE STATED ON THE DRAWINGS, AND NOT EXCEED THE CAPACITY OF ANY MAIN LINE PIPING.
- IRRIGATION CONTROL WIRES SHALL BE TWO-WIRE COPPER DECODER CABLES WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND, SIZE #14-1. SPLICE SHALL BE MADE WITH 3M-DBR/Y-6 SEAL PACKS.
- SPLICING OF 24 VOLT WIRES IS NOT PERMITTED EXCEPT IN VALVE BOXES. SEAL WIRE SPLICES WITH 3M-DBR/Y-6 SPLICE SEALING DEVICES OF SIZE COMPATIBLE WITH WIRE SIZE. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. TAPING WIRES IS NOT REQUIRED INSIDE SLEEVES.
- PLASTIC VALVE BOXES ARE TO BE GREEN IN COLOR WITH BOLT DOWN, NON-HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. MANUFACTURER SHALL BE CARSON INDUSTRIES.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, LAWN, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, LAWN, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF RECTANGULAR VALVE BOXES SHALL BE PARALLEL TO WALK, CURB, ETC.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS WHERE POSSIBLE (NOT IN LAWN AREA).
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. THIS SHALL BE PROVEN DURING COVERAGE TEST AT SUBSTANTIAL COMPLETION INSPECTION AND IRRIGATION AUDIT AS REQUIRED BY CITY LANDSCAPE ORDINANCE.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE NOTED ON THE DRAWINGS. INSTALL SPRAY HEADS FOR LAWN AREAS 1" FROM EDGE OF TURF AREA. INSTALL SPRAY HEADS FOR BIO RETENTION AREAS 6" FROM EDGE OF LANDSCAPE AREA. INSTALL SPRAY HEADS FOR SHRUBS AND GROUNDCOVER AREAS 6" FROM EDGE OF PLANTING AREAS UNLESS LANDSCAPE IS ADJACENT TO NON PERVIOUS PAVING THAT DOES NOT DRAIN ENTIRELY BACK TO THE LANDSCAPE AREAS IN THESE AREAS INSTALL SPRAY HEADS 24" FROM EDGE OF PAVING PER LANDSCAPE ORDINANCE REQUIREMENTS. (DOES NOT APPLY TO TURF AND BIO RETENTION AREAS).
- LOCATE BUBBLERS ON UP-HILL SIDE OF PLANT OR TREE.
- INSTALL A VALCON 5000 SERIES SPRING LOADED CHECK VALVE BELOW THOSE SPRINKLERS WHERE LOW HEAD DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. TRENCHES ADJACENT TO TREE SHOULD BE CLOSED WITHIN TWENTY-FOUR (24) HOURS; AND WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE SHALL BE KEPT SHADED WITH BURLAP OR CANVAS.
- IRRIGATION CONTRACTOR TO NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF EXISTING BACKFLOW PREVENTION DEVICE. REPAIR OR REPLACE AS TEST RESULTS INDICATE.
- PRESSURE TEST PROCEDURE. THE CONTRACTOR SHALL:
 - NOTIFY ARCHITECT AT LEAST THREE (3) DAY IN ADVANCE OF TESTING.
 - PERFORM TESTING AT HIS OWN EXPENSE.
 - CENTER LOAD PIPING WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING OR SLIPPING UNDER PRESSURE. NO FITTING SHALL BE COVERED.
 - APPLY THE FOLLOWING TESTS AFTER WELD PLASTIC PIPE JOINTS HAVE CURED AT LEAST 24 HOURS.
 - TEST LIVE (CONSTANT PRESSURE) AND QUICK COUPLER LINE HYDROSTATICALLY AT 125 PSI. MINIMUM. LINES WILL BE APPROVED IF TEST PRESSURE IS MAINTAINED FOR SIX (6) HOURS. THE LINE WILL BE APPROVED OR NOT APPROVED AS SUCH RESULTS MAY INDICATE. THE CONTRACTOR SHALL MAKE TESTS AND REPAIRS AS NECESSARY UNTIL TEST CONDITIONS ARE MET.
 - TEST RCV CONTROLLED LATERAL LINES WITH WATER AT LINE PRESSURE AND VISUALLY INSPECT FOR LEAKS. RETEST AFTER CORRECTING DEFECTS.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: 45 GPM AT 65 PSI STATIC PRESSURE AT IRRIGATION POINT OF CONNECTION. FIELD VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. IF ACTUAL WATER PRESSURE DIFFERS FROM THE STATED PRESSURE CONTACT ARCHITECT FOR DIRECTION AND POSSIBLE REVISION.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL T+2, CHRISTY'S ULTRA SEAL, OR APPROVED EQUAL.

SIGNATURE 6/21/23

I HAVE COMPLIED WITH THE CRITERIA OF CITY OF HAYWARD BAY FRIENDLY WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLANS.



GATES +ASSOCIATES

LANDSCAPE ARCHITECTURE
LAND PLANNING • URBAN DESIGN

2671 CROW CANYON RD. SAN RAMON, CA 94583
T 925.736.8176 www.dgates.com

GROVE WAY

HAYWARD
CALIFORNIA

ISSUE:	DESCRIPTION:	DATE:
1	1ST CITY SUBMITTAL	07/07/2022
2	2ND CITY SUBMITTAL	03/13/2023
3	3RD CITY SUBMITTAL	05/09/2023

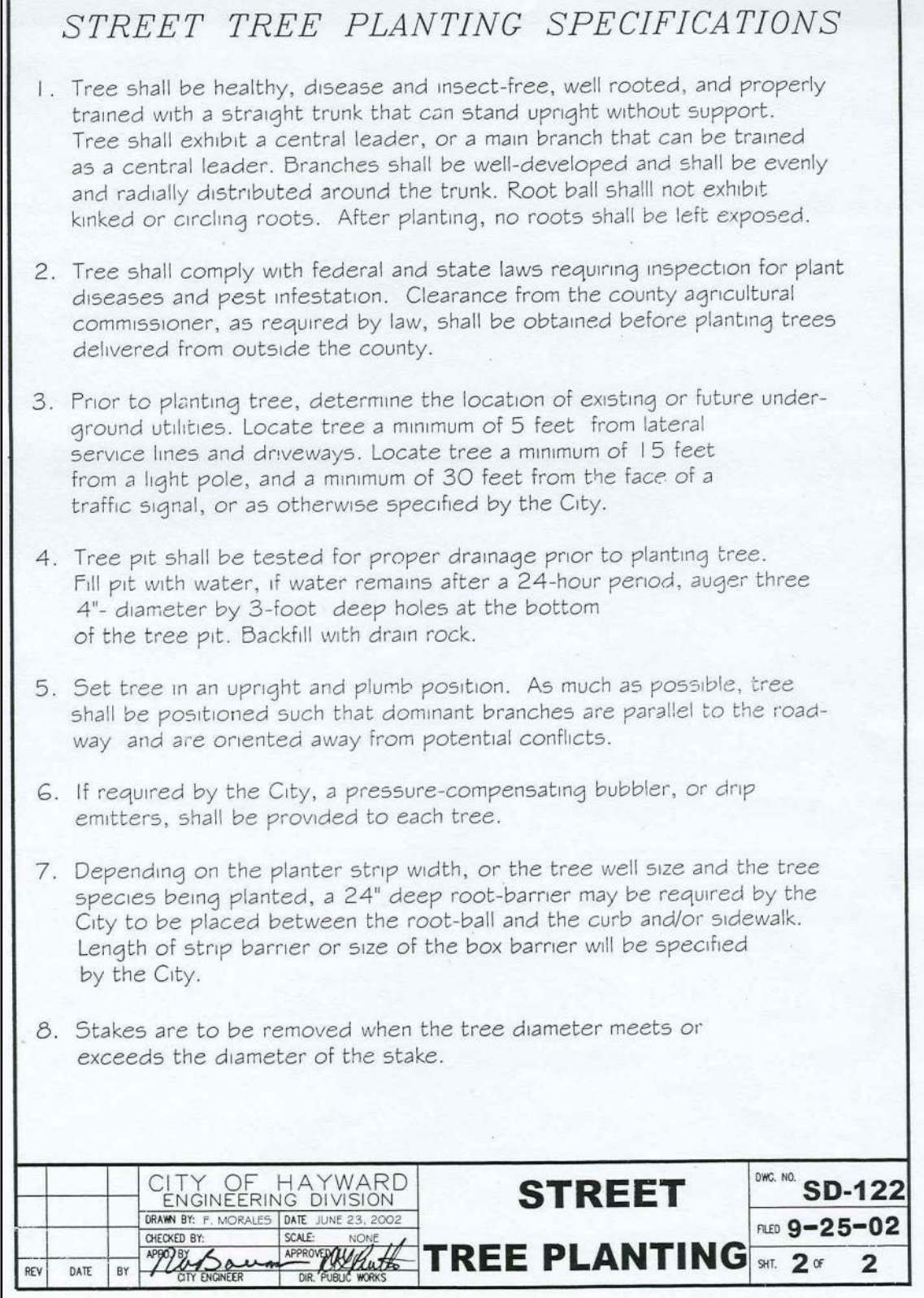
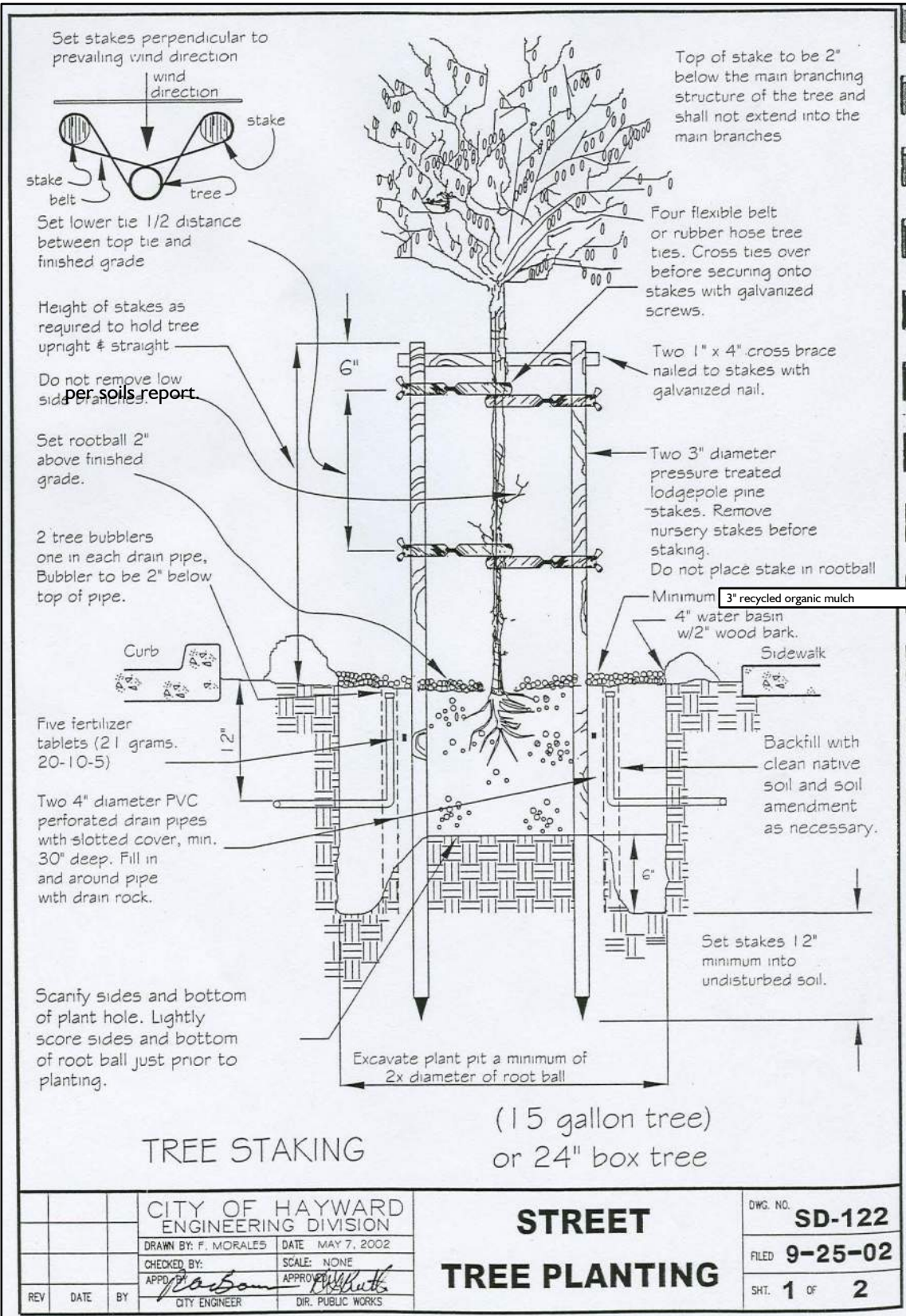


PROJECT NUMBER:	-
DRAWN:	TF
CHECK:	MR
DATE:	06/21/2023
SCALE:	VARIES



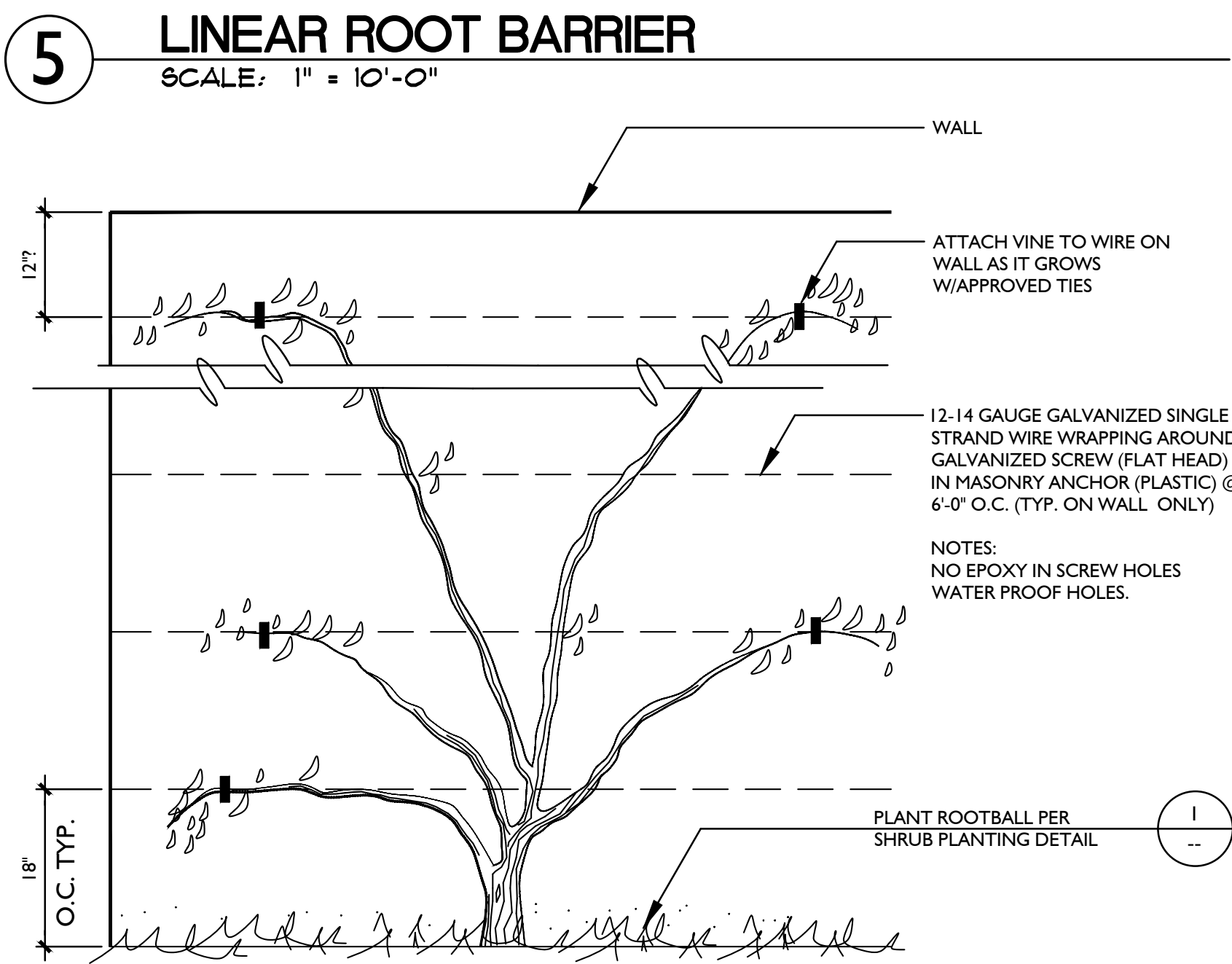
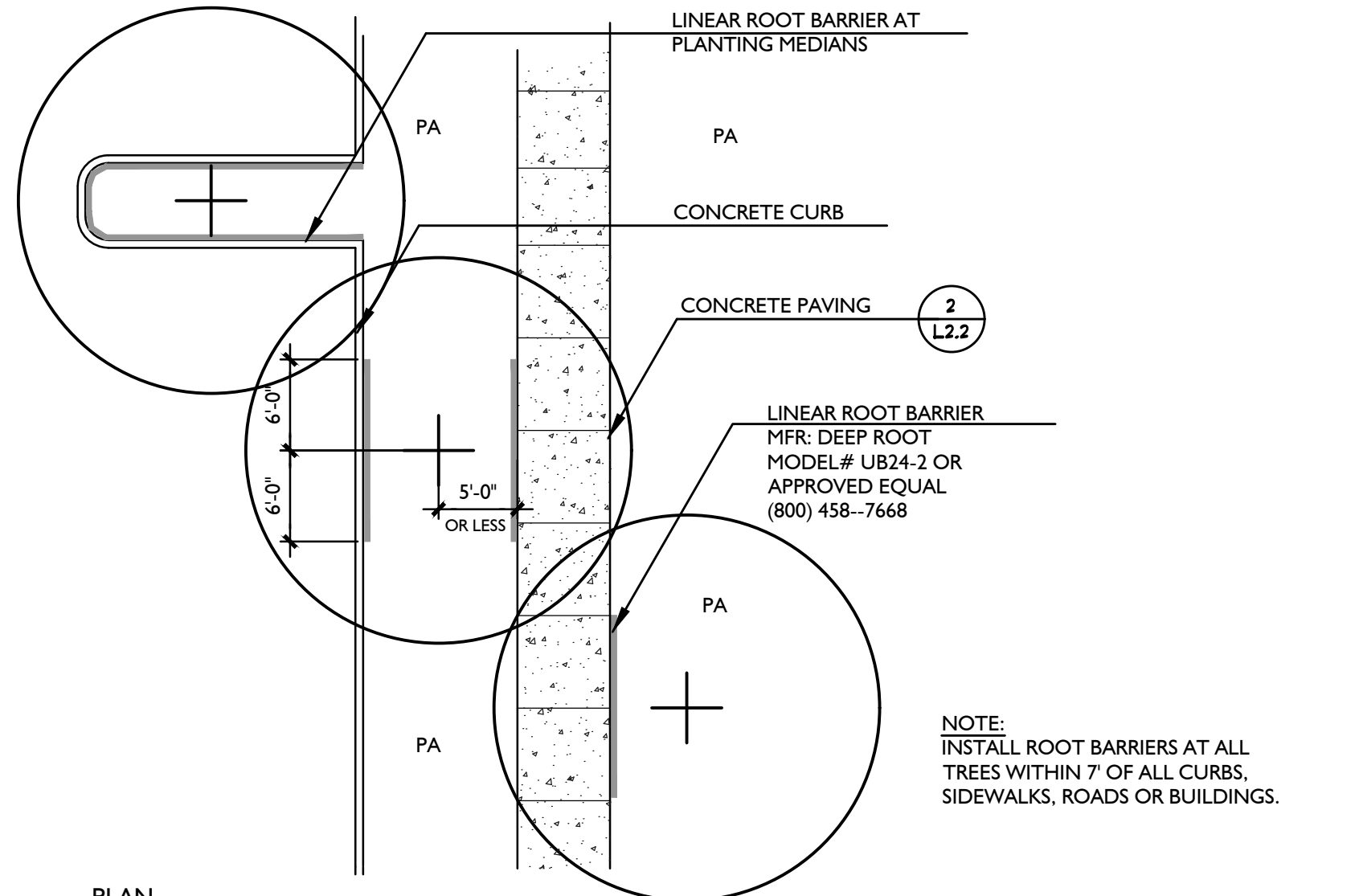
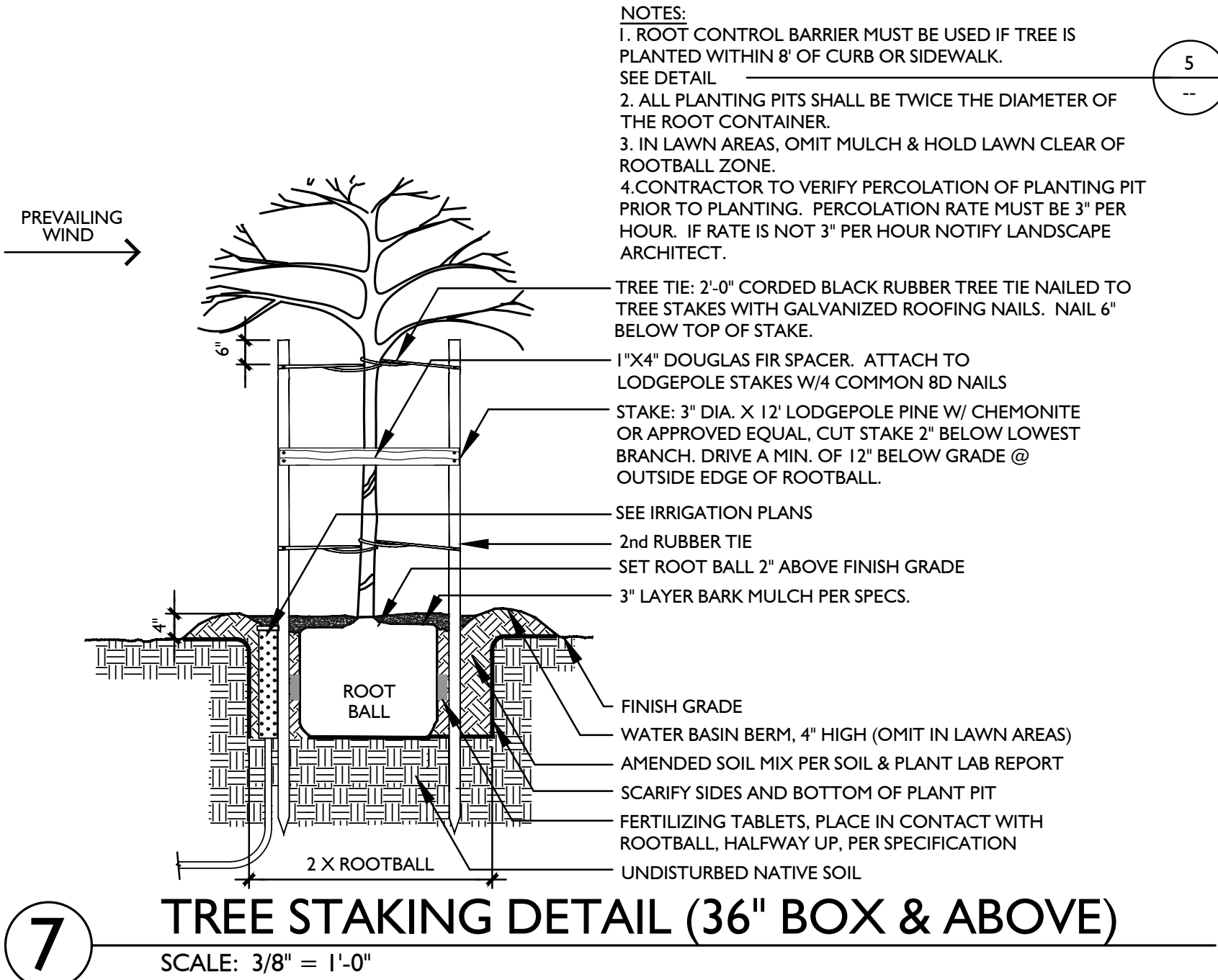
CONCEPTUAL LANDSCAPE DETAILS

L4.1



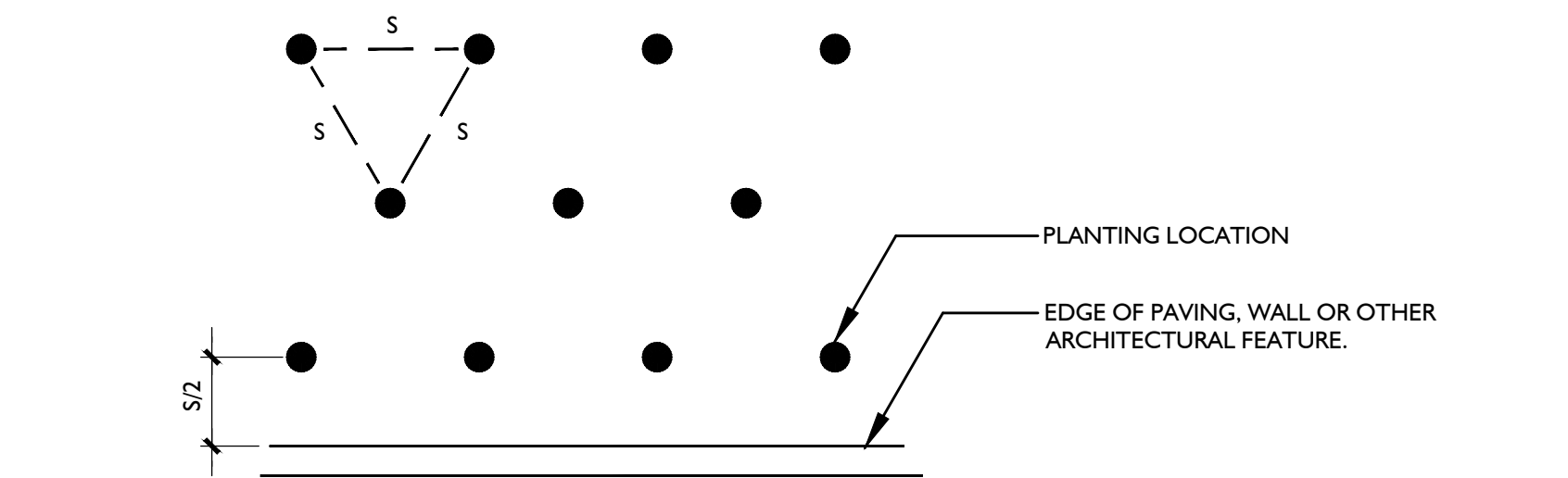
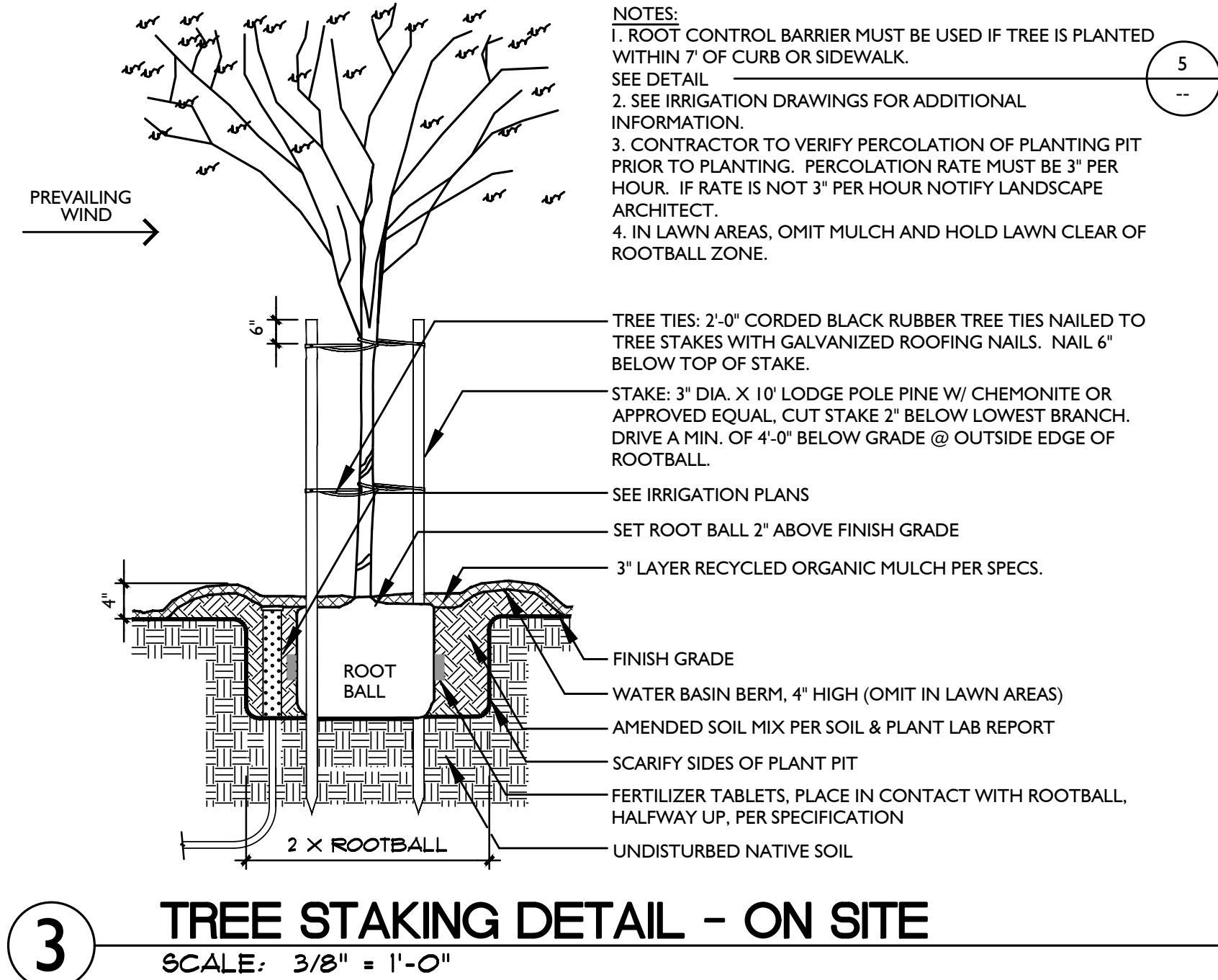
6 STREET TREE PLANTING

1" = 1'-0"



4 VINE PLANTING

SCALE: NTS



NOTES:

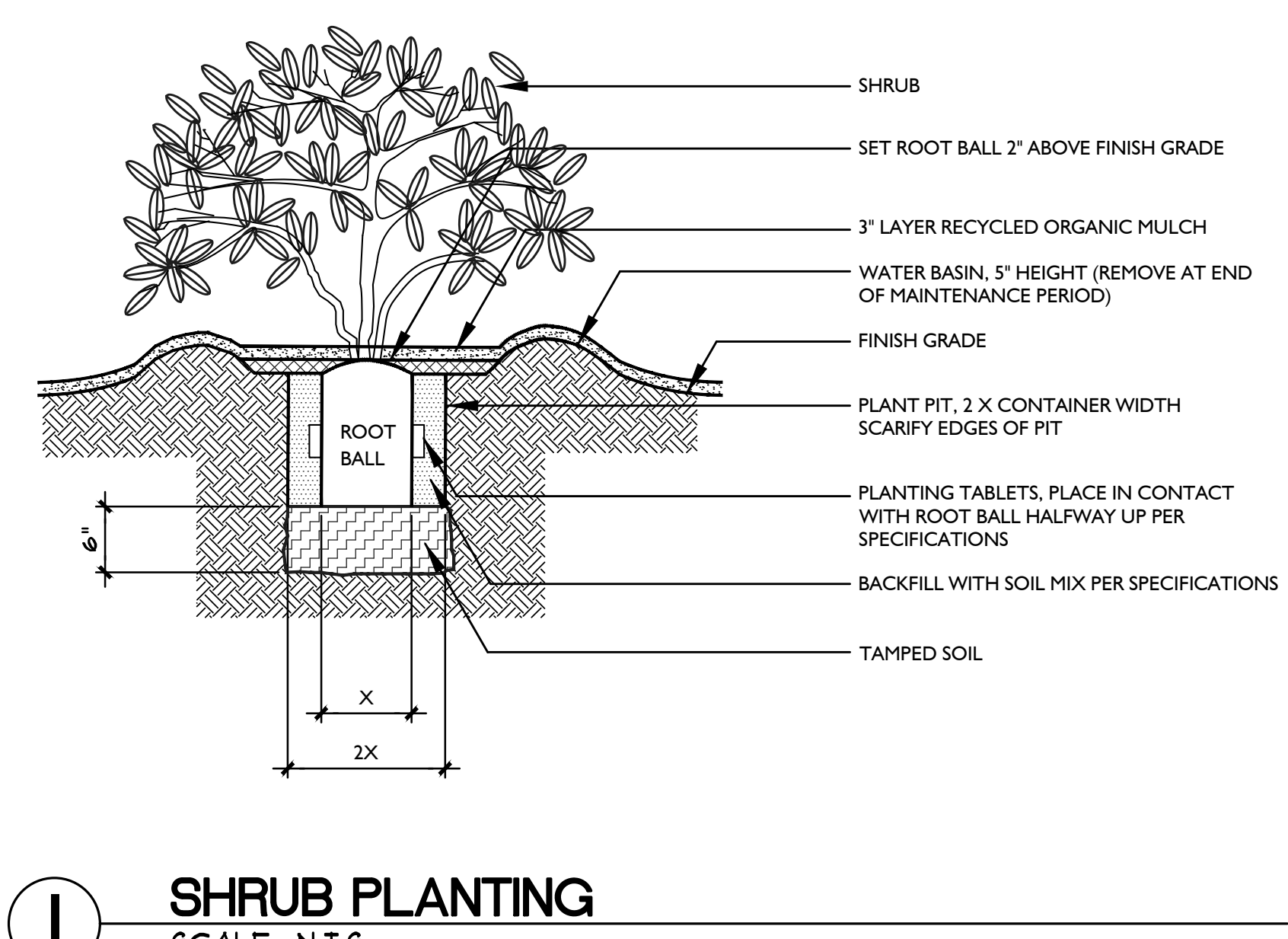
A. S = PLANT SPACING DISTANCE ON CENTER, SEE CHART

B. FOR USE AS A GUIDE FOR SHRUBS AND GROUND COVER WHEN PLANTS ARE SPACED EQUIDISTANT FROM EACH OTHER.

Plant Quantity Chart	
Spacing	# of Plants/S.F.
6" o.c.	4.60
8" o.c.	2.60
12" o.c.	1.15
18" o.c.	.512
24" o.c.	.290
30" o.c.	.185
36" o.c.	.128
42" o.c.	.087
48" o.c.	.063

2 PLANT SPACING

SCALE: N.T.S.

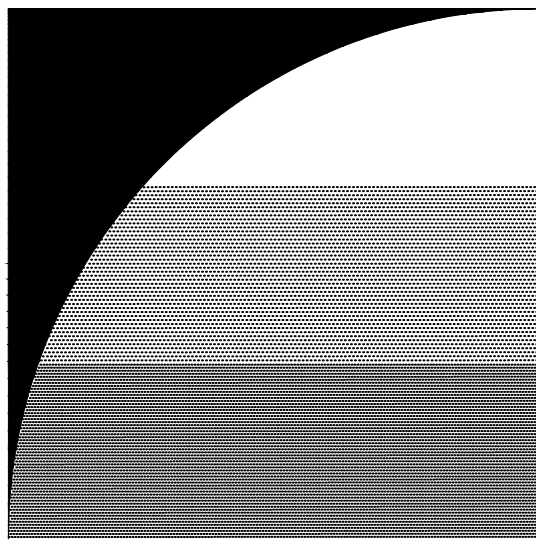


1 SHRUB PLANTING

SCALE: N.T.S.

I HAVE COMPLIED WITH THE CRITERIA OF CITY OF HAYWARD BAY FRIENDLY WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLANS.

SIGNATURE: [Signature] 6/21/23



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GROVE WAY

HAYWARD
CALIFORNIA

ISSUE:	DESCRIPTION:	DATE:
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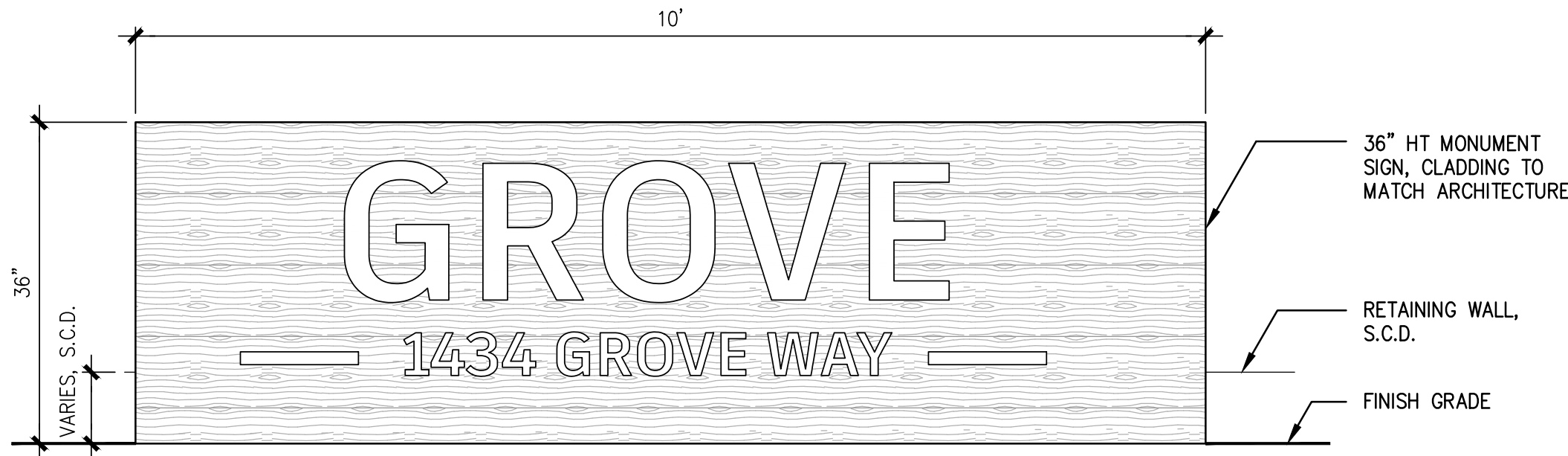


PROJECT NUMBER: -
DRAWN: TF
CHECK: MR
DATE: 06/21/2023
SCALE:

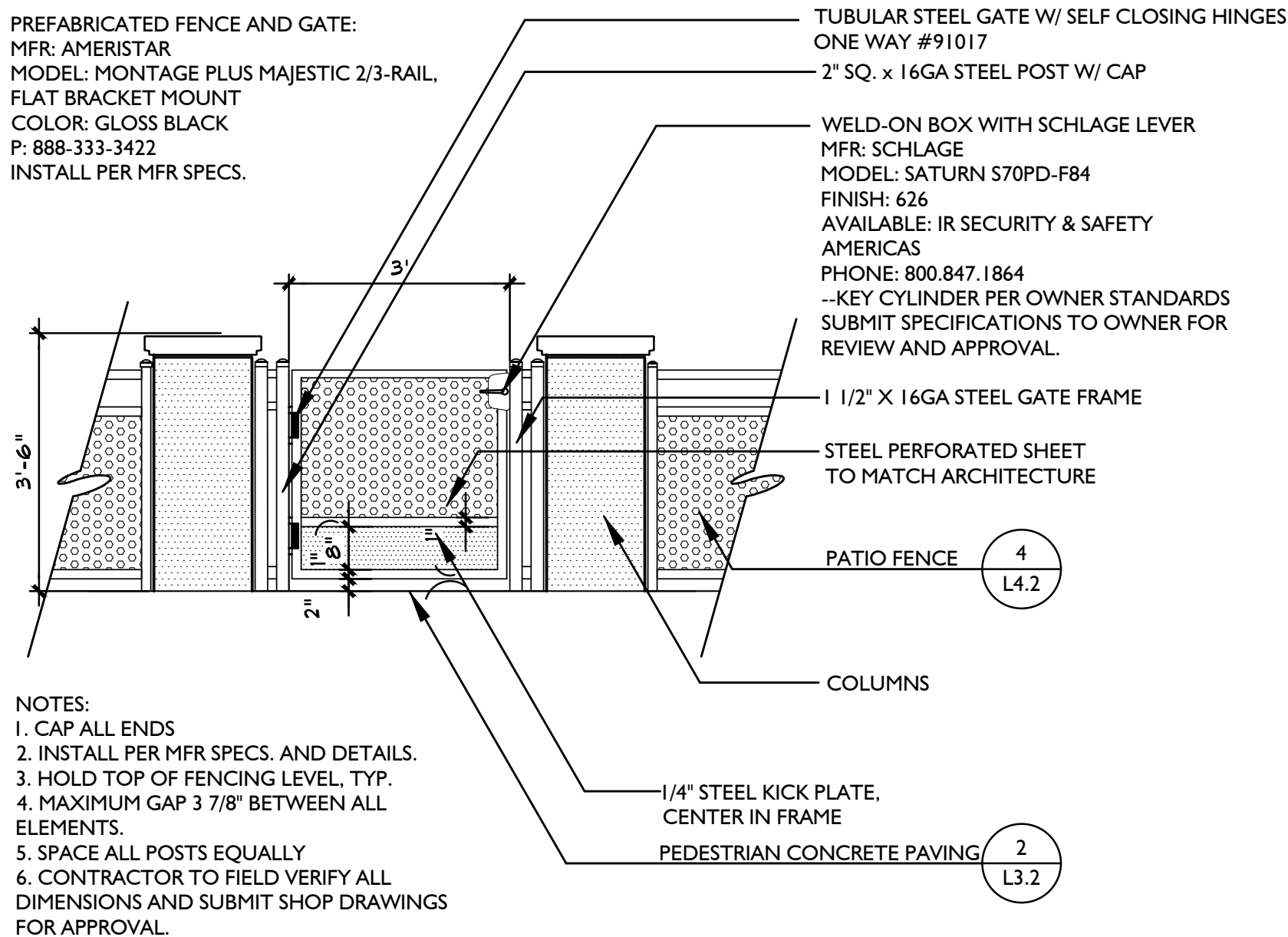


CONCEPTUAL LANDSCAPE DETAILS

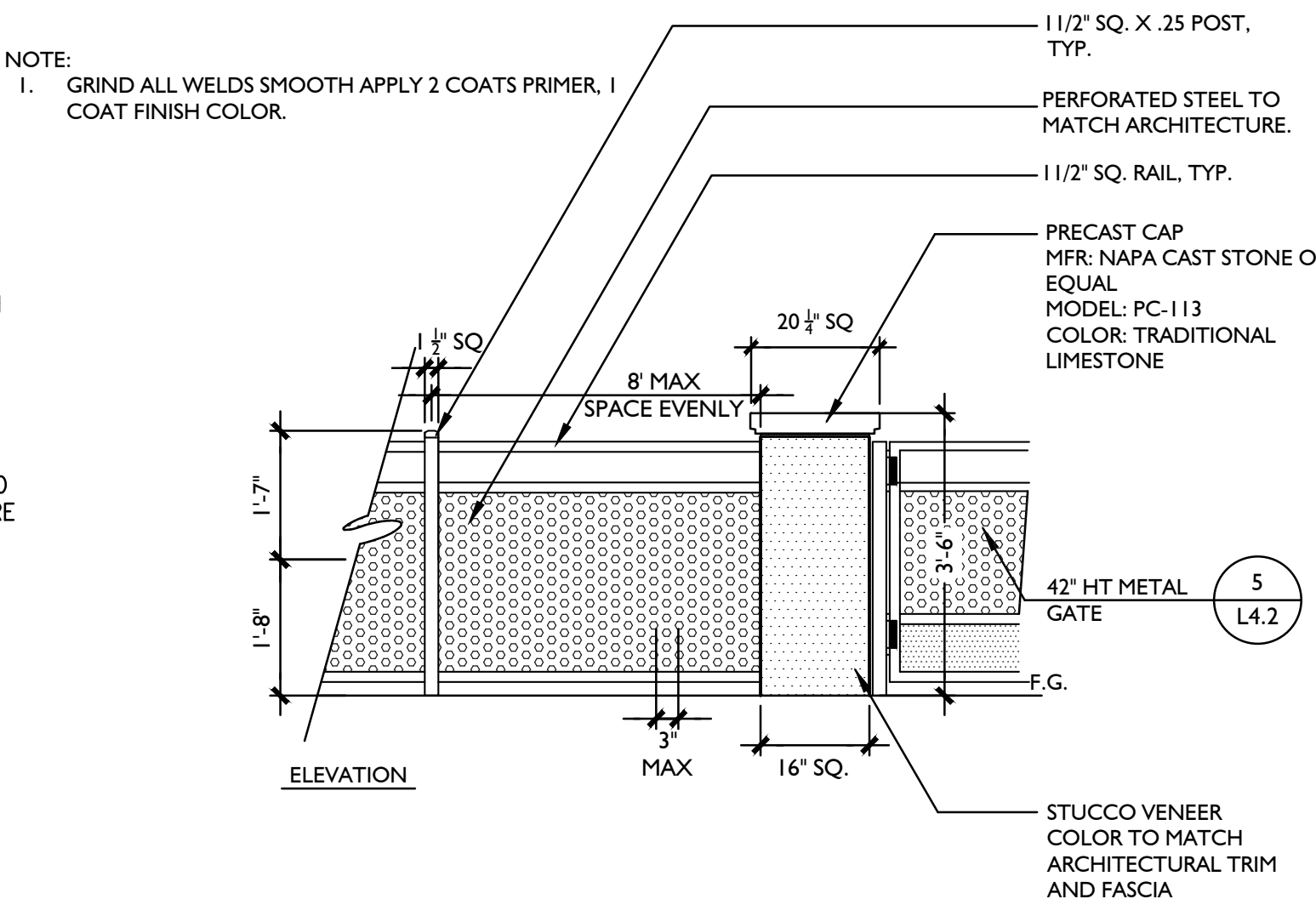
L4.2



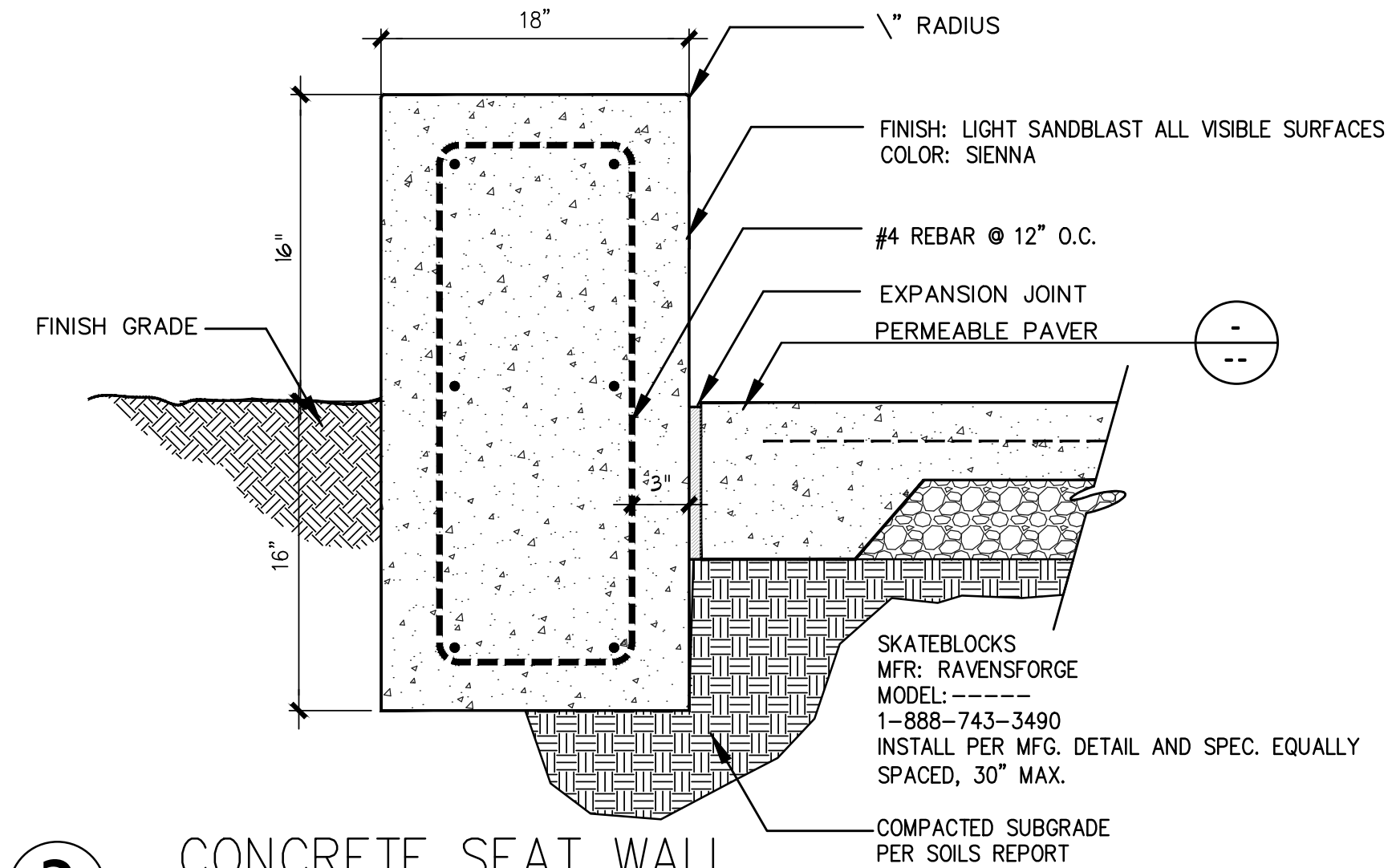
6 36" HT MONUMENT SIGN
SCALE: 3/4" = 1'-0"



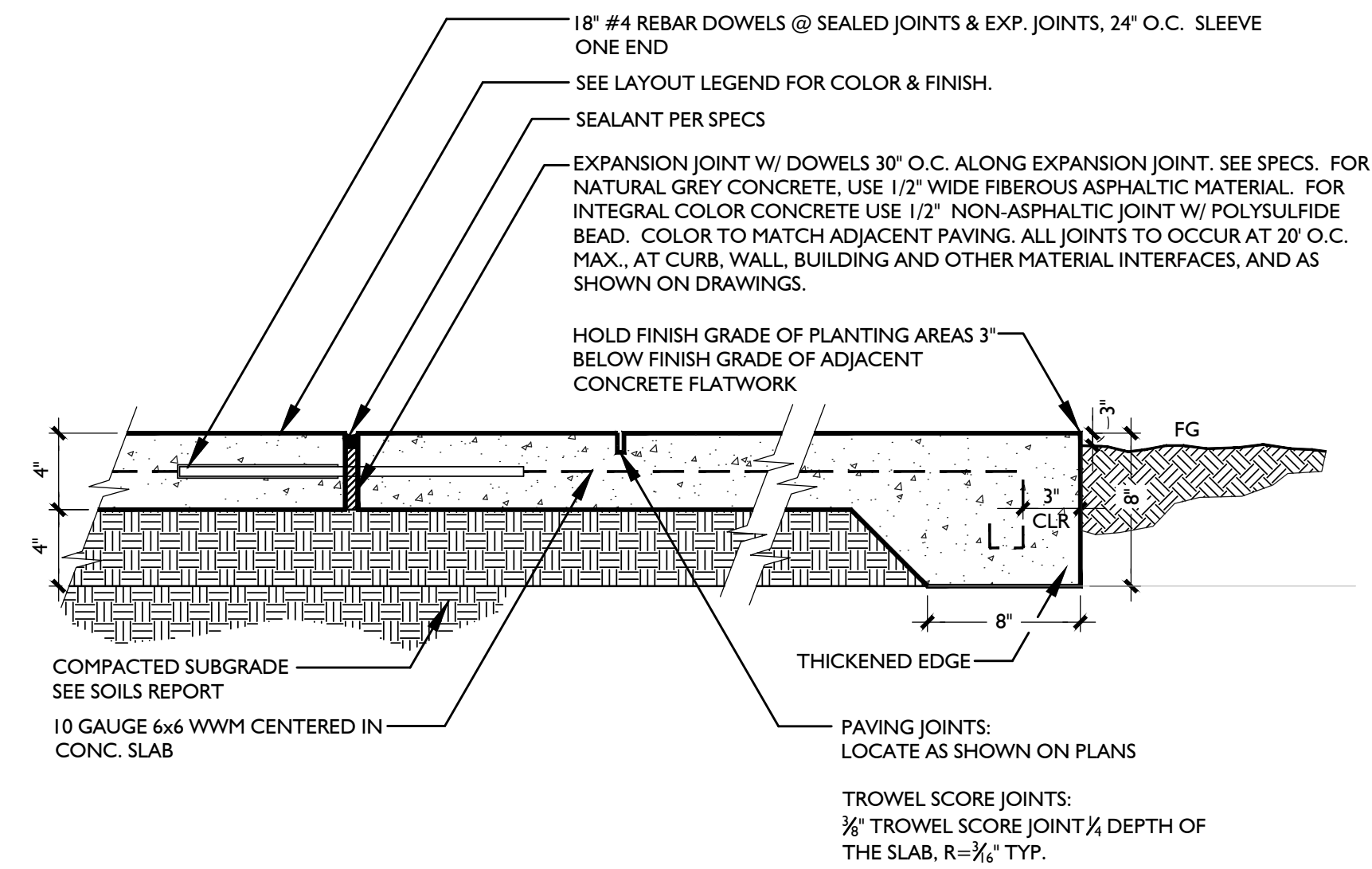
5 42" METAL GATE
SCALE: 1/2" = 1'-0"



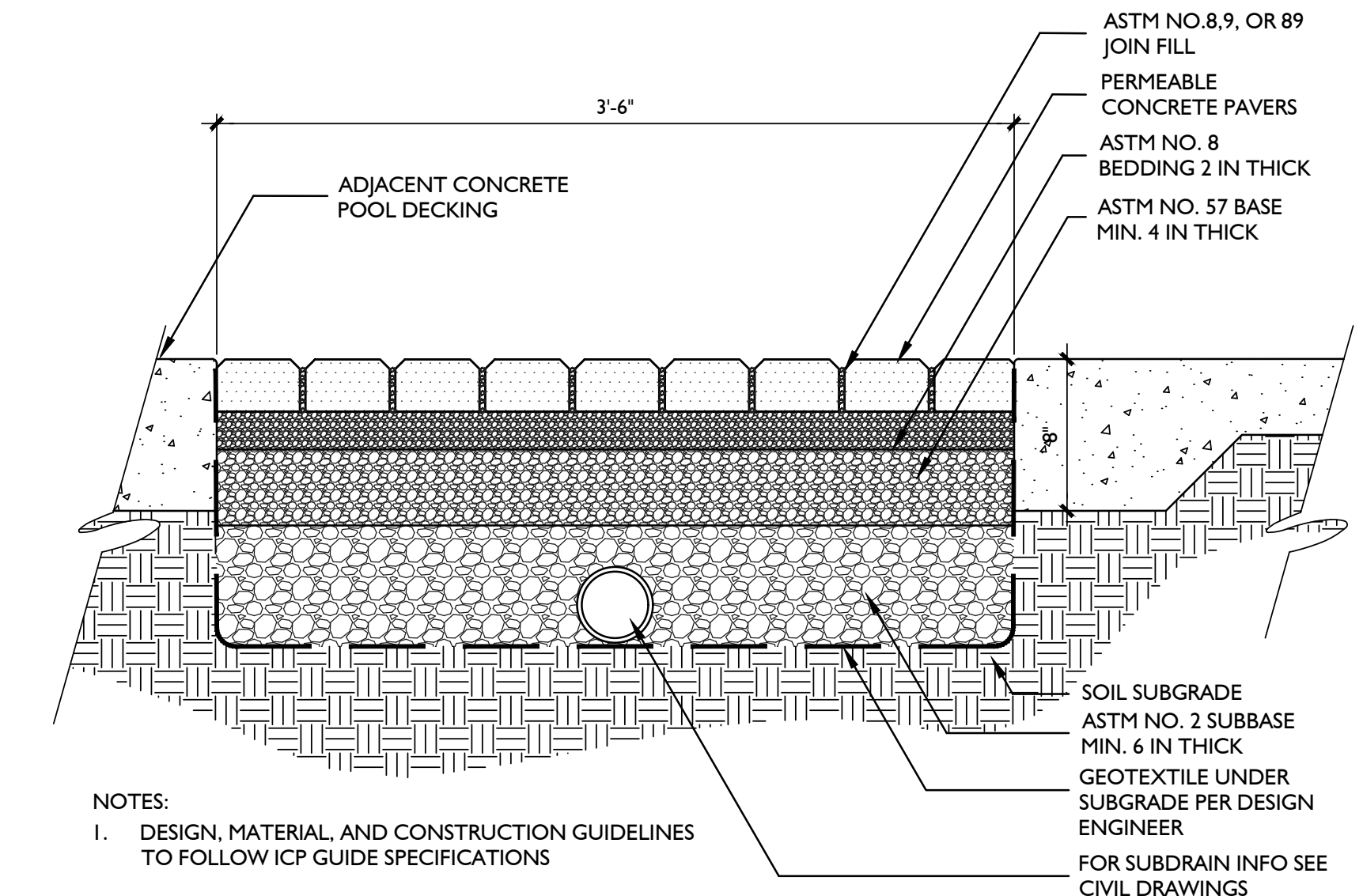
4 PATIO FENCE - ELEVATION
SCALE: 1/2" = 1'-0"



3 CONCRETE SEAT WALL
SCALE: 1-1/2" = 1'-0"



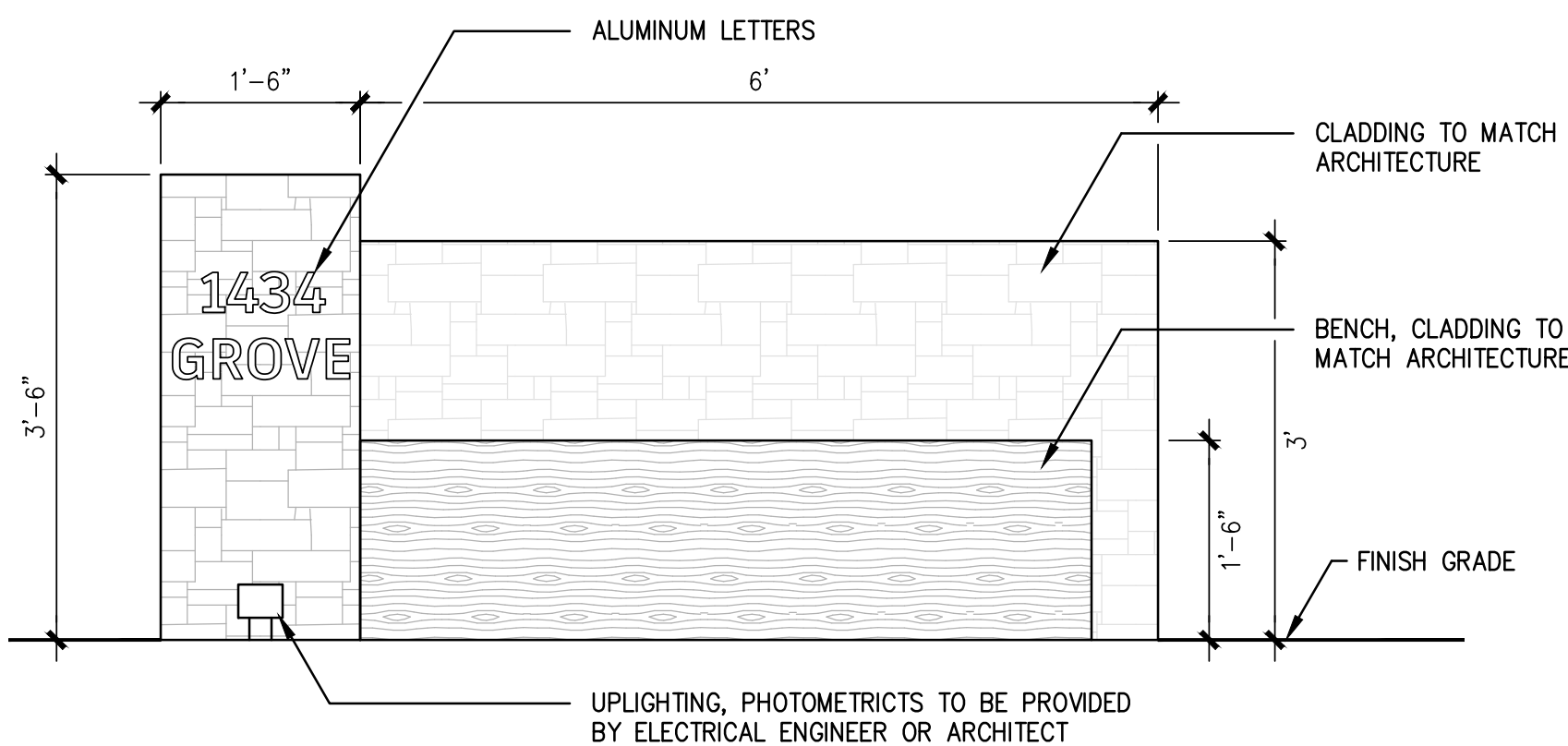
2 PEDESTRIAN CONCRETE PAVING
SCALE: 1 1/2" = 1'-0"



1 PERMEABLE PAVERS
SCALE: 1-1/2" = 1'-0"

SIGNATURE 6/21/23

I HAVE COMPLIED WITH THE CRITERIA OF CITY OF HAYWARD BAY FRIENDLY WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLANS.



7 BENCH AND ILLUMINATED ENTRY MONUMENT
SCALE: 3/4" = 1'-0"

WILSON & ASSOCIATES

LANDSCAPE ARCHITECTURE

815 SAN DIEGO ROAD · BERKELEY, CA 94707

PH: 510-644-9602 · E: cwilson815@gmail.com

Date: March 26, 2022, Revised June 22, 2022 and May 1, 2023

Re: Arborist Report
1434 Grove Way
Hayward, CA 94546

Memo:

At the request of Sterling Consultants, we evaluated the existing trees at the above referenced address on the morning of March 26, 2022. Refer to the attached site sketch and photos. Refer to the separate site survey for more information on the existing conditions.

The site is a fairly level one third acre +/- with an existing residence at the front of the site, a couple of outbuildings and several trees and shrubs. Most of the site was vacant.

Per City of Hayward definition, “Protected” trees are California native trees on private property with a trunk diameter equal or larger than four inches and non-native trees with a trunk diameter equal or larger than eight inches. Protected trees would need a tree removal permit from the City of Hayward. Per this definition all of the existing trees noted below are protected trees.

The smaller trees (under 4” caliper) and other plants and shrubs on-site were not inventoried or evaluated, but are shown in some of the photos below. There was no evidence of existing supplemental irrigation to any of the trees or any particular care or maintenance of the existing landscape or trees. Most of the trees appeared to be seedling sprouts or “volunteers” except the four Redwood trees along the northeast property line which appeared to be intentionally planted. Two of the trees in the table below are immediately off-site on adjacent properties. Tree number 1 overhangs the subject property substantially and any proposed development should take that into consideration.

“DBH” in the table below refers to “Diameter at Breast Height”, the trunk diameter (caliper) at 4.5 feet above grade. These sizes are based on field checks by Wilson & Associates.

Table of Existing Trees

Tree Number	Botanical / Common Name	DBH	Condition	Protected Tree	Comments
1	Cedrus deodara / Deodar Cedar	18”	Good	Yes	Off-site to the southwest.
2	Syagrus romanzoffianum / Queen Palm	12”	Good	Yes	Could possibly be relocated. <i>To be removed.</i>
3	Fraxinus spp. / Ash	6”, 6”	Good	Yes	Narrow crotch angle. Potential hazard. <i>To be removed.</i>
4	Washingtonia robusta / Mexican Fan Palm	18”	Good	Yes	Medium size volunteer. Something of an undesirable weed. <i>To be removed.</i>

Re: 1434 Grove Way, Hayward

March 26, 2022, Revised June 22, 2022 and May 1, 2023

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5	Fraxinus spp. / Ash	8", 7", 6"	Fair	Yes	Could eventually conflict with overhead power lines. <i>To be removed.</i>
6	Sequoia sempervirens / Coast Redwood	5"	Fair. Crowded by adjacent Ash.	Yes	<i>To be removed.</i>
7	Sequoia sempervirens / Coast Redwood	12"	Good	Yes	<i>To be removed.</i>
8	Sequoia sempervirens / Coast Redwood	5"	Good	Yes	<i>To be removed.</i>
9	Sequoia sempervirens / Coast Redwood	4"	Good	Yes	<i>To be removed.</i>
10	Sequoia sempervirens / Coast Redwood	8"	Good	Yes	<i>To be removed.</i>
11	Prob. Juglans var./ Walnut (out of leaf, uncertain identification)	18"	Good	Yes	<i>To be removed.</i>
12	Schinus molle / California Pepper Tree	10"	Fair to Good	Yes	On adjacent property to the northwest.

Tree Appraisals

Per City requirements, the following are value appraisals of the existing trees. Trees number 2 and 4, the palm trees, were valued separately as shown. For the remainder of the trees, using the ISA (International Society of Arboriculture) "Trunk Formula Method", the values of the existing trees was determined as follows.

$$V = (RC + ((BP \times (ATA - ATr)) \times SR \times CR \times LR$$

Assume:

V = Value (rounded)

RC = Replacement Cost = \$1,800.00

BP = Base Price = \$69.00

TA=Trunk Area = As shown below

ATA-ATr = Adjusted Trunk Area – Adjusted Trunk replacement value for trees over 30" DBH.

None for this evaluation.

Species Rating = As shown below

Condition Rating = As shown below

Location Rating =As shown below

On-Site Trees, Numbers 2 through 11

Tree No. 2. Queen Palm. To remain. 9' clear trunk at \$180.00 per foot = \$1,600.00. As noted, this tree could possibly be preserved or relocated on-site. *Per latest landscape plans, this tree is to be removed.*

Re: 1434 Grove Way, Hayward

March 26, 2022, *Revised June 22, 2022 and May 1, 2023*

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Tree No. 4. Mexican Fan Palm. Little to no value, *but given a nominal value of \$100.00*. Weed tree. Could possibly be preserved or relocated on-site, but this is not recommended. *Per latest landscape plans, this tree is to be removed.*

Tree No. 3. Ash. Multi 6", 6" caliper. Trunk area = square root of trunk stems squared = 8".

Species Rating = 0.8

Condition Rating = 0.7

Location Rating = 0.5

$V = (1,800 + (69 \times 50)) \times 0.8 \times 0.7 \times 0.5$

$V = \$1,500.00$

Per latest landscape plans, this tree is to be removed.

Tree No. 5. Ash. Multi 8", 7" 6" caliper. Trunk area = square root of trunk stems squared = 12"

Species Rating = 0.8

Condition Rating = 0.7

Location Rating = 0.5

$V = (1,800 + (69 \times 113)) \times 0.8 \times 0.7 \times 0.5$

$V = \$2,700.00$

Per latest landscape plans, this tree is to be removed.

Tree No. 6. Redwood. 5" caliper.

Species Rating = 0.8

Condition Rating = 0.8

Location Rating = 0.6

$V = (1,800 + (69 \times 20)) \times 0.8 \times 0.8 \times 0.6$

$V = \$1,100.00$

Per latest landscape plans, this tree is to be removed.

Trees Number 7, 8, 9 and 10 are probably the best candidates for preservation in the current location on-site due to location, condition and species. This would depend on the site development proposal. *Per latest landscape plans, this tree is to be removed.*

Tree No. 7. Redwood. 12" caliper.

Species Rating = 0.8

Condition Rating = 0.8

Location Rating = 0.7

$V = (1,800 + (69 \times 113)) \times 0.8 \times 0.8 \times 0.7$

$V = \$2,300.00$

Per latest landscape plans, this tree is to be removed.

Re: 1434 Grove Way, Hayward

March 26, 2022, Revised June 22, 2022 and May 1, 2023

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Tree No. 8. Redwood. 5" caliper.

Species Rating = 0.8

Condition Rating = 0.8

Location Rating = 0.7

 $V = (1,800 + (69 \times 20)) \times 0.8 \times 0.8 \times 0.7$

V=\$1,500.00

Per latest landscape plans, this tree is to be removed.

Tree No. 9. Redwood. 4" caliper.

Species Rating = 0.8

Condition Rating = 0.8

Location Rating = 0.7

 $V = (1,800 + (69 \times 13)) \times 0.8 \times 0.8 \times 0.7$

V=\$1,200.00

Per latest landscape plans, this tree is to be removed.

Tree No. 10. Redwood. 8" caliper.

Species Rating = 0.8

Condition Rating = 0.8

Location Rating = 0.7

 $V = (1,800 + (69 \times 50)) \times 0.8 \times 0.8 \times 0.7$

V=\$2,300.00

Per latest landscape plans, this tree is to be removed.

Tree No. 11. Walnut. 18"

Species Rating = 0.1

Condition Rating = 0.7

Location Rating = 0.7

 $V = (1,800 + (69 \times 254)) \times 0.1 \times 0.7 \times 0.7$

V=\$950.00

*This tree is shown to remain on the landscape plans dated 3/16/23, but per the City comments dated April 24, 2023, we recommend that this tree be removed.***Off-Site Trees. Numbers 1 and 12**

Tree No. 1. Deodar Cedar. 18" caliper.

Species Rating = 0.8

Condition Rating = 0.7

Location Rating = 0.8

 $V = (1,800 + (69 \times 254)) \times 0.8 \times 0.7 \times 0.8$

V=\$8,700.00

See the latest landscape plan for information on the location of the proposed monument sign.

Re: 1434 Grove Way, Hayward

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Tree No. 12. California Pepper Tree. 10" caliper.

Species Rating = 0.5

Condition Rating = 0.5

Location Rating = 0.5

 $V = (1,800 + (69 \times 79) \times 0.5 \times 0.5 \times 0.5)$ $V = \$900.00$

The total appraised value per the ISA formula for the on-site trees would thus be \$15,250.00 or \$15,000.00 rounded.

Notes

We have not reviewed any potential development proposals for this site, but some existing trees could possibly be preserved and left in place with normal protection measures performed. In particular, the four Redwood trees, numbers 7, 8, 9, and 10, would be worthy of preservation. The Queen Palm tree number 2 could possibly be relocated. The Deodar Cedar on the adjacent property overhangs this property and any development should take that into consideration. The other existing trees are not particularly special or of high value.

The landscape and architectural plans prepared by Gates + Associates and Molinar Home Design Architecture were received and reviewed. The latest proposed tree removals based on these plans and the latest City comments are incorporated into this document.

Please contact us with any questions.

Sincerely,



Charles Wilson

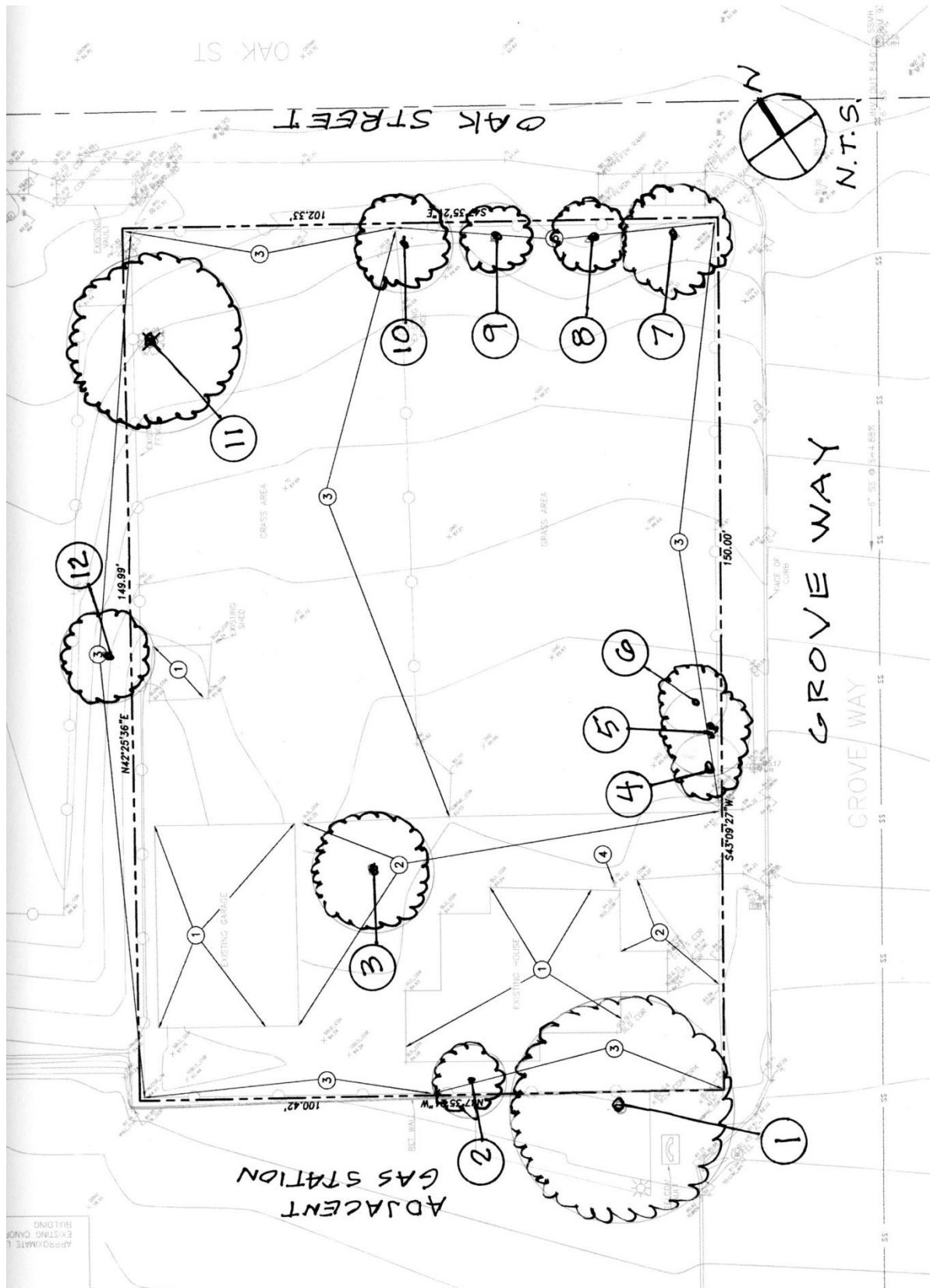
Landscape Architect No. 1682

ISA Certified Arborist WE-7138A

Re: 1434 Grove Way, Hayward

March 26, 2022, Revised June 22, 2022 and May 1, 2023

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1434 Grove Way. Sketch of Site.

Re: 1434 Grove Way, Hayward

March 26, 2022, *Revised June 22, 2022 and May 1, 2023*

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Tree 1. Deodar Cedar. Off-Site.



Tree 2. Queen Palm.

Re: 1434 Grove Way, Hayward

March 26, 2022, *Revised June 22, 2022 and May 1, 2023*

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Tree 3. Ash.



Trees 4, and 5. Mexican Fan Palm and Ash.

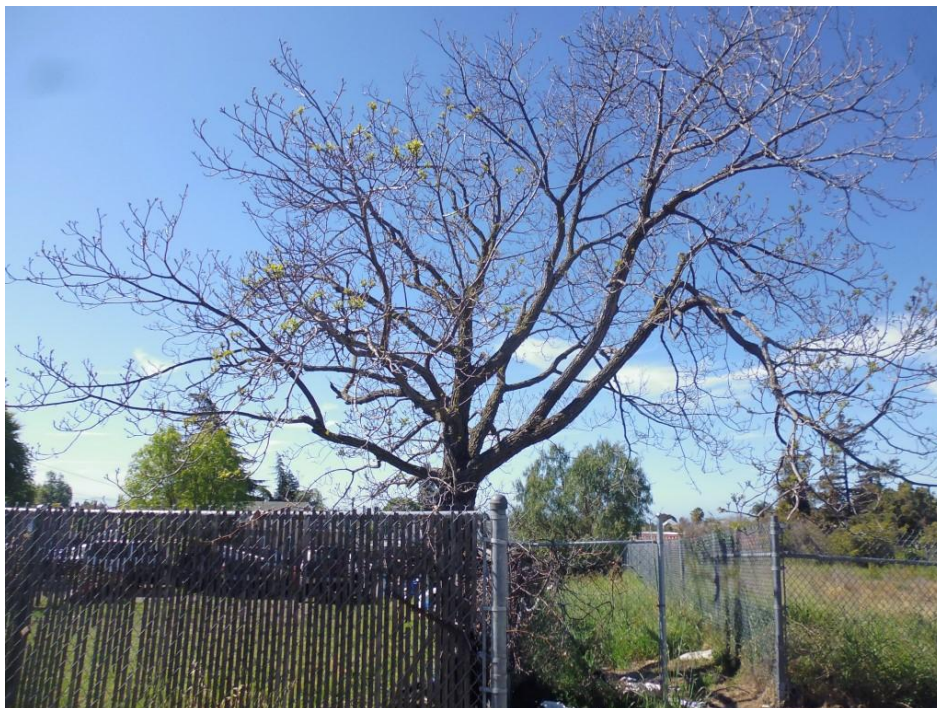
Re: 1434 Grove Way, Hayward

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Page 9 of 10



Tree 7, 8, 9, and 10. Coast Redwood Trees.

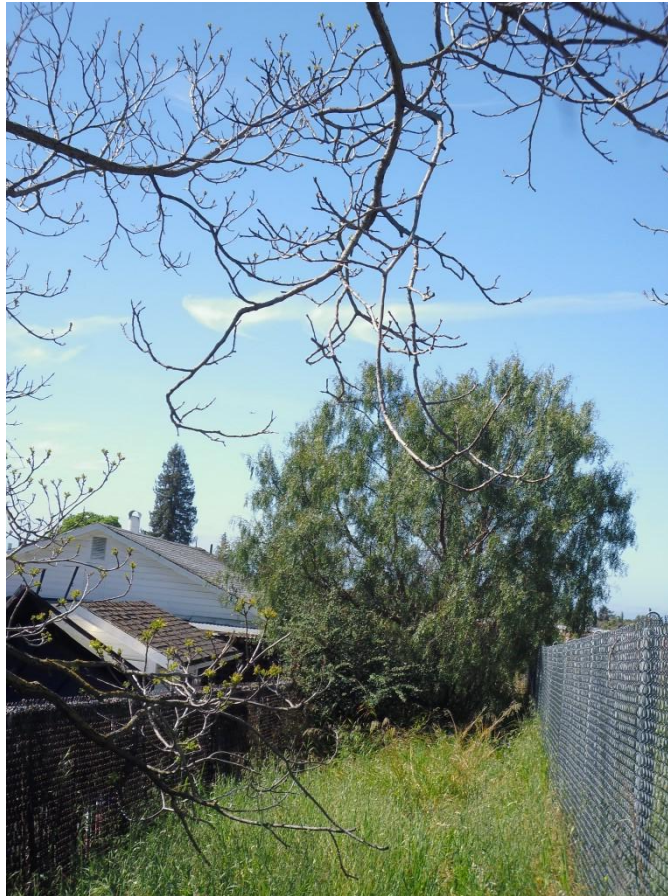


Tree 11. Walnut (?)

Re: 1434 Grove Way, Hayward

March 26, 2022, *Revised June 22, 2022 and May 1, 2023*

Page 10 of 10



Tree 12. California Pepper Tree. Off-Site to Northwest.

WILSON & ASSOCIATES

LANDSCAPE ARCHITECTURE

815 SAN DIEGO ROAD · BERKELEY, CA 94707
PH: 510-644-9602 · E: cwilson815@gmail.com

Date: June 12, 2023

Re: **Arborist Report**
1434 Grove Way
Hayward, CA 94546

Memo:

Refer to our original arborist's report for this project dated March 26, 2022, revised June 22, 2022 and May 1, 2023.

We understand that a masonry wall is being proposed to be constructed on the southeast corner of this site. The existing tree on the adjacent property, noted as tree no. 1 in our previous report, a large *Cedrus deodora* / Deodar Cedar, is near the proposed new wall.

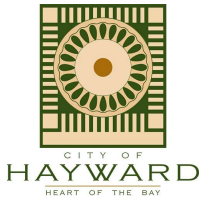
There is an existing concrete wall of about 3 foot in height on or immediately adjacent to this tree on the property line. The construction site is thus about 3 foot higher in elevation in this area. The roots of this tree are likely almost entirely in the adjacent property's planter. Even though the proposed new wall is near this existing tree, we feel that the impact on the root zone would be minimal as there are likely few existing roots from this tree that extend onto the construction site. Some judicious pruning of the branches that extend into the construction site may be necessary.

We do propose that a competent arborist be called to evaluate the situation in the field prior to construction in this area.



Tree 1. Deodar Cedar. Off-Site.

From: Charles Wilson
ISA Arborist WE-7138A



CITY OF HAYWARD

Hayward City Hall
777 B Street
Hayward, CA 94541
www.Hayward-CA.gov

File #: PH 23-037

DATE: September 28, 2023

TO: Planning Commission

FROM: Steve Kowalski, Associate Planner

SUBJECT

Vesting Tentative Tract Map (Tract 8104) and Site Plan Review Application No. TM-23-0003 for a 12-lot, 10-unit, 100 percent affordable Townhouse-Style Residential Subdivision on a Vacant 0.74-acre Site Located at 123 A Street for which a Corresponding Planned Development District Rezoning Application (PL-2013-0290) and Now-Expired Vesting Tentative Tract Map Application (PL-2013-0291) were Previously Approved in 2015 (APN 431-0016-088-03). Applicant: Ben Grubb, Habitat for Humanity East Bay/Silicon Valley; Property Owner: City of Hayward.

RECOMMENDATION

That the Planning Commission approve the proposed Vesting Tentative Tract Map and Site Plan Review application based on the analysis set forth in this staff report and the recommended findings contained in Attachment II, and subject to the conditions of approval contained in Attachment III.

SUMMARY

The applicant is requesting approval of a Vesting Tentative Tract Map (Tract 8104) and Site Plan Review application for a 12-lot, 10-unit, 100 percent affordable townhouse-style subdivision on a vacant 0.74-acre site at 123 A Street. On January 27, 2015, the City Council approved Planned Development District Rezoning Application No. PL-2013-0290, related Development Plan and Vesting Tentative Tract Map Application No. PL-2013-0291 for the project. However, the applicant was unable to proceed with the completion of the Final Map and implementation of the Development Plan at that time for various reasons beyond its control and as detailed in the Background section of the report. As a result, the Development Plan and Vesting Tentative Tract Map approvals have expired. The applicant is requesting re-approval of the Vesting Tentative Tract Map as well as Site Plan Review approval for the proposed development, which is nearly identical to the development initially approved in 2015.

ATTACHMENTS

Attachment I	Staff Report
Attachment II	Draft Findings for Approval
Attachment III	Draft Conditions of Approval

File #: PH 23-037

Attachment IV	Project Plans
Attachment V	Approved Affordable Housing Plan
Attachment VI	Adopted Mitigated Negative Declaration



SUBJECT

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BACKGROUND

In 2013, the applicant, Habitat for Humanity East Bay/Silicon Valley ("Habitat"), submitted concurrent applications to change the zoning of the project site from Medium Density Residential to Planned Development District (Application No. PL-2013-0290) with an accompanying Preliminary Development Plan featuring a 10-unit affordable housing development for low-income households, and to subdivide the property into 12 parcels through a Vesting Tentative Tract Map (application no. PL-2013-0291). The lot is currently owned by the City; however, on June 24, 2014, the City Council approved a Disposition

Development and Loan Agreement (DDLA) for the sale of land to Habitat, with the transfer of ownership contingent on approval and recordation of the Final Subdivision Map for the project.

On January 27, 2015, the City Council approved the Zone Change with accompanying Preliminary Development Plan and Vesting Tentative Tract Map for the project. Subsequently, Habitat obtained Planning Director approval of the Precise Development Plan for the project on December 7, 2015. Habitat then began the process of obtaining jurisdictional funding awards to subsidize the project. Habitat had previously been awarded funding from the City including \$29,500 in Community Development Block Grant funds (2013), and a Project Development Loan of \$600,000 (2014) through the project's DDLA. Concurrently with applying for additional funding, Habitat began working with the State Department of Toxic Substance Control (DTSC) on addressing soil contamination on the site. From 2016-2018, Habitat worked with various consultants to prepare a Remedial Action Workplan to clean up the site, which was required to quantify the cost of the remediation work prior to applying for additional funding.

In 2021, Habitat was awarded a \$1,000,000 loan from the State Housing and Community Development Department's CalHome program. In 2022, Habitat received additional awards from the Alameda County Measure A1 Bond Program for Homeownership (\$2,500,000), the Federal Community Project Funding program (\$1,000,000), an additional \$200,000 from the City's Inclusionary Housing Fund, and the Federal Home Loan Bank AHP (\$236,990) to complete project funding requirements. However, sourcing all of the funds took longer than expected and with the COVID-19 pandemic causing much of the delay, the approvals for the Preliminary and Precise Development Plans and Vesting Tentative Tract Map expired, with the exception of the Zone Change, which remains valid (under State law, rezonings do not expire).

On April 6, 2023, with funding secured, Habitat re-applied for project approvals of the Vesting Tentative Tract Map and Site Plan Review. Site Plan Review applications require the same level of detail as a Precise Development Plan and generally cover the same scope of review; therefore, staff determined that a Tentative Map and Site Plan Review approval for the development was the appropriate entitlement approach. The current plans are largely the same as those approved in 2015, with the only changes being those needed to bring the project into compliance with current State and Municipal Code requirements that changed since the 2015 approval dates (see Figures 1 & 2, below for a comparison of the original and proposed plans).

Figure 1 – Original Approved Design (from 2015)

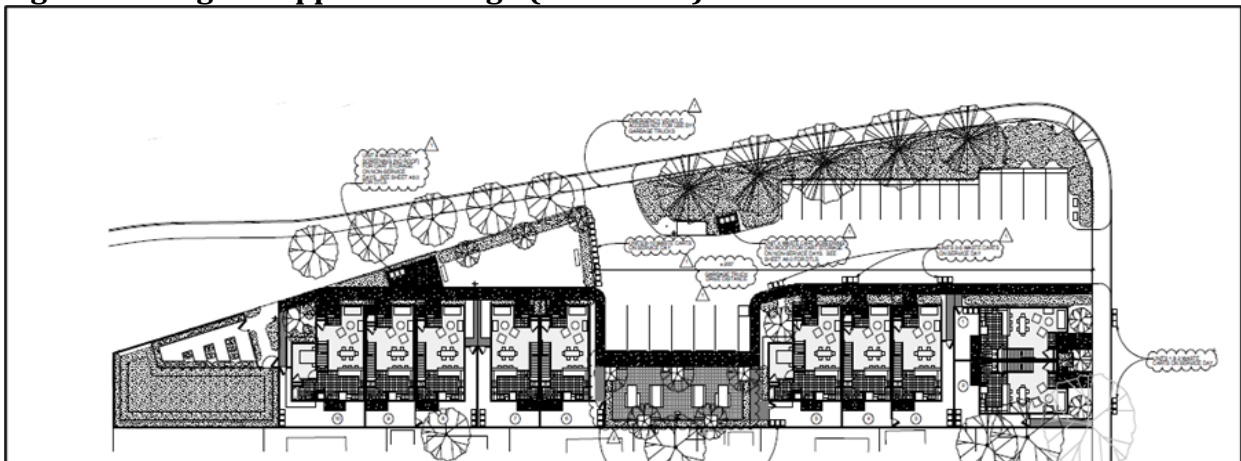
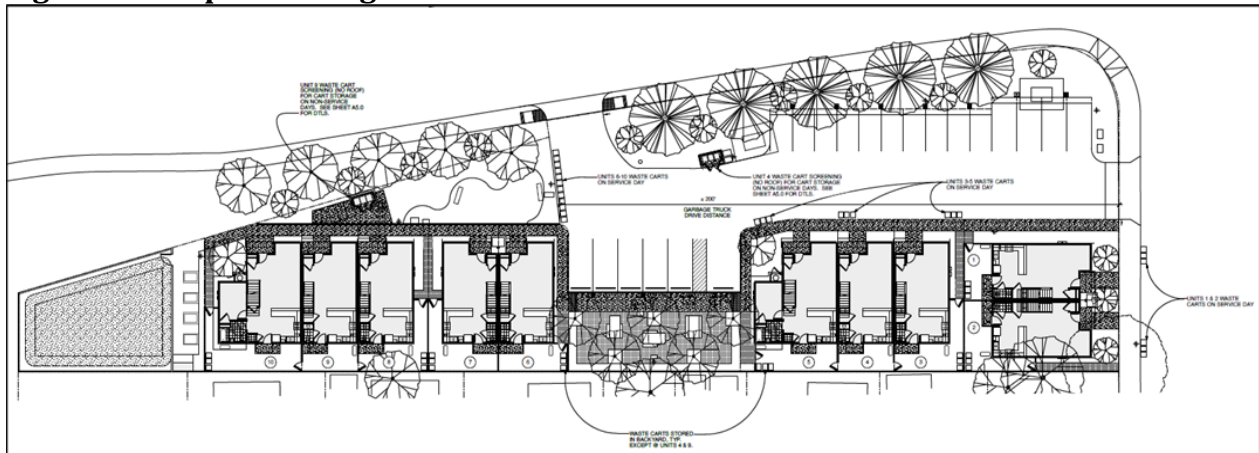


Figure 2 – Proposed Design

Public Outreach: On April 12, 2023, the Planning Division mailed out 122 Notices of Receipt of Application (NOR) for the proposed project to the owners and occupants of all property within 300 feet of the site, as well as to the Burbank Task Force and other interested parties. Staff was contacted by one neighboring property owner residing along B Street in response to the NOR who was pleased to hear the site was planned to be developed with housing because it had occasionally been utilized by homeless persons and was the site of illegal dumping.

On September 14, 2023, a total of 129 public hearing notices were mailed to the owners and occupants of all properties within a 300-foot radius of the project site, as well as the same neighborhood group and other interested parties that received the NOR. A public hearing notice was also published in *The Daily Review* newspaper on this same date. As of the date this staff report was published, Planning Division staff has not received any additional comments from any members of the public regarding the proposed project.

PROJECT DESCRIPTION

Existing Conditions. The project site is currently vacant and enclosed with a chain-link fence. The property is located at the southwest corner of the intersection of A Street and Walnut Street and is surrounded by a mix of single-family homes, duplexes and multi-family apartments along B and Walnut Streets to the south and west, and a mix of commercial and residential development across Walnut and A Streets to the east and north. The properties located across A Street to the north are located in unincorporated Alameda County.

The land is generally flat and contains 14 existing trees, 10 of which are subject to protection under the City's Tree Preservation Ordinance. Five of these trees are mature redwoods located adjacent to A Street, all of which will be preserved and incorporated into the project. The site is wedge-shaped, with the widest portion fronting Walnut Street, and tapers down gradually to the west where it abuts the downhill embankment of the A Street railroad overpass. An existing driveway leads into the site off Walnut Street.

Proposed Project: The project proposes to subdivide the .74-acre site into 12 lots, including two common parcels containing the private driveway, parking, open space and shared amenities, and 10 residential lots, each containing one townhouse. All 10 townhomes will be

deed restricted in perpetuity for sale to first-time homebuyers whose households qualify as low-income, or those earning at-or-below 80% of the area median income (AMI). To make its homes affordable, Habitat utilizes a “sweat equity” model wherein homebuyers spend approximately 500 hours helping to build their new homes in lieu of having to make a traditional downpayment. Habitat then helps the homebuyers secure 30-year fixed-rate mortgages prior to purchase.

The proposed plans feature 10 three-story townhomes grouped in two- and three-unit buildings. The townhomes feature two floor plans, with eight of the units containing three bedrooms and 1,341 square feet, and two containing four bedrooms and 1,553 square feet. One of the two-unit buildings will front on Walnut Street and have a similar setback to the existing duplex on the adjacent property. The remaining eight units will front along the private driveway and common open space and generally face A Street. The buildings feature craftsman-style architecture, with a combination of horizontal and board-and-batten siding, pitched gable roofs with composition shingle roofing, and single-hung windows with wood trim and sunshades. A copy of the project plans are included as Attachment IV.

Open Space. The development features three common useable areas, including a centrally located open space with picnic tables and barbecue grill, a small lawn area with benches, and a community garden with raised planter boxes. Additionally, each unit includes a private rear yard ranging in size from 190 to 320 square feet. A stormwater detention basin is proposed at the western end of the site near the community garden and a generously landscaped area is proposed around the five existing redwood trees along A Street. On-site water, sewer and storm drain lines will be installed within new public utility easements within the development and connect to existing public mains in Walnut and A Streets.

Parking and Circulation. Parking for both residents and guests will be provided in 20 uncovered parking stalls located along the project’s private driveway. All the parking spaces will be equipped with electric vehicle chargers. The project also includes eight on-site bicycle parking spaces. Additional on-street parking for residents and guests is available along Walnut Street. Circulation through the development will be provided via one two-way driveway along Walnut Street and one driveway along A Street. The A Street driveway will be restricted to right-turn-in and right-turn-out only movements, while the Walnut Street driveway will have no turning restrictions.

Sustainability Features: The project will be required to comply with the California Green Building Standards Code (CALGreen) and the City’s Reach Code by featuring all-electric homes that contain no gas-powered appliances, electric vehicle parking spaces, and solar panels on each home. Additionally, all landscaping and irrigation will be required to comply with the City’s Bay-Friendly Water Efficient Landscape Ordinance.

POLICY CONTEXT AND CODE COMPLIANCE

Hayward 2040 General Plan: The project site is designated Medium Density Residential in the *Hayward 2040 General Plan*¹. This land use designation allows for single- and multi-family

¹ [Hayward 2040 General Plan](#)

residential development, including townhomes, apartments and condominiums, at a density ranging from 8.7 to 17.4 dwelling units per net acre. The project proposed 10 townhomes on 0.74 acres resulting in a proposed density of 13.3 units per net acre, consistent with the City's General Plan land use designation. By providing ownership housing opportunities for low-income households on a vacant infill site located close to schools, parks, commercial uses and transit service, the project is consistent with several General Plan goals and policies including, but not limited to, the following:

- Land Use Policy LU-1.4: The City shall encourage property owners to revitalize or redevelop abandoned, obsolete, or underutilized properties to accommodate growth.
- Housing Goal H-2: Assist in the provision of housing that meets the needs of all socioeconomic segments of the community.
- Housing Policy H-2.1: The City shall encourage the development of ownership housing and assist tenants to become homeowners to reach a 60 percent owner-occupancy rate, within the parameters of federal and state housing laws.
- Housing Policy H-3.1: The City shall implement land use policies that allow for a range of residential densities and housing types, prices, ownership, and size, including low-density single family uses, moderate-density townhomes, and higher-density apartments, condominiums, transit-oriented developments, live-work units, and units in mixed-use developments.
- Housing Policy H-3.4: The City shall encourage development of residential uses close to employment, recreational facilities, schools, neighborhood commercial areas, and transportation routes.
- Housing Policy H-6.8: The City shall facilitate and encourage the development of larger rental and ownership units for families with children, including lower- and moderate-income families, and the provision of services such as childcare and after-school care, when feasible.
- Community Health & Quality of Life Policy HQL-5.3: The City shall promote urban design principles that support active use of public spaces in neighborhoods, commercial areas, and employment centers at all times of day. Active use of public spaces provides “eyes on the street” to enhance public safety in these areas.

Zoning Ordinance: The project site was rezoned as a Planned Development in 2015, and Preliminary and Precise Development Plans were approved which featured a project nearly identical to the current proposal. The proposed layout of the subdivision, total number and size of the units, and the setbacks from the adjacent property lines and adjoining developments are all the same as those proposed in the original project. The only changes from the original plans are those needed to bring the project into compliance with current code requirements that have changed since 2015, including the requirement that all parking spaces be equipped with electric vehicle chargers, and including photovoltaic systems for each unit. The current proposal otherwise fully complies with the development plan included in the Planned Development District rezoning and that was reviewed and approved by the Planning Commission and City Council in 2015.

Subdivision Ordinance²: In accordance with the Subdivision Map Act, in order to approve an application for a Vesting Tentative Tract Map, the Planning Commission must make the following findings:

1. The proposed map is consistent with applicable general and specific plans as specified in Government Code Section 65451;
2. The design or improvement of the proposed subdivision is consistent with applicable general and specific plans;
3. The site is physically suitable for the type of development being proposed;
4. The site is physically suitable for the proposed density of development;
5. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
6. The design of the subdivision or type of improvements is not likely to cause serious public health problems; and
7. The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

Staff believes the Planning Commission can make the necessary findings to approve the project as the proposed subdivision conforms to the *Hayward 2040 General Plan* and complies with the applicable requirements of the Municipal Code. A geotechnical investigation was completed for the project which concluded that the site was physically suitable for the type and density of development being proposed, and the project is not likely to have an adverse impact on public health and safety in that its construction will comply with the California Building and Fire Codes and recommendations from the geotechnical investigation. All site improvements will be required to be constructed in accordance with the applicable City standards.

The subdivision will not cause substantial environmental damage or avoidably injure fish or wildlife or their habitat in that the site does not contain any environmentally sensitive features or habitats save for the existing trees, and Habitat will be required to conduct pre-construction surveys of the trees to ensure that no protected bird species are utilizing them for nesting or foraging purposes. Finally, the subdivision design will not conflict with any existing public easements in that no such easements currently encumber the property. More detail for each of the required findings is provided in the Draft Findings for Approval contained in Attachment II.

SB 330 and Housing Crisis Act: In 2019, the State of California adopted new legislation (SB 330) intended to address the State's housing crisis. SB 330 strengthens the Housing Accountability Act (Government Code Section 65589.5), which states that a housing project that complies with the objective standards of the General Plan and Zoning Ordinance must be approved unless the City is able to make written findings based on the preponderance of the evidence in the record that either: (1) the City has already met its Regional Housing Needs Assessment (RHNA) requirement; (2) there is an impact to the public health and safety and this impact cannot be mitigated; (3) the property is located on agricultural land; (4) approval of the project would violate State or Federal law and this violation cannot be mitigated; or (5) the project is

² [Hayward Municipal Code Chapter 10, Article 3 – Subdivision Ordinance](#)

inconsistent with the zoning and land use designation and not identified in the General Plan Housing Element RHNA inventory. “Objective” means involving no personal or subjective judgment by a public official and being uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official.

As described above, the project was originally approved in 2015 after being found consistent with the General Plan and Subdivision Map Act and meeting the requirements of the Planned Development District ordinance. As noted above, the proposed plan is largely the same as the one approved in 2015, with minor changes, and the previously approved project is consistent with the approved PD District plans and the General Plan land use designation.

Regional Housing Needs Allocation & Affordable Housing Ordinance: Local jurisdictions report progress annually on meeting their Regional Housing Needs Allocation (RHNA) goals which are included in the City’s Housing Element. The 6th Cycle Housing Element (2023-2031) was adopted by the City Council on February 7, 2023, and subsequently certified by the State Department of Housing and Community Development. In the next eight-year cycle (2023-2031), the City is required to build 4,624 units at a variety of income levels. According to the Housing Element, Appendix C, Table C-3, Planned, Approved and Pending Projects, there are a total of 2,073 units that are approved or otherwise pending at various income levels during the upcoming cycle. The proposed development would add 10 low-income ownership units to the City’s total.

HMC Section 10-17.210 – On-Site Units in Ownership Residential Projects³ requires all new ownership residential projects providing on-site affordable units to include a minimum of 12 percent of the total units as for-sale affordable units, with one-half being affordable to moderate-income households and one-half affordable to low-income households. The project features 10 new housing units, all of which will be deed restricted as affordable in perpetuity to first-time homebuyers meeting the definition of low-income households. As a 100 percent affordable housing development for low-income households, the proposed project exceeds the minimum requirements of the Affordable Housing Ordinance. A copy of the approved Affordable Housing Plan for the project is included as Attachment V.

Parkland Dedication/Park Impact Fees: Pursuant to HMC Section 10-16.11 – Exemptions from Requirements⁴, as a project being developed by a non-profit housing developer providing home ownership opportunities with 100 percent of the units available to low-income households in perpetuity, the project is exempt from Park Impact Fees.

STAFF ANALYSIS

Staff believes that the findings in support of the approval of the Vesting Tentative Tract Map and Site Plan Review application can be made by the Planning Commission. The recommended findings and conditions of approval are included in Attachments II and III to this staff report, respectively. The findings required for approval of Vesting Tentative Map mandate that the

³ [Hayward Municipal Code Section 10-17.210 – On-Site Units in Ownership Residential Projects](#)

⁴ [Hayward Municipal Code Chapter 10, Article 16 – Property Developers-Obligations for Parks and Recreation](#)

subdivision be consistent with the City's General Plan and adhere to all applicable standards of the Zoning Ordinance and Subdivision Ordinance, and this project was found to do both when the previous Vesting Tentative Tract Map application and Planned Development District Rezoning application with accompanying Development Plan were approved by the Planning Commission and City Council in 2015. The proposed subdivision would not result in any significant modifications to the previously approved Vesting Tentative Tract Map, with the only changes being those needed to bring the project into compliance with the local and state code requirements that have changed since the original approval date. Furthermore, the proposed subdivision design does not require any variances from or exceptions to the applicable development standards for a townhouse-style development with private driveway.

Since the subject property is zoned PD District, there are no applicable zoning-related development standards to apply to the Site Plan Review application in this case other than reviewing the proposed development against the previously approved Development Plan. As described above, the proposed development plan is largely the same as the plan that was reviewed and approved by the Planning Commission and City Council in 2015. Staff believes that the Commission can again make the required findings to approve the Vesting Tentative Map and Site Plan Review application. The current plans incorporate all of the amenities featured in the original plans, and do not propose any changes to the density, parking count, or overall size, height of layout of any of the dwelling units. As such, they would not pose any new adverse impacts on the adjoining residential uses or the surrounding neighborhood.

ENVIRONMENTAL REVIEW

A Mitigated Negative Declaration was originally prepared for the project in accordance with the requirements of the California Environmental Quality Act (CEQA) and adopted by the City Council when it approved the Planned Development District rezoning and now-expired Vesting Tentative Tract Map on January 27, 2015 (see Attachment VI). The proposed project is essentially the same as the one for which the Mitigated Negative Declaration was adopted, with the only changes being those required to bring it into compliance with the current requirements of the Municipal Code, California Building Code, and Subdivision Map Act. The proposed layout of the subdivision, total number of units, and size of the units are all substantially the same as those proposed in the original project for which the Mitigated Negative Declaration was adopted. Furthermore, no physical changes to the project site have occurred since the Mitigated Negative Declaration was adopted that could result in new effects on the environment that were not already analyzed during the review of the original project; and no new information of substantial importance was discovered that would indicate that the project would result in any new impacts or that any previously adopted mitigation measures are not feasible. Therefore, in accordance with Section 15162 of the CEQA Guidelines, no subsequent environmental analysis is required.

NEXT STEPS


Following the Planning Commission hearing, a ten-day appeal period will take place. If no appeal is received, then the Commission's decision will become final, and Habitat would then be able to proceed with the applications for the Final Map and Subdivision Improvement Plans for the project, as well as the building and grading permits needed to construct it. If an appeal

is filed, then a hearing by the City Council will be scheduled for a date to be determined to consider the appeal.


Prepared by: Steve Kowalski, Associate Planner

Recommended by: Leigha Schmidt, Principal Planner

Approved by:



Jeremy Lochirco, Planning Manager



Sara Buizer, AICP
Development Services Director

**CITY OF HAYWARD PLANNING COMMISSION
VESTING TENTATIVE TRACT MAP 8104 & SITE PLAN REVIEW
APPLICATION NO. TM-23-0003
SEQUOIA GROVE – 123 A STREET**

DRAFT FINDINGS FOR APPROVAL

VESTING TENTATIVE MAP

Pursuant to Hayward Municipal Code Section 10-3.150 and the Subdivision Map Act, in order for a vesting tentative tract map to be approved, the Planning Commission shall make the following findings:

A. The proposed subdivision is not in conflict with the General Plan and applicable specific plans and neighborhood plans;

The proposed map is consistent with the General Plan in that it features a density of 13.3 units per net acre while the Medium Density Residential land use designation of the *Hayward 2040 General Plan* allows a range of 8.7 to 17.4 units per net acre. Furthermore, the subdivision is also consistent with the following General Plan goals and policies:

- Land Use Policy LU-1.4: The City shall encourage property owners to revitalize or redevelop abandoned, obsolete, or underutilized properties to accommodate growth.
- Housing Goal H-2: Assist in the provision of housing that meets the needs of all socioeconomic segments of the community.
- Housing Policy H-2.1: The City shall encourage the development of ownership housing and assist tenants to become homeowners to reach a 60 percent owner-occupancy rate, within the parameters of federal and state housing laws.
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- Community Health & Quality of Life Policy HQL-5.3: The City shall promote urban design principles that support active use of public spaces in neighborhoods, commercial areas, and employment centers at all times of day. Active use of public spaces provides “eyes on the street” to enhance public safety in these areas.

B. The proposed subdivision meets the requirements of the City Zoning Ordinance; and

The project complies with the intent of City development policies and regulations in that the Medium Density Residential General Plan land use designation and the development standards of the Planned Development District established for the site by the City Council in 2015 both allow for multi-family residential development at the density, layout, size and scale being proposed. The design of the proposed subdivision is consistent with the density range prescribed for residential projects by the Medium Density Residential (MDR) General Plan land use designation, as well as specific goals and policies outlined in Finding (A), above. The proposed internal street is designed to accommodate the anticipated traffic that the project will generate and complies with the applicable City standards for a private driveway, and all necessary utilities, including water, sewer, and storm drain facilities, will be provided to accommodate the proposed development and be required to be constructed in accordance with City standards.

The project site is surrounded by existing commercial and residential uses and does not contain any environmentally sensitive habitat except for 14 existing trees. The proposed development will include Standard Conditions of Approval that will reduce potential impacts to protected bird species that may be nesting or foraging in these trees to a less-than-significant level by requiring pre-construction surveys of the trees in accordance with the requirements of the Federal Migratory Bird Treaty Act. Furthermore, the design of the subdivision and related improvements will not cause substantial environmental damage in that there are existing utilities in place within A Street and Walnut Street that the project will be able to connect to without requiring significant extensions or upsizing, and a geotechnical investigation was conducted for the project which confirmed that the subdivision could be developed safely on the site from a geological standpoint as long as the recommendations in the investigation were followed during its construction (a condition of approval has been included requiring adherence to the investigation's recommendations).

C. No approval of variances or other exceptions are required for the approval of the subdivision.

The proposed subdivision does not require the approval of any variances or exceptions as the project was previously approved as a Planned Development District with development standards specific to this project. The subdivision will be compliant with the Hayward Municipal Code with respect to the Zoning Ordinance and Subdivision Ordinance.

SITE PLAN REVIEW

Pursuant to Hayward Municipal Code Section 10-1.3025, the Planning Commission may recommend approval of an application when all of the following findings are made:

A. The development is compatible with on-site and surrounding structures and uses and is an attractive addition to the City.

The project is compatible with surrounding development in that the immediate area around the site consists primarily of one- and two-story residential and commercial structures with a mix of flat and pitched roofs and similar siding and roofing materials. It will also be an attractive addition to the City in that it will result in the development of a vacant, underutilized site with an attractively designed residential subdivision with onsite parking and amenities for its residents and guests, as well as all new site landscaping that will further enhance the aesthetic quality of the site. Additionally, several mature native redwood trees will be preserved as a key project feature along the A Street frontage.

B. The development takes into consideration physical and environmental constraints.

The site, which originally consisted of nine individual lots fronting along A Street, was previously developed with several single-family homes which were demolished in the late 1980s when the railroad overpass was constructed, and the street was realigned. As such, there are no significant physical or environmental constraints encumbering the site. Nevertheless, the development takes into consideration the existing features to the extent practicable by preserving and incorporating several of the site's large, healthy trees, including five redwood trees along A Street and completely avoiding the toe of the overpass embankment.

The development utilizes an infill site surrounded by existing infrastructure with adequate capacity to serve the proposed subdivision. The improvements to be installed for the subdivision, including the necessary infrastructure as well as the designs of the grading, foundations, and buildings will be required to comply with the applicable engineering and life safety standards which ensure that they function properly and safely with no adverse effects on the public health and welfare.

In addition, a Geotechnical Investigation was prepared by Rockridge Geotechnical on July 19, 2012, which demonstrates that the site is physically suitable for the proposed type of development provided that the developer adheres to all recommendations presented in the report for site preparation and compaction, as well as the design of all in-ground and subsurface structures and facilities, including foundations, retaining walls, and driveways. Conditions of approval have been included requiring adherence to the recommendations contained in the Geotechnical Investigation.

C. The development complies with the intent of City development policies and regulations.

The project complies with the intent of City development policies and regulations in that the Medium Density Residential General Plan land use designation and the development standards of the Planned Development District established for the site by the City Council in 2015 both allow for multi-family residential development at the density, layout, size and scale being proposed. Furthermore, the design complies with the applicable Hayward Design Guidelines in that it features traditional architecture compatible with the surrounding residential development, with plentiful articulation

and an attractive variety of building materials and trim elements and recessed front entries that face the street and private drive, attractively landscaped common open spaces with useable amenities for residents, and the preservation and incorporation of several mature, native redwood trees located along the property's A Street frontage into the site plan.

D. The development will be operated in a manner determined to be acceptable and compatible with surrounding development.

The development will be operated in a manner that is acceptable and compatible with the surrounding development in that it will feature 10 residential units on a parcel that is surrounded almost entirely by single-family and multi-family residential uses along Walnut Street and B Street. The units will be used to house 10 separate households and, as such, will not differ significantly from the existing uses in the surrounding neighborhood.

As previously mentioned, the development utilizes an infill site surrounded by existing infrastructure with adequate capacity to serve the proposed subdivision. The improvements to be installed for the subdivision, including the necessary infrastructure as well as the designs of the grading, foundations, and buildings will be required to comply with the applicable engineering and life safety standards which ensure that they function properly and safely with no adverse effects on the public health and welfare.

ENVIRONMENTAL REVIEW

A Mitigated Negative Declaration was previously adopted by the Hayward City Council in accordance with the requirements of the California Environmental Quality Act (CEQA) on January 27, 2015 for the original Vesting Tentative Tract Map and Planned Development Rezoning applications (PL-2013-00291 and PL-2013-00290, respectively) related to the proposed project which adequately addressed its environmental impacts and included mitigation measures which would reduce all identified impacts to less-than-significant levels. The proposed project is essentially the same as the one for which the Mitigated Negative Declaration was adopted, with the only changes being those required to bring the project into compliance with current Municipal Code, California Building Code, and Subdivision Map Act requirements. The proposed layout of the subdivision, total number of units, and size of the units are all substantially the same as those proposed in the original project for which the Mitigated Negative Declaration was adopted. Furthermore, no changes to the project site have occurred since the Mitigated Negative Declaration was adopted that could result in new effects on the environment that were not already analyzed during the review of the original project. Therefore, in accordance with Section 15162 of the CEQA Guidelines, no subsequent environmental analysis is required in that:

- (1) No substantial changes are proposed in the project which require major revisions of the previous Mitigated Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

- (2) No substantial changes will occur with respect to the circumstances under which the project is undertaken which require major revisions of the previous Mitigated Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and
- (3) No new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous Mitigated Negative Declaration was adopted, shows any of the following:
 - (a) The project will have one or more significant effects not discussed in the previous Mitigated Negative Declaration;
 - (b) Significant effects previously examined will be substantially more severe than shown in the previous Mitigated Negative Declaration;
 - (c) Mitigation measures previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures; or
 - (d) Mitigation measures which are considerably different from those analyzed in the previous Mitigated Negative Declaration would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measures.

**CITY OF HAYWARD PLANNING COMMISSION
TENTATIVE TRACT MAP & SITE PLAN REVIEW APPLICATION NO. TM-23-0003
TRACT 8104 - SEQUOIA GROVE - 123 A STREET**

DRAFT CONDITIONS OF APPROVAL

General

Planning

1. The applicant shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
2. Vesting Tentative Tract Map and Site Plan Review Application No. TM-23-0003 is hereby approved subject to conformance to the Vesting Tentative Tract Map and accompanying civil plans prepared by Lea & Braze Engineering, Inc. and last dated August 3, 2023, the architectural plans prepared by Geoffrey Holton and Associates last dated August 4, 2023, and the landscape plans prepared by Robert Mowat Associates last dated August 2, 2023 (all combined as Attachment IV to the staff report), except as modified by the conditions listed below. Minor modifications to the approved plans may be approved by the Planning Manager; however, any modifications that require a variance or that the Planning Manager deems to be significant shall require review and re-approval by the Planning Commission.
3. The permittee, property owner or designated representative shall allow the City's staff to access the property for site inspections to confirm all approved conditions have been satisfied and all improvements are being maintained in compliance with all adopted city, state and federal laws and regulations.
4. The applicant shall apply for and obtain all necessary permits from the City and/or outside agencies prior to commencing any site work.
5. For as long as it remains vacant, the property owner shall be responsible for securing and maintaining the site in accordance with Hayward Municipal Code (HMC) Chapter 4, Article 1 - Public Nuisances, HMC Chapter 5, Article 7 - Community Preservation and Improvement, and the California Building Code, among other applicable regulations.
6. A copy of these conditions of approval shall be scanned and included on a separate, full-sized sheet(s) in the building permit plan check set.
7. Property addresses shall be assigned by the Development Services Department, Building Division prior to issuance of building permits.
8. All vents, gutters, downspouts, flashings, electrical conduits, etc., shall be painted to match the color of the adjacent exterior building material unless specifically designed as an architectural element.

9. The owner shall maintain in good repair all building exteriors, fencing, lighting, drainage facilities, landscaping, driveways, and common areas. The property shall be kept clean and weed-free at all times.
10. In accordance with HMC Section 10-3.246(a), a Tentative Map shall expire 36 months after its approval unless a statutory or discretionary extension is granted in accordance with the Subdivision Map Act and Subdivision Ordinance of the Hayward Municipal Code.
11. In accordance with HMC Section 10-1.3055, Site Plan Review approval is void 36 months after the effective date of approval unless:
 - a. Prior to the expiration of the 36-month period, a building permit application has been submitted and accepted for processing by the Building Official or his/her designee. If a building permit is issued for construction of improvements authorized by this approval, said approval shall be void two years after issuance of the building permit, or three years after approval of the application, whichever is later, unless the construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance on this approval; or
 - b. A time extension of the approval has been granted by the Development Services Director or his/her designee. Any request for an extension of this approval must be submitted in writing to the Planning Division at least 15 days prior to the expiration date of this approval.

Landscaping

12. No building permit shall be issued prior to approval of landscape and irrigation improvement plans that are submitted as part of the subdivision improvement plans under the grading permit application.
13. A tree removal permit shall be obtained from the City Landscape Architect in addition to demolition and grading permits (if applicable) prior to the removal of any tree.
14. A tree preservation bond of \$67,050.00 that is equal to the appraised tree value shall be submitted to the City Landscape Architect prior to issuance of a grading permit. The bond will remain in place until the completion of construction. A written request for releasing the bond shall be submitted to the City Landscape Architect.
15. Trees shall be located a minimum of five feet from all utility service lines and driveways, a minimum of nine feet from the center-line of fire hydrants, a minimum of fifteen feet from light poles, and a minimum of thirty feet from the face of traffic signals, or as otherwise specified by the City.
16. All final tree locations shall be field verified by the project landscape architect and any conflicts that arise in the field shall be resolved prior to planting.
17. Trees shall be healthy, disease and insect-free, well-rooted, and properly trained with a straight trunk that can stand upright without support. Trees shall exhibit a central leader, or a main branch that can be trained as a central leader. Branches shall be well-

developed and shall be evenly and radially distributed around the trunk. Root balls shall not exhibit kinked or circling roots.

18. Root barriers shall be installed linearly against the paving edge in all instances where a tree is planted within seven feet of pavement or buildings, and as recommended by the manufacturer.

Hazardous Materials

19. Structures and their contents shall be removed or demolished under permit in an environmentally sensitive manner. Proper evaluation, analysis and disposal of materials shall be done by appropriate professionals to ensure that hazards posed to the project's construction workers, the environment, future uses, and the general public are mitigated.
20. Any existing wells, septic tank systems and other subsurface structures shall be removed properly to minimize threats to the health and safety of the development construction workers, future residents, or the environment. These structures shall be documented and removed under permit from the appropriate regulatory agency/ies when required.

Utilities

21. The public utility easement (PUE) shall be extended to the property line near the driveway entrance on A Street.
22. All connections to existing water mains shall be performed by City Water Distribution personnel at the applicant's expense.
23. Any modifications to existing water services such as but not limited to upsizing, downsizing, relocating, and abandoning shall be performed by City Water Distribution personnel at the applicant's expense.
24. Only City of Hayward Water Distribution personnel shall perform operation of valves on the City of Hayward Water System.
25. Each residential dwelling unit shall be served by its own water meter. If there are exceptional project constraints that make it infeasible to install separate City water meters for each unit, the developer may submit a written request to the Director of Public Works for a waiver to install a shared domestic water meter for the residential units. If the waiver is granted, the residential units shall be served by one domestic water meter and private submeters shall be installed for each residential unit, per State Senate Bill 7 (SB-7).
26. Fire flow data may be required for this project. Information regarding existing fire flow data and how to request new fire flow test data is available on the City's Fire Flow Testing website, here: <https://www.hayward-ca.gov/fireflow>.
27. The fire service size shall be determined by the Fire Department's requirements. All fire services must have an above-ground double check valve assembly (DCVA), per City

Standard Detail 204 (SD-204) and 201 (SD-201). New fire services must be installed by the City's Water Distribution personnel at the applicant's expense.

28. A separate fire permit is required for the fire sprinkler system installation. The water meter size shall be determined by the Fire Department's requirements for that permit; however, a minimum 1" water meter is required for residential fire sprinklers. Residential combined domestic and fire services are allowed, per City of Hayward Standard Detail 216 (SD-216). The configuration must have two separate water service lines on the backside of the water meter: one for domestic water service and one for fire water service, as shown on Figure 2B on SD-216. The applicant or owner is responsible for installing the backside configuration of the water service.
29. The development shall have a separate irrigation water service for landscaping.
30. The applicant shall install an above ground Reduced Pressure Backflow Prevention Assembly (RPBA) on each irrigation water meter, per City of Hayward Standard Detail 202 (SD-202). Backflow preventions assemblies shall be at least the size of the water meter or the water supply line on the property side of the meter, whichever is larger. Backflow prevention assemblies installed on potable water sources shall be lead-free.
31. Water meters and services are to be located a minimum of two feet from top of driveway flares as per City Standard Detail 213 (SD-213) through 218 (SD-218). Water meters shall not be located in the driveway. Water meter lids shall be Nicor, Inc. brand.
32. Water mains and services, including the meters, must be located at least ten (10) feet horizontally from and one (1) foot vertically above any parallel pipeline conveying untreated sewage (including sanitary sewer laterals), and at least four feet from and one (1) foot vertically above any parallel pipeline conveying storm drainage, per the current California Waterworks Standards, Title 22, Chapter 16, Section 64572. The minimum horizontal separation distances can be reduced with written authorization from the State Water Resources Control Board Division of Drinking Water.
33. The applicant is responsible for applicable water and sewer connection/capacity fees, at the rates in effect at the time of application for water and sewer service, prior to water connection and sewer discharge.
34. The development's sanitary sewer mains and manholes shall be public, owned and maintained by the City. The development shall dedicate to the public a Sanitary Sewer Easement (SSE) including rights of ingress and egress for the purpose of construction and maintenance of public sewer system facilities within the development. The entire paved parking lot shall be an SSE, and a minimum 10-foot-wide SSE shall be dedicated to the City within Lot B west of the western limit of the parking lot, centered over the proposed sewer main. No bio-retention areas, trees, or permanent structures shall be located within the SSE.
35. Off-site sanitary sewer pipeline improvements shall be required to serve the proposed development as determined by the Public Works Director. The sewer improvements shall be at the applicant's expense and to the satisfaction of the City Engineer. Sanitary

sewer pipeline improvements include, but are not limited to, constructing new sanitary sewer pipelines to accommodate the project, installing new sanitary sewer manholes, and connecting to existing sewer mains.

36. The extension of the sanitary sewer main shall be constructed, at the applicant's expense, to accommodate the development as follows:
 - a. Construct new sanitary sewer main in Walnut Street to connect to the existing sanitary sewer main in B Street.
 - b. Manholes shall be installed in the sewer main at any change in direction or grade, at intervals not to exceed 400 feet, and at the upstream end of the pipeline.
 - c. Where sanitary sewer lines and/or laterals are the same size as the sanitary sewer main, the connection shall be made with a manhole.
37. All sewer mains and appurtenances shall be constructed in accordance with the City's latest "Specifications for the Construction of Sewer Mains and Appurtenances," revision at the time of permit approval, which is available on the City's website here: <https://www.hayward-ca.gov/your-government/departments/engineering-division>.
38. Green PVC C900 pipe with concrete encasements shall be provided for all sewer mains having less than four feet of cover.
39. Sewer cleanouts shall be installed on each sewer lateral at the connection with the building drain, at any change in alignment, and at uniform intervals not to exceed 100 feet.
40. Each unit shall have its own sanitary sewer lateral per City Standard Details SD-312 and SD-313

Engineering

41. The subdivision and final map shall comply with the State Subdivision Map Act and Hayward Municipal Code Chapter, 10 Article 3 as determined and approved by the City Engineer.
42. A current title report shall be submitted to identify current ownership and any existing easements or land use restrictions.
43. Unless otherwise stated, all necessary easements shall be dedicated, and all improvements shall be designed and installed at no cost to the City of Hayward. Prior to or concurrent with applicable final map recordation, the applicant shall record required reciprocal easements, ingress/egress easements and maintenance agreements for common use facilities and access ways.
44. All required and conditioned improvements shall be complete as per plans approved by the City Engineer prior to Final Map approval, or the subdivider shall execute a Subdivision Improvement Agreement and post improvement securities in form and amounts acceptable to the City.

45. Subdivision improvements shall meet the needs for public health, safety and welfare and comply with the current Standard Details and Specifications of the City of Hayward and other involved agencies. Such improvements shall include, but are not limited to, those needed for all-weather vehicular and pedestrian access, fire and traffic safety, safety lighting, collection and disposal of sanitary sewer drainage, and solid waste, and utility services for water, telecommunications, electricity, and heating.
46. A Homeowners Association (HOA) shall be incorporated, and its related Covenants, Conditions and Restrictions (CC&Rs) shall be submitted to the City for review and approval before submittal to the State Department of Real Estate (DRE) and filing in the public records of Alameda County prior to the sale of any parcel.
47. The CC&Rs shall include the following provisions:
 - a. The HOA shall be managed by a professional property management company.
 - b. The HOA shall maintain updated registration information with the Secretary of State.
 - c. The HOA shall own and maintain in fully functional condition and good repair all areas, improvements, retaining walls, area lighting, driveways and facilities created for common use of the property owners within the project but not dedicated or accepted by the City for its maintenance.
 - d. The HOA shall be responsible for complying with the current and all future updates to the Community Preservation and Improvement Ordinance, Hayward Municipal Code Chapter 5, Article 7.
 - e. The HOA shall maintain the common area landscaping in a healthy, weed-free condition and maintain its irrigation system consistent with project approvals.
 - f. The CC&Rs shall describe how the HOA shall maintain the stormwater treatment and site-design measures associated with privately owned improvements and landscaping.
 - g. The HOA shall own and maintain on-site area lights which shall have a decorative design approved by the Planning Director and City Engineer.
 - h. The HOA shall arrange for street sweeping of the private street and private parking stalls at least once a month.

Transportation

48. Pursuant to City of Hayward Traffic Code Article 9, the Homeowners Association shall maintain adequate visibility and sight distance, as defined by City of Hayward Traffic Code, at all project driveways and access points.

Solid Waste

49. The property owners or property manager shall be responsible for staging waste containers (landfill, recycling, and organics) from Units 6 through 10 for collection on collection days. They shall be staged as marked on Sheet A1.1 on collection days. Waste containers (landfill, recycling, and organics) for Units 1 through 5 shall be placed curbside in front of their respective unit on collection days. The containers cannot be placed at the curb any earlier than 6:00 a.m. the day before scheduled collection and

are required to be retrieved by no later than midnight on the days the containers are emptied.

Prior to the Issuance of Building/Grading Permit

Planning

50. All permit charges accrued in the processing of Vesting Tentative Tract Map and Site Plan Review Application No. TM-23-0003 shall be paid in full prior to issuance of any building and/or grading permits for the project or consideration of a request for approval of any extensions of the Vesting Tentative Tract Map or Site Plan Review approvals for the project.
51. A pre-construction nesting bird survey shall be completed prior to any tree removals or the start of any demolition, grading or construction activities if such activities are proposed to commence during the breeding season (February 1 to August 31) in order to avoid impacts to nesting birds. The survey shall be completed by a qualified biologist or ornithologist no more than 14 days before demolition/construction activities begin. For the survey, the biologist or ornithologist shall inspect all trees and other possible nesting habitats in and within 250 feet of the project boundary. If an active nest is found in an area that would be disturbed by demolition and/or construction, the biologist or ornithologist shall designate an adequate buffer zone (~250 feet) to be established around the nest, in consultation with the California Department of Fish and Wildlife (CDFW). The buffer must ensure that the nest(s) shall not be disturbed until the young have fledged (left the nest), the nest(s) is vacated, and there is no evidence of second nesting attempts. The applicant shall submit a report indicating the results of the survey and any designated buffer zones to the Planning Division prior to the removal of trees and issuance of a grading permit or demolition permit.
52. **Mitigation Measure GEO-1:** Prior to issuance of a building permit for the project, the applicant shall implement all measures as recommended by the project geotechnical consultant.

Landscaping

53. Prior to issuance of the first building permit, detailed landscape improvement plans prepared by a licensed landscape architect on an accurately surveyed base shall be approved as a part of grading permit/subdivision improvement plans. The plans shall comply with the City's Bay-Friendly Water Efficient Landscape Ordinance (California Building Code Title 23) and all relevant Municipal Codes. The plans shall be stamped, signed and dated by the project landscape architect. The plans must include the tree mitigation summary chart and the water efficiency compliance statement and water budget calculations. Once approved by the City, copies of the approved landscape improvement plans shall be submitted as a part of the building permit submittal.
 - a. Proposed recycled plastic header boards under the existing Redwood trees being preserved shall be removed to avoid unnecessary root cuttings unless the header board would provide a critical function.

- b. Pursuant to HMC Section 10-12.07(a)(2)(C)2, all plant spacing shall not be closer than the minimum spread provided in the reference books in the Water Efficient Landscape Ordinance.
- c. Details for the backflow prevention device shall conform to City Standard Detail SD-202 and shall be provided on the irrigation detail sheet.

Housing

- 54. This development is subject to the requirements of the Affordable Housing Ordinance set forth in Chapter 10, Article 17 of the Hayward Municipal Code. The applicant shall comply with the affordable housing requirements as reflected in the attached final Affordable Housing Plan on file with the Housing Division and included as Attachment V to the staff report and detailed per Section 10-17.510 Affordable Housing Plan.
- 55. Pursuant to Hayward Municipal Code Sections 10-17.515 and 10-17.525, the applicant shall enter into and record against the property an Affordable Housing Agreement that includes all elements set forth in the Affordable Housing Ordinance and the final Affordable Housing Plan on file with the Housing Division and included as Attachment V to the staff report, prior to the approval of a final map or issuance of the first building permit, whichever occurs first. Additional rental or resale restrictions, deeds of trust, option agreements and/or other documents acceptable to the City Manager or designee shall be recorded.

Fire Protection

- 56. Duplex buildings are required to include fire sprinkler systems installed in accordance with National Fire Protection Association (NFPA) 13D. Triplex buildings are required to include fire sprinkler systems installed in accordance with NFPA 13D when the demising walls between residential units are provided with one two-hour-rated wall or two one-hour-rated walls. Otherwise, sprinkler systems installed in accordance with NFPA 13 shall be provided in all triplex buildings.
- 57. Maximum 80 PSI water pressure shall be used when water data indicates a higher static pressure. Residual pressure should be adjusted accordingly.
- 58. Underground fire service lines serving NFPA 13D sprinkler systems shall be installed in accordance with the Hayward Public Works Department Standard Detail SD-216. Water meters shall be minimum one inch in diameter. Sprinkler monitoring systems shall be provided for all NFPA 13 sprinkler systems.
- 59. Underground fire service lines serving NFPA 13 sprinkler systems shall be installed in accordance with the Hayward Public Work Department Standard Detail SD-204/216. Water meters shall be minimum four-inch in diameter.
- 60. An audible alarm bell device shall be installed on each separate fire sprinkler system riser.

61. An interior audible alarm device shall be installed within the dwelling in a location so as to be heard throughout the home. The device shall activate upon any fire sprinkler system waterflow activity.
62. All bedrooms and hallway areas shall be equipped with smoke detectors, hard-wired with battery backup. Installation shall conform to the California Building Code (CBC).
63. Carbon monoxide (CO) detectors shall be placed near the sleeping area on a wall approximately 5 feet above the floor or on the ceiling. Each floor shall have a separate CO detector.
64. An approved spark arrestor shall be installed on any chimney cap.
65. A minimum 4-inch self-illuminated address shall be installed on the front of each dwelling in a location so as to be visible from the street. Otherwise, a minimum 6-inch address shall be installed on a contrasting background in a location approved by the Fire Department.
66. All public streets serving the property, private streets and private courts shall be designed and engineered to withstand 75,000 lbs. gross vehicle weight of fire apparatus.
67. Spacing and locations of fire hydrants shall be subject to review and approval by the Hayward Fire Department. The type of fire hydrant to be installed shall be Double Steamer Hydrant (Clow Valve Co. Model 865 with one 2-1/2" outlet & two 4-1/2" outlets), capable of flowing a minimum of 1,500 gallons per minute. The design and layout of the hydrants shall be reviewed and approved by the Fire Department.
68. All portions of all buildings shall be located within 400 feet of a fire hydrant. Fire hydrants shall be placed at least 50 feet from the building to be protected. Where it is not feasible to place them at that distance, hydrants may be in closer proximity in approved locations. A separate fire permit is required for hydrant installation.
69. Blue reflective pavement markers shall be installed at all fire hydrant locations. If fire hydrants are in locations that could be subjected to vehicle collisions as determined by the Hayward Fire Department, crash posts shall be installed around the hydrants.

Hazardous Materials

70. An evaluation and regulatory oversight is required to ensure that the site meets environmental and health-based clearances that are appropriate for residential development. The applicant shall provide clearance documentation from the Alameda County Department of Environmental Health's Local Oversight Program (LOP) to ensure that the property meets the applicable development investigation and cleanup standards. The LOP contact, Paresh Khatri, can be reached at (510) 567-6700 or (510) 777-2478. Clearance from the LOP will ensure that the proposed residential project meets development investigation and cleanup standards, including, if necessary, any clearance stipulations, such as a deed restriction or the need for a groundwater/soil vapor/soil management plan. LOP clearance shall be submitted to the Hayward Fire

Department's Hazardous Materials Office and Public Works/Engineering Division prior to issuance of any grading and building permits.

Engineering

71. A City grading permit shall be secured, and the Final Map shall be recorded in the County Recorder's office before a building permit is issued for any new structures. Model homes may be permitted prior to recordation of the Final Map in accordance with Subdivision Map Act Section 66499.30(a).
72. The design documents and plans for the site grading and improvements shall be prepared by or under the direction of a State licensed design professional and approved by the City Engineer. Plans shall provide construction details for all improvements proposed in the project application and required by the City's conditions of approval.
73. The subdivider shall obtain permits or approvals from all affected agencies or private parties. Copies of applicable permits or approvals shall be provided to the City Engineer upon request.
74. The subdivider shall secure the City Fire Marshal's approval of improvements for all weather emergency vehicle access and fire protection before flammable material is brought on-site.
75. The City Engineer's approval is required for the final grading, drainage and improvement plans.
76. All grading, retaining walls, surface and sub-surface drainage, lot drainage, and utility trench backfilling shall be designed in accordance with the recommendations of the soils report prepared by the project's geotechnical engineer, subject to approval by the City Engineer. Plans for grading and drainage for the grading permit shall be reviewed and signed by the soils report engineer certifying that the recommendations in the report have been followed. Arrangements shall be made with the soils report engineer to submit a certification to the City Engineer confirming that grading, drainage and backfill installation related work was performed in general compliance with recommendations in the geotechnical report. All material testing reports will be submitted as attachments to the certification letter report.
77. A building permit is required for earth retaining structures exceeding 4 feet in height (measured from the bottom of footing to top of wall). This permit shall require structural calculations and details prepared by a licensed civil or structural engineer and approval by the City's Building Division.
78. The project shall not block runoff from, or augment runoff to, adjacent properties. The applicant shall be required to mitigate augmented runoff to maintain post-development site discharge rates to less than or equal to pre-development discharge rates to the satisfaction of the City Engineer.
79. The Alameda County Flood Control and Water Conservation District's Hydrology and Hydraulics Criteria Summary shall be used to design the storm drain system. On-site

surface drainage shall be collected and conveyed to a public drainage system as per plans approved by the City Engineer. The storm drainage system shall be designed to convey a 10-year storm event.

80. Drainage plans shall include all proposed underground pipes, building drains, area drains and inlets. All building sites shall be graded to slope away from the building foundations per California Building Code, Chapter 18, Section 1804.3 Site Grading, or as required by the soils engineer. On-site collector storm drains shall be sized to minimize potential for blockages. Storm drains shall be designed to prevent standing water.
81. The on-site storm conveyance and treatment systems shall be owned and maintained by the project's HOA.
82. The project's Stormwater Control Plan and updated Stormwater Requirements Checklist shall be submitted with the Subdivision Improvement Plan application and shall show, at a minimum, drainage management areas, location and details of all treatment control measures and site design measures, and numeric sizing calculations in conformance with Alameda County Clean Water Program C3 design guidelines.
83. Improvements in the public right-of-way fronting the project site shall include the following requirements:
 - a. Replace unused driveways with concrete curb, gutter, and sidewalk matching existing in color, form, and grades.
 - b. Driveways shall comply with the City Standard Detail SD-108 and have no curb returns
 - c. Replace any existing damaged curb, gutter, sidewalk, driveways, streetlights, street pavement and street pavement markings fronting the project. Also replace such improvements with new improvements if not complying with current accessibility standards or the City Standard Details.
 - d. Replace failing segments of existing street pavement fronting the project site with hot-mix Asphalt-Concrete (A.C.) matching the existing pavement section in Walnut Avenue fronting the project.
84. All utility services to the development shall be underground, designed and installed in accordance with the service provider's regulations. Transformers and switch gear cabinets shall be placed underground. Underground utility plans must be submitted for City approval prior to installation (HMC Section 10-3.815).
85. The developer shall provide and install the appropriate facilities, conduit, junction boxes, etc., to allow for installation of a fiber optic network within the development.

Transportation

86. The applicant shall submit the following items as part of the Subdivision Improvement Plans to the Transportation Division for review prior to issuance of building permits:

- a. An on-site and off-site (fronting City right-of-way) Signing and Striping Plan prepared in accordance with Caltrans' latest Standard Plans (refer to Caltrans Standard Plans Sheet A90A for more information on compliant disabled stalls).
 - b. An on- and off-site Photometric Plan. Please refer to Hayward Standard Plans Sheet SD-120 for roadway lighting criteria, available here: <https://www.hayward-ca.gov/sites/default/files/documents/standard-details-updated-jan-2020.pdf>
 - c. A Turning Analysis using WB-50 or the largest vehicle expected on-site using AutoTURN software. The Turning Analysis shall not depict vehicles backing into public streets/rights-of-way.
87. Pursuant to HMC 7-1.10 and unless otherwise directed by the Public Works Director or his/her designee, the applicant shall install one standard streetlight on Walnut Street, in accordance with City Standard Details and specifications along the project frontage. Proposed street light locations shall be included and indicated in the Subdivision Improvement Plans.

During Construction

Planning

88. In accordance with HMC Section 4-1.03-4, construction activities conducted between 7:00 a.m. and 7:00 p.m. Monday through Saturday or between 10:00 a.m. and 6:00 p.m. on Sundays or holidays shall not include any individual equipment that produces a noise level exceeding 83 dB measured at 25 feet from the source, nor shall activities produce a noise level outside the project property lines in excess of 86 dB. During all other hours, noise shall not exceed the limits defined in HMC Section 4-1.03.1 (70 dB daytime or 60 dB nighttime, measured at the nearest residential property lines).
89. **Mitigation Measure AQ-1:** The Project shall adhere to the following Bay Area Air Quality Management District (BAAQMD) "Basic Construction Mitigation Measures":
- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
 - b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
 - c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
 - d. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - e. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - f. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified

mechanic and determined to be running in proper condition prior to operation.

- g. A publicly visible sign shall be posted adjacent to the entrance to the construction site containing the name and telephone number of the person to contact at the City regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

- 90. **Mitigation Measure BIO-1:** The applicant shall follow all recommendations in the tree evaluation report including protection of all trees adjacent to the project site to be preserved during all phases of the development. Any modifications to the arborist recommendations shall require an updated arborist report to be submitted to the City for review and approval by the City's Landscape Architect:

Pre-construction

- i) Hand dig or use an air spade to trench adjacent to redwoods #13-14 along the proposed perimeter footing for the driveway where within 12' of the trees. The trenching shall avoid any damage to roots over 2" in diameter and shall extend down to the depth of the proposed footing. Design adjustments, such as bridging the roots, to avoid damage to roots over 2" will be necessary to avoid significant damage to the trees.
- ii) Establish a Tree Protection Zone (TPZ) around trees #11-15, 23, 24 and 26 as indicated on the Tree Inventory Map using 6' chain-link fencing attached to metal stakes driven firmly into the ground.
- iii) Apply a 4" layer of chipper mulch throughout the tree protection zones.
- iv) Irrigate trees to a depth of 14" throughout their driplines where extending over the project property 2 weeks prior to grading.

Grading and Construction Phase

- v) Keep all equipment, debris, supplies, trenching, grading, stockpiling, or any other encroachments outside of the TPZ. Any desired adjustment or encroachment within the TPZ shall require consult with an arborist.
- vi) All pruning shall be performed by an ISA certified arborists or certified tree workers under the project arborist's supervision. Pruning to comply with all ISA and ANSI pruning standards and best management practices.
- vii) Trees #11-15, 24 and 26 shall be irrigated weekly to a depth of 12-14" throughout all accessible driplines, and at a minimum the entire TPZ.
- viii) Since trees #23, 24, 25 and 2 are all off site trees that hang over the project, written permission from the tree owners will need to be granted prior to accessing their canopies.

Landscaping

- 91. Pre-construction and Demolition Measures for Tree Preservation.
 - a. Establish a Tree Protection Zone around each tree to be preserved. For design purposes, the Tree Protection Zone shall be the dripline or property line for trees. No grading excavation, construction or storage of materials shall occur within the protection zone.

- b. A non-movable chain link fence as shown in the detail shall be installed around the Protected Zone of each tree to be preserved prior to start of construction. No entry is permitted into a Tree Protection Zone without permission of the Project Arborist.
 - c. Trees to be preserved may require pruning to provide clearance and/or correct defects in structure. All pruning shall be performed by an ISA Certified Arborist or Certified Tree Worker and shall adhere to the latest edition of the ANSI Z133 and A300 safety standards as well as the ISA Best Management Practices for Tree Pruning with a tree pruning permit from the City. The pruning contractor shall have the C-27/D-49 license specification.
 - d. All tree work shall comply with the Migratory Bird Treaty Act as well as California Fish and Wildlife Code 3503-3513 to avoid disturbance of nesting birds.
92. Tree Protection During Construction.
- a. Prior to beginning work, the contractors working in the vicinity of trees for preservation are required to meet with the Project Arborist at the site to review all work procedure, access routes, storage areas and tree protection measures.
 - b. Any grading, construction, demolition or other work that is expected to encounter tree roots should be monitored by the Project Arborist. Any necessary root pruning shall be performed by a qualified arborist and not by construction personnel. Roots shall be cleanly pruned with a handsaw or sawzall, immediately covered with wet burlap, and kept moist until backfilled. A tree pruning permit shall be required for cutting equal or larger than one-inch diameter roots.
 - c. If damage should occur to any existing trees designated for preservation during construction, the tree should be evaluated as soon as possible by the Project Arborist so that appropriate treatment measures can be applied. If damage to a tree results in its removal, the removed tree shall be replaced to its appraised value provided by the Project Arborist and approved by the City Landscape Architect.
 - d. Tree protection fencing shall remain until all site work has been completed. Fences shall not be relocated or removed without permission of the Project Arborist.
 - e. Any additional tree pruning needed for clearance during construction must be performed by a qualified arborist and not by construction personnel, with a tree pruning permit from the City Landscape Architect.
 - f. Existing trees designated for preservation shall be irrigated on a schedule to be determined by the Project Arborist. Each irrigation session shall be wet the soil within the Tree Protection Zone to a depth of 30 inch.
93. Replacement trees shall be planted with sufficient space to accommodate the mature size of the species and maintained sufficiently to ensure establishment. Preserved trees shall also be maintained to ensure the continued long-term health of the tree. Trees on-site will require monitoring and routine maintenance by a landscape specialist, including occasional pruning, fertilization, mulch application, pest management, replanting, and irrigation repair/replacement.

Hazardous Materials

94. If hazardous materials/wastes or their containers are discovered during grading/construction, the Hayward Fire Department shall be immediately notified at (510) 583-4910.
95. If found on the property, underground vessels and/or structures shall be removed under an approved plan filed with the Hayward Fire Department (HFD) and appropriate samples shall be taken under the direction of a qualified consultant to ensure that contamination has not occurred to soil or groundwater. A follow-up report shall be required to be submitted to document the activities performed and any conclusions. Below are specific requirements on each:
 - a. Underground storage tank and associate piping: An approved removal plan, including appropriate sampling, a Hayward Fire Department permit for the removal, and follow-up report shall be required.
 - b. Oil Water Separators: An approved plan, including appropriate sampling, and follow-up report shall be required.
 - c. Hydraulic Lifts: An approved plan, including appropriate sampling, and follow-up report shall be required.
96. During grading and construction, all hazardous materials and hazardous waste shall be properly stored, managed and disposed of.

Engineering

97. The applicant shall be responsible for preventing the discharge of pollutants or dust from the project site during and after construction in accordance with the Hayward Municipal Code Section 11-5.19. Projects proposed for construction between October 1st and April 30th, must have an erosion and sedimentation control program approved, and implemented to the maximum extent possible, prior to the start of any land disturbing activity. Trash and debris must be always contained. Such measures shall be maintained during the project's construction period. Violations or other noncompliance with stormwater management measures may result in the project being shut down, including any building permit activity, until full compliance with stormwater management requirements is achieved.
98. The applicant shall remove and replace any damaged curb, gutter, sidewalks, driveways, signs, pavement, pavement markings, etc., within the public right-of-way along the project frontage and at any locations damaged by the construction of the project. Damaged pavement surfaces shall be overlain or micro-surfaced. All repairs shall be completed to the satisfaction of the City Engineer. Unused driveways or unused portions thereof shall be removed and replaced with curb, gutter and sidewalk constructed in accordance with the applicable City Standards.
99. The applicant shall be responsible for adjusting existing utility boxes/vaults to grade and locating and protecting existing communication conduits (fiber optic and copper) along the project's frontages.

Prior to Issuance of Certificate of Occupancy

Landscaping

100. Model Homes requirements shall be as follows:

- a. A Temporary Certificate of Occupancy (TCO) shall be issued for each model home. TCO shall remain in place until converting model home to production home for sale. Landscape inspection shall be required prior to issuance of TCO, and another inspection prior to issuance of Certificate of Occupancy at the time of the conversion. The project landscape architect shall inspect and accept the installation prior to requesting an inspection from the City Landscape Architect. The project landscape architect shall complete Appendix C. Certificate of Completion in the City's Bay-Friendly Water Efficient Landscape Ordinance. The completed Certificate of Completion Part 1, 2 and 6 shall be submitted electronically in prior to requesting an inspection from the City Landscape Architect.
- b. Water Efficient Landscape Educational Sign for Model Homes. Pursuant to HMC Section 10-12.17, water efficient landscape educational sign for model homes shall provide signs and written information to demonstrate the principles of water efficient landscapes described in the ordinance.
- c. Signs shall be used to identify the model as an example of a water efficient landscape featuring elements such as hydrozones, irrigation equipment, and others that contribute to the overall water efficient theme.
- d. Information shall be provided about designing, installing, managing, and maintaining water efficient landscapes.

101. Prior to the issuance of Certificate of Occupancy for each production home, landscape and irrigation installations shall be completed in accordance with the approved plans and details and shall be accepted by the City Landscape Architect. Prior to requesting an inspection from the City Landscape Architect, the project landscape architect shall inspect and accept landscape improvements and shall complete Appendix C. Certificate of Completion in the City's Bay-Friendly Water Efficient Landscape Ordinance. The completed Certificate of Completion Part 1, 2 and 6 shall be submitted electronically in prior to requesting an inspection from the City Landscape Architect.

102. Tract Acceptance.

- a. The entire landscape improvements including production homes and common landscape area shall be completed and well maintained until the acceptance by the City. The acceptance inspection shall be performed by the City Landscape Architect. Prior to requesting a final landscape inspection, the project landscape architect shall field inspect and accept landscape improvements and shall submit the completed Appendix C. Certificate of Completion Part 1 through 7 in the City's Bay-Friendly Water Efficient Landscape Ordinance to the City Landscape Architect. If green waste was diverted to an authorized facility and the weigh tag was submitted and signed off by the City's Solid Waste Division at Utilities and Environmental Services Department, a copy of the signed document will replace Part 7.
- b. Pursuant to HMC Section 10-12.11, an irrigation auditing rate of one (1) in seven (7) lots or approximately fifteen percent (15 %) of the total production homes and

an audit of all common landscape areas shall be done prior to tract acceptance. All landscape irrigation audits shall be conducted by a third-party certified landscape irrigation auditor. Landscape audits shall not be conducted by the person who designed the landscape or installed the landscape.

- c. Upon acceptance of the landscape installation in accordance with the approved landscape improvement plans by the City, As-Built digital plans shall be submitted to the Engineering Department by the developer.

- 103. Upon acceptance of the landscape installation in accordance with the approved landscape improvement plans by the City, as-built plans on electronic media and .pdf formats shall be submitted to the City Engineer by the property owner.

Engineering

- 104. All improvements, including for streets, parking lots, walkways, fencing, sanitary sewer, storm drainage, water system, underground utilities, streetlights etc., shall be completed and accepted by the City Engineer before approval of occupancy of any unit in the subdivision. Where facilities of other agencies are involved, such installation shall be verified as having been completed and accepted by those agencies.
- 105. Prior to final inspection and issuance of final Certificates of Occupancy, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the Public Works Director and Development Services Director or their designees.
- 106. The property owner or HOA shall execute the City's standard "Stormwater Treatment Measures Maintenance Agreement" prepared by the City. The Maintenance Agreement shall be recorded with the Alameda County Recorder's Office to ensure that the maintenance responsibility for the treatment control and site design measures is bound to the property in perpetuity.
- 107. Prior to the issuance of any Certificates of Occupancy, the applicant shall submit a letter from the project geotechnical engineer confirming they have observed all grading activities and that those activities were performed in conformance with their recommendations.
- 108. Prior to the issuance of any Certificate of Occupancy, the Engineer of Record shall submit a confirming letter that all grading, drainage, and engineering components of the project have been performed in conformance with the approved plans and specifications.
- 109. As-built records of site grading and improvements completed by the property owner shall be provided to the City Engineer on electronic media in AutoCAD and .pdf formats.

-End of Conditions-



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
MAIN OFFICE: 123 A STREET, HAYWARD, CALIFORNIA 94545
SAN JOSE: (510) 887-4086
WWW.LEABRAZE.COM

SEQUOIA GROVE
123 A STREET
HAYWARD, CALIFORNIA
HABITAT FOR HUMANITY EAST
BAY/SILICON VALLEY INC.

VESTING TENTATIVE MAP
TRACT MAP #8104
TITLE SHEET

2	PERMIT REV 2 2023-08-03	VA
1	PERMIT REV 1 2023-06-13	VA
REVISIONS		BY

JOB NO: 2230237PH1
DATE: 02-10-23
SCALE: AS NOTED
DESIGN BY: PT/VA
CHECKED BY: JH/PC
SHEET NO:

TM-1
01 OF 06 SHEETS

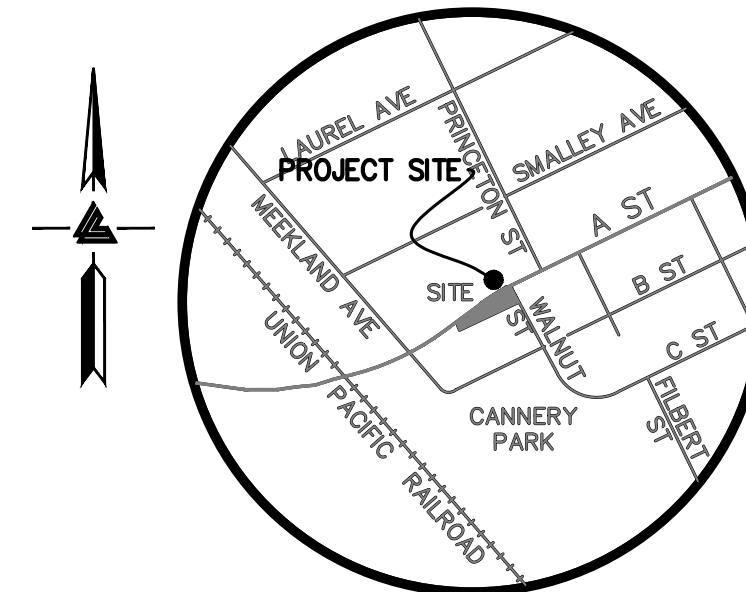
VESTING TENTATIVE MAP

TRACT MAP # 8104

SEQUOIA GROVE

123 A STREET

HAYWARD, CALIFORNIA



VICINITY MAP

NTS

OWNER'S INFORMATION

OWNER:
CITY OF HAYWARD
777 "B" STREET
HAYWARD, CA 94541

APPLICANT:
HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY
2619 BROADWAY
OAKLAND, CA 94612
PH. 510 251-6304

ENGINEER:
LEA & BRAZE ENGINEERING, INC.
2495 INDUSTRIAL PARKWAY WEST
HAYWARD, CA 94545
(510) 887-4086

APN: 431-0016-088-03

ZONING INFORMATION

EXISTING ZONING: RM/SD4
PROPOSED ZONING: PD

FEMA NOTES

SUBJECT SITE IS LOCATED WITHIN FEMA FLOOD ZONE "X".
ZONE "X" IS DESIGNATED AS: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD; WITH AVERAGE OF LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. BASE FLOOD ELEVATION FOR SUBJECT SITE IS NOT SHOWN ON FLOOD INSURANCE RATE MAP NO. 06001C0286G, AUGUST 3, 2009.

REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA AND BRAZE ENGINEERING, ENTITLED:
"TOPOGRAPHIC SURVEY"
123 A STREET
HAYWARD, CALIFORNIA
DATED: TBD
JOB #: 2230238
 - SITE PLAN BY GEOFFREY HOLTON AND ASSOCIATES ENTITLED:
"SITE PLAN - HABITAT FOR HUMANITY EAST BAY/ SILICON VALLEY, INC., SEQUOIA GROVE"
"A" STREET & WALNUT STREET
HAYWARD, CALIFORNIA
 - CITY OF HAYWARD BASE MAPS FOR STORM DRAIN, SANITARY SEWER AND WATER.
 - SOIL REPORT BY ROCKRIDGE GEOTECHNICAL ENTITLED:
"GEOTECHNICAL INVESTIGATION"
123 A STREET
HAYWARD, CALIFORNIA
DATED: 7-19-12
JOB #: 11-354

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

UTILITIES / SERVICES

WATER	CITY OF HAYWARD
SEWER	CITY OF HAYWARD
GAS	PACIFIC GAS AND ELECTRIC (PG&E)
ELECTRICITY	PACIFIC GAS AND ELECTRIC (PG&E)
TELEPHONE	AT&T
FIRE PROTECTION	CITY OF HAYWARD
STORM WATER	CITY OF HAYWARD

SHEET INDEX

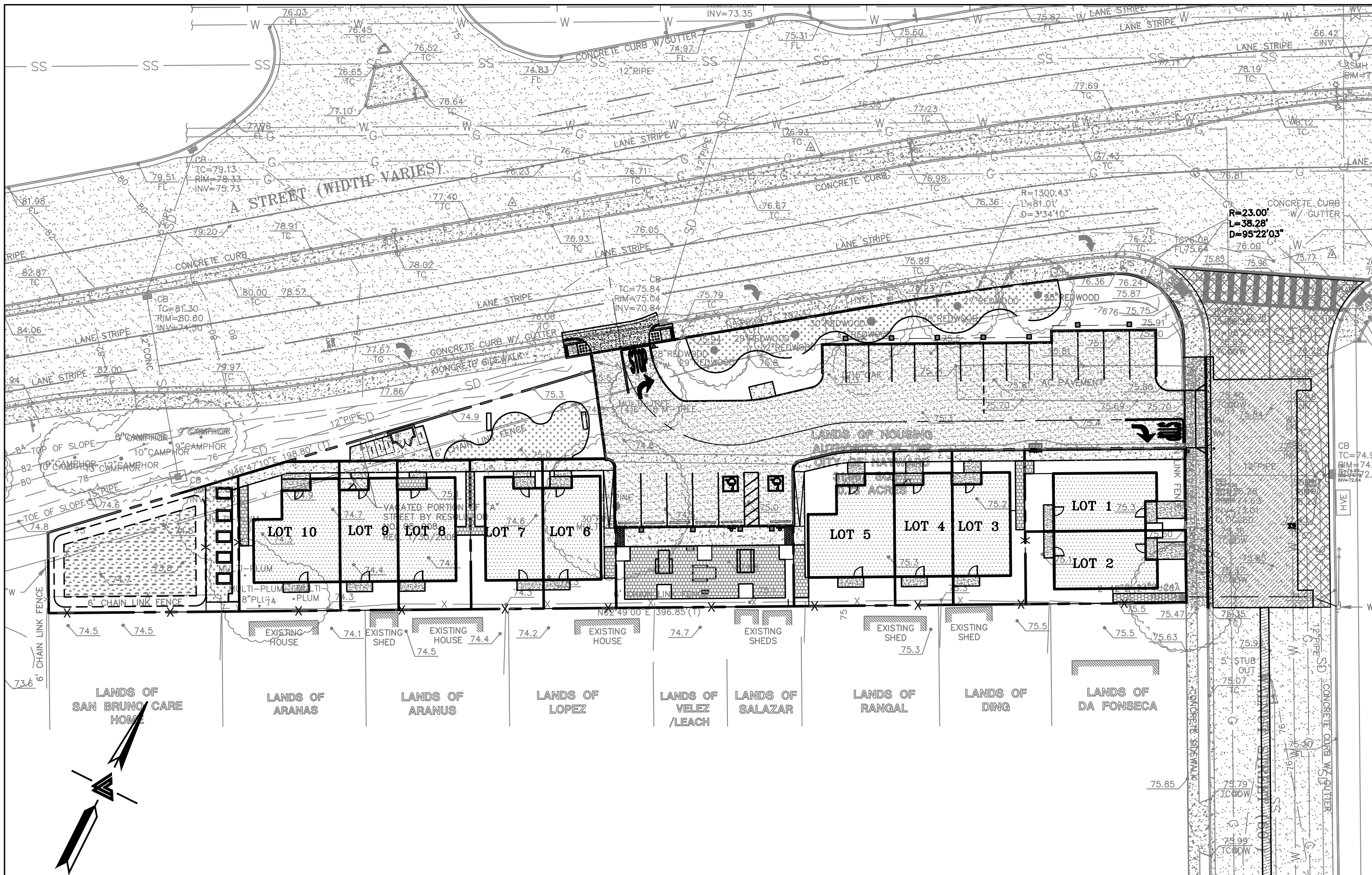
TM-1	TITLE SHEET
TM-2	LOT LAYOUT PLAN
TM-3	PRELIMINARY GRADING PLAN
TM-4	PRELIMINARY UTILITY PLAN
TM-5	SITE SECTIONS
TM-6	STORM WATER CONTROL PLAN

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	STORM DRAIN PRESSURE LINE
---	---	SANITARY SEWER PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED
---	---	TREE PROTECTION FENCING

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
C	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	R	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCF	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EW	EACH WAY	SDMH	STORM DRAIN MANHOLE
(E)	EXISTING	SHT	SHEET
FC	FACE OF CURB	S.L.D.	SEE LANDSCAPE DRAWINGS
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FG	FINISHED GRADE	SS	SANITARY SEWER
FL	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST.	STREET
GA	GAGE OR GAUGE	STA	STATION
GB	GRADE BREAK	STD	STANDARD
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	T	TELEPHONE
HORIZ	HORIZONTAL	TC	TOP OF CURB
HI PT	HIGH POINT	TOW	TOP OF WALL
H&T	HUB & TACK	TEMP	TEMPORARY
ID	INSIDE DIAMETER	TP	TOP OF PAVEMENT
INV	INVERT ELEVATION	TW/FG	TOP OF WALL/FINISH GRADE
JB	JUNCTION BOX	TYP	TYPICAL
JT	JOINT TRENCH	VC	VERTICAL CURVE
JP	JOINT UTILITY POLE	VCP	VITRIFIED CLAY PIPE
L	LENGTH	VERT	VERTICAL
LNDG	LANDING	W/	WITH
		WL	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC



KEY MAP

1" = 30'

CIVIL ENGINEER

DATE PETER CARLINO

LAND SURVEYOR

DATE GREGORY F. BRAZE

GEOTECHNICAL ENGINEER

ESTIMATED EARTHWORK QUANTITIES

CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	270	645	915
FILL	0	0	0
EXPORT			915

NOTE:

GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

OWNER'S STATEMENT

I, _____ (AN AUTHORIZED SIGNING AGENT FOR HABITAT FOR HUMANITY EAST BAY/SILICON VALLEY, INC.) AGREE TO THE FILING OF SAID MAP AND AGREE TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.

AS OWNER:

BY:

DATE



NOTE:

HOMEOWNERS' ASSOCIATION WILL OWN AND MAINTAIN ALL COMMON LOTS, PRIVATE DRIVEWAY, PRIVATE STREET LIGHTS, PRIVATE STORM DRAIN SYSTEM, WATER QUALITY TREATMENT FACILITIES AND COMMON AMENITIES

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.

UNDERGROUND UTILITY LOCATION IS BASED ON CITY OF HAYWARD AS-BUILT PLANS.

BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.

EASEMENT NOTE

TITLE REPORT PREPARED BY OLD REPUBLIC TITLE COMPANY DATED MAY 22, 2015
ORDER NO. 1117010856-JM,
EXCEPTION #3 : "RIGHTS OF THE PUBLIC, COUNTY AND/OR CITY, IN AND TO THAT PORTION OF SAID LAND LYING WITHIN THE LINES OF A STREET."
THERE ARE NO OTHER EASEMENTS LISTED IN SAID REPORT.

BENCHMARK

CITY OF HAYWARD BENCHMARK MON (PLATE) NEAR INTERSECTION "A" STREET & "WALNUT STREET" (FORMERLY BURBANK)
5± N FROM N SIDE ISLAND CURB ELEVATION = 75.375' (CITY OF HAYWARD DATUM)

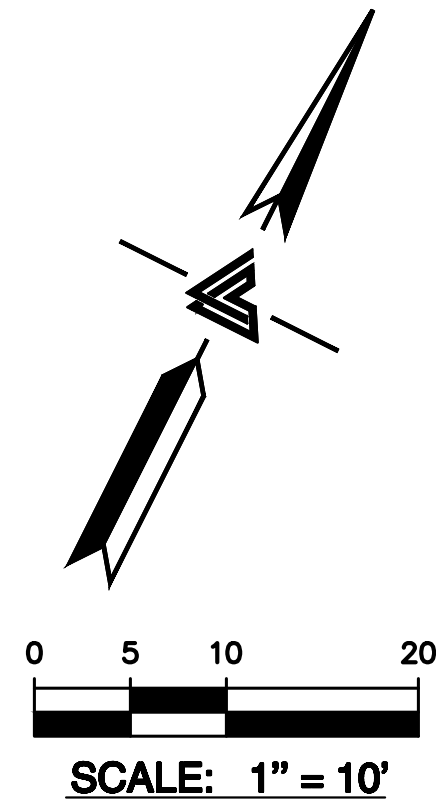
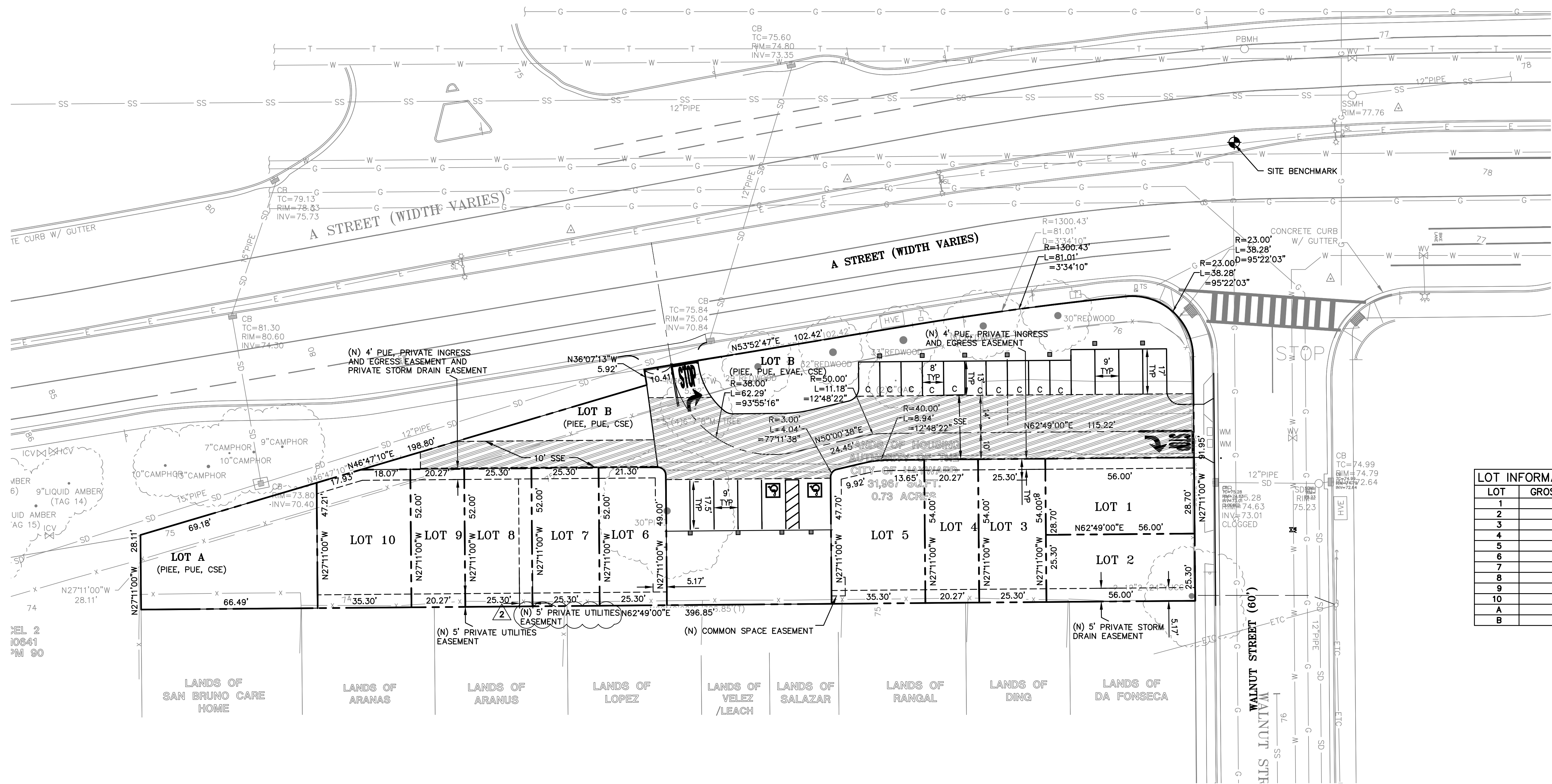
SITE BENCHMARK

SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT ELEVATION = 77.92' (CITY OF HAYWARD DATUM)

* BUILDING PAD NOTE: ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:

FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraz.com



LOT INFORMATION TABLE	
LOT	GROSS AREA (SF)
1	1,607
2	1,417
3	1,366
4	1,095
5	1,871
6	1,314
7	1,316
8	1,316
9	1,054
10	1,796
A	2,504
B	15,303

EASEMENT ABBREVIATIONS

CSE	COMMON SPACE EASEMENT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
PIEE	PRIVATE INGRESS/EGRESS EASEMENT
PSDE	PRIVATE STORM DRAIN EASEMENT
PUE	PUBLIC UTILITY EASEMENT
SSE	SANITARY SEWER EASEMENT
WLE	WATER LINE EASEMENT



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
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HAYWARD OFFICE: 12345 MAIN STREET, SUITE 100, HAYWARD, CA 94545
SAN JOSE OFFICE: 12345 MAIN STREET, SUITE 100, SAN JOSE, CA 95128
(510) 887-4066
WWW.LEA-BRAZE.COM

SEQUOIA GROVE
123 A STREET
HAYWARD, CALIFORNIA
HABITAT FOR HUMANITY EAST
BAY/SILICON VALLEY INC.

VESTING TENTATIVE MAP
TRACT MAP #8104
LOT LAYOUT PLAN

REVISIONS	BY
2 PERMIT REV 2 2023-08-03	VA
1 PERMIT REV 1 2023-06-13	VA

JOB NO: 2230237PH1

DATE: 02-10-23

SCALE: AS NOTED

DESIGN BY: PT/VA

CHECKED BY: JH/PC

SHEET NO:

TM-2

02 OF 06 SHEETS

APN: 431-0016-088-03

ALAMEDA COUNTY



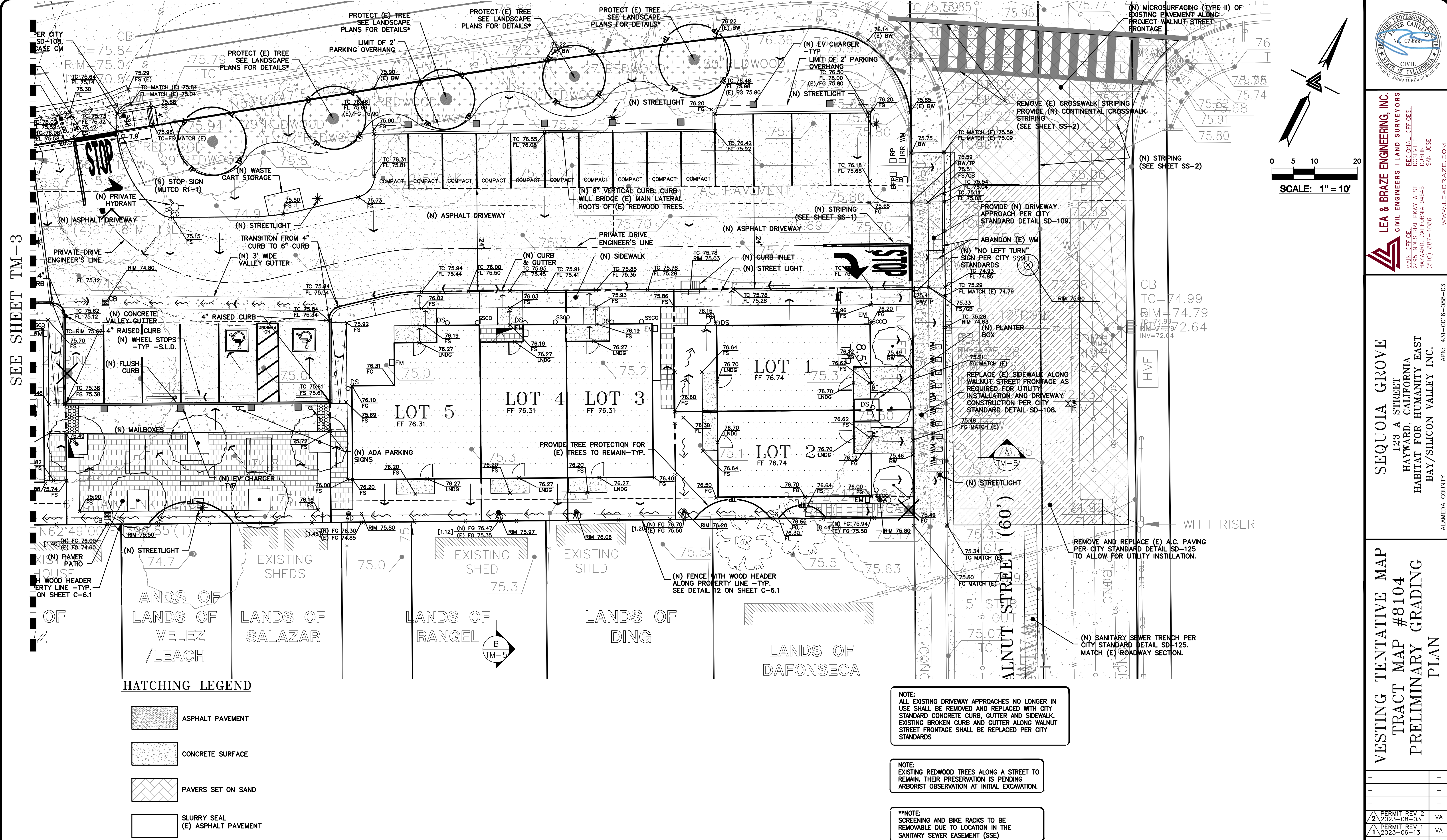
Diagram illustrating four types of pavement surfaces:

- ASPHALT PAVEMENT:** Represented by a dense, granular texture.
- CONCRETE SURFACE:** Represented by a smooth, light-colored surface with small, dark spots.
- PAVERS SET ON SAND:** Represented by a pattern of interlocking rectangular blocks.
- SLURRY SEAL (E) ASPHALT PAVEMENT:** Represented by a smooth, light-colored surface.

****NOTE:**
SCREENING AND BIKE RACKS TO BE
REMOVABLE DUE TO LOCATION IN THE
SANITARY SEWER EASEMENT (SSE)

JOB NO:	2230237PH
DATE:	02-10-23
SCALE:	AS NOTED
DESIGN BY:	PT/VA
CHECKED BY:	JH/PC
SHEET NO:	

TM-3
03 OF 06 SHEETS



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
 MAIN OFFICE: DUBLIN, CALIFORNIA 94568
 SAN JOSE OFFICE: SAN JOSE, CALIFORNIA 95128
 (510) 887-4086
 WWW.LEABRAZE.COM

SEQUOIA GROVE
 123 A STREET
 HAYWARD, CALIFORNIA
 HABITAT FOR HUMANITY EAST
 BAY/SILICON VALLEY INC.
 ALAMEDA COUNTY

VESTING TENTATIVE MAP
TRACT MAP #8104
PRELIMINARY GRADING
PLAN

REVISIONS	BY
2 PERMIT REV 2 2023-08-03	VA
1 PERMIT REV 1 2023-06-13	VA

JOB NO: 2230237PH1

DATE: 02-10-23

SCALE: AS NOTED

DESIGN BY: PT/VA

CHECKED BY: JH/PC

SHEET NO:

TM-4

04 OF 06 SHEETS

—	—
—	—
—	—
2 PERMIT REV 2 2023-08-03	VA
1 PERMIT REV 1 2023-06-13	VA
REVISIONS	BY

JOB NO: 2230237PH

DATE: 02-10-23

SCALE: AS NOTED

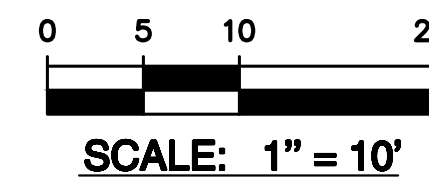
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CHECKED BY: JH/PC

SHEET NO:

TM-5

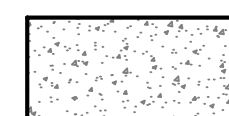
05 OF 06 SHEETS



LANDS OF SAN BRUNO CARE HATCHING LEGEND



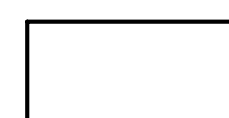
ASPHALT PAVEMENT



CONCRETE SURFACE



PAVERS SET ON SAND

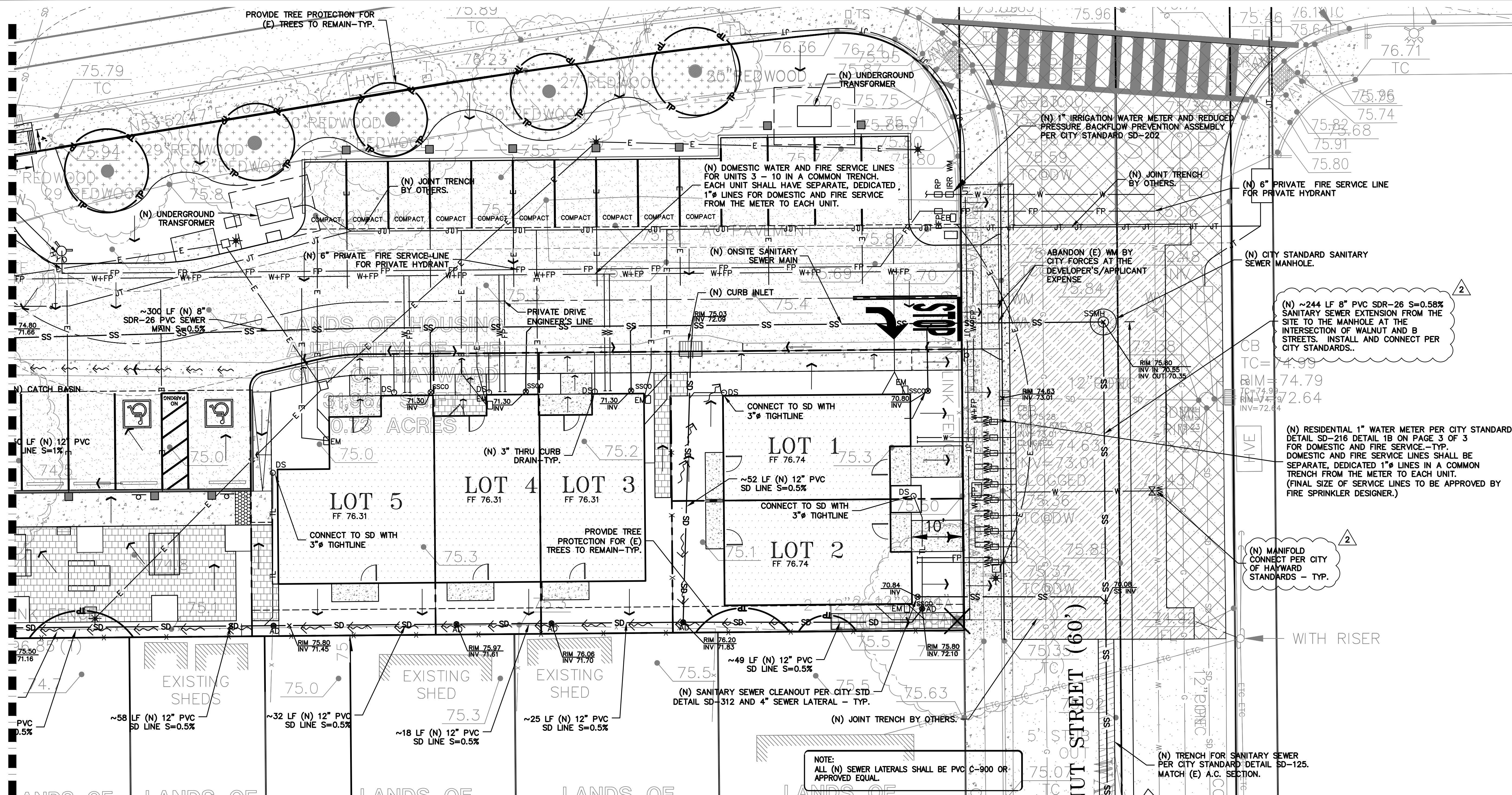


SLURRY SEAL
(E) ASPHALT PAVEMENT

****NOTE:**
SCREENING AND BIKE RACKS TO BE
REMOVABLE DUE TO LOCATION IN THE
SANITARY SEWER EASEMENT (SSE)

NOTE:
ALL (N) SEWER LATERALS SHALL BE PVC C-900 OR
APPROVED EQUAL.

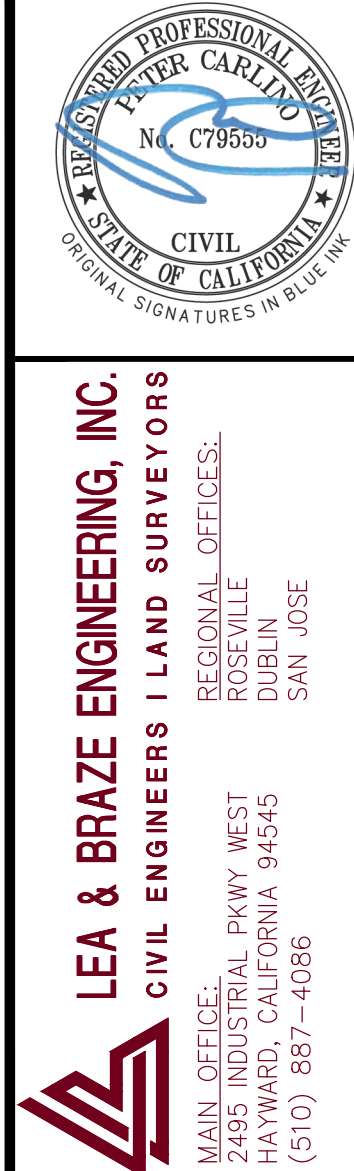
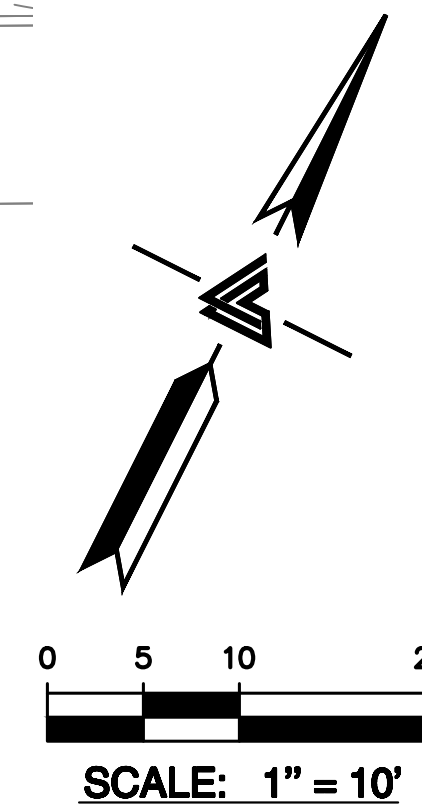
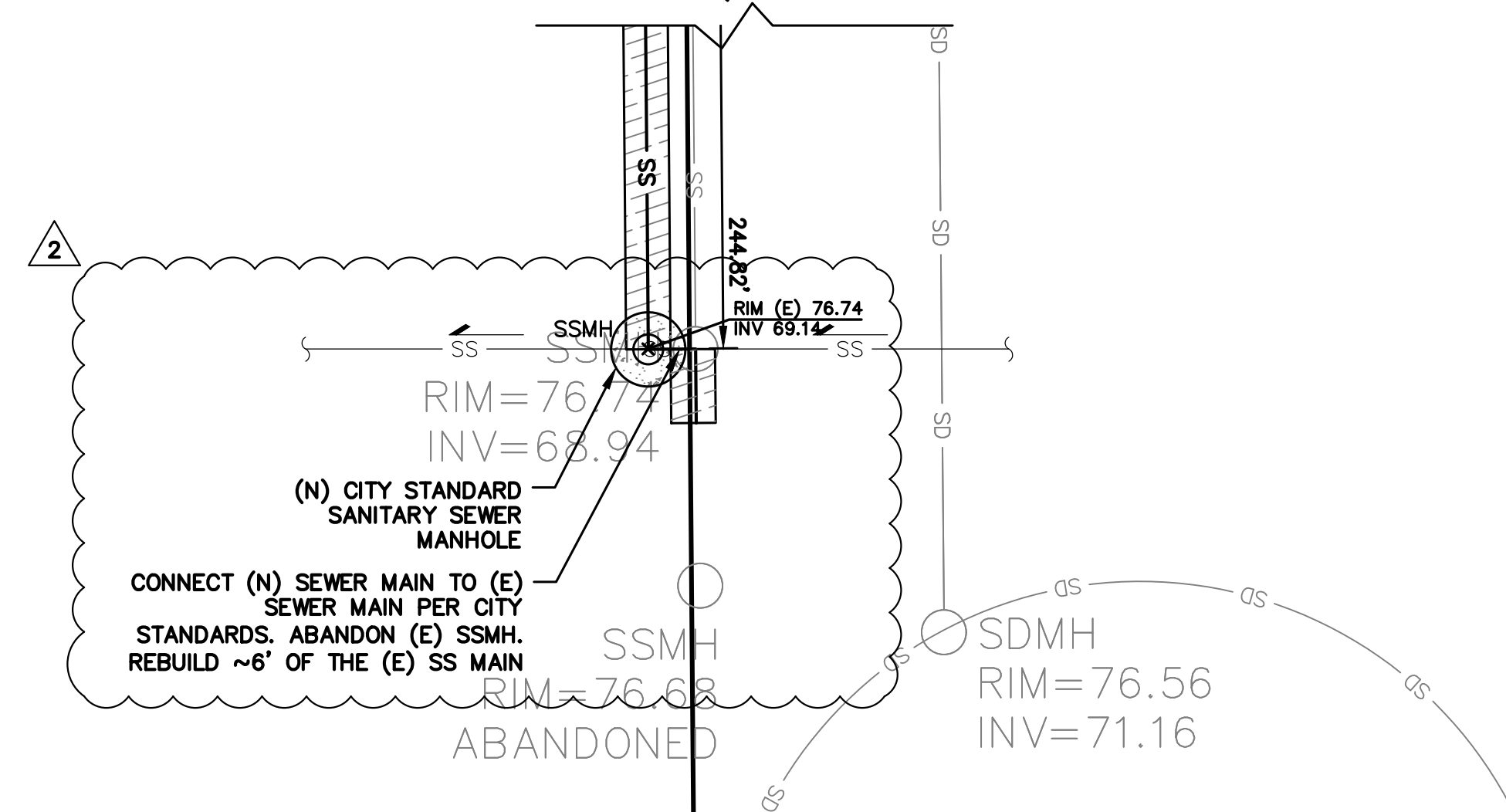
SEE SHEET TM-5



HATCHING LEGEND

- ASPHALT PAVEMENT
- CONCRETE SURFACE
- PAVERS SET ON SAND
- SLURRY SEAL (E) ASPHALT PAVEMENT

**NOTE: SCREENING AND BIKE RACKS TO BE REMOVABLE DUE TO LOCATION IN THE SANITARY SEWER EASEMENT (SSE)



SEQUOIA GROVE
123 A STREET
HAYWARD, CALIFORNIA
HABITAT FOR HUMILITY EAST
BAY/SILICON VALLEY INC.

VESTING TENTATIVE MAP
TRACT MAP #8104
PRELIMINARY UTILITY
PLAN

REVISIONS	BY
2 PERMIT REV 2 2023-08-03	VA
1 PERMIT REV 1 2023-06-13	VA

JOB NO: 2230237PH1

DATE: 02-10-23

SCALE: AS NOTED

DESIGN BY: PT/VA

CHECKED BY: JH/PC

SHEET NO:

TM-6

06 OF 06 SHEETS



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
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DUBLIN, CALIFORNIA 94568
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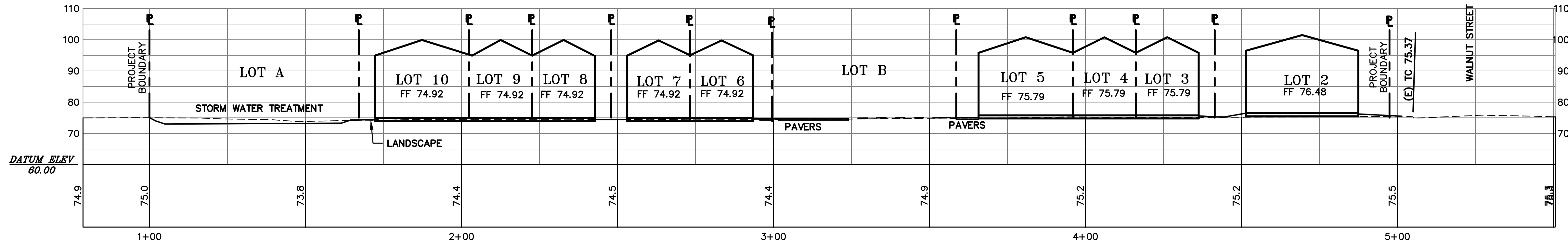
SEQUOIA GROVE
123 A STREET
HAYWARD, CALIFORNIA
HABITAT FOR HUMANITY EAST
BAY/SILICON VALLEY INC.
ALAMEDA COUNTY
APN: 431-0016-088-03

VESTING TENTATIVE MAP
TRACT MAP #8104
PRELIMINARY UTILITY
PLAN

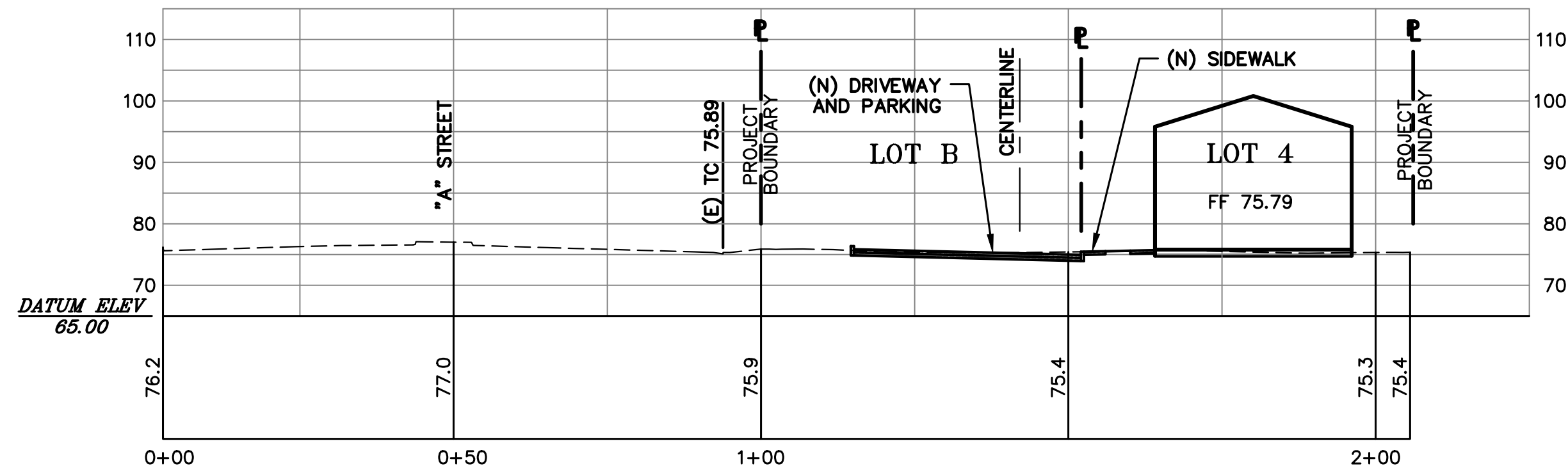
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2	PERMIT REV 2	2023-08-03	VA
REVISIONS			BY

JOB NO: 2230237PH1
DATE: 02-10-23
SCALE: AS NOTED
DESIGN BY: PT/VA
CHECKED BY: JH/PC
SHEET NO:

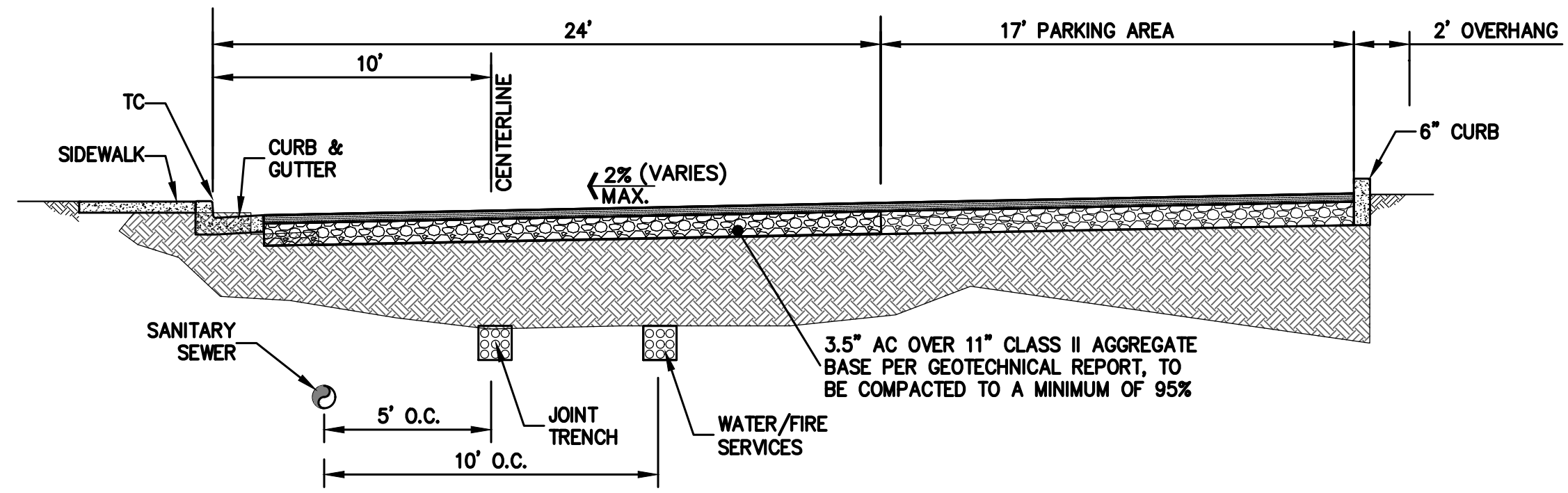
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07 OF 06 SHEETS



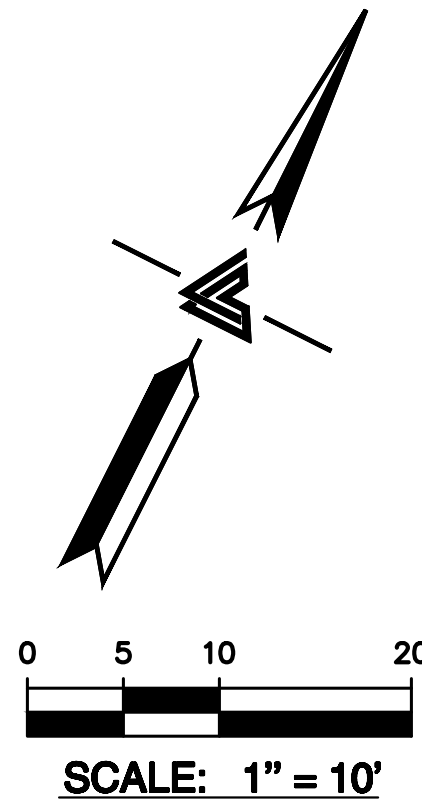
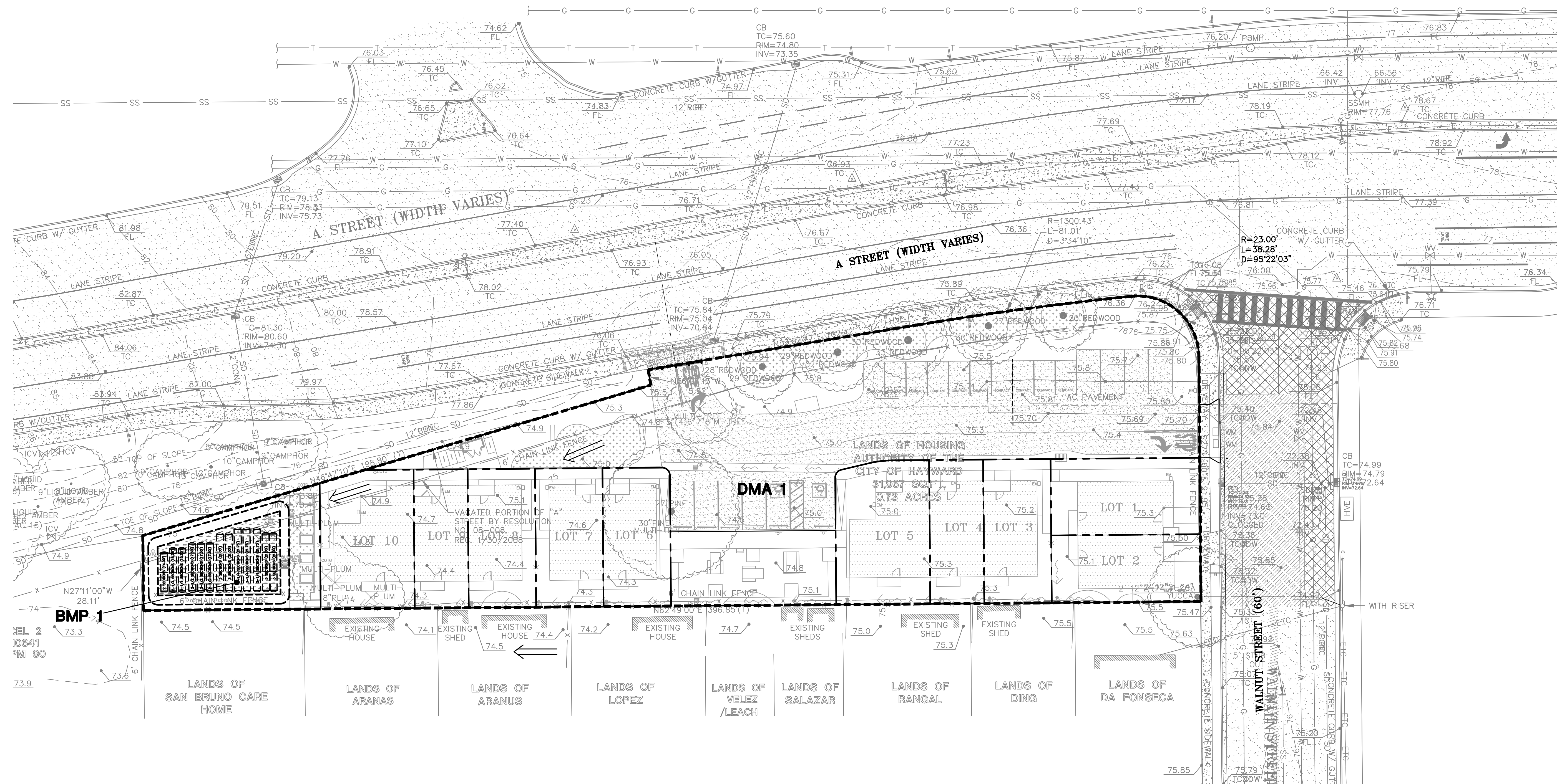
A
SECTION A
1"=20' HORIZ. 1"=20' VERT.



B
SECTION B
1"=20' HORIZ. 1"=20' VERT.



C
TYPICAL DRIVEWAY SECTION
NTS



STORMWATER MANAGEMENT PLAN TREATMENT AREA TABLE			
DRAINAGE MANAGEMENT AREAS (DMA)	TOTAL IMPERVIOUS AREA	REQUIRED TREATMENT AREA (4%)	* AVAILABLE TREATMENT AREA
DMA-1	19,718 SF	789 SF	1,285 SF

- RUNOFF DRAINAGE DIRECTION
- AREA DRAIN
- CATCH BASIN
- DRAINAGE MANAGEMENT AREA
- BIORETENTION BMP

PROJECT DESCRIPTION:

123 A STREET
HAYWARD, CA 94541
APN: 431-0016-088-03

DESCRIPTION OF FACILITY
ACTIVITY:

CONSTRUCT HOUSING AND EXTEND UTILITIES TO SERVE THE RESIDENTS. FRONTAGE IMPROVEMENTS, ROUGH GRADING, DRIVEWAY, AND UTILITY STUBS WILL BE INSTALLED FOR THESE IMPROVEMENTS.

DESCRIPTION OF WATER
BODIES:

THE PROJECT WILL TIE INTO THE CITY'S EXISTING STORM DRAIN SYSTEM.

IDENTIFICATION OF POTENTIAL
POLLUTANTS:

POSSIBLE POLLUTANTS FOR THIS SITE INCLUDE TRASH, SEDIMENTS, NUTRIENTS, DUST, CONSTRUCTION DEBRIS, AUTOMOBILE DEBRIS, AND PESTICIDES. THE CONSTRUCTION OF THE PROJECT AND THE LONG TERM MAINTENANCE SHOULD NOT ADD ANY OF THE FOLLOWING: COPPER, NICKEL, DIAZINON, MERCURY, CHLORIDANE, DDT, DIELDRIN, AND PCB'S.

BMP DESCRIPTION

THIS PROJECT USES BMP RECOMMENDATIONS FROM THE ALAMEDA COUNTYWIDE CLEAN WATER PROGRAM INCLUDING A BIO-RETENTION AREA.

THE SITE IS APPROXIMATELY 31,984 SF. THE DEVELOPMENT WILL ADD APPROXIMATELY 19,104 SF OF IMPERVIOUS SURFACE. THE SITE WILL RETAIN APPROXIMATELY 40% PERVIOUS SURFACES, INCLUDING LANDSCAPING AREA AND PERVIOUS PAVING MATERIALS.

THE SITE IS COMPRISED OF ONE DRAINAGE MANAGEMENT AREA (DMA). AREA 1 USES A BIO-RETENTION AREA. BIORETENTION AREA SHALL USE A BIORETENTION MIX PER ATTACHMENT L OF THE E.3 TECHNICAL GUIDANCE DATED MAY 14, 2013.

POST CONSTRUCTION BMP
MAINTENANCE AND/OR SOURCE
CONTROL

FUEL, OIL, PETROLEUM PRODUCTS, PESTICIDES, AND OTHER STORM DRAINAGE POLLUTANT SPILLS NEED TO BE CONTAINED. OWNERS SHALL USE ABSORBENT MATERIAL ON SMALL SPILLS RATHER THEN HOSING SPILLS DOWN. REMOVE THE ABSORBENT MATERIAL PROMPTLY AND DISPOSE OF PROPERLY, AS REQUIRED BY CITY, STATE AND FEDERAL REGULATIONS.

DRAINAGE INLETS SHALL BE INSPECTED MONTHLY AND KEPT CLEAN OF ANY TRASH THAT MAY HAVE ACCUMULATED. IT IS THE RESPONSIBILITY OF THE PROPERTY MANAGER/OWNER TO HAVE THOSE INSPECTIONS PERFORMED, DOCUMENTED AND ANY REPAIRS MADE.

A. LANDSCAPE MAINTENANCE

LANDSCAPE AREAS SHALL BE COVERED WITH PLANTS OR SOME TYPE OF GROUND COVER TO MINIMIZE EROSION. NO AREAS ARE TO BE LEFT AS BARE DIRT THAT COULD ERODE. MOUNDING SLOPES SHALL NOT EXCEED 2 HORIZONTAL TO 1 VERTICAL.

PESTICIDES AND FERTILIZERS SHALL BE STORED AS HAZARDOUS MATERIALS AND IN APPROPRIATE PACKAGING. OVER SPRAYING ONTO PAVED AREAS SHALL BE AVOIDED WHEN APPLYING FERTILIZERS AND PESTICIDES. PESTICIDES AND FERTILIZERS WILL BE PROHIBITED FROM STORAGE OUTSIDE.

THE LANDSCAPE AREAS SHALL BE INSPECTED AND ALL TRASH PICKED UP AND OBSTRUCTIONS TO THE DRAINAGE FLOW REMOVED ON A MONTHLY BASIS MINIMUM. THIS SITE HAS BEEN DESIGNED WITH EFFICIENT IRRIGATION AND DRAINAGE TO REDUCE PESTICIDE USE. PLANTS HAVE BEEN SELECTED BASED ON SIZE AND ARE SITUATED TO REDUCE MAINTENANCE AND ROUTINE PRUNING.

THE INTEGRATED PEST MANAGEMENT INFORMATION ATTACHED WILL BE PROVIDED TO BUILDING MANAGEMENT.

B. DRAINAGE COLLECTION MANAGEMENT

THE STORM DRAINAGE SYSTEM CONSISTS OF AREA DRAINS, CATCH BASINS, COLLECTION AND DISTRIBUTION PIPING, SWALES, AND CLEAN OUTS. ALL STORM DRAIN INLETS MUST BE LABELED "NO DUMPING-DRAINS TO BAY" USING CITY APPROVED METHODS.

THE STORM DRAINAGE COLLECTION SYSTEM SHALL BE CLEANED YEARLY BY THE PROPERTY MANAGEMENT/OWNER. THE INSPECTION SHALL BE PERFORMED DURING THE DRY SEASON. THIS INCLUDES THE FOLLOWING;

*ALL TRASH AND OBSTRUCTIONS SHALL BE REMOVED FROM AREA DRAINS, BUBBLERS, CLEAN OUTS, AND CATCH BASINS.

C. BIO-RETENTION AREA

MAINTENANCE AGREEMENT UPON ACCEPTANCE OF THE DESIGN CONCEPT, A MAINTENANCE AGREEMENT WILL BE DEVELOPED REQUIRING THE PROPERTY MANAGER/OWNER TO PROVIDE THE FOLLOWING INFORMATION ON A ROUTINE BASIS. THESE REQUIREMENTS APPLY ONLY TO THE PORTION OF THE BIORETENTION AREA USED FOR STORM WATER TREATMENT.

MAINTENANCE STANDARDS:

*SOILS AND PLANTINGS MUST BE MAINTAINED, INCLUDING ROUTINE PRUNING, MOWING, IRRIGATION, REPLISHMENT OF MULCH, WEEDING, AND FERTILIZING WITH A SLOW-RELEASE FERTILIZER WITH TRACE ELEMENTS. .

*REMOVE OBSTRUCTIONS AND TRASH FROM BIORETENTION AREA.

*ONLY PESTICIDES AND FERTILIZERS THAT ARE ACCEPTED WITHIN THE INTEGRATED PEST MANAGEMENT APPROACH FOR USE IN BIORETENTION AREA SHALL BE USED.

*EROSION AT INFLOW POINTS MUST BE REPAIRED.

BIORETENTION AREAS SHALL BE INSPECTED AND MAINTAINED MONTHLY TO REVIEW:

*OBSTRUCTION AND TRASH

*IF PONDED WATER IS OBSERVED, THE SURFACE SOILS SHALL BE REMOVED AND REPLACED AND SUBDRAIN SYSTEM INSPECTED.

*CONDITION OF GRASSES.

D. TRAINING PROGRAM

A COPY OF THE STORM WATER MANAGEMENT PLANS (SWMP) WILL BE MADE AVAILABLE TO PERSONNEL IN CHARGE OF FACILITY MAINTENANCE AND WILL BE DISTRIBUTED TO THE SUBCONTRACTOR REPRESENTATIVE ENGAGED IN THE MAINTENANCE OR INSTALLATION OF THE BMP'S.

MATERIAL PRESENTED IN THE INTEGRATED PEST MANAGEMENT PROGRAM WILL BE MADE AVAILABLE TO PERSONNEL IN CHARGE OF FACILITY MAINTENANCE AND WILL BE DISTRIBUTED TO THE SUBCONTRACTOR REPRESENTATIVE ENGAGED IN THE MAINTENANCE OR INSTALLATION OF THE BMP'S.

A COPY OF THE YEARLY INSPECTION REPORTS SHALL BE MANAGED BY THE PROPERTY MANAGER/OWNER.



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SEQUOIA GROVE
123 A STREET
HAYWARD, CALIFORNIA
HABITAT FOR HUMANITY EAST
BAY/SILICON VALLEY INC.

VESTING TENTATIVE MAP
TRACT MAP #8104
PRELIMINARY UTILITY
PLAN

1	PERMIT REV 1	2023-06-13	VA
2	PERMIT REV 2	2023-08-03	VA
REVISIONS			BY

JOB NO: 2230237PH1
DATE: 02-10-23
SCALE: AS NOTED
DESIGN BY: PT/VA
CHECKED BY: JH/PC
SHEET NO:

SHEET INDEX

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A 0.2.1 ACOUSTICAL NOTES & DETAILS
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A 0.4 GRAPHIC CODE ANALYSIS & FENCING PLAN
A 0.5 GREEN POINT RATED SCORESHEET
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M2.1 4-BEDROOM UNIT MECHANICAL LAYOUT
MD.1 MECHANICAL DETAILS

ELECTRICAL:
EN.1 STANDARD NOTES, DETAILS, AND LOAD CALCULATIONS

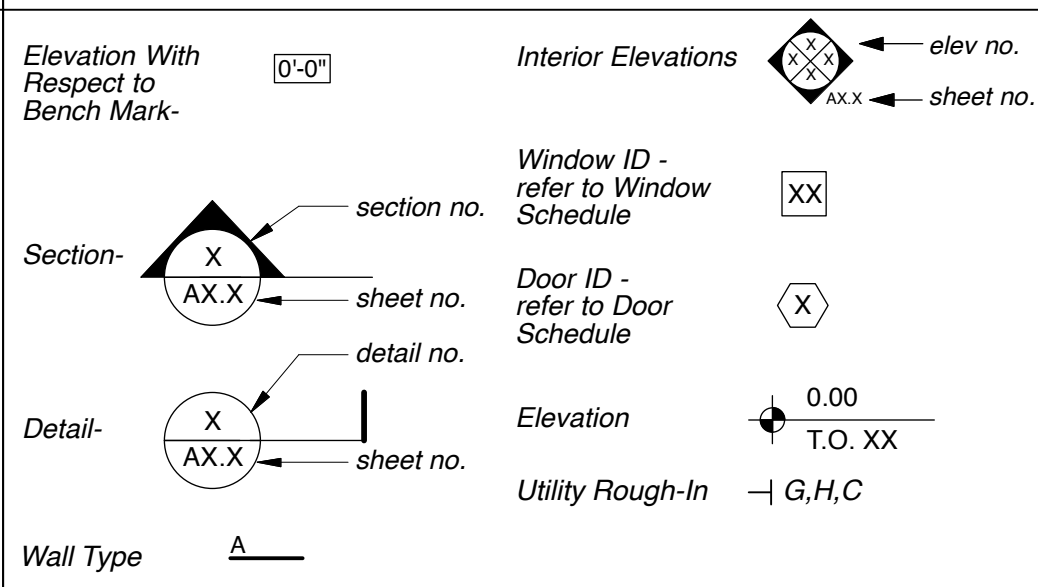
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PN.2 STANDARD DETAILS
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EV.1 EV PLAN
SL.1 STREET LIGHTING PLANS
SL.2 STREET LIGHTING PLANS
PHOTOMETRIC ANALYSIS

SYMBOLS



DEFERRED SUBMITTALS

- SPRINKLERS (NOTE UNIT 10 TO INCLUDE ALARMS W/ VISUAL COMMUNICATIONS FEATURES (PER CBC 11B-809.5)
- PHOTOVOLTAICS
- SITE SIGNAGE

GENERAL NOTES

1. All work shall comply with all applicable codes, amendments, and ordinances as adopted by the City of Hayward, including but not limited to the following:
2022 California Building Code
2022 California Plumbing Code
2022 California Electrical Code
2022 California Mechanical Code
2022 California Energy Code
2022 California Green Building Standards Code
2022 California Fire Code
2022 California Residential Code
Hayward Planning Code
2. Builder should verify all dimensions and conditions at the job site before starting work and notify architect of any discrepancies or errors. Commencement of work by any trade shall constitute agreement that conditions are acceptable for such work.
3. All subcontractors are to compare architectural drawings with the structural drawings as well as any supplemental drawings prior to commencing work. Notify architect & owner of any discrepancies and obtain adequate information prior to commencing work.
4. DO NOT SCALE DRAWINGS. Follow figure dimensions in preference to scaled measurements; details to general drawings. If figures or information are insufficient, inaccurate or inconsistent, notify the architect and obtain adequate information before proceeding with the work.
5. All dimensions to face of stud, as indicated on drawings, u.o.n.
6. Any work interfacing with City property or City services shall be performed per City standards.
7. No work defective in construction or quality or deficient in any requirements of drawings and specifications will be acceptable, despite owner's or architect's failure to discover such defects or deficiencies during construction. Defective work shall be replaced by work conforming with intent of contract. No payment whether partial or final shall be construed as an acceptance of defective work or improper materials.
8. Builder & all subcontractors must comply with CALGreen Mandatory Measures on sheet A0.7.

ABBREVIATIONS AND SYMBOLS

①	Unit Number	Int.	Interior
⌒	Centerline	Max.	Maximum
--SS--	Sanitary or Storm Sewer	Min.	Minimum
--SD--	Storm Drain	(N)	New
A.B.	Anchor Bolt	No.	Number
ABV.	Above	NR	Not rated
AESS	"Architecturally Exposed Structural Steel" per AISC req.	O.C.	On center
A.S.F.	Above Sub Floor	OPP.	Opposite
A.F.C.I.	Arc Fault Circuit Interrupter	O.S.B.	Oriented Strand Board
A.F.F.	Above Finish Floor	Perf.	Perforated
A.P.	Assessor's Parcel	PLYWD.	Plywood
Alum'n	Aluminum	P.S.D.	Per Structural Drawings
B.N.	Boundary Nailing	Ptd.	Painted
Bldg.	Building	PTDF	Pressure Treated Douglas Fir
Bot.	Bottom	Reinf.	Reinforced
K.O.	Clean-out	Req'd	Required
Comp.	Composition	R.O.	Rough Opening
Conc.	Concrete	RWD	Redwood
Cont.	Continuous	R.W.L.	Rain water leader
(E)	Existing	S.A.S.M	Self-Adhered Sheet Membrane
EQ.	Equal	SIM.	Similar
Fndn.	Foundation	Spec.	Specifications
F.O.	Face of	T.O.	Top of
G.F.C.I.	Ground Fault Circuit Interrupter	Typ.	Typical
G.S.M.	Galvanized Sheet Metal	U.O.N.	Unless otherwise noted
Galv.	Galvanized	V.I.F.	Verify in field
H.B.	Hose Bib	W/	With
Horiz.	Horizontal	W.H.	Water Heater
		W.S.	Wood Screw

HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - SEQUOIA GROVE - SITE PLAN
123 A STREET, APN 431-0016-088-03

HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.
SEQUOIA GROVE
123 A STREET,
HAYWARD, CA 94541

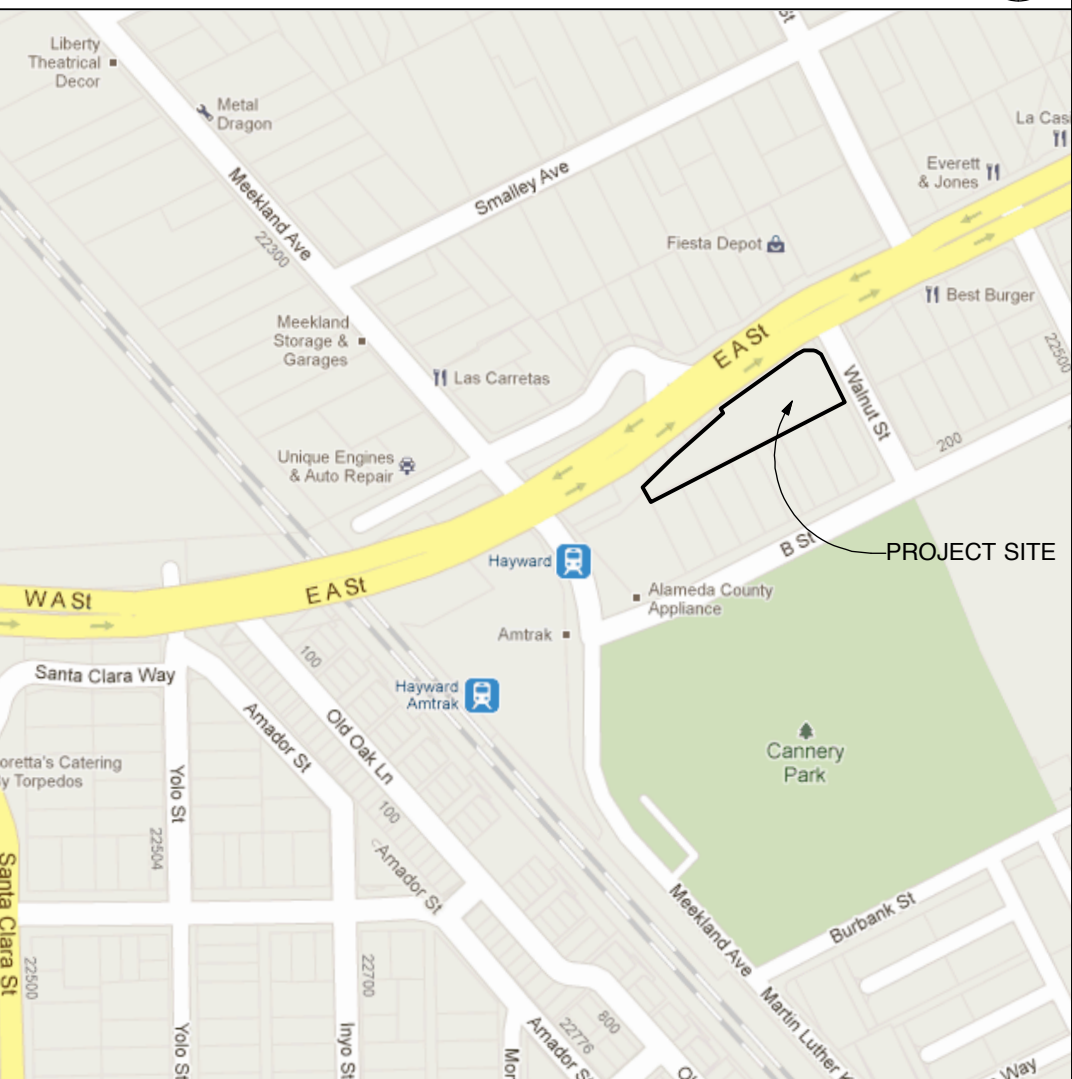
PROJECT SUMMARY

ADDRESS: 123 A Street, Hayward, CA. 94541
A.P.N.#: 431-0016-088-03
ZONING: RM/SD4, Medium Density Residential
OCCUPANCY GROUP: R-3, Re-zoned to Planned Unit Development (PUD)
OWNER: City of Hayward
APPLICANT: Habitat for Humanity East Bay/Silicon Valley, Inc.
PROPOSED: (10) Single family residences on individual lots separated by (2) 1-hour party walls, one on each side of property line. Wood frame, 2-story, type V-B construction
MIN. PRIVATE OPEN SPACE: 100 sf/unit required
190 sf min. per 3-bedroom unit provided by rear yard
320 sf min. per 4-bedroom unit provided by rear yard
100 sf/unit required (1000 sf, 20'-0" min. dimension)
MIN. PUBLIC OPEN SPACE: 2730 sf total provided by (3) common areas
HEIGHT: 40'-0" MAXIMUM, pitched roof;
26'-4" proposed height to peak
REQUIRED SETBACKS: Front - 20'-0" MINIMUM
Back - 20'-0" MINIMUM
Side - 5'-0" MINIMUM
PROPOSED SETBACKS: Front - 6'-0" MINIMUM
Back - 10'-0" MINIMUM
Side - 4'-2" MINIMUM
PARKING: Required: 2.1 parking spaces per unit
Provided: 2 spaces per unit. 20 spaces total.
SPRINKLERS: All units are to be fully sprinklered with NFPA 13D type sprinkler system (per 2022 CRC section R313.1.1, definition of "townhome", and per CRC R302.2.)
ACCESSIBILITY: Accessibility requirements from 2022 CBC Ch. 11A do not apply to individual single-family homes on separate sites, bounded by property lines. Per CBC 1102A.1 "Each building on a building site shall be considered separately when determining the requirements contained in this chapter..." Per 2022 CBC Ch. 2, Definition of Site "A parcel of land bounded by a property line or a designated portion of a public right-of-way."
Any accessibility & adaptability features provided are voluntary.

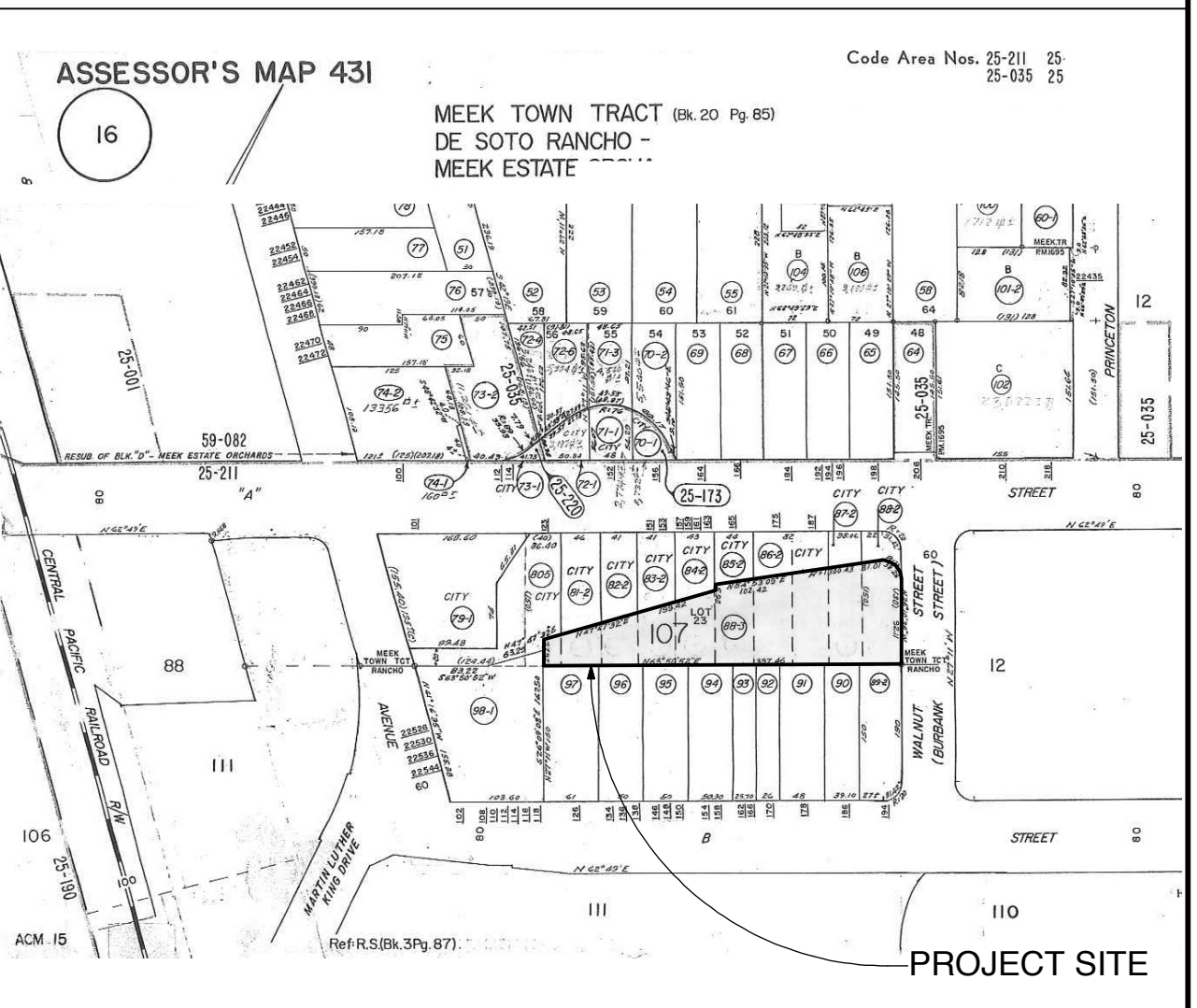
PROJECT DATA

UNIT TYPES	# OF HOMES	FOOTPRINT	GROSS FLOOR AREA / UNIT
3 BEDROOM	8	684 SF	1,341 SF
4 BEDROOM	2	905 SF	1,553 SF
TOTAL	10	7,282 SF	13,834 SF
BUILDING TYPES	QUANTITY		GROSS FLOOR AREA / BUILDING
A	(2) BUILDINGS WITH (1) 4-BEDR. AND (2) 3-BEDR. UNITS		4,235 SF
B	(2) BUILDINGS WITH (2) 3-BEDR. UNITS EACH		2,682 SF
PARKING	QUANTITY		DIMENSION
STANDARD	10		9'-0" X 19'-0"
COMPACT	10		8'-0" X 15'-0"

REGIONAL MAP



ASSESSOR'S PARCEL MAP

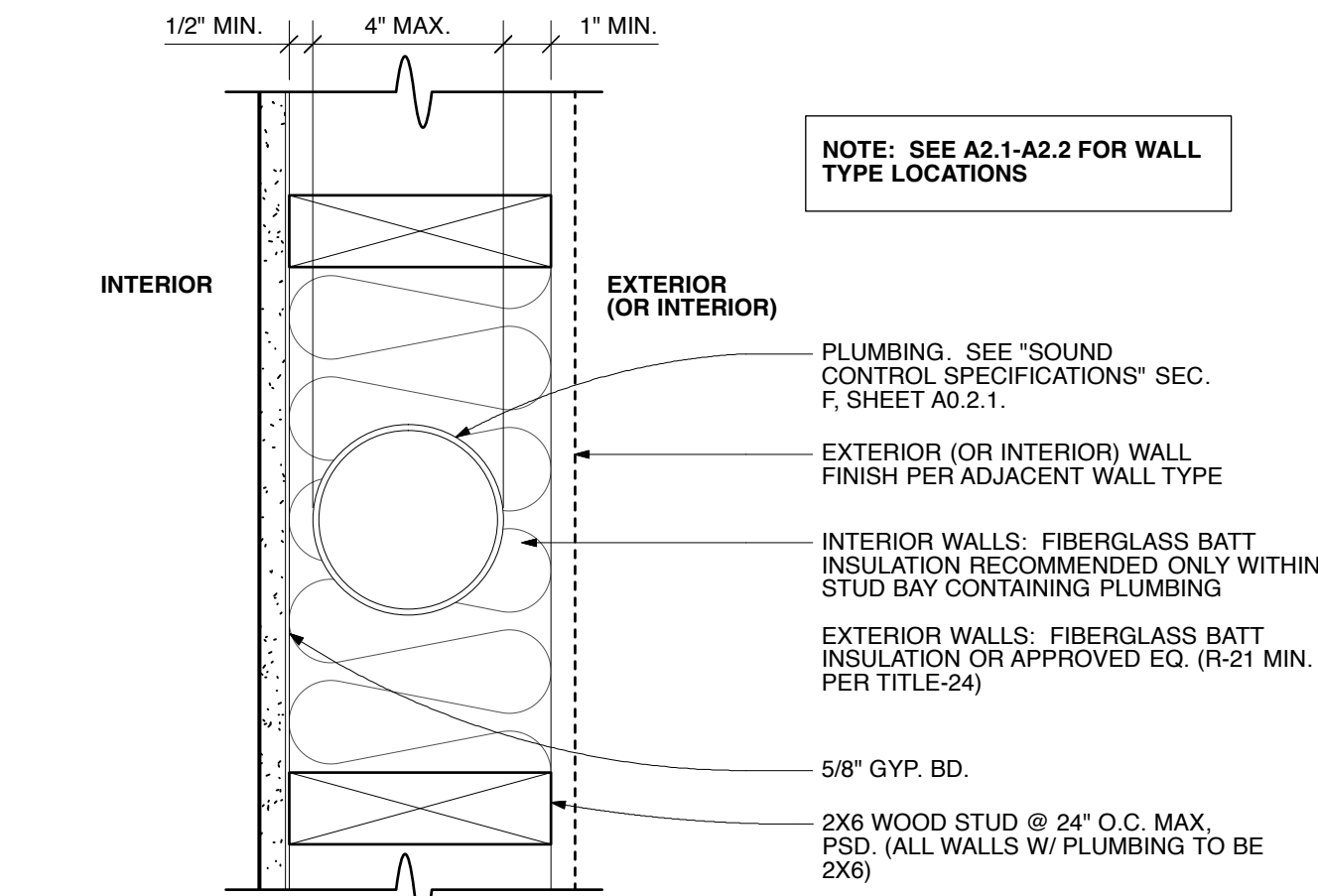


HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.
123 A STREET, HAYWARD, CA 94541
SEQUOIA GROVE

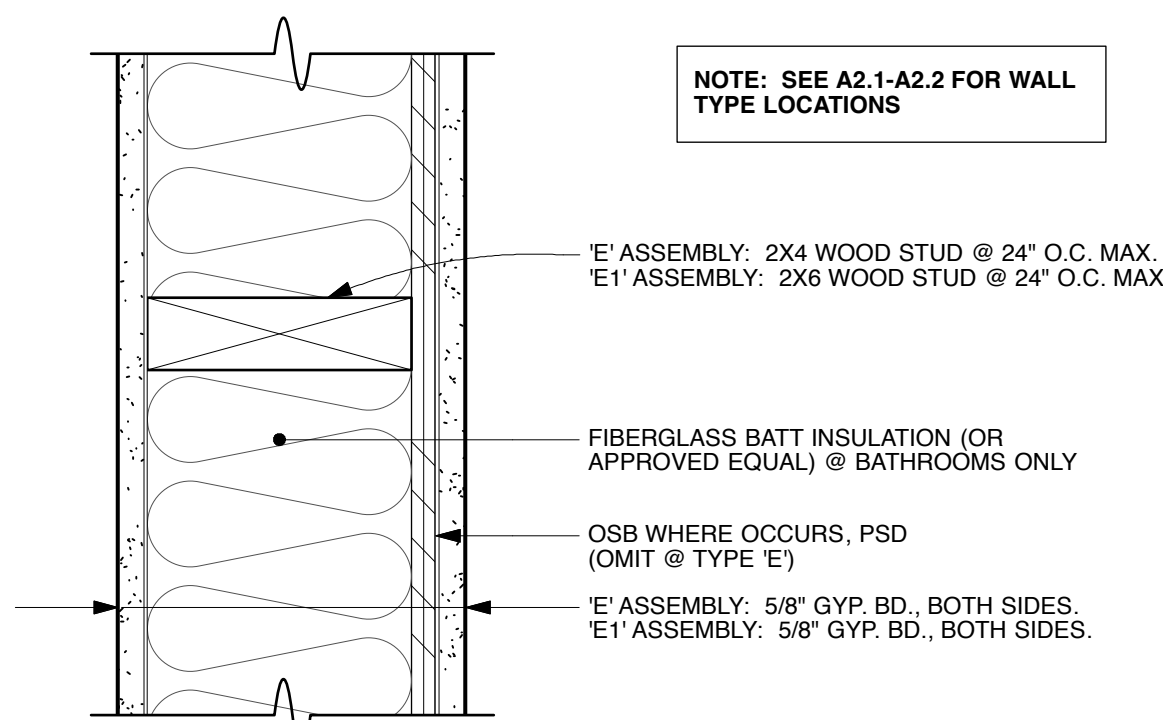
GHA
GEOFFREY HOLTON
& ASSOCIATES
1743 Alcatraz Avenue
Berkeley, CA 94703
tel: 510.663.9797
fax: 510.663.1807
http://www.ghadesign.net



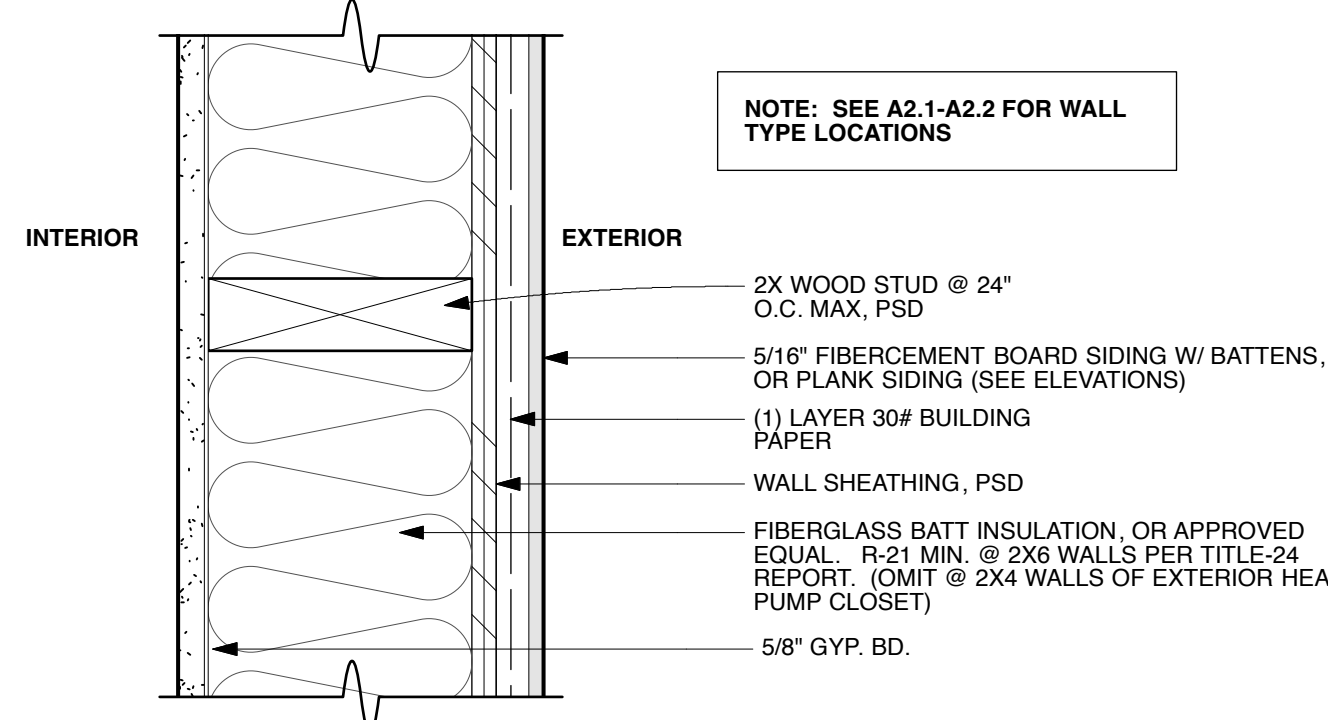
CURRENT ISSUE DATE
8/4/2023
INITIAL SUBMITTAL DATE
6.7.2023
REVISIONS
1. SPR/ITM RESUBMITTAL 6.7.2023
2. SPR/ITM RESUBMITTAL 8.4.2023
SHEET NO.
A0.0
ROOF PLAN



D PLAN DETAIL - 2x6 WALL with PLUMBING - NR
SCALE: 3" = 1'-0"



E1 PLAN DETAIL - 2x6 INTERIOR WALL - NR
E PLAN DETAIL - 2x4 INTERIOR WALL - NR
SCALE: 3" = 1'-0"



A1 2x4 EXTERIOR WALL - NR
A 2x6 EXTERIOR WALL - NR (non rated)
SCALE: 3" = 1'-0"

FIRE RATING:
UL U305

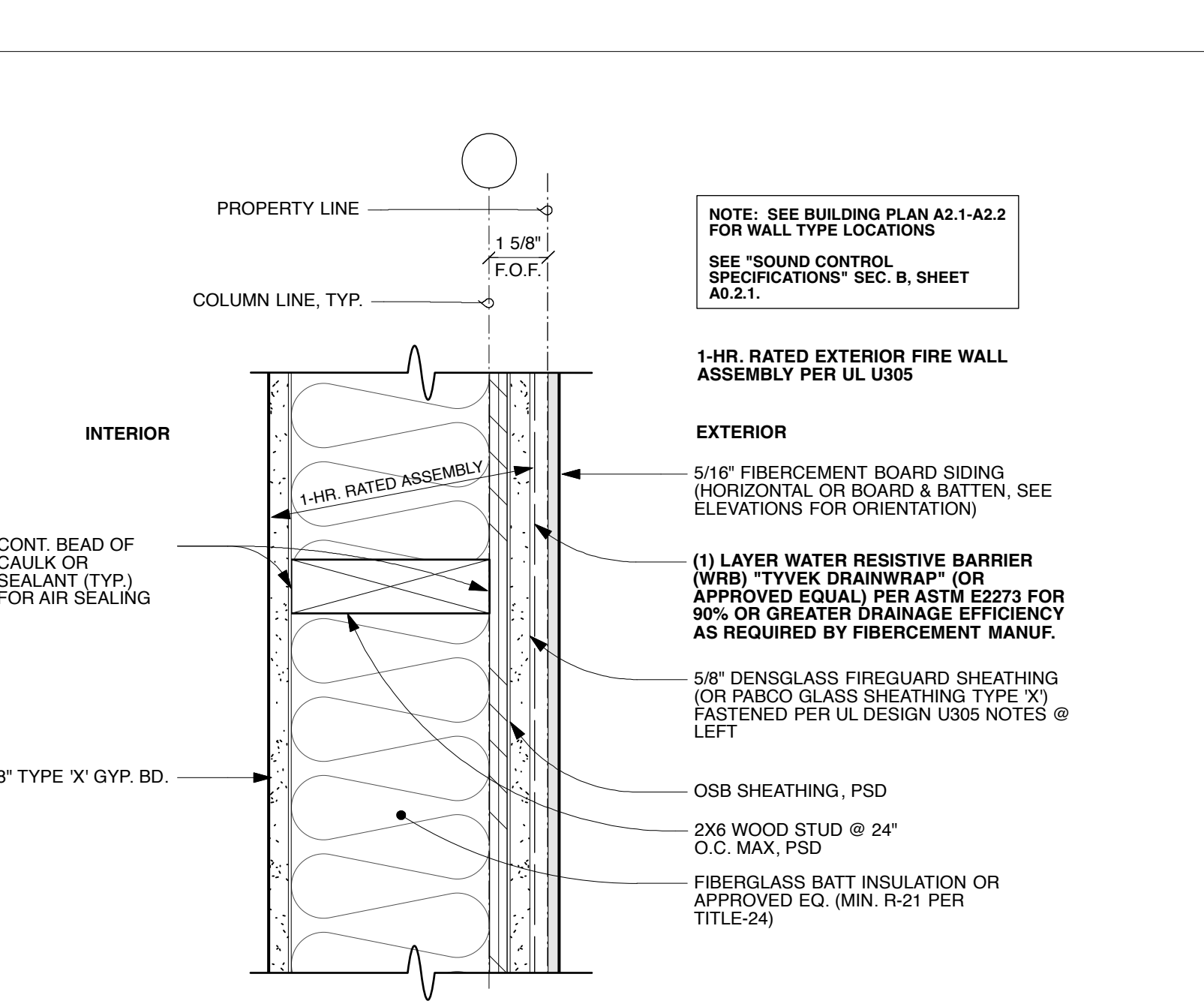
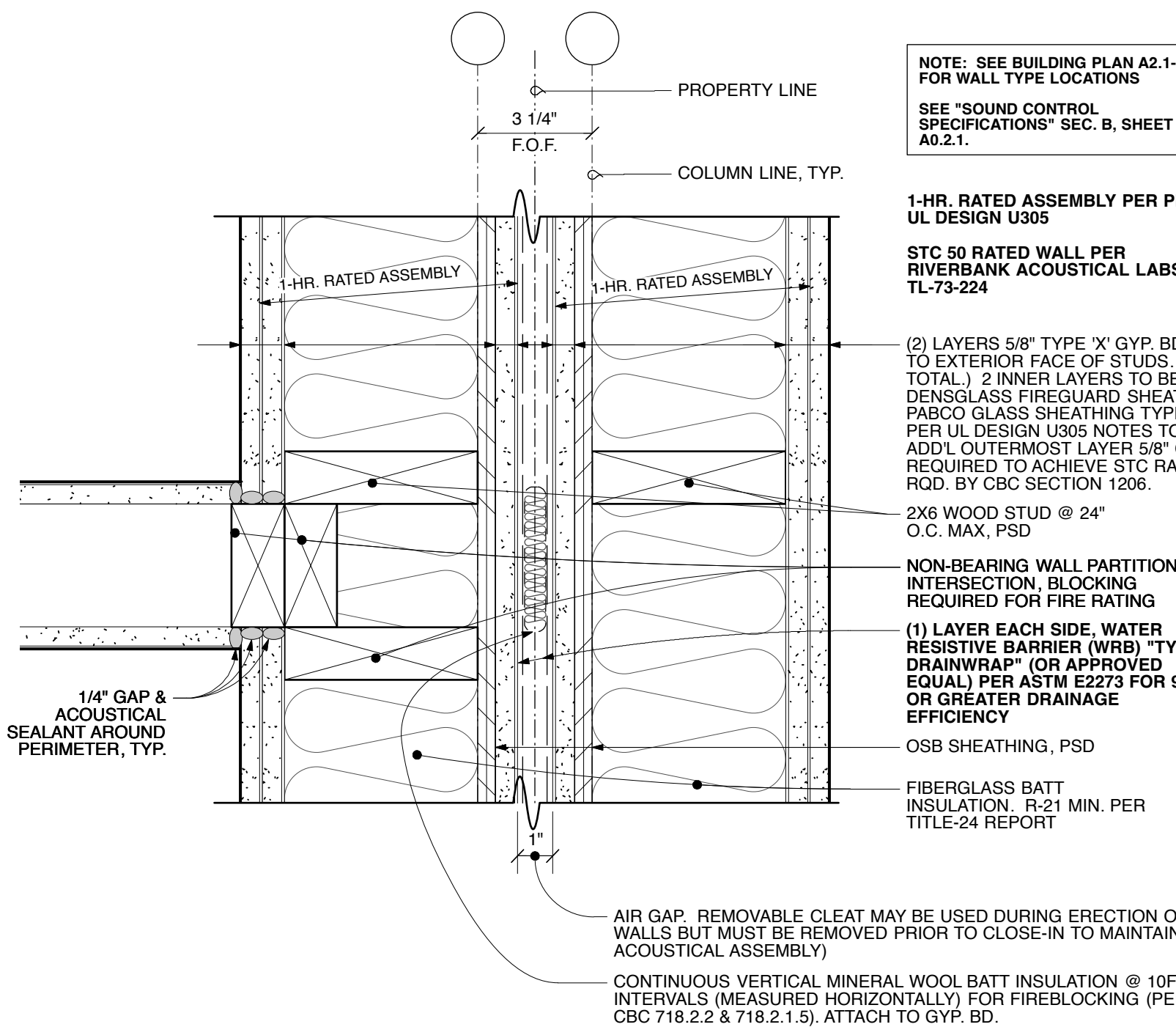
- Wood Studs** — Nom 2 by 4 in. spaced 16 in. OC max, effectively firestopped.
- Joints and Nail-Heads** — Joints covered with joint compound and paper tape. Joint compound and paper tape may be omitted when square edge boards are used. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with the joints reinforced with paper tape. Nailheads exposed or covered with joint compound.
- Gypsum Board** — 5/8 in. thick paper or vinyl surfaced, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads. When used in widths other than 48 in., gypsum panels are to be installed horizontally.
- Steel Corner Fasteners** — (Optional) — For use at wall corners. Channel shaped, 2 in. long by 1 in. high on the back side with two 1/8 in. wide cleats protruding into the 5/8 in. wide channel, fabricated from 24 gauge galv steel. Fasteners applied only to the end or cut edge (not along tapered edges) of the gypsum board, no greater than 2 in. from corner of gypsum board, max spacing 16 in. OC. Nailed to adjacent stud through tab using one No. 6d cement coated nail per fastener. Corners of wall board shall be nailed to top and bottom plate using No. 6d cement coated nails.
- Batts and Blankets** — (Optional) — Required when Item 6A is used (RC-1) — Glass fiber or mineral wool insulation shall be friction-fitted to completely fill the stud cavities.
- Non-Bearing Wall Partition Intersection** — (Optional) — Two nominal 2 by 4 in. studs or nominal 2 by 6 in. studs nailed together with two 3 in. long 10d nails spaced a max. 16 in. OC, vertically and fastened to one side of the minimum 2 by 4 in. stud with 3 in. long 10d nails spaced a max. 16 in. OC, vertically. Intersection between partition wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed by with a second 2 by 4 in. wood stud fastened with 3 in. long 10d nails spaced a max. 16 in. OC, vertically. Maximum one non-bearing wall partition intersection per stud cavity. Non-bearing wall partition stud depth shall be at a minimum equal to the depth of the bearing wall.

PENETRATIONS:
PENETRATIONS IN 1-HR. FIRE RATED ASSEMBLIES SHOULD BE PROTECTED WITH 1-HR. FIRE RATED CAULK (ASTM E814 OR UL 1479). THIS INCLUDES, BUT IS NOT LIMITED TO, CAULK AROUND PLUMBING, OUTLET BOXES, SWITCHING BOXES, LIGHT FIXTURES, CABLE BOXES, DATA BOXES, ETC. SEE A0.2.1 FOR MORE INFORMATION ON ACOUSTICAL & FIREPROOF SEALANTS.

PLUMBING PENETRATIONS TO BE CAST IRON, COPPER, OR IRON PIPE, SEALED W/ MIN. 1-HR RATED FIRE CAULK.

NO PLUMBING IN PARTY WALLS TO MAINTAIN ACOUSTICAL SEPARATION AND PER CRC R302.2 FOR FIRE-RATED PARTY WALLS IN TOWNHOUSES.
EXCEPTION: SMALL-DIAMETER COPPER CONDENSATE DRAIN LINE MAY RUN FROM HOT WATER HEATER CLOSET IN 3 BEDR. UNITS TO EXTERIOR (SEE PLUMBING DWGS.) FIRE CAULK/SEAL PENETRATION.

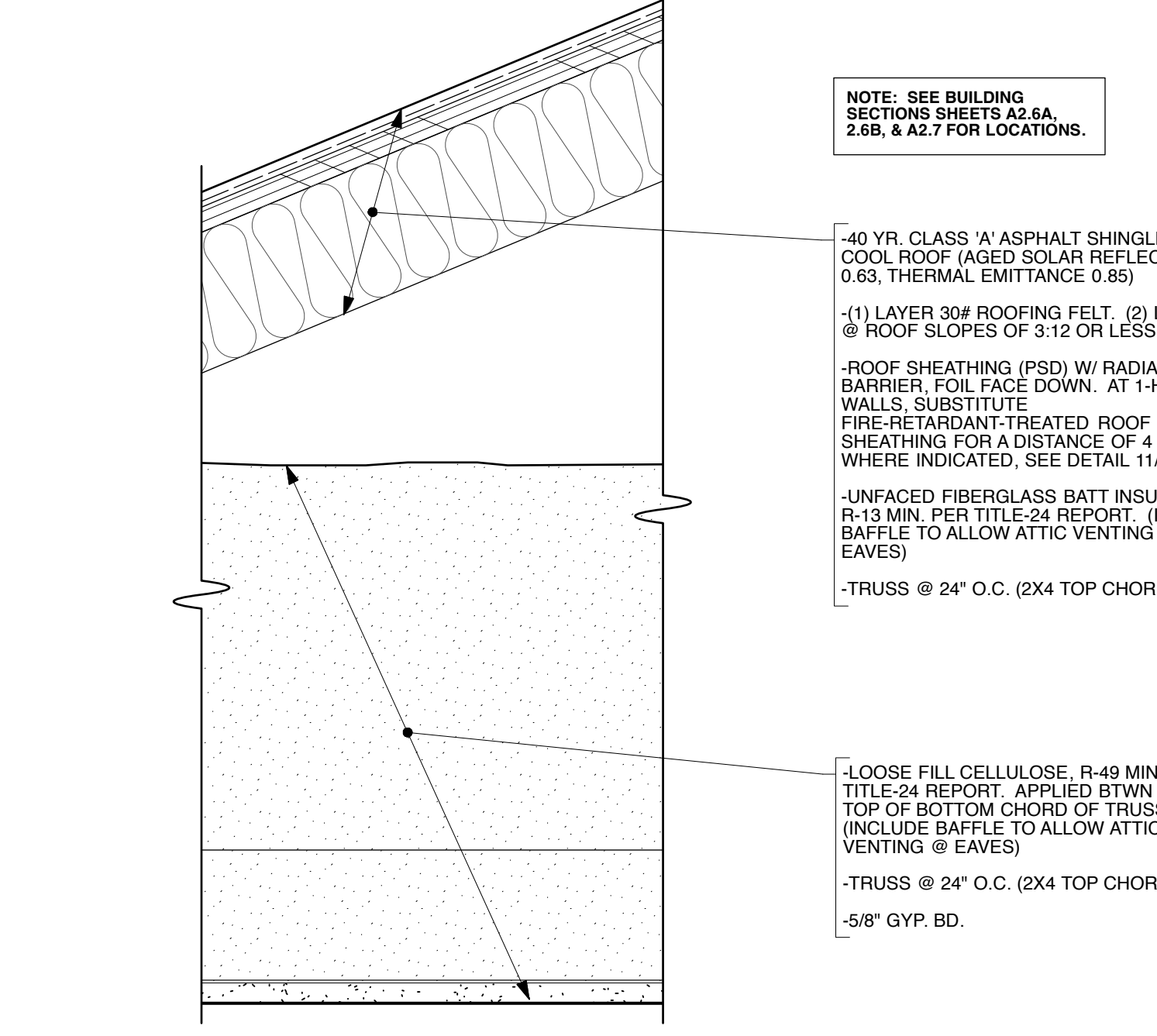
C PLAN DETAIL
(2) 1-HR RATED FIRE WALLS, 50 STC TOTAL
SCALE: 3" = 1'-0"



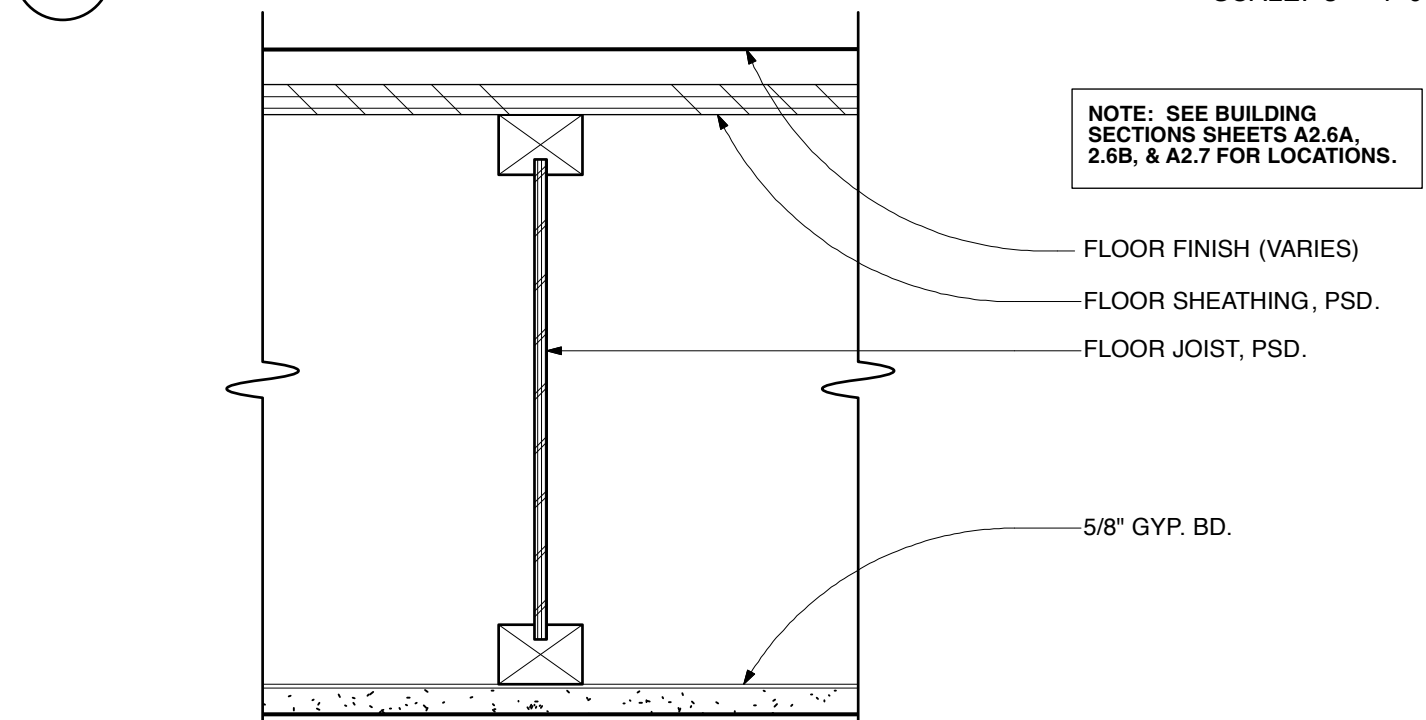
PENETRATIONS:
PENETRATIONS IN 1-HR. FIRE RATED ASSEMBLIES SHOULD BE PROTECTED WITH 1-HR. FIRE RATED CAULK (ASTM E814 OR UL 1479). THIS INCLUDES, BUT IS NOT LIMITED TO, CAULK AROUND PLUMBING, OUTLET BOXES, SWITCHING BOXES, LIGHT FIXTURES, CABLE BOXES, DATA BOXES, ETC. SEE A0.2.1 FOR MORE INFORMATION ON ACOUSTICAL & FIREPROOF SEALANTS.

PLUMBING PENETRATIONS TO BE CAST IRON, COPPER, OR IRON PIPE, SEALED W/ MIN. 1-HR RATED FIRE CAULK.

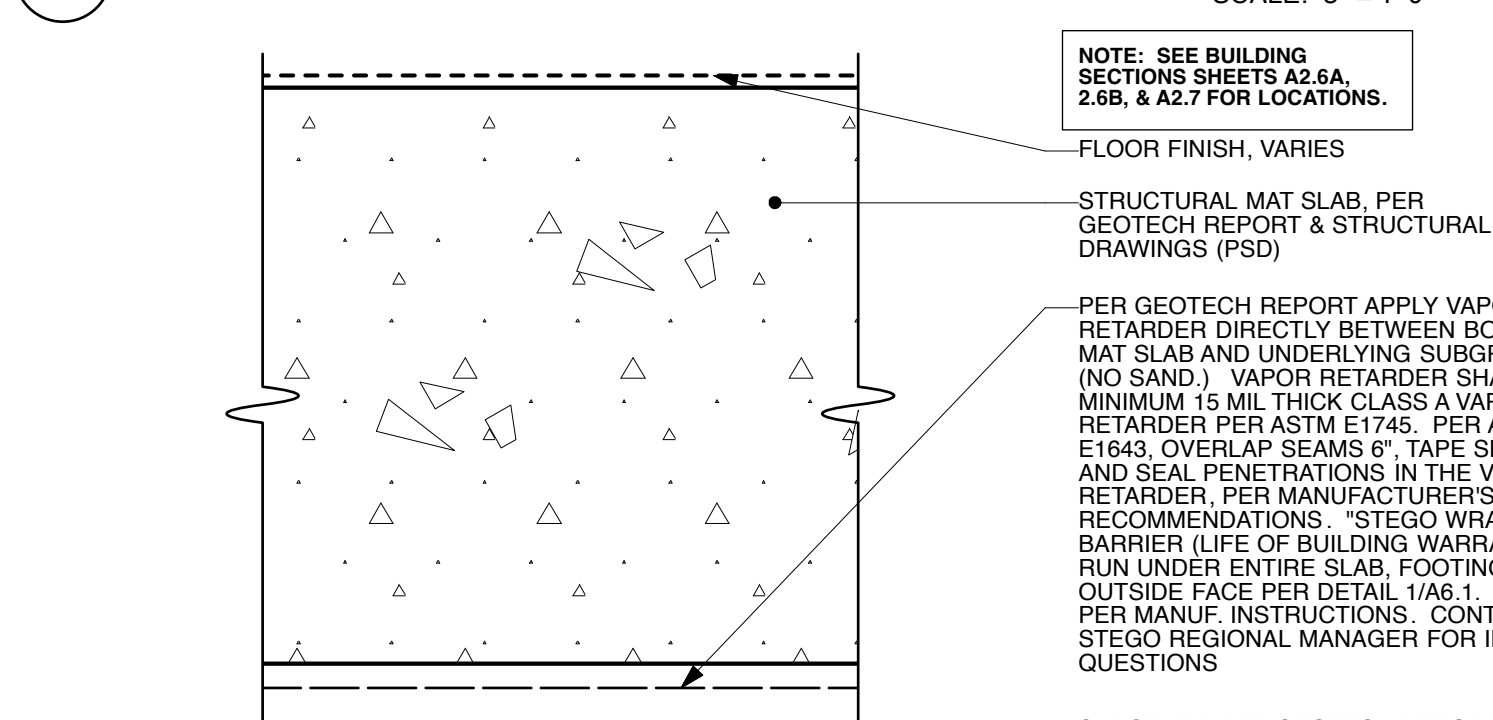
B PLAN DETAIL
2x6 EXTERIOR WALL - 1 HR. RATED
SCALE: 3" = 1'-0"



3 A0.2 SECTION DETAIL - ROOF/CEILING - NR
SCALE: 3" = 1'-0"



2 A0.2 SECTION DETAIL - FLOOR / CEILING - NR
SCALE: 3" = 1'-0"



1 A0.2 SECTION DETAIL - FLOOR SLAB ON GRADE - NR (non rated)
SCALE: 3" = 1'-0"

HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY, INC.

123 A STREET, HAYWARD, CA 94541
SEQUOIA GROVE

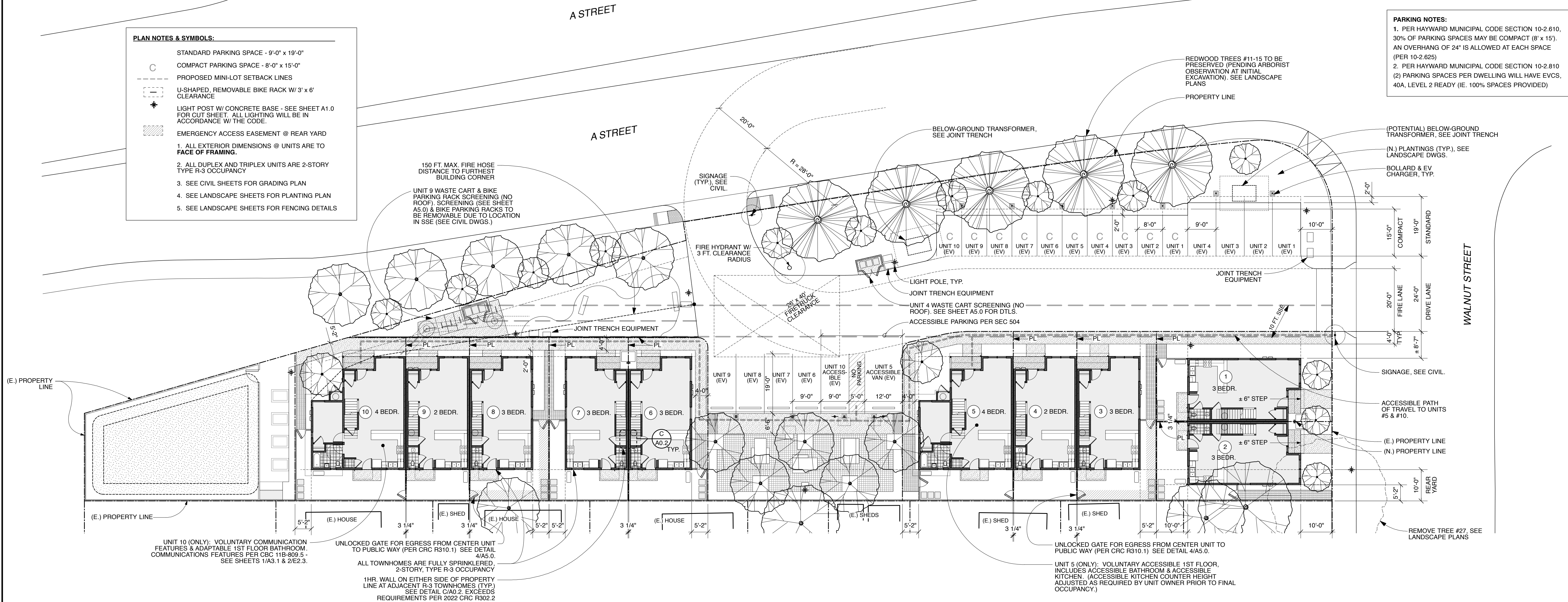
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SHEET NO.
A0.2
WALL
ASSEMBLIES

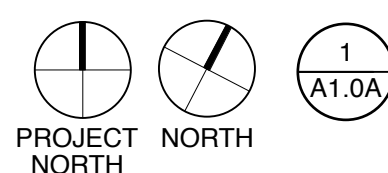


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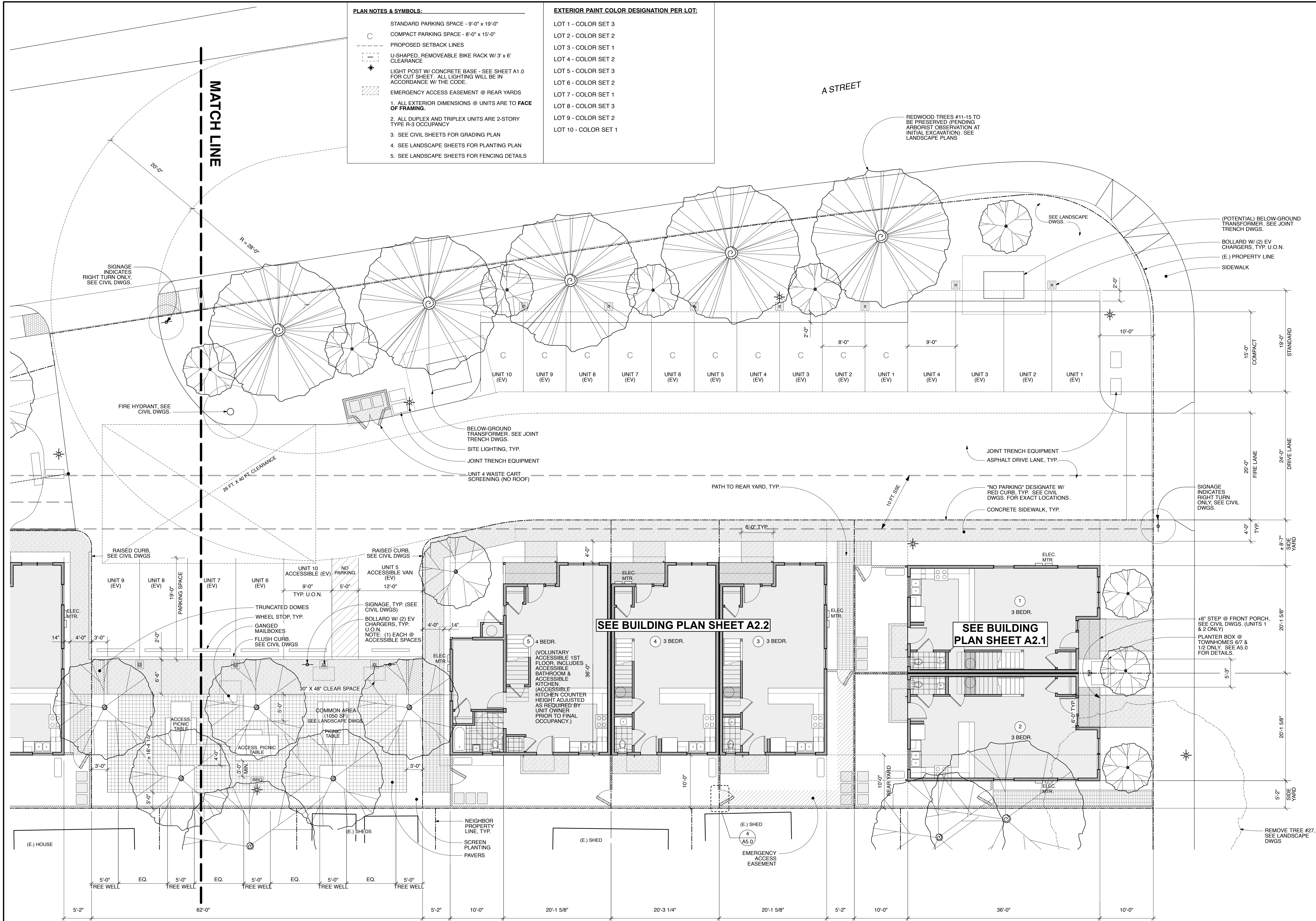


Professional Engineer Seal for Geoffrey Keith, No. 23896, State of California, expires 1.31.25.

SHEET NO.
A1.0A
SITE PLAN



SCALE: 1/8" = 1'-0"



- PLAN NOTES & SYMBOLS:**
- C STANDARD PARKING SPACE - 9'-0" x 19'-0"
 - COMPACT PARKING SPACE - 8'-0" x 15'-0"
 - PROPOSED SETBACK LINES
 - U-SHAPED, REMOVEABLE BIKE RACK W/ 3' x 6' CLEARANCE
 - LIGHT POST W/ CONCRETE BASE - SEE SHEET A1.0 FOR CUT SHEET. ALL LIGHTING WILL BE IN ACCORDANCE W/ THE CODE.
 - EMERGENCY ACCESS EASEMENT @ REAR YARDS
 - 1. ALL EXTERIOR DIMENSIONS @ UNITS ARE TO FACE OF FRAMING.
 - 2. ALL DUPLEX AND TRIPLEX UNITS ARE 2-STORY TYPE R-3 OCCUPANCY
 - 3. SEE CIVIL SHEETS FOR GRADING PLAN
 - 4. SEE LANDSCAPE SHEETS FOR PLANTING PLAN
 - 5. SEE LANDSCAPE SHEETS FOR FENCING DETAILS

- EXTERIOR PAINT COLOR DESIGNATION PER LOT:**
- LOT 1 - COLOR SET 3
 - LOT 2 - COLOR SET 2
 - LOT 3 - COLOR SET 1
 - LOT 4 - COLOR SET 2
 - LOT 5 - COLOR SET 3
 - LOT 6 - COLOR SET 2
 - LOT 7 - COLOR SET 1
 - LOT 8 - COLOR SET 3
 - LOT 9 - COLOR SET 2
 - LOT 10 - COLOR SET 1

**HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.**

123 A STREET, HAYWARD, CA 94541
SEQUOIA GROVE

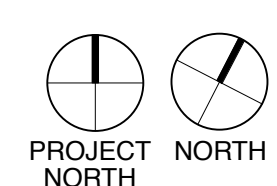
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SHEET NO.
A1.0B
SITE PLAN



HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - SEQUOIA GROVE - PRELIMINARY SITE PLAN
123 A STREET, APN 431-0016-088-03

SCALE: 1/8" = 1'-0"

HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.

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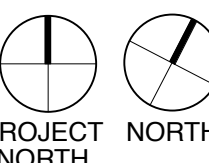
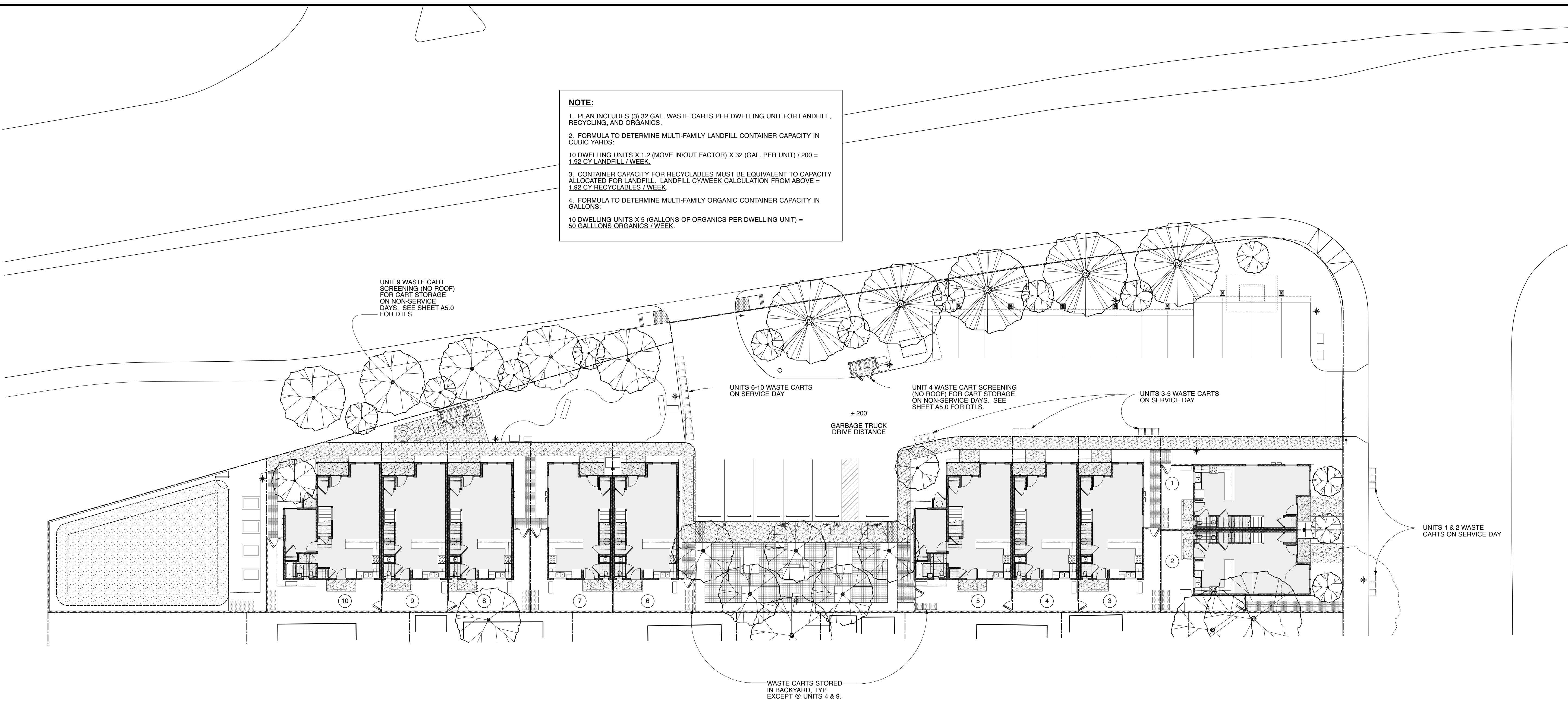
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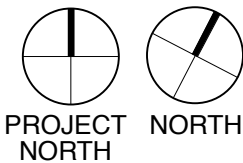
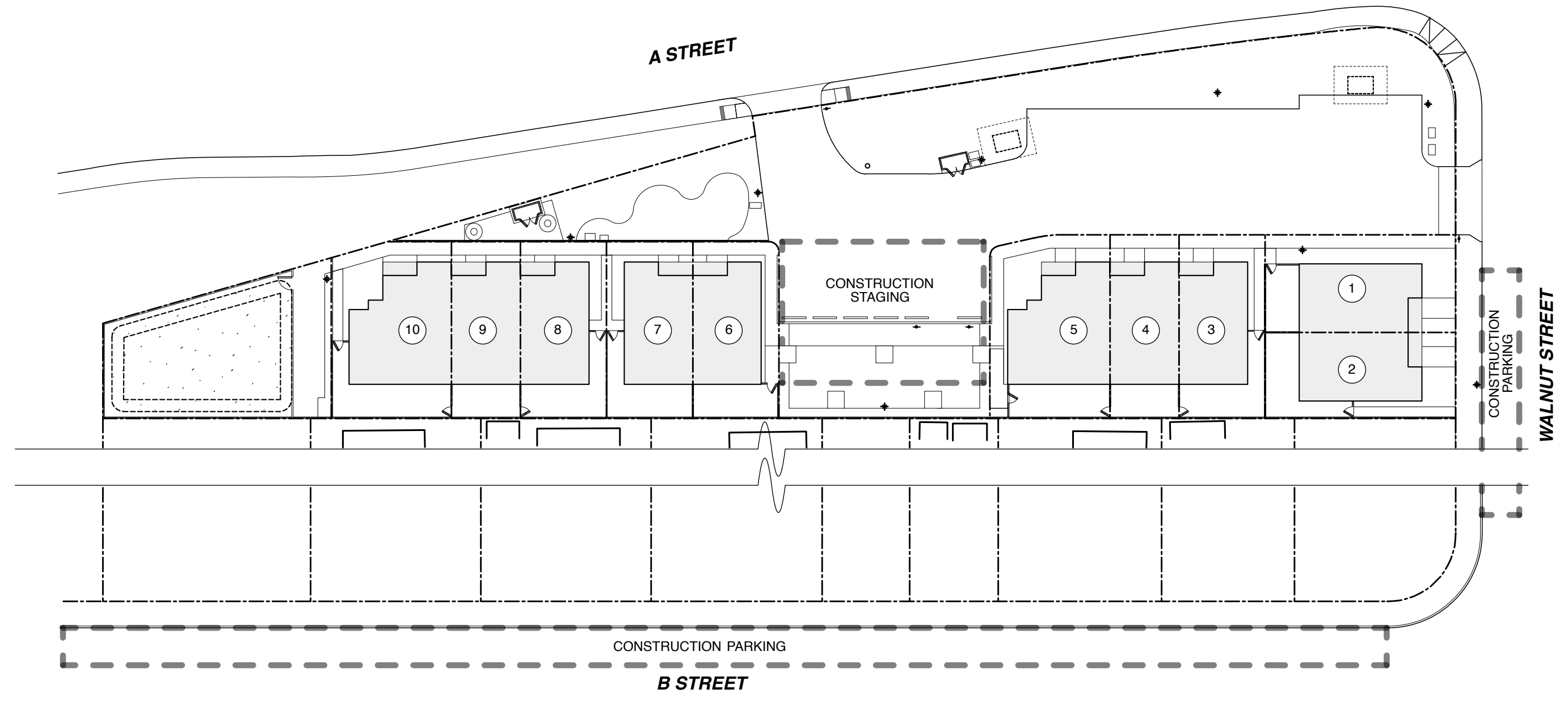
SHEET NO.
A1.1
RECYCLE &
WASTE PLAN

NOTE:
1. PLAN INCLUDES (3) 32 GAL. WASTE CARTS PER DWELLING UNIT FOR LANDFILL, RECYCLING, AND ORGANICS.
2. FORMULA TO DETERMINE MULTI-FAMILY LANDFILL CONTAINER CAPACITY IN CUBIC YARDS:
 $10 \text{ DWELLING UNITS} \times 1.2 \text{ (MOVE IN/OUT FACTOR)} \times 32 \text{ (GAL. PER UNIT)} / 200 = 1.92 \text{ CY LANDFILL / WEEK}$
3. CONTAINER CAPACITY FOR RECYCLABLES MUST BE EQUIVALENT TO CAPACITY ALLOCATED FOR LANDFILL. LANDFILL CY/WEEK CALCULATION FROM ABOVE = 1.92 CY RECYCLABLES / WEEK
4. FORMULA TO DETERMINE MULTI-FAMILY ORGANIC CONTAINER CAPACITY IN GALLONS:
 $10 \text{ DWELLING UNITS} \times 5 \text{ (GALLONS OF ORGANICS PER DWELLING UNIT)} = 50 \text{ GALLONS ORGANICS / WEEK}$



1
A1.1
HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - SEQUOIA GROVE - LANDFILL, RECYCLE, AND ORGANICS CARTS PLAN & CALCULATIONS
123 A STREET, APN 431-0016-088-03

SCALE: 1" = 16'-0"



2
A1.1
CONSTRUCTION STAGING & PARKING PLAN

SCALE: 1" = 32'-0"

HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.

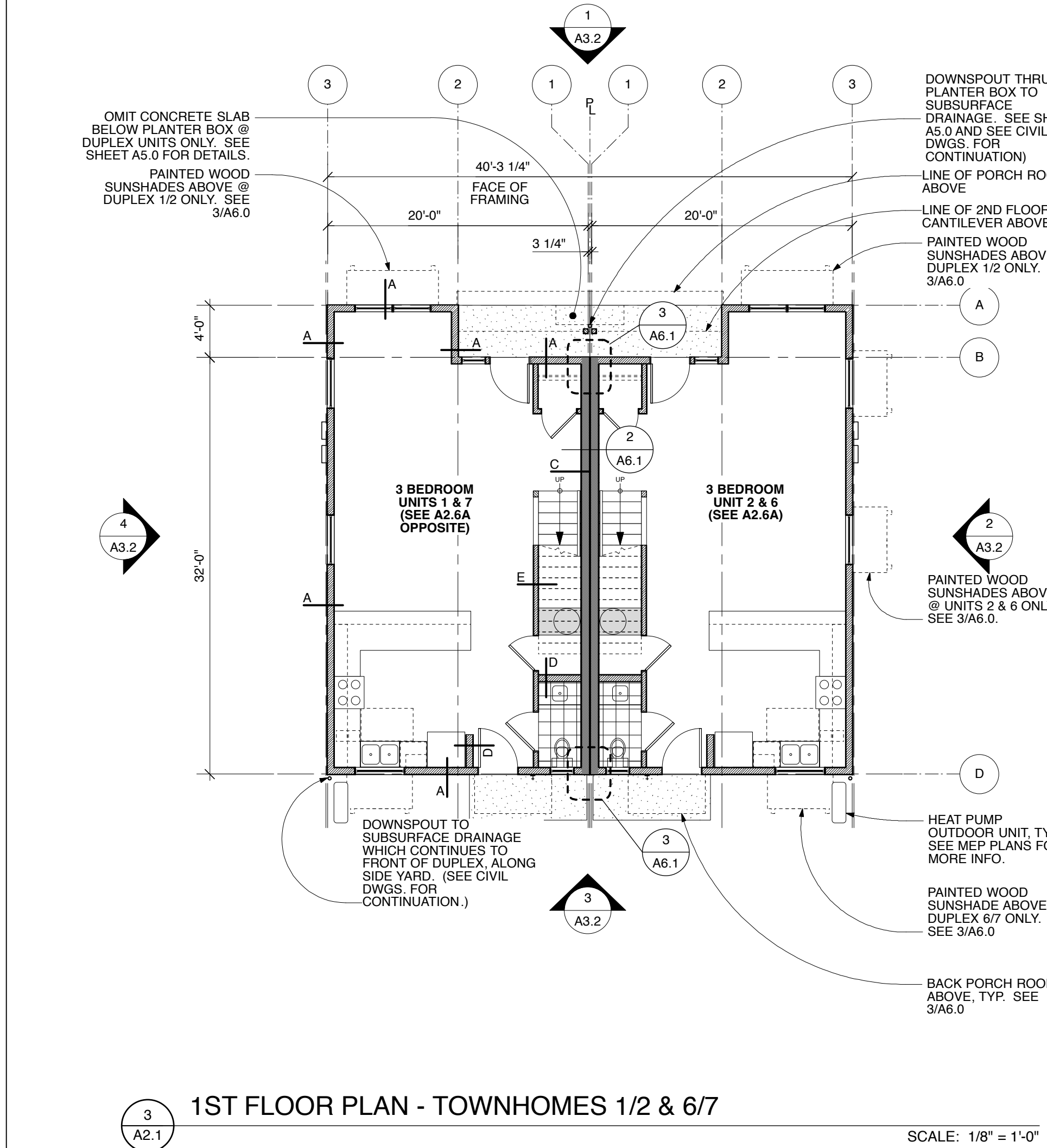
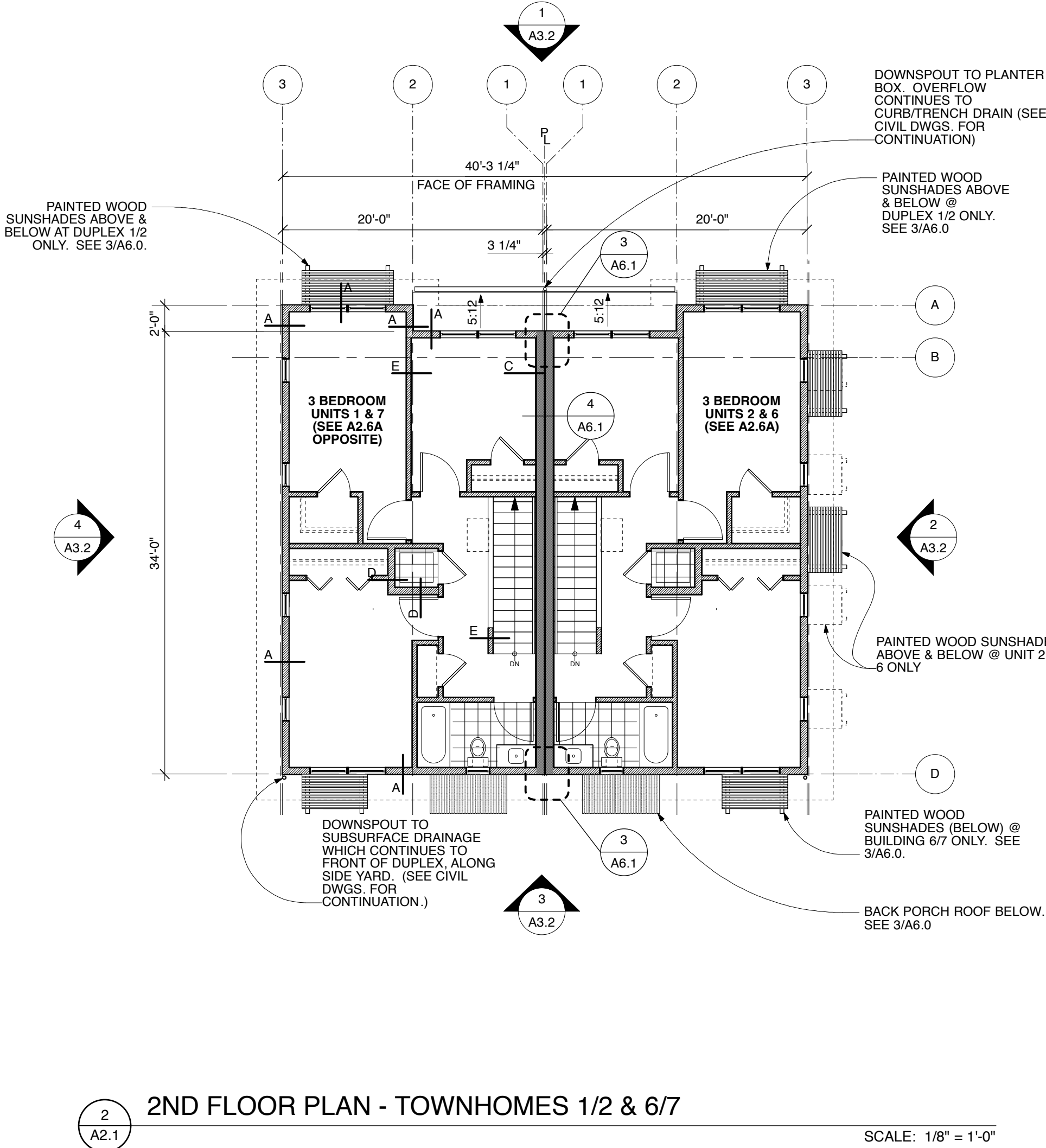
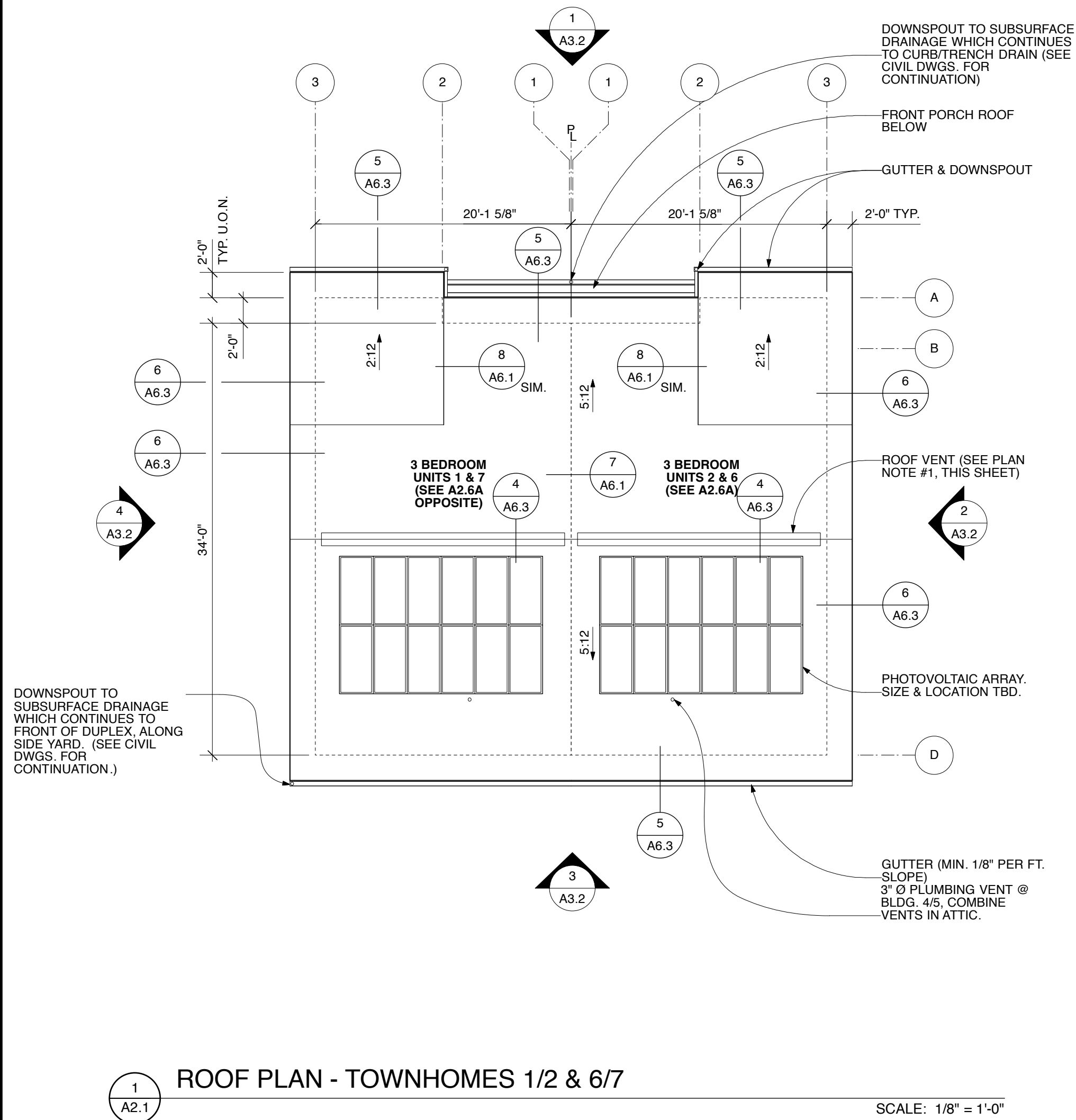
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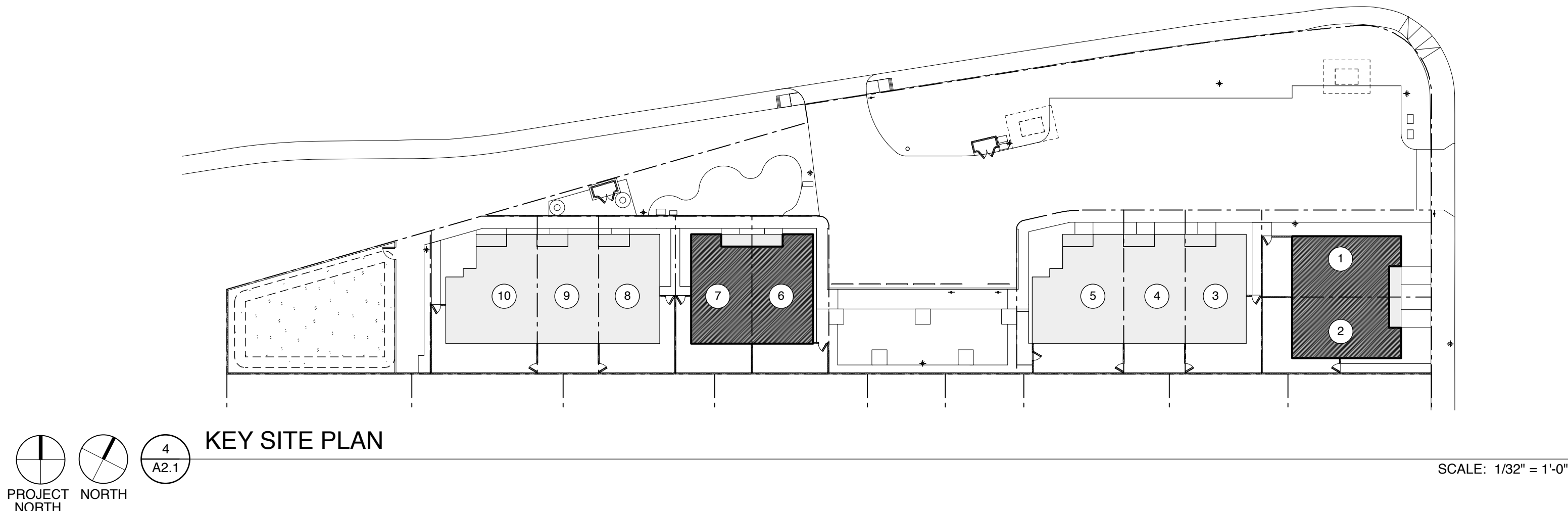
SHEET NO.
A2.1
BUILDING PLANS



PLAN NOTES & SYMBOLS:

PER 2022 CBC SECTION 1203.2, THE NET FREE VENTILATION AREA (NFVA) SHALL BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, WITH 50% OF THE REQUIRED VENTILATION AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FT. ABOVE EAVE OR CORNICE VENTS W/ THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

- VENTING AREA OF 3 BEDR. UNIT ATTIC = $705 \text{ SF} / 300 = 338 \text{ SQ. IN.} / 2 = 169 \text{ SQ. IN.}$ REQUIRED AT UPPER AND LOWER PORTION OF ROOF.
UPPER: (1) CONTINUOUS ROOF RIDGE VENT @ 12 SQ. IN. NFVA / 1 LINEAL FT. = 12 SQ. IN. x 20 FT. = 240 SQ. IN.
LOWER: (3) 2' O HOLES (3.14 SQ. IN.) @ 18 TRUSS BAYS = 169 SQ. IN.
- ALL DIMENSIONS ARE MEASURED TO FACE OF FRAMING (F.O.F.), UNLESS OTHERWISE NOTED. (U.O.N.)



HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.

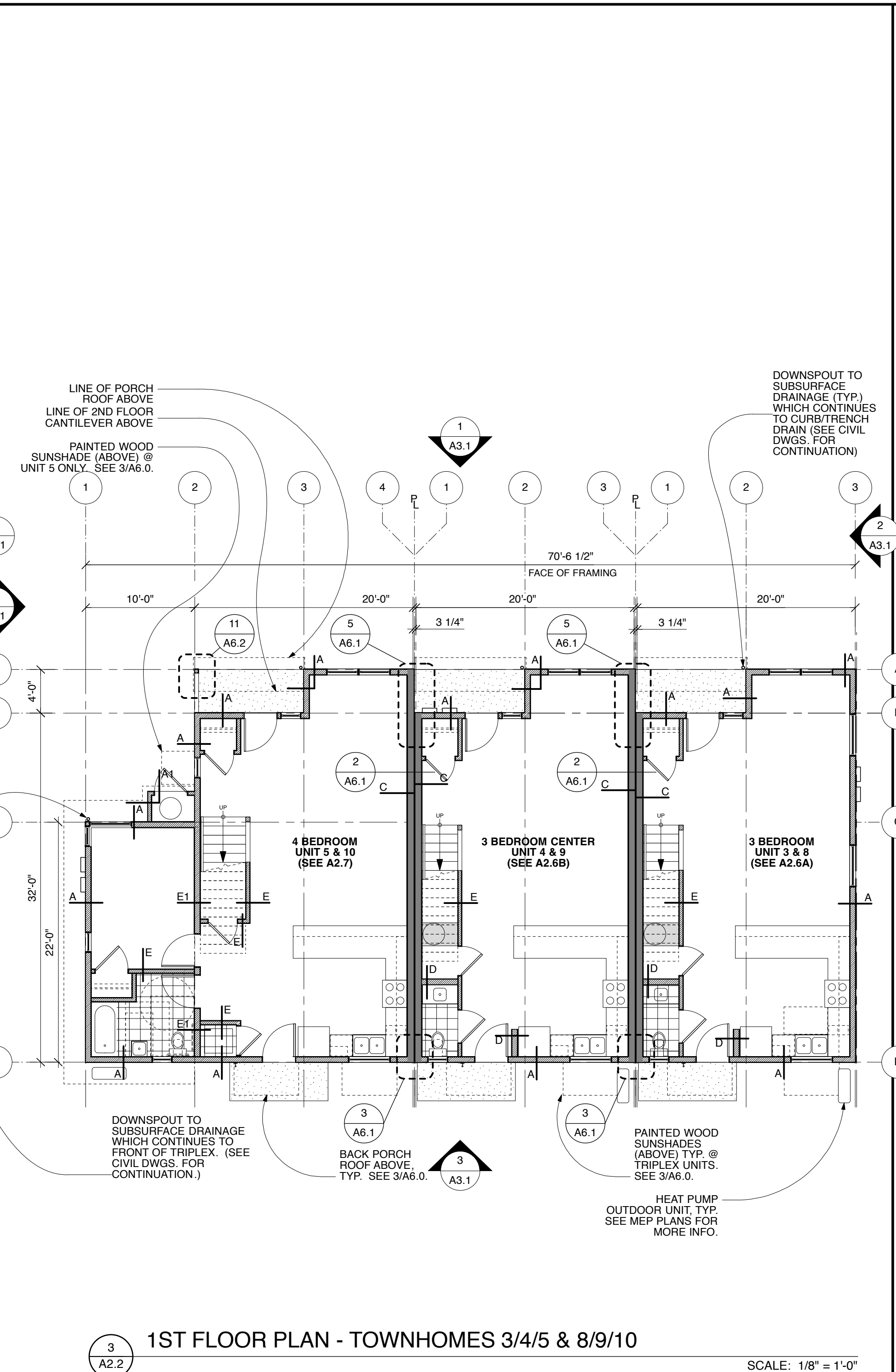
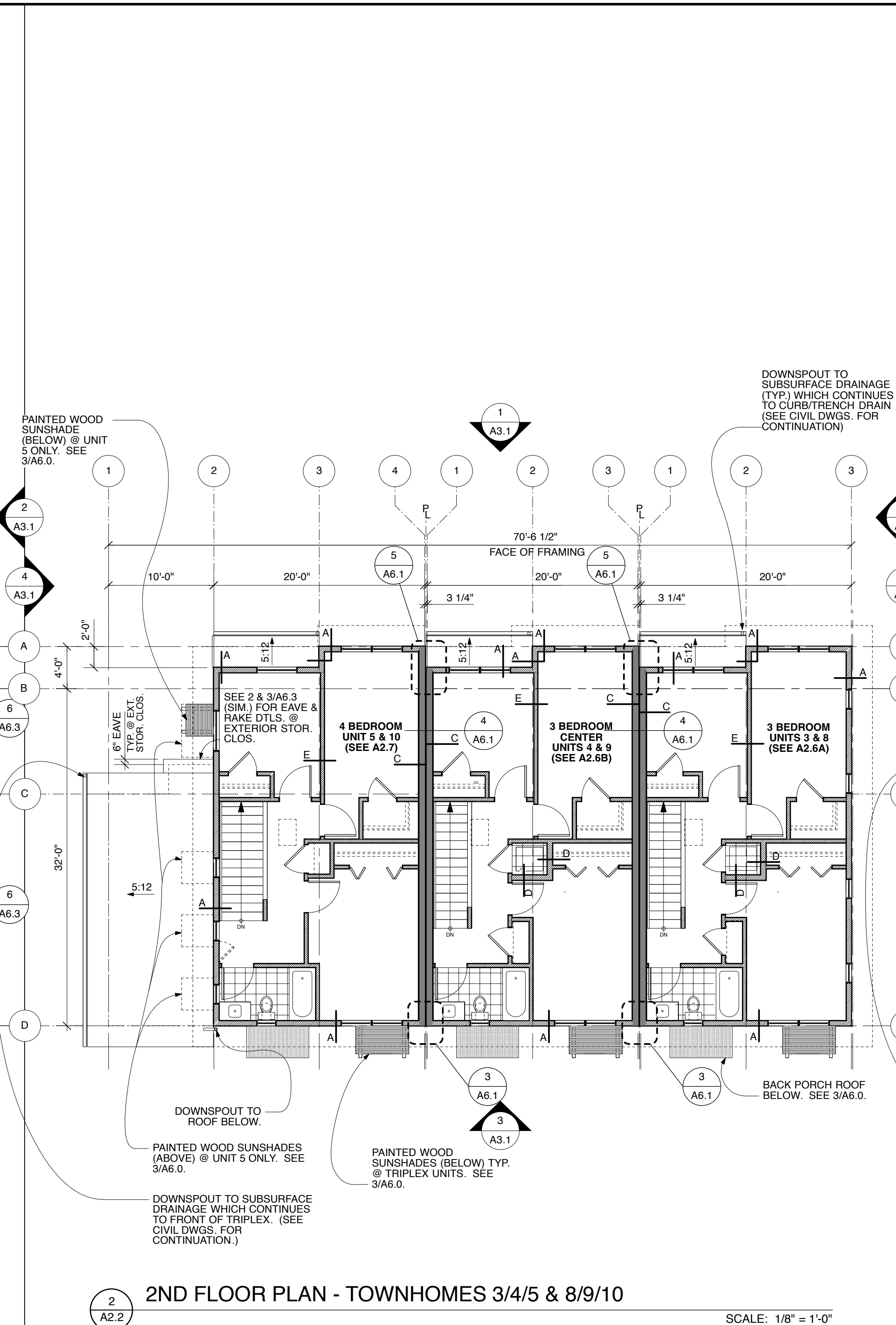
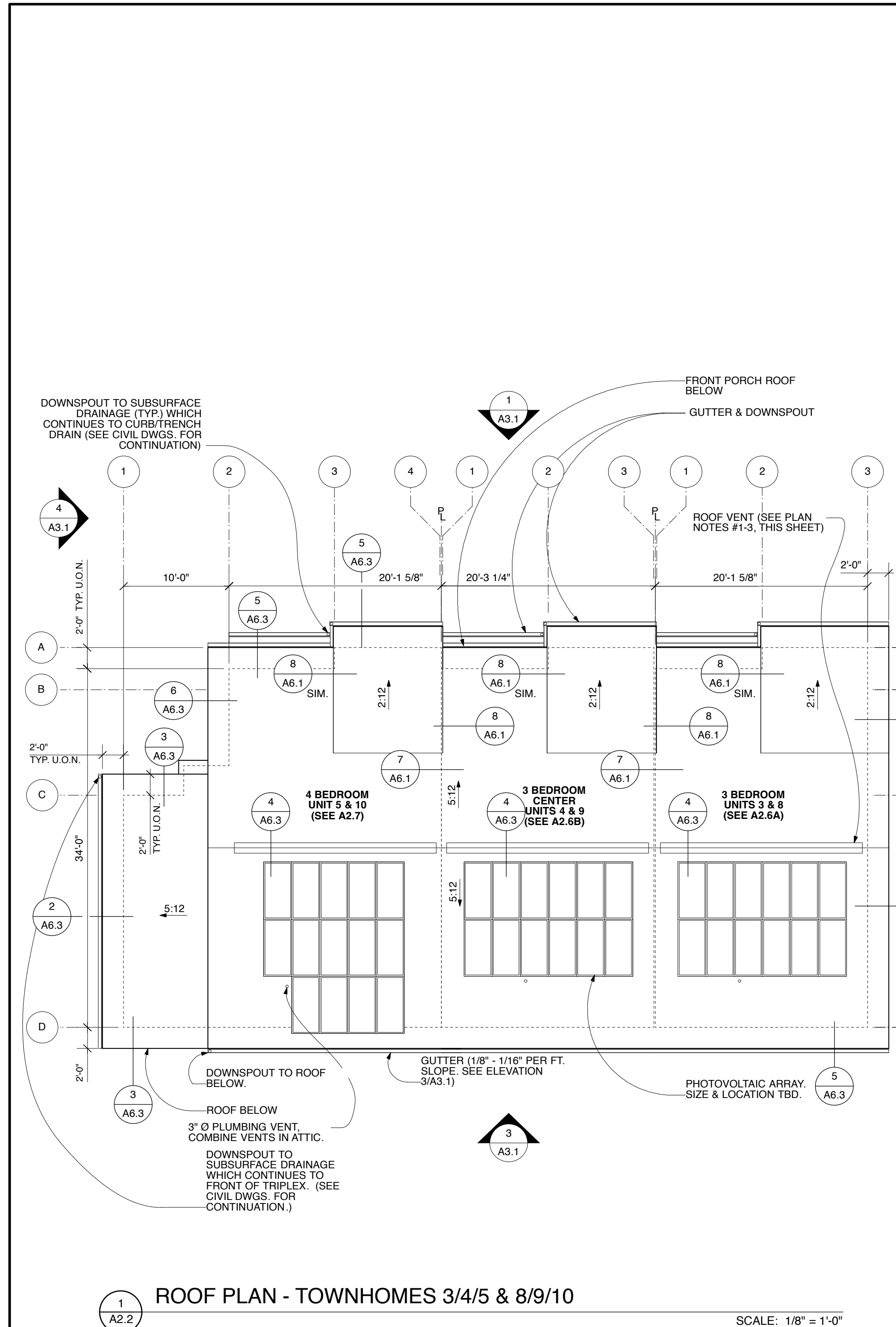
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SHEET NO.
A2.2
BUILDING PLANS



1
A2.2
ROOF PLAN - TOWNHOMES 3/4/5 & 8/9/10

SCALE: 1/8" = 1'-0"

2
A2.2
2ND FLOOR PLAN - TOWNHOMES 3/4/5 & 8/9/10

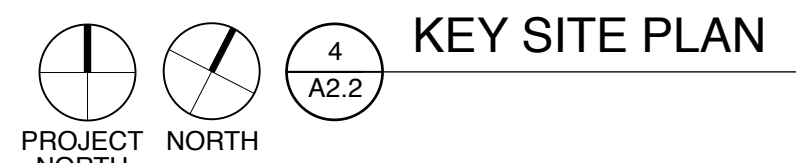
SCALE: 1/8" = 1'-0"

3
A2.2
1ST FLOOR PLAN - TOWNHOMES 3/4/5 & 8/9/10

SCALE: 1/8" = 1'-0"

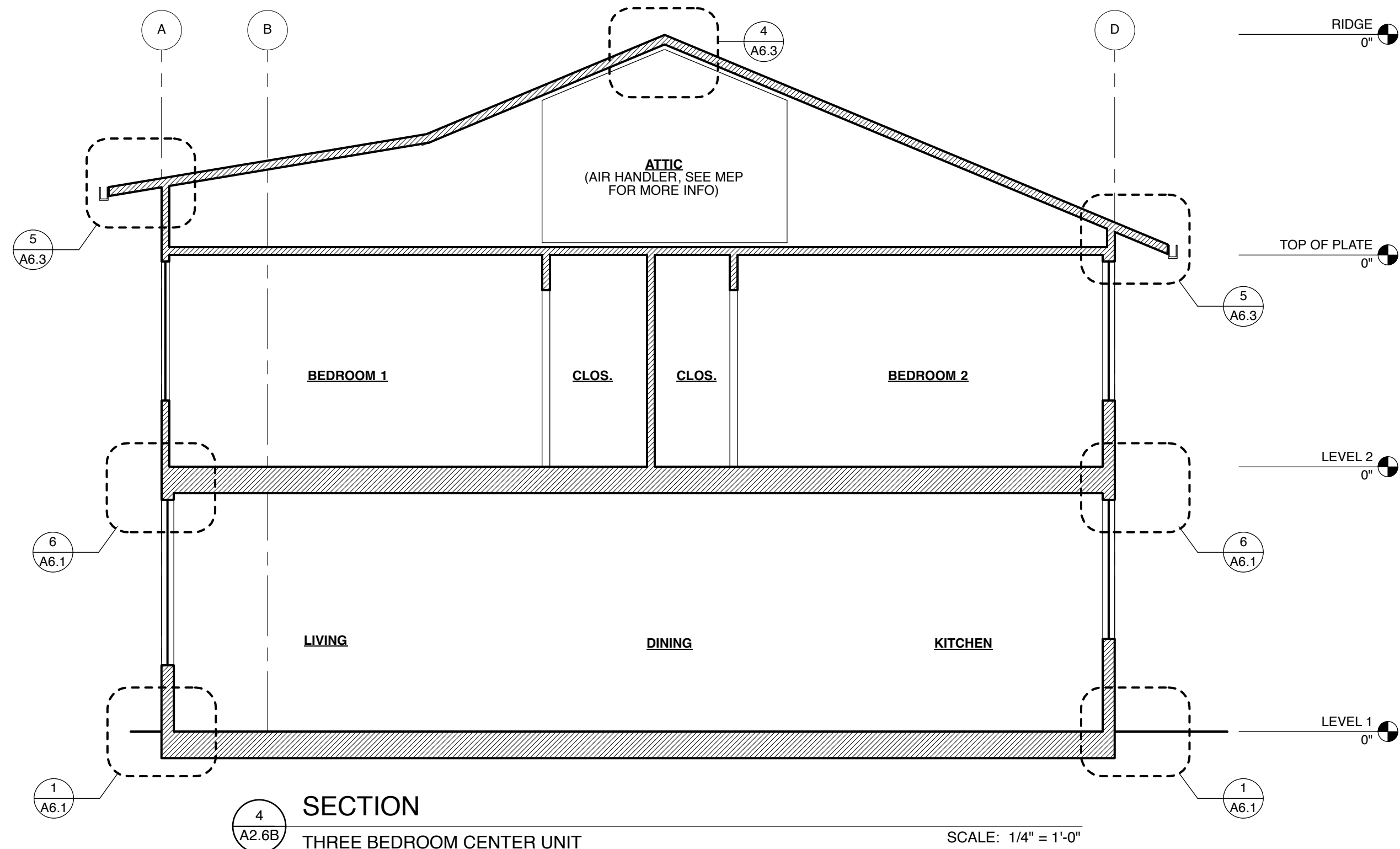
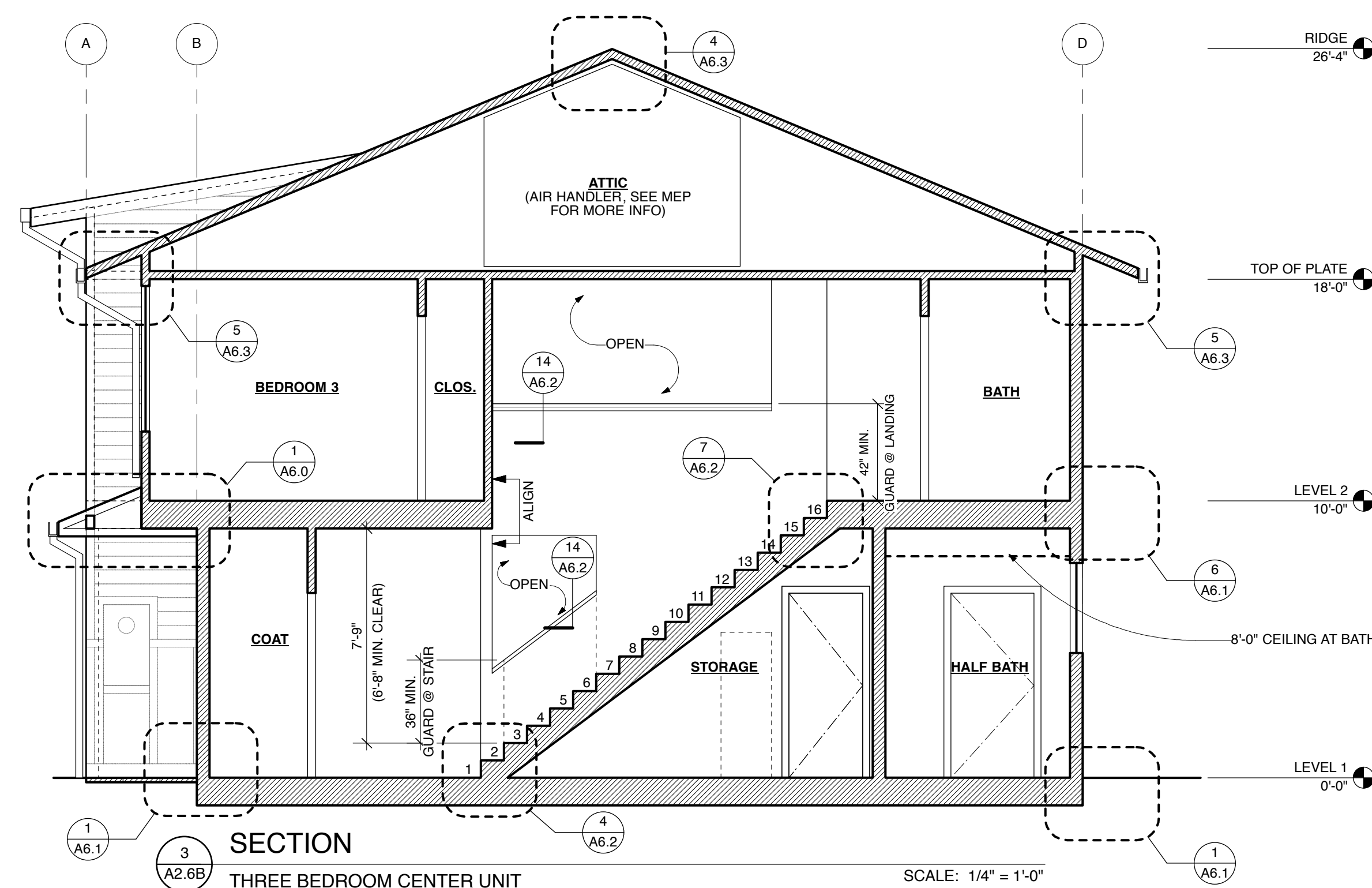
PLAN NOTES & SYMBOLS:

- PER 2022 CBC SECTION 1203.2, THE NET FREE VENTILATION AREA (NFVA) SHALL BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, WITH 50% OF THE REQUIRED VENTILATION AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FT. ABOVE EAVE OR CORNICE VENTS W/ THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
- VENTING AREA OF 3 BEDR. UNIT ATTIC = 705 SF / 300 = 338 SQ. IN. / 2 = 169 SQ. IN.
REQUIRED AT UPPER AND LOWER PORTION OF ROOF.
UPPER: (1) CONTINUOUS ROOF RIDGE VENT @ 12 SQ. IN NFVA / 1 LINEAL FT. = 12 SQ. IN. x 20 FT. = 240 SQ. IN.
LOWER: (3) 2" Ø HOLES (3.14 SQ. IN.) @ 18 TRUSS BAYS = 169 SQ. IN.
 - VENTING AREA OF 4 BEDR. UNIT 2nd FLOOR ATTIC = 705 SF / 300 = 338 SQ. IN. / 2 = 169 SQ. IN.
REQUIRED AT UPPER AND LOWER PORTION OF ROOF.
UPPER: (1) CONTINUOUS ROOF RIDGE VENT @ 12 SQ. IN NFVA / 1 LINEAL FT. = 12 SQ. IN. x 20 FT. = 240 SQ. IN.
LOWER: (3) 2" Ø HOLES (3.14 SQ. IN.) @ 18 TRUSS BAYS = 169 SQ. IN.
 - VENTING AREA OF 4 BEDR. UNIT 1st FLOOR ATTIC = 220 SF / 300 = 106 SQ. IN. / 2 = 53 SQ. IN.
REQUIRED AT UPPER AND LOWER PORTION OF ROOF.
UPPER: (1) CONTINUOUS ROOF/WALL VENT @ 8.5 SQ. IN NFVA / 1 LINEAL FT. = 8.5 SQ. IN. x 22 FT. = 187 SQ. IN.
LOWER: (3) 2" Ø HOLES (3.14 SQ. IN.) @ 11 JOIST BAYS = 104 SQ. IN.
 - ALL DIMENSIONS MEASURED TO FACE OF FRAMING (F.O.F.), UNLESS OTHERWISE NOTED (U.O.N.)



4
A2.2
KEY SITE PLAN

SCALE: 1/32" = 1'-0"

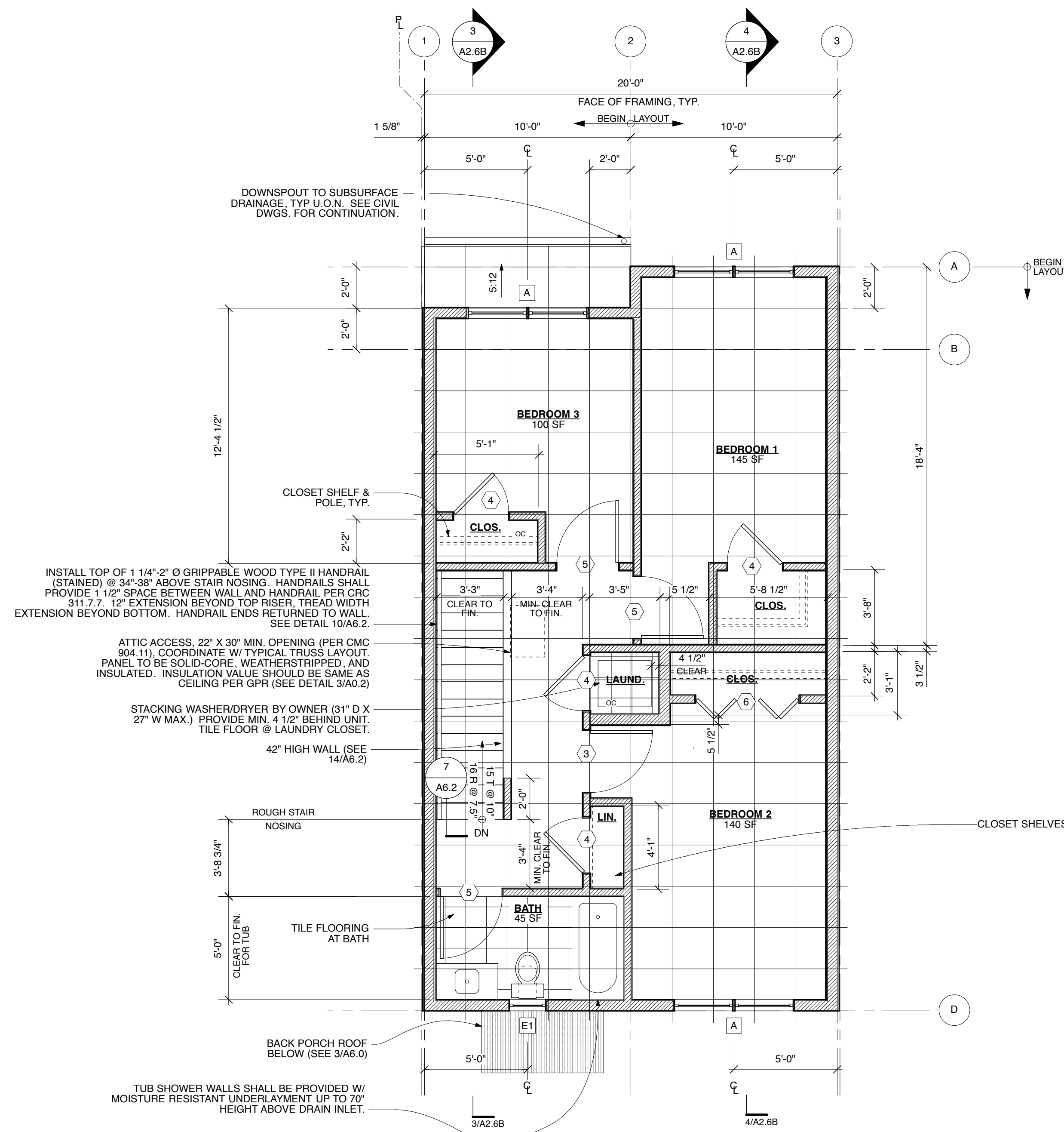


PLAN NOTES:

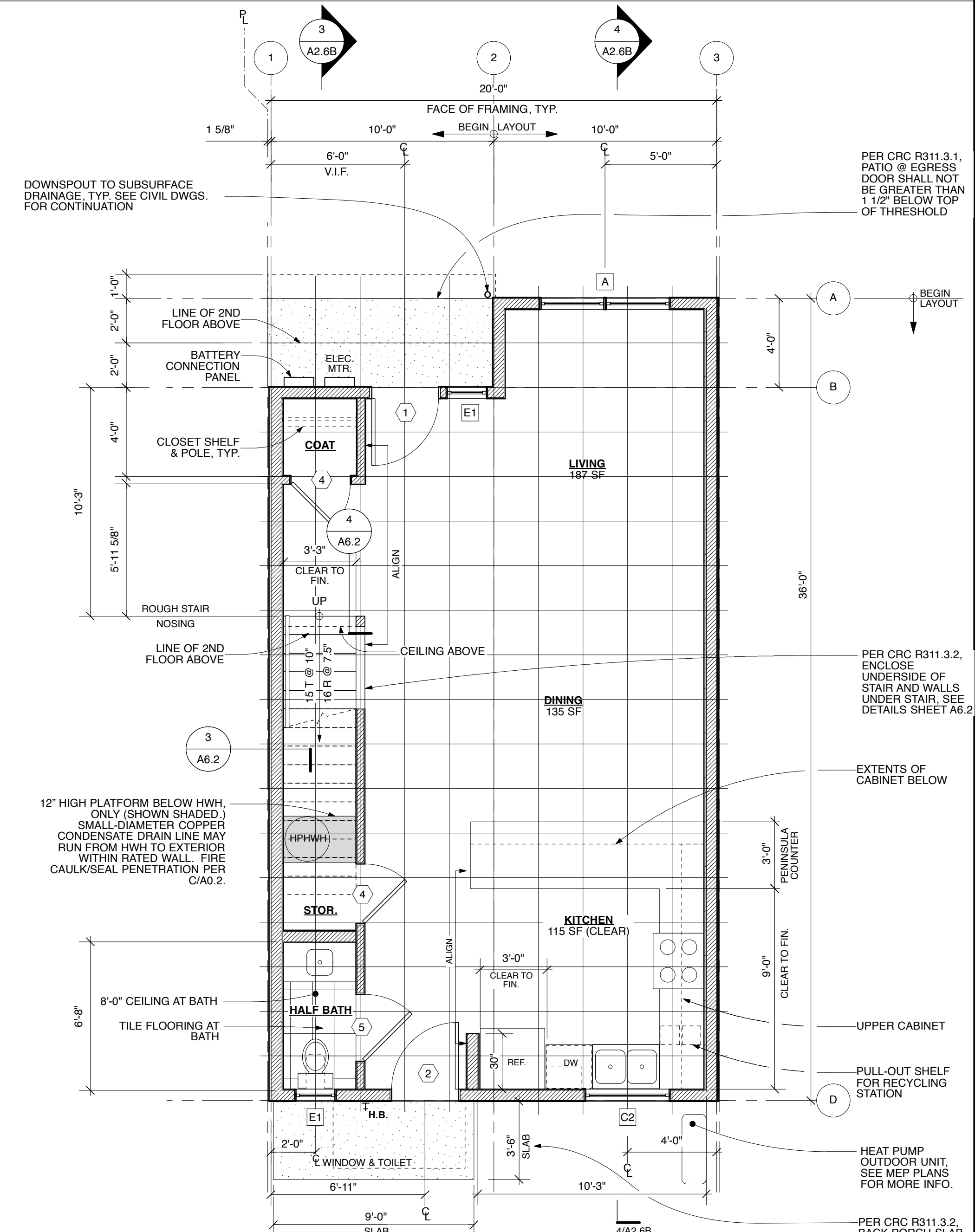
1. ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED.
2. SEE FINISH WINDOW & DOOR SCHEDULES ON SHEET A0.3.
3. SEE A0.2 FOR WALL TYPES. SEE A2.1-A2.2 FOR WALL TYPE LOCATIONS.
4. ALL ROOF TRUSSES, WALL STUDS, & FLOOR JOISTS FALL ON 2" X 2" FRAMING LAYOUT GRID, U.O.N.
5. ALL SUBCONTRACTORS MUST COMPLY W/ CALGREEN MANDATORY MEASURES ON SHEET A0.7

PLAN KEY:

2X6 OR WET WALL @ SECOND FLOOR



1
A2.6B
THREE BEDROOM CENTER UNITS 4 & 9
661 SF, SECOND FLOOR, GROSS FLOOR AREA



2
A2.6B
THREE BEDROOM CENTER UNITS 4 & 9
680 SF, FIRST FLOOR, GROSS FLOOR AREA

HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY, INC.

123 A STREET, HAYWARD, CA 94541
SEQUOIA GROVE

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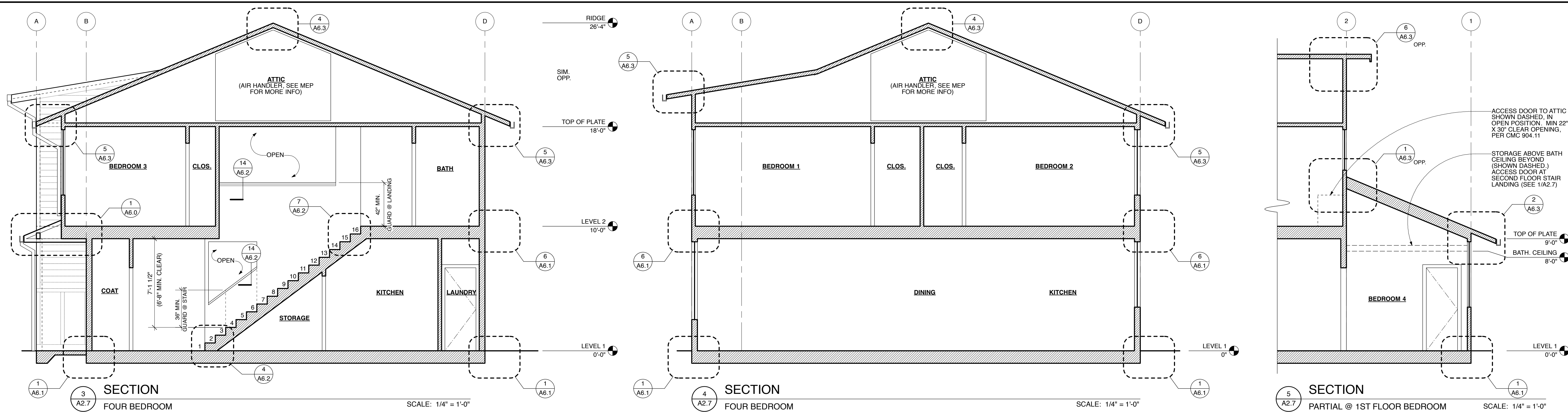
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- | NO. | DATE | DESCRIPTION |
|-----|----------|---------------------|
| 1 | 8.7.2023 | SPR/TTM RESUBMITTAL |
| 2 | 8.4.2023 | SPR/TTM RESUBMITTAL |

SHEET NO.

A2.6B
3-BEDROOM
CENTER UNIT PLANS



PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED.
2. SEE FINISH WINDOW & DOOR SCHEDULES ON SHEET A0.3.
3. SEE A0.2 FOR WALL TYPES. SEE A2.1-A2.2 FOR WALL TYPE LOCATIONS.
4. ALL ROOF TRUSSES, WALL STUDS, & FLOOR JOISTS FALL ON 2' X 2' FRAMING LAYOUT GRID, U.O.N.
5. ALL SUBCONTRACTORS MUST COMPLY W/ CALGREEN MANDATORY MEASURES ON SHEET A0.7

PLAN KEY:

2X6 OR WET WALL @ SECOND FLOOR

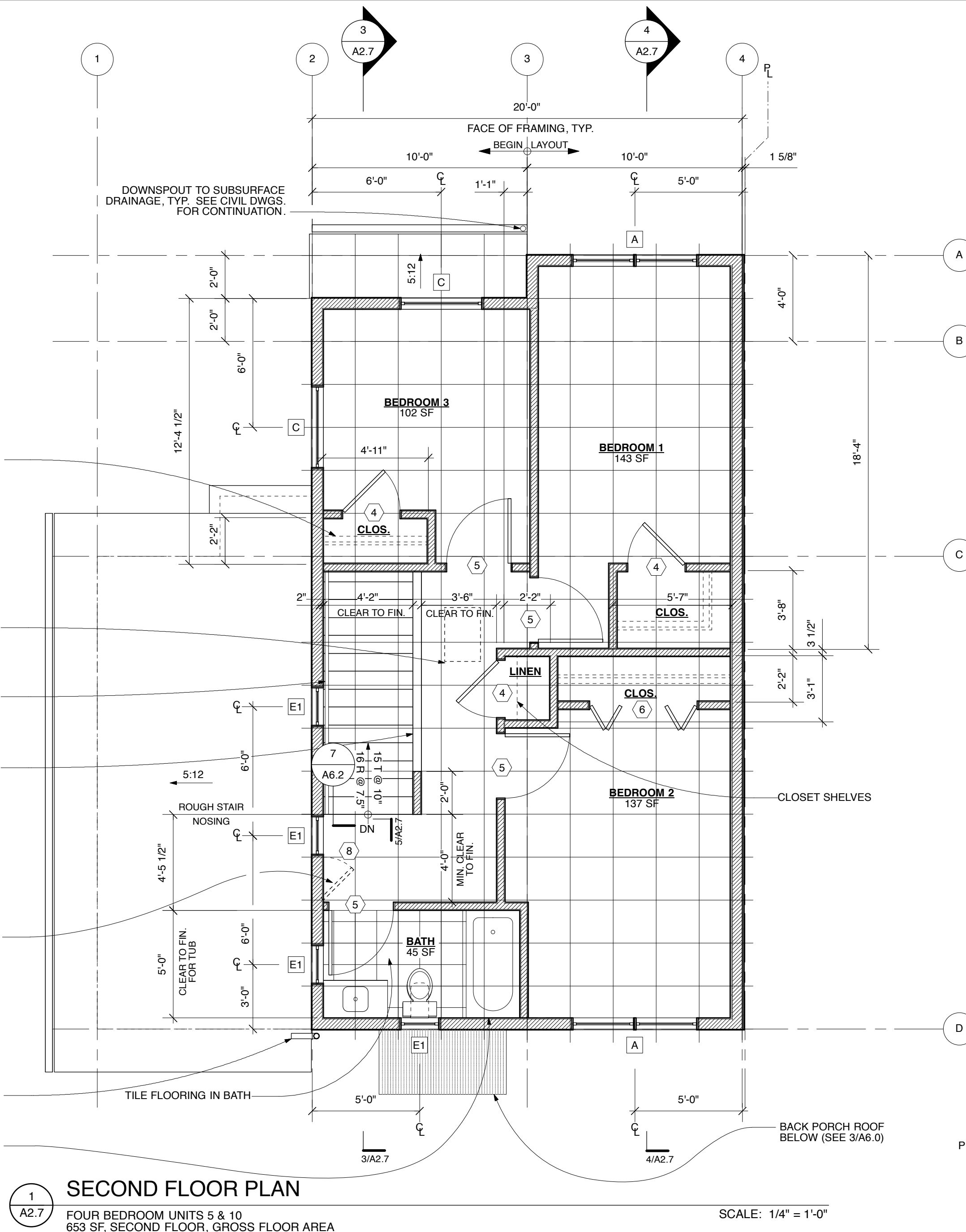
ATTIC ACCESS, 22" X 30" MIN. OPENING (PER CMC 904.11). COORDINATE W/ TYPICAL TRUSS LAYOUT. PANEL TO BE SOLID-CORE, WEATHERSTRIPPED, AND INSULATED. INSULATION VALUE SHOULD BE SAME AS CEILING PER GPR (SEE DETAIL 3/A0.2)

INSTALL TOP OF 1 1/4" 2" @ GRIPPABLE WOOD TYPE II HANDRAIL (STAINED) @ 34"-38" ABOVE STAIR NOSING. HANDRAILS SHALL PROVIDE 1 1/2" SPACE BETWEEN WALL AND HANDRAIL PER CRC 811.7.7. 12" EXTENSION BEYOND TOP RISER, TREAD WIDTH EXTENSION BEYOND BOTTOM. HANDRAIL ENDS RETURNED TO WALL. SEE DETAIL 10/A0.2.

42" HIGH WALL (SEE 14/A0.2)

ATTIC ACCESS, 22" X 30" MIN. OPENING (PER CMC 904.11). PANEL TO BE SOLID-CORE, WEATHERSTRIPPED.

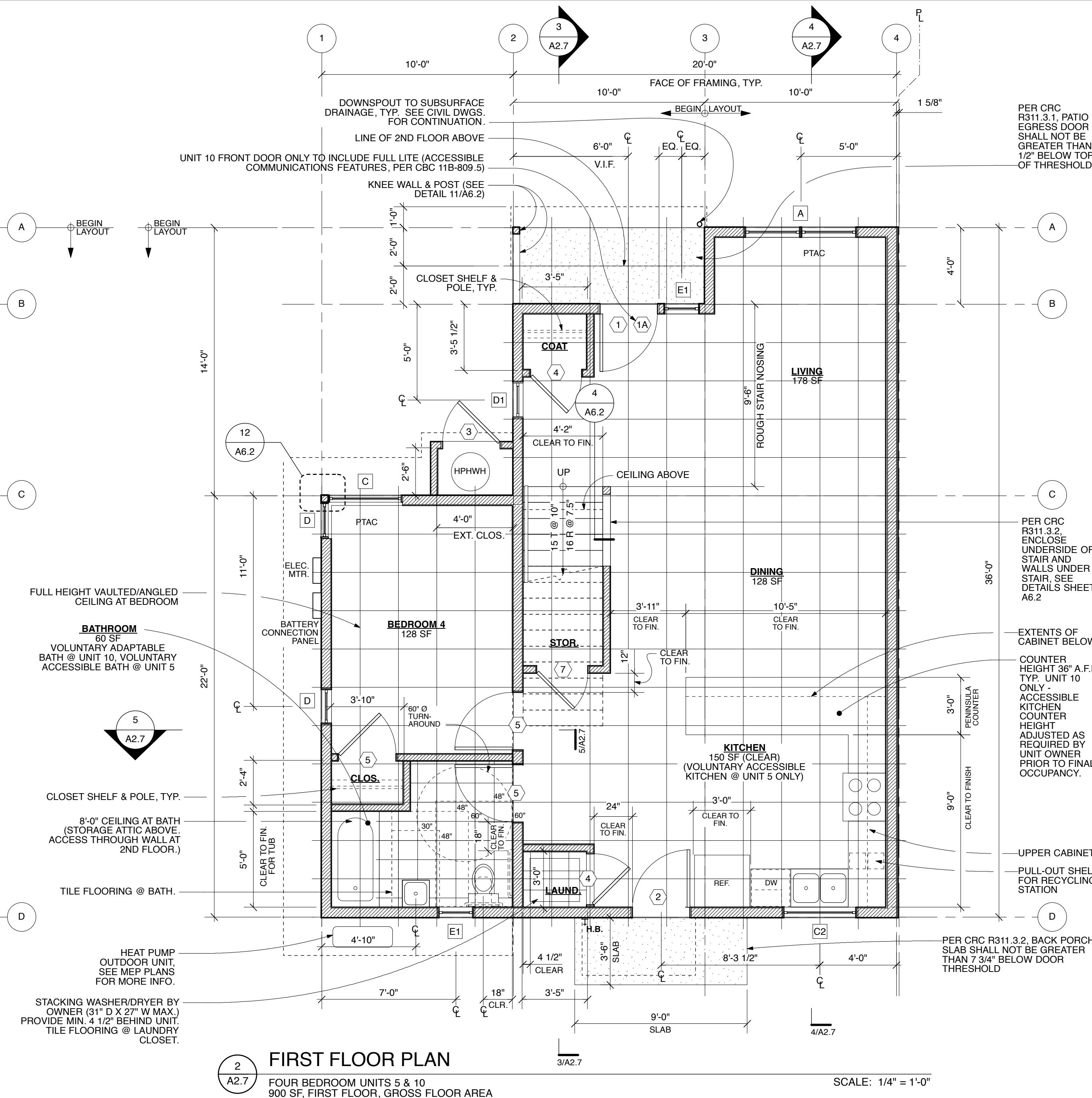
TUB SHOWER WALLS SHALL BE PROVIDED W/ MOISTURE RESISTANT UNDERLAYMENT UP TO 70" HEIGHT ABOVE DRAIN INLET.



SECOND FLOOR PLAN

FOUR BEDROOM UNITS 5 & 10
653 SF, SECOND FLOOR, GROSS FLOOR AREA

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

FOUR BEDROOM UNITS 5 & 10
900 SF, FIRST FLOOR, GROSS FLOOR AREA

SCALE: 1/4" = 1'-0"

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EAST BAY / SILICON VALLEY, INC.

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RESUBMITTAL

8.4.2023

SHEET NO.

A2.7

4-BEDROOM

UNIT PLANS

**HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.**

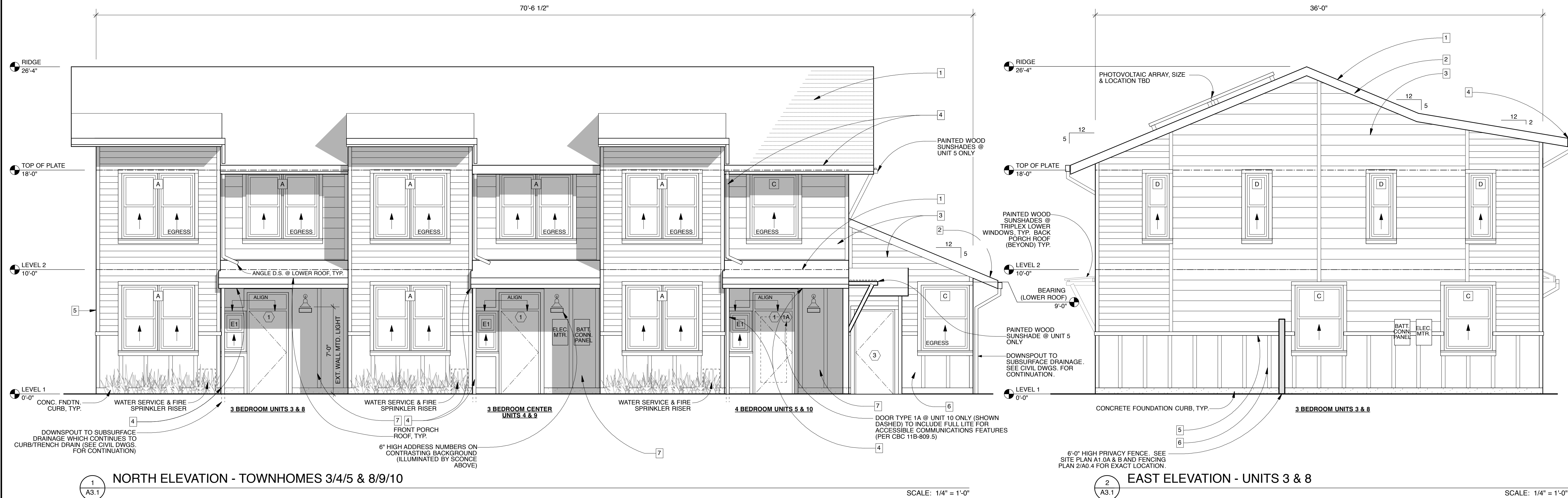


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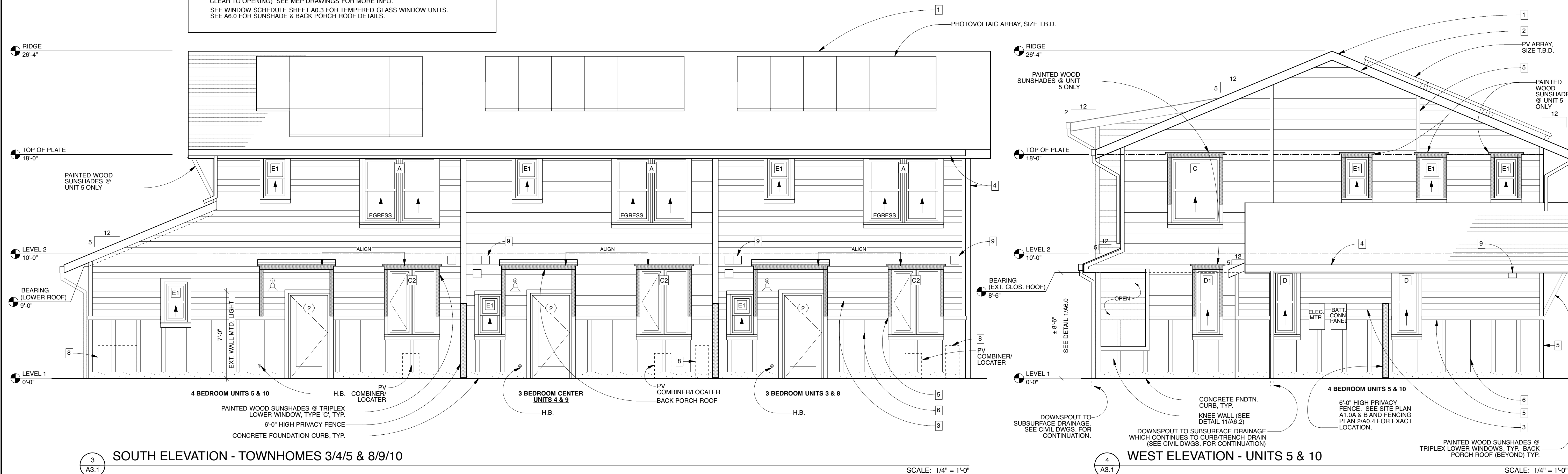


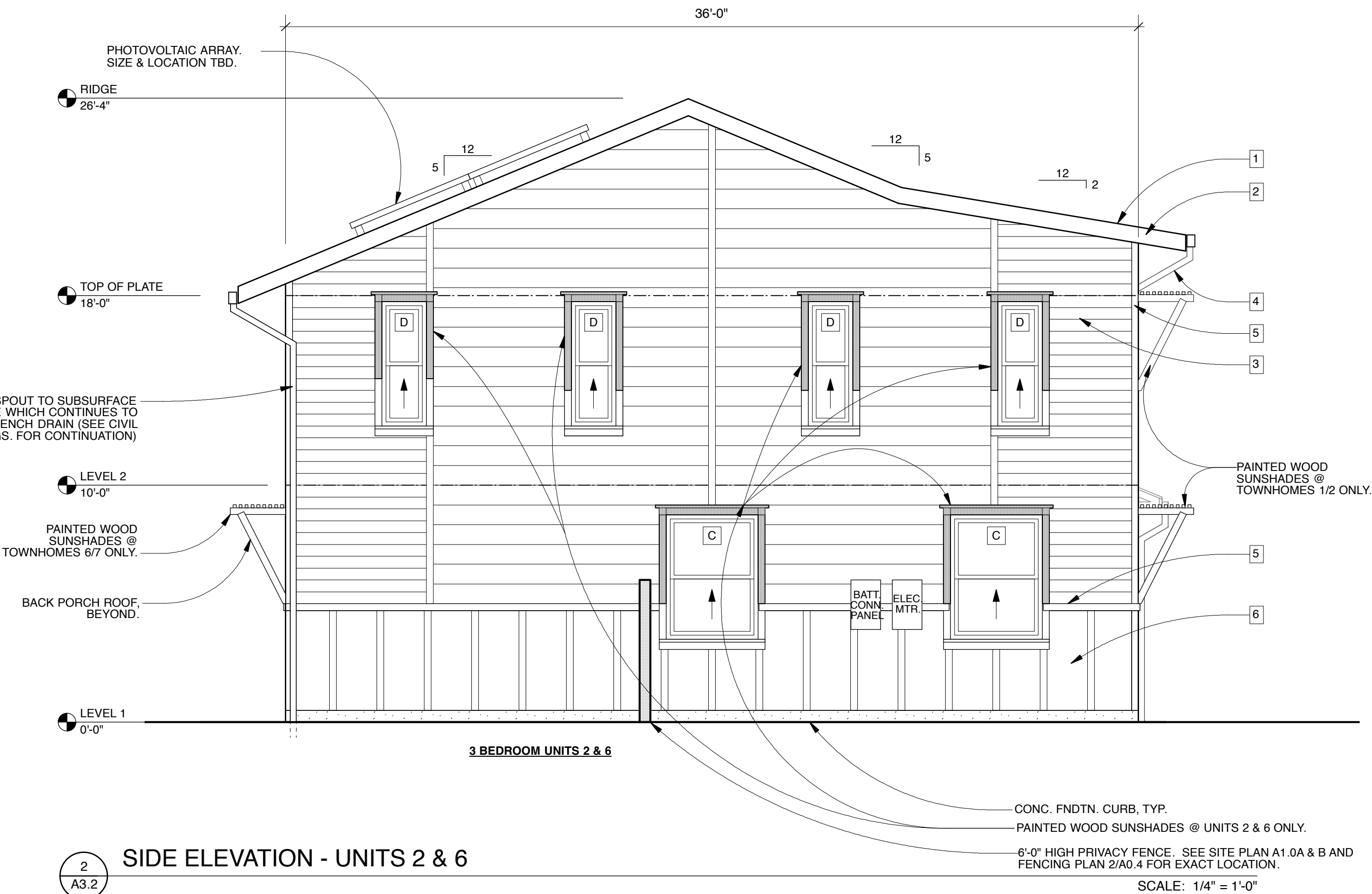
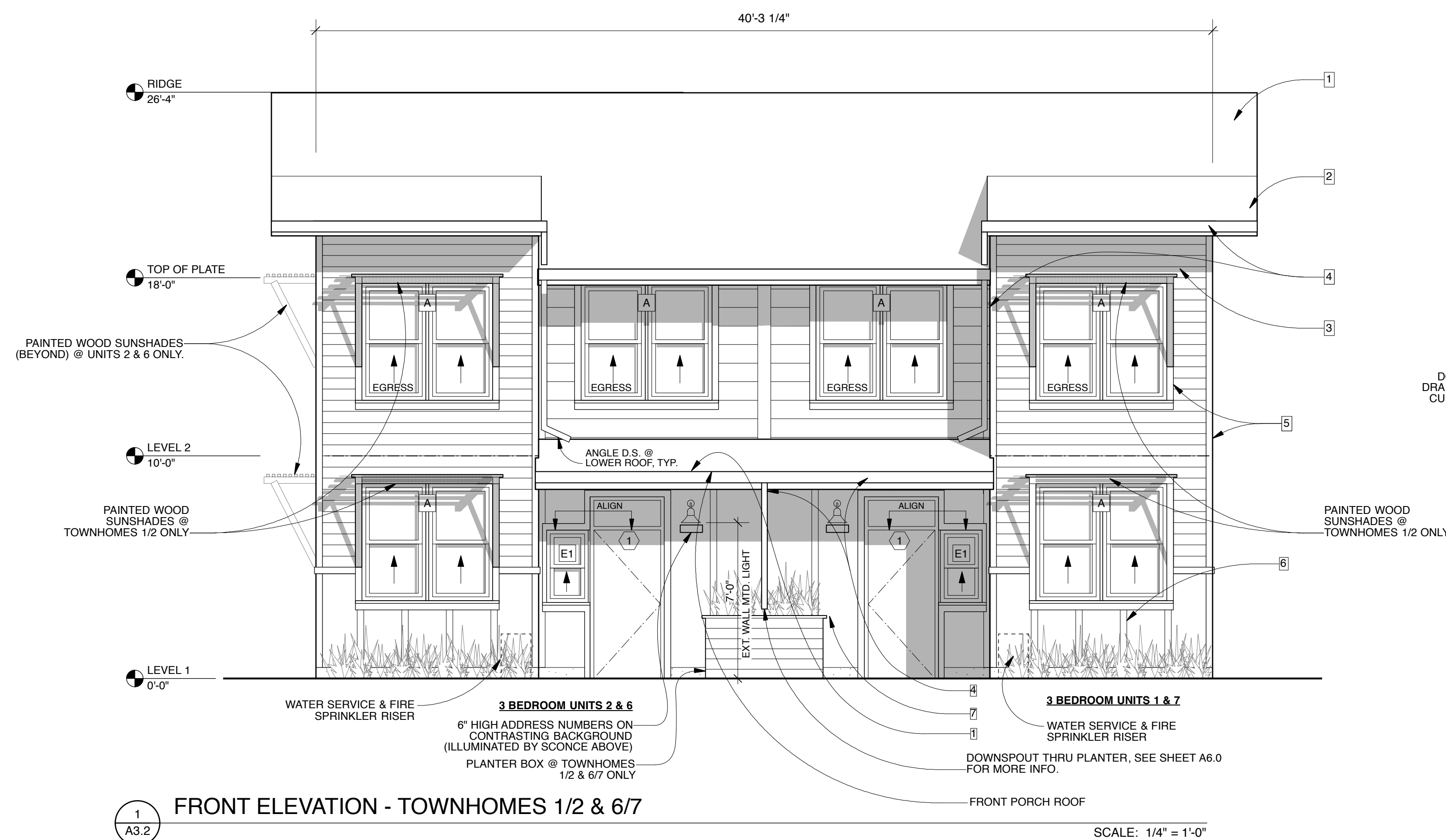
1	REVISIONS SPR/TTM RESUBMITTAL 6.7.2023
2	SPR/TTM RESUBMITTAL 8.4.2023

SHEET NO.
A3.1
BUILDING ELEVATIONS



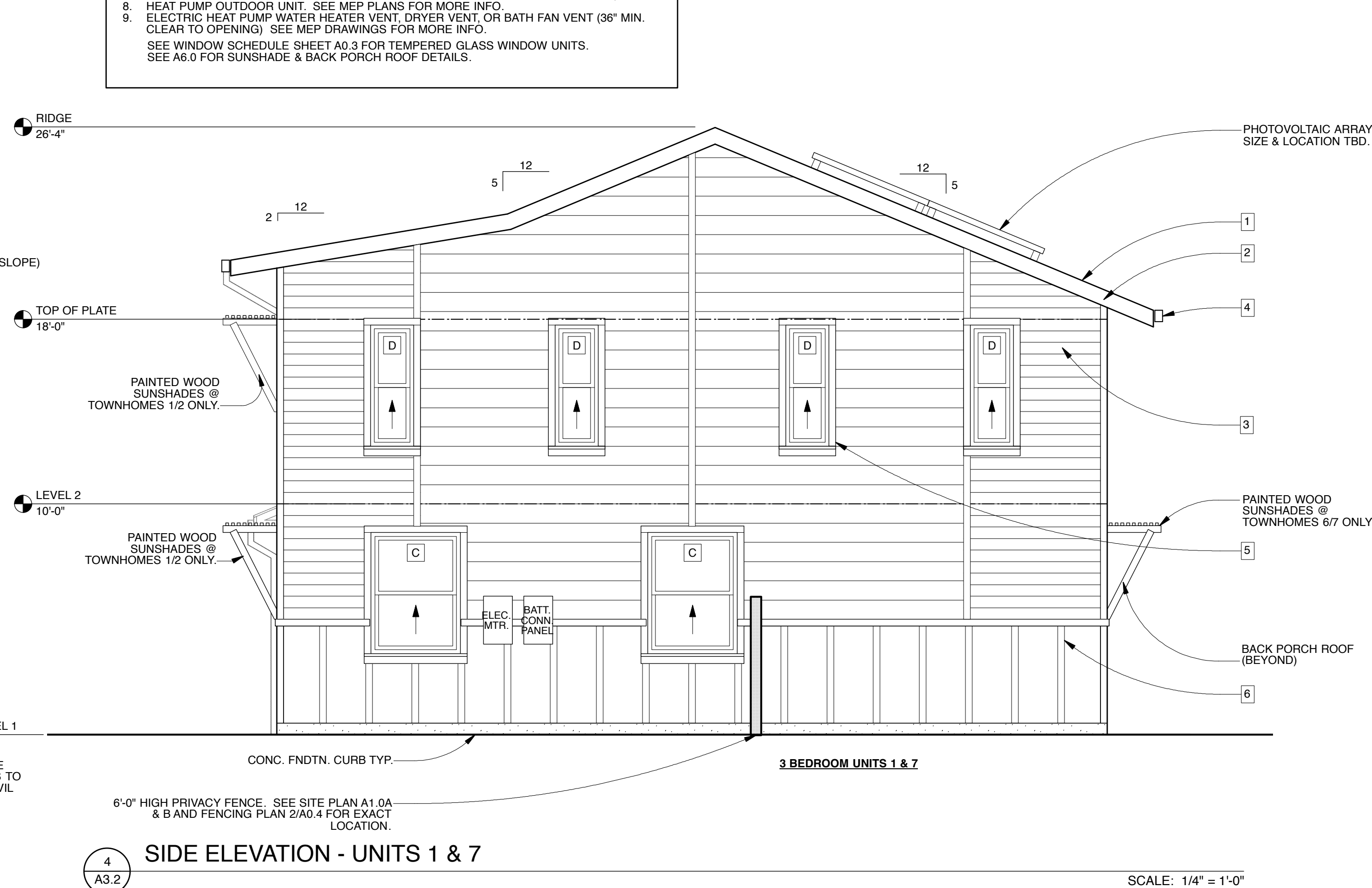
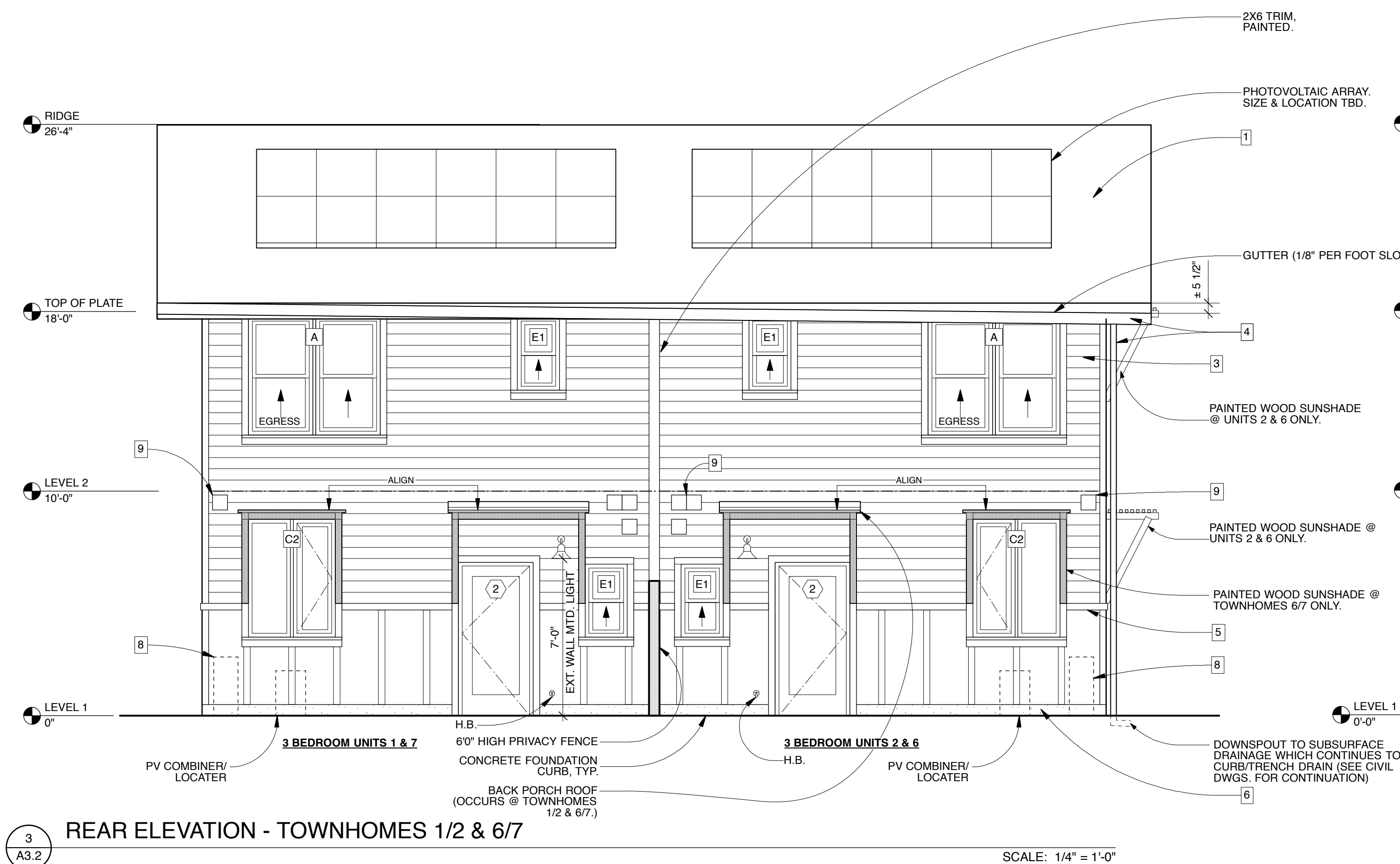
1. CLASS 'A' ASPHALT ROOF SHINGLES (40 YEAR)
2. PAINTED WOOD FASCIA
3. PAINTED FIBERCEMENT ROOF HORIZONTAL SIDING, SMOOTH - (2) DIFFERENT WIDTHS: 6" & 10"
4. 3" ROUNDO CORNSPOUT & 4"x6" FASCIA GUTTER (BONDERIZED METAL, NO GEEGE), TYP.
5. U.O.N. 6"x8" GUTTER & 4" O.D.S. OR PORCH ROOF (ONLY)
6. 2x4 TRIM, PAINTED
7. PAINTED 1x4 BATTENS @ 24" O.C. OVER SMOOTH 4x8 FIBERCEMENT PANEL WAINSCOT,
8. PAINTED. SEE DETAIL 3/A6.1 FOR MORE INFO.
9. SMOOTH 1x4 BATTENS @ 24" O.C. OVER SMOOTH 4x8 FIBER CEMENT PANELING, PAINTED
10. PAINTED 1x4 OUTSIDING U.O.N. 1x4 PLANKS FOR MORE INFO.
11. ELECTRIC HATE PUMP WATER HEATER VENT, DRYER VENT, OR BATH FAN VENT (36" MIN.
12. CLEAR TO OPENING) SEE MEP DRAWINGS FOR DETAILS.
13. WINDOW SCHEDULE SHEET FOR WINDOW SIZES AND GLASS WINDOW UNITS.
14. SEE A6.0 FOR SUNSHADE & PORCH ROOF DETAILS.





SHEET NOTES:

1. CLASS 'A' ASPHALT ROOF SHINGLES (40 YEAR)
 2. PAINTED WOOD FASCIA
 3. PAINTED FIBERCEMENT HORIZONTAL SIDING, 'SMOOTH' - (2) DIFFERENT WIDTHS: 6" & 10"
 4. 3" O' ROUND DOWNSPOUT & 4"x6" FASCIA GUTTER (BONDERIZED METAL, NO OGEE), TYP. U.O.N. 6"x8" GUTTER & 4" O.D.S. @ PORCH ROOF (ONLY)
 5. 2x4 TRIM, PAINTED
 6. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4"x8" FIBERCEMENT PANEL WAINSCOTT, PAINTED. SEE DETAIL 2/A0.1 FOR MORE INFO.
 7. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4"x8" FIBER CEMENT PANELING, PAINTED.
 8. HEAT PUMP OUTDOOR UNIT. SEE MEP PLANS FOR MORE INFO.
 9. ELECTRIC HEAT PUMP WATER HEATER VENT, DRYER VENT, OR BATH FAN VENT (36" MIN. CLEAR TO OPENING) SEE MEP DRAWINGS FOR MORE INFO.
- SEE WINDOW SCHEDULE SHEET A0.3 FOR TEMPERED GLASS WINDOW UNITS.
SEE A6.0 FOR SUNSHADE & BACK PORCH ROOF DETAILS.





1
A3.3
INTERIOR STREET ELEVATION - LOOKING SOUTH

SCALE: 3/16" = 1'-0"



2
A3.3
INTERIOR STREET ELEVATION - LOOKING SOUTH

SCALE: 3/16" = 1'-0"

HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.

123 A STREET, HAYWARD, CA 94541
SEQUOIA GROVE

GH^A
GEOFFREY HOLTON
& ASSOCIATES


1743 Alcatraz Avenue
Berkeley, CA 94703
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http://www.ghadesign.net



CURRENT ISSUE DATE	8.4.2023
INITIAL SUBMITTAL DATE	6.7.2023
REVISIONS	
1 SPR/TTM RESUBMITTAL 6.7.2023	
2 SPR/TTM RESUBMITTAL 8.4.2023	

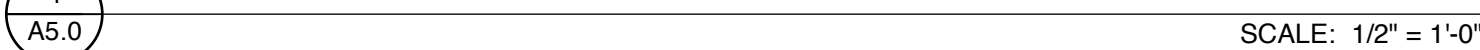
SHEET NO.
A3.3
STREET ELEVATIONS

GH^A
GEOFFREY HOLTON
& ASSOCIATES



Professional Engineer Seal for Geoffrey Keith, State of California, License No. 23996, expires 1.31.25.

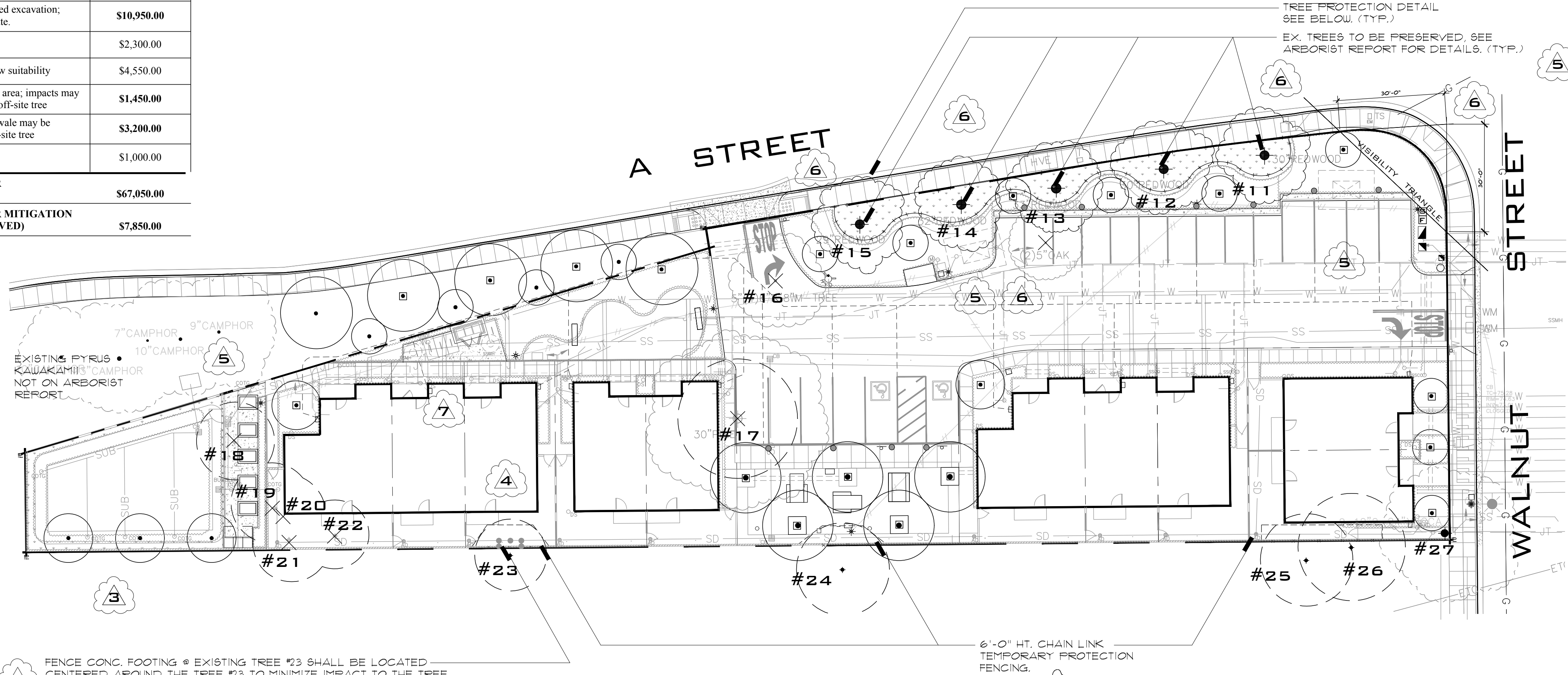
SHEET NO.
A5.0
SITE DETAILS



EXISTING TREE INVENTORY LIST FROM ARBORIST REPORT

TREE IDENTIFICATION #	TREE SPECIES	TRUNK DIAMETER (INCHES)	PROTECTED	STATUS / DISPOSITION	COMMENTS	APPRAISED VALUE (\$)
11	COAST REDWOOD	32	YES	*PRESERVE	10' from proposed excavation; impacts will likely exceed tolerance threshold	\$12,450.00
12	COAST REDWOOD	31	YES	*PRESERVE	10' from proposed excavation; impacts will likely exceed tolerance threshold	\$11,700.00
13	COAST REDWOOD	34	YES	*PRESERVE	4.5' from proposed excavation; impacts will likely exceed tolerance threshold.	\$14,050.00
14	COAST REDWOOD	33	YES	*PRESERVE	8.5' from proposed excavation; impacts will likely exceed tolerance threshold.	\$13,250.00
15	COAST REDWOOD	30	YES	PRESERVE	17' and 20' from proposed excavation; impacts may be moderate.	\$10,950.00
16	HOLLY OAK	6,6,6,6,6,5,5	YES	REMOVE	Within driveway	\$2,300.00
17	MONTEREY PINE	32	YES	REMOVE	Within construction; low suitability	\$4,550.00
23	COAST LIVE OAK	16	YES	PRESERVE	5' from proposed picnic area; impacts may be moderate to severe; off-site tree	\$1,450.00
26	AVOCADO	14,12,6	YES	PRESERVE	Impacts from earthen swale may be moderate to severe; off-site tree	\$3,200.00
27	SPANISH DAGGER YUCCA	28,25,11,11	YES	REMOVE	Low suitability	\$1,000.00
TOTAL VALUE FOR PRESERVATION						\$67,050.00
TOTAL VALUE FOR MITIGATION (FOR TREES REMOVED)						\$7,850.00

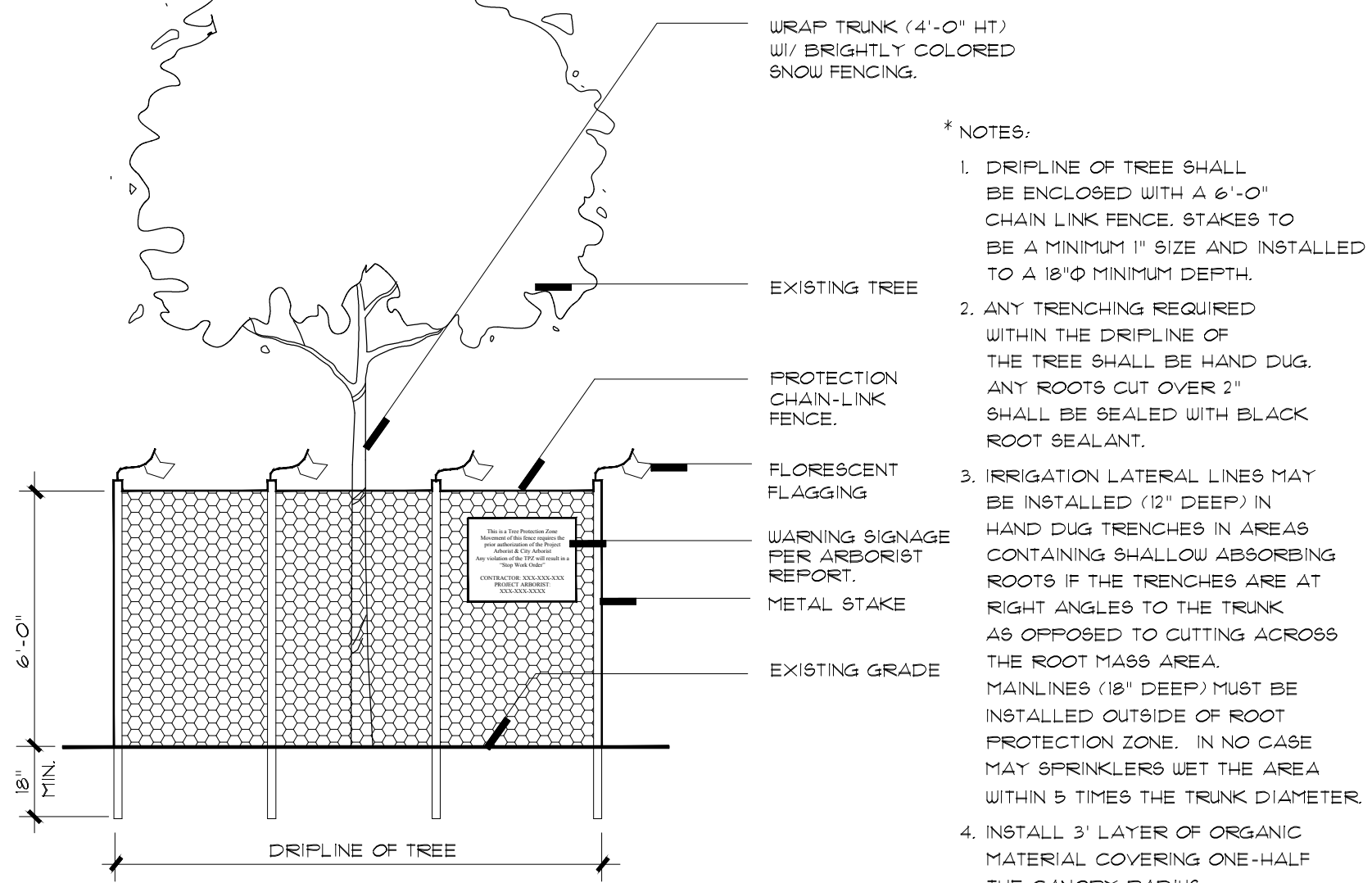
* PENDING ARBORIST REVIEW OF SUBSURFACE CONDITIONS DURING CONSTRUCTION.



4 FENCE CONC. FOOTING @ EXISTING TREE #23 SHALL BE LOCATED CENTERED AROUND THE TREE #23 TO MINIMIZE IMPACT TO THE TREE. CUTS TO THE ROOTS SHALL BE CLEAN AND THE TREATMENT TO THE ROOTS AFTER THE CUTS SHALL BE DONE UNDER THE PROJECT ARBORIST'S RECOMMENDATIONS.

TREE PROTECTION NOTES:

- HAND DIG OR USE AN AIRSPADE TO TRENCH ADJACENT TO REDWOODS #11-15 ALONG THE PROPOSED PERIMETER FOOTING FOR THE DRIVEWAY WHERE WITHIN 12' OF THE TREES. THE TRENCHING SHALL AVOID ANY DAMAGE TO ROOTS OVER 2" IN DIAMETER AND SHALL EXTEND DOWN TO THE DEPTH OF THE PROPOSED FOOTING. DESIGN ADJUSTMENTS, SUCH AS BRIDGING THE ROOTS, TO AVOID DAMAGE TO ROOTS OVER 2" WILL BE NECESSARY TO AVOID SIGNIFICANT DAMAGE TO THE TREES.
- ESTABLISH A TREE PROTECTION ZONE (TPZ) AROUND TREES #11-15, 23, 24 AND 26 AS INDICATED ON THE TREE INVENTORY MAP USING 6' CHAIN-LINK FENCING ATTACHED TO METAL STAKES DRIVEN FIRMLY INTO THE GROUND.
- APPLY A 4" LAYER OF CHIPPED MULCH THROUGHOUT THE TREE PROTECTION ZONE.
- IRRIGATE TREES TO A DEPTH OF 14" THROUGHOUT THEIR DRIPLINES WHERE EXTENDING OVER THE PROJECT PROPERTY 2 WEEKS PRIOR TO GRADING.
- KEEP ALL EQUIPMENT, DEBRIS, SUPPLIES, TRENCHING, GRADING, STOCKPILING, OR ANY OTHER ENCROACHMENTS OUTSIDE OF THE TPZ. ANY DESIRED ADJUSTMENT OR ENCROACHMENT WITHIN THE TPZ SHALL REQUIRE CONSULT WITH AN ARBORIST.
- ALL PRUNING SHALL BE PERFORMED BY ISA CERTIFIED ARBORISTS OR CERTIFIED TREE WORKERS UNDER THE PROJECT ARBORIST'S SUPERVISION. PRUNING TO COMPLY WITH ALL ISA AND ANSI PRUNING STANDARDS AND BEST MANAGEMENT PRACTICES.
- TREES #11-15, 24, AND 26 SHALL BE IRRIGATED WEEKLY TO A DEPTH OF 12-14" THROUGHOUT ALL ACCESSIBLE DRIPLINES, AND AT MINIMUM THE ENTIRE TPZ.
- SINCE TREES #23, 24, 25 AND 2 ARE ALL OFF SITE TREES THAT HANG OVER THE PROJECT, WRITTEN PERMISSION FROM THE TREE OWNERS WILL NEED TO BE GRANTED PRIOR TO ACCESSING THEIR CANOPIES.



TREE PROTECTION DETAIL

NOT TO SCALE

* NOTES:

- DRIPLINE OF TREE SHALL BE ENCLOSED WITH A 6'-0" CHAIN LINK FENCE. STAKES TO BE A MINIMUM 1" SIZE AND INSTALLED TO A 18" MINIMUM DEPTH.
- ANY TRENCHING REQUIRED WITHIN THE DRIPLINE OF THE TREE SHALL BE HAND DUG. ANY ROOTS CUT OVER 2" SHALL BE SEALED WITH BLACK ROOT SEALANT.
- IRRIGATION LATERAL LINES MAY BE INSTALLED (12" DEEP) IN HAND DUG TRENCHES IN AREAS CONTAINING SHALLOW ABSORBING ROOTS IF THE TRENCHES ARE AT RIGHT ANGLES TO THE TRUNK AS OPPOSED TO CUTTING ACROSS THE ROOT MASS AREA. MAINLINES (18" DEEP) MUST BE INSTALLED OUTSIDE OF ROOT PROTECTION ZONE. IN NO CASE MAY SPRINKLERS WET THE AREA WITHIN 5 TIMES THE TRUNK DIAMETER.
- INSTALL 3" LAYER OF ORGANIC MATERIAL COVERING ONE-HALF THE CANOPY RADIUS.
- FLORESCENT FLAGGING SHALL BE USED.

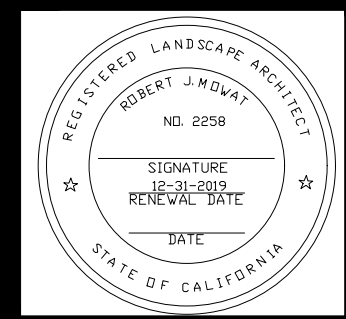
TREE MITIGATION SUMMARY CHART

REQUIRED TREES	REQUIRED TREE QUANTITY / SIZE / INSTALLED UNIT COST	PROPOSED TREE QUANTITY / SIZE / INSTALLED UNIT COST	UNIT COST DIFFERENCE (PROPOSED SIZE - REQUIRED SIZE)	MITIGATION VALUE
PARKING LOT TREES	6 / 15 GALLON / \$300	4 / 36" BOX / \$2,307	\$2,007.00	\$7,428.00
SCREENING TREES	10 / 15 GALLON / \$300	10 / 15 GALLON / \$300	\$0.00	\$0.00
ADDITIONAL TREES FOR MITIGATION	14 / 15 GALLON / \$300	14 / 24" BOX / \$870	\$570.00	\$7,980.00
TOTAL				\$15,408.00
MITIGATION GOAL				\$7,850.00



NORTH SCALE: 1" = 20'-0"

SIGNATURE BLOCK



DATE: MS. MICHELLE KOO | LANDSCAPE ARCHITECT | EXP: XX-XXXX | CITY OF HAYWARD | MR. SAEED SAEBI | CITY ENGINEER | EXP: XX-XXXX | CITY OF HAYWARD |

ROBERT MOWAT ASSOCIATES
LANDSCAPE ARCHITECTURE + LAND PLANNING
1501 N. Broadway Suite 400 Walnut Creek, CA 94596
Phone 925.705.7424 Fax 925.954.1390
www.rmlandscape.com



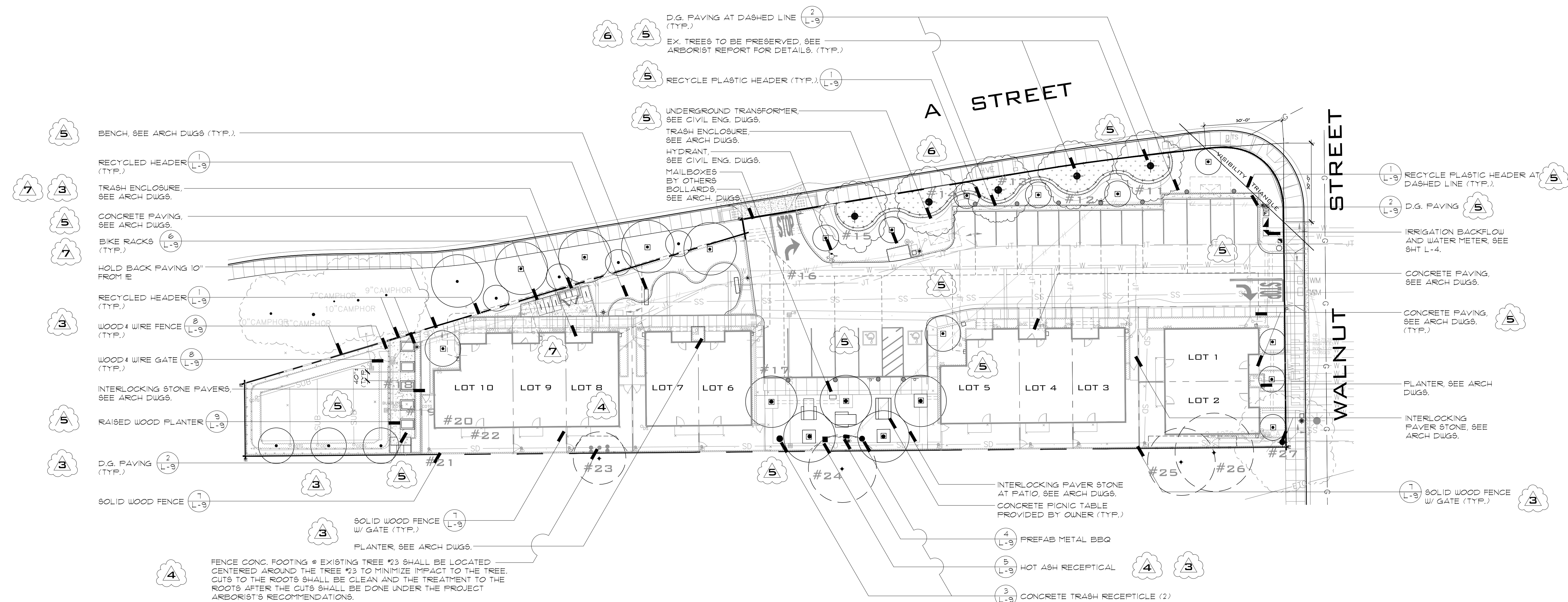
Sequoia Grove
Hayward, CA

TREE PROTECTION & MITIGATION PLAN

DATE: 10-26-15
REVISIONS: BASIN REV. 08-22-18
CITY COMMENTS #3 08-26-19
UTILITY REV. & REDWOOD REV. 03-29-23
CITY COMMENTS #4 6-6-23
CITY COMMENTS #5 8-2-23

SHEET

L-1
OF 9



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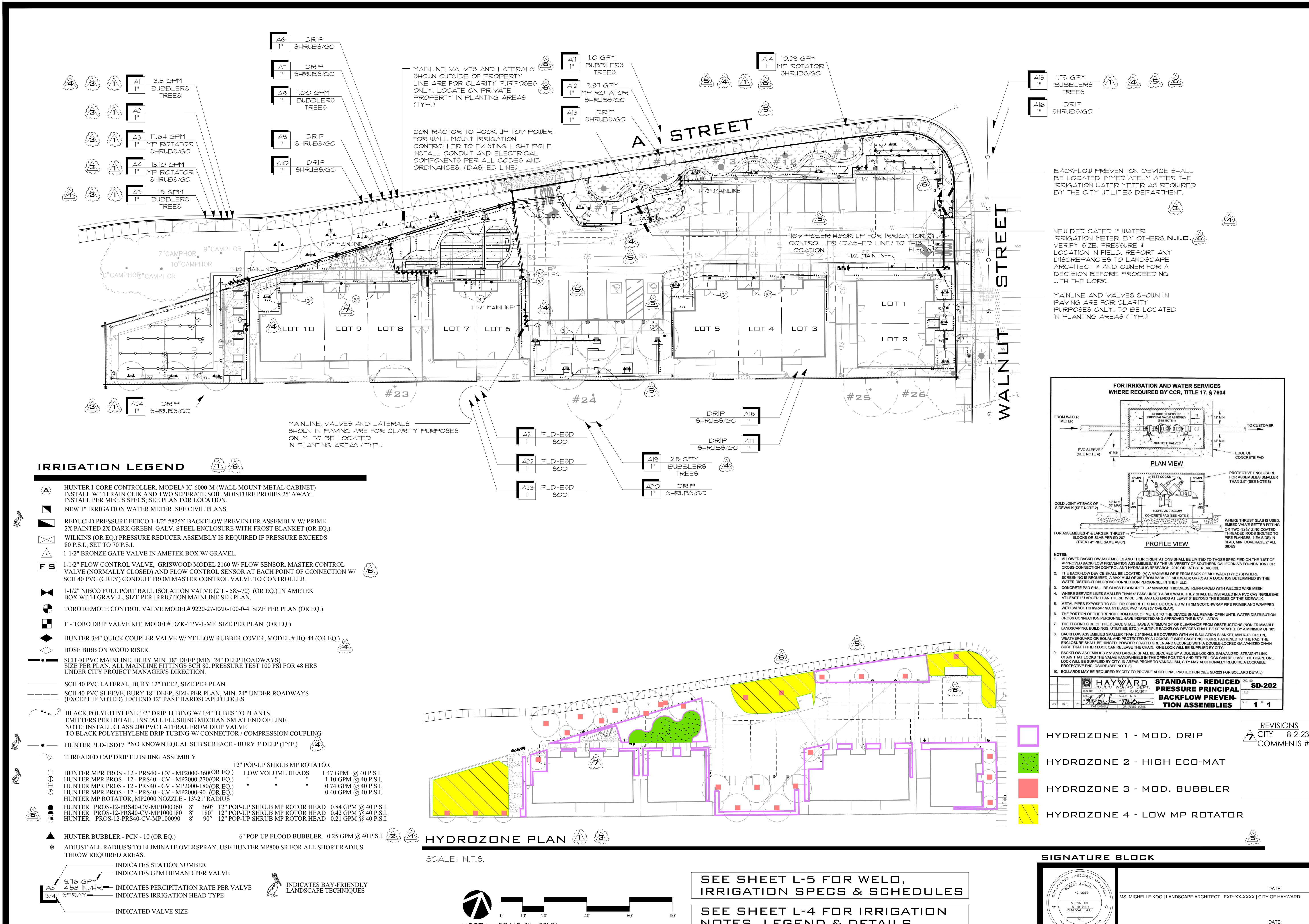


Sequoia Grove
 Hayward, CA

LAYOUT PLAN

DATE 10-26-15
 REVISIONS BASIN REV. 08-20-18
 CITY COMMENTS #3 08-26-19
 UTILITY REV. & REDWOOD REV. 03-29-23
 CITY COMMENTS #4 6-6-23
 CITY COMMENTS #5 8-2-23

SHEET
L-2
 OF 9



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Habitat for Humanity
East Bay/Silicon Valley

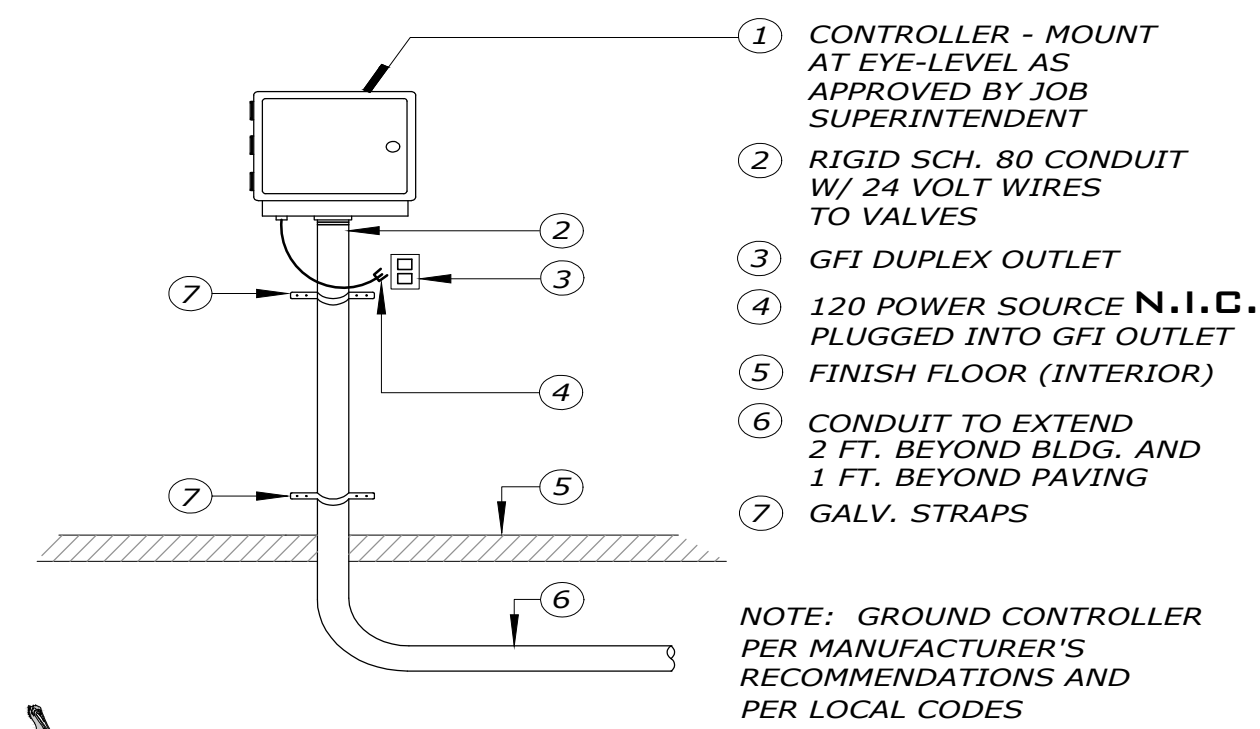
Sequoia Grove
Hayward, CA

IRRIGATION PLAN

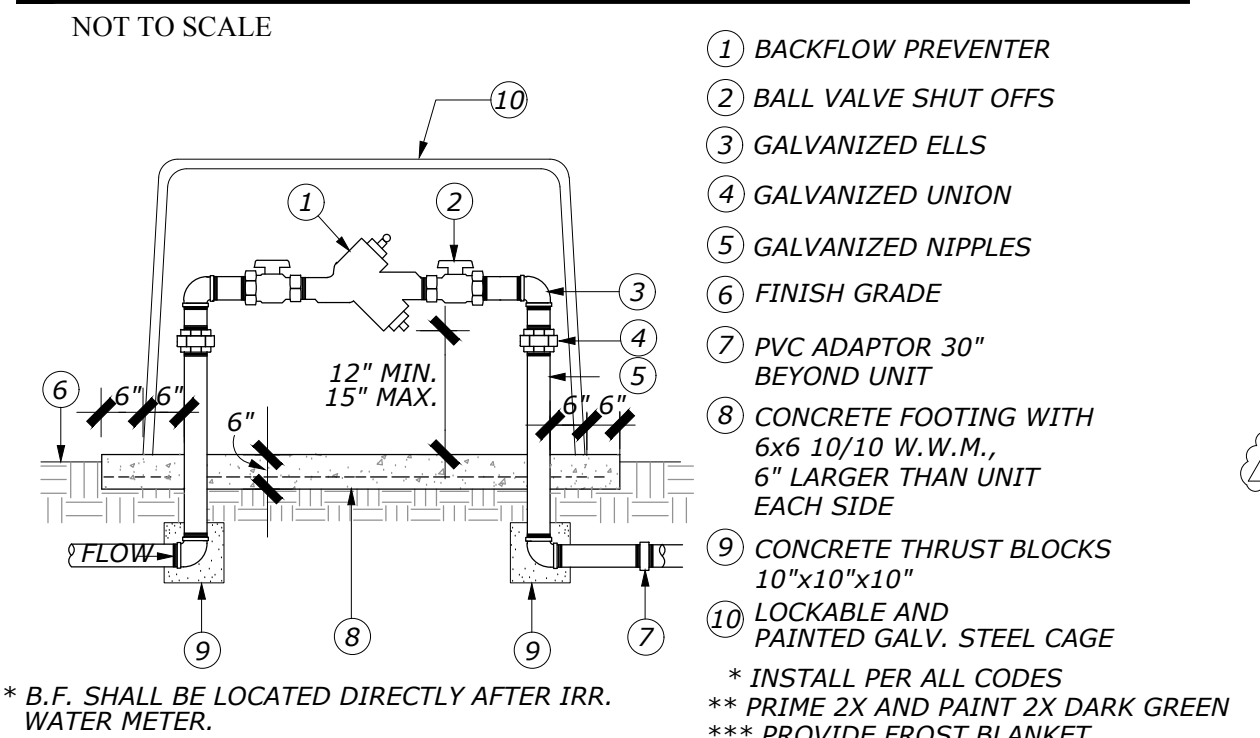
DATE
10-26-15
REVISIONS
#1 12-16-15
#2 02-09-16
BASIN REV.
08-20-18
CITY COMMENTS
#3 08-26-19
UTILITY REV. &
REDWOOD REV.
03-29-23
CITY COMMENTS
#5 6-6-23

SHEET
L-3
OF 9

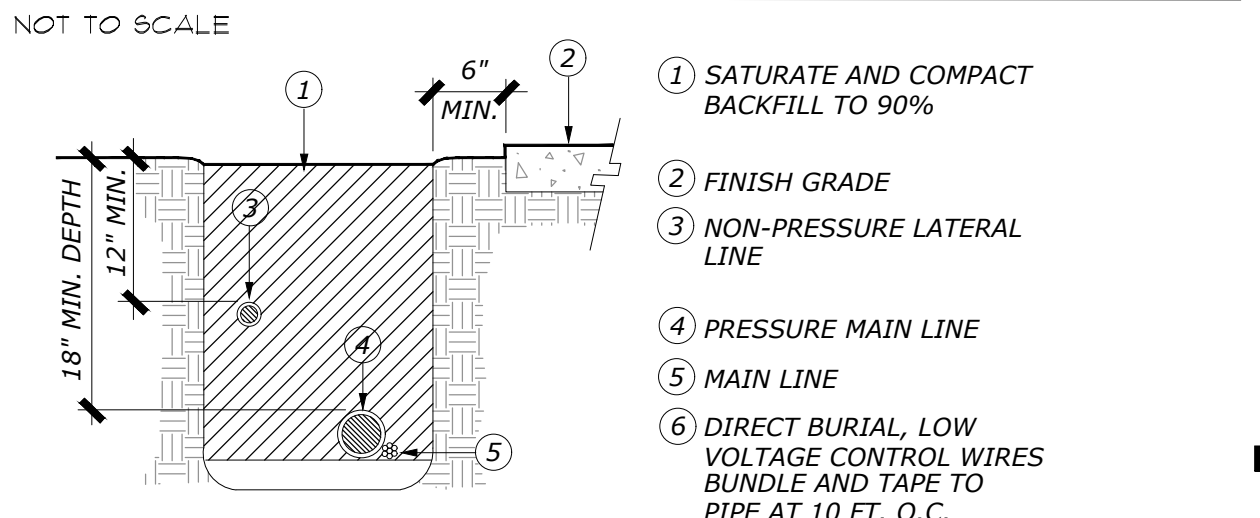
HABITAT FOR HUMANITY-SEQUOIA GROVE, HAYWARD, CA © COPYRIGHT 2023 Robert Mowat Associates. No portion of this drawing may be reproduced, duplicated, or copied in any way without the express written consent of Robert Mowat Associates. This drawing is prepared for this particular site and may not be utilized for another site location.



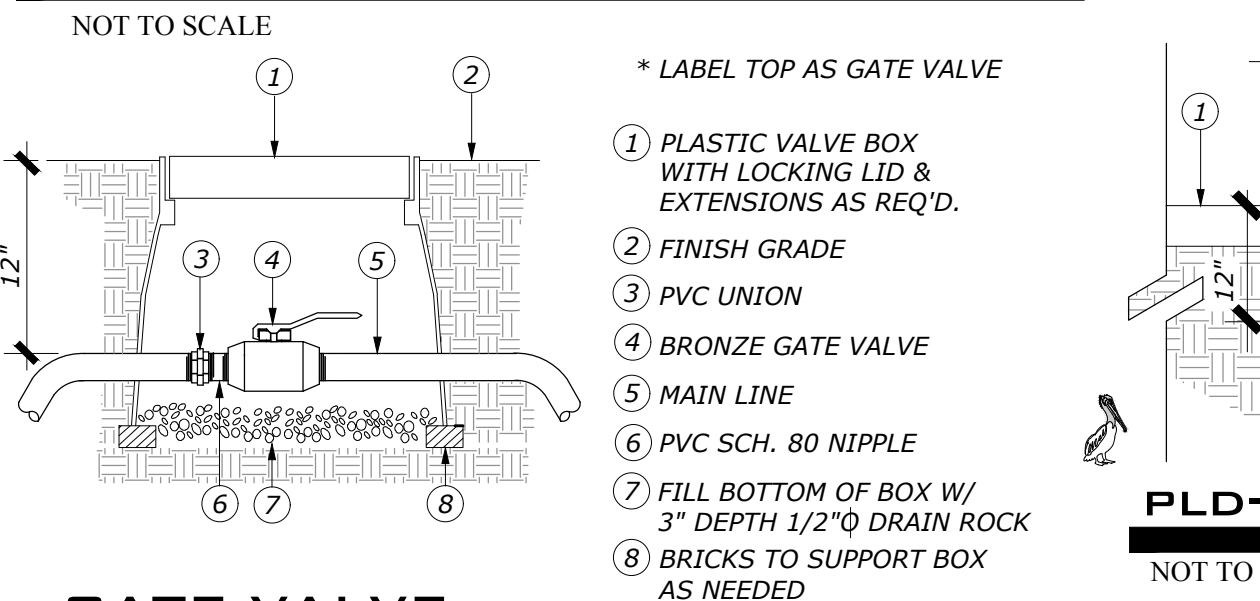
WALL MOUNT CONTROLLER



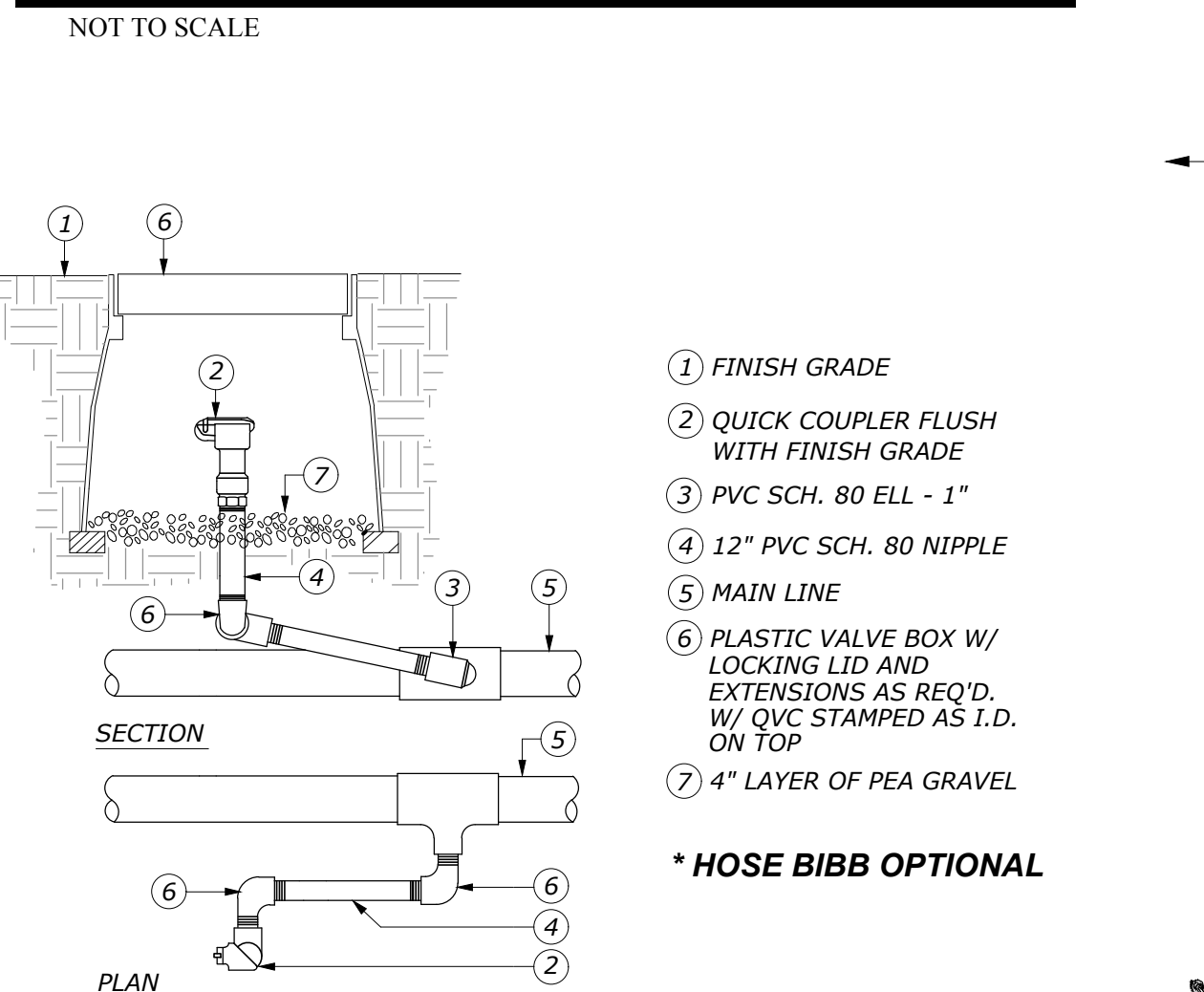
REDUCED PRESSURE BACKFLOW



TRENCH LAYOUT

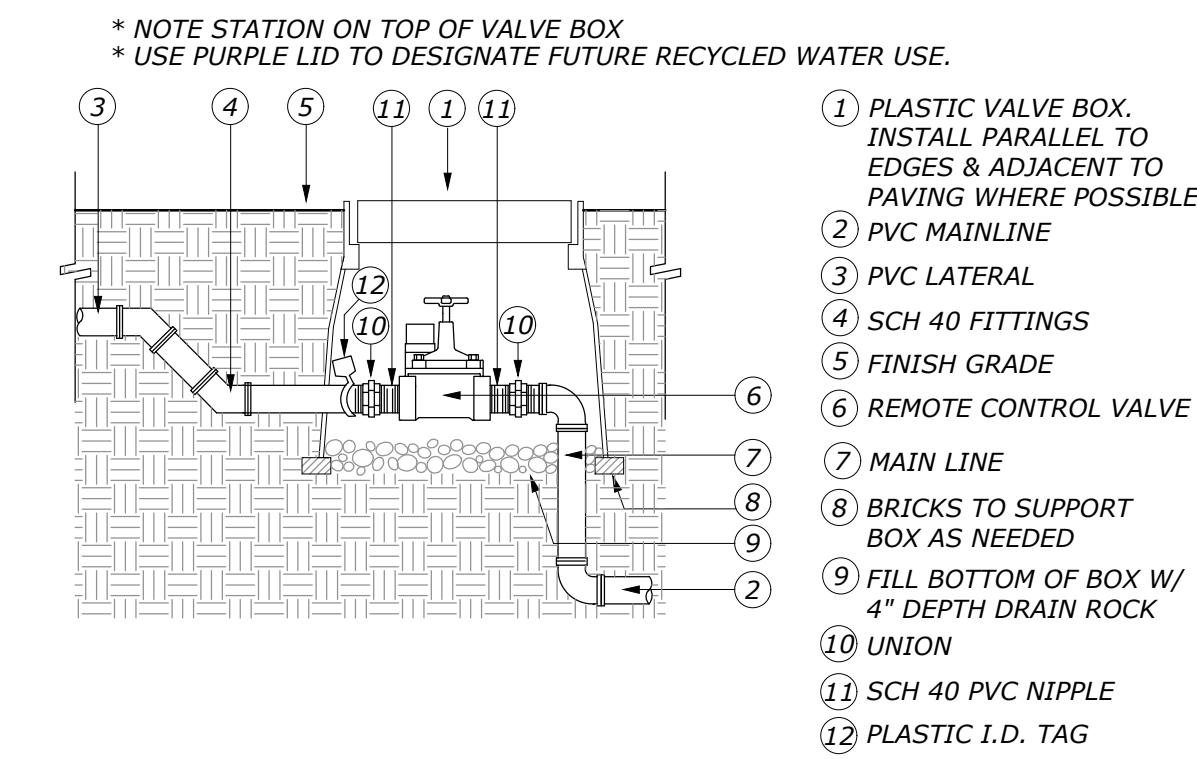


GATE VALVE

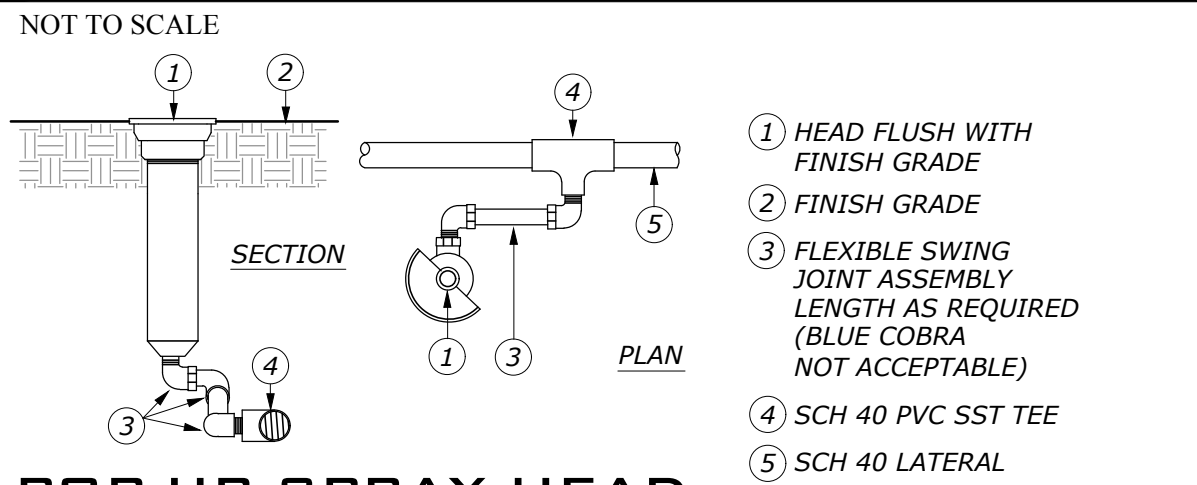


QUICK COUPLER VALVE

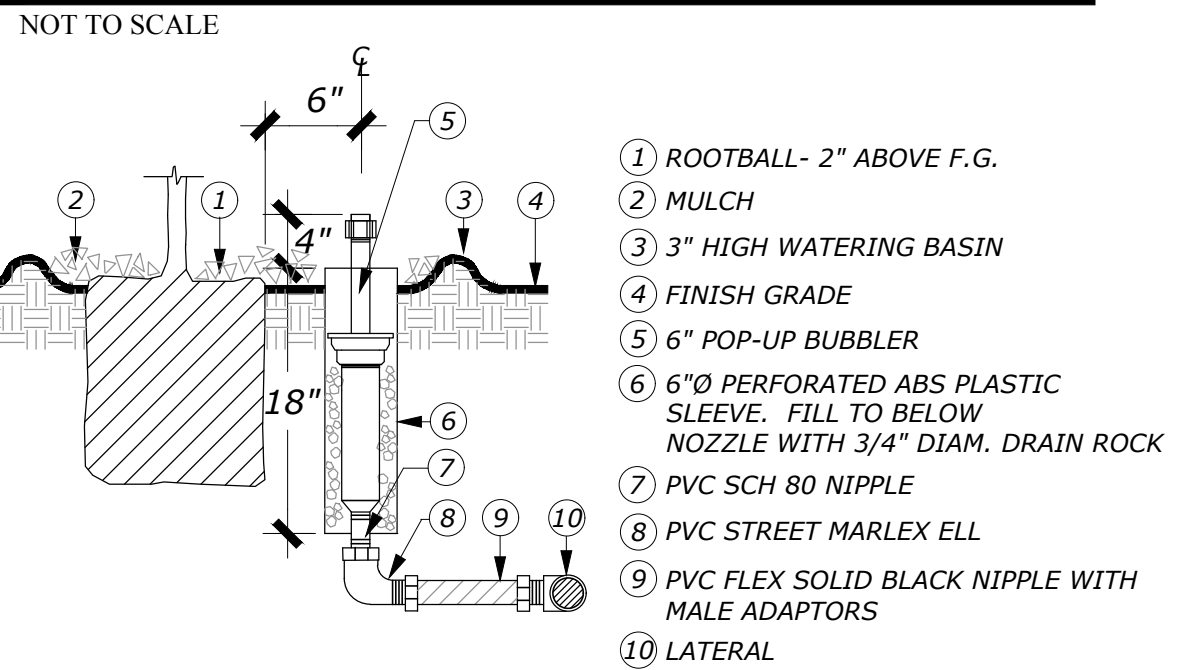
NOT TO SCALE



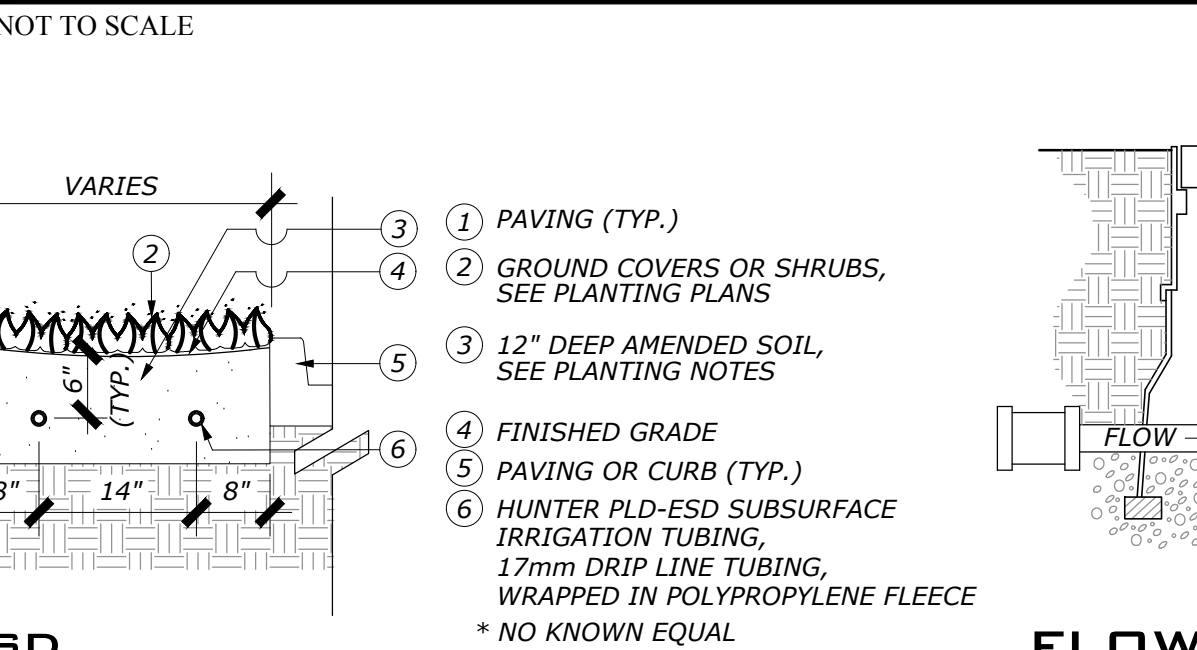
REMOTE CONTROL VALVE



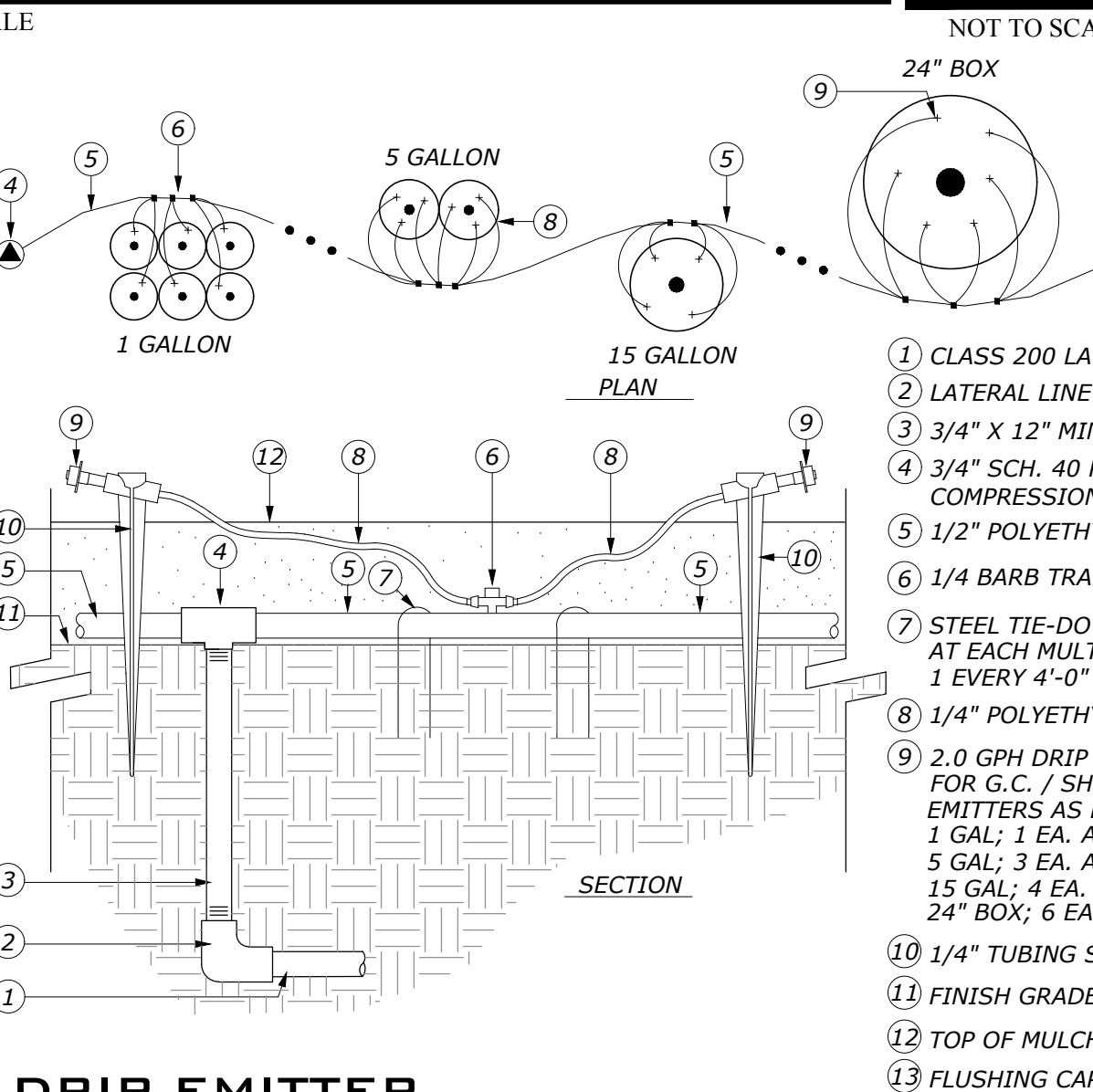
POP-UP SPRAY HEAD



POP-UP BUBBLER HEAD- STREET TREES



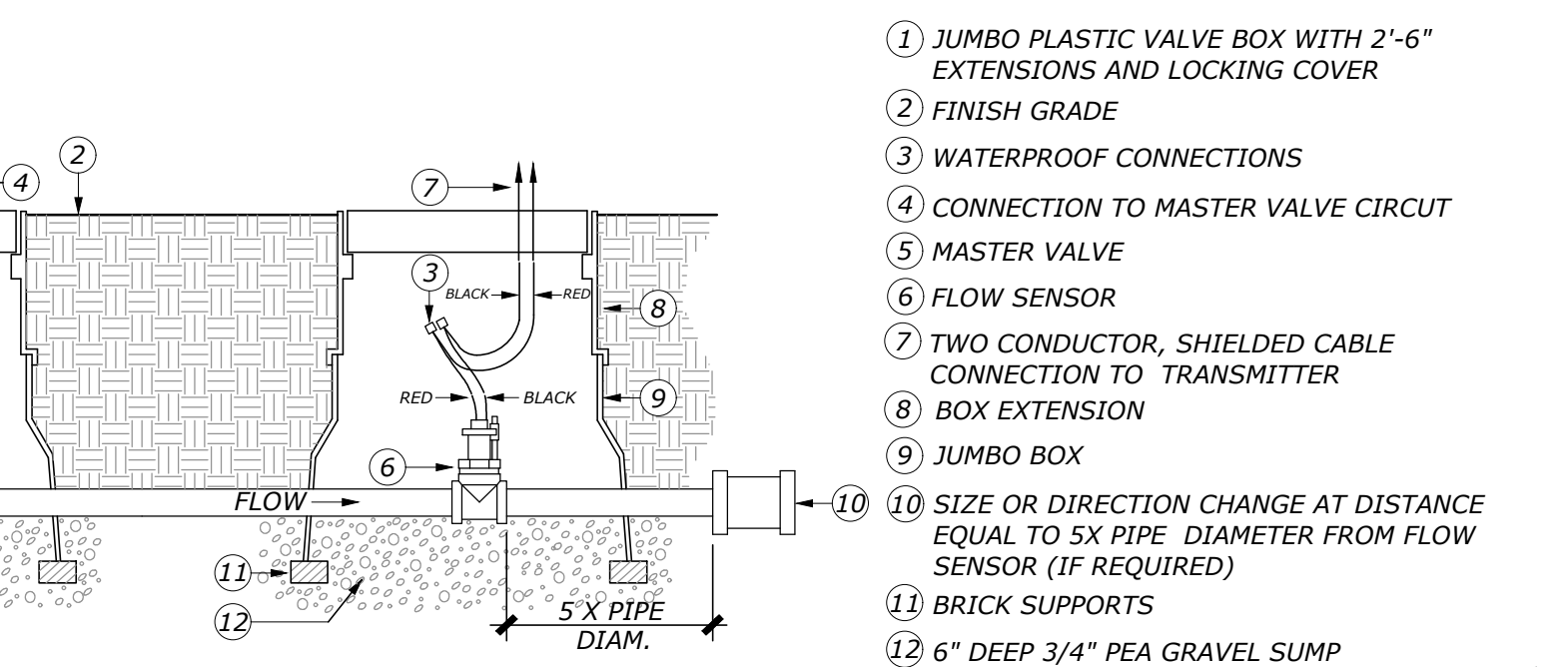
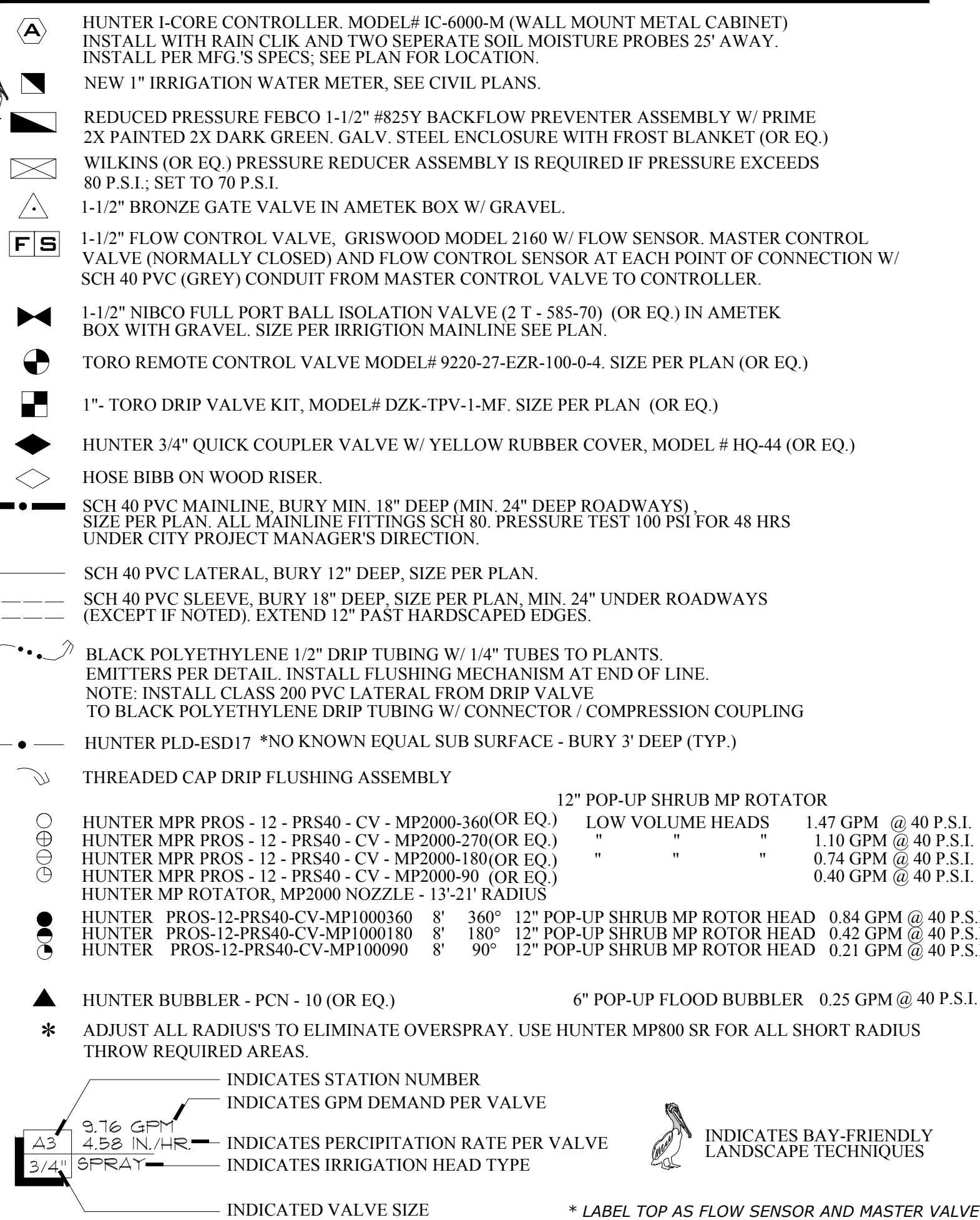
PLD-ESD



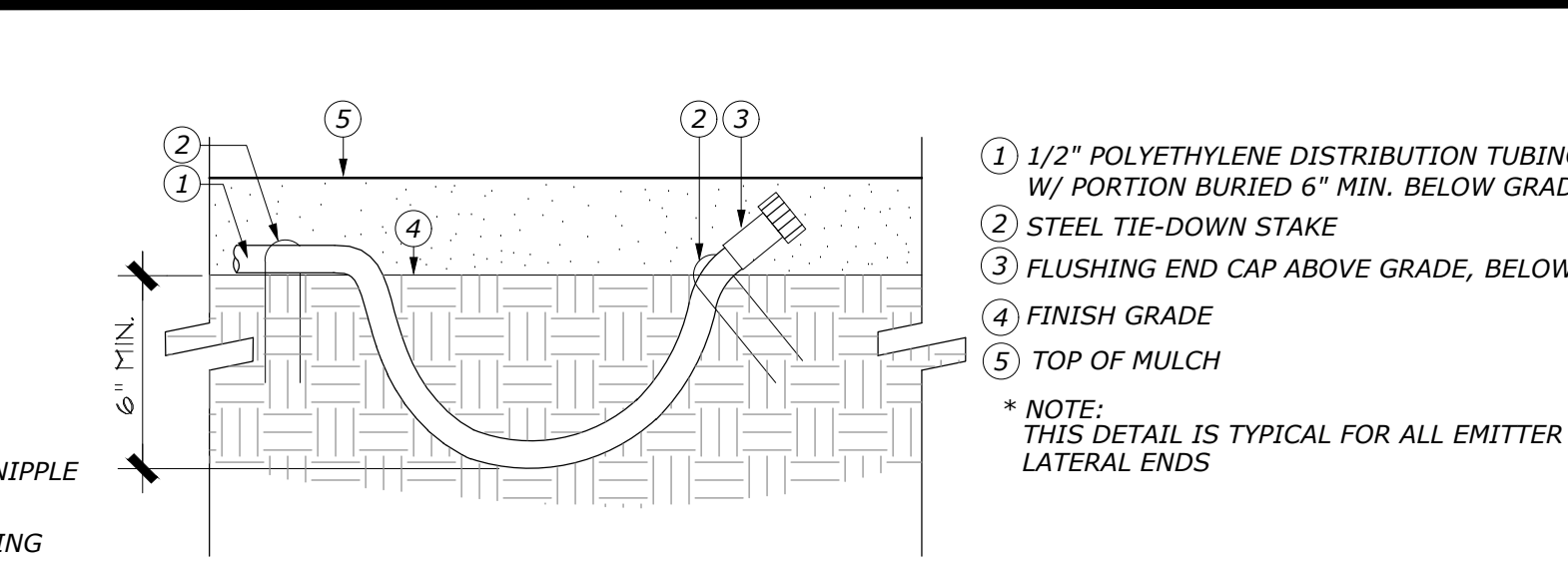
DRIP EMITTER

NOT TO SCALE

IRRIGATION LEGEND



FLOW SENSOR AND MASTER VALVE

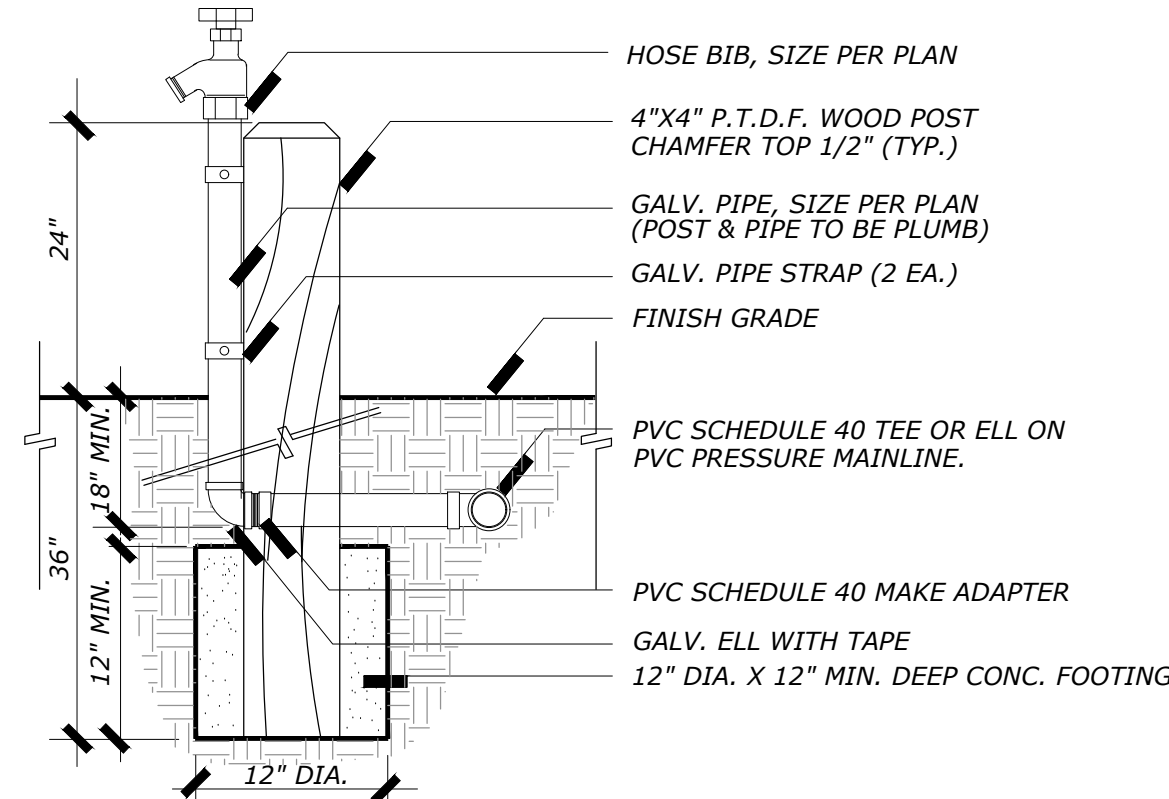


FLUSHING END CAP

NOT TO SCALE

IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN THE PAVED AREAS OR BUILDINGS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID CONFLICTS WITH PLANTING, PIPINGS, UTILITIES AND ARCHITECTURE WHERE POSSIBLE.
- DO NOT WILLFULLY INSTALL THE SYSTEMS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, GPM AVAILABILITY, OR PRESSURES EXIST THAT MAY NOT HAVE BEEN INCLUDED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CITY AND LAND. ARCH. FOR A DECISION. IN THE EVENT THAT NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- 120 VOLT ELECTRICAL POWER OUTLET AT THE ELECTROLIER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL HOOK-UP FROM REMOTE CONTROL VALVES TO CONTROLLER.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, UTILITIES, PIPING, BUILDINGS, ETC. THE IRRIGATION CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR FOR THE INSTALLATION OR PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, STRUCTURES, ETC.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED INSTALLERS. CONTRACTOR TO OBTAIN AND PAY FOR ALL IRRIGATION PERMITS AND REQUIRED FEES.
- CONTRACTOR IS TO CONFIRM THE LOCATION OF EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO THE EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY, OR DURING THE PERFORMANCE OF THEIR WORK AT NO ADDITIONAL COST TO THE OWNER. CALL USA ALERT 3 DAYS PRIOR TO ANY EXCAVATION (800) 227-2600.(811)
- SYSTEM IS BASED UPON A STATIC MAINLINE PRESSURE OF 55 P.S.I.. A PRESSURE REDUCER MAY (MAY NOT) BE REQUIRED SO THAT THE STATIC MAINLINE PRESSURE AS MEASURED AT THE POINT OF CONNECTION (AT EACH FLOW DEVICE) IS 80 P.S.I.. AFTER CALCULATING PRESSURE LOSSES, THE SYSTEM IS DESIGNED TO OPERATE AT APPROXIMATELY 40 P.S.I. WORKING PRESSURE AT THE HEADS THROUGH ANY ONE VALVE. THE SYSTEM IS DESIGNED TO OPERATE AT A MAXIMUM OF 30 GPM ON 1" METER, AND NO MORE THAN 2 VALVES SHALL BE RUN AT THE SAME TIME.
- TRENCHES ARE TO BE OF SUFFICIENT DEPTH TO PROVIDE 18" OF COVER OVER MAINLINE AND 12" OF COVER OVER LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING. MAINLINE UNDER STREETS TO BE 24" DEEP. MINIMUM.
- FLUSH MAINLINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING.
- IRRIGATION CONTROL WIRE SHALL BE #14, U.L. APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE #14 U.L. APPROVED FOR DIRECT BURIAL, WHITE IN COLOR. INSTALL DRY SPlice "SPEARS" CONNECTORS. WIRES TO INDIVIDUAL REMOTE CONTROL VALVES SHALL BE A COLOR OTHER THAN WHITE. ALL SPLICES SHALL BE MADE WITHIN REMOTE CONTROL VALVE BOXES. LEAVE 24" EXCESS WIRE COIL AT REMOTE CONTROL LOCATIONS. RUNS OVER 250' SHALL BE #12 U.L. APPROVED WIRES. INSTALL ONE SPARE FROM CONTROLLER TO EACH GANGED VALVE LOCATION.
- REMOTE CONTROL VALVE BOXES SHALL BE INSTALLED FLUSH WITH FINISH GRADE (NOT NECESSARILY PLUMB). ALIGN VALVE BOXES WITH ADJACENT PAVEMENT EDGES OR STRUCTURES. VALVE BOXES SHALL BE PLASTIC WITH BOLT DOWN LIDS AND WITH NUMBERED VALVE STATIONS IN STENCILS ON TOP.
- ALL EXCAVATIONS SHALL BE BACKFILLED TO 90% COMPACTION (MIN.). CONTRACTOR TO REPAIR SETTLED TRENCHES FOR ONE YEAR AFTER COMPLETION OF WORK.
- CONTRACTOR TO MAKE MINOR ADJUSTMENTS IN HEAD LOCATIONS AND ADJUST AND ADD HEADS IF NECESSARY FOR RADIUS (ARC IF APPLICABLE), FOR OPTIMUM COVERAGE AND ELIMINATE SPRAYING ONTO PAVEMENT, BUILDINGS, AND WALLS. USE FLAT SPRAY NOZZLES NEAR ANY BUILDING.
- CONTRACTOR TO MAINTAIN A SET OF "AS-BUILT" DRAWINGS THROUGHOUT THE COURSE OF CONSTRUCTION AND DELIVER THESE DRAWINGS TO THE OWNER UPON THE COMPLETION OF THE WORK. THE DRAWINGS SHALL BE IN REPRODUCIBLE FORM.
- CONTRACTOR SHALL GUARANTEE THE SYSTEM AND MATERIALS TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR STARTING WITH ACCEPTANCE AT THE FINAL SITE REVIEW.
- ALL HEADS WHICH MAY EXPERIENCE LOW HEAD DRAINAGE SHOULD HAVE IN-LINE OR IN-HEAD CHECK VALVES INSTALLED.
- THE IRRIGATION CONTRACTOR SHOULD ARRANGE WITH THE LAND. ARCH. & OWNER FOR A SITE REVIEW OF THE SYSTEM. CALL WITH TWO DAYS PRIOR NOTICE TO ARRANGE REVIEW DATES. REVIEWS WILL BE SCHEDULED TO REVIEW:
 - PRESSURE TEST TO MAIN LINE PRIOR TO BACKFILLING TRENCHES. 100PSI - 48 HRS.
 - COVERAGE TEST OF SPRINKLER SYSTEM PRIOR TO PLANTING.
 - FINAL WALK-THROUGH OF ALL ASPECTS OF THE IRRIGATION SYSTEM.
- STATIC PRESSURE WAS NOTED ON 9-28-15 BY ALICIA FROM THE ALAMEDA COUNTY WATER DEPARTMENT AT 90 P.S.I. AT THE INTERSECTION OF 'B STREET' AND 'WALNUT STREET'



HOSE BIBB ON WOOD RISER (OPTION FOR QCV)

NOT TO SCALE

SIGNATURE BLOCK

	DATE: 10-26-15
	REVISIONS: #1 12-16-15
MS. MICHELLE KOO LANDSCAPE ARCHITECT EXP: XX-XXXX CITY OF HAYWARD	
MR. SAEED SAEBI CITY ENGINEER EXP: XX-XXXX CITY OF HAYWARD	

ROBERT MOWAT ASSOCIATES
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www.rmlandscape.com



Sequoia Grove
Hayward, CA

IRRIGATION NOTES & DETAILS

DATE 10-26-15
REVISIONS #1 12-16-15
CITY COMMENTS #1 12-16-15
CITY COMMENTS #3 08-26-19
CITY COMMENTS #4 6-6-23

SHEET

L-4
OF 9

MWEL0 CALCULATIONS

SYMBOL:	HYDROZONE TYPE:	PLANT FACTOR (PF):	HYDROZONE AREA (HA):	IRRIGATION EFFICACY (IE):	(PF X HA) IE
H 1	SHRUBS/GROUNDCOVER MOD WATER USE DRIP	0.4	2,764 SF	.81	1365
H 2	NATIVE CA SOD LOW/MOD WATER USE ECO-MAT	0.04	702 SF	.81	35
H 3	TREES MOD WATER USE BUBBLER	0.5	504 SF	.81	311
H 4	SHRUBS/GROUNDCOVER LOW WATER USE MP ROTATOR	0.2	3,603 SF	.75	961

TOTAL:	7,573 SF	2672
ETWU:	44.2 X 0.62 (2672+0)	73,223 GAL/YR
MAWA:	44.2 X 0.62 [(0.45 X 7573)+(1.0-.45)+0]	93,403 GAL/YR

MWEL0 CALCULATION REFERENCE

ETWU: ESTIMATED TOTAL WATER USE (GALLONS PER YEAR)

CALCULATION FORMULA: $E_{To} \times 0.62 \left(\frac{PF \times HA}{IE} + SLA \right)$

ETO : REFERENCE EVAPOTRANSPIRATION (47.0 INCHES PER YEAR IN HAYWARD)
0.62 : CONVERSION FACTOR (INCHES PER SQAURE FOOT TO GALLONS PER SQUARE FEET)
PF : PLANT FACTOR FROM WUCOLS IV, REGION 2
HA : HYDROZONE AREA (HIGH, MEDIUM AND LOW WATER USE AREAS) (IN SQUARE FEET)
IE : IRRIGATION EFFICIENCY (MINIMUM 0.70)
SLA : SPECIAL LANDSCAPED AREA (SQUARE FEET)

MAWA: MAXIMUM APPLIED WATER ALLOWANCE (GALLONS PER YEAR)

CALCULATION FORMULA: $(E_{To}) \times (0.62) \times [(0.55 \times LA) + (1.0 - 0.55) \times SLA]$

ETO : REFERENCED EVAPOTRANSPIRATION (47.0 INCHES PER YEAR IN HAYWARD)
0.62 : CONVERSION FACTOR (INCHES PER SQAURE FOOT TO GALLONS PER SQUARE FEET)
0.55 : RESIDENTIAL REFERENCE EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF)
LA : LANDSCAPED AREA INCLUDING SLA (SQUARE FEET)
0.45 : ADDITIONAL WATER ALLOWANCE FOR SLA
SLA : SPECIAL LANDSCAPED AREA (SQUARE FEET)

IRRIGATION SYSTEM

1. GENERAL

- A. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL THE IRRIGATION SYSTEM AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN.
- B. COORDINATE THE INSTALLATION OF ALL IRRIGATION MATERIALS WITH THE CONSTRUCTION OF SITE AMENITIES AND PLANTING.
- C. ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED BEFORE PLANTING OPERATIONS.
- D. DRAWINGS ARE DIAGRAMMATIC AND SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO ACTUAL FIELD CONDITIONS. COSTS INCURRED DUE TO ANY ADJUSTMENT FOR COVERAGE, INCLUDING THOSE REQUESTED BY THE OWNER RELATIVE TO THE LOCATION OF IRRIGATION HEADS AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- E. POINT OF CONNECTION (P.O.C.) AND OPERATING PRESSURE (P.S.I.) SHALL BE AS INDICATED ON THE DRAWINGS. CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF WATER SOURCE, PSI, AND ELECTRICAL SUPPLY PRIOR TO COMMENCING INSTALLATION. IN CASE OF DISCREPANCY, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER.

2. QUALITY ASSURANCE

- A. ALL LOCAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THE IRRIGATION SYSTEM ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS. HOWEVER, IF THOSE SPECIFICATIONS CALL FOR OR DESCRIBE MATERIALS, WORKMANSHIP OR CONSTRUCTION OF A BETTER QUALITY, HIGHER STANDARD OR LARGER SIZE THAN IS REQUIRED BY THE ABOVE RULES, REGULATIONS OR REQUIREMENTS, THESE SPECIFICATIONS AND THE DRAWINGS SHALL TAKE PRECEDENCE.
- B. IN THE EVENT ANY EQUIPMENT OR METHODS INDICATED ON THE DRAWINGS OR SPECIFIED HEREIN CONFLICT WITH APPLICABLE REGULATIONS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER IN WRITING PRIOR TO INSTALLATION. IN CASE OF DISCREPANCY, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER.
- C. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, AND RELATED OTHER EQUIPMENT, WHICH MAY BE REQUIRED. CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING THE WORK AND INSTALL A COMPLETE IRRIGATION SYSTEM WITHIN THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.
- D. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF LIABILITY UNDER THE PROVISIONS FOR GUARANTEES.

3. MATERIALS LIST

- A. WITHIN FIFTEEN (15) CALENDAR DAYS AFTER AWARD OF CONTRACT AND PRIOR TO INSTALLATION, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A LIST OF MATERIALS INCLUDING THE MANUFACTURER, DESCRIPTION, MODEL NUMBER AND INSTALLATION DATA.
- B. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT PRIOR ACCEPTANCE MAY BE REJECTED AND SUCH MATERIALS REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE.

4. PRODUCT DELIVERY, STORAGE AND HANDLING

CONTRACTOR SHALL EXERCISE CARE IN HANDLING, LOADING, UNLOADING AND STORING OF IRRIGATION MATERIALS AND EQUIPMENT.

5. PLASTIC PIPE

- A. PLASTIC PIPE, WHERE INDICATED ON THE DRAWINGS, SHALL BE INJECTION MOLDED; RIGID; UNPLASTICIZED POLYVINYL CHLORIDE (PVC); NSF APPROVED; OF HIGH TENSILE STRENGTH, CHEMICAL RESISTANT AND IMPACT STRENGTH, AND DEPENDING ON CLASS AND GRADE, CONFORM TO ASTM 2241 OR ASTM D-1785.
- B. FITTINGS AND COUPLINGS SHALL BE THREADED PVC SCHEDULE 80 CONFORMING TO ASTM D-2464; OR SLP-FITTING, TAPERED SOCKET, SOLVENT-WELD TYPE, PVC SCHEDULE 40 CONFORMING TO ASTM D-2466 OR PVC SCHEDULE 80 CONFORMING TO ASTM D-2467 OR BELL AND GASKET.
- C. SOLVENT CEMENT AND PRIMER FOR RIGID PVC SOLVET-WELD PIPE AND FITTINGS SHALL BE OF COMMERCIAL QUALITY, IAPMO APPROVED, CONFORMING TO ASTM D-2564.



City of HAYWARD

MONTHLY IRRIGATION SCHEDULE

Project Name: SEQUOIA GROVE
Project Address: CORNER OF A STREET AND WALNUT
Prepared by: Name: ROBERT MOWAT ASSOCIATES License or Certification No. (if applicable): 2258
Address: 1501 N. BROADWAY #400 Telephone Number: 925-705-7424
WALNUT CREEK, CA 94596 Date Prepared: 10-21-15

Valve or Station Number (A)	Plant Type (B)	Irrigation Type (C)	Flow Rate (D)	Precipitation Rate (E)	Initial Plant Establishment Period (3 Mos.)	Following One-Year Period (12 Months)											
						SPR	SUM	FALL	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP
1	MOD	BUBB	.5			4	8	4	0	0	0	4	5	6	8	3	5
2	LOW	MP ROTA	.45			10	15	10	0	0	0	6	9	11	14	15	14
3	LOW	MP ROTA	.45			10	15	10	0	0	0	6	9	11	14	15	14
4	LOW	MP ROTA	.45			10	15	10	0	0	0	6	9	11	14	15	14
5	LOW	BUBB	.5			4	8	4	0	0	0	4	5	6	8	3	5
6	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	12	12	8

NOTE: This Irrigation Schedule should be used as a guide. The landscaping should be monitored regularly and the schedule adjusted as needed for plant growth, local rainfall, and climatic conditions. Check irrigation system frequently to minimize run-off and overwatering. Schedule valves with sprinklers to irrigate between 9 PM and 8 AM to reduce water loss from wind and evaporation.

F Month Run Time (Minutes per Day)
G Days per Week
H

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						SPR	SUM	FALL	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP
13	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	12	12	8
14	MOD	BUBB	.5			5	8	5	0	0	0	5	6	7	7	7	6
15	MOD	BUBB	.5			5	8	5	0	0	0	5	6	7	7	7	6
16	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	12	12	8
17	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	12	12	8
18	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	12	12	8

NOTE: This Irrigation Schedule should be used as a guide. The landscaping should be monitored regularly and the schedule adjusted as needed for plant growth, local rainfall, and climatic conditions. Check irrigation system frequently to minimize run-off and overwatering. Schedule valves with sprinklers to irrigate between 9 PM and 8 AM to reduce water loss from wind and evaporation.

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						SPR	SUM	FALL	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP
7	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	12	12	8
8	MOD	BUBB	.5			5	8	5	0	0	0	5	6	7	7	7	6
9	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	12	12	8
10	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	12	12	8
11	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	12	12	8
12	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	12	12	8

NOTE: This Irrigation Schedule should be used as a guide. The landscaping should be monitored regularly and the schedule adjusted as needed for plant growth, local rainfall, and climatic conditions. Check irrigation system frequently to minimize run-off and overwatering. Schedule valves with sprinklers to irrigate between 9 PM and 8 AM to reduce water loss from wind and evaporation.

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						SPR	SUM	FALL	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP
19	MOD	BUBB	.5			5	8	5	0	0	0	5	6	7	7	7	6
20	MOD	DRIP	.25			12	18	12	4	0	0	4	7	8	12	12	8
21	LOW	SUB-DRIP	.10			10	15	10	0	0	0	2	4	6	9	12	10
22	LOW	SUB-DRIP	.10			10	15	10	0	0	0	2	4	6	9	12	10
23	LOW	SUB-DRIP	.10			10	15	10	0	0	0	2	4	6	9	12	10

NOTE: This Irrigation Schedule should be used as a guide. The landscaping should be monitored regularly and the schedule adjusted as needed for plant growth, local rainfall, and climatic conditions. Check irrigation system frequently to minimize run-off and overwatering. Schedule valves with sprinklers to irrigate between 9 PM and 8 AM to reduce water loss from wind and evaporation.

F Month Run Time (Minutes per Day)
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H

- D. TRENCHES SHALL BE OF OPEN VERTICAL CONSTRUCTION TO APPROPRIATE DEPTHS AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN. PVC PIPE SHALL BE LAID ON NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE, FREE OF ROCKS OR SHARP-EDGED OBJECTS AND SNAKED FROM SIDE TO SIDE IN THE TRENCH TO ALLOW FOR EXPANSION AND CONTRACTION.
- E. TEFLON TAPE SHALL BE USED ON ALL THREADED PVC TO PVC AND ON ALL THREADED PVC TO METAL JOINTS.
- F. BRASS PIPE AND FITTINGS SHALL BE ASSEMBLED USING TEFLON DOPE, APPLIED TO THE MALE THREADS ONLY.
- G. GALVANIZED PIPE THREADS SHALL BE CUT WITH CLEAN, SHARP DIES, CONFORMING TO AMERICAN STANDARDS ASSOCIATION SPECIFICATION. MALE PIPE THREADS SHALL BE COATED WITH A NON-TOXIC, NON-HARDENING, NON-CORROSIVE JOINT COMPOUND.
- H. IRRIGATION LINES AND CONTROL WIRING SHALL BE INSTALLED UNDER PAVING IN SEPARATE PVC SCHEDULE 40 SLEEVES. SLEEVES SHALL BE INSTALLED WITH COVERAGE DEPTHS AS SPECIFIED HEREIN.
- I. PIPING UNDER EXISTING PAVEMENT MAY BE INSTALLED BY JACKING, BORING OR HYDRAULIC DRIVING, EXCEPT THAT NO HYDRAULIC DRIVING WILL BE PERMITTED UNDER ASPHALTIC CONCRETE PAVEMENT. WHERE CUTTING OR BREAKING OF EXISTING PAVEMENT IS NECESSARY, OBTAIN PERMISSION FROM THE OWNER BEFORE CUTTING OR BREAKING PAVEMENT AND THEN MAKE ALL NECESSARY REPAIRS AND REPLACEMENTS TO THE SATISFACTION OF THE OWNER, AND AT NO ADDITIONAL COST TO THE OWNER.
- J. ALL LINES SHALL HAVE A MINIMUM HORIZONTAL CLEARANCE OF SIX INCHES (6") FROM EACH OTHER AND FROM LINES OF OTHER TRADES. PARALLEL LINES SHALL NOT BE INSTALLED DIRECTLY OVER ONE ANOTHER.
- K. PROVIDE THE FOLLOWING MINIMUM COVERAGE (WHERE LINES OCCUR UNDER PAVED AREAS, THESE COVERAGE DEPTHS SHALL BE CONSIDERED BELOW SUBGRADE):
 - PRESSURE MAINLINE 24"
 - NON - PRESSURE LATERAL LINES 12"
 - CONTROL WIRING 24"

18. ADJUSTING AND TESTING THE SYSTEM

- A. CONTRACTOR SHALL FURNISH ALL EQUIPMENT, MATERIALS AND LABOR TO CONDUCT PIPELINE PRESSURE TESTS, COVERAGE TESTS AND OPERATIONAL TEST. ALL TESTS SHALL BE MADE IN THE PRESENCE OF THE OWNER PRIOR TO PLANTING OPERATIONS. TRENCHES SHALL NOT BE BACKFILLED UNTIL THE PIPELINE PRESSURE TESTS HAVE BEEN PERFORMED TO THE SATISFACTION OF THE OWNER.
- B. AFTER COMPLETION OF PIPELINE ASSEMBLY, PRIOR TO INSTALLATION OF TERMINAL FITTINGS, INCLUDING BUT NOT LIMITED TO REMOTE CONTROL VALVES AND QUICK COUPLER VALVES, ENTIRE SYSTEM SHALL BE THOROUGHLY FLUSHED TO REMOVE DIRT, SCALE OR OTHER DELETERIOUS MATERIAL.
- C. WITH OPEN ENDS CAPPED, PRIOR TO INSTALLING VALVES, PRESSURE TEST SUPPLY LINES FOR TWO (2) HOURS AT 150 PSI. WITH VALVE HEADS INSTALLED, WATER PRESSURE TEST LATERAL LINES FOR ONE (1) HOUR AT 75 PSI. LOAD PVC PIPE WITH A SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING AND WHIPPING UNDER PRESSURE.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ALL PORTIONS OF THE WORK TWENTY-FOUR (24) HOURS AFTER THE FOLLOWING INSPECTIONS;
 - SYSTEM LAYOUT
 - PRESSURE PIPELINE TESTS
 - COVERAGE TESTS
 - OPERATIONAL TESTS (PRIOR TO COMMENCING OF PLANTING OPERATIONS)

SIGNATURE BLOCK



DATE: _____
MS. MICHELLE KOO | LANDSCAPE ARCHITECT | EXP: XX-XXXX | CITY OF HAYWARD |
DATE: _____
MR. SAEED SAEBI | CITY ENGINEER | EXP: XX-XXXX | CITY OF HAYWARD |

6. BRASS PIPE
A. BRASS PIPE, WHERE INDICATED ON THE DRAWINGS, SHALL BE 86% RED BRASS, AMERICAN NATIONAL STANDARDS INSTITUTE, SCHEDULE 40 SCREWED PIPE, CONFORMING TO FEDERAL SPECIFICATIONS WW-P-351.
B. FITTINGS SHALL BE MEDIUM BRASS, SCREWED 125 POUND CLASS, CONFORMING TO FEDERAL SPECIFICATIONS WW-P-460.
7. GALVANIZED PIPE
A. GALVANIZED STEEL PIPE, WHERE INDICATED ON THE DRAWINGS, SHALL BE ASA SCHEDULE 40 MILD STEEL SCREWED PIPE. FITTINGS SHALL BE MEDIUM GALVANIZED SCREWED BEADED MALLEABLE IRON.
B. ALL GALVANIZED PIPE AND FITTINGS INSTALLED BELOW GRADE SHALL BE PAINTED WITH TWO (2) COATS OF KOPERS #50 BITUMASTIC, OR APPROVED EQUAL. PIPES MAY BE WRAPPED WITH AN APPROVED ASPHALTIC TAPE.
8. UVR-PVC PIPE
UVR-PVC PIPE, WHERE INDICATED ON THE DRAWINGS, SHALL BE ULTRA-VIOLET RESISTANT, SCHEDULE 40 PVC PIPE. FITTINGS SHALL BE UVR-PVC FITTINGS.
9. BACKFLOW PREVENTION UNIT
BACKFLOW PREVENTION UNIT SHALL BE FACTORY ASSEMBLED AND SHALL BE AS INDICATED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL. CONTRACTOR SHALL INSTALL BACKFLOW PREVENTION UNIT AS INDICATED IN THE DETAILS ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
10. VALVE BOXES
A. GATE VALVES AND REMOTE CONTROL VALVES, EXCEPT FOR ANTI-SIPHON VALVE, SHALL BE INSTALLED BELOW GRADE AS INDICATED IN THE DETAILS ON THE DRAWINGS, IN LOCKABLE VALVE BOXES MANUFACTURED BY BROOKS, FRASER, AMETEK, OR APPROVED EQUAL.
B. VALVE BOX LIDS SHALL BE GREEN IN COLOR. GATE VALVES SHALL BE IDENTIFIED BY STAMPING "GV" ON THE VALVE BOX COVER. REMOTE CONTROL VALVES SHALL BE IDENTIFIED BY STAMPING "RCV" AND STATION NUMBER ON THE VALVE BOX COVER.
C. VALVE BOXES SHALL BE SET ON ONE INCH (1") ABOVE FINISH GRADE, WITH VALVES SET AT SUFFICIENT DEPTH TO PROVIDE APPROPRIATE CLEARANCE BETWEEN THE COVER AND VALVE.
11. ISOLATION VALVES
A. ISOLATION VALVES (BALL) SHALL BE AS INDICATED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL. CONTRACTOR SHALL INSTALL ISOLATION VALVES AS INDICATED IN THE DETAILS ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
B. THE OPERATING UNIT SHALL BE LINE-SIZED AND HAVE ANY ARROW CAST IN THE METAL INDICATING THE DIRECTION OF OPENING. VALVE SHALL CONFORM TO AMERICAN WATER WORKS STANDARDS.
C. ISOLATION VALVES SHALL BE DESIGNED TO PERMIT DISMANTLING TO REPLACE SEALING COMPONENTS WITHOUT REMOVAL OF THE VALVE BODY FROM THE PIPELINE.
12. QUICK COUPLING VALVES
QUICK COUPLING VALVES SHALL BE AS INDICATED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL. CONTRACTOR SHALL INSTALL QUICK COUPLER VALVES AS INDICATED IN THE DETAILS ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, WITH A MOLDED VINYL OR THERMOPLASTIC RUBBER LOCKING YELLOW COVER. COUPLER KEYS AND HOSE ELLS SHALL BE OF THE SAME MANUFACTURER AS THE VALVE.
13. ANTI-DRAIN VALVES
WHERE INDICATED ON THE DRAWINGS, AND AS NEEDED FOR FIELD CONDITIONS, ANTI-DRAIN VALVES SHALL BE AS INDICATED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL. ANTI-DRAIN VALVES SHALL BE LINE-SIZED AND INSTALLED ON THE RISER DIRECTLY UNDER THE IRRIGATION HEADS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

14. REMOTE CONTROL VALVES
REMOTE CONTROL VALVES SHALL BE SOLENOID ACTIVATED, OF THE TYPE, MANUFACTURER AND SIZE AS INDICATED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL. CONTRACTOR SHALL INSTALL REMOTE CONTROL VALVES AS INDICATED IN THE DETAILS ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
15. CONTROLLERS AND WIRING
CONTROLLER SHALL BE OF THE TYPE AND MANUFACTURER AS INDICATED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL. CONTRACTOR SHALL INSTALL CONTROLLER AS INDICATED IN THE DETAILS ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
B. CONNECTIONS BETWEEN THE CONTROLLER AND THE REMOTE CONTROL VALVES SHALL BE MADE WITH DIRECT BURIAL SOLID COPPER WIRE. WIRE SHALL BE PVC INSULATED OF SINGLE CONDUCTOR TYPE, UNDERGROUND FEEDER CABLE, U.L. APPROVED.
C. AS PRACTICAL, PILOT WIRES SHALL BE A DIFFERENT COLOR FOR EACH VALVE. COMMON WIRES SHALL BE WHITE WITH A DIFFERENT COLOR STRIPE FOR EACH AUTOMATIC CONTROLLER.
D. WIRE SHALL BE BURIED A MINIMUM OF TWENTY-FOUR INCHES (24") IN DEPTH AND WHENEVER POSSIBLE SHALL OCCUPY THE SAME TRENCH AS MAINLINE. BUNDLED AND SECURED TO IRRIGATION PIPELINES AT TEN FOOT (10') INTERVALS WITH PLASTIC ELECTRICAL TAPE PROVIDING SUFFICIENT SLACK FOR EXPANSION AND CONTRACTION.
E. WIRE FOR SLOPE SYSTEMS SHALL BE INSTALLED IN A UVR PVC SLEEVE LAID ADJACENT TO THE ON-GRADE PIPES.
F. PROVIDE A SEPARATE GROUND WIRE FOR EACH CONTROLLER.
G. AN EXPANSION CURL SHALL BE PROVIDED WITHIN THREE FEET (3') OF EACH WIRE CONNECTION AND CHANGE OF DIRECTION, AND AT LEAST EVERY 100 FEET OF WIRE LENGTH ON LONGER RUNS.
H. ALL SPLICES SHALL BE MADE WITH SCOTCH-LOK #376 CONNECTOR SEALING PACKS, RAIN BIRD PEN-TITE, SEARS DS-400 WIRE CONNECTORS, 3M DBY WIRE SEALING PACKS, OR APPROVED EQUAL. USE ONE (1) SPLICE PER CONNECTOR SEALING PACK. WIRE SPLICES SHALL BE LOCATED IN PULL BOXES SET ONE INCH (1") ABOVE FINISH GRADE.
I. FIELD SPLICES BETWEEN THE CONTROLLER AND REMOTE CONTROL VALVES WILL NOT BE PERMITTED.
J. INSTALL A SPARE CONTROL WIRE OF A DIFFERENT COLOR ALONG ENTIRE MAINLINE. LOOP THIRTY-SIX INCHES (36") EXCESS WIRE INTO EACH SINGLE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
16. IRRIGATION HEADS
A. IRRIGATION HEADS SHALL BE OF THE MANUFACTURER, SIZE, TYPE, AND RATE OF PRECIPITATION WITH THE DIAMETER (OR RADIUS) OF THROW, PRESSURE, AND DISCHARGE AS SPECIFIED IN THE IRRIGATION LEGEND ON THE DRAWINGS, OR APPROVED EQUAL, AND INSTALLED AS INDICATED IN THE DETAILS ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
B. RISER UNITS SHALL BE ORIENTED PERPENDICULAR TO THE FINISH GRADE WITH NIPPLES OF THE SAME SIZE AS THE RISER OPENING IN THE IRRIGATION HEAD.
C. SPACING OF HEADS SHALL NOT EXCEED THE MAXIMUM SHOWN ON THE DRAWINGS AND IN NO CASE EXCEED THE MAXIMUM SPACING RECOMMENDED BY THE MANUFACTURER.
17. INSTALLATION
A. PIPE SHALL BE CUT SQUARE AND THE ENDS REAMED OUT TO THE FULL INSIDE DIAMETER OF THE PIPE AND THOROUGHLY CLEANED OF DIRT, DUST AND MOISTURE BEFORE INSTALLATION.
B. PVC PIPE SHALL BE PROTECTED FROM TOOL DAMAGE DURING ASSEMBLY. PLASTIC PIPE WHICH HAS BEEN NICKED, SCARRED OR DAMAGED SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
C. PVC SOLVENT-WELD JOINTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-2855. PIPE SHALL NOT BE EXPOSED TO WATER FOR TWENTY-FOUR (24) HOURS AFTER SOLVENT-WELD JOINTS ARE COMPLETED.

ROBERT MOWAT ASSOCIATES
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www.rmlandscape.com



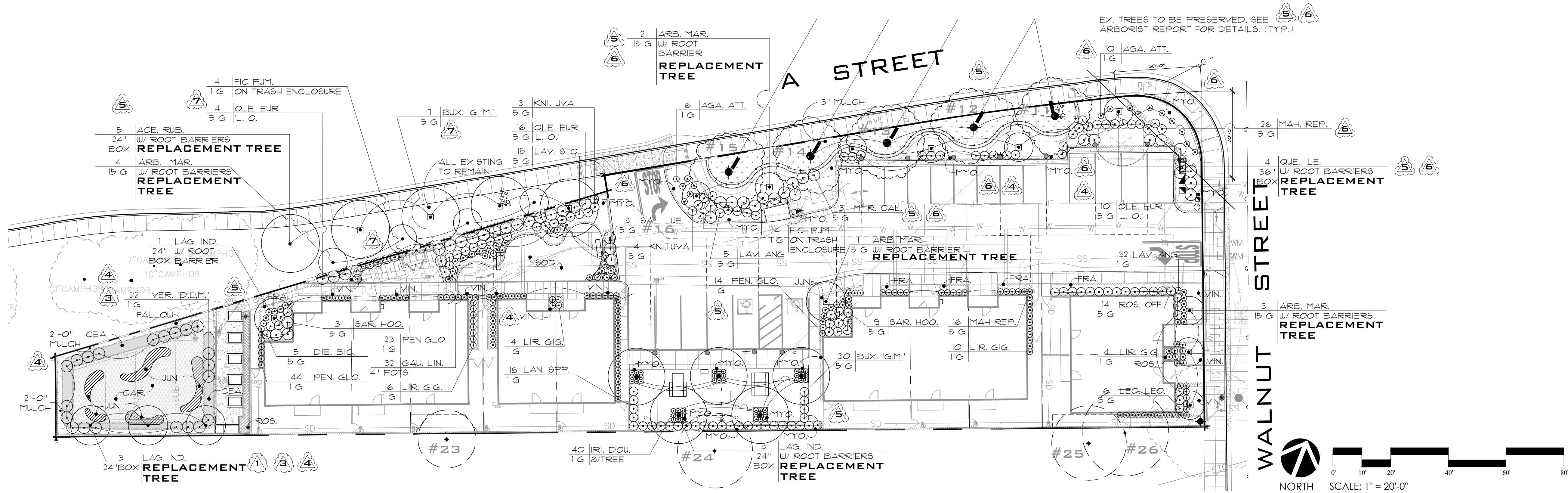
Sequoia Grove
Hayward, CA

WEL0
CALCULATIONS
& IRRIGATION
SCHEDULE

DATE	REVISIONS
10-26-15	#1
02-09-16	#2
08-20-18	#3
08-26-19	#4

SHEET

L-5
OF 9



PLANTING LEGEND

TREES R=REPLACEMENT TREES							SHRUBS / GROUND COVERS								
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT x SPREAD	WATER USE	QTY.	CA NATIVES	SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT x SPREAD	SPACING	WATER USE	NATIVES
	Ace. rub.	24" BOX	Acer Rubrum 'October Glory' (R)	October Glory Maple	40' HT x 35' SP	MOD.	5		1 G	Ceanothus griseus'Yankee Point'	Yankee Point Ceanothus	3' HT x 10' SP	@ 10'-0" O.C.	LOW	NATIVE-OWN @ RET. BASIN
	Arb. mar.	15 GAL	Arbutus 'Marina' (R)	Strawberry Tree	45' HT x 50' SP	LOW	10	NATIVE	4" Pots	Carex tumulicola	Foothill Sedge	18" HT x 2' SP	@ 18" O.C.	LOW	NATIVE
	Lag. ind.	24" BOX	Lagerstroemia indica (R)	Crape Myrtle - Purple	35' HT x 25' SP	MOD.	9		4" Pots	Fragaria vesca	Woodland Strawberry	6' HT x 2' SP	@ 18" O.C.	LOW	NATIVE
	Que. ile.	36" BOX	Quercus ilex (R)	Evergreen Oak	60' HT x 60' SP	LOW	4		4" Pots	Gaura lindheimeri	Gaura	3' HT x 2' SP	@ 10" O.C.	LOW	
SHRUBS / VINES							SPACING/								
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT x SPREAD	WATER USE	QTY.	CA NATIVES								
	Aga. att.	1 G	Agave attenuata	Foxtail Agave	2' HT x 3' SP	LOW	16	ACCENT 5'							
	Bux. 'G. M.'	5 G	Buxus 'Green Mountain'	Boxwood	5' HT x 3' SP	MOD.	27	3'-0" O.C.	4" Pots	Rosmarinus 'Huntington Carpet'	Creeping Rosemary	2' HT x 8' SP	@ 6'-0" O.C.	LOW	
	Die. bic.	5 G	Dietes bicolor	Yellow Fortnight Lily	3' HT x 1' SP	LOW	5	3'-0" O.C. N.	4" Pots	Senecio mandraliscae	Senecio	18" HT x 2' SP	@ 24" O.C.	LOW	
	Fic. pum.	1 G	Ficus pumila	Creeping Fig	15' FT x 8' SP	MOD.	8	5'-0" O.C.	4" Pots	Vinca minor	Periwinkle	18" HT x 2' SP	@ 18" O.C.	LOW	
	Gau. lin.	4" POTS	Gaura lindheimeri	Gaura	3' HT x 2' SP	LOW	32	2'-0" O.C.		Native Preservation Mix SOD	Koleria macrantha			LOW	NATIVE
	Gel. sem.	1 G	Gelsemium sempervirens	Carolina Jessamine	20' HT x 8' SP	MOD.	0	5'-0" O.C.			Stipa pulchra			LOW	NATIVE
	Iri. dou.	1 G	Iris douglasiana	Douglas Iris	1' HT x 1' SP	MOD.	40	1'-0" O.C. N.			Nessella cernua			LOW	NATIVE
	Kni. uva.	5 G	Kniphofia uvaria	Torch Lily	4' HT x 3' SP	LOW	14	3'-0" O.C.			Bolero Plus - From Delta Blue Grass Co.				
	Lan. spp.	1 G	Lantana - Yellow	Lantana	3' HT x 6' SP	LOW	18	1'-0" O.C.							
	Lav. ang.	5 G	Lavandula angustifolia	English Lavendar	3' HT x 4' SP	LOW	37	3'-0" O.C.							
	Lav. sto.	5 G	Lavandula stoechas	Spanish Lavendar	18" HT x 18" SP	LOW	15	2'-0" O.C.							
	Leo. Leo.	5 G	Leonotis leonurus	Lion's Tail	4' HT x 6' SP	LOW	6	6'-0" O.C.							
	Lir. gig.	1 G	Liriope gigantea	Giant Lilyturf	2' HT x 3' SP	MOD.	34	1'-6" O.C.							
	Mah. rep.	5 G	Mahonia repens	Creeping Mahonia	2' HT x 3' SP	LOW	42	3'-0" O.C. N.							
	Myr. cal.	5 G	Myrica californica	Pacific Wax Myrtle	8' HT x 6' SP	LOW	13	10'-0" O.C. N.							
	Ole. eur. 'L.O.'	5 G	Olea europaea 'Little Ollie'	'Little Ollie' Olive	4' HT x 4' SP	LOW	26	3'-0" O.C.							
	Pen. glo.	1 G	Penstemon gloxinoides	Red 'Firecracker'	30" HT x 18" SP	LOW	58	4'-0" O.C. N.							
	Ros. off.	5 G	Rosmarinus officinalis	Rosemary 'Tuscan Blue'	3' HT x 4' SP	V. LOW	14	1'-6" O.C.							
	Sal. leu.	5 G	Salvia leucantha	Mexican Sage	3' HT x 3' SP	LOW	3	5'-0" O.C.							
	Sar. hoo.	5 G	Sarcococca hookeriana	Sweet Sarcococca	4' HT x 4' SP	MOD.	9	3'-0" O.C. N.							
	Ver. 'D.L.M.'	1 G	Verbena 'De La Mina'	Cedros Island Verbena	2' HT x 3' SP	LOW	22	4'-0" O.C. N.							

REVISIONS
CITY
COMMENTS #5

SEE SHEET L-8 FOR
PLANTING NOTES &
DETAILS

SIGNATURE BLOCK

REGISTERED LANDSCAPE ARCHITECT
NO. 2056
SIGNATURE
MICHELLE KOO
DATE

MS. MICHELLE KOO | LANDSCAPE ARCHITECT | EXP: XX-XXXX | CITY OF HAYWARD |
DATE:

ALL TREES ALONG 'A STREET' TO BE PRUNED UP TO MINIMUM
OF 6'-0" FOR AUTO VISIBILITY

ROOT BARRIERS ARE REQUIRED WHEN TREES ARE PLANTED
CLOSER THAN SEVEN FEET FROM EDGE OF HARDSCAPE INCLUDING
STRUCTURES.

JUTE MESH NOTE

INSTALL JUTE MESH TO RUN WITH CONTOURS ON BASIN SLOPES. INSTALL BOTTOM ROWS FIRST.
INSTALL NETTING LAP MIN. 18" INSTALL SOIL STABILIZATION GALVANIZED STAPLES AT 12" O.C.
NO MULCH IN JUTE MESH AREA.

Mulch - Shredded Bark Mulch; 3" layer; see note #11 on Sheet L-8.

IMPORTANT NOTES:

ROBERT MOWAT ASSOCIATES
LANDSCAPE ARCHITECTURE + LAND PLANNING
1501 N. Broadway Suite 400 Walnut Creek, CA 94596
Phone 925.705.7424 Fax 925.954.1390
www.rmlandscape.com

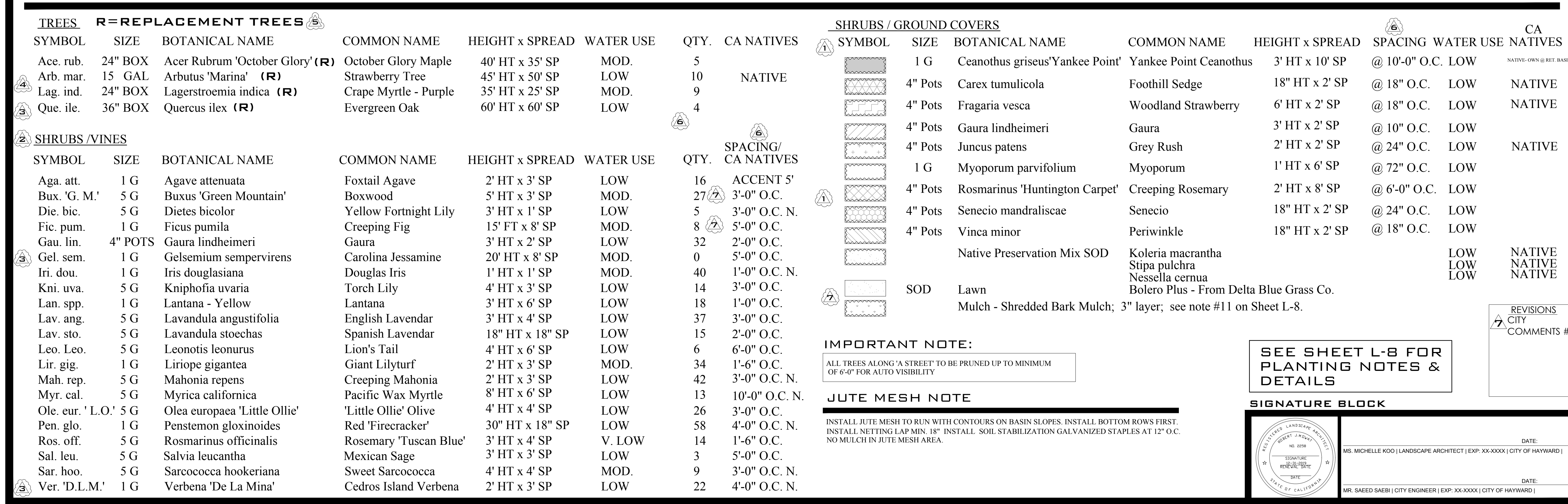


Sequoia Grove
Hayward, CA

PLANTING
PLAN

DATE	REVISIONS
10-26-15	CITY COMMENTS #1
12-16-15	CITY COMMENTS #2
02-09-16	BASIN REV. 08-20-18
08-20-18	CITY COMMENTS #3
08-26-19	UTILITY REV. & REDWOOD REV. 03-29-23
6-6-23	CITY COMMENTS #4

SHEET
L-6
OF 9



PRINT DATE: 8-2-2023

GENERAL PLANTING

1. GENERAL

- A. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR THE INSTALLATION OF PLANT MATERIAL AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN.
- B. CONTRACTOR SHALL COORDINATE PLANTING WITH OTHER SITE IMPROVEMENTS, UNLESS OTHERWISE SPECIFIED. STRUCTURAL IMPROVEMENTS SHALL BE INSTALLED PRIOR TO PLANTING OPERATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND STAKING EXISTING SEWER, WATER AND UTILITY LINES ABOVE OR BELOW GRADE THAT MIGHT BE DAMAGED AS A RESULT OF PLANTING OPERATIONS. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE AND FOR REPLACEMENT OF AFOREMENTIONED UTILITIES.
- D. ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATS, COVERAGE, AND OPERATIONAL TESTS, AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED PRIOR TO PLANTING OPERATIONS.

2. PLANT MATERIAL QUALITY

- A. PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF AGRICULTURE'S REGULATIONS FOR NURSERY INSPECTIONS, RULES AND GRADING. ALL PLANTS SHALL BE OF NO. 1 GRADE AND HAVE A NORMAL HABIT OF GROWTH, AND SHALL BE SOUND, HEALTHY VIGOROUS AND FREE OF INSECT INFESTATIONS, PLANT DISEASES, SUN SCALDS, FRESH BARK ABRASIONS OR OTHER OBJECTIONABLE DISFIGUREMENTS. ALL PLANTS SHALL HAVE A NORMAL, WELL-DEVELOPED BRANCH SYSTEM AND VIGOROUS AND FIBROUS ROOT SYSTEM WHICH IS NOT ROOT BOUND AND IS FREE OF KINKED OR GIRDLING ROOTS.
- B. NURSERY GROWTH STOCK SHALL BE SELECTED FROM HIGH QUALITY, WELL - SHAPED STOCK, GROWTH UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE PROJECT LOCATION. MINIMUM ACCEPTABLE SIZE OF PLANTS AS INDICATED IN THE DRAWINGS SHALL CORRESPOND WITH THAT NORMALLY EXPECTED FOR THE SPECIES AND VARIETY OF COMMERCIALLY AVAILABLE NURSERY STOCK.
- C. WHERE APPLICABLE, CALIPER SHALL BE THE DIAMETER OF THE TRUNK ONE FOOT (1') ABOVE THE GROUND SURFACE.
- D. OVERSIZE PLANTS MAY BE USED IF NOT ROOT BOUND, BUT SHALL NOT INCREASE THE CONTRACT PRICE. UP TO TEN PERCENT (10%) OF UNDERSIZED PLANTS IN ANY ONE (1) VARIETY AND GRADE MAY BE USED; PROVIDED THEY ARE LARGER THAN THE AVERAGE SIZE OF THE NEXT SMALLEST GRADE.
- E. SCIENTIFIC AND COMMON NAMES CONFORM TO CUSTOMARY NURSERY USAGE.
- F. TYPES AND SIZES OF PLANT MATERIALS SHALL BE AS INDICATED ON THE DRAWINGS. QUANTITIES SHOWN ARE A GUIDE ONLY; CONTRACTOR SHALL VERIFY QUANTITIES BY PLAN CHECK.
- G. OWNER RESERVES THE RIGHT TO REFUSE OR REJECT ANY UNSUITABLE PLANT MATERIAL. UNSUITABLE PLANTS SHALL BE REMOVED FROM THE PROJECT SITE AND REPLACED AT THE CONTRACTOR'S EXPENSE. REPLACEMENT PLANTS SHALL BE THE SAME SPECIES, VARIETY, SIZE AND CONDITIONS AS SPECIFIED.
- H. PRUNING OF PLANT MATERIALS SHALL NOT BE DONE PRIOR DELIVERY. AFTER PLANTING, PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE INJURED TWIGS AND BRANCHES, DEAD WOOD AND SUCKERS.
- I. PLANT MATERIAL IS SUBJECT TO SUBSTITUTION BASED UPON AVAILABILITY. SUBSTITUTED MATERIAL SHALL BE APPROVED IN ADVANCE BY THE OWNER.
- J. SEED SHALL BE FRESH, CLEAN, PURE NEW CROP SEED. SEED SHALL BE DELIVERED TO THE SITE, UNMIXED, IN SEPARATE SEALED CONTAINERS. EACH SEALED CONTAINER SHALL BEAR THE SEED SUPPLIER'S TAG INDICATING THE CONTAINER WEIGHT, SEED TYPE, SEED PURITY AND GERMINATION, AND CERTIFICATE OF RELEASE BY A COUNTY AGRICULTURAL COMMISSIONER.
- K. SOD SHALL BE GROWN FROM HIGH QUALITY PROPAGATIVE MATERIAL, FREE FROM WEEDS, DISEASES, AND INSECTS, AND SHALL BE IN ACCORDANCE WITH THE STANDARDS FOR REGULATION FOR NURSERY INSPECTION OF THE APPLICABLE STATE OF THE PROJECT. SOD SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF FIVE-EIGHTHS OF AN INCH (5/8") (EXCLUDING TOP GROWTH AND THATCH). INDIVIDUAL PIECES SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH AND LENGTH WITH AN ALLOWABLE DEVIATION OF TWO PERCENT (2%). BROKEN ROLLS OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A TWENTY - FOUR (24) HOUR PERIOD.

3. FERTILIZERS

- A. FERTILIZERS SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE STATE AGRICULTURAL CODE AND SHALL BE PACKAGED, FIRST GRADE, COMMERCIAL QUALITY PROJECTS IDENTIFIED AS TO SOURCE, TYPE OF MATERIAL, WEIGHT AND MANUFACTURER'S GUARANTEED ANALYSIS. FERTILIZERS SHALL NOT CONTAIN TOXIC INGREDIENTS IN QUANTITIES HARMFUL TO HUMAN, ANIMAL, OR PLANT LIFE. WHEN REQUESTED, CONTRACTOR SHALL FURNISH THE OWNER WITH CERTIFICATE OF COMPLIANCE STATING THAT THE MATERIAL SUBSTANTIALLY MEETS THE SPECIFICATIONS.
- B. COMMERCIAL FERTILIZER SHALL BE A PELLETTED, BEADED, OR GRANULAR PRODUCT HAVING THE CHEMICAL ANALYSIS SPECIFIED HEREIN AND SHALL BE FREE - FLOWING MATERIAL DELIVERED IN ORIGINAL UNOPENED CONTAINERS. USE OF MATERIAL WHICH BECOMES CAKEO OR OTHERWISE DAMAGED SHALL NOT BE PERMITTED.
- C. ORGANIC BASE FERTILIZER SHALL BE A HIGHLY CONCENTRATED HUMATE MATERIAL DERIVED FROM DECOMPOSED ANIMAL, FISH AND VEGETABLE MATTER WITH HUMIC ACIDS AND TRACE MATERIALS MANUFACTURED AS TRI - C ENTERPRISES, CHINO, CALIFORNIA OR APPROVED EQUAL.

4. AMENDMENTS

- A. COMPOSTED MATERIAL
1. APPLY COMPOST AT 4 CU. YRDS/1000 S.F. TO ALL PLANTED AREAS. ROTOTILL TO A DEPTH OF 12" TYPICAL.
 2. COMPOST SHALL BE A WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE DERIVED FROM WASTE MATERIALS INCLUDING YARD DEBRIS, WOOD WASTES OR OTHER ORGANIC MATERIALS NOT INCLUDING MANURE OR BIOSOLIDS MEETING THE STANDARDS DEVELOPED BY THE US COMPOSTING COUNCIL (USCC).

THE PRODUCT SHALL BE CERTIFIED THROUGH THE USCC SEAL OF TESTING ASSURANCE (STA) PROGRAM (A COMPOST TESTING AND INFORMATION DISCLOSURE PROGRAM).

3. COMPOST QUALITY ANALYSIS - BEFORE DELIVERY OF THE COMPOST, THE SUPPLIER SHALL SUBMIT A COPY OF LAB ANALYSIS PERFORMED BY A LABORATORY THAT IS ENROLLED IN THE US COMPOSTING COUNCIL'S COMPOST ANALYSIS PROFICIENCY (CAP) PROGRAM AND USING APPROVED TEST METHODS FOR THE EVALUATION OF COMPOSTING AND COMPOST (TMECC).

MYCORRHIZAL FUNGHI & TERRA-SORB. PROVIDE MYCORRHIZAL FUNGI WITH LIVE SPORES OF BENEFICIAL ENDO AND ECTOMYCORRHIZAL FUNGI. MARILYN'S OWN™ MYCO DRENCH - (ENDO ECTO BLEND FOR SOLUTION) - HTTP://MARILYN.SOWN.COM/MYCO-DRENCH- PLUS TERRA-SORB (WATER ABSORBENT GEL) ROOTS TERRA-SORBOR APPROVED EQUAL AS ABOVE AND BIOSTIMULANTS TO ASSIST IN PLANT ESTABLISHMENT

- B. WHEN REQUESTED, CONTRACTOR SHALL FURNISH THE OWNER WITH A DELIVERY RECEIPT AND CERTIFICATE OF COMPLIANCE STATING THAT THE MATERIAL SUBSTANTIALLY MEETS THE SPECIFICATIONS.
- C. OWNER SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO AMENDING OR FERTILIZING PLANTING AREAS FOR INSPECTION DURING WORK.

5. TOP SOIL

- TOPSOIL SHALL CONSIST OF FERTILE, FRIABLE SOIL OF LOAMY CHARACTER, AND SHALL CONTAIN AN AMOUNT OF ORGANIC MATTER NORMAL TO THE AREA. IT SHALL BE REASONABLE FREE FROM WEEDS, REFUSE, ROOTS, HEAVY OR STIFF CLAY, STONES LARGER THAN TWO INCH (2") IN DIAMETER, STICKES, BRUSH, LITTER AND OTHER DELETERIOUS SUBSTANCES. TOPSOIL MAY BE OBTAINED FROM THE SITE IF APPROVED BY THE OWNER.
- B. WHEN REQUIRED, IMPORTED TOPSOIL SHALL BE SUBJECT TO INSPECTION AND TESTING AT THE SOURCE OF SUPPLY PRIOR TO DELIVERY TO THE PROJECT.

6. MATERIAL DELIVERY AND INSPECTION

- A. PLANT MATERIAL SHALL BE DELIVERED WITH LEGIBLE IDENTIFICATION LABELS, HANDLED AND STORED ADEQUATELY TO MAINTAIN A HEALTHY CONDITION, PROTECTING THEM FROM DRYING OUT, WINDBURN OR ANY OTHER INJURY.
- B. INSPECTION OF PLANT MATERIALS REQUIRED BY CITY / OWNER, COUNTY, STATE OR FEDERAL AUTHORITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WHEN REQUESTED, CONTRACTOR SHALL FURNISH COPIES OF SUCH PERMITS OR CERTIFICATES TO CITY / OWNER.

7. SOIL PREPARATION

- A. AREAS TO RECEIVE "SOIL PREPARATION" INCLUDE TURF, GROUND COVER FROM ROOTED CUTTINGS AND NON - SLOPE HYDROSEEDED AREAS.
- B. RESULTING SOIL SHALL BE CLEAN, IN A FRIABLE CONDITION AND SUITABLE FOR PLANTING.

8. WEED ABATEMENT OPERATIONS

- A. THE IRRIGATION SYSTEM AND FINISH GRADE SHALL BE COMPLETED PRIOR TO WEED ABATEMENT OPERATIONS.
- B. CONTRACTOR SHALL OPERATE THE IRRIGATION SYSTEM TO KEEP PLANTING AREAS UNIFORMLY MOIST FOR A PERIOD OF THREE (3) WEEKS (21 CONSECUTIVE CALENDAR DAYS). AT THE END OF THE THREE (3) WEEK WATERING PERIOD, CONTRACTOR SHALL HAND REMOVE ALL WEEDS.

9. BACKFILL

- A. BACKFILL SHALL BE AS SPECIFIED ; MACHINE - MIXED AND APPROVED BY THE OWNER PRIOR TO INCORPORATION IN PLANTING PITS.
- B. THE FOLLOWING AMENDMENTS OR APPROVED EQUAL, SHALL BE INCORPORATED:
- | | | |
|---|-------------------------------------|--------------------------------|
| 2 | PARTS BY VOLUME | ON - SITE SOIL |
| 1 | PARTS BY VOLUME | ORGANIC AMENDMENT COMPOST |
| 6 | LBS PER CY OF MIX | TRI - C 6 - 2 - 4 SOIL |
| | CONDITIONER / FERTILIZER OR TRI - C | IRON WITH MICROS (SON - STAIN) |
| 1 | LB PER CY OF MIX | IRON SULFATE |

10. INSTALLATION - SHRUBS, VINES, & TREES

- A. STAKE PLANT LOCATIONS AND SECURE APPROVAL FROM THE OWNER BEFORE EXCAVATING PITS. EXCAVATED PITS SHALL BE AS INDICATED IN THE DETAILS ON THE DRAWINGS.
- B. CONTAINERS SHALL BE OPENED AND REMOVED SUCH THAT THE ROOTBALL IS NOT INJURED. C. WATER ALL PLANTING AREAS THOROUGHLY AFTER INSTALLATION OF PLANT MATERIALS. ADDITIONAL BACKFILL SHALL BE ADDED TO FILL VOIDS CAUSED BY WATER SETTLEMENT. D. TREES SHALL BE STAKED AT TIME OF PLANTING AS INDICATED IN THE DETAILS ON THE DRAWINGS.

11. RECYCLED WOOD MULCH

- A. SPREAD MULCH PLACED IN AREAS OUTSIDE OF PLANT BASINS TO A UNIFORM THICKNESS AS SHOWN ON THE DRAWINGS.
- B. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3" OF MULCH AT ALL TIMES OVER SURFACE OF ALL NON-TURF PLANTING AREAS. KEEP MULCH 6" AWAY FROM TREE-TRUNKS AND AWAY FROM SHRUB STEMS. MULCH SHALL BE APPLIED SO THAT IT IS BELOW GRADE (CURB, EDGING, ETC.) BY HALF AN INCH. SOME ADDITIONAL GRADING PREPARATION AND GRADING OF AREAS ADJACENT TO SIDEWALKS OR EDGING, ETC. MAY BE REQUIRED TO KEEP THE FINISH GRADE OF THE MULCH AT AN APPROPRIATE LEVEL. MULCH MATERIALS SHALL BE RECOLOGY GROVER ENVIRONMENTAL PRODUCTS DECORATIVE MULCH LOCALLY SOURCED RECYCLED CHIPPED OR SHREDDED GREEN WASTE, WOOD CHIPS FROM PRUNING OPERATIONS, OR CHIPPED LANDSCAPE PRUNINGS. AT A MINIMUM REPLENISH MULCH ONCE PER YEAR IN NOVEMBER.
- C. DECORATIVE MULCH MANUFACTURED BY RECOLOGY GROVER ORNAMENTAL PRODUCTS OR EQUIVALENT RECYCLED WOOD CHIP MULCH. RECYCLED WOOD CHIP SHALL BE MADE FROM KILN DRIED LUMBER AND BE ORGANIC NON-TOXIC DYE COLOR ENHANCED WITH MINERAL PIGMENTS THAT HAVE DEMONSTRATED A COLOR LONGEVITY OF +1 YEAR. COLOR SHALL BE DARK BROWN. ALL PRODUCTS MUST PASS A TWO INCH SCREEN. RECOLOGY GROVER ENVIRONMENTAL PRODUCTS DECORATIVE MULCH MADE FROM RECYCLED WOOD AND ARBOR PRODUCTS.

MULCH SITE: MODESTO, CA 95358 DECORATIVE MULCH MADE FROM RECYCLED WOOD & ARBOR PRODUCTS PHONE: (800) 208-2370

12. INSTALLATION - SOD

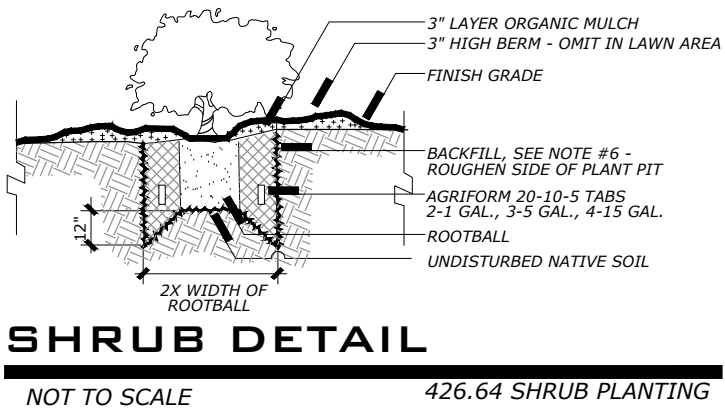
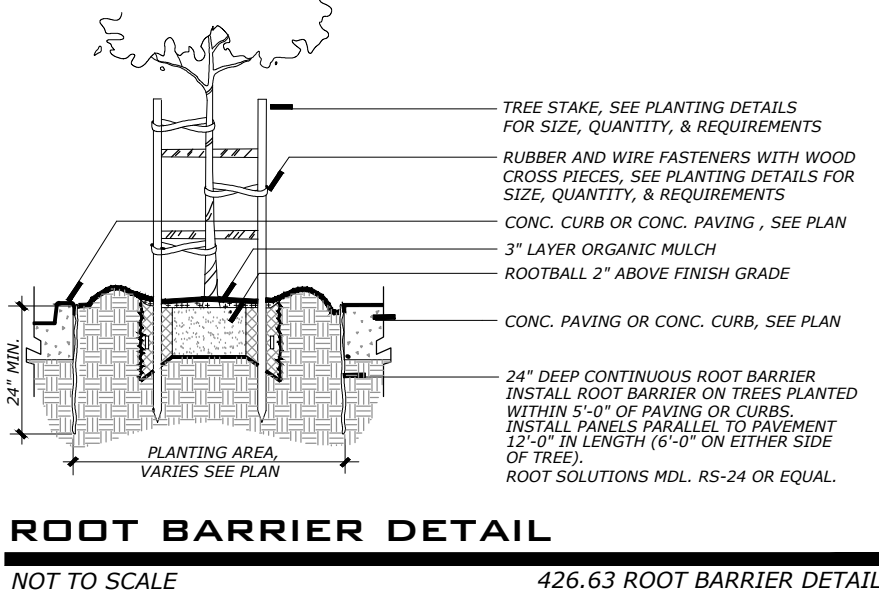
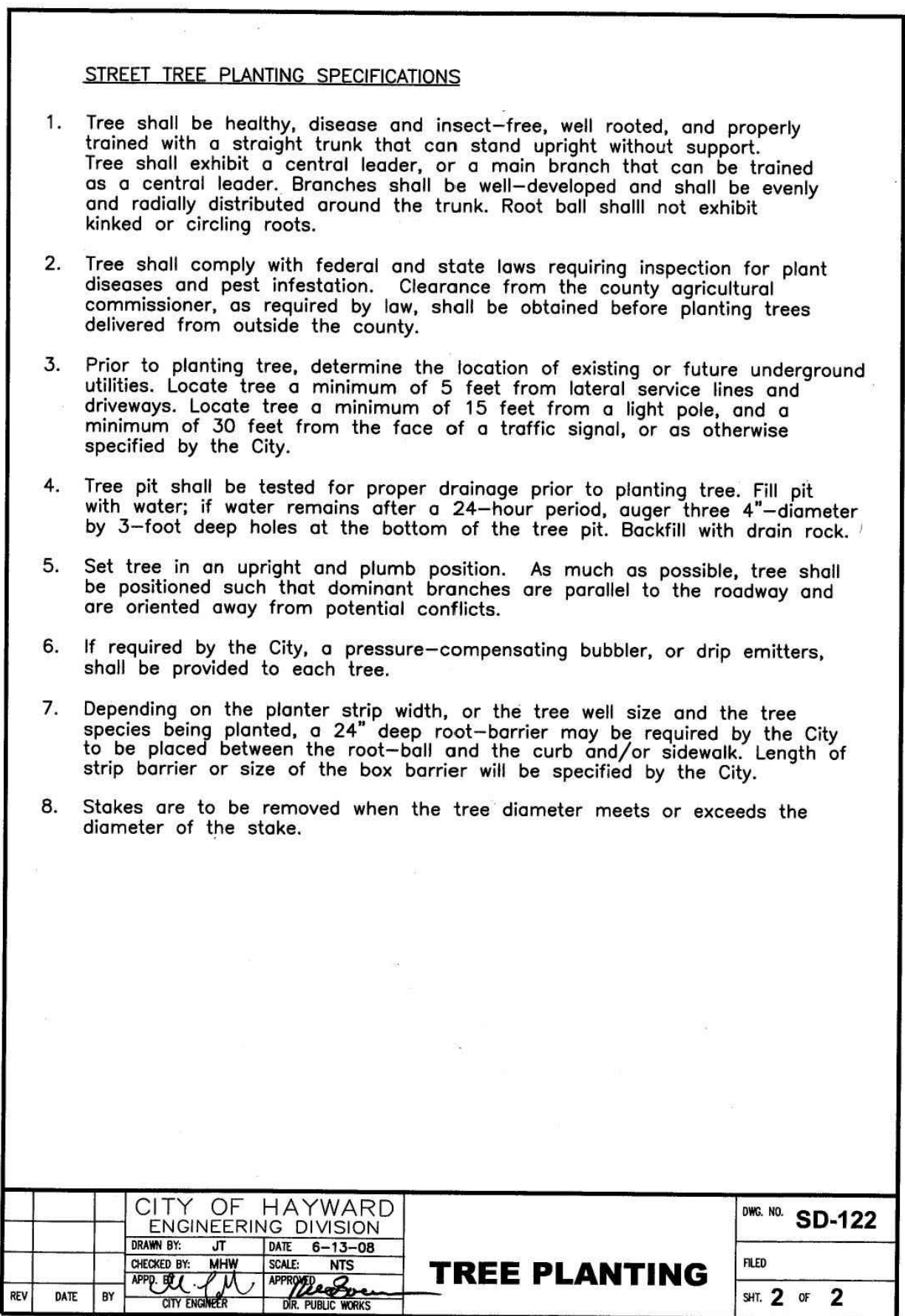
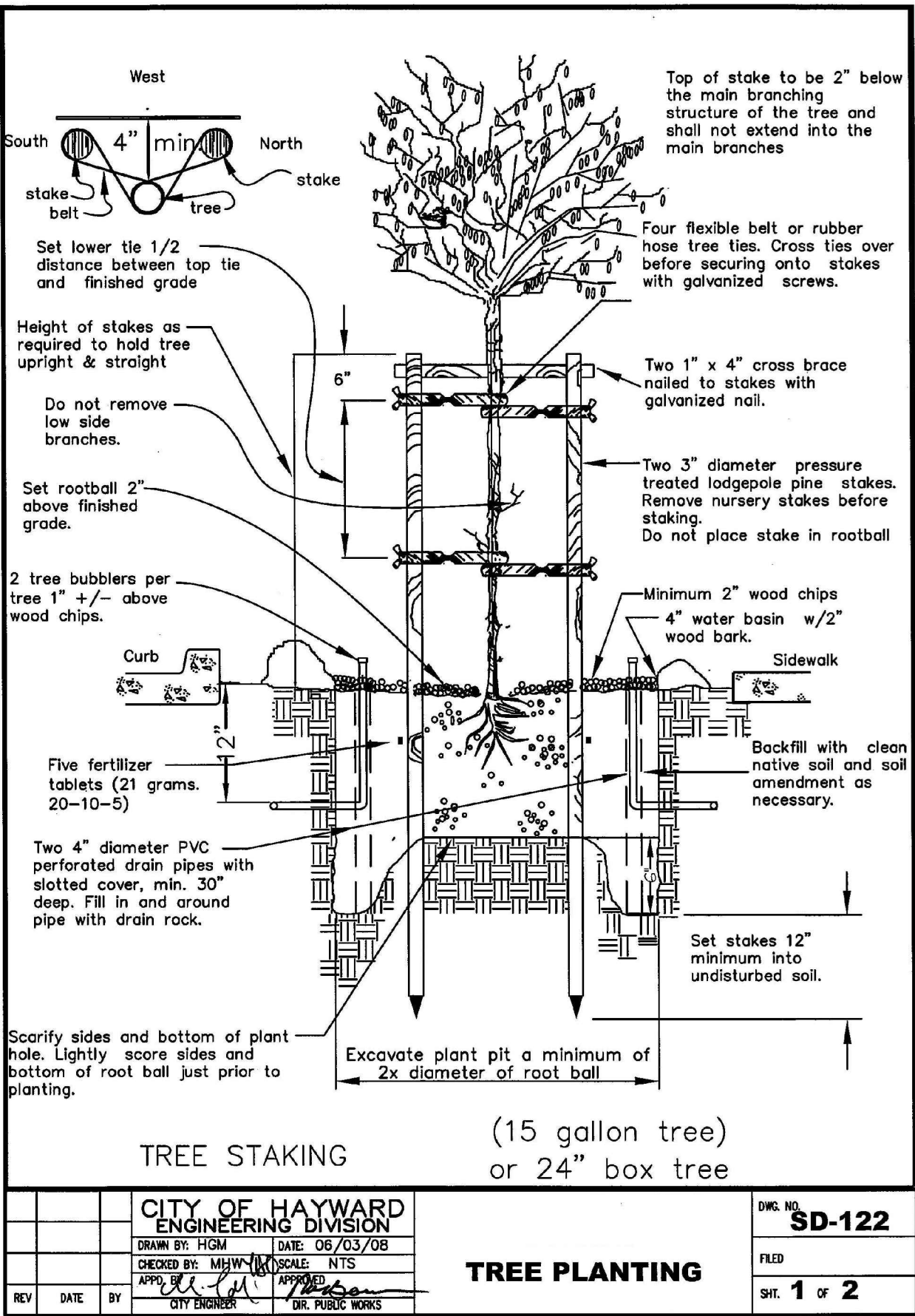
- A. PREPARE SOIL AND PROVIDE WEED ABATEMENT OPERATIONS IN ACCORDANCE WITH THE GENERAL PLANTING SECTION, RAKE, CULTIVATE, FLOAT AND ROLL UNTIL AREAS TO RECEIVE TURF AREA IN A SMOOTH AND UNIFORM CONDITION.
- B. FINISH GRADE FOR TURF AREAS SHALL BE ONE INCH (1") BELOW THE FINISH SURFACE OF WALKS, CURBS, OR RELATED HARDSCAPE.
- C. PRIOR TO SODDING, SOIL SHALL BE MOIST TO MINIMUM DEPTH OF ONE INCH (1").
- D. PRIOR TO INSTALLATION, AREA TO BE SODDED SHALL RECEIVE SULPHATE OF AMMONIA AT THE RATE OF ONE (1) POUND PER 200 SQUARE FEET.
- E. SOD SHALL BE LAID AND TAMPED WITH BUTT JOINT IN A STAGGERED "RUNNING BOND" PATTERN.
- F. AFTER INSTALLATION, SOD SHALL BE ROLLED WITH A 200 - POUND WATER - FILLED LAWN ROLLER.
- G. SOD SHALL BE AS INDICATED ON THE DRAWINGS.

13. GUARANTEE

- A. CONTRACTOR SHALL GUARANTEE PLANT MATERIAL THROUGH ONE (1) FULL YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK.
- B. REPLACEMENT PLANT MATERIAL SHALL BE OF THE SAME SPECIES, VARIETY, & SIZE AS ORIGINALLY PLANTED AND SHALL BE GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF RE-PLANTING.
- C. COST INCURRED DUE TO REPLACEMENT OF DEAD OR DYING PLANT MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PLANTING NOTES

1. ALL WORK SHALL BE PERFORMED BY A LICENSED LANDSCAPE CONTRACTOR OR BY OWNER AND PERSONNEL FAMILIAR WITH THE WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
2. PLANT MATERIAL LOCATIONS ARE DIAGRAMMATIC AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE ARCHITECT AND CITY SUPERVISOR. LOCATE PLANT MATERIALS TO SCREEN UTILITIES, IRRIGATION DEVICES, ETC. AS MUCH AS POSSIBLE YET ALLOW ACCESS TO THEM.
3. ALL TREES SHALL BE STAKED AS SHOWN IN THE DETAILS.
4. THE OWNER RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS AND DELETIONS IN THE PLANTING SCHEME AS NECESSARY WHILE WORK IS IN PROGRESS. SUCH CASES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF/WHEN NECESSARY.
5. THE PLANT COUNT IS FOR THE CONTRACTOR'S CONVENIENCE. IN CASE OF A DISCREPANCY, THE PLAN SHALL GOVERN.
6. AMEND THE TOPSOIL AS PER THE RECOMMENDATIONS OF THE PLANS.
7. ANY REQUIREMENTS IN THE PLANS SHALL BE CONSIDERED BINDING. IN CASE OF DISCREPANCIES THE OWNER AND LAND. ARCH. SHALL BE IMMEDIATELY NOTIFIED FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
8. THERE SHALL BE REGULAR SITE VISITS BY THE LANDSCAPE ARCHITECT AND THE OWNER THROUGHOUT CONSTRUCTION AND A FINAL SITE REVIEW.
 1. TO INSPECT PLANTS ON ARRIVAL FROM NURSERY
 2. AT TIME OF PLANTING
 3. A FINAL SITE REVIEW
9. ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS.
10. LOCATE ALL UTILITIES BEFORE PROCEEDING WITH THE WORK. COORDINATE ALL DIGGING AND TRENCHING PRIOR TO BEGINNING WORK WITH THE PROJECT SUPERVISOR FIRST.
11. ALL PLANT PITS SHALL BE FREE FROM ROCKS AND DEBRIS GREATER THAN 2" IN DIAMETER.
12. CONTRACTOR TO PROVIDE MAINTENANCE DURING CONSTRUCTION AND FOR A PERIOD OF 3 MONTHS FOLLOWING THE OWNER'S ACCEPTANCE OF THE COMPLETION OF THE FINAL PUNCH LIST AS PART OF THEIR BID. ALL FERTILIZING, MOWING, CLEAN-UP AND ASSOCITED LANDSCAPE PRACTICES SHALL BE INCLUDED. THE 60 DAY MAINTENANCE PERIOD DOES NOT END UNTIL FINAL ACCEPTANCE BY THE OWNER.
13. CONTRACTOR TO SUBMIT UNIT PRICES FOR THE POSSIBLE ADDITION OF PLANTS TO THE PROJECT, UNLESS INSTALLED BY OWNER. SUBMIT UNIT PRICES FOR 24" BOX TREE, 15 GALLON TREES, 5 GALLON SHRUBS, 1 GALLON SHRUBS, LAWN AND GROUND COVER AT SQ. FT. PRICES.
14. ALL USED TREE BOXES SHALL BE DELIVERED TO A LOCAL GREEN WASTE RECYCLING TO BE "CHIPPED" INTO GREEN WASTE. ALL PLASTIC CANS TO BE RETURNED TO THE NURSERY.
15. INSTALL ORGANIC COMPOST PER THE PLAN RECOMMENDATIONS.
16. APPLY 3" OF ORGANIC COMPOST MULCH FOR A TOTAL OF A MINIMUM OF 3" OF MULCH FOR ALL PLANTING AREAS ON TOP OF CARDBOARD TO CONCEAL DRIP LINES. DO NOT BURY ROOT CROWNS OF PLANTS. FINAL MULCH GRADE SHALL BE INSTALLED 1" BELOW ANY PAVED SURFACE OR CURB.
17. VERIFY THE LOCATION OF ALL UTILITIES AND PROTECT AT ALL TIMES. CONTRACTOR TO PAY FOR ANY DAMAGE TO UTILITIES. TELEPHONE U.S. ALERT TO LOCATE ANY UTILITY LOCATION IN DOUBT. ALLOW TWO DAYS LEAD TIME. (800) 227-2600.



SIGNATURE BLOCK

	DATE: _____
	MS. MICHELLE KOO LANDSCAPE ARCHITECT EXP. XX-XXXX CITY OF HAYWARD
SIGNATURE _____	
DATE: _____	
MR. SAEED SAEBI CITY ENGINEER EXP. XX-XXXX CITY OF HAYWARD	

ROBERT MOWAT ASSOCIATES
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1501 N. Broadway Suite 400 Walnut Creek, CA 94596
Phone: 925.705.7424 Fax: 925.954.1390
www.rmlandscape.com

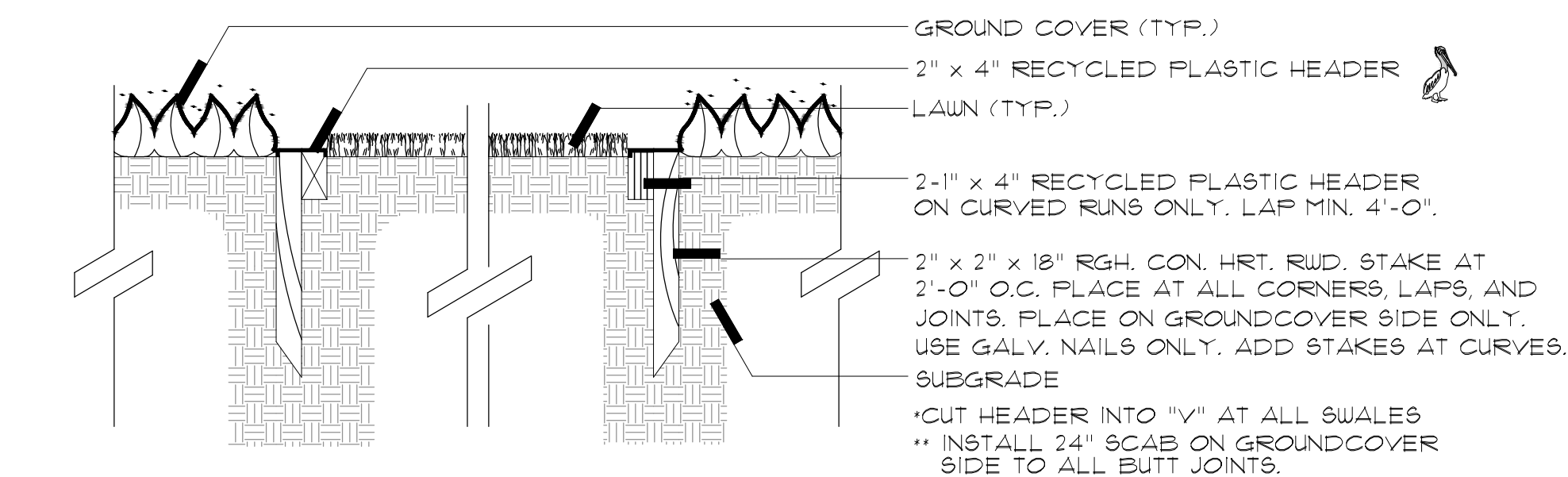


Sequoia Grove
Hayward, CA

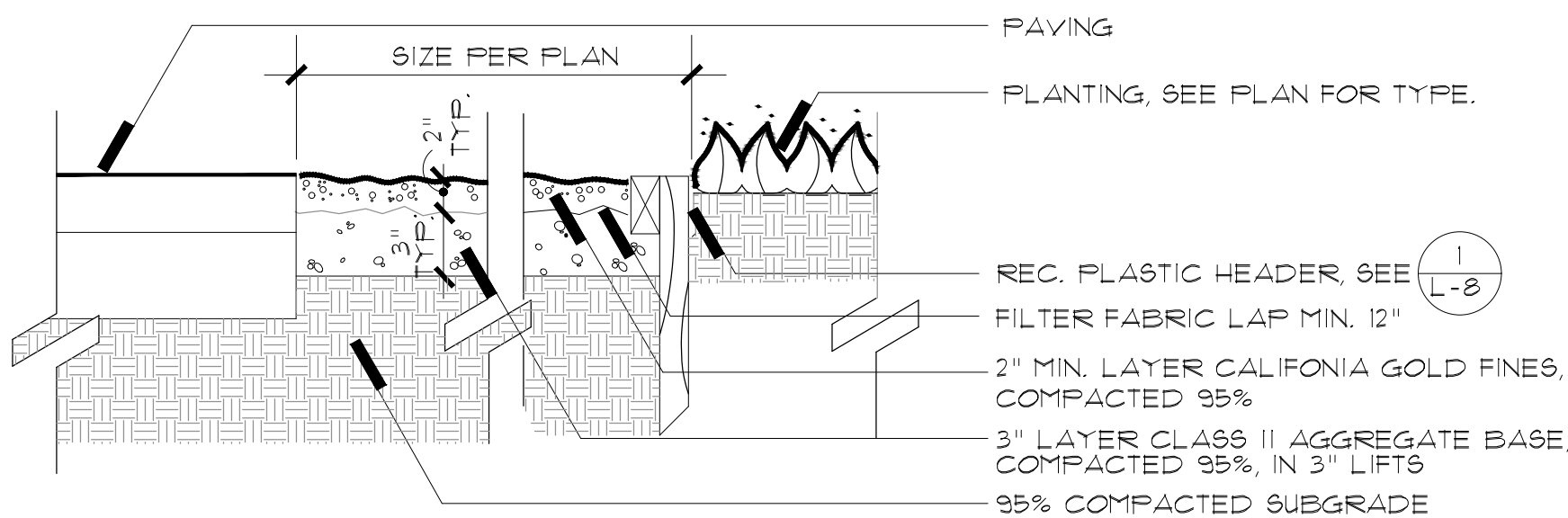
PLANTING
NOTES &
DETAILS

DATE
10-26-15
REVISIONS
A BASIN REV. 08-20-18
A CITY COMMENTS 08-26-19
#3

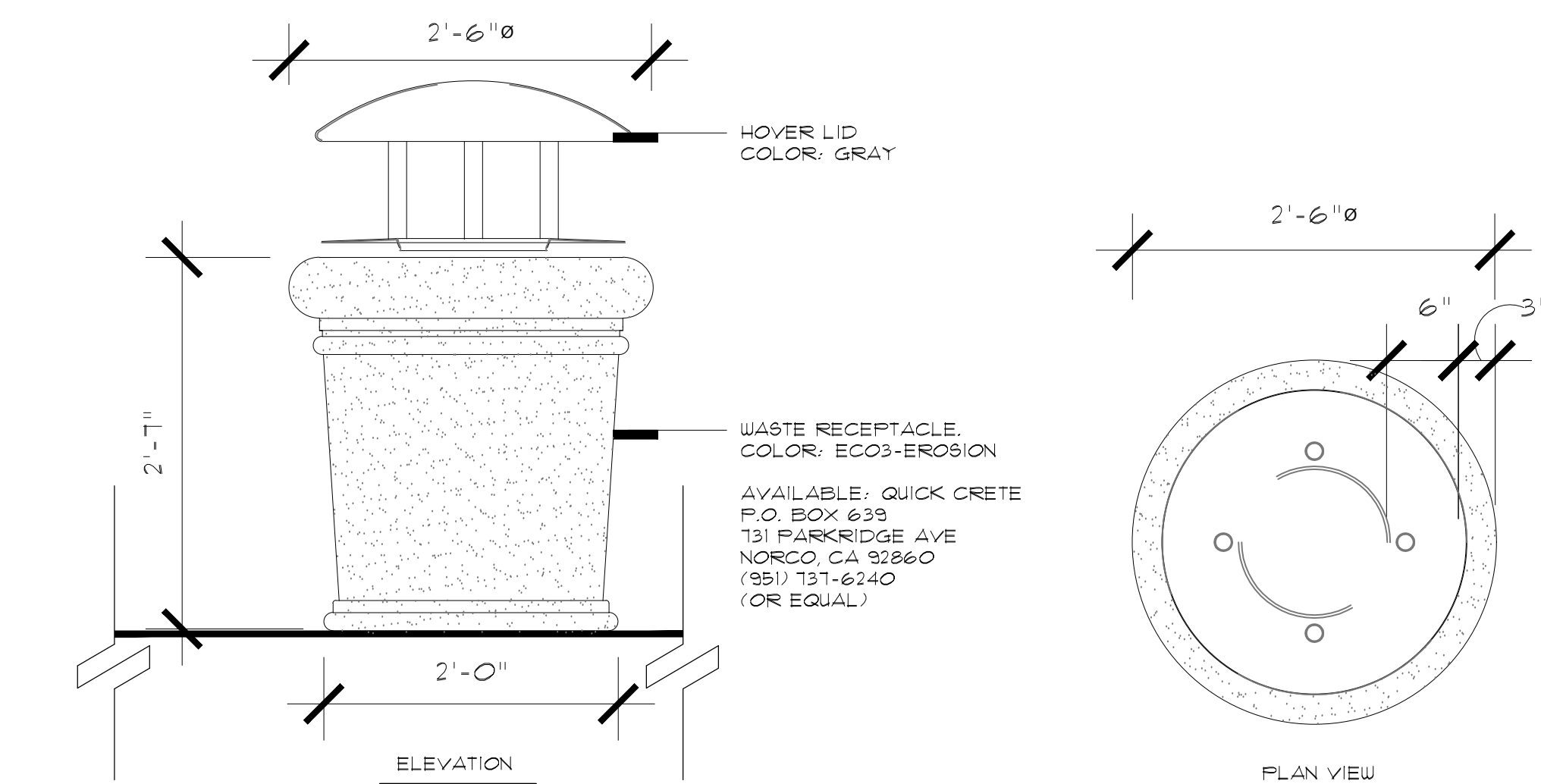
SHEET
L-8
OF 9



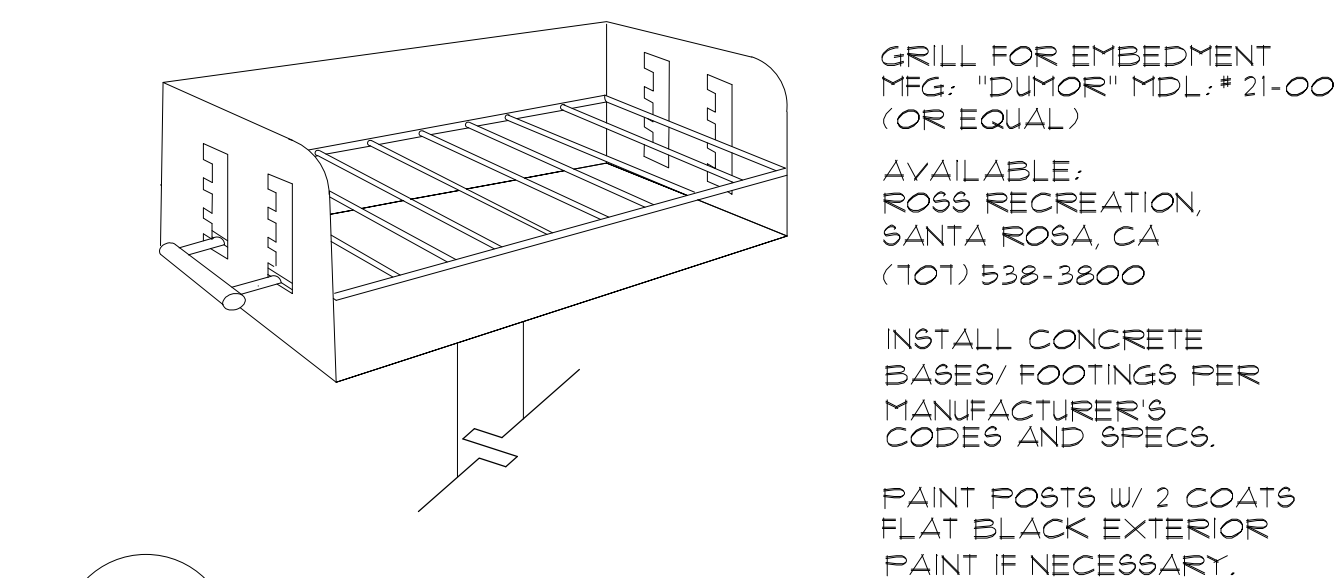
1 RECYCLED PLASTIC HEADER
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280.81 PLASTIC HEADER



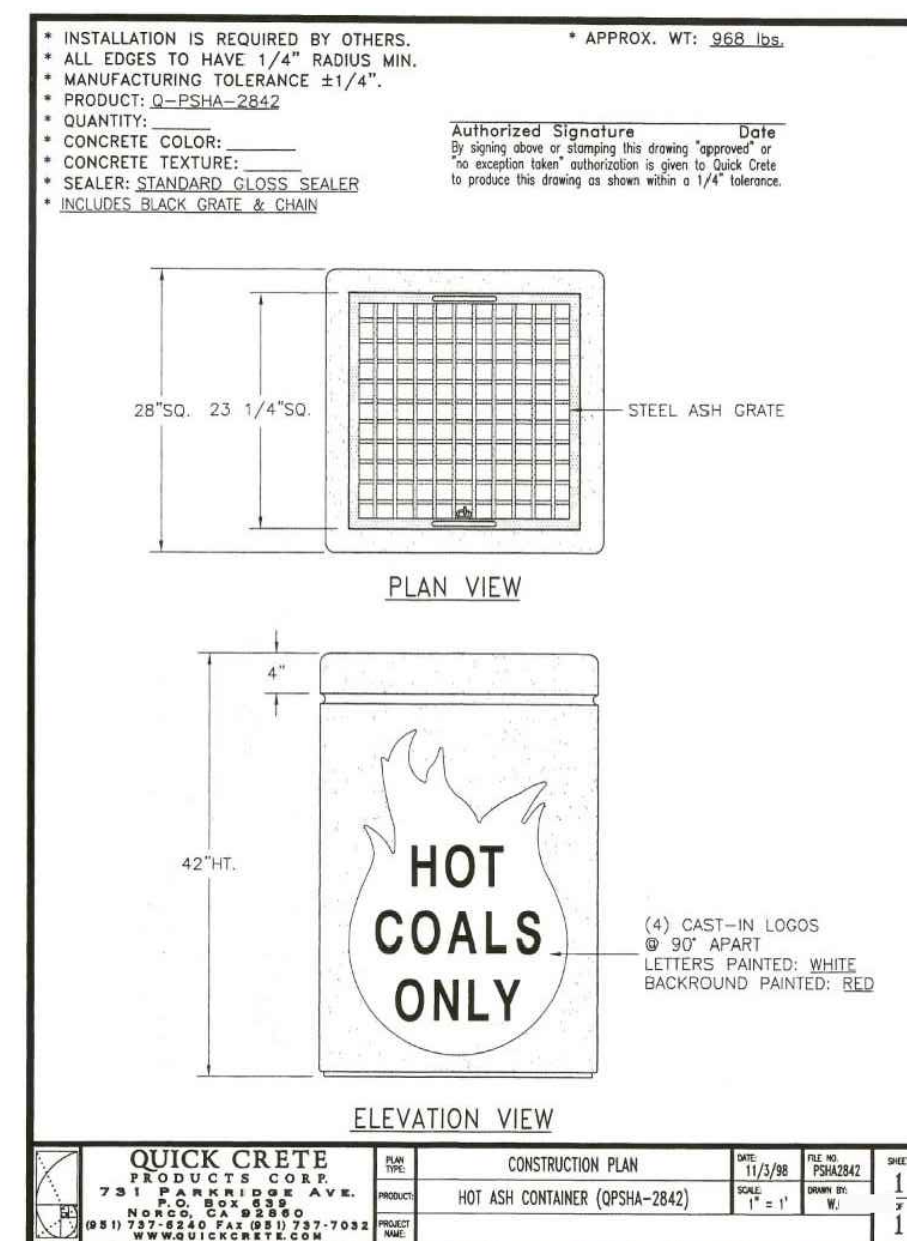
2 DECOMPOSED GRANITE PAVING
SCALE: 1" = 1' - 0"
411.68 DECOMPOSED GRANITE PAVING



3 TRASH CONTAINER
SCALE: 1" = 1' - 0"
570.15 TRASH CONTAINER



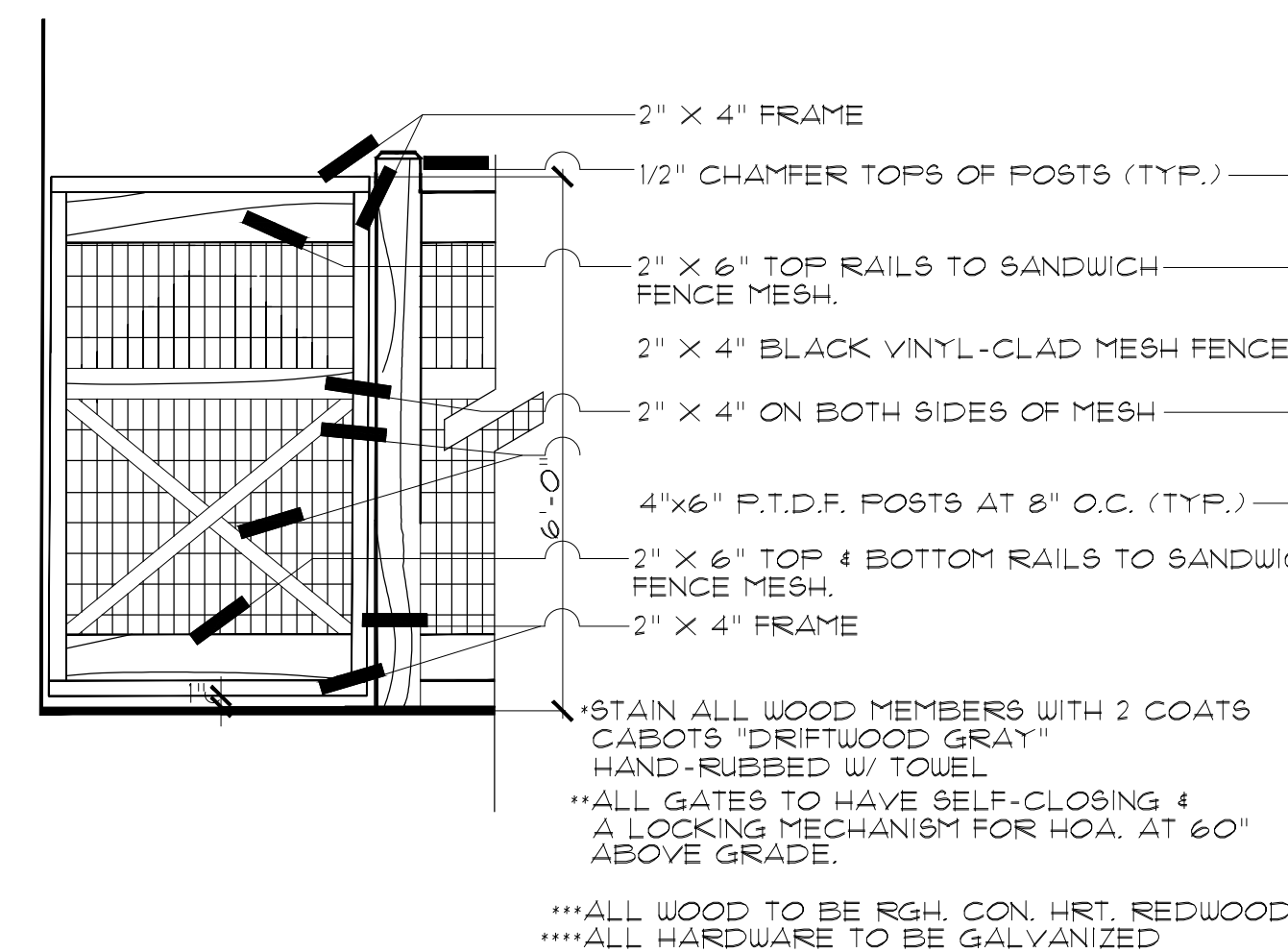
4 BBQ UNITS
NOT TO SCALE
040.63 BBQ UNIT



5 HOT ASH RECEPTACLE (OR EQUAL)
NOT TO SCALE

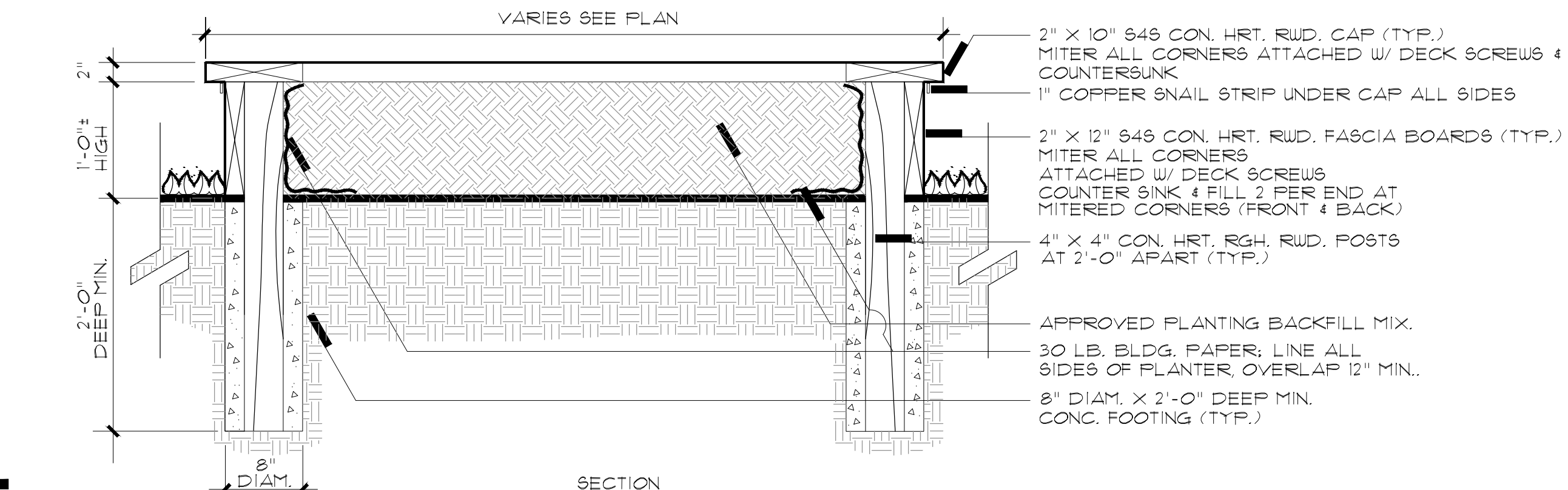


6 BIKE RACK
NOT TO SCALE

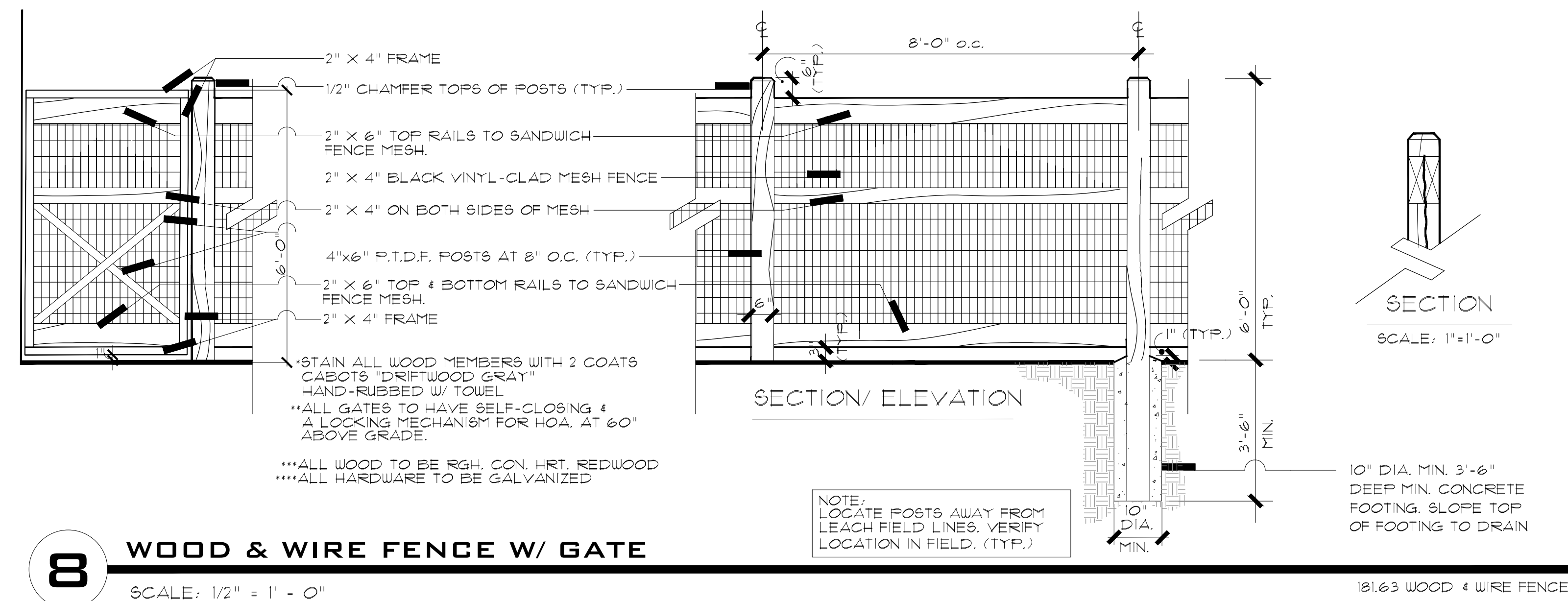


7 WOOD FENCE
SCALE: 1/2" = 1' - 0"
181.64 WOOD FENCE

8 WOOD & WIRE FENCE W/ GATE
SCALE: 1/2" = 1' - 0"



9 RAISED VEGETABLE PLANTER BOX
SCALE: 1" = 1' - 0"
431.09 RAISED PLANTER



10 WOOD & WIRE FENCE W/ GATE
SCALE: 1/2" = 1' - 0"
181.63 WOOD & WIRE FENCE

SIGNATURE BLOCK

	DATE: _____ MS. MICHELLE KOO LANDSCAPE ARCHITECT EXP: XX-XXXX CITY OF HAYWARD
	DATE: _____ MR. SAEED SAEBI CITY ENGINEER EXP: XX-XXXX CITY OF HAYWARD

ROBERT MOWAT ASSOCIATES
LANDSCAPE ARCHITECTURE + LAND PLANNING
1501 N. Broadway Suite 400 Walnut Creek, CA 94596
Phone: 925.705.7424 Fax: 925.954.1390
www.rmlandscape.com



Sequoia Grove
Hayward, CA

CONSTRUCTION DETAILS

DATE: 10-26-15
REVISIONS:
BASIN REV. 08-20-18

SHEET
L-9
OF 9



Sequoia Grove

Affordable Housing Plan

Project information

Project Developer/Owner	Habitat for Humanity East Bay/Silicon Valley
Project Name	Sequoia Grove
Project Address	123 A Street, Hayward, California
Assessor's Parcel Number(s)	431-0016-088-03
Gross Project Site Area	0.73 Acre(s)
Maximum Density	12 units per acre
Project Residential Type	Single Family Home
Project Tenure Type	Ownership/For-sale
Target Population	Multifamily – Large households

Project Description

Habitat for Humanity EB/SV ("Habitat") proposes to develop ten (10) townhomes on a property located at 123 A Street in Hayward, CA and sell the homeownership units to first-time homeowner families with limited incomes. The project is a 100% affordable and targeting low income households at or below 80% Area Median Income (AMI). To comply with the City's housing requirements, the project will be deed-restricting a total of 10 units at the Low-Income income levels (adjusted per household size), and the terms of the City's housing ordinance are in perpetuity.

Affordable Housing Compliance Calculation - Ownership Project

Total # of units	10
Total ownership City-restricted units	10
No. of low-income units	10
Fractional Unit	Developer will round-up/provide additional City-Restricted unit (minimum requirement 6% -- .6 units rounded up to 1)

Unit Mix Summary Table

Unit Type (bedroom)	Size (sq ft)	Extremely Low Income Units		Very Low Income Units		Low Income Units		Moderate Income Units		Market Rate Units
		AHO	Density Bonus	AHO	Density Bonus	AHO	Density Bonus	AHO	Density Bonus	
3-bdrm	1341					8				
4-bdrm	1553					2				

Phasing

The development will be in built in one phase of ten (10) homes.

Site Plan

Attachment A shows the location of all 10 units for the development (#1-10).

Marketing Plan

A preliminary Marketing Plan have been submitted to the Housing Division for review.

The Developer will submit final Marketing Plan the earlier of (a) 120 days prior to completion of construction or (b) 60 days prior to marketing the units in the development.

SHEET INDEX

ARCHITECTURAL:	
A 0.0	GENERAL NOTES, MAPS
A 0.2	WALL ASSEMBLIES
A 0.4	GRAPHIC CODE ANALYSIS & FENCING PLAN
A 1.0A	SITE PLAN
A 1.0B	SITE PLAN
A 1.1	RECYCLE & WASTE PLAN, CONSTRUCTION STAGING & PARKING PLAN
A 2.1	DUPLEX BUILDING PLANS - BUILDINGS 1/2 & 8/7
A 2.2	TRIPLEX BUILDING PLANS - BUILDINGS 3/4/5 & 8/9/10
A 2.6A	3-BEDROOM OUTER UNIT PLANS
A 2.6B	3-BEDROOM CENTER UNIT PLANS
A 2.7	4-BEDROOM UNIT PLANS
A 3.1	TRIPLEX BUILDING ELEVATIONS - BUILDINGS 3/4/5 & 8/9/10
A 3.2	DUPLEX BUILDING ELEVATIONS - BUILDINGS 1/2 & 8/7
A 3.3	STREET ELEVATIONS
CIVIL:	
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C-2.0	LOT LAYOUT PLAN
C-3.0	GRADING PLAN
C-3.1	GRADING PLAN
C-3.2	GRADING PLAN
C-4.0	UTILITY PLAN
C-4.1	UTILITY PLAN
C-4.2	UTILITY PLAN
C-5.0	SITE SECTIONS
C-5.1	PROFILES
C-5.2	PROFILES
C-6.1	DETAILS
C-6.2	DETAILS
C-6.3	DETAILS
C-6.4	DETAILS
C-7.1	GRADING SPECIFICATIONS
C-7.2	GRADING SPECIFICATIONS
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SS-2	OFF-SITE SIGNAGE & STRIPING PLAN
ER-1	EROSION CONTROL PLAN
ER-2	EROSION CONTROL DETAILS
SCP-1	STORM WATER CONTROL PLAN
SCP-2	STORM WATER TREATMENT EXHIBIT
SCP-3	STORMWATER
SC-310	STORMWATER RETENTION CHAMBER DETAILS
SW-1	STORM WATER POLLUTION PREVENTION PLAN
TA-1	TURNING ANALYSIS
LANDSCAPE:	
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L-2	LAYOUT PLAN
L-3	IRRIGATION PLAN
L-4	IRRIGATION NOTES & DETAILS
L-5	WELO CALCULATIONS & IRRIGATION SCHEDULE
L-6	PLANTING PLAN
L-7	ENLARGED PLANTING PLAN AT RET. BASIN
L-8	PLANTING NOTES & DETAILS
L-9	CONSTRUCTION DETAILS
JOINT TRENCH:	
JT1	JT CONCEPTUAL COMPOSITE
EV1	EV PLAN
SL1	STREET LIGHTING PLANS
SL2	STREET LIGHTING PLANS
	PHOTOMETRIC ANALYSIS

GENERAL NOTES

1. All work shall comply with all applicable codes, amendments, and ordinances as adopted by the City of Hayward, including but not limited to the following:

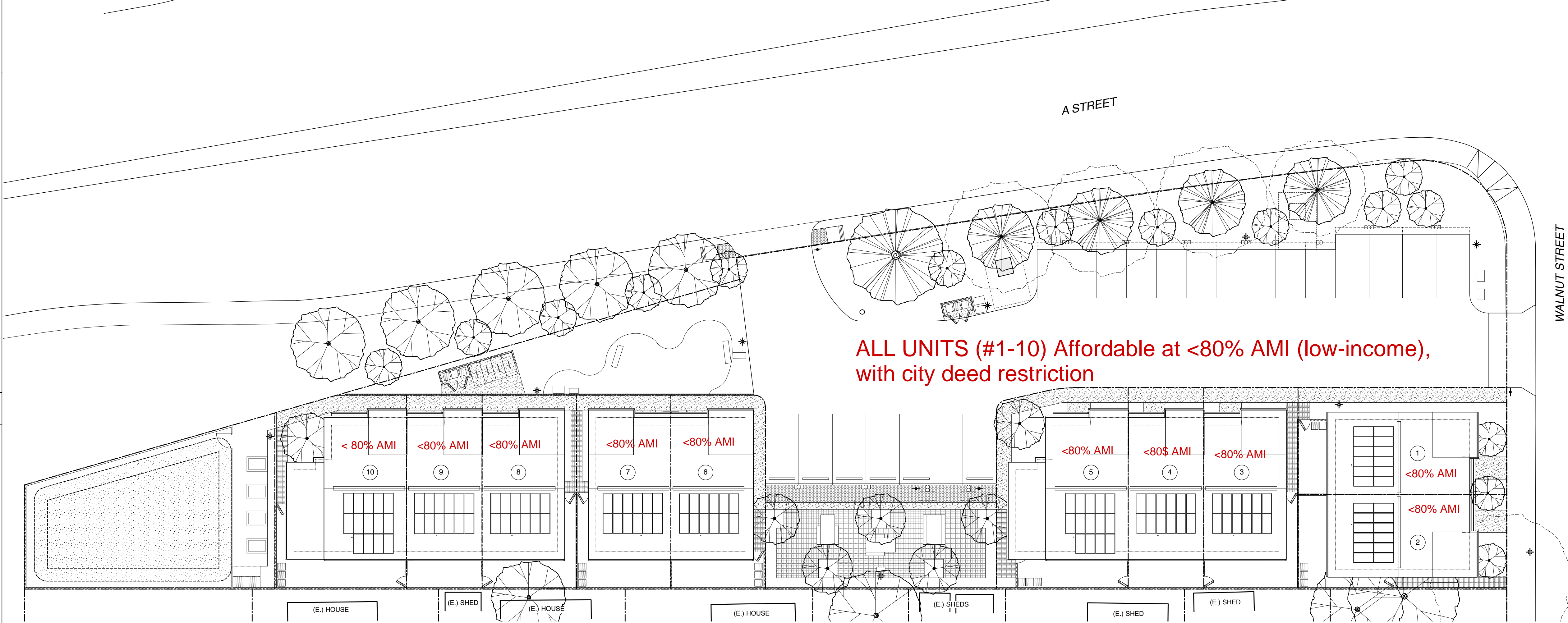
2022 California Building Code
2022 California Plumbing Code
2022 California Electrical Code
2022 California Mechanical Code
2022 California Energy Code
2022 California Green Building Standards Code
2022 California Fire Code
2022 California Residential Code
Hayward Planning Code
2. Builder should verify all dimensions and conditions at the job site before starting work and notify architect of any discrepancies or errors. Commencement of work by any trade shall constitute agreement that conditions are acceptable for such work.
3. All subcontractors are to compare architectural drawings with the structural drawings as well as any supplemental drawings prior to commencing work. Notify architect & owner of any discrepancies and obtain adequate information prior to commencing work.
4. DO NOT SCALE DRAWINGS. Follow figure dimensions in preference to scaled measurements; details to general drawings. If figures or information are insufficient, inaccurate or inconsistent, notify the architect and obtain adequate information before proceeding with the work.
5. All dimensions to face of stud, as indicated on drawings, u.o.n.
6. Any work interfacing with City property or City services shall be performed per City standards.
7. No work defective in construction or quality or deficient in any requirements of drawings and specifications will be acceptable, despite owner's or architect's failure to discover such defects or deficiencies during construction. Defective work shall be replaced by work conforming with intent of contract. No payment whether partial or final shall be construed as an acceptance of defective work or improper materials.
8. Builder & all subcontractors must comply with CALGreen Mandatory Measures on sheet A0.7.

ABBREVIATIONS AND SYMBOLS

①	Unit Number	Int.	Interior
CL	Centerline	Max.	Maximum
--SS--	Sanitary or Storm Sewer	Min.	Minimum
--SD--	Storm Drain	(N)	New
A.B.	Anchor Bolt	No.	Number
ABV.	Above	NR	Not rated
AESS	"Architecturally Exposed Structural Steel" per AISC req.	O.C.	On center
A.S.F.	Above Sub Floor	OPP.	Opposite
A.F.C.I.	Arc Fault Circuit Interrupter	O.S.B.	Oriented Strand Board
A.F.F.	Above Finish Floor	Perf.	Perforated
A.P.	Assessor's Parcel	PLYWD.	Plywood
Alum'n	Aluminum	P.S.D.	Per Structural Drawings
B.N.	Boundary Nailing	Ptd.	Painted
Bldg.	Building	PTDF	Pressure Treated Douglas Fir
Bot.	Bottom	Reinf.	Reinforced
K.O.	Clean-out	Req'd	Required
Comp.	Composition	R.O.	Rough Opening
Conc.	Concrete	RWD	Redwood
Cont.	Continuous	R.W.L.	Rain water leader
(E)	Existing	S.A.S.M	Self-Adhered Sheet Membrane
EQ.	Equal	SIM.	Similar
Fndn.	Foundation	Spec.	Specifications
F.O.	Face of	T.O.	Top of
G.F.C.I.	Ground Fault Circuit Interrupter	Typ.	Typical
G.S.M.	Galvanized Sheet Metal	U.O.N.	Unless otherwise noted
Galv.	Galvanized	V.I.F.	Verify in field
H.B.	Hose Bib	W/	With
Horiz.	Horizontal	W.H.	Water Heater
		W.S.	Wood Screw

SYMBOLS

Elevation With Respect to Bench Mark- section no. sheet no. detail no. sheet no. Wall Type Interior Elevations elev. no. sheet no. Window ID - refer to Window Schedule Door ID - refer to Door Schedule Elevation T.O. XX Utility Rough-In G,H,C



HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - SEQUOIA GROVE - SITE PLAN
123 A STREET, APN 431-0016-088-03

HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.
SEQUOIA GROVE
123 A STREET,
HAYWARD, CA 94541

CIVIL ENGINEER: Lea & Braze Engineering Inc. 2495 Industrial Parkway West Hayward CA 94545 (510) 887-4086	LANDSCAPE ARCHITECT: Robert Mowat Associates 1501 North Broadway Suite 400 Walnut Creek, CA 94596 (925) 705-7424	STRUCTURAL ENGINEER: St. Onge & Associates 1934 Park Blvd., Suite A Oakland, CA 94608 (510) 444-1450	MEP ENGINEER: Harris & Sloan 2295 Gateway Oaks Drive Sacramento, CA 95833 (916) 921-2800	TITLE/24 ENERGY ANALYST: Redwood Energy 1687 O Street Arcata CA 95521 (707) 234-7573	SOLAR DESIGN/BUILD: Grid Alternatives Bay Area 1171 Ocean Ave. Suite 200 Oakland CA 94608 (510) 646-8594
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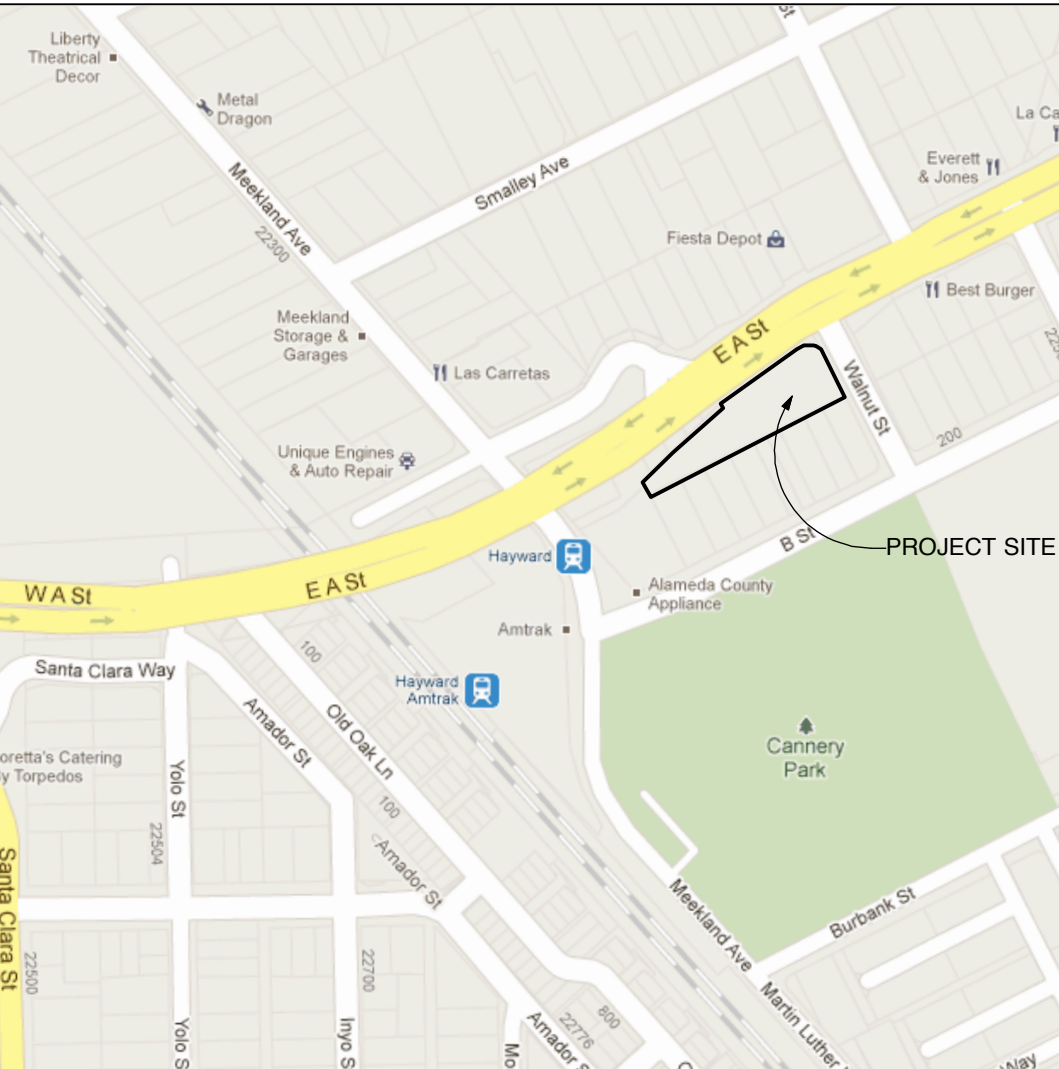
PROJECT SUMMARY

ADDRESS:	123 A Street, Hayward, CA 94541
A.P.N.#:	431-0016-088-03
ZONING:	RMSD4, Medium Density Residential
OCCUPANCY GROUP:	R-3, Re-zoned to Planned Unit Development (PUD)
OWNER:	City of Hayward
APPLICANT:	Habitat for Humanity East Bay/Silicon Valley, Inc.
PROPOSED:	(10) Single family residences on individual lots separated by (2) 1-hour party walls, one on each side of property line. Wood frame, 2-story, type V-B construction 100 sf/unit required
MIN. PRIVATE OPEN SPACE:	190 sf min. per 3-bedroom unit provided by rear yard 320 sf min. per 4-bed room unit provided by rear yard 100 sf/unit required (1000 sf, 20'-0" min. dimension)
MIN. PUBLIC OPEN SPACE:	2730 sf total provided by (3) common areas
HEIGHT:	40'-0" MAXIMUM, pitched roof; 26'-4" proposed height to peak
CURRENT ZONING SETBACKS:	Front - 20'-0" MINIMUM Back - 20'-0" MINIMUM Side - 5'-0" MINIMUM Front - 6'-0" MINIMUM Back - 10'-0" MINIMUM Side - 4'-2" MINIMUM
PROPOSED SETBACKS:	Required: 2.1 parking spaces per unit Provided: 2 spaces per unit, 20 spaces total.
PARKING:	Required: 2.1 parking spaces per unit Provided: 2 spaces per unit, 20 spaces total.
SPRINKLERS:	ALL UNITS ARE TO BE FULLY SPRINKLERED (per 2013 CBC) WITH AUDIBLE ALARM BELL INSTALLED ON THE FIRE SPRINKLER SYSTEM RISER.
ACCESSIBILITY:	Accessibility requirements from 2022 CBC Chapter 11A do not apply to individual single-family homes on separate sites, bounded by property lines. Per CBC 1102A.1 "Each building on a building site shall be considered separately when determining the requirements contained in this chapter..." Per 2022 CBC Chapter 2, Definition of Site "A parcel of land bounded by a property line or a designated portion of a public right-of-way."

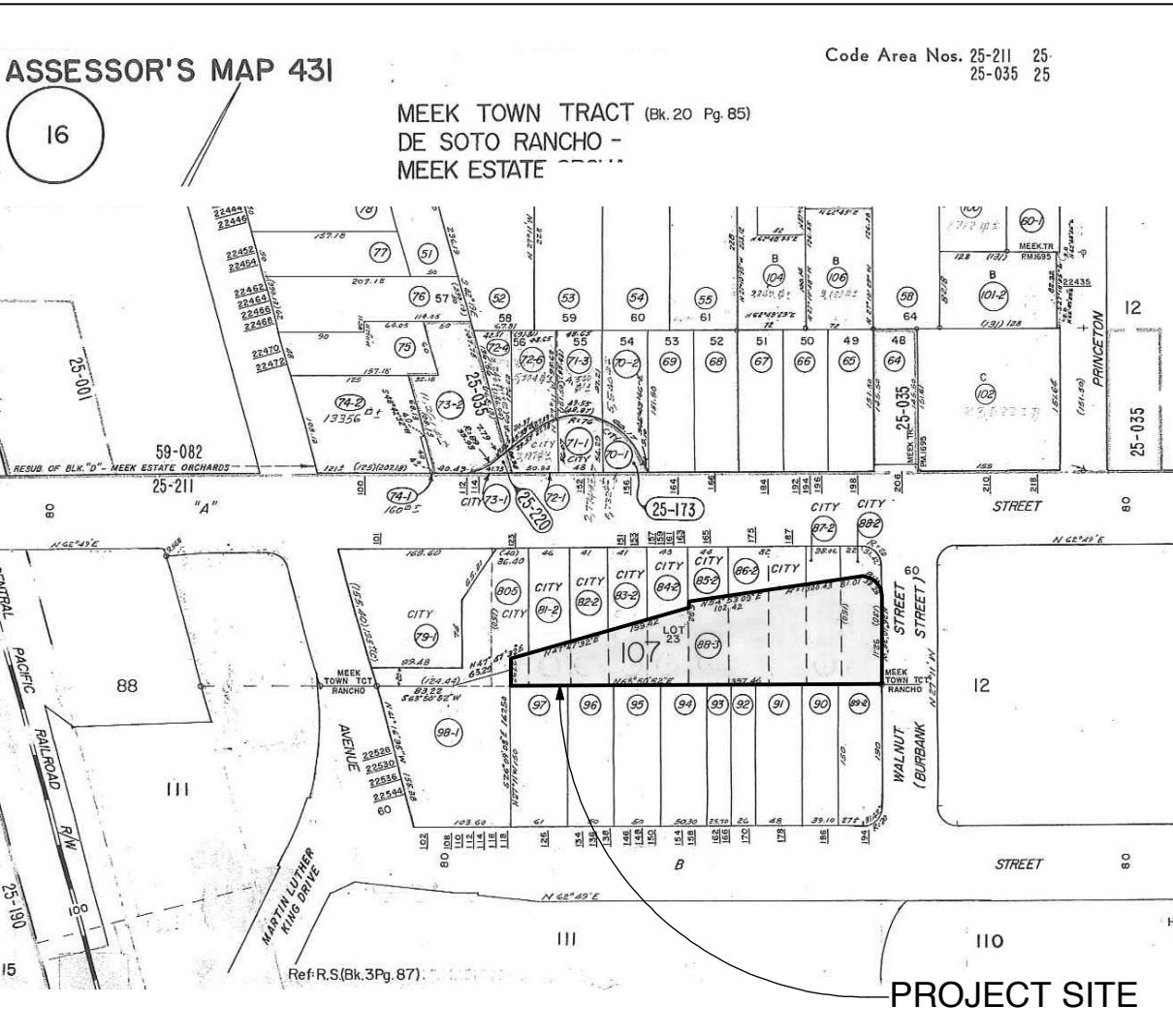
PROJECT DATA

UNIT TYPES		# OF HOMES	FOOTPRINT	GROSS FLOOR AREA / UNIT
3 BEDROOM		8	684 SF	1,341 SF
4 BEDROOM		2	905 SF	1,553 SF
TOTAL		10	7,282 SF	13,834 SF
BUILDING TYPES		QUANTITY		GROSS FLOOR AREA / BUILDING
A	TRIPLEX	(2) BUILDINGS WITH (1) 4-BEDR. AND (2) 3-BEDR. UNITS		4,235 SF
B	DUPLEX	(2) BUILDINGS WITH (2) 3-BEDR. UNITS EACH		2,682 SF
PARKING		QUANTITY		DIMENSION
STANDARD		10		9'-0" X 19'-0"
COMPACT		10		8'-0" X 15'-0"

REGIONAL MAP



ASSESSOR'S PARCEL MAP



HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.
123 A STREET, HAYWARD, CA 94541
SEQUOIA GROVE

GH
GEOFFREY HOLTON & ASSOCIATES
1743 Alcatraz Avenue
Berkeley, CA 94703
tel: 510.663.9797
fax: 510.663.1807
http://www.ghadesign.net



CURRENT ISSUE DATE
3.31.2023
INITIAL SUBMITTAL DATE
3.31.2023
REVISIONS

SITE PLAN
with
AFFORDABLE
UNITS



November 12, 2014

Alameda County Clerk
1106 Madison Street, 1st Floor
Oakland, CA 94607

Subject: **Notice of Intent to Adopt a Mitigated Negative Declaration for Zone Change Application No. PL-2013-0290 – from Medium Density Residential to Planned Development and Vesting Tentative Tract Map 8104 (Application No. PL-2013-0291) associated with the subdivision and construction of 10 townhomes and common areas on a 0.73-acre site located at 123-197 A Street. Natalie Monk, Habitat for Humanity East Bay/Silicon Valley (Applicant), City of Hayward (Owner)**

Dear Mr. O'Connell,

Please post this letter with the attached Mitigated Negative Declaration and Initial Study for a period of 20 days to conform to CEQA Guideline Section 15072. The specific posted comment period is from Thursday, November 13, 2014 to Wednesday, December 3, 2014.

The Planning Commission of the City of Hayward has scheduled a public hearing on Thursday, December 18, 2014, at 7:00 p.m., Council Chambers, 2nd Floor, City Hall, 777 B Street, Hayward, to obtain citizen input on the proposed project and the Mitigated Negative Declaration and Initial Study. A copy of the staff report can be viewed on the City's website at www.hayward-ca.gov after December 12, 2014.

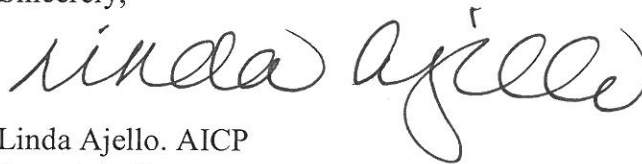
Following the Planning Commission public hearing this matter will then be heard by the City Council. Notice of the City Council hearing will be sent out at a later date. The Planning Commission can either recommend approval to the City Council or deny the application. If denied, the denial action is appealable. The appeal period is 10 days from the date of the decision. If recommended for approval or appealed, a public hearing will be scheduled before the City Council for final decision. Notice of the City Council hearing will be sent out at a later date.

Department of Development Services
Planning Division

777 B Street, Hayward, CA 94541-5007
Tel: 510/583-4200 Fax: 510/583-3649

If the Mitigated Negative Declaration is approved, a copy will be sent to the General Business Division of your office for recordation. If you have any questions, please contact me at (510) 583-4210 or e-mail me at linda.ajello@hayward-ca.gov.

Sincerely,

A handwritten signature in cursive script that reads "Linda Ajello". The signature is written in dark ink and is positioned to the right of the word "Sincerely,".

Linda Ajello. AICP
Associate Planner



State of California - Department of Fish and Wildlife
NO EFFECT DETERMINATION REQUEST
 DFW 866 (Rev 01/13)

Lead agencies or project applicants that anticipate their project having no effect on fish and wildlife may use this form to request a "No Effect" Determination (NED) from the California Department of Fish and Wildlife (Department). This form prompts submittal of required information specified in the California Code of Regulations (Title 14 Section 753.5(c)(1)(A)). The California Environmental Quality Act (CEQA) document that was prepared for the project or a link to the webpage where the CEQA document has been published must also be provided with the written request.

Requests should be submitted when the CEQA document is released for public review, or as early as possible in the public comment period. Requests should include sufficient documentation to support a no effect determination, and must be submitted to the appropriate [Regional Office](#). Requests for projects with multi-region or statewide impacts should be submitted to the [Habitat Conservation Planning Branch](#).

If insufficient documentation is submitted, or if the project will cause a physical disturbance to habitat regardless of the magnitude of effect or size of a project a NED will not be issued. Please refer to Title 14 California Code of Regulations 753.5(d) for determination criteria.

Date Submitted: November 10, 2014

Applicant Name: Natalie Monk/Habitat for Humanity of the East Bay/Silicon Valley		Phone Number: 510-803-3372
Address: 2619 Broadway		Fax Number: 510-251-6309
City: Oakland	State: CA	Zip: 94612
		Email: NMonk@habitatebsv.org
Contact Person: Linda Ajello		Phone Number: 510-583-4207
Address: 777 B Street		Fax Number: 510-583-3649
City: Hayward	State: CA	Zip: 94541
		Email: linda.ajello@hayward-ca.gov
CEQA Lead Agency: City of Hayward		
Project Name: Sequoia Grove		
SCH Number and/or Local Agency ID number: Zone Change Application No. PL-2013-0290 and Vesting Tentative Map Application No. PL-2013-0291		CEQA Document Type: Mitigated Negative Declaration
Project Location: (Include street address, city, county, lat/long, township/range/section, or other description that clearly indicates the location of the project site. Submit an aerial photograph and/or topographic map showing the project location if otherwise not included with the CEQA document) 123-197 A Street, Hayward, CA 94541 Alameda County		
Use "Comment" section on next page if more room is needed.		
Brief Project Description: (Include details on the type of project; e.g. new construction [with square footage], demolition of existing buildings, adaptive reuse of existing buildings, zoning amendments, general plan amendments, conditional use for sale of alcoholic beverages, etc.) Zone change application to change the zoning from Medium Density Residential (RM) to Planned Development (PD) and Vesting Tentative Tract Map to subdivide the property to construct 10 residential townhomes and common areas on a .73 acre in-fill site that was previously developed with single-family homes.		
Use "Comment" section on next page if more room is needed.		
Justification of No Effect Determination [Explain how the proposed project has no effect on fish and wildlife consistent with 14 CCR § 753.5(d)]: 1. The Project would not result in or have the potential to result in hard, harassment, or take any fish and/or wildlife species because the project consists of an in-fill site that was previously developed with single-family homes that preclude movement of fish and wildlife species. No impacts related to wildlife movement or corridors are anticipated as a result of the project.		
Use "Comment" section on next page if more room is needed.		



State of California - Department of Fish and Wildlife
NO EFFECT DETERMINATION REQUEST
 DFW 866 (Rev 01/13)

COMMENTS (Continued from previous page)

Project Location: (Include street address, city, county, lat/long, township/range/section, or other description that clearly indicates the location of the project site. Submit an aerial photograph and/or topographic map showing the project location if otherwise not included with the CEQA document)

COMMENTS (Continued from previous page)

Brief Project Description: (Include details on the type of project; e.g. new construction [with square footage], demolition of existing buildings, adaptive reuse of existing buildings, zoning amendments, general plan amendments, conditional use for sale of alcoholic beverages, etc.)

COMMENTS (Continued from previous page)

Justification of No Effect Determination [Explain how the proposed project has no effect on fish and wildlife consistent with 14 CCR § 753.5(d)]:

2. The project would not result in or have the potential to result in direct or indirect destruction, ground disturbance, or other modification of any habitat that may support fish and/or wildlife species in that the project consists of development of an in-fill site that was previously developed and disturbed.
3. The project would not result in or have the potential to result in the removal of vegetation with potential to support wildlife in that the General Plan EIR notes that the City's urban area (which encompasses the project area), is composed of common upland habitat which does not provide suitable habitat conditions for special-status animal species. Furthermore, the site is an in-fill site that was previously developed and disturbed.
4. The project would not result in or have the potential to result in noise, vibration, dust, light, pollution, or an alteration in water quality that may affect fish and/or wildlife directly or from a distance in that the project site does not contain nor is it located near any riparian or wildlife corridors.
5. The project would not result in or have the potential to result in any interference with the movement of any fish and/or wildlife species in that the project consists of the construction of 10 townhomes on an in-fill site that was previously developed and disturbed.



State of California - Department of Fish and Wildlife
NO EFFECT DETERMINATION REQUEST
 DFW 866 (Rev 01/13)

No Effect Determination Request Form Instructions	
Applicant Name and Address	Full name and address of the CEQA project applicant
Date Submitted	Date of No Effect Determination Request Form submission
Phone Number	CEQA project applicant's phone number
Email	CEQA project applicant's email address
Fax Number	Primary fax line for the CEQA project applicant
Contact Person and Address	Full name and address of the person that should be contacted should additional information be needed to issue an NED
Phone Number	Contact person's direct phone or cell number
Email	Contact person's email address
Fax Number	Contact person's direct fax number (if available)
CEQA Lead Agency	The agency responsible for primary approval of the project, and for filing the Notice of Determination, or Decision, and any applicable findings
SCH Number and/or Local Agency ID Number	<p>State Clearinghouse Number – "SCH" – tracking number generated by Office of Planning and Research (OPR) when a project's CEQA documents are filed/circulated with/through OPR's State Clearinghouse</p> <p>Local Agency ID Number – tracking/file number generated by the local agency (e.g. city or county) when a local agency is CEQA lead AND the project's CEQA documents will not be filed/circulated with/through OPR's State Clearinghouse</p>
CEQA Document Type	<p>Options include:</p> <ul style="list-style-type: none"> • Negative Declaration, • Mitigated Negative Declaration, • Environmental Impact Report, or • Document for Certified Regulatory Program
Project Location	<p>May be the project's street address including city and county, geographic coordinates (latitude/longitude, UTM), public land survey system coordinates (township/range/section), or other description that clearly indicates the location of the project site</p> <p>Submit an aerial photograph and/or topographic map showing the project location if otherwise not included with the CEQA document</p>
Brief Project Description	Please include details on the type of project; e.g. new construction (with square footage), demolition of existing buildings, adaptive reuse of existing buildings, zoning amendments, general plan amendments, conditional use for sale of alcoholic beverages, etc.
Justification of No Effect Determination	Explain how the proposed project has no effect on fish and wildlife consistent with CCR Title 14 § 753.5(d)



CITY OF HAYWARD MITIGATED NEGATIVE DECLARATION

Notice is hereby given that the City of Hayward finds that could not have a significant effect on the environment as prescribed by the California Environmental Quality Act of 1970, as amended will occur for the following proposed project:

I. PROJECT DESCRIPTION:

Project title: Sequoia Grove; Zone Change Application PL-2013-0290 and Vesting Tentative Tract Map Application No. PL-2013-0291 (8104).

Description of project: The project proposes a subdivision of an approximately .73 acre vacant site in order to develop 10 townhomes and common open space that would be provide access from existing public streets.

Project review involves consideration of a vesting tentative map and rezoning.

II. FINDING PROJECT WILL NOT SIGNIFICANTLY AFFECT ENVIRONMENT:

The proposed project, with the mitigation measures identified in the attached initial study checklist, will not have a significant effect on the environment.

III. FINDINGS SUPPORTING DECLARATION:

1. The proposed project has been reviewed according to the standards and requirements of the California Environmental Quality Act (CEQA) and an Initial Study Environmental Evaluation Checklist has been prepared for the proposed project. The Initial Study has determined that the proposed project, with the recommended mitigation measures, could not result in significant effects on the environment.
2. The project will not adversely affect any scenic resources. A lighting plan will be required to ensure that light and glare do not affect area views. Also, compliance with the City's Design Guidelines will ensure visual impacts are minimized. Landscape plans will also be required to ensure that structures are appropriately screened.
3. The project will not have an adverse effect on agricultural land since the subject site is not used for such purposes, does not contain prime, unique or Statewide important farmland.
4. The project will not result in significant impacts related to changes in air quality. When the property is developed the City will require the developer to submit a construction Best Management Practice (BMP) program prior to the issuance of any grading or building permit.
5. The project, proposed on properties surrounded by other residential development and within an urbanized area, will not result in significant impacts to biological resources. Any trees removed are required to be replaced as per the City's Tree Preservation ordinance.

6. The project will not result in significant impacts to known cultural resources including historical resources, archaeological resources, paleontological resources, unique topography or disturb human remains.
7. The project will not result in significant impacts to geology and soils. The project is located west of the Hayward fault, which poses potential risk to any development in the city of Hayward. Recommendations of the project geotechnical engineer will be required to be incorporated into project design and implemented throughout construction, to address such items as seismic shaking. Construction will also be required to comply with the California Building Code standards to minimize seismic risk due to ground shaking.
8. The project will not lead to the exposure of people to hazardous materials.
9. The project will be required to meet all water quality standards as part of the normal development review and construction process, to be addressed in a Stormwater Pollution Prevention Plan and Erosion Control Plan that utilize best management practices. Drainage improvements will be required to accommodate stormwater runoff, so as not to negatively impact the existing downstream drainage system of the Alameda County Flood Control and Water Conservation District.
10. The project is consistent with the overall density supported by the Hayward General Plan. In addition, the project will be required to be consistent with the City of Hayward's Design Guidelines.
11. The project will not result in any long-term noise impacts. Construction noise will be mitigated through restriction on construction hours, mufflers, etc., to be approved as part of the future building permits for the homes.
12. The project will not result in significant impacts related to population and housing in that the amount of development proposed is within the range of development analyzed in the Hayward General Plan.
13. The project will not result in a significant impact to public services in that development is at least as intensive as that proposed was analyzed in the Hayward General Plan EIR and found to have less-than-significant impacts.
14. The project will not result in significant impacts to traffic since it would not generate sufficient traffic to cause nearby intersections to operate at an unacceptable level of service.

IV. PERSON WHO PREPARED INITIAL STUDY:



Linda Ajello, AICP, Associate Planner

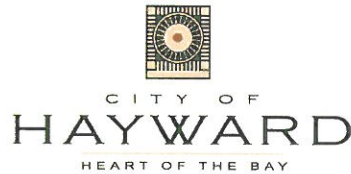
Dated: November 7, 2014

V. COPY OF ENVIRONMENTAL CHECKLIST IS ATTACHED

For additional information, please contact the City of Hayward, Planning Division, 777 B Street, Hayward, CA 94541-5007, telephone (510) 583-4200

DISTRIBUTION/POSTING

- Provide copies to all organizations and individuals requesting it in writing.
- Provide a copy to the Alameda County Clerk's Office.
- Reference in all public hearing notices to be distributed 20 days in advance of initial public hearing and/or published once in Daily Review 20 days prior to hearing.
- Project file.
- Post immediately upon receipt at the City Clerk's Office, the Main City Hall bulletin board, and in all City library branches, and do not remove until the date after the public hearing.



**DEPARTMENT OF DEVELOPMENT SERVICES
Planning Division**

INITIAL STUDY CHECKLIST

Project Title: Sequoia Grove Residential Development

Lead agency name/address: City of Hayward / 777 B Street, Hayward

Contact person: Linda Ajello, AICP, Associate Planner

Project location: 123-197 A Street; Assessor's Parcel Number: 431-0016-088-03

Project sponsors:

Name and Address: Natalie Monk, Habitat for Humanity East Bay/Silicon Valley, 2619 Broadway, Oakland, CA 94612

Existing General Plan Designation: Medium Density Residential

Existing Zoning: RM/SD4 (Medium Density Residential/Special Design Overlay District)

Project description: The project proposes a subdivision of an approximately .73 acre vacant site in order to develop 10 townhomes and common open space that would be provide access from existing public streets.

Approval of the project would require a change to the zoning designation for the site, from *Medium Density Residential* (RM) to *Planned Development* (PD).

Surrounding land uses and setting: The project site is located within an already developed area just west of downtown Hayward. The project site is comprised of a single parcel, which previously contained residential development. The project site is surrounded by residential uses to the south, residential and commercial uses to the north and east and the Amtrak Station to the west.

Other public agencies whose approval is required: None

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|----------------------------------------------------------|-------------------------------------------------------------|-------------------------------------------------------------|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources | <input checked="" type="checkbox"/> Air Quality |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Geology /Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology / Water Quality |
| <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Noise |
| <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities / Service Systems | <input type="checkbox"/> Mandatory Findings of Significance |

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation:

- ☐ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- ☐ I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.


 Linda Ajello, AICP, Associate Planner

11.07.14
 Date

EVALUATION OF ENVIRONMENTAL IMPACTS:

ENVIRONMENTAL ISSUES:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
I. AESTHETICS -- Would the project:				
a) Have a substantial adverse effect on a scenic vista? Comment <i>There are no designated scenic vistas in the vicinity of the project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? Comment <i>The project is not located within a state scenic highway; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings? Comment <i>The existing site is vacant and was previously developed with single family homes. The proposed townhomes will be consistent with surrounding residential development and will add to the visual character of the site; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? Comment <i>The new residential units will add some additional light to this area, but the amount is considered less than significant given the surrounding developed area; no mitigation is required.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

II. AGRICULTURE AND FOREST

RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. -- Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? Comment <i>The project does not involve any Prime Farmland, Unique Farmland or Farmland of Statewide Importance; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? Comment <i>The project site is not zoned for agricultural uses nor under a Williamson Act contract; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))? Comment <i>The project does not involve the rezoning of forest land or timberland; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use? Comment <i>The project does not involve the loss of forest land or involve conversion of forest land; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use? Comment <i>The project does not involve changes to the environment that could result in conversion of Farmland or forest land; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
III. AIR QUALITY -- Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:				
a) Conflict with or obstruct implementation of the applicable air quality plan? Comment <i>The project is a residential in-fill project located near public transit and will not conflict with the goals of the air quality plan; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? Comment <i>The Bay Area Air Quality Management District (BAAQMD) has established screening criteria as part of their CEQA</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<p><i>guidance to assist in determining if a proposed project could result in potentially significant air quality impacts. Based on the District's criteria, the proposed project of 10 new townhomes screens below what would require additional evaluation; thus the proposed project and impacts caused by construction activities will not violate any air quality standard and the impact is less than significant. However, implementation of the following measures for the Project is recommended to reduce fugitive dust and exhaust emissions:</i></p>				
<p>Mitigation Measure 1¹: <i>The Project shall adhere to the following Bay Area Air Quality Management District (BAAQMD) "Basic Construction Mitigation Measures".</i></p>				
<p>i) <i>All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.</i></p>				
<p>ii) <i>All haul trucks transporting soil, sand, or other loose material off-site shall be covered.</i></p>				
<p>iii) <i>All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.</i></p>				
<p>iv) <i>All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.</i></p>				
<p>v) <i>Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.</i></p>				
<p>vi) <i>All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.</i></p>				

¹ BAAQMD's recommendation to require, "All vehicle speeds on unpaved roads shall be limited to 15 mph" has not been included with Air-1 since the Project would not result in unpaved roads or surfaces where vehicles could exceed 15 mph.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
vii) Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.				
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? <u>Comment</u> The proposed project meets the screening criteria in Table 3-1 of the Air District's CEQA Guidelines; thus, it can be determined that the project would result in a less-than-significant cumulative impact to air quality from criteria air pollutants and precursor emissions.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors to substantial pollutant concentrations? <u>Comment</u> The project is an in-fill development located in an already developed area that will not involve exposing sensitive receptors to substantial pollutant concentrations; thus the impact is less than significant.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Create objectionable odors affecting a substantial number of people? <u>Comment</u> The project is an in-fill residential development that will not create any objectionable odors; thus no impact.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

IV. BIOLOGICAL RESOURCES -- Would the project:

a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? Comment The General Plan EIR notes that the City's urban area (which encompasses the project area), is composed of common upland habitat which does not provide suitable habitat conditions for special-status animal species. The General Plan EIR also notes that special-status plant species are found along the bay front and within the Hayward hills area, neither of which includes the project area. Since the project area is an in-fill site that was previously developed and disturbed, no significant impact related to special-status species is anticipated as a result of the project.

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service? Comment <i>The project site is an in-fill site that was previously developed and does not contain any riparian habitat or known sensitive natural communities; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? Comment <i>The project site, located in an urban setting, contains no wetlands; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? Comment <i>The project site is an in-fill site that was previously developed with urban uses that preclude movement of fish and wildlife species. No impacts related to wildlife movement or corridors are anticipated as a result of the project.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? Comment <i>The project site contains mature trees that will be impacted and the applicant proposes removal of 8 trees and preservation of 9 trees. To be preserved are five Sequoia trees onsite and 4 offsite trees, including a Coast Live Oak, Willow, Plum and Avocado tree. Of the trees to be removed, 3 were rated in poor condition, 3 in fair condition, and 2 were rated in good condition. Traverso Tree Service prepared an arborist report and tree appraisal dated August 6, 2012 which identified 17 protected trees (13 on-site, 4 off-site) per the City's Tree Preservation Ordinance, 8 of which are proposed to be removed. Traverso Tree Service prepared a Tree Protection Plan, dated August 6, 2012, identifying methods for tree preservation to mitigate for the potential impacts. The following recommendations will reduce impacts to a level of insignificance.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mitigation Measure 2: <i>The applicant shall follow all recommendations in the tree evaluation report including protection of all trees adjacent to the project site to be preserved during all phases of the development:</i>				

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Pre-construction				
i) Hand dig or use an airspade to trench adjacent to redwoods #13-14 along the proposed perimeter footing for the driveway where within 12' of the trees. The trenching shall avoid any damage to roots over 2" in diameter and shall extend down to the depth of the proposed footing. Design adjustments, such as bridging the roots, to avoid damage to roots over 2" will be necessary to avoid significant damage to the trees.				
ii) Establish a Tree Protection Zone (TPZ) around trees #11-15, 23, 24 and 26 as indicated on the Tree Inventory Map using 6' chain-link fencing attached to metal stakes driven firmly into the ground.				
iii) Apply a 4" layer of chipper mulch throughout the tree protection zones.				
iv) Irrigate trees to a depth of 14" throughout their driplines where extending over the project property 2 weeks prior to grading.				
Grading and Construction Phase				
v) Keep all equipment, debris, supplies, trenching, grading, stockpiling, or any other encroachments outside of the TPZ. Any desired adjustment or encroachment within the TPZ shall require consult with an arborist.				
vi) All pruning shall be performed by an ISA certified arborists or certified tree workers under the project arborist's supervision. Pruning to comply with all ISA and ANSI pruning standards and best management practices.				
vii) Trees #11-15, 24 and 26 shall be irrigated weekly to a depth of 12-14" throughout all accessible driplines, and at a minimum the entire TPZ.				
viii) Since trees #23, 24, 25 and 2 are all off site trees that hang over the project, written permission from the tree owners will need to be granted prior to accessing their canopies.				
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Comment The project site is not located in an area covered by an adopted Habitat Conservation Plan or Natural Community Conservation Plan; thus, no impact.				

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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V. CULTURAL RESOURCES -- Would the project:

a) Cause a substantial adverse change in the significance of a historical resource as defined in § 15064.5? **Comment:** *There are no historical resources associated with the improvements on the site or the affected parcels. Moreover, the project site was previously developed with structures. Due to the prior disturbance, there is a very low likelihood of impacting archeological or paleontological resources or disturbing human remains. In addition, the surrounding properties, which are fully developed, have no historical significance. Should any disturbance occur below previously developed areas, a remote possibility exists that historical or cultural resources might be discovered. If that should occur, standard measures should be taken to stop all work adjacent to the find and contact the City of Hayward Development Services Department for ways to preserve and record the uncovered materials. If standard procedures are followed in the event cultural/historical resources are uncovered at the project site, the proposed impact is less than significant.*

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5? **Comment** *No known archaeological resources exist on the currently developed site. Due to prior disturbance, there is a very low likelihood of impacting archeological resources. Should any disturbance occur below develop areas, a remote possibility exists that historical or cultural resources might be discovered. If that should occur, standard measures should be taken to stop all work adjacent to the find and contact the City of Hayward Development Services Department for ways to preserve and record the uncovered materials. If standard procedures are followed in the event cultural/historical resources are uncovered at the project site, the proposed impact is less than significant.*

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? **Comment** *No known paleontological resources exist on the site, which was previously developed. Due to extensive prior disturbance, there is a very low likelihood of impacting paleontological resources. There are no unique geological features on or near the site; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Disturb any human remains, including those interred outside of formal cemeteries? Comment: <i>There are no known human remains nor cemeteries nearby the project site; however, standard procedures for grading operations would be followed during development, which require that if any such remains or resources are discovered, grading operations are halted and the resources/remains are evaluated by a qualified professional and, if necessary, mitigation plans are formulated and implemented. These standard measures would be conditions of approval should the project be approved.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
VI. GEOLOGY AND SOILS -- Would the project:				
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42. Comment: <i>Based upon a Geotechnical Investigation Report prepared by Rockridge Geotechnical dated July 19, 2012, the project site is not within the State-designated Alquist-Priolo Earthquake Fault Zone. Impacts related to fault rupture are not anticipated, thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking? Comment: <i>An earthquake of moderate to high magnitude could cause considerable ground shaking at the site; however, all structures will be designed using sound engineering judgment and adhere to the latest California Building Code (CBC) requirements, thus the impact is considered less than significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction? Comment: <i>The site is located within a State-designated Liquefaction Hazard Zone (Geotechnical Investigation, Rockridge Geotechnical dated July 19, 2012) and could potentially be susceptible to liquefaction. Based on the analysis, the Investigation concluded that the potential for surface manifestation of liquefaction, such as ground fissures or sand boils, to be low, thus the impact is considered less than significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv) Landslides? Comment: <i>Due to the relatively flat site topography, landslides are not likely; thus</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<i>no impact.</i>				
b) Result in substantial soil erosion or the loss of topsoil? Comment: <i>Although the project would result in an increase in impervious surface, the project site is relatively flat and erosion control measures that are typically required for such projects, including but not limited to gravelling construction entrances and protecting drain inlets will address such impacts. Therefore, the potential for substantial erosion or loss of topsoil is considered less than significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? Comment: <i>The site is relatively flat and such impacts are not anticipated, thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property? Comment: <i>According to the Geotechnical Investigation prepared by Rockridge Geotechnical dated July 19, 2012, moderately to highly expansive clay soils were observed on the near-surface of the project site. The Geotechnical Investigation recommends specific criteria be followed for all site preparation and grading, foundation support, flatwork and pavements, retaining walls, seismic design, and other geotechnical considerations and concludes with a recommendation that they be retained to: 1) review project plans and specifications to verify that they conform to the intent of their recommendations; 2) to be present to provide on-site observation during site preparation, placement, compaction fill, and installation of building foundation. Provided the recommendations in the geotechnical investigation report are followed, the impacts of the expansive soils will be mitigated to a less than significant level.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mitigation Measure 3: <i>All measures as recommended by the project geotechnical consultant shall be implemented. Such measures will reduce the significance of impacts related to expansive soils to a level of insignificance.</i>				
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water? Comment: <i>The project will be connected to an existing sewer system with sufficient capacity and does not involve septic</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
tanks or other alternative wastewater; thus, no impact.				

VII. GREENHOUSE GAS EMISSIONS --

Would the project:

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? **Comment:** The Bay Area Air Quality Management District (BAAQMD) has established screening criteria as part of their CEQA guidance to assist in determining if a proposed project could result in operational-related impacts to Greenhouse Gases. The project involves the construction of 10 new residential townhomes. General condo/townhouse projects with less than 78 dwelling units have been identified by the BAAQMD Air Quality Guidelines as having emissions less than 1,100 metric tons of CO₂e per year which is below the threshold recommended by the Air District for evaluation of greenhouse gas emissions for new land use projects; thus no impact.

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases? **Comment:** As discussed in VII(a) above, the project will not exceed the threshold for operational greenhouse gases. In addition, the project proposes incorporating such amenities as solar panels on all of the residential units; thus no impact.

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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VIII. HAZARDS AND HAZARDOUS MATERIALS -- Would the project:

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? **Comment:** The project is an in-fill residential project that does not involve the transport or use of hazardous materials; thus, no impact.

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? **Comment:** A Phase I assessment was conducted on the site by Environ, dated October 2011. The assessment revealed no evidence of "Recognized Environmental Conditions", as defined in the ASTM standards; thus no impact.

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
proposed school? Comment: <i>The project will not emit hazardous materials, substances, or waste; thus no impact.</i>				
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? Comment: <i>See VIII(b) above. The project site is not listed as a hazardous materials site; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? Comment: <i>The project is not located within an airport land use plan area; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? Comment: <i>The site is not located within the vicinity of a private air strip and therefore, no such impacts would occur as a result of the project.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? Comment: <i>The project site is bounded by two publically maintained roads including A Street and Walnut Street within an urbanized area and will not interfere with an adopted emergency response plans or evacuation plan; thus, no impact..</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? Comment: <i>The project site is located within a suburban setting, away from areas with wildland fire potential. Therefore, no such impacts related to wildland fires are anticipated.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

IX. HYDROLOGY AND WATER QUALITY

-- Would the project:

a) Violate any water quality standards or waste discharge requirements? Comment: <i>The project will comply with all water quality and wastewater discharge requirements of the city; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)? Comment <i>The project will be connected to the existing water supply and will not involve the use of water wells and will not deplete groundwater supplies or interfere with groundwater recharge; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site? Comment <i>The project site is an infill site. All drainage from the site is required to be treated before it enters the storm drain system and managed such that post-development run-off rates do not exceed pre-development run-off rates; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site? Comment <i>The project site is an infill site. All drainage from the site is required to be treated before it enters the storm drain system and managed such that post-development run-off rates do not exceed pre-development run-off rates; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff? Comment <i>The project site is an infill site. All drainage from the site is required to be treated before it enters the storm drain system and there is sufficient capacity to handle any drainage from the property; thus, the impact is considered less than significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Otherwise substantially degrade water quality? Comment <i>The project site is an infill site. All drainage from the site is required to be treated before it enters the storm drain system; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? Comment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<i>According to FEMA Flood Insurance Rate Maps, this site is not within a 100-year flood hazard area; thus no impact.</i>				
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows? Comment <i>According to FEMA Flood Insurance Rate Maps, this site is not within a 100-year flood hazard are; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? Comment <i>According to FEMA Flood Insurance Rate Maps, this site is not within a 100-year flood hazard area; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow? Comment <i>The project site is not located within a 100-year flood hazard area and is located approximately 75 feet above mean sea level; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
X. LAND USE AND PLANNING -- Would the project:				
a) Physically divide an established community? Comment: <i>The proposed project is in a developed suburban setting and would not divide an established community; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? Comment <i>The project involves construction of 10 new residential townhomes and is consistent with the designated General Plan density. The project does include a request to modify the zoning designation; however, the Planned Development designation is to allow for flexibility in the development standards, not to accommodate additional density not anticipated by the General Plan, thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with any applicable habitat conservation plan or natural community conservation plan? Comment <i>The project site is not covered by any habitat conservation plan or natural community conservation plan; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

XI. MINERAL RESOURCES -- Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? <u>Comment</u> <i>There are no known mineral resources on the project site; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? <u>Comment</u> <i>There are no known mineral resources on the project site; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
XII. NOISE -- Would the project result in:				
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? <u>Comment:</u> <i>The project is a residential development and will not involve an increase in the ambient noise levels above standards established in the General Plan; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels? <u>Comment:</u> <i>No significant vibration impacts are anticipated for the project site; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? <u>Comment</u> <i>The project is a residential development and will not involve an increase in the ambient noise levels in the area; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project? <u>Comment</u> <i>Existing residential development will experience a slight increase in ambient noise levels during the construction of the proposed project. Construction is limited to the allowable hours per the City's Noise Ordinance; thus the impact is considered less-than-significant and no mitigation is required.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? <u>Comment:</u> <i>The project is not located within</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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an airport land use plan area; thus, no impact.

f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? **Comment:** *The project is not located within the vicinity of a private air strip; thus, no impact*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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XIII. POPULATION AND HOUSING --

Would the project:

a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? **Comment:** *The project involves the construction of 10 new residential townhomes, however, the residential development is consistent with the density established by the City's General Plan; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? **Comment:** *The project involves the construction of 10 residential townhomes on a vacant site and will not result in the displacement of existing housing; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? **Comment:** *The project involves the construction of 10 residential townhomes on a vacant site and will not result in the displacement of people or existing housing; thus, no impact*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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XIV. PUBLIC SERVICES --

a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Fire protection? **Comment:** *No such facilities are required and therefore, no such impacts are expected to occur.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Police protection? **Comment:** *No such facilities are required and therefore, no such impacts are expected to occur.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Schools? Comment: <i>The project site is within the Burbank Elementary School, Winton Middle School and Hayward High School attendance areas of the Hayward Unified School District. The developer will be required to pay school impact mitigation fees, which, per State law, is considered full mitigation, thus the impact is considered less than significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Parks? Comment: <i>The project proponent would be required to pay park dedication in-lieu fees. Such measures would reduce such impacts to levels of insignificance.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other public facilities? Comment: <i>Approval of the project may impact long-term maintenance of roads, streetlights and other public facilities; however, the project will be conditioned to become part of the City's Communities Facilities District; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

XV. RECREATION --

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? **Comment:** *Each new residential townhome will have private open space and access to common open space within the development. The development is also located approximately 250 feet north of Cannery Park and future residents will be able to utilize this facility. In addition, the developer will be required to pay applicable park in-lieu fees; thus the impact is considered less-than-significant.*

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b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

Comment: *Each new single family home will have private open space and access to common open space within the development. The development is also located approximately 250 feet north of Cannery Park and future residents will be able to utilize this facility. In addition, the developer will be required to pay applicable park in-lieu fees; thus the impact is considered less-than-significant.*

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XVI. TRANSPORTATION/TRAFFIC --

Would the project:

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a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit? Comment: <i>The project will not conflict with any plan regarding effective performance of the circulation system. The project is a residential project located near multiple public transportation options including BART, AC Transit and the Amtrak; thus, no impact.</i>				
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways Comment: <i>No level of service will be impacted by the construction of the additional residential units on an existing in-fill site; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that result in substantial safety risks? Comment: <i>The project involves no change to air traffic patterns; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? Comment: <i>The project has been designed to meet all City requirements, including site distance and will not increase any hazards; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in inadequate emergency access? Comment: <i>The project is on an in-fill site completely accessible and will not result in inadequate emergency access; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities? Comment: <i>The project does not involve any conflicts or changes to policies, plans or programs related to public transit, bicycle or pedestrian facilities; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

XVII. UTILITIES AND SERVICE SYSTEMS

-- Would the project:

a) Exceed wastewater treatment requirements of	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
the applicable Regional Water Quality Control Board? <u>Comment</u> <i>The project will not exceed wastewater treatment requirements; thus no impact.</i>				
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? <u>Comment</u> <i>There is sufficient capacity to accommodate the proposed project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? <u>Comment</u> <i>There is sufficient capacity to accommodate the proposed project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? <u>Comment</u> <i>There is sufficient capacity to accommodate the proposed project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? <u>Comment</u> <i>There is sufficient capacity to accommodate the proposed project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? <u>Comment</u> <i>There is sufficient capacity to accommodate the proposed project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste? <u>Comment</u> <i>There is sufficient capacity to accommodate the proposed project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE --

a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or

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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
animal or eliminate important examples of the major periods of California history or prehistory? <u>Comment:</u> <i>The project will not have any impacts on wildlife or fish habitat nor eliminate a plant or animal community; thus, no impact.</i>				
b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? <u>Comment:</u> <i>The proposed 10-lot development is consistent with the density of development identified in the City's General Plan; therefore, no such impacts are anticipated.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? <u>Comment:</u> <i>The project is consistent with the City of Hayward General Plan, which is a long-range document that addresses desired goals and future development for the City of Hayward. Since the project is consistent with the adopted plan, it is therefore not expected to cause substantial adverse effects on human beings either directly or indirectly; thus no impact is anticipated.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sequoia Grove

Mitigation Monitoring and Reporting Program

**Zone Change Application No. PL-2013-0290 and Vesting Tentative Tract
Map Application No. PL-2013-0291 (8104);
Natalie Monk, Habitat for Humanity East Bay/Silicon Valley (Applicant)
City of Hayward (Owner)**

November 7, 2014

Mitigation 1

Significant environmental Impact:

Based on the Bay Area Air Quality Management District's (BAAQMD) established screening criteria for potentially significant air quality impacts, construction of the proposed project would not violate any air quality standards. However, implementation of BAAQMD "Basic Construction Mitigation Measures" are recommended, as follows:

Mitigation Measure 1¹

The Project shall adhere to the following Bay Area Air Quality Management District (BAAQMD) "Basic Construction Mitigation Measures".

- i) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- ii) All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- iii) All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- iv) All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- v) Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]).

¹ BAAQMD's recommendation to require, "All vehicle speeds on unpaved roads shall be limited to 15 mph" has not been included with Air-1 since the Project would not result in unpaved roads or surfaces where vehicles could exceed 15 mph.

Clear signage shall be provided for construction workers at all access points.

- vi) All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- vii) Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Implementation Responsibility: Project developer

Monitoring Responsibility: City of Hayward Planning and Building Divisions

Timing: During project construction

Mitigation 2

Significant environmental Impact:

The project site contains mature trees that will be impacted and the applicant proposes removal of 8 trees to accommodate 10 new townhomes. Preservation and/or protection of trees on adjacent properties are suggested as part of the project. Traverso Tree Service prepared an arborist report and tree appraisal dated August 6, 2012 identifying methods for tree preservation and tree replacement to mitigate for the potential impacts. The following requirements will reduce impacts to a level of insignificance.

Mitigation Measure:

The applicant shall follow all recommendations in the tree evaluation report including protection of all trees adjacent to the project site to be preserved during all phases of the development:

Pre-construction

- i) Hand dig or use an airspade to trench adjacent to redwoods #13-14 along the proposed perimeter footing for the driveway where within 12' of the trees. The trenching shall avoid any damage to roots over 2" in diameter and shall extend down to the depth of the proposed footing. Design adjustments, such as bridging the roots, to avoid damage to roots over 2" will be necessary to avoid significant damage to the trees.
- ii) Establish a Tree Protection Zone (TPZ) around trees #11-15, 23, 24 and 26 as indicated on the Tree Inventory Map using 6' chain-link fencing attached to metal stakes driven firmly into the ground.
- iii) Apply a 4" layer of chipper mulch throughout the tree protection zones.
- iv) Irrigate trees to a depth of 14" throughout their driplines where extending over the project property 2 weeks prior to grading.

Grading and Construction Phase

- v) Keep all equipment, debris, supplies, trenching, grading, stockpiling, or any other encroachments outside of the TPZ. Any desired adjustment or encroachment within the TPZ shall require consult with an arborist.
- vi) All pruning shall be performed by an ISA certified arborists or certified tree workers under the project arborist's supervision. Pruning to comply with all ISA and ANSI pruning standards and best management practices.
- vii) Trees #11-15, 24 and 26 shall be irrigated weekly to a depth of 12-14" throughout all accessible driplines, and at a minimum the entire TPZ.
- viii) Since trees #23, 24, 25 and 2 are all off site trees that hang over the project, written permission from the tree owners will need to be granted prior to accessing their canopies.

Implementation Responsibility: Project developer

Monitoring Responsibility: City of Hayward Planning Division

Timing: Prior to any project construction and during project construction

Mitigation 3

Significant environmental Impact:

According to the Geotechnical Investigation prepared by Rockridge Geotechnical dated July 19, 2012, moderately to highly expansive clay soils were observed on the near-surface of the project site. The Geotechnical Investigation recommends specific criteria be followed for all site preparation and grading, foundation support, flatwork and pavements, retaining walls, seismic design, and other geotechnical considerations and concludes with a recommendation that they be retained to: 1) review project plans and specifications to verify that they conform to the intent of their recommendations; 2) to be present to provide on-site observation during site preparation, placement, compaction fill, and installation of building foundation. Provided the recommendations in the geotechnical investigation report are followed, the impacts of the expansive soils will be mitigated to a less than significant level.

Mitigation Measure:

Prior to issuance of a Building Permit for the project, the applicant shall implement all measures as recommended by the project geotechnical consultant. Such measures will reduce the significance of impacts related to the expansive soils to a level of insignificance.

Implementation Responsibility: Project developer

Monitoring Responsibility: City of Hayward Building Division

Timing: Prior issuance of a Building Permit for the project



CITY OF HAYWARD

Hayward City Hall
777 B Street
Hayward, CA 94541
www.Hayward-CA.gov

File #: MIN 23-099

DATE: September 28, 2023

TO: Planning Commission

FROM: Development Services Director

SUBJECT

Minutes of the Planning Commission Meeting on August 24, 2023

RECOMMENDATION

That the Planning Commission approve the minutes of the Planning Commission meeting on August 24, 2023

SUMMARY

The Planning Commission held a meeting on August 24, 2023

ATTACHMENTS

Attachment I Draft Minutes of August 24, 2023



**PLANNING COMMISSION MEETING
CONFERENCE ROOM 2A AND VIRTUAL (ZOOM)
PARTICIPATION
Thursday, August 24, 2023, 7:00 p.m.**

The Planning Commission meeting was called to order at 7:08 p.m. by Chair Ali-Sullivan. The Planning Commission held a hybrid meeting in Conference Room 2A and virtually via Zoom.

PLEDGE OF ALLEGIANCE

ROLL CALL

Present: COMMISSIONERS: Garg, Goodbody, Lowe, Patterson, Stevens
CHAIRPERSON: Ali-Sullivan
Absent: COMMISSIONER: None

Staff Members Present: Blanton, Lochirco, Ochinero, Parras, Richard, Tabari, Vigilia

PUBLIC COMMENTS

There were none.

WORK SESSION

1. Draft Regulations for the Hayward Residential Design Study **(WS 23-033)**

Senior Planner Blanton provided a synopsis of the staff report reviewing changes to the Municipal Code proposed as part of the Hayward Residential Design Study. She noted that staff is focusing the presentation on the most substantial changes. Ms. Blanton introduced Associate Planner Richard who co-presented the PowerPoint presentation and introduced Ms. Poonam Narkar, consultant with WRT, who was available for questions via Zoom.

Commissioner Garg commended staff for their work and expressed concerns related to the fire safety of the landscaping and setback requirements. She noted that housing stock is being built in an era of increased fire risk and questioned whether staff had considered this in the preparation of the draft standards.

Senior Planner Blanton responded that there aren't any standards proposed regarding plant species, however all landscaping has to be consistent with the City's water efficient landscape ordinance. She mentioned Staff is currently updating the Tree Preservation Ordinance so some additional landscaping standards will be forthcoming. In terms of setbacks, code requirements like fire rated walls help with making sure that fires are not easily able to move from one place to another. She said that the Fire Department runs several programs to reduce wildfire risk including weed abatement in the Hills area. She added that the standards don't specify what species of plants are required in the landscaping setbacks, but the setbacks are



**PLANNING COMMISSION MEETING
CONFERENCE ROOM 2A AND VIRTUAL (ZOOM)
PARTICIPATION
Thursday, August 24, 2023, 7:00 p.m.**

consistent with the size of required landscaping buffers.

Commissioner Garg commented that she is curious about the predicted increases in fire risk in the City of Hayward, as there are many predicted over the next few decades, and she wanted to understand whether these design standards are forward looking in terms of the climate risk. She also questioned egress methods and routes for the higher density areas if Hayward was to experience a very fast-moving wind driven fire like Maui recently experienced. She asked if these design standards would make a firestorm situation worse or would they make it easier to evacuate.

Senior Planner Blanton responded that because life safety is paramount above all things, the fire code supersedes the Zoning Ordinance. She added that Staff has checked in with the Fire Department on the proposed standards. She continued that the Hayward Fire Department has a Fire Protection Engineer on staff, which not all cities do. She mentioned that the Fire Department takes a careful look at all development projects during the review process to make sure they have proper egress and evacuation routes, especially developments in the hills where there are limited access roads.

Commissioner Stevens commented that he was a big fan of small lot subdivision standards and that to his understanding, it's a development type that is very common in the Bay Area, cheaper to build, and desirable as the market shows that people don't want to live with a shared wall. He continued how he would really encourage Staff to explore that more and he disclosed that he knows Ms. Narkar very well as she is a colleague of his. Mr. Stevens was curious about the 10-foot front yard setback in the High Density Residential (RH) district. He stated that he is familiar with a lot of form base codes in various other jurisdictions and when there is a very high-density residential, they usually build it right up to the right-of-way line. He questioned staff if there was a reason why Staff is establishing a ten-foot setback in this district.

Senior Planner Blanton responded that Associate Planner Richard and herself worked with the consultant team, were trying to play with this tension that they were hearing from the Planning Commission and from community members of wanting to reduce setbacks while also allowing for buffers and landscaping. She stated that they did neighborhood walks through the different parts of the City and people commented on the importance of landscaping. A high-density residential district is intended to support more dense housing rather than a twenty-foot setback more common in detached residential neighborhoods. Ms. Blanton added that staff is open to the idea of a smaller setback, particularly in the High Density Residential (RH) or the Medium Density Residential (RM) districts. Associate Planner Richard added that the RH district is still not as dense as the Downtown and Mission Boulevard districts which establish front setbacks between zero to about ten feet. Ms. Blanton added that the density will be determined by the General Plan, but the maximum density



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allowed on RH zoned parcels is typically about 34 dwelling units per acre.

Commissioner Stevens commented that for example if there is a development with adjacent sidewalks that are already ten or twelve feet wide, another ten-foot setback seems like too much. He asked if developers could include sidewalks in their required setbacks. He also had a concern about the landscaping buffer standard. For instance, if a developer was to build a building that is only ten feet higher than the neighboring building, but its elevation is raised five to seven feet above the adjacent property, which makes the new building sit fifteen plus feet above that of the neighboring building. The standard should include fills as well as height, so it does not feel like the existing building is in the shadow of a giant new building. Senior Planner Blanton responded that she could think of a specific project that Associate Planner Richard reviewed where this exact issue came up. She added that the definition for building height in Hayward is measured from the existing or finished grade, whichever is lower, to the midpoint of the roof, so if a grade change is existing, then the standards as proposed wouldn't require a buffer.

Commissioner Stevens expressed how excited he was to see the open space points system in the draft. He thought the points are fair and were well distributed. He commented how he would like to advocate for an architectural points system as these would be important to the people living outside of the development. For instance, if we value arcades and galleries those should receive a lot of points. Senior Planner Blanton wanted clarification from Commissioner Stevens, if instead of a menu of options for design features, he is proposing that we assign those design features points and set points thresholds that projects have to meet. Commissioner Stevens confirmed that this is what he is proposing.

Commissioner Lowe commended staff for all their hard work and presentation. She expressed concerns regarding attachment two, page fourteen, Section 10-1.209, Site Plan Review Required. She wanted staff to clarify as it sounded to her like this would allow developers to make changes to the design of projects that had previously been approved by the Planning Commission or City Council. Ms. Lowe questioned the section that stated, "shall be required before issuance of any building or construction permit only if the Planning Director determines this", as the word "only" worried her.

Senior Planner Blanton responded that this regulation remains exactly as written in the current code. It means that any new project if said project would alter the appearance of a street or neighborhood, could require a Site Plan Review process. She added that Site Plan Review is an administrative process, which is reviewed and approved by staff unless the project also has a tract map or something that would require it to be reviewed by the Planning Commission. Ms. Blanton continued that staff always has the right to put a project through that process, however sometimes there are projects that are waived from having to go through Site Plan Review. For instance, if there was a single-story home and the developer is



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adding an addition in the backyard which would not be visible from the street, staff might waive the Site Plan Review process if the project met all standards. Ms. Blanton added that Staff tends to only waive the Site Plan Review if Staff is confident that it is not something that is going to be felt or seen by the neighborhood and it doesn't change the visual appearance of the street in any significant way.

Planning Manager Lochirco added that by default, Staff almost always requires Site Plan Review, as that is the baseline. Mr. Lochirco continued with an example that if a project applicant submitted a project and if what they are proposing is relatively consistent with what everyone else in the neighborhood has and it meets setbacks and all the other development standards; those would be instances where staff would waive the site plan review and not subject the homeowner to a discretionary process, which includes noticing of neighbors. He added that there have been instances where there has been individual homeowners in a single-family neighborhood where the neighborhood is built as a one-story neighborhood and an applicant would like to come and add a second story, which would be the only two-story house in the neighborhood. He continued that because this would be doubling the size of any other house in the neighborhood, staff in those instances would require Site Plan Review for the purpose of transparency and to give the public the opportunity to weigh in. Mr. Lochirco added that staff mostly defaults to the site plan review process which serves as a discretionary process as staff embraces transparency and being able to communicate to the public. He added that there are some elements of discretion if it happens to be a controversial project or some sensitivity in the neighborhood, that will often require Site Plan Review.

Commissioner Lowe stated that the development she has in mind is by the old Holiday Bowl. It seemed like there were some minor changes by the developer that didn't seem to be what the community thought they were getting, and she questioned Staff as to why this is something different. Mr. Lochirco responded that the Site Plan Review is typically for projects that have not already been reviewed and vetted and would be for new projects or new applications. He added that often, when there are projects that have already been approved and vetted, there are policies and allowances in the existing Hayward Municipal Code that allow for minor alterations as this happens with nearly every project that has been approved by staff, the Planning Commission, or the City Council. He continued that they all go through a series of changes, the reason being that at the point when projects come before these bodies including Staff, they're conceptual. Mr. Lochirco added that planning applications don't include detailed constructional level documents. Also, there may be comments or code changes that have transpired since the project was originally approved, which can also force some design changes. He said that often this does happen and there is some discretion that staff will have to exercise as to which changes are minor and which are significant. Mr. Lochirco continued that if they're changing from one color to a different color, a slightly different tint of shade or changed landscaping materials, this likely would be considered as a minor modification. He said that there was a project a couple years back that was approved



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with wonderful ornate detailed garage doors. He said the architect and the applicant had every intent to add those but then the pandemic hit, and shortages happened, and the developers couldn't acquire these products anymore. So they were forced to either not complete the project as promised or swap out materials for something that would be similar. Mr. Lochirco said that Staff had looked at the before and after and thought it was not a substantial change that would cause a significant problem for the community or decision makers and Staff would approve it. Commissioner Lowe asked if the people were satisfied with that change as she had heard that some members of the community members were not pleased with how the project near Holiday Bowl had turned out as she was told it was due to a minor change that they were told was going to happen, but it ended up being a major change. Mr. Lochirco responded that architects do an amazing job painting a pretty picture as they're doing exactly what they need to do, which is selling their proposal. He said that when people see a site that is still under construction and it doesn't yet fit the pretty image because maybe the trees are not matured or the plants haven't been installed yet, you're going to see some pushback. Mr. Lochirco continued that there should be some patience exercised for the pretty picture to turn into reality which could take some time.

Commissioner Lowe said that she noticed a couple of places where it said handicap accessibility, wondering if that is the politically correct term used. Senior Planner Blanton responded that some of the codes date back to the 1960's, however the parking code lists the term as people with disabilities. Ms. Lowe questioned staff on attachment four for Off-Street Parking, Section 10-2.405, why the credit for senior citizen/handicapped housing is crossed out. Associate Planner Richard responded that the section was taken out and replaced by Section 10-2.310, which allows a reduced parking rate for seniors and special needs housing, without having to request a reduction. She continued that she would note that there are other words that are better than special needs housing, but the term relates to a very specific code in the California Government Code, which is the reason for the terminology in the City's Municipal Ordinance. Ms. Lowe stated that she wanted to make sure Staff is being inclusive.

Commissioner Goodbody commented on staff report attachment one, table five of the Residential Transportation Demand Management program, as she appreciated the efforts to learn the feedback from the community and Transform regarding the parking reduction offered to projects that include TDM measures. She was concerned that the reductions might make it hard for multi-family developments to accommodate large families where multiple cars are required to take one child to one school and another child to a different school and also get yourself to work. She encouraged staff to be a little flexible and cognizant of the needs of the families living in those developments that need cars. Senior Planner Blanton asked a follow-up question as to whether the percentage reductions should be reduced. She stated that Associate Planner Richard did a lot of research and the proposed TDM table was simply a good place to start. Ms. Goodbody commented that she thought the measures are fine, but suggested maybe adding another measure or allowing some flexibility would be helpful.



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Commissioner Patterson commended staff for their presentation and all the hard work that went into the attachments, and for answering her questions. She appreciated the intentional language that was used in unbundled housing as she hoped it makes it less of a burden and a positive measure. She continued that she thought the point system was great as she doesn't have any feedback about whether there should be other amenities. She said she wanted to echo what Commissioner Goodbody had mentioned as she had wondered about the ratios and appreciated the public comments received by Transform as they mentioned a study that shows how the recommended ratios would be appropriate for the community. She continued to state that in the staff report it is said that "objective standards are defined as standards that involve no personal or subjective judgment", hoping that wherever the parking standards land, they will have some data backup, as she is worried that based on some people's experience, there will not be enough parking for larger families living in the multi-family housing. She also mentioned that multiple sections within the parking code are related to similar topics. She recommended that the code be reorganized so that like topics are located together. Senior Planner Blanton responded that with this project Staff is trying to consolidate information and organize it in a way that is easier to navigate. She said that staff could certainly do more organizational work to try to make other parts of the code a little easier to navigate as well.

Commissioner Garg had follow-up questions related to TDM and parking reduction percentages. She said she is happy to see the TDM measures include requirements like connectivity to proposed bike routes. She questioned that "transit accessible" could mean a lot of things given how frequently the bus routes come. She said she is curious as to what extent was there any consideration given, as in some areas of Hayward you have bus routes that are served very lightly, so if the removal of off-street parking is for a bus that comes a few times a day on weekdays, that is different than being near Bay Area Rapid Transit (BART). Senior Planner Blanton responded that in the beginning they talked about should any of these TDM reductions only be eligible based on proximity transit or transit headways, but that didn't land in the draft policy. However, she does not see why it couldn't. She continued that if the need is to offer the sort of reductions only in areas that are within a proximity of BART or within areas where buses have 20-minute headways, she sees it to be reasonable. Associate Planner Richard commented that one caveat to that is it may not be well used if the project is by BART because those areas through Assembly Bill 2097 (AB2097) were granted a reduction in parking to zero, so there would be no need to include the TDM measures. She added that she thinks there is room to add bus stations, especially on lines with frequent headways. Ms. Blanton commented, for example that one of the options is for carshare, so that is not dependent on transit. She mentioned that staff could dig more into options like this that are not dependent on transit. Commissioner Garg commented that these structures are likely to be here for several decades and said we should think about what the community might look like in thirty or fifty years from now as she imagined it would be denser and imagined car use



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will be quite different by then as technology changes. She appreciated building to the future as a big part of that will be reducing off-street parking spaces, but recommended thinking creatively about incentives for providing shuttle services or car sharing including charging stations, and other types of amenities. She expressed the need to think creatively as this will presumably be a code that will last for quite some time.

Chair Ali-Sullivan questioned slide 11 Open Space Point System from the presentation, asking staff to clarify if the point values are the number of points that a project needs to meet. Senior Planner Blanton confirmed that is correct. Mr. Ali-Sullivan said that the points system is interesting as it has come up in their discussions before and as he was looking at one of the smaller projects and doing the math, a multi-unit project could theoretically meet the system with a single item and he had wondered if that was indeed the goal or if staff would want to relook at the point allocation so that you would need to have a few things before actually meeting that threshold versus just one. Ms. Blanton responded that for a smaller project, a four-to-ten-unit project with the threshold as 50, there are items on the list that are worth 50 points but suggested that this could be augmented so that nothing is worth 50 points. She added that maybe a four to ten unit isn't right for the range and four to five could have one and six to ten must have more points stating that it could be adjusted if in an agreement that one amenity is not going to be enough for a ten-unit development. She continued that she and Associate Planner Richard played with the numbers and were trying to think about combinations that would be reasonable for different size projects. She said they were happy to take any specific suggestions that the Commission may have. Mr. Ali-Sullivan commented that he loved the point system and suggested five points for a bench as it is helpful or ten points for a table with a bench next to it, or a water fountain. He thought these all are just simple things that add value to the street experience or residential experience. He noted that a playground should be worth more points, as it seemed sort of low and he thought that's an attractive amenity that has good usefulness. He added that there's a point for lawn areas but stated that lawns take a lot of water so perhaps it could a landscaped area with a certain square footage is worth a certain number of points versus just lawn area. Ms. Blanton responded that lawns are at 15 points as staff struggled with that because they agree that lawns are not water-efficient but also acknowledge that children like to play on lawns. Mr. Ali-Sullivan mentioned he loves swimming pools and hot tubs, but he wondered if 50 points was the right number. He also wondered from a land use perspective if it is appropriate to pave over a lot of land that is now permeable with a water-intensive use like a swimming pool. Ms. Blanton clarified that swimming pools were at a 75-point system and questioned if that was too much.

Chair Ali-Sullivan commented on the special needs and senior parking reductions saying that reducing those numbers and unbundling parking is a win-win situation that he is supportive of. He questioned how a developer would be able to predict parking; for instance, if a developer is building a 400-unit condo development or a 100-unit apartment building, they



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would have to plan if there will be underground parking, podium parking, or surface parking. He continued that if they wanted to unbundle the parking, how would the developers know who is going to take the parking? It would be hard to determine how many spots are needed. Ms. Blanton clarified that the unbundled parking policy doesn't set the number of spaces required, stating that if that 400-unit development is required to have eight hundred spaces, they still must provide eight hundred spaces. Instead, it would allow the developer discretion in how to assign those spaces. Mr. Ali-Sullivan said that the idea about unbundling is reducing parking for people who really don't need it, and if no one wants a parking space, it means that the parking is unnecessary. Ms. Blanton responded that unbundling parking, allows for adjusting the allotment of parking spaces. She continued that for her household, she and her husband have shared a car for the last decade and there are other people that live in their complex who have multiple kids where the household might require three cars. She said that instead of giving both households two spaces, the household that needs fewer spaces could receive savings for that while the household that needs more spaces could pay extra. She continued that the unbundled policy is not addressing the parking demand issue, as that is where the TDM comes in, but it is addressing the fact that empty spaces can be purchased and reassigned to households that need them.

Chair Ali-Sullivan commented that he is very supportive of this project and that it'll be fascinating to see what happens in twenty years but would like to address the TDM policy as he has been on homeowner boards in multiple buildings and is currently the president of his homeowner's association. He said the number one issue he has seen in his communities is parking, and the challenge is that you can try and force behavior and incentivize certain behavior, but at the end of the day, people love their cars and love driving their individual cars. He questioned the carshare idea as he thought of Zipcar, and wondered if this was still a thing. He shared that he hasn't done carshare in about fifteen years and questioned why someone would use a carshare if they can just have an Uber pick them up and not have to worry about parking the car. Associate Planner Richard responded that she lives in Oakland and in her neighborhood carshare vehicles park on the street, as Oakland has an agreement with the carshare company. She continued that they are used more if you're going to do a trip to a store which requires placing items in a vehicle, and you don't want to wait for an Uber each way. She added, however, for those just trying to get to a destination and then back, maybe an Uber is a better situation, stating that staff is flexible in adding or changing the TDM measures to reflect the Commission's direction. Mr. Ali-Sullivan mentioned the idea of a loading zone for Uber or Lyft pick-up better, as he worried about having a carshare spot dedicated to an antiquated service where usage is not growing. He questioned the bus shelter measure and how that would work for a developer and if they must coordinate with AC Transit. Ms. Richard responded that in the draft regulations, it says the bus shelter design must be approved by the City of Hayward and AC Transit. She continued that AC Transit has specific design guidelines about bus shelter design. Senior Planner Blanton added that there are a lot of bus stops that don't have shelters, they just have benches, or a pole and it would be



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helping to fill in that gap to make waiting for the bus a bit more attractive and easier. She also said that bus shelters also sometimes have electronic signs that say next bus in fifteen minutes. Mr. Ali-Sullivan had thoughts on the TDM policy as he is facing that right now in his homeowner's association between the physical infrastructure versus the programmatic infrastructure. He questioned what would happen if Staff granted authority or allowance for reduction in parking when developers say they are going to have bus passes for everyone and that happens for the first three to five years but then years later no one is buying the bus passes and now that development is lacking the necessary parking. He questioned what enforcement mechanisms there would be, as he is concerned that people like their cars and now we will have created this TDM program where the physical property doesn't have enough parking spaces. He continued that if there is a demand then those cars are going to go onto the street and then we still have a problem with parking. Associate Planner Richard agreed that it's hard to regulate and that the property owner must enter into a written agreement that sets forth what they have to do and guarantee that there will be no substantial alterations in the amenities that will create a greater demand for parking without the City's prior knowledge and approval. She continued that it would be an agreement that will go to the City Attorney's Office. Ms. Richard added that the Transportation Department is working on a full TDM program for the City, which would include a monitoring component, but the program is not developed yet. Planning Manager Lochirco added that the TDM programs are very well intentioned and not always very well executed as he thought everybody recognized that it really requires a shift in behavior, which sometimes is easier said than done. He agreed with Chair Ali-Sullivan in having flexibility in a TDM policy, as there may be things that may not be listed or haven't been invented yet but could be an option five or ten years down the road that we would want to embrace. He said that Uber or Lyft hadn't been thought of twenty years ago, nor had been able to get a shared vehicle on the street. Mr. Lochirco said that individual tenants are going to influence their behavior and what this project is trying to do is provide other options for people than getting in their car as many studies have supported that unless there is a viable alternative, no one is going to get out of their car. He added that there needs to be something that's reliable whether it's a regular or frequent bus service or another option like carshare or Uber that could supplement the need to have a vehicle in this year now. He said that he understood the flexibility and a well-intentioned TDM program and if doesn't work then to try something else as it doesn't mean that TDM isn't effective, it just means that the measure may not be as appropriate as something else.

Chair Ali-Sullivan questioned staff regarding the setbacks as he assumed staff has calculated the number of additional units that could be achieved by slimming down setbacks, as Commissioner Stevens had questioned. Senior Planner Blanton commented that when it comes down to how many units you can fit on a site, there are a lot of variables that go into that, the height of a development, the setbacks, the open space, and the parking. They have heard from the community that they don't want to reduce the number of required parking



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spaces, maybe with the exception of if developments provide some of these TDM strategies. As a result, staff has tried to pull all the other levers especially for the RM and RH districts, to push back the setbacks a little, to increase the height a bit to be more intentional regarding the open space, in order to allow more housing units and make development more feasible. She referenced that these recommendations came from the Options and Recommendations Report that had diagrams that showed conceptual buildings that could be built based on current standards. Ms. Narkar commented on how they arrived at the ten-foot setbacks. They took into consideration the development feasibility on the parcel as the existing twenty-foot setbacks were turning out to be quite a constraint when trying to accommodate the parking requirements and of the required number of units to meet the allowable density. She addressed Commissioner Stevens' previous comment regarding why the ten feet front setback was selected and allowing development to be built to the property line. She added that a part of this study session is to understand what the Commission's comfort level is regarding setbacks in residential neighborhoods. Ms. Narkar continued that a lot of mixed developments especially along Mission Boulevard are probably much more suitable to build to the property line where there is benefit to bringing the ground floors, especially non-residential ground floors, all the way up to the property line. She continued that when it comes to the residential units at the ground level, then we should think about privacy. Some ways to provide privacy is by giving the ground floor a higher elevation and allowing for a landscape buffer in front of the residential units facing the street so that there is some level of privacy incorporated in the design. She said a five-foot setback would also provide a good landscape buffer, but she thought the reason staff landed at a ten-foot setback is because it gave enough room not only for a landscape buffer but also did not feel as though the building is overwhelming for a pedestrian on a residential street that is typically going to be relatively narrower than a street like Mission Boulevard. Ms. Narkar added that it also comes down to the ratio between the distance between building to building with the total height of the building. As these are citywide standards, it is hard to identify unique conditions from one neighborhood to the other; stating the reason for the ten-foot setbacks is because it seemed like an appropriate medium that would work for most street widths within the city. She added that she could consider studying going less than ten feet if that is what's recommended by the Planning Commission. Chair Ali-Sullivan commented that it would be helpful to see what those numbers look like if it opens ten thousand more housing units or some significant number, then maybe it would inform the decision. Ms. Narkar responded that she is unsure if it's going to necessarily increase the number of residential units as she studied example parcels within each of the zoning districts as building height increases will allow for more residential units than reduced setbacks. She added that reducing the setback from ten feet to five feet is not going to give a significantly higher number of units, however it will give flexibility to open space layouts.

Chair Ali-Sullivan questioned staff regarding the Mission Boulevard code area, wanting clarification as to if these standards are already objective. Senior Planner Blanton responded



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that staff has started the process of going through the Downtown code and the Mission Boulevard code. They were both written more recently so they are already largely objective and include very detailed standards, which is why they haven't been the focus of this project. She continued that there is a short section with about five or six design standards in the Mission Boulevard code that are subjective. Associate Planner Richard added that the Mission Boulevard code says that a building must use similar materials to the surrounding ones, which is not objective. Ms. Blanton continued that the code requires a variation in form, which again, is not objective. She added that the question staff would like feedback on is do you think the language from the Residential code sections, the menus of options, a point system for architectural design, is appropriate to use for Mission Boulevard or does the Planning Commission think that it needs a different approach. Chair Ali-Sullivan responded that he doesn't have an answer, but he does think it references the question Commissioner Stevens was sort of alluding to regarding perhaps the architectural standards and what is subjective versus objective and wanting nice architecture along Mission Boulevard versus just meeting the base minimum requirements of housing.

Commissioner Stevens commented that Commissioner Lowe had him thinking about what she was saying about projects advancing through the review process and when they're constructed not actually looking like what was approved. He added how the crafty architects come up with all kinds of ways that are misleading. He thought it was great that there are objective standards that are listed. He said he looked at the multi-unit residential for four plus units and the facade design requirements and he thought if he was a developer and needed to pick three of the following elements, he would pick the four-inch window recesses, window molding that are four inches, and the two distinct building materials; noting that it is pretty easy to achieve versus all the other items on the list. He continued that it stated the use of at least three arches, columns, beams, or other features; as one could put an arch fixed to the edge of the building and call it good, as its objective, but seemed difficult to interpret. Ms. Blanton responded that they get a range of developers in Hayward, sometimes they get architects who make beautiful designs, and sometimes they get first time developers that are only looking to see if they meet requirements. She added that the struggle with objective design standards is that in order for them to be enforceable, they must be specific it has to be something that somebody who has no design background would understand to the same degree that staff would, as they cannot come to different interpretations. Ms. Blanton said that the project team has been going back and forth drafting standards, taking out standards, and revising standards. If there is anything that they can't meaningfully make objective, they have taken it out of the code. She added that this is their first pass and if there were any standards or options that the Commission would want to see, staff could potentially look into it. Commissioner Stevens said the number one thing would be to look at Los Gatos' code. He mentioned how he likes ratios - for instance, the windows should be twenty-five percent of the surface area, the ratio of the frame around the window should be ten percent or something along those lines. He said he thinks these design standards should apply to



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the Mission Boulevard code area as he thinks they would be aggregated, and everything would be made simple, and it would be a good approach.

Chair Ali-Sullivan opened the public comment period at 8:30 p.m.

Ms. Ro Aguilar, Hayward resident, commented that she would like to compliment staff on the revisions of the Residential Design Standards as she thought they did very good work as her husband and herself had given their input. Ms. Aguilar said she thought the direction it is going in is in line with the Strategic Plan and the goals and objectives of the City to build more diverse housing. She said the Strategic Plan, the Zoning Ordinance, the revision of the Density Bonus Ordinance all address inclusionary housing and the importance of inclusionary housing. She continued that most of this allows for more flexibility and building, and perhaps more inclusionary housing. She would like to encourage staff to review this draft in the lens of inclusionary housing to see if there were any designs which would discourage or work against inclusionary housing and see if they can modify those standards. Ms. Aguilar said she compliments the reduction in the setbacks, but if they could go to five feet that will help with the flexibility and inclusionary housing, as flexibility in building height definitely helps with inclusionary housing. She asked Staff if there was anything in the drafts that would discourage or hinder inclusionary housing, as it would be helpful to know given the importance of inclusionary housing in the City's Strategic Plan, Zoning Ordinance, and the Density Bonus revision.

Collin Thormoto, public speaker, and member of the Hayward Community Services Commission commented the changes proposed to encourage denser development in Hayward and simplify the Zoning Ordinance. Mr. Thormoto would like to congratulate City staff and the Consulting Group that worked on the new chart for residential zones as it is legible, and he loved it, however he does have some changes which he encourages the Planning Commission and City Staff to consider during the upcoming discussion. He continued that according to the resident satisfaction survey, housing and homelessness are top concerns, he mentioned that we are also in the midst of a climate breakdown due to carbon emissions, much of which in California are caused by motor vehicle use. He said zoning is a tool which can help tackle both of these issues simply by designing for people. He continued that these zones as they exist now are barrier to gradual and diversified development, since over twenty-thousand parcels are zoned for single family housing, and there is no way other than a Planned Development rezoning to do more than a triplex. It must include the additional massing restrictions, which allows One Step densification by right for example from duplex to quadruplex or two-story to a three-story but allow smaller developers to gradually create denser housing where it is needed without waiting a decade for Planned Development zones to create ultra-dense housing all at once. Mr. Thormoto said the smaller scale densification will be steady, gradual, and at smaller risk of failure or opposition due to the scale. He added the massing restriction that is proposed would prohibit the kind of pedestrian friendly areas that have historically



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existed from Kyoto to Istanbul to Prague to Boston and closed spaces approaching a one-to-one building height to street with ratio have been the norm. He continued that he admitted that people do not want grey boxes everywhere but there are some other ways of addressing this issue, providing examples of the Painted Ladies in San Francisco or Brown Stones in New York or Downtown Hayward; noting that these buildings are efficient, pedestrian friendly, and can be used for a variety of purposes without demolition. Mr. Thormoto urged the Planning Commission to consider expanding the allowable uses to encourage entrepreneurship and make neighborhoods properly walkable as the Housing Element highlighted most of the city is designated as low resource, according to the 2021 TCAC Opportunity Areas Report. He added that when he lived in South Hayward for a long time, the closest grocery store was in Union City. He said by expanding the allowable uses in historically residential areas, local stores and businesses can open where people are, encouraging walkability and neighborhood vibrancy. He said he appreciated the work done so far and encouraged the City to think broader on zoning and encourage the Planning Commission and staff to consider rethinking regulations to include pleasant walkable neighborhoods, expand allowable uses to encourage the development of neighborhood amenities, and to allow one step density increase by right to encourage gradual and coherent development. He added that these steps will ensure Hayward is built for the people who live within it, allowing housing for more people, making neighborhoods more livable, and make the City more environmentally friendly.

Chair Ali-Sullivan closed the public comment period at 8:37 p.m.

Commissioner Goodbody followed up on the public comments, expressing regard for thinking outside of the box and being creative with the use of neighborhood amenities, and thanked the speaker for the indication. She recommended to staff, as she referenced table four of the Staff Report on Residential Open Space Amenities and Associated Points Value, looking at indoor spaces giving the example of the Community Rooms. Ms. Goodbody said she noticed there are a lot of empty ground floor spaces in some of the previously approved projects and she wondered if those spaces could be used to provide services to the residents and the greater Hayward community. Alternatively, we could provide points for a satellite site of the Hayward Library, a Health Center, Chabot Las Positas College District, or Hayward Adult School. She thanked the speaker for the indication.

Chair Ali-Sullivan referenced the point allocation in table four in the staff report and wanted to know what is envisioned with the amphitheater with the seating for at least twenty-five people versus the co-working space with Wi-Fi, tables, seating, and a bathroom, or a basketball court as he assumed these would get much more use than an amphitheater. He questioned having indoor or outdoor amenities that are going to be used versus amenities that are nice to have but only used twice a year. He added that he thought it is important not to discourage an amphitheater, but this shouldn't be worth more points than other amenities, however he loved the point system mentioning that it has been talked about close to a year



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ago when the process started, and he couldn't wait to see it come to fruition.

Commissioner Garg commented that in regard to preparing for the future and preparing for environmental changes, she questioned staff how these design regulations would be impacted as she remembered from the Shoreline studies that in a number of different scenarios, many parts of Hayward would be subjected to ground water encroachment. She was curious as to whether this has been looked into as to how these design changes might take in affect or whether something needs to be done to ensure that new construction is prepared for scenarios that the City has already mapped out. Associate Planner Richard responded that unlike other communities in the Bay Area, the areas predominantly impacted by sea level rise and groundwater emergence are industrial or commercial throughout the city. Ms. Richard added that there are some policies in the Shoreline Adaptation Master Plan and now within the City's proposed Safety Element to create an update on the Floodplain Ordinance and to have higher finished floors or to think about requiring more bio retention, however none of those are included specifically in this project, but it is something that the City is thinking about.

Commissioner Patterson questioned staff about the TDM measures and trying to do behavior changes, whether there was a study that had been done about Hayward resident driving patterns, and how many people are commuting through the city versus outside to neighboring cities versus over a bridge, as she felt those things really impact whether you need a car. Ms. Patterson was curious as to if there was more knowledge it would help come up with strategies to support the realities of the community as things shift and change. Planning Manager Lochirco responded that the Alameda County Transportation Commission has been working very diligently for a lot of projects to come up with a menu of options for TDM, for instance a bus shelter in a location that doesn't have any service doesn't make any sense. Mr. Lochirco added that they have created a similar point system for projects that are required to reduce vehicle miles traveled that says if you lived in certain areas that would require you to drive because there is no other suitable option to get around. He added that then they would have to come up with other alternative means of transportation, such as adding bike lanes, or if you're a business providing employees passes to BART or some other sort of transit. He continued that is intended to be a suite of options with the realization that not every location is going to be suitable for every option. He said you wouldn't want to offer a BART pass to somebody who is four miles from a BART Station as that wouldn't give the same results because it would require that person to get into a car or get into some vehicle to get to the BART Station. He added that Alameda County has developed something like that, and the Public Works Department and Planning Division are also looking into something very similar as that was a part of the General Plan Update that was done a few years prior going from a trip generation model to a vehicle miles travel model, as it all filters into the TDM strategy. He said there were a lot of great examples as he wouldn't necessarily compare Hayward to San Francisco in terms of success of TDM because Hayward is still a quasi-suburban community



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that does not have the same kind of infrastructure; however, that doesn't say that ten years from now that doesn't change. He said he does agree there are a lot of studies and he thought that is the basis and vision for some of the recommendations however they are not quite there yet. Senior Planner Blanton added that the scope of this is limited to make residential standards objective, and the Public Works Department has it on their long-term plan to develop a citywide TDM program. Ms. Blanton added that they have referenced some best practices with other counties and other cities but going into much more detail at this point is not appropriate for this project, but it could be for the next full body TDM program.

Commissioner Garg responded that because these are design standards that will be in place for decades, she would like to see the next iteration of this process, as she doesn't want the idea of putting TDM parking reduction options into these designs right now. Ms. Garg continued that she felt the Planning Commission staff had asked a lot of questions on how to design for today and the future and would love to see some more creativity. She added if it can be procedural and then have a five-year review or something along those lines. She thought about what the speaker said in the public comments and the reality for this area both from a climate preparedness standpoint and livability standpoint as traffic is horrible and we would want to be mindful of how it impacts residents today.

Chair Ali-Sullivan questioned staff if there was any thought for the TDM piece in creating a similar point allocation system as a suite of TDM measures. Mr. Ali-Sullivan added for instance, if you do two things you will get a ten percent reduction or if you do four things you will get a fifteen percent reduction.

Senior Planner Blanton commented that they have a lot of clarity on the five questions that were presented to the Planning Commission. Ms. Blanton said there are two things they would like more direction on regarding the small lot single family residential project and if the Planning Commission was supportive in staff developing some sort of system or streamlined process for small lot single family or if there are any concerns about it. She also questioned what Commissioner Stevens brought up about exploring points for the architectural design detail standards, asking if they were supportive given the example that instead of having a menu of options and saying to pick three instead saying this option is worth ten points, another option is worth five points, or something that is more weighted like the proposed open space standards. The Commission expressed support for both the future development of small lot subdivision standards and for converting the façade design standards into a point system. She added that staff will work on some revisions for the next time they come back to the Planning Commission for the adoption hearings as they will be making a recommendation to the City Council; stating that if staff didn't get it right, if Planning Commission had some suggestions for them, they could make those changes before the final version of the document gets to the City Council.



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APPROVAL OF MINUTES

2. Minutes of the Planning Commission Meeting on June 22, 2023 **(MIN 23-087)**

A motion was made by Commissioner Goodbody, seconded by Commissioner Stevens, to approve the meeting minutes of June 22, 2023, as amended.

The motion passed with the following roll call votes:

AYES:	Commissioners Garg, Goodbody, Lowe, Patterson, Stevens Chair Ali-Sullivan
NOES:	None
ABSENT:	None
ABSTAIN:	None

COMMISSION REPORTS

Oral Report on Planning and Zoning Matters

Planning Manager Lochirco said that City Council had taken action earlier that week and they completed their interviews of a potential Planning Commissioner for the one vacancy and selected an alternate. Mr. Lochirco added that the candidate will be sworn in at the City Council meeting on September 12, 2023, and congratulated the three existing Planning Commissioners that received reappointments and will continue serving on the Hayward Planning Commission. He continued that the next Planning Commission meeting will be September 14, 2023, and the new Planning Commissioner will be joining, as they currently have two items for consideration as both projects have been in the works for quite some time, and he looked forward to bringing them forward to the Planning Commission for action. He hoped everyone has a wonderful and safe Labor Day coming up and hopes everyone had a wonderful and safe summer.

Commissioners' Announcements, Referrals

Chair Ali-Sullivan commented that it felt good to be back as it had been a long couple of months and is happy to see everyone and looks forward to having a full house in three weeks with all seven Planning Commissioners.

ADJOURNMENT

Chair Ali-Sullivan adjourned the meeting at 8:54 p.m.



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APPROVED:

Anika Patterson, Secretary
Planning Commission

ATTEST:

Amber Parras
Planning Commission Secretary
Office of the City Clerk