



CITY OF HAYWARD

Hayward City Hall
777 B Street
Hayward, CA 94541
www.Hayward-CA.gov

Agenda Council Economic Development Committee

Monday, June 3, 2024

5:00 PM

**Conference Room 2A and
Virtual Platform (Zoom)**

NOTICE: The Council Economic Development Committee will hold a meeting in Conference Room 2A.

PUBLIC PARTICIPATION

How to submit written Public Comment:

Send an email to economic.development@hayward-ca.gov by 2:00 p.m. the day of the meeting. Please identify the Agenda Item Number in the subject line of your email. Emails will be compiled into one file, distributed to the Council Economic Development Committee and staff, and published on the City's Meeting & Agenda Center under Documents Received After Published Agenda. Written comments received after 2:00 p.m. that address an item on the agenda will still be included as part of the record.

How to provide live Public Comment during the meeting;

Participate in person Hayward City Hall, Conference Room 2A, 777 B Street, Hayward, CA 94541.

Please click the link below to join the webinar:

[https://hayward.zoom.us/j/82748169783?](https://hayward.zoom.us/j/82748169783?pwd=h6NbtDp0iOXHTBVnMphTvquYLyYOlX0ozw.9RX-nqh8xrB3WLaF)

[pwd=h6NbtDp0iOXHTBVnMphTvquYLyYOlX0ozw.9RX-nqh8xrB3WLaF](https://hayward.zoom.us/j/82748169783?pwd=h6NbtDp0iOXHTBVnMphTvquYLyYOlX0ozw.9RX-nqh8xrB3WLaF)

Webinar ID: 827 4816 9783

Password: CEDC-6/3!

Or join by phone:

US: +1 669 900 6833 or +1 646 931 3860

Webinar ID: 827 4816 9783

Password: 710365602

International numbers available: <https://hayward.zoom.us/j/82748169783?pwd=h6NbtDp0iOXHTBVnMphTvquYLyYOlX0ozw.9RX-nqh8xrB3WLaF>

CALL TO ORDER

AB 2449 TELECONFERENCE NOTIFICATIONS AND CONSIDERATION

ROLL CALL

PUBLIC COMMENTS:

The Public Comments section provides an opportunity to address the Council Economic Development Committee on items not listed on the agenda. The Council Economic Development Committee welcomes comments and requests that speakers present their remarks in a respectful manner, within established time limits, and focus on issues which directly affect the City or are within the jurisdiction of the City. As the Council Economic Development Committee is prohibited by State law from discussing items not listed on the agenda, items will be taken under consideration and may be referred to staff.

The Council Economic Development Committee welcomes comments, including criticism, about the policies, procedures, programs, or services of the City, or of the acts or omissions of the Council Economic Development Committee. Speakers shall not use threatening, profane, or abusive language which disrupts, disturbs, or otherwise impedes the orderly conduct of a meeting. The City is committed to maintaining a workplace free of unlawful harassment and is mindful that City staff regularly attend public meetings.

Discriminatory statements or conduct that is hostile, intimidating, oppressive, or abusive – are per se disruptive to a meeting and will not be tolerated.

APPROVAL OF MINUTES

1. [MIN 24-059](#) Approval of the April 29, 2024 Special Meeting Minutes

Attachments: [Attachment I Draft Minutes from the April 29, 2024 Special CEDC Meeting](#)

REPORTS/ACTION ITEMS

2. [ACT 24-040](#) Approval of Fiscal Year 2025 CEDC Regular Meeting Schedule

Attachments: [Attachment I FY25 Draft CEDC Regular Meeting Schedule](#)

3. [RPT 24-042](#) Introduction to East Bay Small Business Development Center's Small Business Finance Assistance Program (Oral Report Only)

4. [WS 24-017](#) Preliminary Concept Review of a Major Site Plan Review Application to Construct a Three-Story Data Center, Generator Yards, Substation, Switching Yard, and Related Accessory Structures on an Approximately 11-Acre Site Located at 26062 Eden Landing Road (Assessor Parcel Nos. 461-0085-052-01 and 461-0085-016-00). Application SPR-23-0036; Miles Kersten for STACK Infrastructure (Applicant) on behalf of SI SVYL3 LLC (Owner).

Attachments: [Attachment I Staff Report](#)
 [Attachment II Project Plans](#)
 [Attachment III Conceptual Screening](#)
 [Attachment IV Public Benefits Package](#)
 [Attachment V Sustainability Plan](#)
 [Attachment VI Draft HASPA Board Meeting Minutes - 2.8.24](#)

FUTURE AGENDA ITEMS

5. [RPT 24-043](#) Future Meeting Topics as of June 3, 2024

Attachments: [Future Meeting Topics as of June 3, 2024](#)

COMMITTEE MEMBER/STAFF ANNOUNCEMENTS AND REFERRALS

ADJOURNMENT



CITY OF HAYWARD

Hayward City Hall
777 B Street
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File #: MIN 24-059

DATE: June 3, 2024

TO: Council Economic Development Committee

FROM: Chief Economic Development Officer

SUBJECT

Approval of the April 29, 2024 Special Meeting Minutes

RECOMMENDATION

That the Committee members review and approve the attached draft Minutes from April 29, 2024 Special Meeting.

ATTACHMENTS

Attachment I Draft Minutes from the April 29, 2024 CEDC Meeting



COUNCIL ECONOMIC DEVELOPMENT COMMITTEE

MEETING MINUTES – April 29, 2024

CALL TO ORDER: Council Member Andrews called the special meeting to order at 5:32 p.m.

ATTENDANCE: (October 2023-July 2024)

Meeting Attendees	Present 4/29/24	All Meetings Year to Date		Meetings Mandated By Resolution	
		Present	Absent	Present	Absent
Mayor Salinas	✓	6	0	6	0
Council Member Andrews	✓	5	1	5	1
Council Member Bonilla	✓	6	0	6	0

OTHERS IN ATTENDANCE:

Kelly McAdoo, City Manager; Paul Nguyen, Chief Economic Development Officer; Daniel Mao, Economic Development Specialist; Amber Green, Economic Development Specialist; Phillip Nichols, Code Enforcement Manager; Sara Buizer, Director of Development Services; Chuck Finnie, Communications & Marketing Officer; Melissa Burkley, Management Analyst I; Byron Tang, Senior Transportation Engineer; Hugh Louch, Deputy Director of Public Works; Javier Castro, Community Programs Specialist; Mary (Online Attendee)

PUBLIC COMMENTS

There were none.

1. APPROVAL OF MINUTES OF REGULAR MEETING March 4, 2024

A motion to approve the minutes from March 4, 2024, Regular Meeting was made by Council Member Bonilla and seconded by Council Member Andrews.

3. Downtown Action Plan Working Group (Oral Update)

The Committee elected to move up agenda item number three before item number two due to Mayor Salinas arriving late.

City Manager Kelly McAdoo provided the presentation to the committee.

Council Member Bonilla asked who is leading this working group. City Manager McAdoo stated Chief Economic Development Officer Paul Nguyen is facilitating the meetings with support from department directors.

Council Member Bonilla asked if Council Members will see the action plan before the work begins. Chief Economic Development Officer Nguyen stated that staff will provide a short memo to Council Members.

Council Member Bonilla asked about the status of the old City Hall Building. City Manager McAdoo stated the old City Hall sits on the Hayward fault line, which makes some things difficult. She added the building is a historical building so plans can include keeping the façade of the building and building behind the old City Hall. She stated that the City has other property we should prioritize for redevelopment.

Council Member Bonilla thanked City Manager McAdoo.

Council Member Andrews thanked staff for being part of the working group.

Council Member Andrews stated if the Downtown Hayward Improvement Association (DHIA) can be consistent with their programming, and they are great at supporting downtown events. Development Services Director Sara Buizer, who serves as a Board Member of DHIA, asked for Council Member Andrews to clarify what type of Programming. Director Buizer clarified that DHIA does not do community events and the DHIA has a third-party contract with District Works, who provides the sidewalk cleaning of Downtown. She added that DHIA has only been fiscal sponsors to events.

Council Member Andrews stated if DHIA is planning to provide events in the future, a calendar of events would be useful. Development Services Director Buizer stated when a special events permit comes to the City, staff informs the City Clerk and the Community & Media Relations Team to relay the message citywide.

Council Member Andrews stated the playground across Heritage Plaza was well used. She added that a splash pad or play structure would be options to replace the water fountain in front of City Hall.

Council Member Andrews suggested creating designated spaces for third party delivery drivers to park on B street, and the new food hall on A street.

Council Member Andrews asked how the Downtown Action Plan Working Group correlates with the Lean Innovation Working Group. Economic Development Specialist Daniel Mao stated the Downtown Action Plan Working Group is a product of the Lean Innovation Working Group.

Council Member Andrews reiterated the old City Hall needs to have something done to activate it.

2. Review Draft of Cinema Place Economic Analysis Scope of Work

City Manager McAdoo provided the presentation to the committee.

Council Member Andrews asked how many movie screens were operating at Cinema Place. She stated that the analysis should explore the potential for developers to take half the number of screens for

other uses. She added that she wanted the analysis to identify what other uses would be complementary to existing uses in the Downtown.

City Manager McAdoo read aloud the last paragraph of the scope of work and stated it could be more explicit in asking if the current number of screens is the correct amount want would be the ideal number of screens. Council Member Andrews stated that a sports entertainment use would be a great addition.

Council Member Bonilla stated that the scope of work encompasses a broad range of topics.

Mayor Salinas stated there is no space in the City that is loaded with amenities for high level performing arts. City Manager McAdoo stated that large corporate-owned movie theaters were not performing well and that a smaller privately-owned theater might do better. She added that is why starting the analysis is important.

City Manager McAdoo reminded CEDC members that Cinemark still holds a lease for the theater space. Any event or alternative use in that leasehold area would need to be negotiated with Cinemark.

Mayor Salinas stated he wanted to set standards of the retail that are located on Cinema Place including lighting, aesthetics, and decorations. City Manager McAdoo stated the Council Economic Corporation could require tenants to meet uniformity requirements. However, she cautioned that the tenants would likely ask for funds to comply.

4. FUTURE MEETING TOPICS

Council Member Andrews questioned what is happening with the coffee space at the Downtown Library. Chief Economic Development Officer Nguyen stated that the city plans to put out an RFP for that space and the Stack Center.

Community & Media Relations Officer Chuck Finnie asked what type of information the CEDC would like for a future division update. Chief Economic Development Officer Nguyen stated Council Member Bonilla and Andrews wanted information on city branding city wide particularly in the industrial area.

The CEDC committee stated they would like to see the update on the branding of the City and how it is being utilized by the city organization and community.

COMMITTEE MEMBER/ STAFF ANNOUNCEMENTS AND REFERRALS

Economic Development Specialist Mao announced that a new restaurant called Khao Hom is conducting their soft opening. Located on Foothill Boulevard in the former Siam Palace space, this restaurant features a modern Thai Fusion menu and a fully renovated the space.

Council Member Andrews announced Tea Villa in SoHay is in its soft opening.

Economic Development Specialist Amber Green announced Alma's Creations new sign was installed at her new location on B street.

Chief Economic Development Officer Nguyen announced the Innovation Festival at Cal State East Bay was occurring on May 1. The inaugural event is described as the largest tech event in Hayward.

Chief Economic Development Officer Nguyen announced the Economic Development team won two awards from the California Association for Local Economic Development. The first award was for the Together for Hayward Gift Card program, which positively impacted small businesses and incorporated economic equity and inclusion. The second award was for the Learn to Earn Tuition Assistance program. Staff will provide a more robust update on this program to CEDC later this year.

ADJOURNMENT: The meeting was adjourned at 6:23 p.m.



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777 B Street
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File #: ACT 24-040

DATE: June 3, 2024

TO: Council Economic Development Committee

FROM: Chief Economic Development Officer

SUBJECT

Approval of Fiscal Year 2025 CEDC Regular Meeting Schedule

RECOMMENDATION

That Committee Members review and approve the attached Fiscal Year 2025 Council Economic Development Committee Regular Meeting Schedule.

ATTACHMENTS

Attachment I FY25 Draft CEDC Regular Meeting Schedule



COUNCIL ECONOMIC DEVELOPMENT COMMITTEE 2024-2025 REGULAR MEETING SCHEDULE

Meeting Location: CITY HALL
2ND FLOOR, CONFERENCE ROOM 2A/ZOOM (Hybrid meetings)
777 B STREET
HAYWARD, CALIFORNIA

Meeting Time: 5:00-6:30 P. M.

Meeting Dates: The Council Economic Development Committee meets on the first Monday of each month except where noted otherwise.

~~August 5, 2024~~ Canceled

~~September 2, 2024~~ Canceled

October 7, 2024

November 4, 2024

December 2, 2024

~~January 6, 2025~~ Canceled

February 3, 2025

March 3, 2025

April 7, 2025

May 5, 2025

June 2, 2025

July 7, 2025



File #: RPT 24-042

DATE: June 3, 2024

TO: Council Economic Development Committee

FROM: Chief Economic Development Officer

SUBJECT

Introduction to East Bay Small Business Development Center's Small Business Finance Assistance Program (Oral Report Only)

RECOMMENDATION

That the Council Economic Development Committee receives the presentation from Dr. Nancy Mangold, Executive Director of the East Bay Small Business Development Center (SBDC). Dr. Mangold will provide an overview of the SBDC and the center's Small Business Finance Assistance Program.

SUMMARY

The East Bay Small Business Development Center (SBDC), located at Cal State East Bay and funded by the US Small Business Administration (SBA), is part of the greater NorCal SBDC network. This network provides entrepreneurs and small businesses with the tools and support needed to start and grow their businesses. The East Bay SBDC focuses on providing free advisement to clients located in the Alameda and Contra Costa County.

Access to capital is the most common challenge for entrepreneurs. Most entrepreneurs obtain funding through a range of sources including private banks, investment groups and the US SBA. To help businesses secure financing, the East Bay SBDC created a series of free training workshops entitled, "Raising Capital for Small Business". The Center also offers free advisors to assist businesses secure different types of financing. Combined, this training and one-on-one technical assistance connects entrepreneurs with investors and banks. In April, the East Bay SBDC held a "Capital Summit" in Hayward, which brought together East Bay's leading lenders and taught valuable insights on securing capital and funding.

At the June CEDC meeting, Dr. Nancy Mangold, Executive Director for the East Bay SBDC will provide an overview of the Center's suite of services with an emphasis on programming available to help entrepreneurs access capital. These services and financial expertise far outweigh the financial technical assistance, grants, and loan funds that local public agencies can provide. The East Bay SBDC partners with Economic Development staff, who often refer entrepreneurs to the SBDC to obtain support with

financing and other resources. In 2023, the East Bay SBDC has assisted 1,700 small businesses. The center assisted East Bay small business raise debt or equity financing totaling \$137 million in 2022, \$35 million in 2023, and \$44 million in the first half of 2024.

Dr. Mangold served as a professor at Cal State East Bay for 38 years and Interim Dean for the College of Business and Economics in 2021 and 2022. She was appointed by the World Bank as a Special Consultant to China's Central Bank (People's Bank of China) in 2001-2002 and conducted Senior Bankers' Training for Chinese bank executives for over 10 years. She was appointed an Academic Fellow at the U.S. Securities and Exchange Commission that oversee all publicly listed companies in the U.S. in 2009-2010.



File #: WS 24-017

DATE: June 3, 2024

TO: Council Economic Development Committee

FROM: Development Services Director

SUBJECT

Preliminary Concept Review of a Major Site Plan Review Application to Construct a Three-Story Data Center, Generator Yards, Substation, Switching Yard, and Related Accessory Structures on an Approximately 11-Acre Site Located at 26062 Eden Landing Road (Assessor Parcel Nos. 461-0085-052-01 and 461-0085-016-00). Application SPR-23-0036; Miles Kersten for STACK Infrastructure (Applicant) on behalf of SI SVYL3 LLC (Owner).

RECOMMENDATION

That the Council Economic Development Committee (CEDC) review and provide general feedback to the applicant and staff on the proposed Major Site Plan Review application along with specific direction on the proposed public benefits package.

SUMMARY

This Work Session provides the CEDC and members of the public an opportunity to review the preliminary plans for a proposed data center campus on an 11-acre site on Eden Landing Road. The proposed development includes the demolition of nine single-story industrial and office buildings totaling approximately 165,000 square feet and the construction of a three-story 310,000 square foot data center building, a secondary single-story 15,000 square foot data center building, a security guard station, two generator yards, an on-site substation and switching yard, and related site improvements.

As the site exceeds 10 acres, Major Site Plan Review is required. In addition, the applicant is requesting consideration of a building height increase to 100 feet for the primary data center building. While the proposed height exceeds the maximum height allowed in the Industrial Park zoning district, the approving authority may allow greater heights through the Major Site Plan Review process when it is found that the increase is necessary to provide a more beneficial site layout or if it will result in public amenities that could not be achieved under current zoning standards.

No formal action is being requested at this time. The project will be brought before the Planning Commission at a work session later this year and then again for a public hearing once the application review process and environmental analysis are complete.

ATTACHMENTS

Attachment I	Staff Report
Attachment II	Project Plans
Attachment III	Conceptual Screening Options
Attachment IV	Public Benefits Package
Attachment V	Sustainability Plan
Attachment VI	Draft HASPA Board Meeting Minutes - 2/8/24



DATE: June 3, 2024

TO: Council Economic Development Committee

FROM: Development Services Director

SUBJECT: Preliminary Concept Review of a Major Site Plan Review Application to Construct a Three-Story Data Center, Generator Yards, Substation, Switching Yard, and Related Accessory Structures on an Approximately 11-Acre Site Located at 26062 Eden Landing Road (Assessor Parcel Nos. 461-0085-052-01 and 461-0085-016-00). Application SPR-23-0036; Miles Kersten for STACK Infrastructure (Applicant) on behalf of SI SVYL3 LLC (Owner).

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As the site exceeds 10 acres, Major Site Plan Review is required. In addition, the applicant is requesting consideration of a building height increase to 100 feet for the primary data center building. While the proposed height exceeds the maximum height allowed in the Industrial Park zoning district, the approving authority may allow greater heights through the Major Site Plan Review process when it is found that the increase is necessary to provide a more beneficial site layout or if it will result in public amenities that could not be achieved under current zoning standards.

No formal action is being requested at this time. The project will be brought before the Planning Commission at a work session later this year and then again for a public hearing once the application review process and environmental analysis are complete.

BACKGROUND

Existing Conditions. The proposed project site is located at 26062 Eden Landing Road, immediately south of Highway 92. It is comprised of two parcels on approximately 11 acres. The site is currently the location of the Eden Landing Business Park, which consists of nine single-story buildings, totaling approximately 165,000 square feet, that house office and light industrial uses.

Surrounding land uses include manufacturing, biotech, contractor services, offices, and other types of industrial uses to the south, east and west. A thin strip mall with food and personal service uses is located directly to the north, between the site and Highway 92.

HASPA Board of Directors Meeting. A brief overview of the proposed development was presented to the Hayward Area Shoreline Planning Agency (HASPA) Board of Trustees at their February 8, 2024 meeting. As shown in the meeting's draft minutes, included as Attachment VI, the Trustees suggested that the applicant contribute toward the renovation of the Hayward Shoreline Interpretive Center as part of their proposed Public Benefits Package (Attachment IV). In addition, they showed support for the inclusion of public art and improved connections to the nearby shoreline trails.

PROJECT DESCRIPTION

Proposed Project: The project proposes to demolish all nine of the existing buildings on site to construct a new data center campus with a three-story 310,000 square foot data center building, a secondary single-story 15,000 square foot data center building, a security guard station, two generator yards with 28 diesel generators, and an on-site substation and switching yard. In addition, site improvements include new landscaping, stormwater infrastructure, site circulation and parking. The project plans are included as Attachment II.

Screening. Significant screening will be required around the generator yards, substation, and switching yard that face Production Avenue, Eden Landing Road, and Highway 92. At this early phase of the review process, the applicant has provided conceptual designs for potential screening options, which are included in Attachment III. The initial options considered include artistic blue and grey metal slats that are designed to look like waves, suggestive of the Hayward shoreline and hills.

Sustainability Plan. The required Sustainability Plan for the project is included as Attachment V. The Plan shows that the project will meet the requirements of CALGreen and the California Energy Code standards for energy efficiency. It will also be required to meet the City's requirements with respect to water-efficient landscaping and the Municipal Regional Stormwater Permit requirements regarding storm water runoff prevention and treatment. Throughout the project review process, the applicant will be working with the City's Environmental Services Division to revise and finalize this plan.

POLICY CONTEXT AND CODE COMPLIANCE

Hayward 2040 General Plan: The project site has an *Industrial Corridor* General Plan land use designation, which allows for a range of primary uses, including professional offices, corporate campuses, research and development, warehousing and logistics, manufacturing, bio-technology and high-technology uses.¹ As proposed, the project meets the general intent of the Industrial Corridor land use designation.

Zoning Ordinance: The project site is located in the Industrial Park (IP) zoning district.² The IP zoning district is intended to provide areas for high technology, research and development, and industrial activities in an industrial park or campus-like atmosphere. Data centers are considered to be office uses per the Zoning Ordinance definitions,³ and thus are allowed by right in the IP district.

The proposed project is generally consistent with the requirements of the IP zoning districts, with one notable exception. The applicant is seeking a height of 100 feet for the primary data center building (108 feet up to the rooftop penthouse for mechanical equipment), which exceeds the 75-foot height limit in the IP zoning district. Section 10-1.1604 of the Hayward Municipal Code⁴ allows for increased building heights within the IP zoning district through Major Site Plan Review approval where the approving authority finds that the increase is necessary to provide a more beneficial site layout or will result in public benefits/amenities that could not be achieved under current zoning standards.

As shown in Attachment IV, the applicant's proposed Public Benefits Package includes financial contributions to the City for various City funds, projects, and programs, including the Gateway Marker Project (\$300,000), La Vista Park (\$300,000), Small Business Grant Program (\$200,000), Hayward Area Shoreline Planning Agency (\$100,000), HUSD STEAM Showcase (\$100,000), and other programs aimed at City sustainability goals and awareness (\$100,000). In addition, the applicant is exploring conceptual designs for artistic screening of the proposed substation and switching yard, which would be visible from Highway 92 (Attachment IV).

STAFF ANALYSIS

To date, the application has completed two rounds of review by City staff and is deemed incomplete due to a number of "punchlist" correction items that need to be addressed. The plans and documents included as attachments to this staff report reflect the second official submission from the applicant, which was received in late February of this year and a revised Public Benefits Package received in May.

¹ Hayward 2040 General Plan: https://www.hayward-ca.gov/sites/default/files/documents/General_Plan_FINAL.pdf

² Hayward Municipal Code Section 10-1.1600, Industrial Districts:

https://library.municode.com/ca/hayward/codes/municipal_code?nodeId=HAYWARD_MUNICIPAL_CODE_CH10PLZOSU_ART1ZOOR_S10-1.1600INDI

³ Hayward Municipal Code Section 10-1.3500, Definitions:

https://library.municode.com/ca/hayward/codes/municipal_code?nodeId=HAYWARD_MUNICIPAL_CODE_CH10PLZOSU_ART1ZOOR_S10-1.3500DE

⁴ HMC Section 10-1.1604, Development Standards:

https://library.municode.com/ca/hayward/codes/municipal_code?nodeId=HAYWARD_MUNICIPAL_CODE_CH10PLZOSU_ART1ZOOR_S10-1.1600INDI_S10-1.1604DEST

At this early stage in the review process, staff would like feedback from the CEDC on the following items:

1. Public Benefits Package. As noted above, the applicant is seeking a height of 100 feet for the primary data center building, which exceeds the maximum allowable height in the IP zoning district of 75 feet. Per the Zoning Ordinance, the approving authority may allow for increased building heights if it deems that the increase is necessary to provide a more beneficial site layout or will result in public benefits/amenities that could not be achieved under current zoning standards.

Staff has had multiple discussions with the applicant team on the proposed Public Benefits Package, and the latest draft is included as Attachment IV. In our discussions, the applicant team has expressed their concerns about ensuring security at the very constrained project site and as a result their preference for funding off-site programs to benefit the public. Staff is generally supportive of the suggested program contributions, but has urged the applicant to consider if there are additional built improvements, such as improved streetscapes, enhanced public art elements, or other nearby built improvements that could be incorporated into the project.

At this juncture, staff would like the CEDC's feedback on the current Public Benefits Proposal and whether it is sufficient to warrant the requested height increase, especially given the close proximity and high visibility of the proposed data center building from Highway 92 and the Hayward shoreline. If not, what changes or additional components does the CEDC recommend?

2. Other Comments. Does the CEDC have any other comments on the preliminary plans for this project?

NEXT STEPS

Following this CEDC Work Session, the project will be presented at a Planning Commission Work Session for further feedback on the Public Benefits Package and project design. Once the application review process and the environmental analysis are complete, staff will return to the Planning Commission for a final determination at a public hearing.

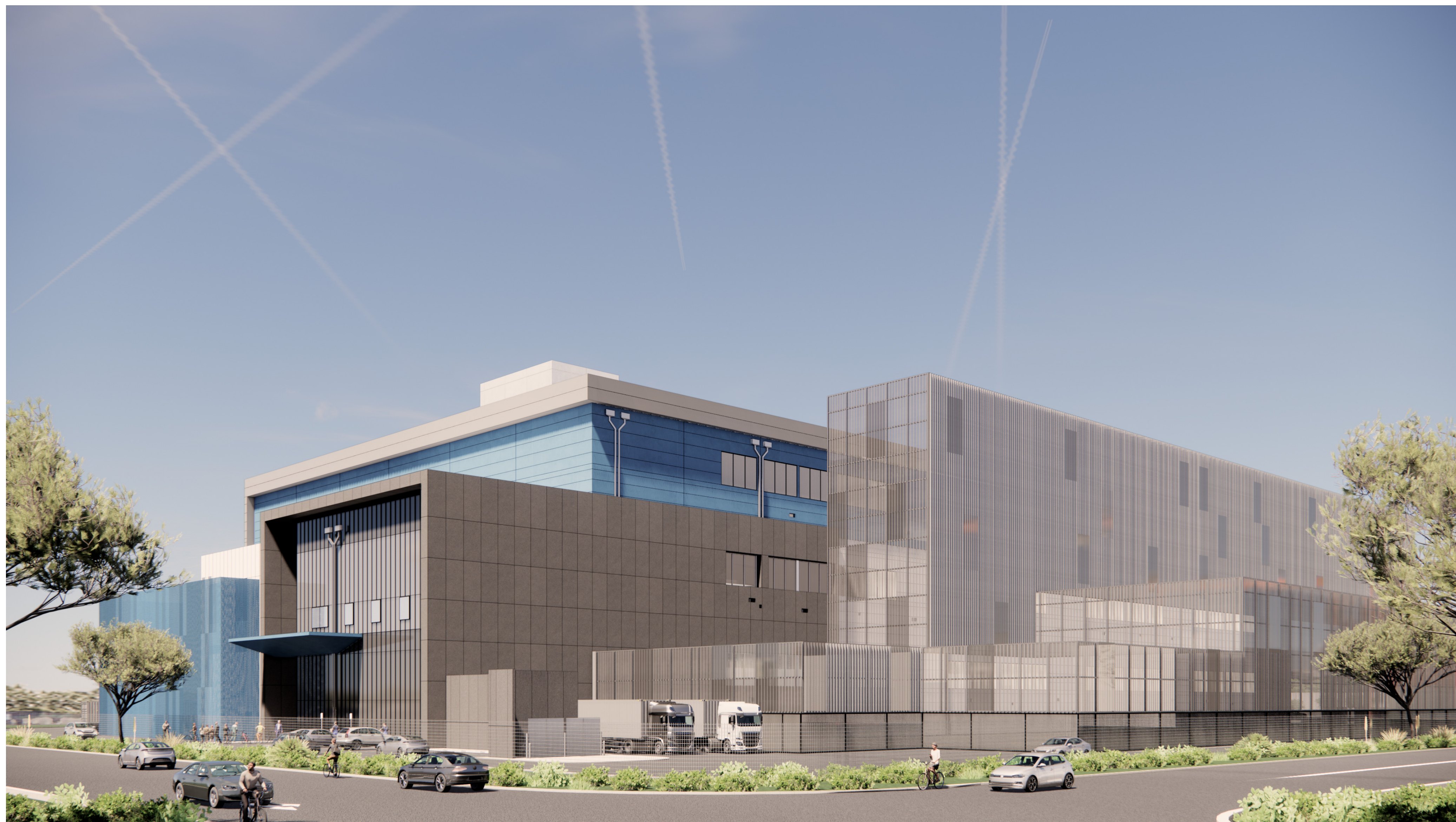
Prepared by: Elizabeth Blanton, AICP, Senior Planner

Recommended by: Sara Buizer, Development Services Director
Paul Nguyen, Chief Economic Development Officer

Approved by:

A handwritten signature in blue ink, consisting of a stylized 'D' followed by a horizontal line and a small loop.

Dustin Claussen, Interim City Manager



PERSPECTIVE VIEW



PERSPECTIVE VIEW

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET
APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS
SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER
DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE
CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS
PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL
RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS
NOT EXHIBITING THIS SEAL.

ISSUE DATE:	PROJECT NO: 25691.000
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DESIGNED: HKS	ARCHITECT: HKS
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MARK	DATE	DESCRIPTION
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MIKE YOUNG	REY BERNARDINO
(312) 372-1200	(312) 551-8612
233 South Wacker Drive	233 South Wacker Drive
Suite 5300	Suite 5300
Chicago, Illinois 60606	Chicago, Illinois 60606

CIVIL ENGINEER KIMLEY HORN ANTHONY VERA (925) 398-4840 4637 Chabot Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street Dallas, Texas 75201
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ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
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TELECOM ENGINEER	SECURITY ENGINEER
ESD GLOBAL	GUIDEPOST
TODD GRIMES	JON JOLIBOIS
(312) 372-1200	(415) 616-8822
233 South Wacker Drive	315 Montgomery Street
Suite 5300	10th Floor
Chicago, Illinois 60606	San Francisco, California

PROJECT:	BUILDING A SHELL
TITLE:	ARCHITECTURAL ELEVATION
DRAWING:	

DRAWING:		A608	
E1	SCALE:	AGILE No:	

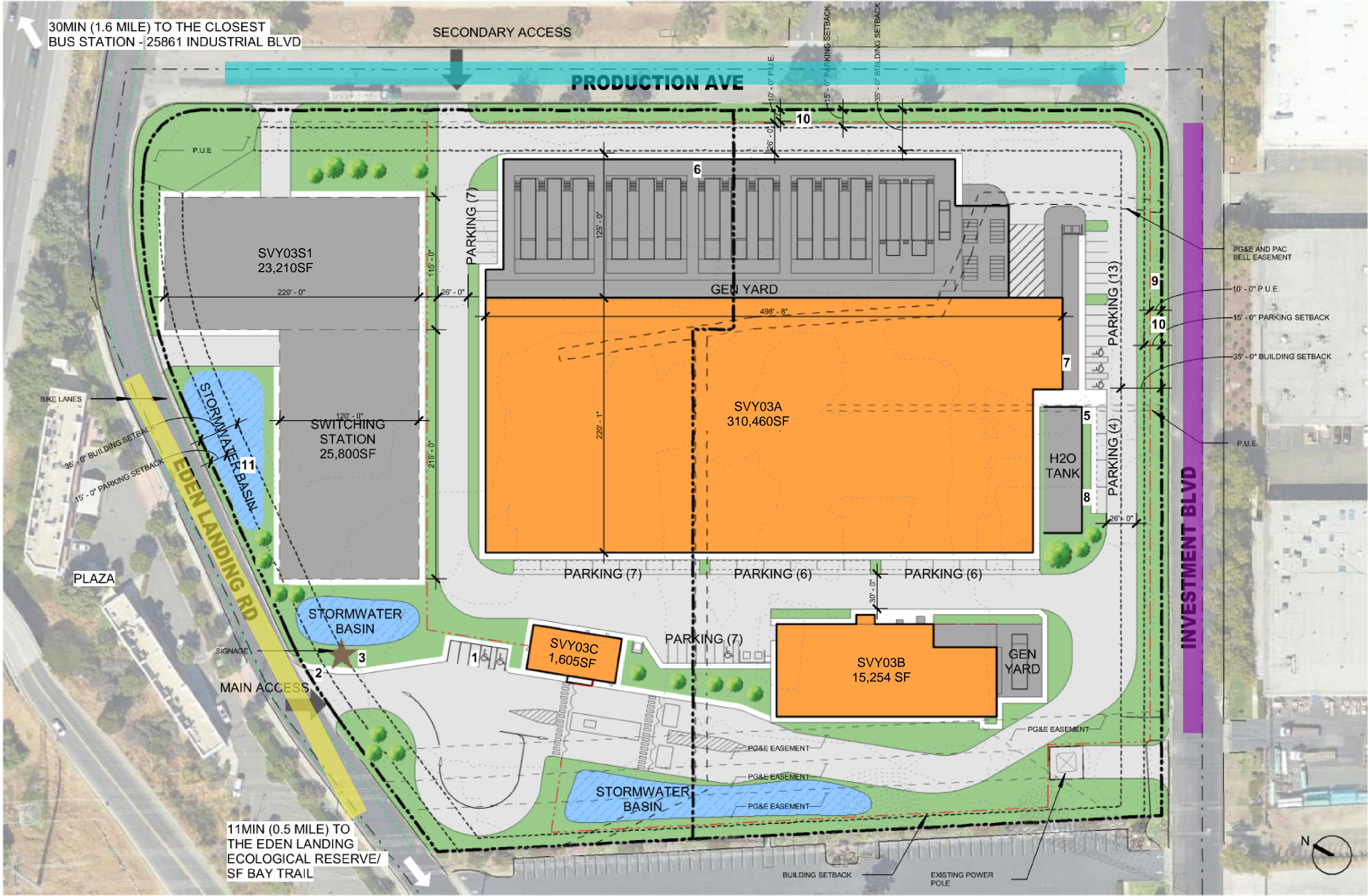
PROJECT:	BUILDING A SHELL
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TITLE: ARCHITECTURAL ELEVATION

DRAWING: A608

E1	SCALE:	AGILE No:
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SITE PLAN



FAR: 0.67
REQUIRED PARKING: 182 Spaces
PARKING PROVIDED: 64 Spaces
% LANDSCAPE: 33%



SVY03 STACK HAYWARD DATA CENTER

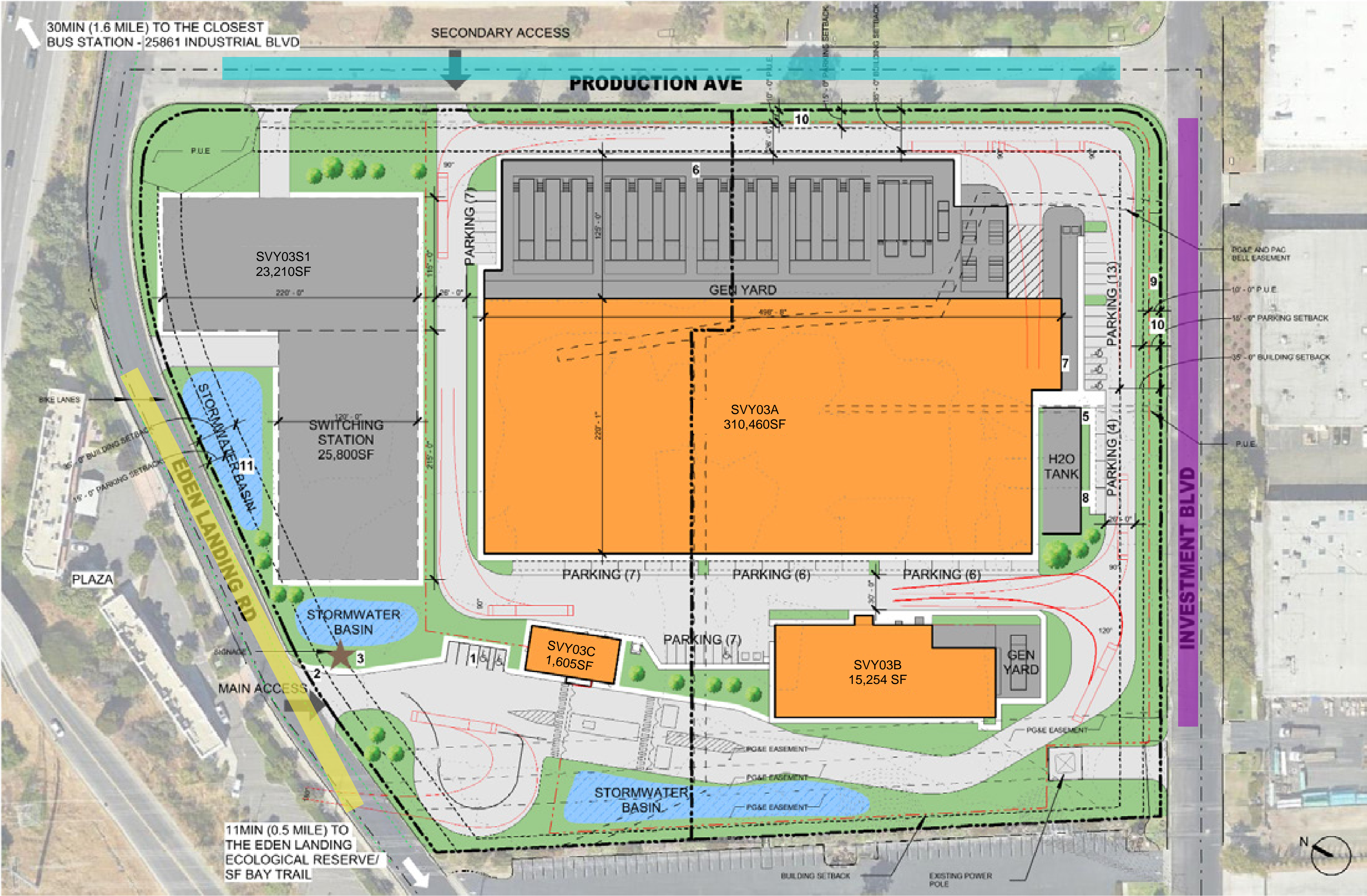
SITE PLAN - WB67 TURNING



PRODUCTION AVE



EDEN LANDING RD



INVESTMENT BLVD

SVY03 STACK HAYWARD DATA CENTER

PRECEDENCE - STACK PROJECTS



MATERIALS: METAL PANELS
GLAZING: TINTED
COLORS: LIGHT GREY, WHITE



MATERIALS: METAL PANELS, CONC PANELS
GLAZING: SPANDREL, TINTED
COLORS: SILVER, WHITE, DARK ACCENTS



MATERIALS: METAL PANELS
GLAZING: SPANDREL, TINTED
COLORS: GREY, BLUE, DARK ACCENTS



MATERIALS: METAL PANELS, CONC PANELS
GLAZING: SPANDREL, TINTED
COLORS: SILVER, BEIGE, BROWN ACCENTS

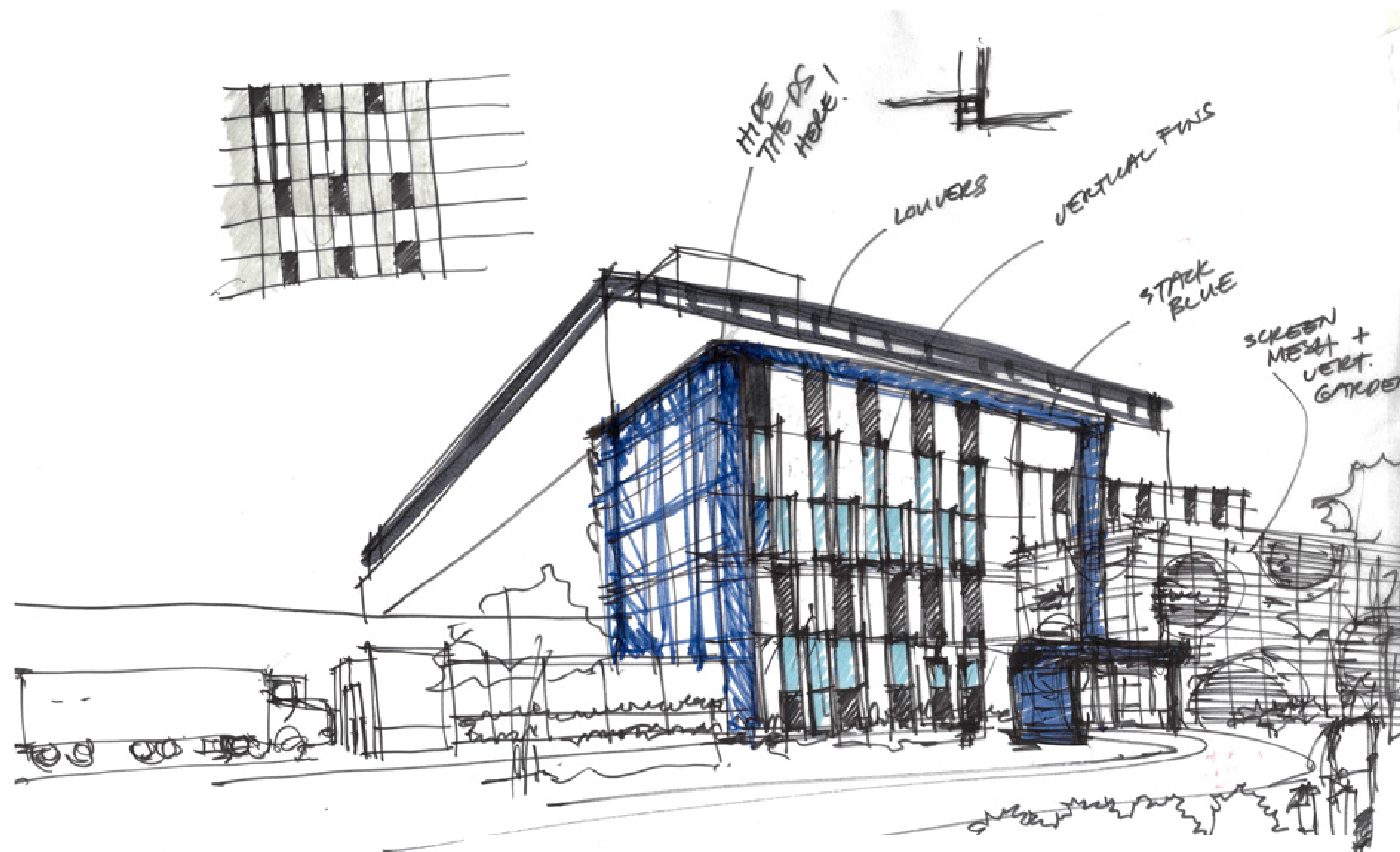


MATERIALS: METAL PANELS
GLAZING: TINTED
COLORS: GROWN, LIGHT GREY, WHITE



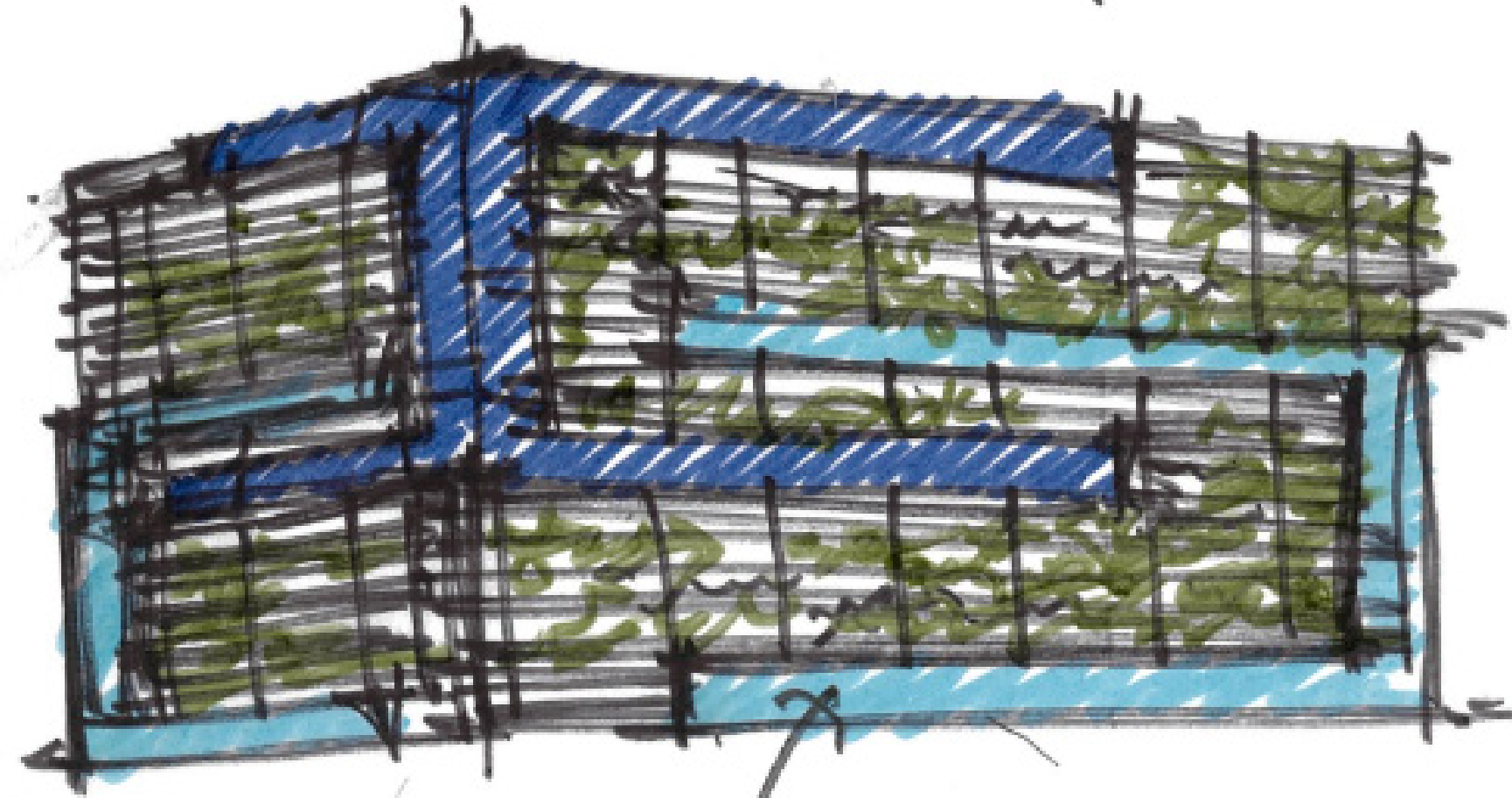
MATERIALS: METAL PANELS
GLAZING: SPANDREL, TINTED
COLORS: GOLD, SILVER

CONCEPT SKETCHES

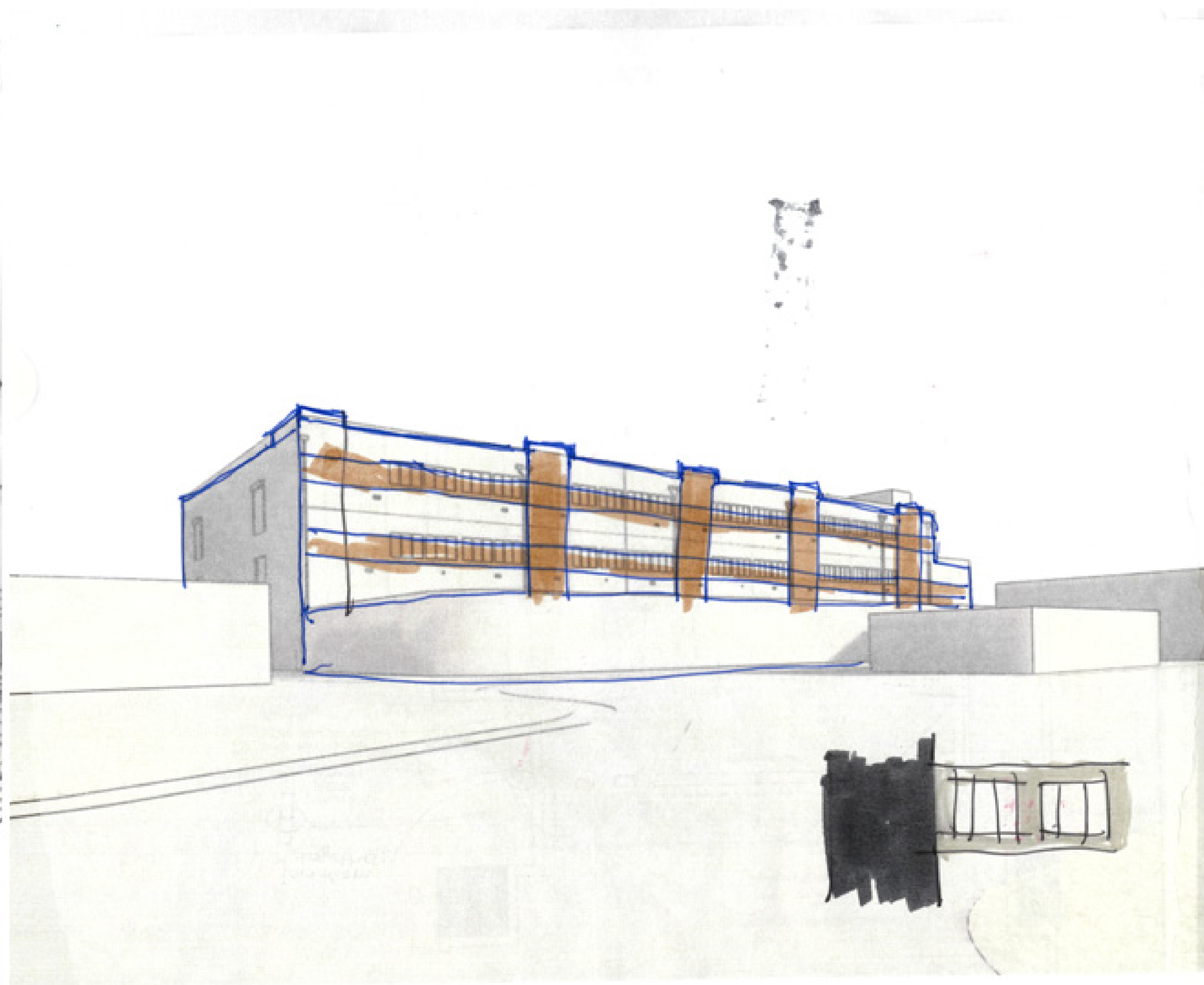


- ACCENTUATE AND FRAME OFFICE VOLUME
- REINTERPRET SCREEN WALL INTO FEATURE WALL
- IDENTIFY AND CREATE ENTRY PORTAL
- ARTICULATE WALL WITH PATTERN AND GLAZING

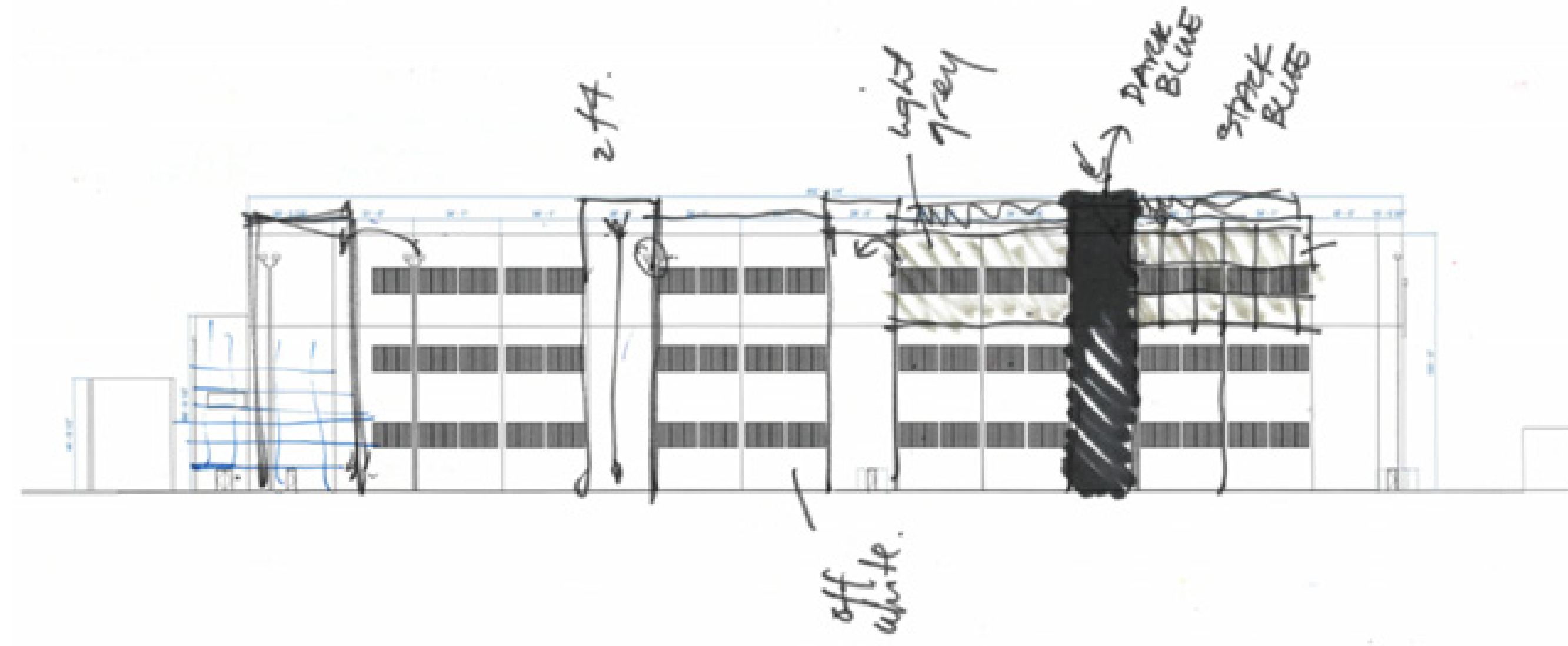
WATER TOWER
FENCE
PERF. METAL SCREEN
+ VERT. GARDEN



STACK LOGO



- ARTICULATE DATA HALL WALL WITH METAL PANELS
- ACCENTUATE HORIZONTAL LOUVERS
- CREATE AND ARTICULATE PATTERN TO CREATE COHESIVE DESIGN LANGUAGE



CONCEPT STUDY - ENTRANCE VIEW



COLOR CONSIDERATIONS



LIGHT BLUE LIGHT GREY LIGHT GREY

MATERIAL CONSIDERATIONS



PERFORATED
SCREEN



ARCHITECTURAL
LOUVERS



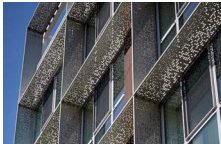
CONCRETE
PANEL



METAL PANEL

HAYWARD DESIGN GUIDELINES:

- 1 Incorporate architectural features such as awnings, canopies, trellises, and/or other treatments such as vertical architectural features or unique building colors or materials to clearly identify primary building entries.
- 2 Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.
- 3 Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, etc.



CONCEPT STUDY - DATA HALL VIEW



COLOR CONSIDERATIONS



LIGHT BLUE DARK GREY LIGHT GREY

MATERIAL CONSIDERATIONS



PERFORATED
SCREEN



ARCHITECTURAL
LOUVERS



CONCRETE
PANEL



METAL PANEL

HAYWARD DESIGN GUIDELINES:

4 Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height. In general, building wall planes visible from public street should not continue for more than 50 feet without a change in building wall plane direction of 2 feet for more



5 Articulation and detailing continue on side elevation through use of windows, awnings, and other detailing



6 Provide screening for mechanical and electrical equipment as an integral part of roof structure design.



CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE A:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF HAYWARD, IN THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

Parcel One-A:
Parcel 1 of Parcel Map No. 660, filed January 8, 1971, in Book 64, Page 100 of Maps, Alameda County Records.
Parcel One-B:
Being a portion of Production Avenue as dedicated, accepted, and shown on that certain map of Tract 2898 Eden Landing Industrial Park filed June 30, 1967, in Book 55 of Maps at Page 25, Alameda County Records, more particularly described as follows:
Beginning at a point lying on the Westerly line of said Production Avenue, said point being the Northwestern terminus of that certain course shown as North 31°37'51" West 744.11 feet on said map;
Thence along said Westerly line of Production Avenue the following four (4) courses, last said line being coincident with the general Northerly line of Parcel 1, as shown on Parcel Map 660, filed January 8, 1971, in Book 64 of Parcel Maps at Page 100, Alameda County Records;
1. South 67°43'45" West 40.00 feet;
2. North 62°21'43" West 63.60 feet;
3. North 30°56'51" West 16.37 feet to the Westerly boundary of said Tract 2898;
4. North 01°43'39" East 29.23 feet along last said line to the Southerly line of Eden Landing Road as described in the Relinquishment of Highway Right of Way in the County of Alameda, Road 04-ALA-92-3.4-4.5 Request No. 31413 recorded January 25, 1968 on Reel 2114 at Image 872, Official Records of said County;
5. Thence North 61°31'18" East 8.94 feet along last said line to the beginning of a curve concave Southerly and having a radius of 49.50 feet;
6. Thence Easterly and Southeasterly 75.03 feet along said curve through a central angle of 86°50'51" to the prolongation of said Westerly line of Production Avenue;
7. Thence South 31°37'51" East 52.05 feet along last said line to the Point of Beginning;
As vacated by the City of Hayward in Resolution No. 19-041 recorded March 12, 2019 Instrument No. 2019044285, of Alameda County Records.
APN: 461-0085-052-01

Parcel Two:
Parcel 2 of Parcel Map No. 660, filed January 8, 1971, in Book 64, Page 100 of Maps, Alameda County Records.
APN: 461-0085-016-00

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE B, SECTION II:

Numbers correspond with survey-related Schedule B exception items contained in the above referenced Title Commitment.

7. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: December 19, 1910
Recording No.: Book 1844 of Deeds, Page 278
Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660
Filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

8. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: March 5, 1958
Recording No.: Book 8611, Page 323, of Official Records
Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660,
Filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

9. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: March 5, 1958
Recording No.: Book 8611, Page 325, of Official Records
Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660,
Filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

10. A waiver of any claims for damages by reason of the location, construction, landscaping or maintenance of a contiguous freeway, highway or roadway, as contained in the Document Records November 27,1963, Book/Reel 1055, Page/Image 981, Official Records.
(BENEFITS THE SUBJECT PROPERTY - AREA DESCRIBED IS WITHIN THE CURRENT DEDICATED RIGHT-OF-WAY OF EDEN LANDING ROAD)

11. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: May 22, 1967
Recording No.: Reel 1967, Image 510, of Official Records
Affects: Portion of Parcel Two, and as shown on Parcel Map 660,
Filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

12. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document

Recording Date: June 30, 1967
Recording No.: Reel 1991, Image 793, of Official Records

Modification(s) of said covenants, conditions and restrictions

Recording Date: March 30, 1973
Recording No.: Reel 3378, Image 850, of Official Records

Modification(s) of said covenants, conditions and restrictions

Recording Date: May 18, 1973
Recording No.: Reel 3420, Image 499, of Official Records

(Affects Parcels One and Two)
(AFFECTS THE SUBJECT PROPERTY AS TO BUILDING AND PARKING SETBACKS - PLOTTED AND SHOWN HEREON)

13. Easement(s) for the purpose(s) shown below and rights incidental thereto as delineated or as offered for dedication, on the map of said tract/plot;

Purpose: Public utilities
Affects: Portion of Parcels One and Two, as shown on Parcel Map 660,
Filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

Rad=49.50' Rec. & Used)
Arc=75.03' Rec. & Used)
Δ86°50'51" Rec. & Used)
ChL=68.05' Calc.
ChB=S 75°04'13" E Calc.

(N 61°31'18" E
8.94' Rec. & Used)

(S 67°42'33" W 196.66' Rec. & Used)

(Rad=400.03' Rec. & Used)
(Arc=200.86' Rec. & Used)
(Δ=28°46'06" Rec. & Used)
ChL=198.76' Calc.
ChB=N 48°19'31" E Calc.

(Rad=370.03' Rec. & Used)
(Arc=79.27' Rec. & Used)
(Δ=12°16'27" Rec. & Used)
ChL=79.12' Calc.
ChB=N 27°48'14" E Calc.

(Rad=400.03' Rec. & Used)
(Arc=200.86' Rec. & Used)
(Δ=28°46'06" Rec. & Used)
ChL=198.76' Calc.
ChB=N 48°19'31" E Calc.

(Rad=370.03' Rec. & Used)
(Arc=79.27' Rec. & Used)
(Δ=12°16'27" Rec. & Used)
ChL=79.12' Calc.
ChB=N 27°48'14" E Calc.

(Rad=400.03' Rec. & Used)
(Arc=200.86' Rec. & Used)
(Δ=28°46'06" Rec. & Used)
ChL=198.76' Calc.
ChB=N 48°19'31" E Calc.

(Rad=370.03' Rec. & Used)
(Arc=79.27' Rec. & Used)
(Δ=12°16'27" Rec. & Used)
ChL=79.12' Calc.
ChB=N 27°48'14" E Calc.

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE B, SECTION II:

14. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Public utilities
Recording Date: July 8, 1971
Recording No.: Reel 2894, Image 770, of Official Records
Affects: Portion of Parcels One and Two

and Recording Date: June 28, 1972
Recording No.: Reel 3168, Image 294, of Official Records

Notice of Location Recorded by Pacific Gas and Electric Company and Recorded April 27, 1972, Reel 3117, Image 962, Official Records.

The terms and provisions contained in the Document Entitled "Relocation Agreement" Recorded June 20, 1997, as Instrument No. 97-154100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

15. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: The Pacific Telephone & Telegraph Company
Purpose: Public utilities
Recording Date: September 15, 1983
Recording No.: 83-170663, of Official Records
Affects: Portion of Parcels One and Two, whose exact location cannot be determined of record.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

ZONING:

As of March 8, 2021, we have not yet received the current zoning information for the subject property.

FLOOD ZONE:

By scaled map location and graphic plotting only, the subject property appears to lie entirely in Zone X-Unshaded (Areas determined to be outside the 0.2% annual chance floodplain) according to the Flood Insurance Rate Map for the County of Alameda, State of California, Community Panel No. 06001C0288G Effective Date August 3, 2009.

BASIS OF BEARING:

The basis for all bearings shown hereon is the centerline of Production Avenue, known as being South 31°38'46" East, per an ALTA/ACSM Survey by Kier & Wright dated August of 2000.

PARKING:

441 Parking Spaces
13 Handicapped Spaces
454 Total Parking Spaces
Subject property includes 73 Loading Bays

TOTAL LAND AREA:

494,291 Square Feet
11.347 Acres

MISCELLANEOUS NOTES:

- There is direct access to the subject property via Investment Boulevard, Production avenue and Eden Landing Road, all being public right-of-ways.
- The locations of all utilities shown on the survey are from visible surface evidence only.
- The posted address on site is 26010, 26034, 26046 & 26062 Eden Landing Road; 3401, 3423, 3447 & 3475 Investment Boulevard; 26203 & 26291 Production Avenue, Hayward, California.
- At the time of this survey, there was no observable surface evidence of earth moving work, building construction or building additions within recent months.
- At the time of this survey, there was no observable evidence of the subject property being used as a solid waste dump, sump or sanitary landfill.
- At the time of this survey, there was no observable evidence of any recent changes in street right-of-way lines either completed or proposed, and available from the controlling jurisdiction.
- At the time of this survey, there was no observable evidence of any recent street or sidewalk construction or repairs.
- At the time of the survey, no party walls were observed.
- Rectified orthophotography, photogrammetric mapping, airborne/mobile laser scanning and other similar products were not used as the basis for showing the location of any features within this survey.
- The Property surveyed and shown hereon is the same property described in Schedule A of Chicago Title Company (issuing agent for Chicago Title Insurance Company) Preliminary Report No. 15607853-156-TJK-JM, Effective Date: February 18, 2021.

SURVEYOR'S OBSERVATIONS:

- Subject's Building appears to lie a maximum distance of 0.5 feet over the 10' P.G. & E. and P.T. & T. Easements recorded in Reel 3168, Page 294, and in Instrument #83-170663 of Alameda County Records.
- Subject's Building appears to lie a maximum distance of 7.1 feet over the 27.5' P.G. & E. Easement recorded in Book 8611, Page 325 of Alameda County Records.
- Subject's Building appears to lie a maximum distance of 80.1 feet over the 5' P.U.E. Easement, recorded in Book 64, Page 100 of Alameda County Records.
- Subject's Building appears to lie a maximum distance of 81.7 feet over the 5' P.U.E. Easement, recorded in Book 64, Page 100 of Alameda County Records.

CERTIFICATION:

To: CIP Real Estate and its successors and assigns; Eden Landing BP, LLC, a Delaware limited liability company, and its successors and assigns; Wells Fargo Bank, National Association, and its successors and assigns; Chicago Title Company and Chicago Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 13, 15, 16, and 17 of Table A thereof. The field work was completed on February 19, 2021.

Date of Plat or Map: March 8, 2021.

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Professional Land Surveyors Act of the request of CIP Real Estate on February 8, 2021.

By: S. Craig Davis, PLS
Licensed Land Surveyor No. 6262
within the State of California
For and on behalf of Millman Surveying, Inc.

REVISION HISTORY

BY:	DATE:	COMMENT:
PWC	03/09/2021	Clerical Comments
PWC	04/05/2021	Client Comments
PWC	04/09/2021	Client Comments

millman
National Land Services

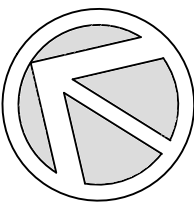
Transforming the Industry
Surveying
Zoning
Environmental
Real Support - Title Review
Millman Surveying, Inc.
Corporate Headquarters
4111 Bradley Circle NW
Canton, OH 44718
Phone: 800-520-1010
Fax: 330-342-0834
www.millmanland.com
landsurveyors@millmanland.com

ALTA/NSPS LAND TITLE
SURVEY PREPARED FOR:

CIP Real Estate

19762 MacArthur Boulevard
Suite 300
Irvine, California 92612

26010, 26034, 26046 & 26062 Eden
Landing Road; 3401, 3423, 3447 &
3475
Investment Boulevard; 26203 &
26291 Production Avenue
City of Hayward
County of Alameda
State of California



NORTH
GRAPHIC SCALE
0 50' 100'
1 INCH = 50 FT.

PRELIMINARY

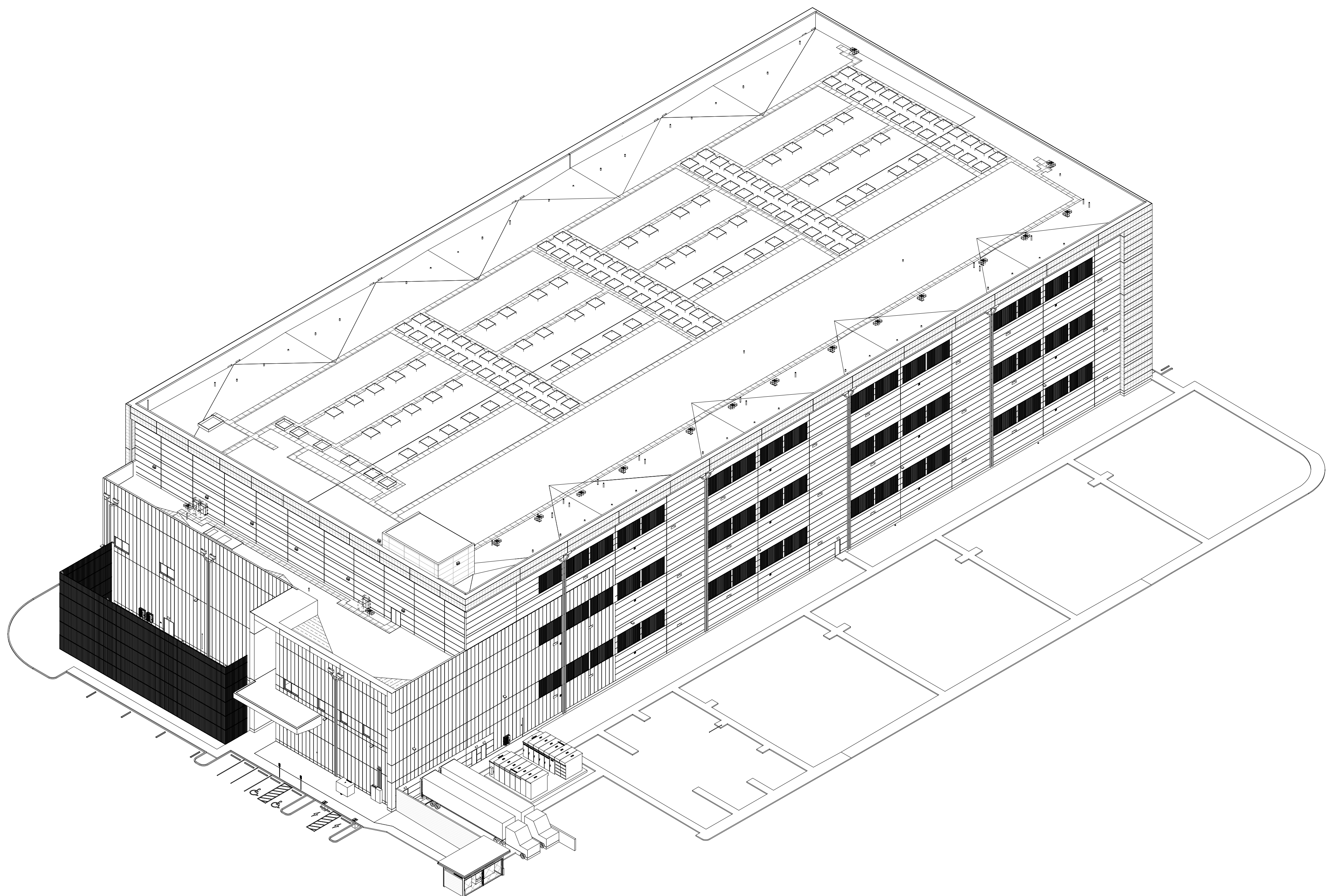
FOR REVIEW ONLY

Surveyor's Seal

Sheet No. 1 of 1

MSI Project No. 49336
Prior MSI Project No. 41841

PC: ERF
PM: PWC Drafter: KHD

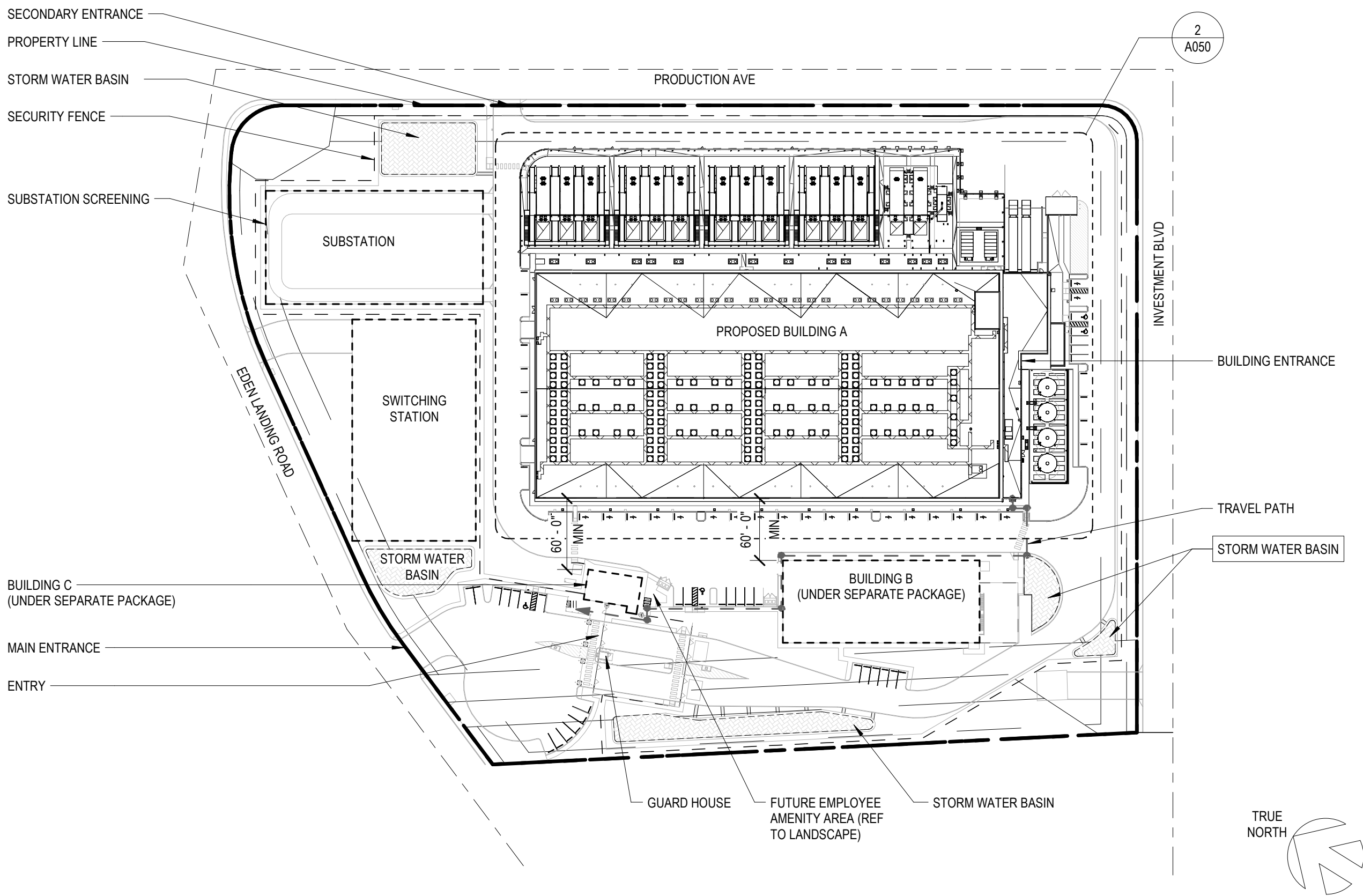


BUILDING A

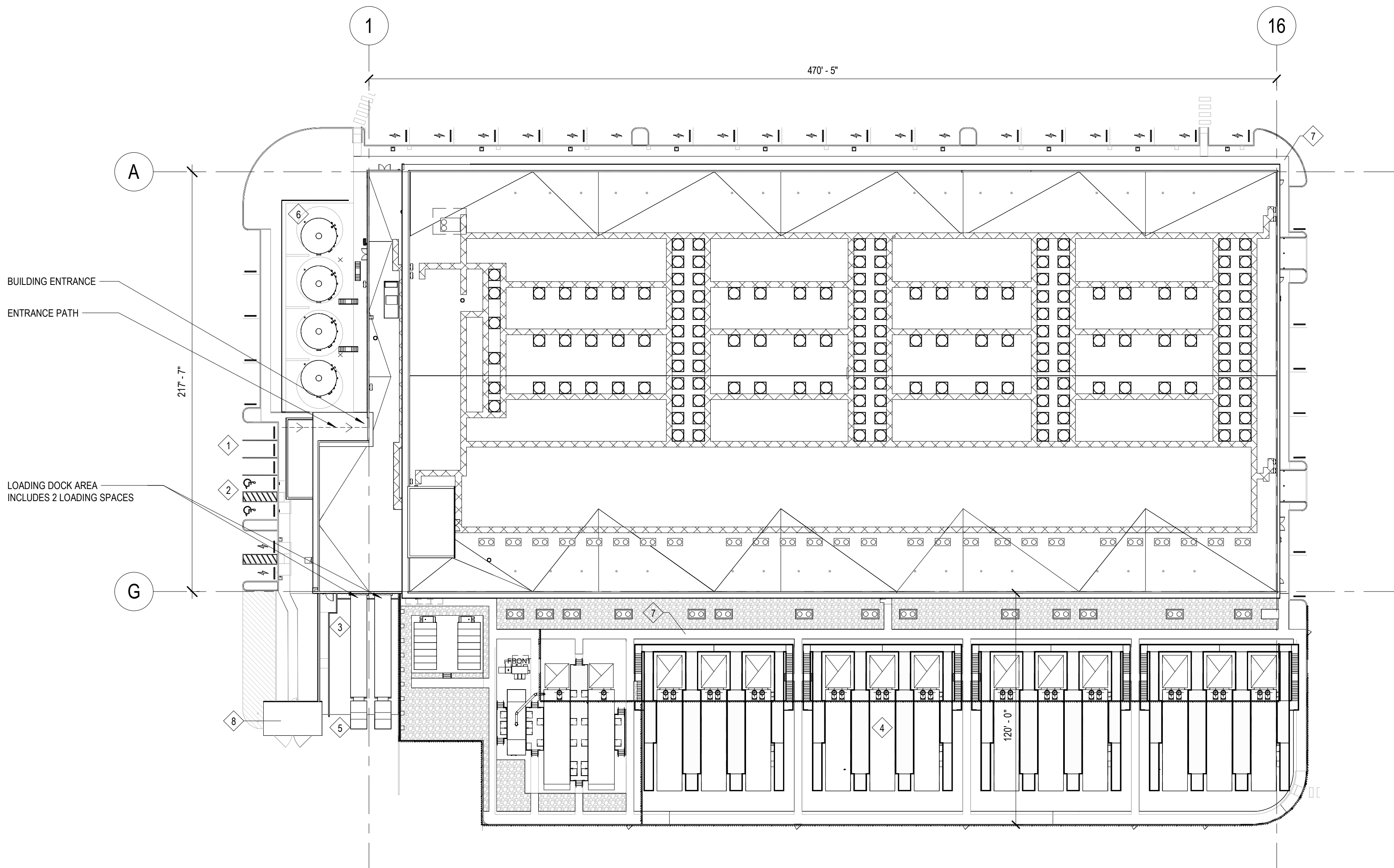
BUILDING DATA

STRUCTURAL TYPE	FLEX WAREHOUSE AND COMMERCIAL OFFICE
	COMPUTER DATA CENTER AND RELATED OFFICE AREA
SCOPE OF WORK	NEW COLD DARK AND WET SHELL, TO HAVE SUBSEQUENT PHASED INTERIOR BUILD OUT
NOTES OF OCCUPANCY	STORAGE ROOMS ARE TO CONTAIN COMPUTER AND MECHANICAL EQUIPMENT SPARE PARTS AND COMPONENTS, STORAGE ROOMS ARE NOT INTENDED TO STORE ANY HAZARDOUS MATERIALS SUCH AS FLAMMABLE COMBUSTIBLE LIQUIDS OR CORROSIVE / TOXIC MATERIALS
	THE PRIMARY PURPOSE OF THIS PROJECT IS TO HOUSE COMPUTER EQUIPMENT AND ITS SUPPORTING INFRASTRUCTURE. THE DATA HALL WILL BE OCCUPIED ONLY DURING PERIODIC MAINTENANCE AND SERVICE WORK

PROJECT ADDRESS			
26062 EDEN LANDING ROAD HAYWARD, CA 94545			
PROJECT DELIVERY PACKAGE			
SEAL/SIGNATURE			
THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL.			
ISSUE DATE:	PROJECT NO: 25691.000		
DESIGNED: HKS	ARCHITECT: HKS		
MARK	DATE	DESCRIPTION	
CONFIDENTIAL INFORMATION THIS DRAWING/DRAWING AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING/DRAWING. COPYING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED IN WRITING.			
MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606		
CIVIL ENGINEER KIMLEY-HORN ANTHONY VERA (920) 398-4840 4537 Chabot Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201		
ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606		
TELECOM ENGINEER ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104		
PROJECT: BUILDING A SHELL			
TITLE: PROJECT COVER SHEET			
DRAWING: G000.CS			
E1	SCALE:	AGILE No:	REV:



1 ARCHITECTURAL CAMPUS PLAN
A050 1" = 100'-0"



NOTES:
1. EQUIPMENT YARD STRUCTURAL FRAMING NOT SHOWN FOR CLARITY.
SEE STRUCTURAL DRAWINGS.

2 ARCHITECTURAL SITE PLAN
A050 1" = 40'-0"

GENERAL NOTES - SITE PLAN

- 1 THESE ARE ARCHITECTURAL DRAWINGS ONLY AND ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FROM VARIOUS DISCIPLINES AS LISTED ON THE DRAWING INDEX.
- 2 ALL DEMOLITION OF EXISTING BUILDING SITE ELEMENTS ARE TO BE WITH IN A SEPARATE CONTRACT AND DRAWINGS (NOT INCLUDED HERE) PRIOR TO THE EXECUTION OF THE INDICATED NEW CONSTRUCTION AND SITEWORK.
- 3 OTHER BUILDINGS INDICATED ON SITE ARE FOR LOCATION REFERENCE PURPOSES ONLY. N.I.C.O. BUILDING GENERATOR PADS AND UPPER GENERATOR ACCESS STAIRS AND PLATFORM ARE NOT IN THIS CONTRACT.
- 4 BUILDING GENERATOR PADS AND UPPER GENERATOR ACCESS STAIRS AND PLATFORM ARE NOT IN THIS CONTRACT.
- 5 REFER TO CIVIL DRAWINGS FOR GRADING, MATERIALS SIGNAGE, CURBS, WHEELSTOPS AND STRIPING AT PARKING AREAS, PARKING LAYOUT AND STALLS TO BE FOUND IN CIVIL DRAWINGS. ADA AND STANDARD STALLS TO BE INSTALLED TO MEET ALL ADOPTED CODES.
- 6 SIDEWALK CONSTRUCTION AND DETAILS TO BE FOUND IN CIVIL DRAWINGS.
- 7 ALL LANDSCAPE AND PLANTING INFORMATION TO BE FOUND ON LANDSCAPE.
- 8 LOADING DOCK AREA ELEVATION OF PAVED LOADING DOCK IS 4'-0" BELOW SLAB HEIGHT AT FOUNDATION FACE TO ALLOW FOR EASE OF ACCESS.
- 9 ENSURE SMOOTH TRANSITION WHERE NEW ROADWAY PAVING OR SIDEWALK CONNECTS TO EXISTING WITH 1/4" MAXIMUM CHANGE IN LEVEL.
- 10 CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL LIGHTING, PLUMBING, MECHANICAL AND FIRE PROTECTION ELEMENTS.

OVERALL SITE PLAN NOTES

1. NEW PARKING STALLS
2. ADA PARKING
3. LOADING DOCK
4. GENERATOR YARD
5. CONCRETE DRIVE AND RAMP AT LOADING DOCK
6. WATER TANKS. REFER MECHANICAL DRAWINGS
7. 5'-0" SIDEWALK, TYP. UNO
8. 12'-6" YARD & 11'-0" YARD DUMPSTER WITH CHAINLINK FENCE TRASH ENCLOSURE. REFER CORE & SHELL PACKAGE.

SITE PLAN LEGEND

---	PROPERTY LINE
---	FENCE
CRUSHED ROCKS AREAS	CRUSHED ROCKS AREAS
STORM WATER BASIN	STORM WATER BASIN

KEYPLAN

OVERALL

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL.

ISSUE DATE: PROJECT NO: 25993.000

DESIGNED: HKHS ARCHITECT: HKHS

MARK DATE DESCRIPTION

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MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 351-8612 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
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CIVIL ENGINEER KIMLEY-HORN ANTHONY VERA (920) 398-4940 4637 Chadok Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HKHS CLINT NASH (214) 969-5099 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas, Texas 75201
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ARCHITECT HKHS DUTCH WICKES (214) 969-5599 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
--	---

TELECOM ENGINEER ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104
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PARKING - BUILDING A

PARKING SCHEDULE : REFER CS PACKAGE

PROJECT: BUILDING A TI

TITLE: ARCHITECTURAL SITE PLAN

DRAWING:

A050

E1

SCALE: As indicated

AGILE No:

REV:



1	LOCATE VISITOR PARKING TO BE CLEARLY IDENTIFIABLE AND PROVIDE EASE OF ACCESS TO THE PRIMARY ENTRY OF A BUILDING.
2	CONNECT SITE TO SURROUNDING AMENITIES SUCH AS SIDEWALKS, TRAILS, OR OTHER OPPORTUNITIES TO ENHANCE AREA CONNECTIVITY.
3	HIGHLIGHT SITE ENTRANCES THROUGH DRIVEWAY ENTRY TREATMENTS SUCH AS UNIQUE PAVING TREATMENTS, ACCENT LANDSCAPING, AND SIGNAGE THAT INFORM VISITORS OF ITS LOCATION AND ENHANCES THE OVERALL PROJECT DESIGN.
4	LOCATE EMPLOYEE OUTDOOR AREAS ADJACENT TO INDOOR BREAK AREAS
5	PLACE BICYCLE RACKS AND/OR BICYCLE LOCKERS ADJACENT TO BUILDING ENTRIES WHERE THEY ARE CLEARLY VISIBLE IN ORDER TO ENHANCE SAFETY AND SECURITY.
6	PLACE MECHANICAL/UTILITY EQUIPMENT INSIDE OF A BUILDING OR SCREEN WITH LANDSCAPING OR OTHER MATERIALS CONSISTENT WITH BUILDING DESIGN. IN INSTANCES WHERE MECHANICAL/UTILITY EQUIPMENT CANNOT BE LOCATED WITHIN BUILDINGS OR ADEQUATELY SCREENED, TREAT IT WITH ART.
7	IN GENERAL, BUILDING WALL PLACES VISIBLE FROM PUBLIC STREET SHOULD NOT CONTINUE FOR MORE THAN 50 FEET WITHOUT A CHANGE IN BUILDING WALL PLANE DIRECTION OF 2 FEET OR MORE
8	PORTIONS OF BUILDING FACING A PUBLIC STREET SHALL HAVE ONE OR MORE LANDSCAPED AREAS WITH A MINIMUM FIVE FOOT-WIDE LANDSCAPED AREA ALONG A MINIMUM 50 PERCENT OF THE BUILDING FACE
9	A MINIMUM OF 10' WIDE LANDSCAPED AREA IN FRONT OF WALLS ABUTTING A PUBLIC STREET
10	PROVIDE A 10' WIDE LANDSCAPED AREA IN FRONT OF WALLS ABUTTING A PUBLIC STREET
11	WHERE APPROPRIATE, UTILIZE RETENTION PONDS TO LESSEN RUNOFF

SITE ADDRESS	2602 EDEN LANDING ROAD HAYWARD, CA 94545
APNs	461-0085-016-00 461-0085-052-01 461-0085-018-03
SITE AREA	11.485 AC / 500,287 SF
GENERAL PLAN DESIGNATION	IC (INDUSTRIAL TECHNOLOGY AND INNOVATION CORRIDOR)
ZONING DISTRICT	IP (INDUSTRIAL PARK)
PARKING SPACES	SPACES: 59 ADA: 5
BIKE PARKING	SHORT TERM: 1 RACK LONG TERM LOCKER: 3 LOCKERS
OPEN SPACE	68,945 SF
LOT COVERAGE	500,287 SF
FAR	0.76
LANDSCAPING AREA	165,557 SF

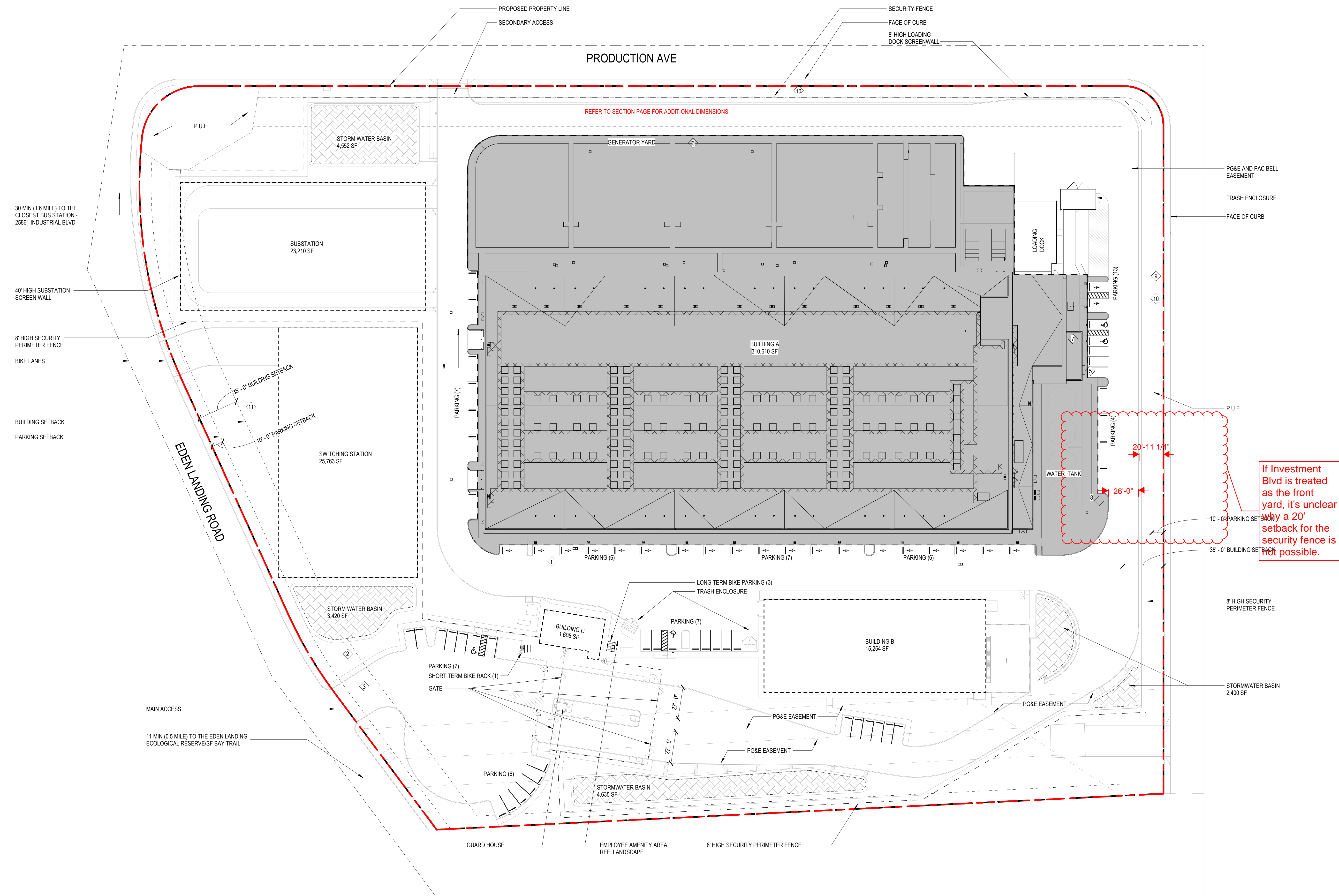
BUILDING A	GROSS FLOOR AREA: HEIGHT:	365,610 SF 100' (T.O. PARAPET)
BUILDING B	GROSS FLOOR AREA: HEIGHT:	15,254 SF 26'
BUILDING C	GROSS FLOOR AREA: HEIGHT:	1,605 SF 16'
GUARD HOUSE	GROSS FLOOR AREA: HEIGHT:	59 SF 8'-11 7/16"

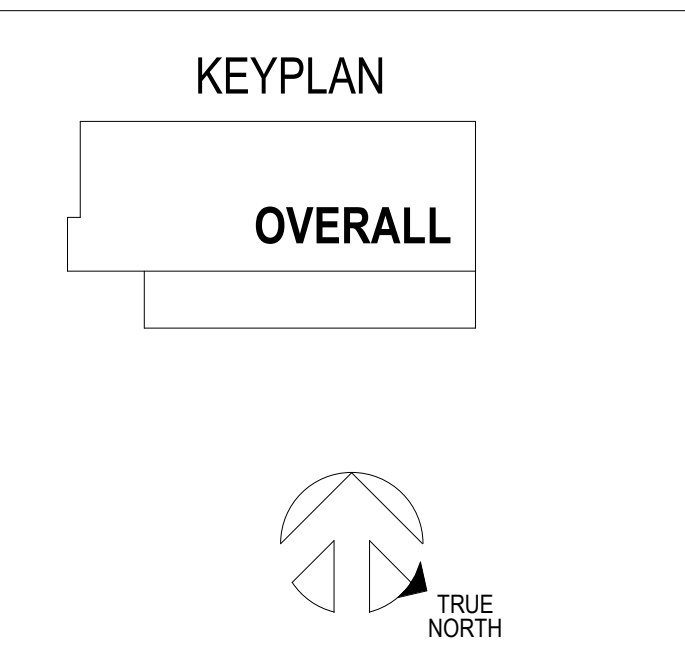
	<p>___ # of employees x ___ lbs. of trash generated per employee/week + 150 = ___ CY/week</p>
BUILDING A	<p>ENCLOSURE: 25' x 12' x 12'-6" (WxDxH) INTERNAL CLEAR TRASH: 6 CU BIN RECYCLABLES: 6 CU BIN ORGANICS: 3 CU BIN</p>
BUILDING B	<p>ENCLOSURE: 11'-6" X 6' X 10'-8" (WxDxH) INTERNAL CLEAR TRASH: 96 GAL CART RECYCLABLES: 96 GAL CART ORGANICS: 96 GAL CART</p>
BUILDING C	<p>ENCLOSURE: TRASH: 96 GAL CART RECYCLABLES: 96 GAL CART ORGANICS: 96 GAL CART</p>

<u>MECHANICAL ENGINEER</u> ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	<u>ELECTRICAL ENGINEER</u> ESD GLOBAL REY BERNARDINO (312) 551-8612 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
--	--

ARCHITECT	FIRE PROTECTION ENGINEER
HKS	ESD GLOBAL
DUTCH WICKES	MICHAEL PARAS
(214) 969-5599	(312) 372-1200
One Dallas Center	233 South Wacker Drive
350 N. Saint Paul Street, Suite 100	Suite 5300 Chicago,
Dallas, Texas 75201	Illinois 60606

E1	SCALE: As indicated	AGILE No:	REV
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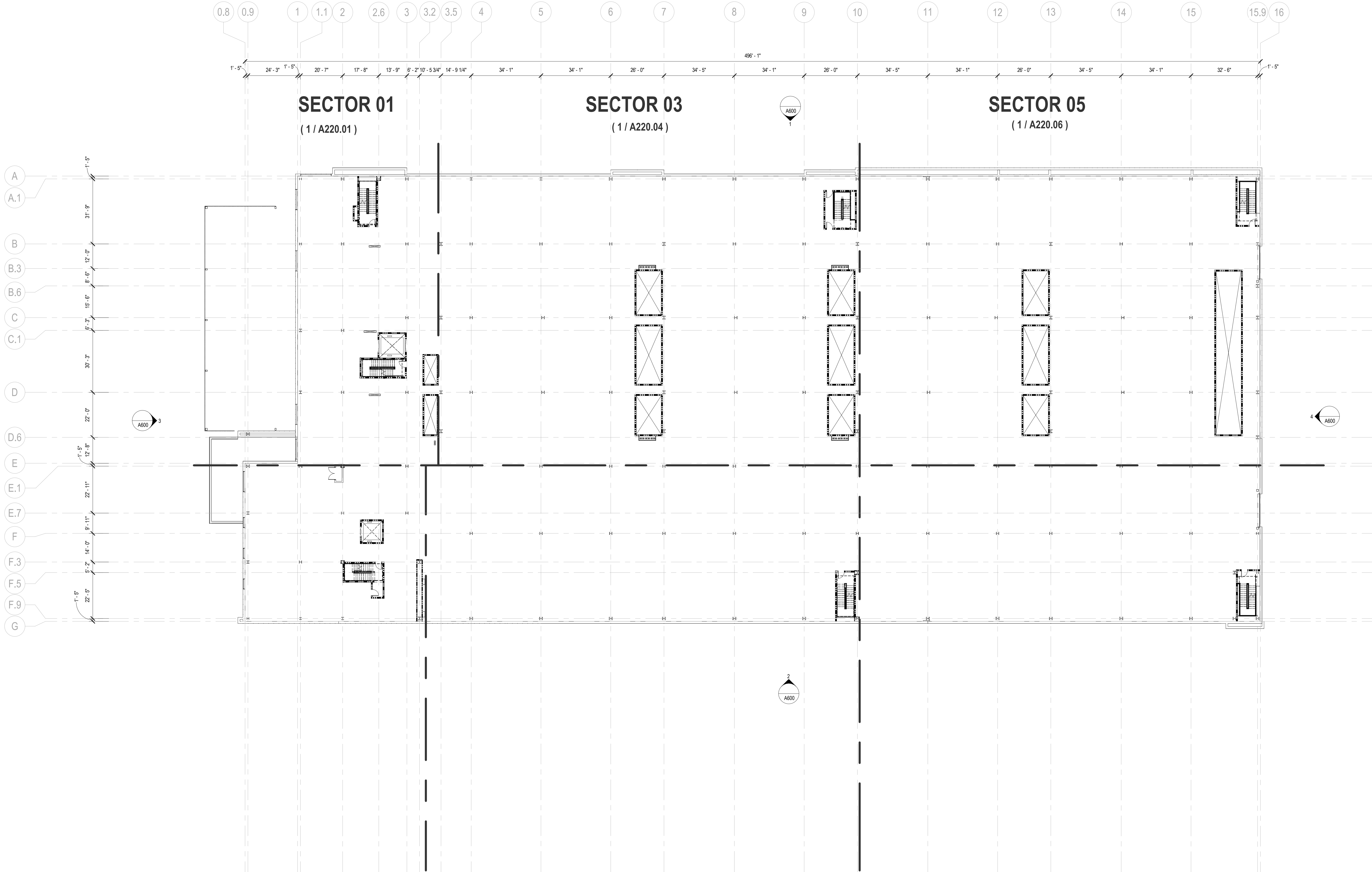




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DRAWING:			
A210.00			
E1	SCALE: 1" = 20'-0"	AGILE No:	REV

<h2 style="text-align: center;">GENERAL NOTES - FLOOR PLAN</h2> <p>1. ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL.</p> <p>2. ALL FINISHES ARE TO BE FLOOR FINISH.</p> <p>3. DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN, WHERE PROVIDED.</p> <p>4. REFER TO CIVIL ENGINEERING PLANS FOR FULL EXTENT OF SITE WORK BEYOND SCOPE OF THIS ARCHITECTURAL, STRUCTURAL, AND MEP ENGINEERING DRAWINGS.</p> <p>5. EXTERIOR WALLS ARE TO BE TYPE 01.</p> <p>6. REFER TO A101 SERIES FOR INTERIOR A EXTERIOR WALL ASSEMBLIES AT STAIRS AND TERRACES.</p> <p>7. INTERIOR PARTITIONS ARE TO BE TYPE A01.</p> <p>8. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE.</p> <p>9. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.</p> <p>10. REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.</p> <p>11. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS IN FIELD (VF) PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT / ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.</p>	<h2 style="text-align: center;">GENERAL NOTES - FLOOR PLAN</h2> <p>12. COORDINATE AND PROVIDE ADEQUATE BLOCKING FOR ALL ITEMS ATTACHED OR MOUNTED TO PARTITIONS.</p> <p>13. EQUIPMENT ITEMS SHOWN FOR REFERENCE ONLY. COORDINATE FINAL LOCATIONS AND CONFIGURATIONS WITH MEP REQUIREMENTS AND DRAWINGS. REFER TO ENGINEERING DRAWINGS FOR FULL EXTENT OF SCOPE OF MECHANICAL WORK.</p> <p>14. PROVIDE STAINLESS STEEL CORNER GUARDS AT EACH OUTSIDE CORNER IN ALL CORRIDOR LOCATIONS.</p> <p>15. USE MORTAR AND STRUCTURE RESISTANT SUBSTRATE AND TILE BACKING PANELS AT ALL JANT AND TILE LOCATIONS, RESPECTIVELY.</p> <p>16. LOCATIONS INCLUDE: WALKER CLOSETS, SHOWER ROOM WALLS AND CEILINGS, BEHIND ALL SINKS, TOILETS, URINALS, AND DRINKING FOUNTAIN LOCATIONS.</p>	<h2 style="text-align: center;">GENERAL NOTES - FLOOR PLAN</h2> <p>17. DASH GULLAGE WATER DAM AT DOOR OPENINGS: 12" HIGH.</p> <p>18. PROVIDE 3/4" THICK THRESHOLD WITH 1/2" RAMP-UP AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING.</p> <p>19. PROVIDE A 3/4" DROP-BAR AT DOOR THRESHOLD AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1" IN ABOVE THE HEIGHT OF THE DOOR DRAGS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT INTO ADJACENT ROOMS.</p> <p>20. ALL EXTERIOR DOOR DRAGS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK. SEE DETAILS ON A736.</p> <p>21. GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE BUILDING ENVELOPE.</p> <p>22. REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND ALL OTHER CONDITIONS.</p> <p>23. ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.</p>	<table border="1"> <tr> <td> ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 352 N. Saint Paul Street, Suite 100 Dallas, Texas 75201 </td><td> FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5200 Chicago Illinois 60606 </td></tr> <tr> <td> TELECOM ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5200 Chicago Illinois 60606 </td><td> SECURITY ENGINEER GUIDEPST MICHAEL PARAS (415) 682-8832 315 Montgomery Street San Francisco, California 94104 </td></tr> </table>	ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 352 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5200 Chicago Illinois 60606	TELECOM ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5200 Chicago Illinois 60606	SECURITY ENGINEER GUIDEPST MICHAEL PARAS (415) 682-8832 315 Montgomery Street San Francisco, California 94104
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<p>PROJECT: BUILDING A SHELL</p>		<p>TITLE: ARCHITECTURAL LEVEL 01 CORE & SHELL</p>					
<p>DRAWING: A210.00</p>		<p>OVERALL FLOOR PLAN</p>					



1
A220.00
1" = 20'-0"

ARCHITECTURAL LEVEL 02 OVERALL CORE & SHELL FLOOR PLAN

GENERAL NOTES - FLOOR PLAN

- ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR PFE.
- DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN WHERE PROVIDED. UNO.
- REFER TO CIVIL ENGINEERING PLANS FOR FULL EXTENT OF SITE WORK BEYOND SCOPE SHOWN IN ARCHITECTURAL, STRUCTURAL, AND MEP ENGINEERING DRAWINGS.
- EXTERIOR WALLS ARE TO BE TYPE E01, UNO.
- REFER TO A700 SERIES FOR INTERIOR & EXTERIOR WALL ASSEMBLIES AND STANDARD INFORMATION.
- INTERIOR PARTITIONS ARE TO BE TYPE ABE, UNO.
- ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNO.
- CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
- REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD (W/IF) PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT / ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

GENERAL NOTES - FLOOR PLAN

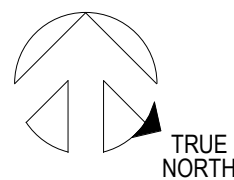
- COORDINATE AND PROVIDE ADEQUATE BLOCKING FOR ALL ITEMS ATTACHED OR MOUNTED TO PARTITIONS.
- EQUIPMENT ITEMS SHOWN FOR REFERENCE ONLY. COORDINATE FINAL LOCATIONS AND CONFIGURATIONS WITH MEP REQUIREMENTS AND DRAWINGS. REFER TO ENGINEERING DRAWINGS FOR FULL EXTENT OF WORK.
- PROVIDE STAINLESS STEEL CORNER GUARDS AT EACH OUTSIDE CORNER IN ALL CORRIDOR LOCATIONS.
- USE MOISTURE AND MOISTURE RESISTANT SUBSTRATE AND TILE BACKING PANELS AT ALL WET AND TILE LOCATIONS, RESPECTIVELY. LOCATIONS INCLUDE JANITOR CLOSETS, SHOWER ROOM WALLS AND CEILINGS, BEHIND ALL SINKS, TOILETS, URINALS, AND DRINKING FOUNTAIN LOCATIONS.

GENERAL NOTES - FLOOR PLAN

- DAHU GALLERY WATER DAM AT DOOR OPENINGS: 12" HIGH ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1 1/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT INTO ADJACENT ROOMS.
- ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK. SEE DETAILS ON A706.
- GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE BUILDING ENVELOPE.
- REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS.
- ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.

KEYPLAN

OVERALL



PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

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ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKIS ARCHITECT: HKIS

MARK DATE DESCRIPTION

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SECURITY ENGINEER

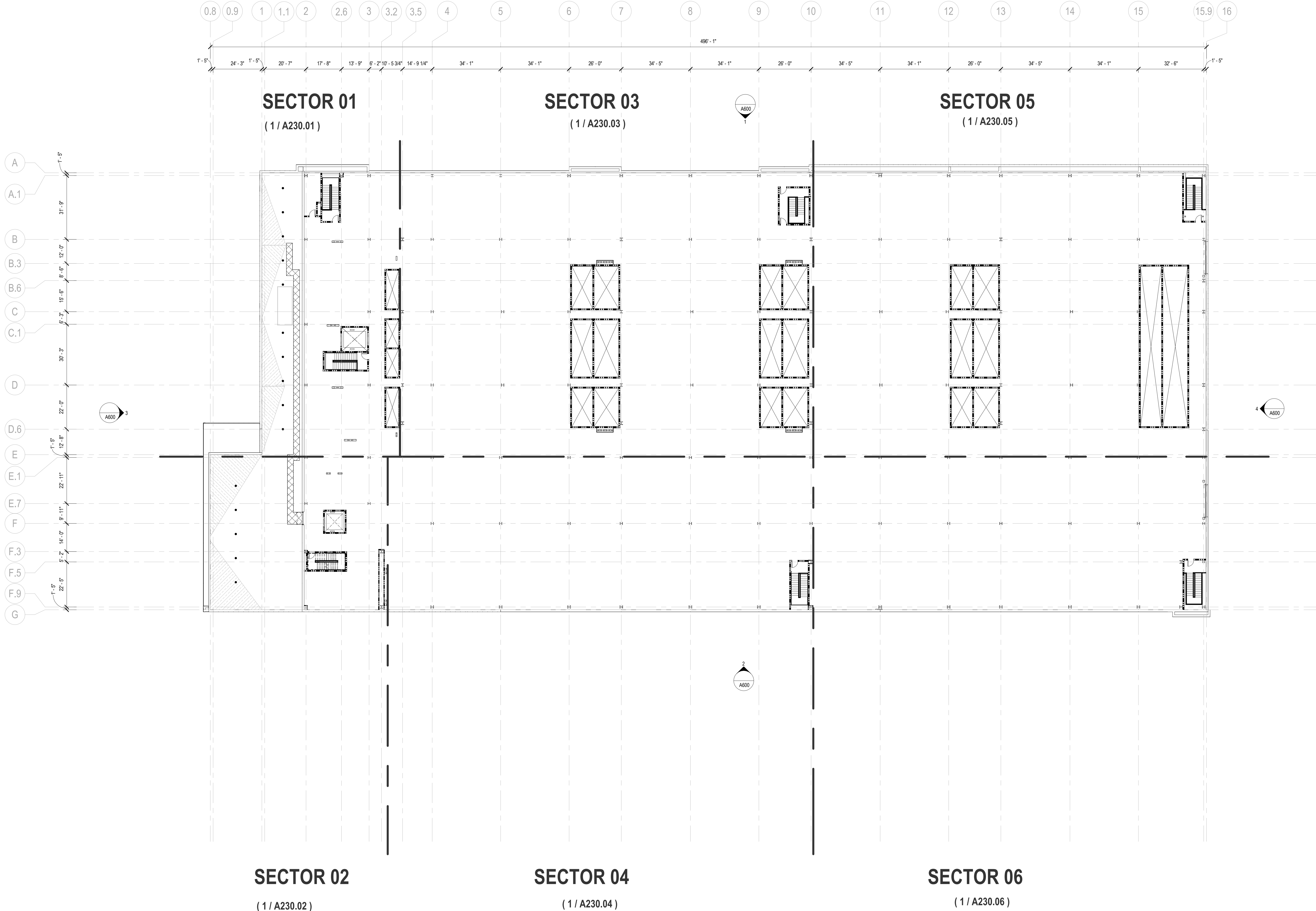
GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL LEVEL 02 CORE & SHELL
OVERALL FLOOR PLAN

DRAWING: A220.00

E1 SCALE: 1" = 20'-0" AGILE No: REV:



1
A230.00
1" = 20'-0"

ARCHITECTURAL LEVEL 03 OVERALL CORE & SHELL FLOOR PLAN

GENERAL NOTES - FLOOR PLAN

- 1 ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR PFE.
- 2 DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN WHERE PROVIDED. UNO.
- 3 REFER TO CIVIL ENGINEERING PLANS FOR FULL EXTENT OF SITE WORK BEYOND SCOPE SHOWN IN ARCHITECTURAL, STRUCTURAL, AND MEP ENGINEERING DRAWINGS.
- 4 EXTERIOR WALLS ARE TO BE TYPE E01, UNO.
- 5 REFER TO A700 SERIES FOR INTERIOR & EXTERIOR WALL ASSEMBLIES AND STANDARD INFORMATION.
- 6 INTERIOR PARTITIONS ARE TO BE TYPE ABE, UNO.
- 7 ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNO.
- 8 CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
- 9 REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.
- 10 CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD (W/IF) PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT / ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- 11 LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

GENERAL NOTES - FLOOR PLAN

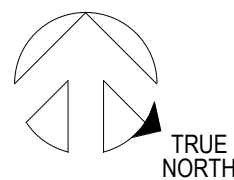
- 12 COORDINATE AND PROVIDE ADEQUATE BLOCKING FOR ALL ITEMS ATTACHED OR MOUNTED TO PARTITIONS.
- 13 EQUIPMENT ITEMS SHOWN FOR REFERENCE ONLY. COORDINATE FINAL LOCATIONS AND CONFIGURATIONS WITH MEP REQUIREMENTS AND DRAWINGS. REFER TO ENGINEERING DRAWINGS FOR FULL EXTENT OF WORK.
- 14 PROVIDE STAINLESS STEEL CORNER GUARDS AT EACH OUTSIDE CORNER IN ALL CORRIDOR LOCATIONS.
- 15 USE MOISTURE AND MOISTURE RESISTANT SUBSTRATE AND TILE BACKING PANELS AT ALL WET AND TILE LOCATIONS, RESPECTIVELY. LOCATIONS INCLUDE JANITOR CLOSETS, SHOWER ROOM WALLS AND CEILINGS, BEHIND ALL SINKS, TOILETS, URINALS, AND DRINKING FOUNTAIN LOCATIONS.

GENERAL NOTES - FLOOR PLAN

- 16 DAHU GALLERY WATER DAM AT DOOR OPENINGS: 12" HIGH ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1' 11/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT INTO ADJACENT ROOMS.
- 17 ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK. SEE DETAILS ON A706.
- 18 GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE BUILDING ENVELOPE.
- 19 REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS
- 20 ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.

KEYPLAN

OVERALL



PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

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ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKIS ARCHITECT: HKIS

MARK DATE DESCRIPTION

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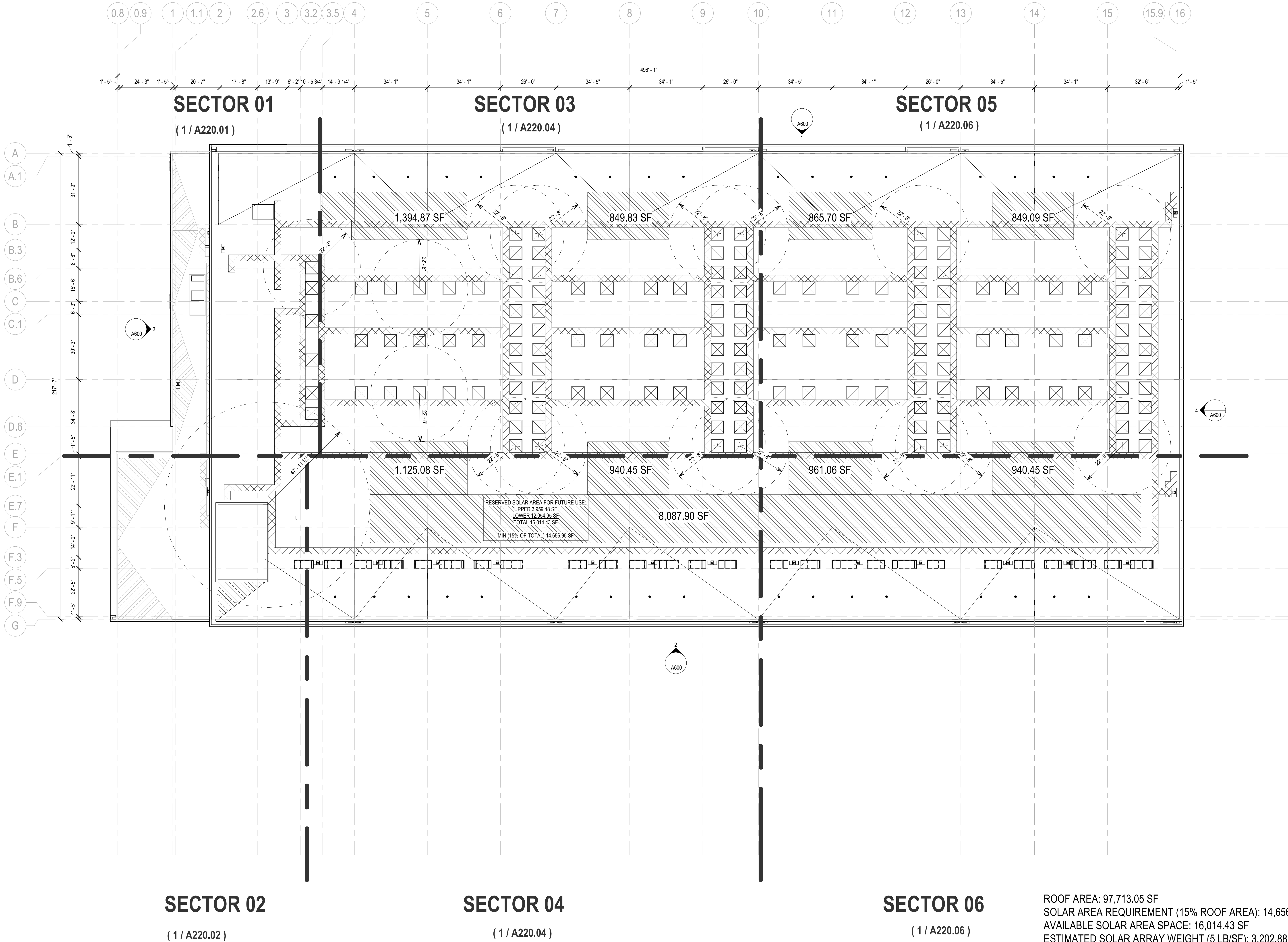
SECURITY ENGINEER
GUIDEPOST
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San Francisco, California 94104

PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL LEVEL 03 CORE & SHELL OVERALL FLOOR PLAN

DRAWING: A230.00

E1 SCALE: 1" = 20'-0" AGILE No: REV:



SECTOR 06
(1 / A220.06)

ROOF AREA: 97,713.05 SF
SOLAR AREA REQUIREMENT (15% ROOF AREA): 14,656.95 SF
AVAILABLE SOLAR AREA SPACE: 16,014.43 SF
ESTIMATED SOLAR ARRAY WEIGHT (5 LB/SF): 3,202.88 LB

1 ARCHITECTURAL ROOF & PENTHOUSE OVERALL FLOOR PLAN
A290.00 1" = 20'-0"

LEGEND ROOF PLAN

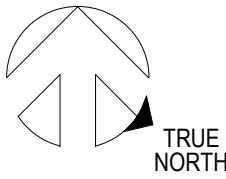
- WALKWAY PAD
- TAPERED ROOF INSULATION
- RESERVED SOLAR AREA FOR FUTURE USE

ROOF PLAN NOTES

- ALL ROOF TO BE KEPT SINGLE PLY ROOFING MEMBRANE WITH MINIMUM R20 INSULATION.
- HATCHING INDICATES AREAS WHERE THE ROOF SURFACE SLOPE IS ACHIEVED WITH TAPERED INSULATION. THE ROOF SURFACE SLOPE IN AREAS WITHOUT HATCHING IS ACHIEVED WITH SLOPING STRUCTURE.
- PROVIDE WALKWAYS PROTECTION TO MAJOR MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT AS REQUIRED TO PROVIDE SERVICE ACCESS. WALKWAYS PROTECTION IS INDICATED AS A GENERAL LAYOUT AND MAY NOT SHOW ALL FINAL LOCATIONS OF ALL EQUIPMENT.
- TAPERED INSULATION SHALL PROVIDE A MINIMUM OF 1/4" - INCH PER FOOT OF SLOPE TO ROOF DRAINS, UNLESS NOTED OTHERWISE.
- ALL ROOF CURBS TO BE A MINIMUM OF 6" ABOVE ROOFING LEVELS. PROVIDE TAPERED INSULATION ROOF SADDLES AT ROOF CURBS TO PROVIDE DRAINAGE AROUND CURB.
- SEE STRUCTURAL DRAWINGS FOR FRAMING AROUND ROOF PENETRATIONS.
- ALL ROOF TOP MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT SHOWN FOR INFORMATION ONLY COORDINATION THE SIZE AND LOCATION OF ROOF.
- PENETRATIONS FOR MECHANICAL AND ELECTRICAL EQUIPMENT, REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR PENETRATIONS NOT SHOWN ON THIS DRAWING.
- FLASH DRAINS, CURBS, VENTS AND STACKS PER MANUFACTURER'S RECOMMENDATIONS IF DETAIL NOT SHOWN ON DRAWINGS.
- NO ROOF PENETRATIONS ALLOWED WITHIN 4'-0" EACH SIDE OF FOREWALL. SEE CODE PLAN FOR FIRE WALL LOCATIONS.
- REFER TO SHEET A732, A733 FOR TYPICAL ROOF DETAILS.

KEYPLAN

OVERALL



PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

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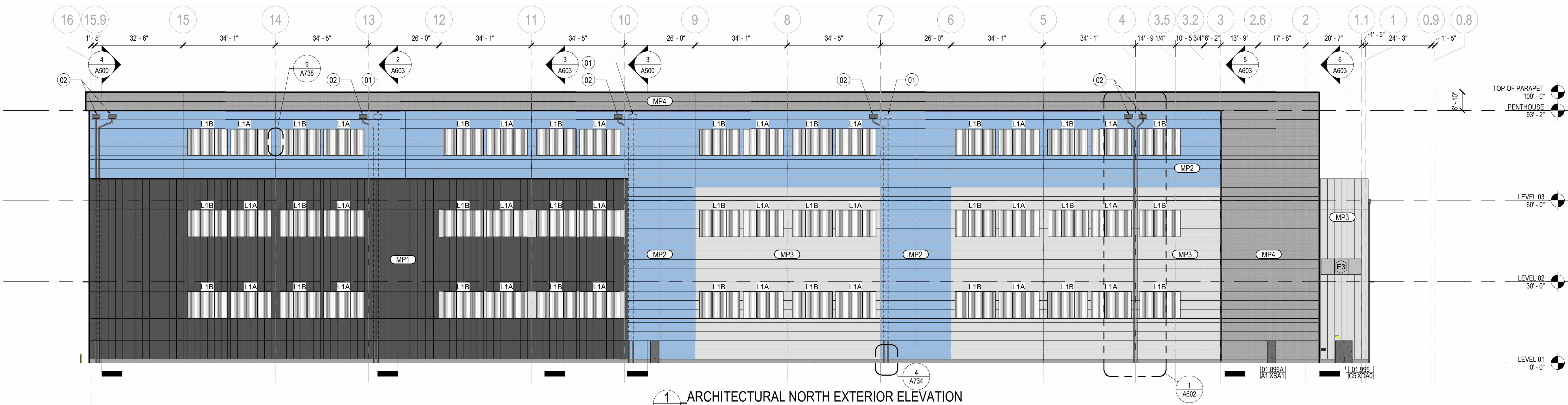
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315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING A SHELL

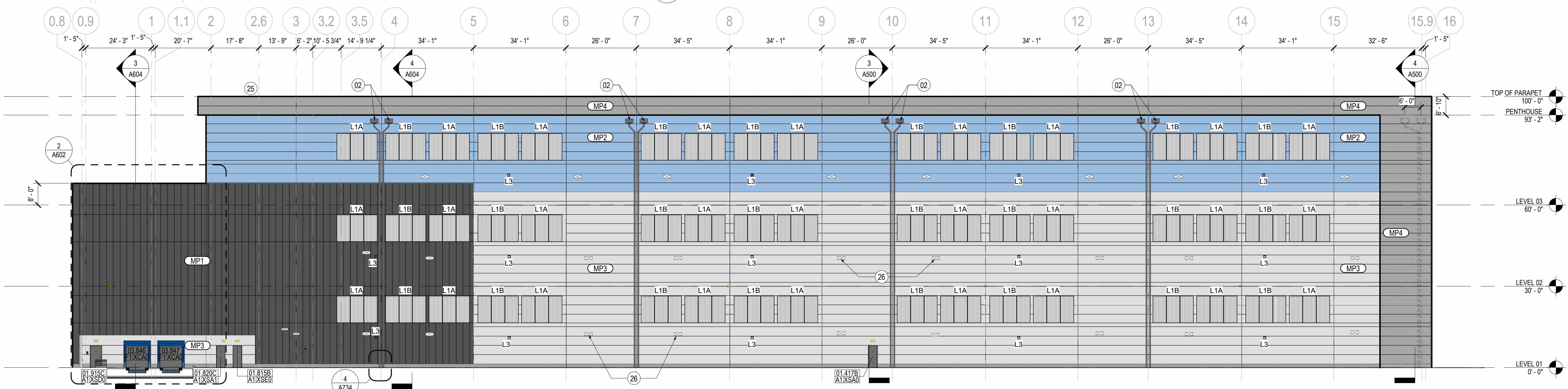
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DRAWING: A290.00

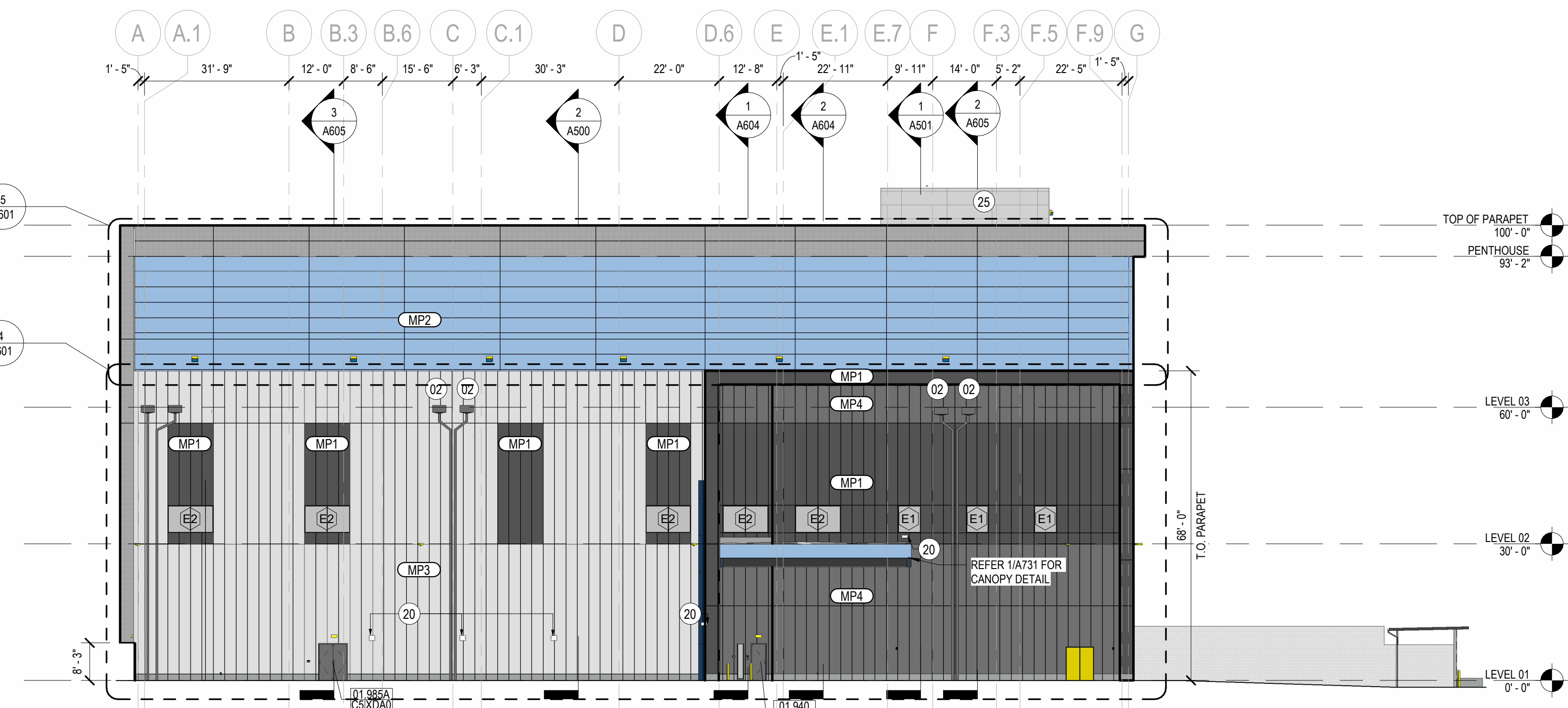
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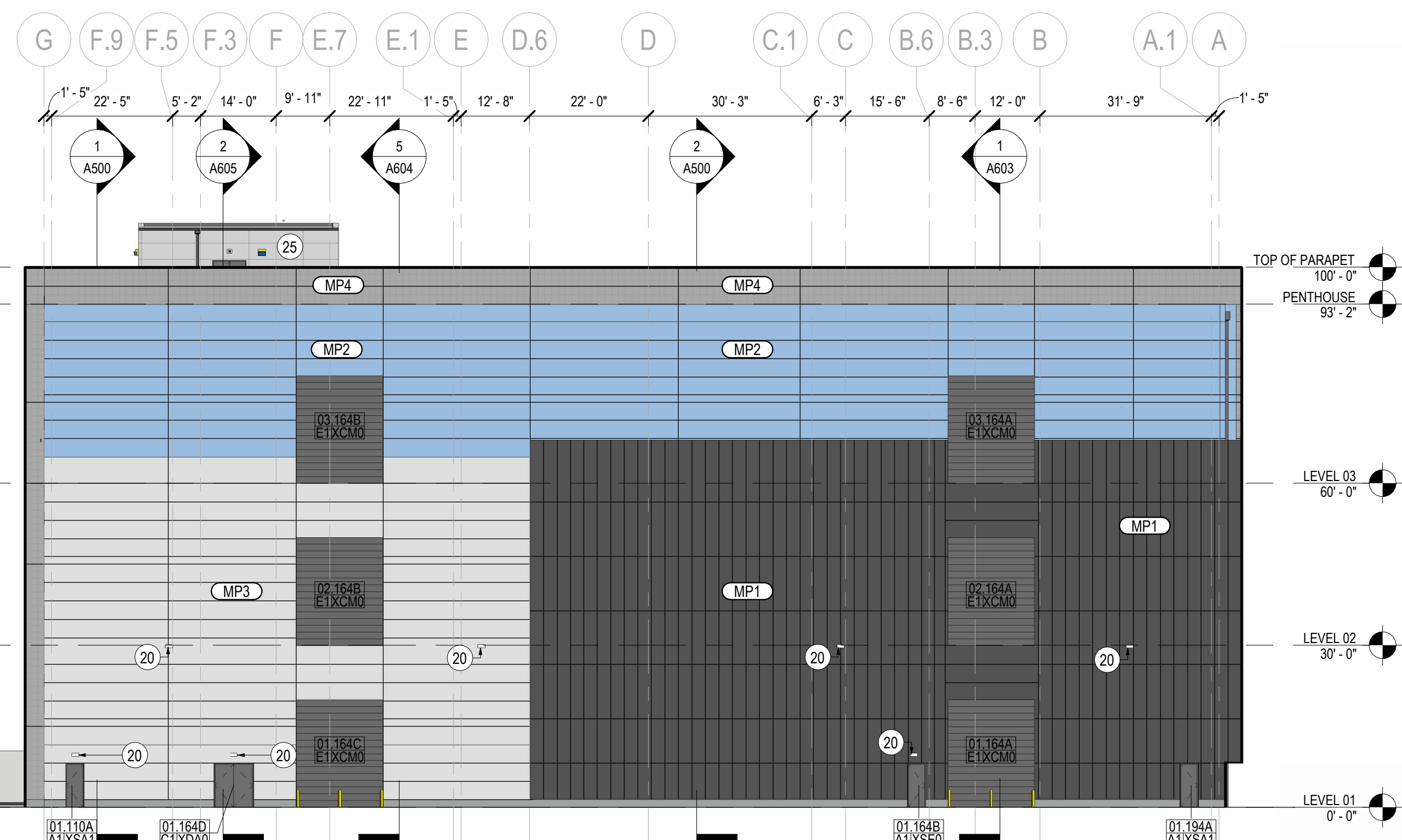
1 ARCHITECTURAL NORTH EXTERIOR ELEVATION
1" = 20'-0"



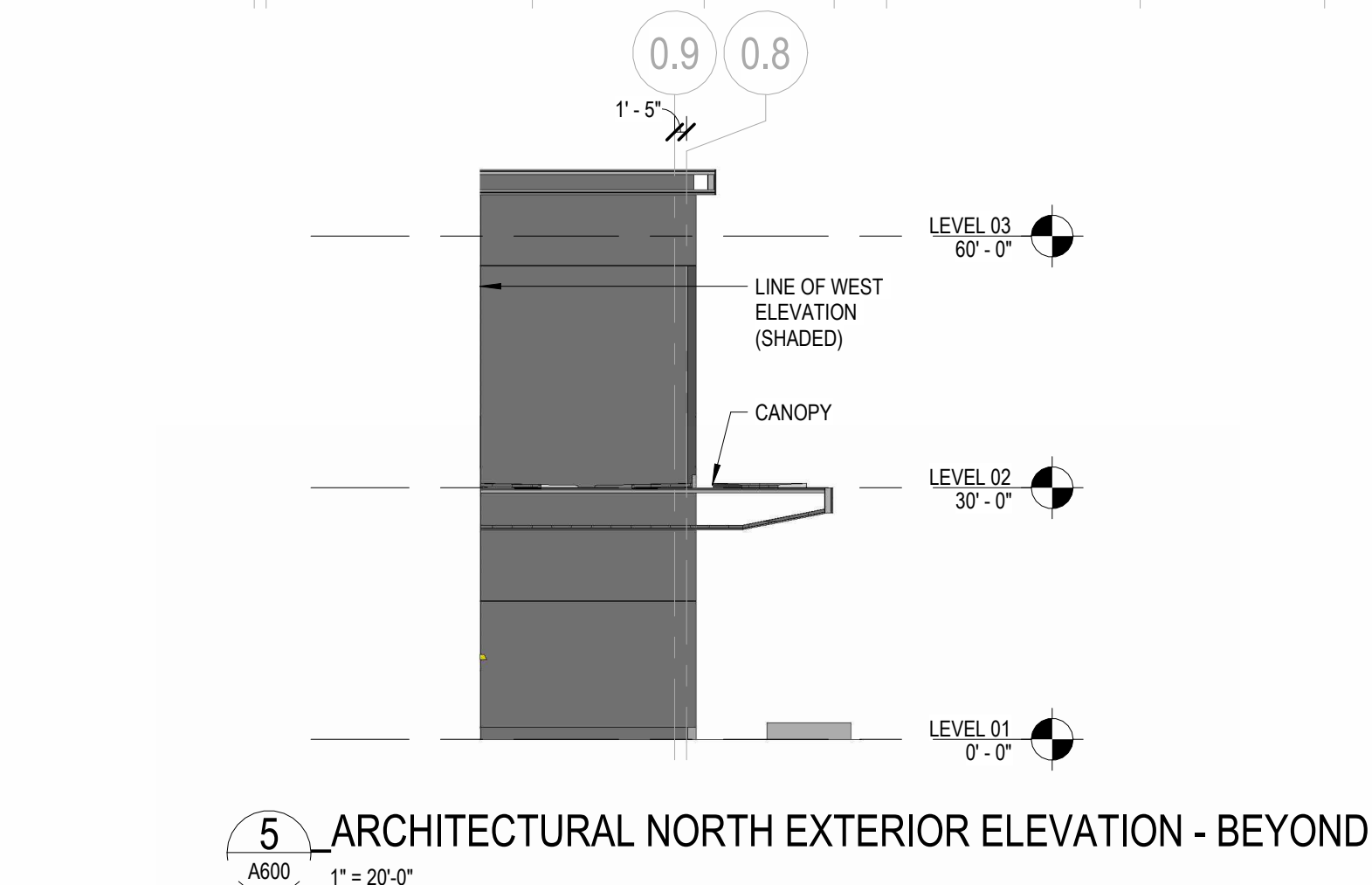
2 ARCHITECTURAL SOUTH EXTERIOR ELEVATION
1" = 20'-0"



3 ARCHITECTURAL WEST EXTERIOR ELEVATION
1" = 20'-0"



4 ARCHITECTURAL EAST EXTERIOR ELEVATION
1" = 20'-0"

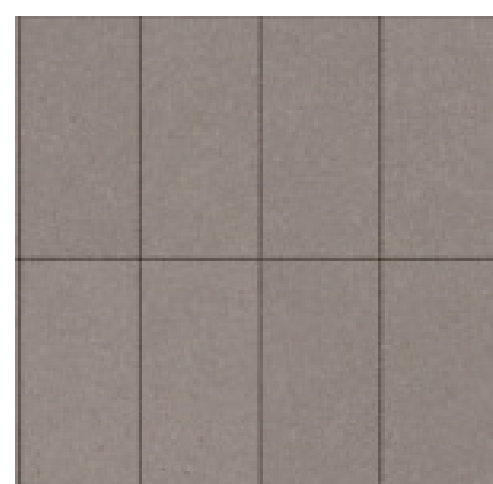


5 ARCHITECTURAL NORTH EXTERIOR ELEVATION - BEYOND
1" = 20'-0"

EXTERIOR FINISH LEGEND:

MP1	BOD: CENTRIA FORMA WALL DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL DARK BRONZE
MP2	BOD: CENTRIA FORMA WALL DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 200 DEEP BLUE SEA
MP3	BOD: CENTRIA FORMA WALL WHITE COLOR SMOOTH EXTERIOR TEXTURE 179 REGAL WHITE
MP4	BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL MEDIUM GRAY
MP5	BOD: CENTRIA PARADIGM METAL PANEL 9918 DOVE GRAY; 9989 PLATINUM SUNDACNE AM COATING; 9989 PLATINUM SUNDANCE MICA COATING

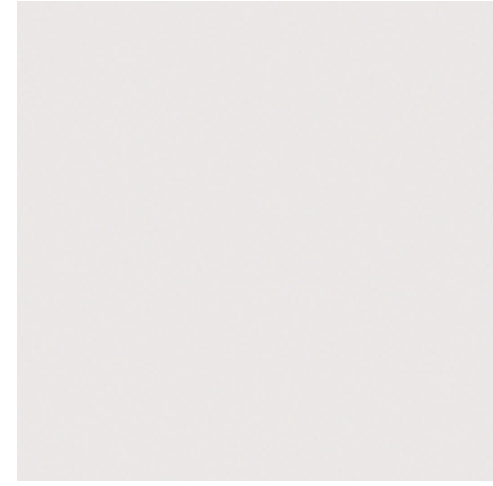
EXTERIOR FINISH LEGEND



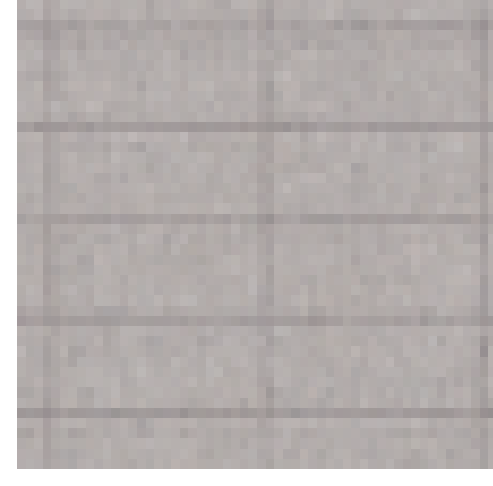
MP1



MP2



MP3



MP4

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PROJECT: BUILDING A SHELL

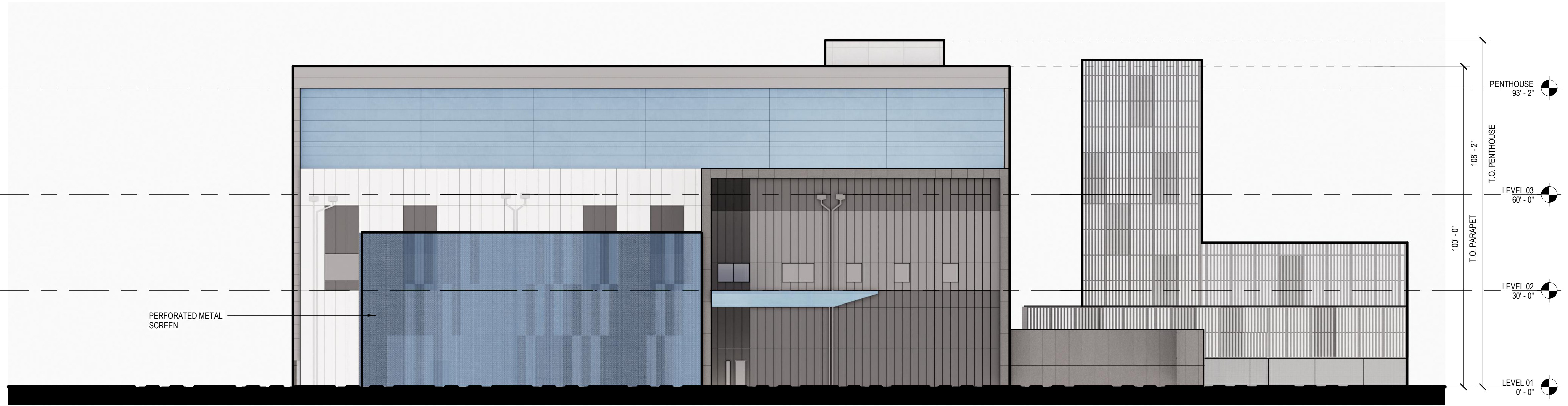
TITLE: ARCHITECTURAL EXTERIOR ELEVATIONS

DRAWING: A600

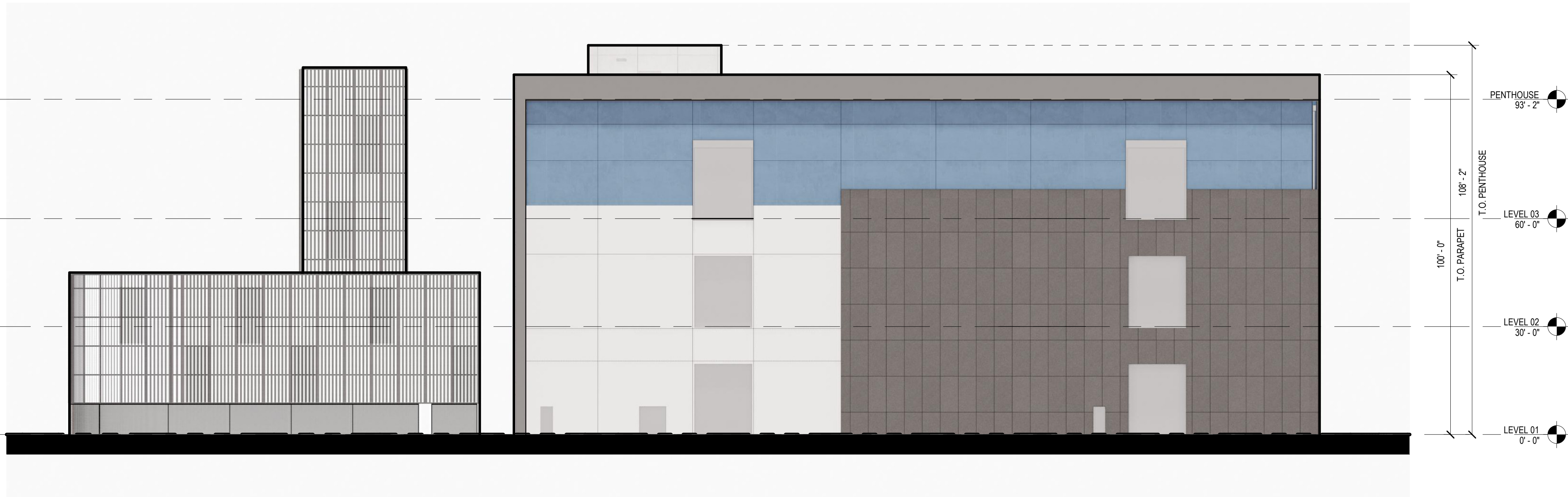
E1 SCALE: As indicated AGILE No: REV:

SHEET NOTES - EXTERIOR ELEVATIONS

#	DESCRIPTION
01	THROUGH WALL SCUPPER AND DOWN BEHIND METAL PANEL. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS PREFINISHED TO MATCH ADJACENT LOUVER COLOR. TYP.
02	THROUGH WALL SCUPPER AND DOWN SPOUT. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS BELOW. PREFINISHED TO MATCH ADJACENT WALL COLOR. TYP.
03	DOCK SEAL. TYP.
04	WINDOW TYPE 'E1': RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
05	WINDOW TYPE 'E2': RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
06	EXTERIOR DOORS TO BE PAINTED TO MATCH COLOR OF WALL IN WHICH THEY OCCUR TYP.
07	METAL PANEL SYSTEM REVEALS TYP.
12	BUILDING ENTRY STOREFRONT DOOR AND GLAZING.
13	LINE OF SCREEN WALL (DASHED). REFER TO PROVIDED ELEVATIONS FOR ADDITIONAL INFORMATION.
18	8" HIGH STEEL LETTERS, PIN MOUNTED TO TILT UP PANEL. PAINTED TO MATCH EPT3
20	WALL PACK EXTERIOR LIGHT FIXTURE. CENTER OVER DOOR OR OVER LOUVERS OR WITHIN PANEL, WHERE APPLICABLE; RE: ELECTRICAL DRAWINGS
25	METAL PANEL TYPE 5 (TO BE DETERMINED)
26	WALL CUTOUTS TO BE COORDINATED WITH MEP.



1 ARCHITECTURAL WEST EXTERIOR ELEVATION
A610 1" = 20'-0"



2 ARCHITECTURAL EAST EXTERIOR ELEVATION
A610 1" = 20'-0"

EXTERIOR MATERIALS LEGEND:

EXTERIOR GLAZING (GL):

GL-01 PVB LAMINATED GLASS
COLOR: FROSTED/TINTED

METAL PANEL (MP):

MP-01 DARK BRONZE COLOR SMOOTH
EXTERIOR TEXTURE FLUOROFINISH
COATING
9960 XL DARK BRONZE

MP-02 DEEP BLUE COLOR EMBOSSED
EXTERIOR TEXTURE FLUOROFINISH
COATING
200 DEEP BLUE SEA

MP-03 WHITE COLOR SMOOTH EXTERIOR
TEXTURE
179 REGAL WHITE

MP-04 MEDIUM GRAY COLOR EMBOSSED
EXTERIOR TEXTURE FLUOROFINISH
COATING
9960 XL MEDIUM GRAY

PERFORATED METAL SCREEN

A METAL SCREEN STANDALONE
STRUCTURE

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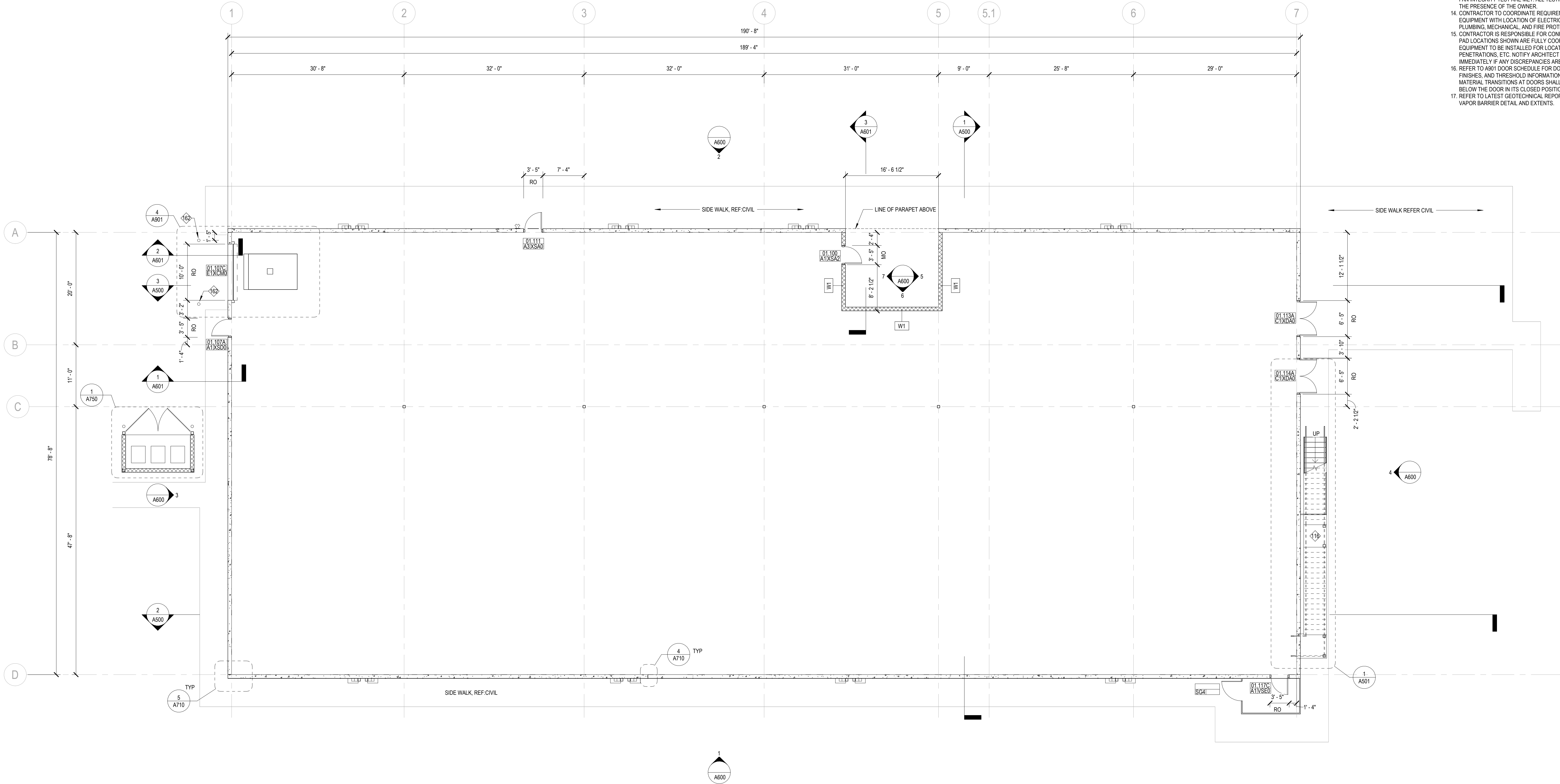
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PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL EXTERIOR ELEVATION

DRAWING: A610

E1 SCALE: As indicated AGILE No: REV:



1 ARCHITECTURAL CS LEVEL 01 OVERALL PLAN
A210 1/8" = 1'-0"

FLOOR PLAN LEGEND

	1HR FIRE BARRIER
	2HR FIRE BARRIER
	BRACKET MOUNTED PORTABLE FIRE EXTINGUISHER
	CARD READER
	DOOR NUMBER
	DOOR HARDWARE SET NUMBER
	DOOR ELEVATION
	STANDARD LOCKER SYSTEM

SHEET KEYNOTE LEGEND

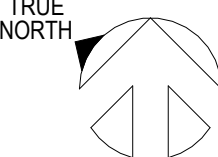
KEY	KEYNOTE TEXT
116	STEEL STAIR AND ACCESS PLATFORMS ARE BY DELEGATED DESIGN. REFER TO EXTERIOR STAIR AND EQUIPMENT ACCESS PLATFORM GENERAL NOTES ON THIS SHEET
162	TYP. NON REMOVABLE BOLLARD, SEE DETAIL 11/A750

GENERAL NOTES - FLOOR PLAN

1. ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL (0'-0" = CIVIL FINISH FLOOR ELEVATION, SEE CIVIL OR F.F.E.
2. WHERE ENLARGED PLANS ARE PROVIDED, DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN, UNLESS OTHERWISE INDICATED.
3. ALL STRUCTURAL STEEL EXPOSED TO VIEW WILL CONFORM TO A.E.S.S. SPECIFICATIONS.
4. REFER TO A710 FOR EXTERIOR WALL, ROOF AND FLOOR ASSEMBLIES.
5. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
6. CONTRACTOR MUST VERIFY (IN FIELD (W/F) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
7. LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.
8. 15 MIL VAPOR BARRIER TO BE PLACED UNDER THE BUILDING SLAB ON GRADE.
9. REFER TO SHEET A750 FOR SITE DETAILS.
10. ALL FIBER AND CABLE PENETRATIONS THROUGH RATED WALLS TO HAVE APPROVED ASSEMBLIES. VERIFY WITH AWS DE.
11. PURCHASE AND INSTALL ADHERED 48" TALL STAINLESS STEEL CORNER GUARDS ABOVE THE WALL BASE, TIGHT TO THE WALL, AT ALL OUTSIDE CORNERS.
12. PROVIDE ROOF DAVITS FOR FUTURE MAINTENANCE TIE-OFF. G.C. SHALL COORDINATE EXACT INSTALL DIMENSIONS IN FIELD TO ENSURE DAVIT IS 8" ABOVE THE ROOF SURFACE AND PROPERLY FLASHED.
13. CONTRACTOR IS RESPONSIBLE FOR PROVIDING WALL, DOOR, AND FIRE/SMOKE STOPPING CONSTRUCTION THROUGHOUT THE BUILDING, WHICH MEETS THE REQUIREMENTS OF THE UL LISTED ASSEMBLIES SPECIFIED. UPON COMPLETION OF THIS CONSTRUCTION, THE FIRE PROTECTION CONTRACTOR WILL PROVIDE FAN INTEGRITY TESTING IN COMPLIANCE WITH NFPA-2001 AND THE REQUIREMENTS SET FORTH IN THE FIRE SUPPRESSION DRAWINGS & OWNER'S NETWORK STANDARDS. SHOULD A SPACE NOT MEET THE REQUIREMENTS OF THE TESTING, THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER, SHALL PROVIDE FOR ANY MODIFICATIONS REQUIRED IN THE CONSTRUCTION (WHICH MEET THE SPECIFICATIONS FOR THE PROJECT) TO ENSURE THE REQUIREMENTS OF THE FAN INTEGRITY TEST ARE MET. ALL TESTING SHALL BE DONE IN THE PRESENCE OF THE OWNER.
14. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
15. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT THE PAD LOCATIONS SHOWN ARE FULLY COORDINATED WITH THE EQUIPMENT TO BE INSTALLED FOR LOCATION, SIZE, PENETRATIONS, ETC. NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
16. REFER TO A501 DOOR SCHEDULE FOR DOOR & FRAME FINISHES, AND THRESHOLD INFORMATION. ALL THRESHOLDS & MATERIAL TRANSITIONS AT DOORS SHALL BE CENTERED BELOW THE DOOR IN ITS CLOSED POSITION.
17. REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS.

KEYPLAN

OVERALL



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PROJECT:

BUILDING B SHELL

TITLE:

ARCHITECTURAL CORE & SHELL OVERALL FLOOR PLAN

DRAWING:

A210

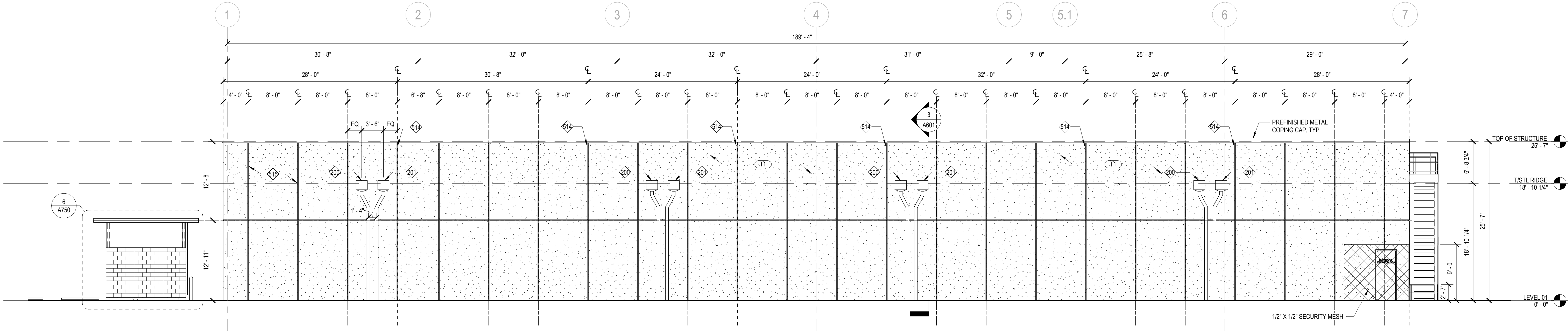
E1

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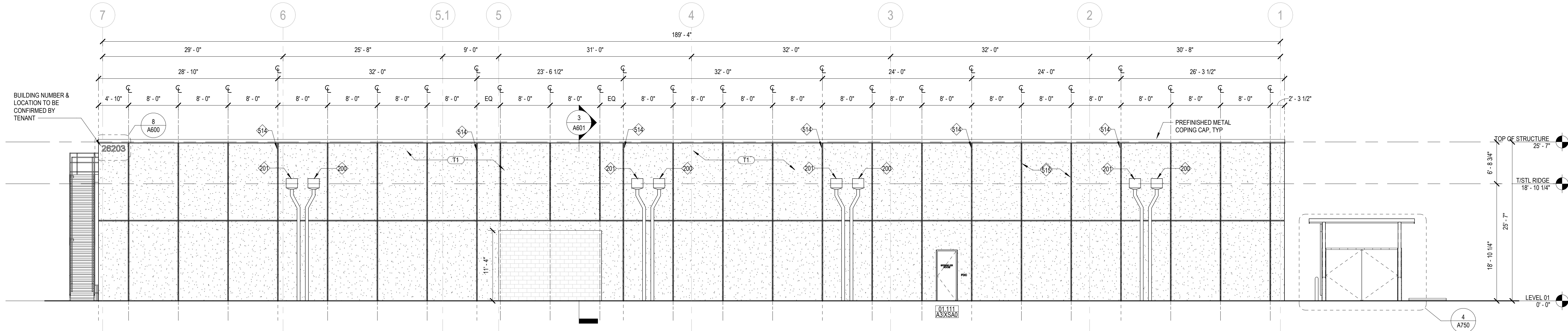
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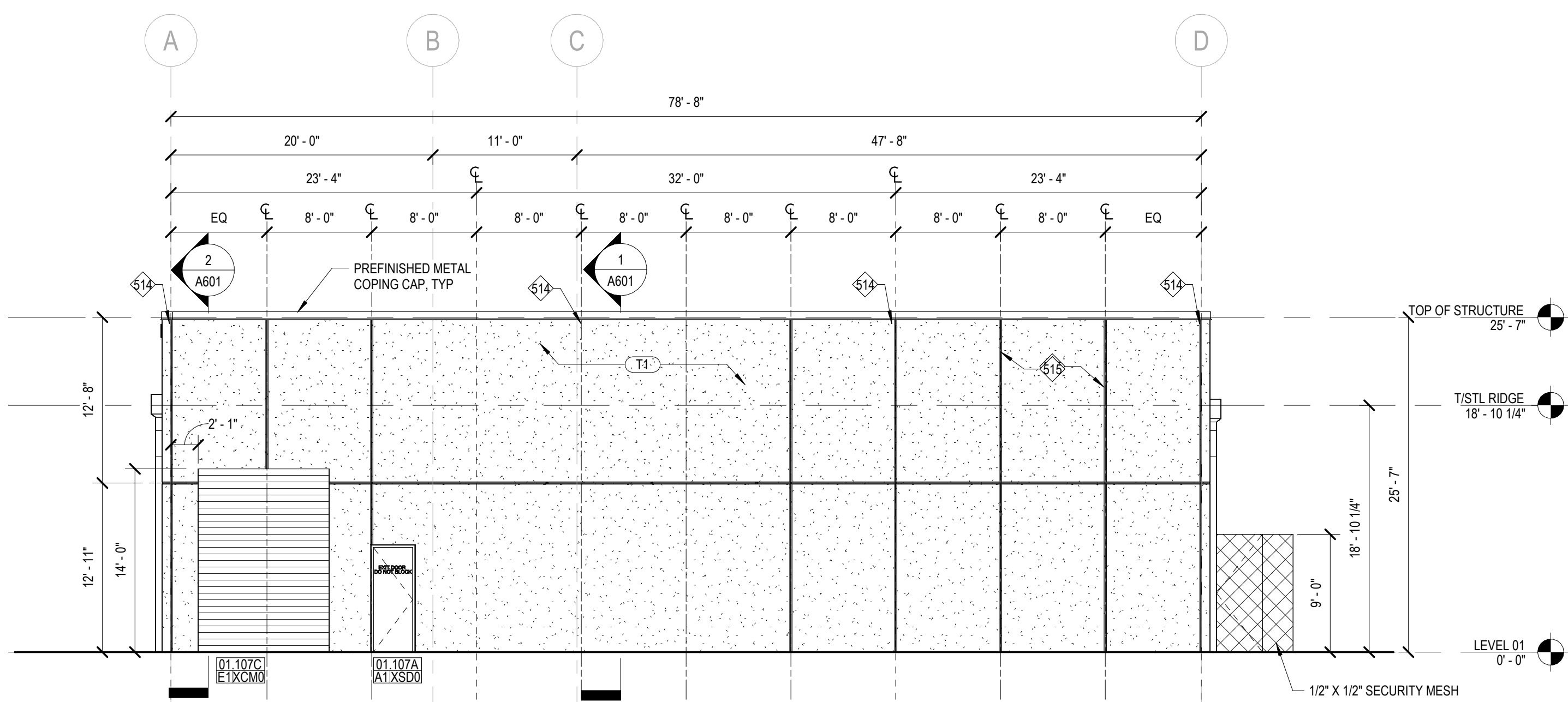
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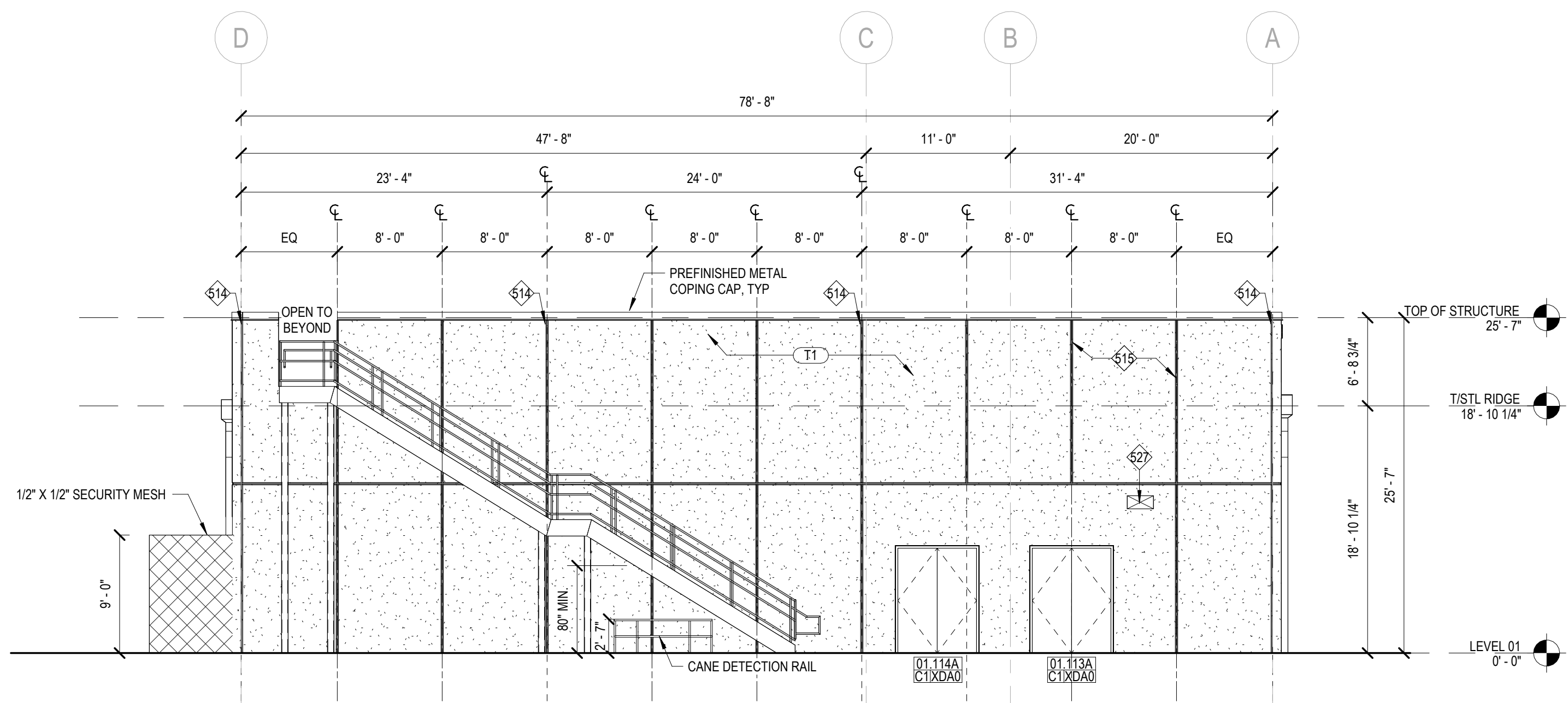
1 ARCHITECTURAL CS SOUTH ELEVATION
A600 1/8" = 1'-0"



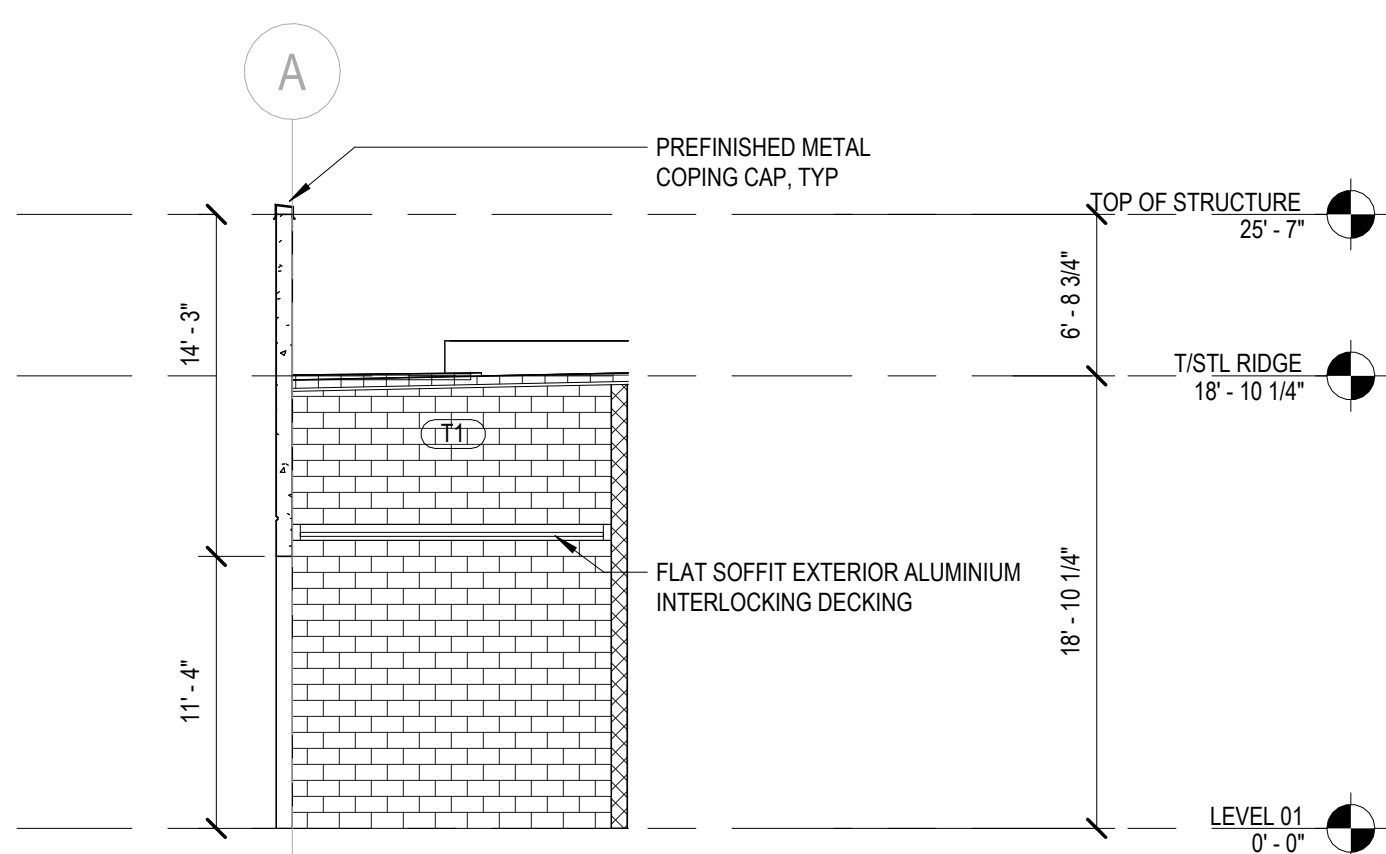
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A600 1/8" = 1'-0"



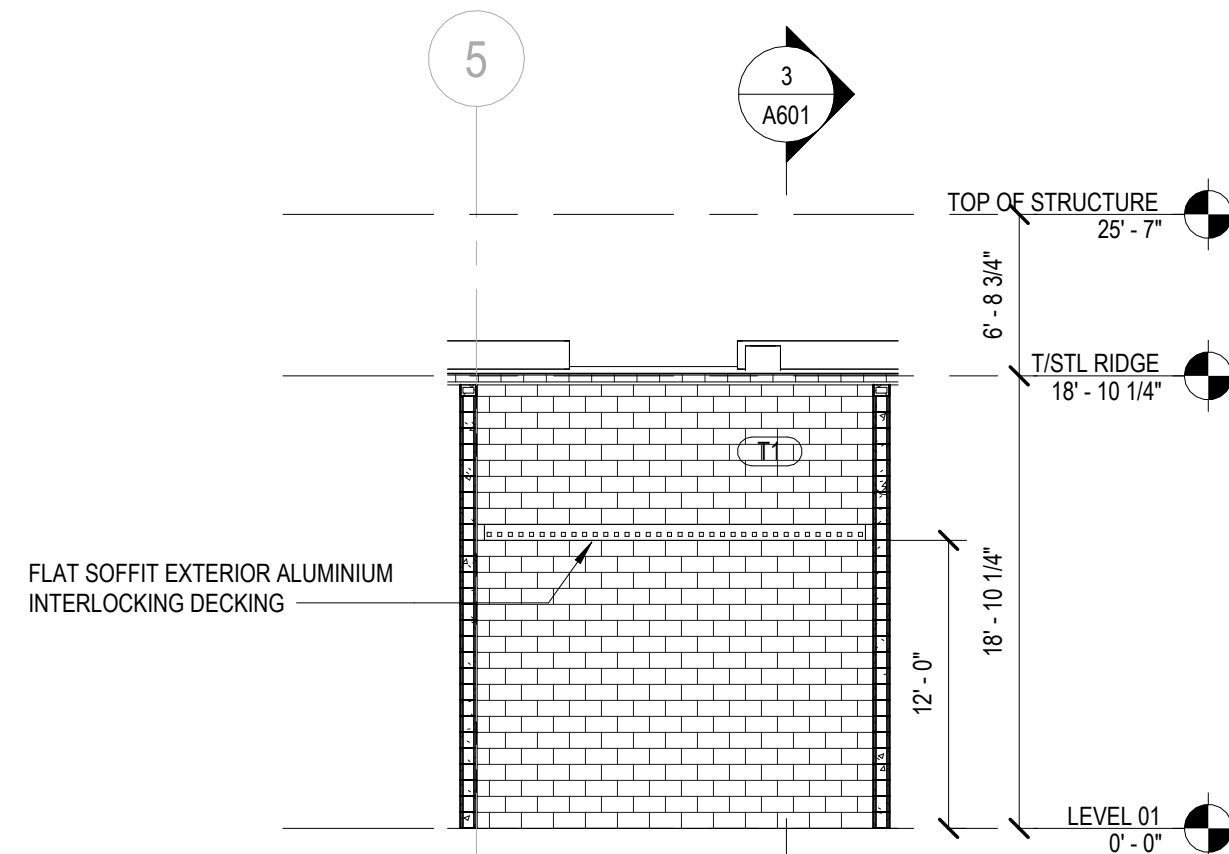
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A600 1/8" = 1'-0"



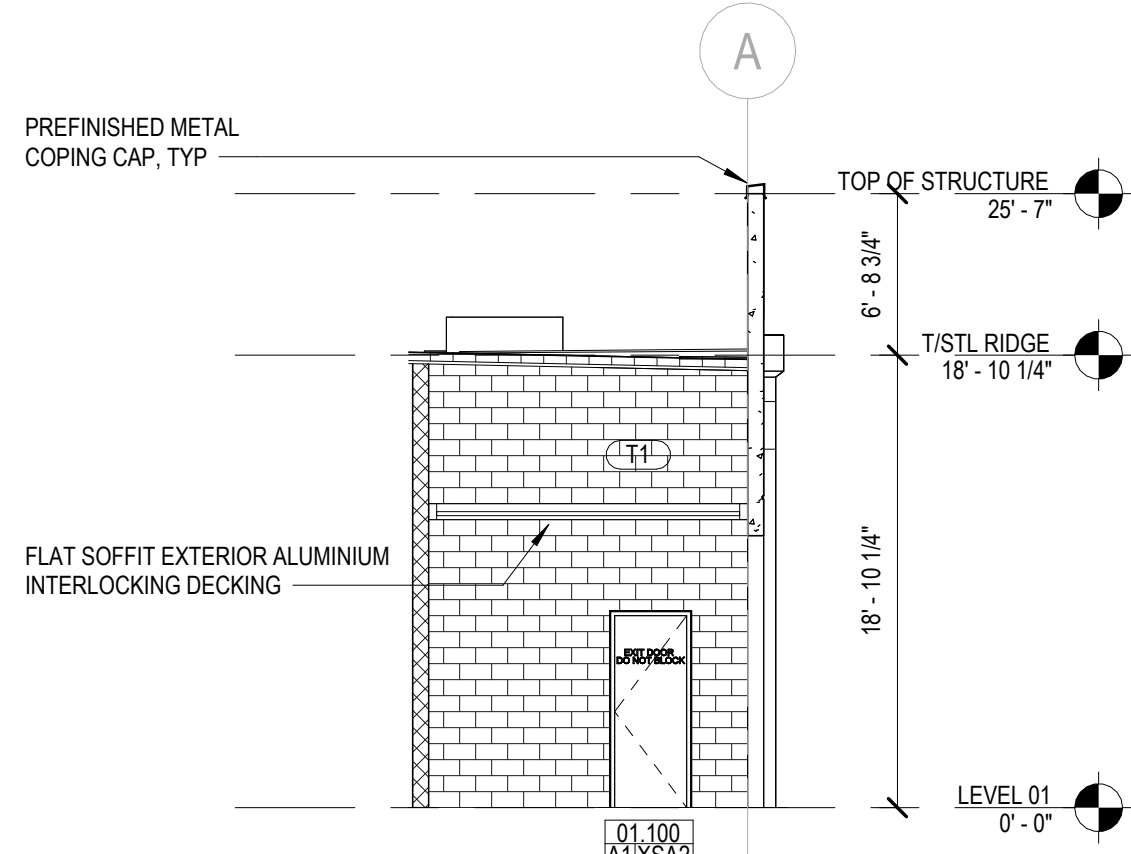
4 ARCHITECTURAL CS EAST ELEVATION
A600 1/8" = 1'-0"



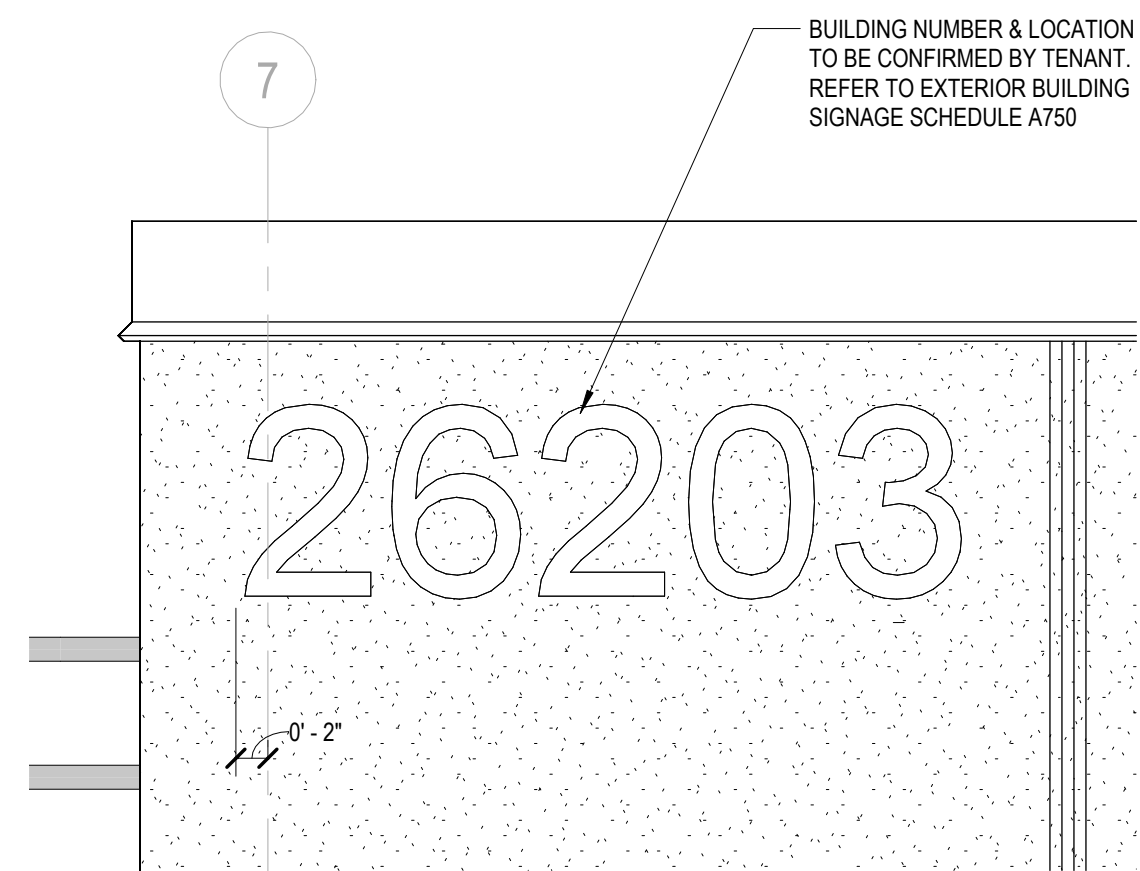
5 ENTRY VESTIBULE WEST ELEVATION
A600 1/8" = 1'-0"



6 ENTRY VESTIBULE NORTH ELEVATION
A600 1/8" = 1'-0"



7 ENTRY VESTIBULE EAST ELEVATION
A600 1/8" = 1'-0"



8 EXTERIOR SIGNAGE DETAIL
A600 1" = 1'-0"

GENERAL NOTES

1. ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR FFE.
2. ALL STRUCTURAL STEEL EXPOSED TO VIEW WILL CONFORM TO A.E.S.S. SPECIFICATIONS.
3. REFER TO A710 FOR EXTERIOR WALL, ROOF ASSEMBLIES.
4. EXTERIOR WALLS ARE TILT-UP WALL ASSEMBLIES UNO.
5. FOR ROUGH OPENING DIMENSIONS OF LOUVERS AND HOLLOW METAL DOOR/WINDOWS, REFER A601.
6. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
7. CONTRACTOR MUST VERIFY IN FIELD (VFI) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
8. EXTERIOR CONCRETE WALLS ARE TO RECEIVE TEXTURED PAINT OR CONCRETE SEALER TO MATCH EXISTING CAMPUS BUILDINGS.
9. REFER TO PANEL JOINT DETAILS SHEET A710.

SHEET KEYNOTE LEGEND

KEY	KEYNOTE TEXT
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOUT ON EXTERIOR FACE OF BUILDING
201	OVERFLOW THROUGH WALL SCUPPER. LOCATE 1 FOOT TO SIDE OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE
514	CONCRETE PANEL CONTROL JOINT TYP. REF. 4/A710
515	CONCRETE PANEL REVEAL TYP. REF. 6/A710
527	WALL CUTOUTS TO BE COORDINATED WITH MEP.

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ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKS ARCHITECT: HKS

MARK DATE DESCRIPTION

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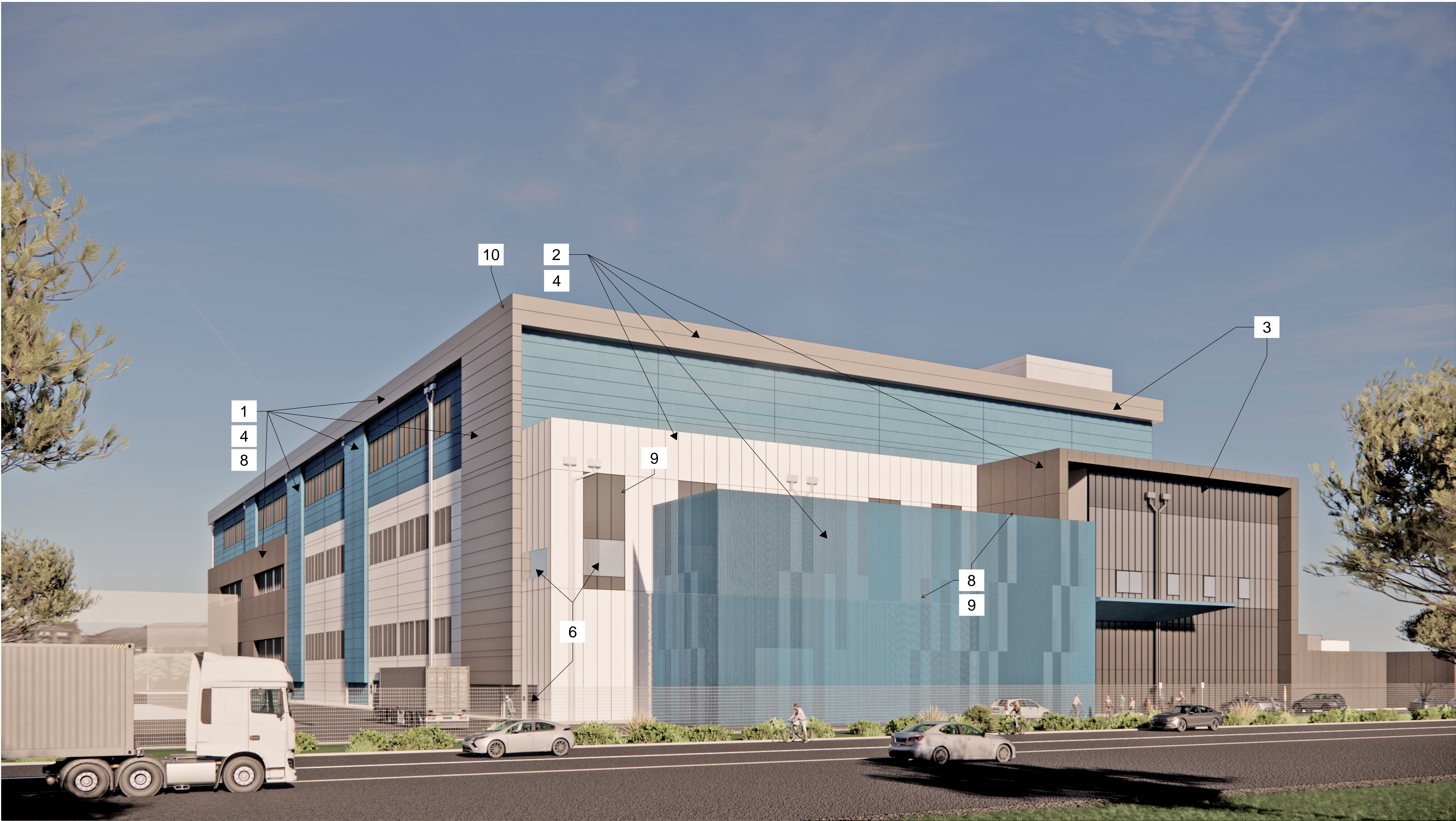
SECURITY ENGINEER
GUIDEPOST
JON LOUBOS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING B SHELL

TITLE: ARCHITECTURAL EXTERIOR ELEVATIONS

DRAWING: A600

E1 SCALE: As indicated ASILE No: REV: 0



HAYWARD INDUSTRIAL DESIGN GUIDELINES - BUILDING DESIGN

MASSING & ARTICULATION

- 1. Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height, and roofs located at different levels in order to minimize the overall appearance of the elevation. In general, building wall planes visible from a public street should not continue for more than 50-feet without a change in building wall plane direction of 2-feet or more.
- 2. Design massing elements to be properly scaled and in proportion to one another in order to provide a balance between horizontal and vertical emphasis.
- 3. Organize street facing building massing so as to emphasize interior uses of a building, such as the primary entry, building corners, or office space, through the use of varying roof height, windows, variation in materials, and other design treatments.

- 4. Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, or other features to create shadow patterns and depth on building elevations. Reuse of existing buildings may also include wall art or sculptural art elements.
- 5. Minimize blank wall planes on all elevations through the use of wall plane variation, trim or reveals, entry and window openings, and/or varying colors and materials.

WINDOWS & DOORS

- 6. Use window and door type, proportion, and colors and materials to complement the overall architectural style of the building.
- 7. Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.

COLORS AND MATERIALS

- 8. Select building colors and materials to reinforce building design, detailing, and architectural form in order to achieve harmony and continuity of the overall design.
- 9. Utilize accent colors for trim, windows, doors, and other key architectural elements, such as primary building entries, to add visual interest to a building.
- 10. Apply materials in a manner that corresponds to variation in building massing. Wrap outside corners to avoid a tacked-on appearance

- 11. Use durable and high quality materials on building exteriors, especially in areas near ground level.



HAYWARD INDUSTRIAL DESIGN GUIDELINES - BUILDING DESIGN

MASSING & ARTICULATION

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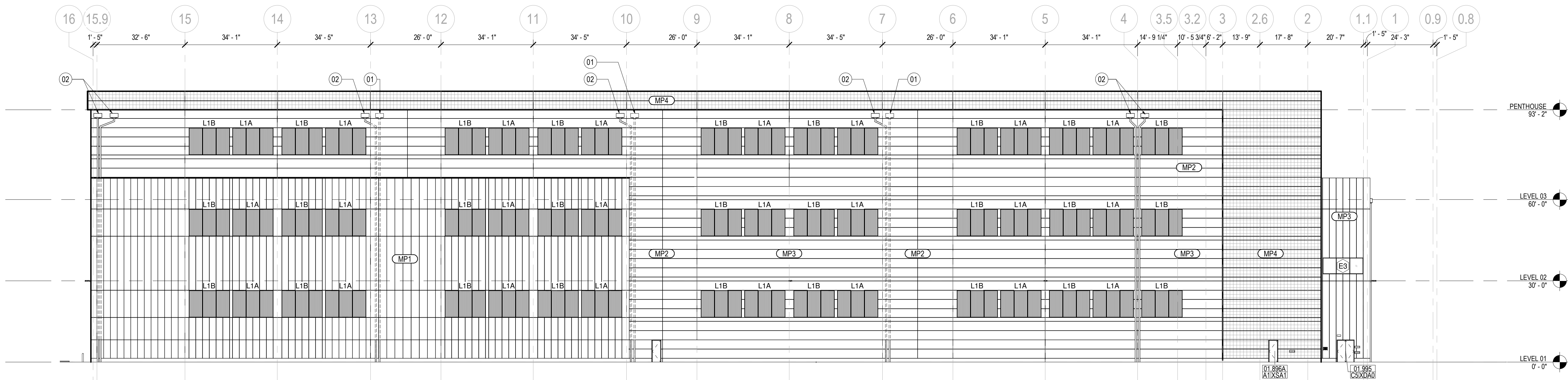
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WINDOWS & DOORS

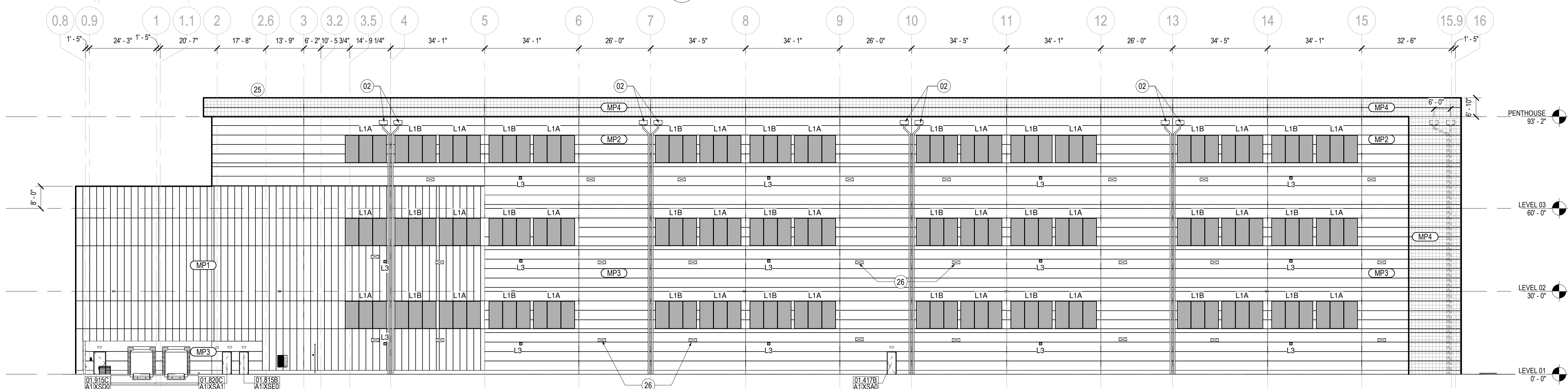
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COLORS AND MATERIALS

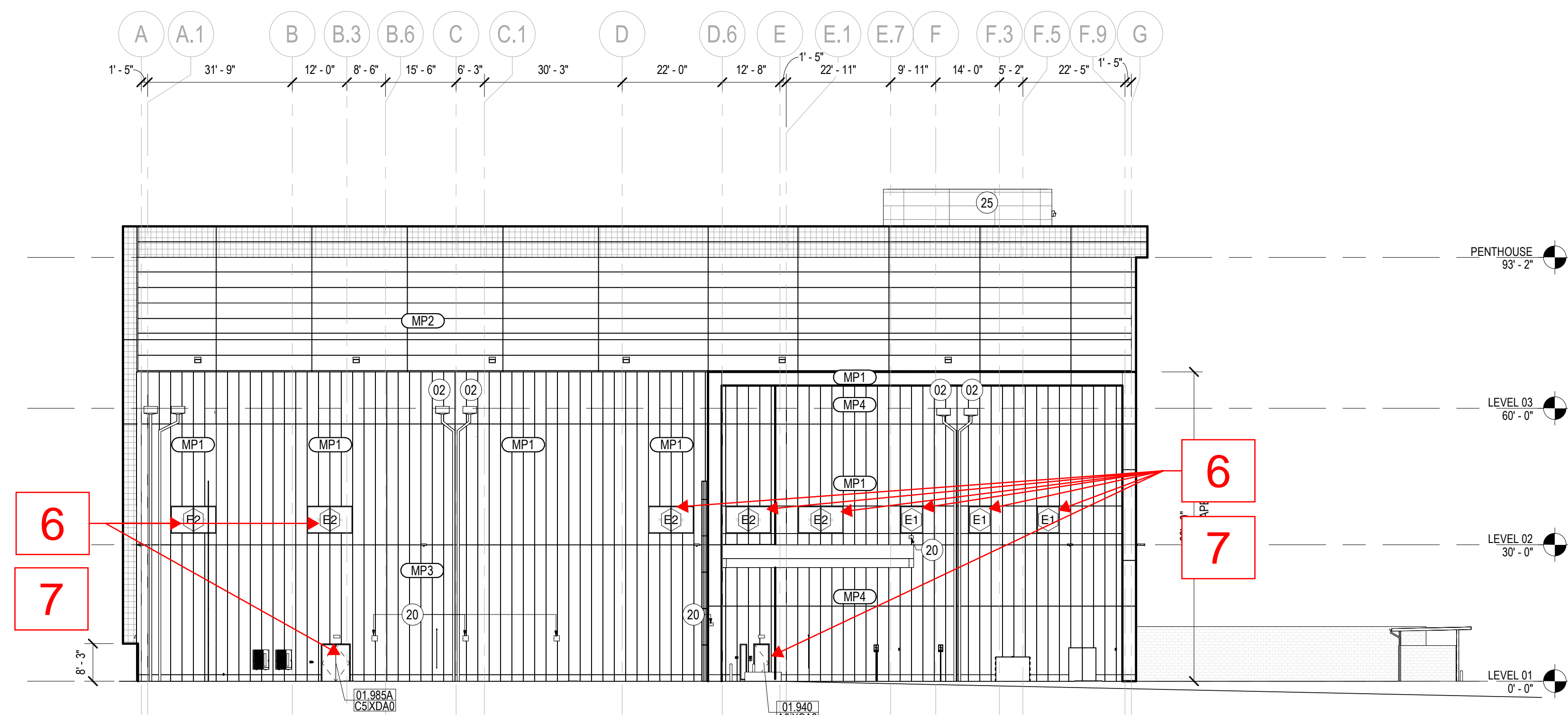
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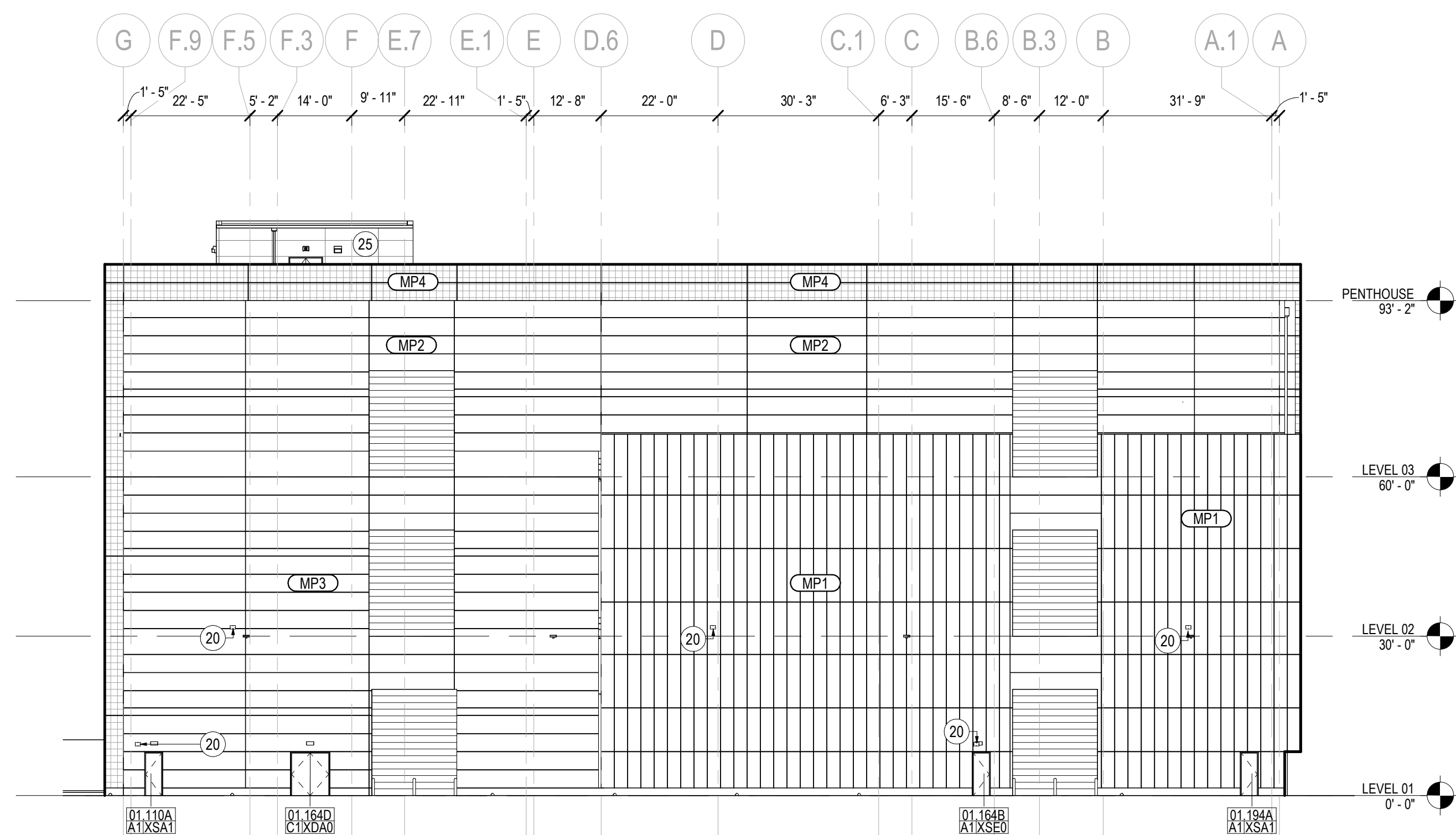
1 ARCHITECTURAL NORTH EXTERIOR ELEVATION
A600 1" = 20'-0"



2 ARCHITECTURAL SOUTH EXTERIOR ELEVATION
A600 1" = 20'-0"



3 ARCHITECTURAL WEST EXTERIOR ELEVATION
A600 1" = 20'-0"



4 ARCHITECTURAL EAST EXTERIOR ELEVATION
A600 1" = 20'-0"

SHEET NOTES - EXTERIOR ELEVATIONS

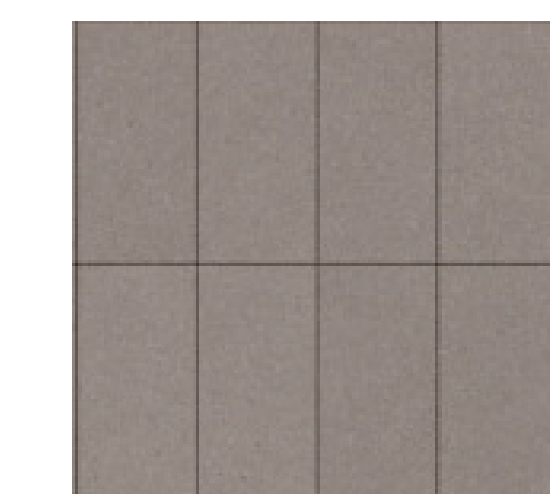
#	NOTE
01	THROUGH WALL SCUPPER AND DOWN BEHIND METAL PANEL. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS PREFINISHED TO MATCH ADJACENT LOUVER COLOR. TYP.
02	THROUGH WALL SCUPPER AND DOWN SPOUT. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS BELOW. PREFINISHED TO MATCH ADJACENT WALL COLOR. TYP.
03	DOCK SEAL. TYP.
06	WINDOW TYPE E1; RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
07	WINDOW TYPE E3; RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
08	EXTERIOR DOORS TO BE PAINTED TO MATCH COLOR OF WALL IN WHICH THEY OCCUR TYP.
09	METAL PANEL. SYSTEM REVEALS TYP.
12	BUILDING ENTRY STOREFRONT DOOR AND GLAZING.
13	LINE OF SCREEN WALL (DASHED), REFER TO PROVIDED ELEVATIONS FOR ADDITIONAL INFORMATION.
18	6" HIGH STEEL LETTERS, PIN MOUNTED TO TILT UP PANEL. PAINTED TO MATCH EPT3
20	WALL PACK EXTERIOR LIGHT FIXTURE. CENTER OVER DOOR OR OVER LOUVERS OR WITHIN PANEL. WHERE APPLICABLE. RE: ELECTRICAL DRAWINGS
25	METAL PANEL. TYPE 5 (TO BE DETERMINED).
26	WALL CUTOUTS TO BE COORDINATED WITH MEP.

11

EXTERIOR FINISH LEGEND:

MP1	BOD: CENTRIA FORMA WALL DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL DARK BRONZE
MP2	BOD: CENTRIA FORMA WALL DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 200 DEEP BLUE SEA
MP3	BOD: CENTRIA FORMA WALL WHITE COLOR SMOOTH EXTERIOR TEXTURE 179 REGAL WHITE
MP4	BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL MEDIUM GRAY
MP5	BOD: CENTRIA PARADIGM METAL PANEL 9918 DOVE GRAY; 9989 PLATINUM SUNDACNE AM COATING; 9989 PLATINUM SUNDANCE MICA COATING

EXTERIOR FINISH LEGEND



MP1



MP2



MP3



MP4

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

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ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
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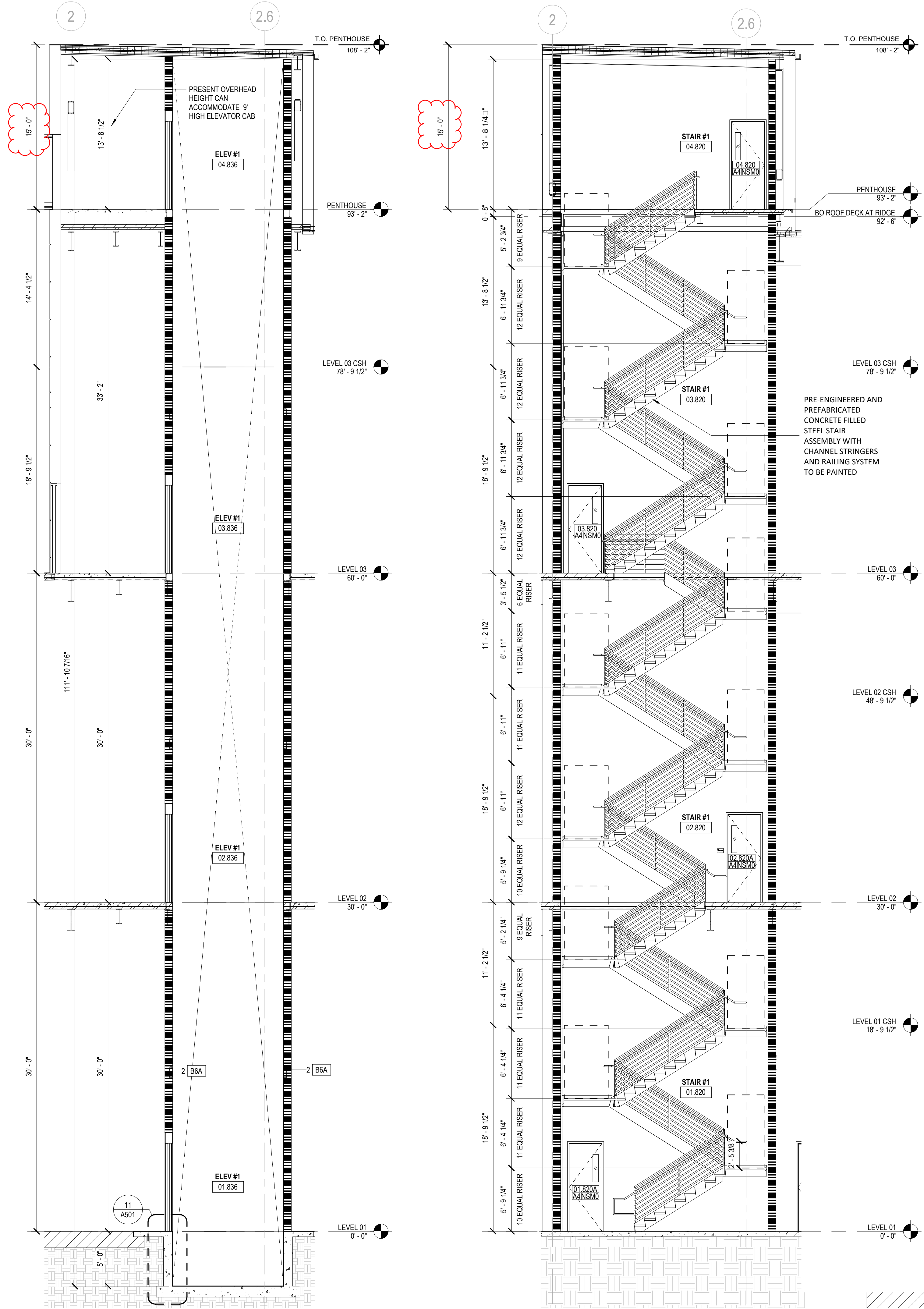
TELECOM ENGINEER ESD GLOBAL TODD GRAMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104
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PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL EXTERIOR ELEVATIONS

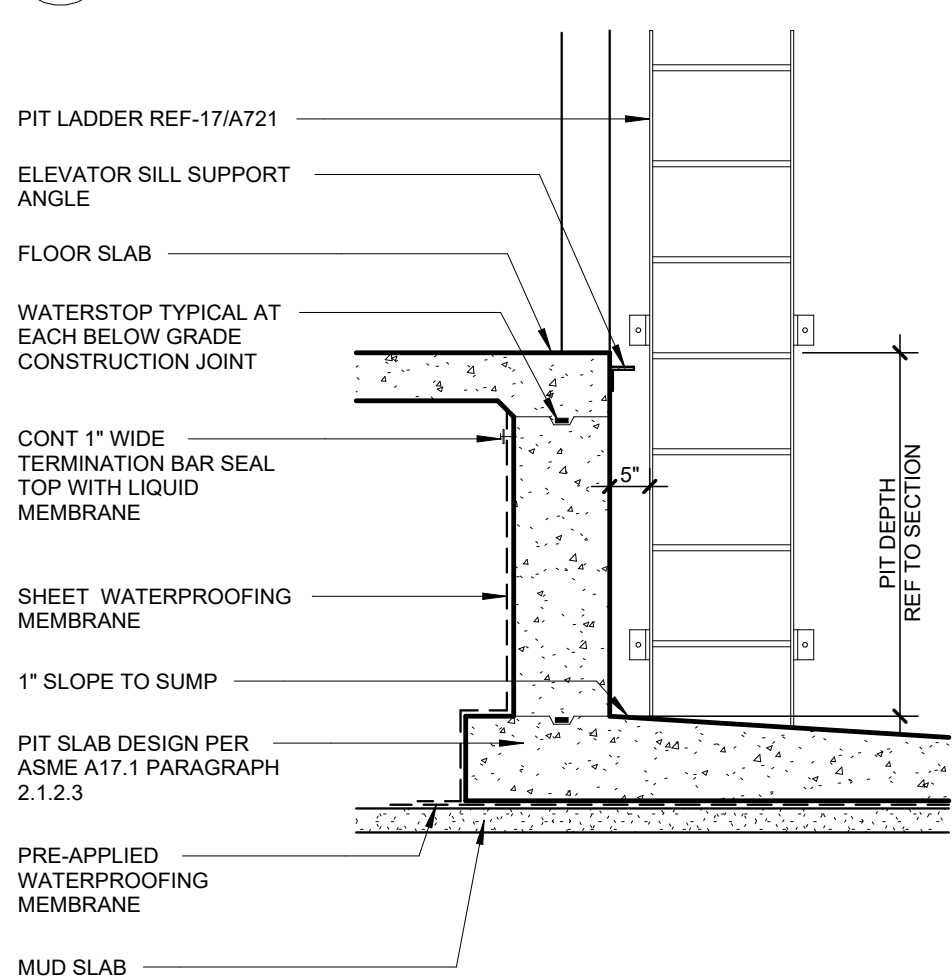
DRAWING: A600

E1 SCALE: As indicated AGILE No: REV:

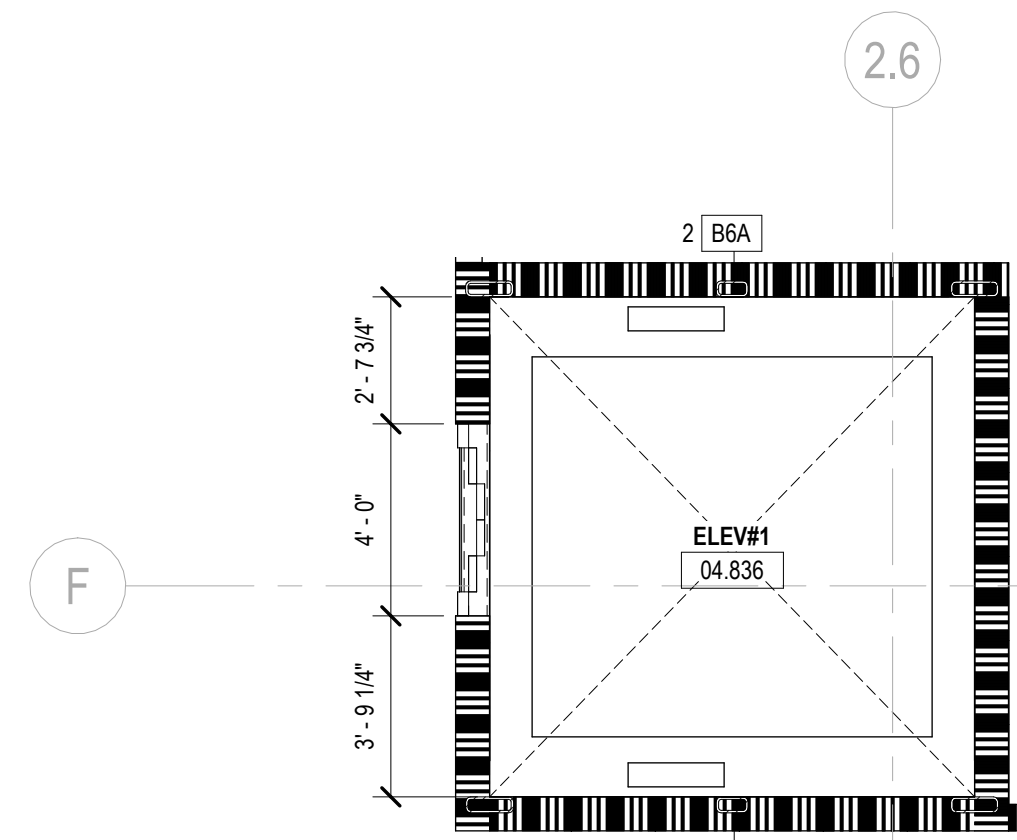


1 SECTION - ELEVATOR #1
A501 3/16" = 1'-0"

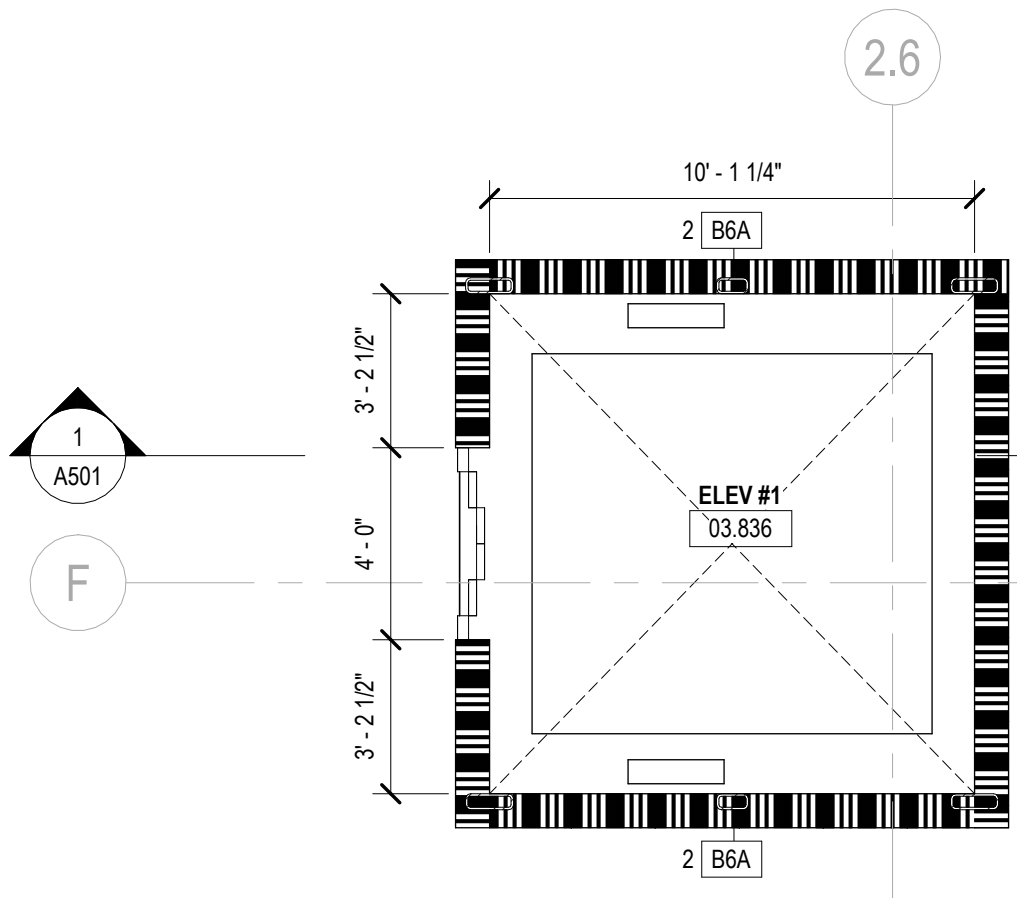
2 SECTION - STAIR #1
A501 3/16" = 1'-0"



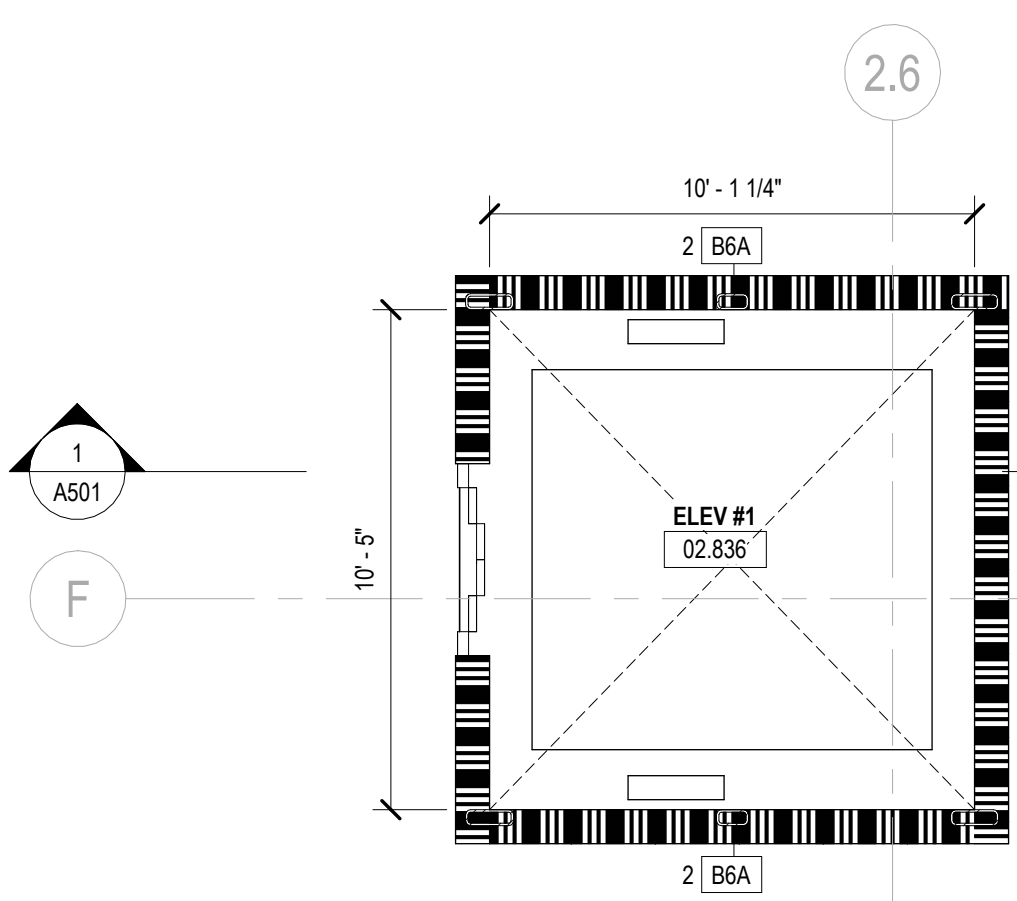
11 PIT SECTION WITH SHEET WATERPROOFING
A501 1/2" = 1'-0"



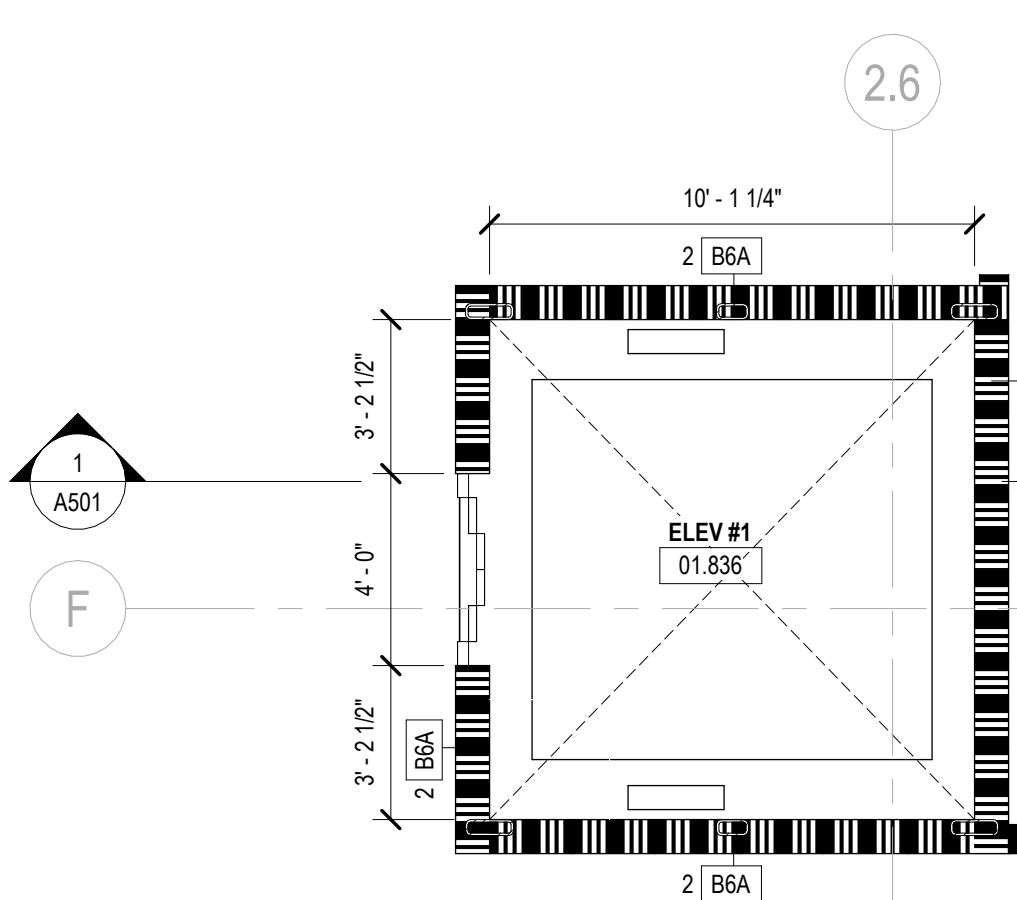
3 ENLARGED PLAN - ELEVATOR #1 - PENTHOUSE
A501 1/4" = 1'-0"



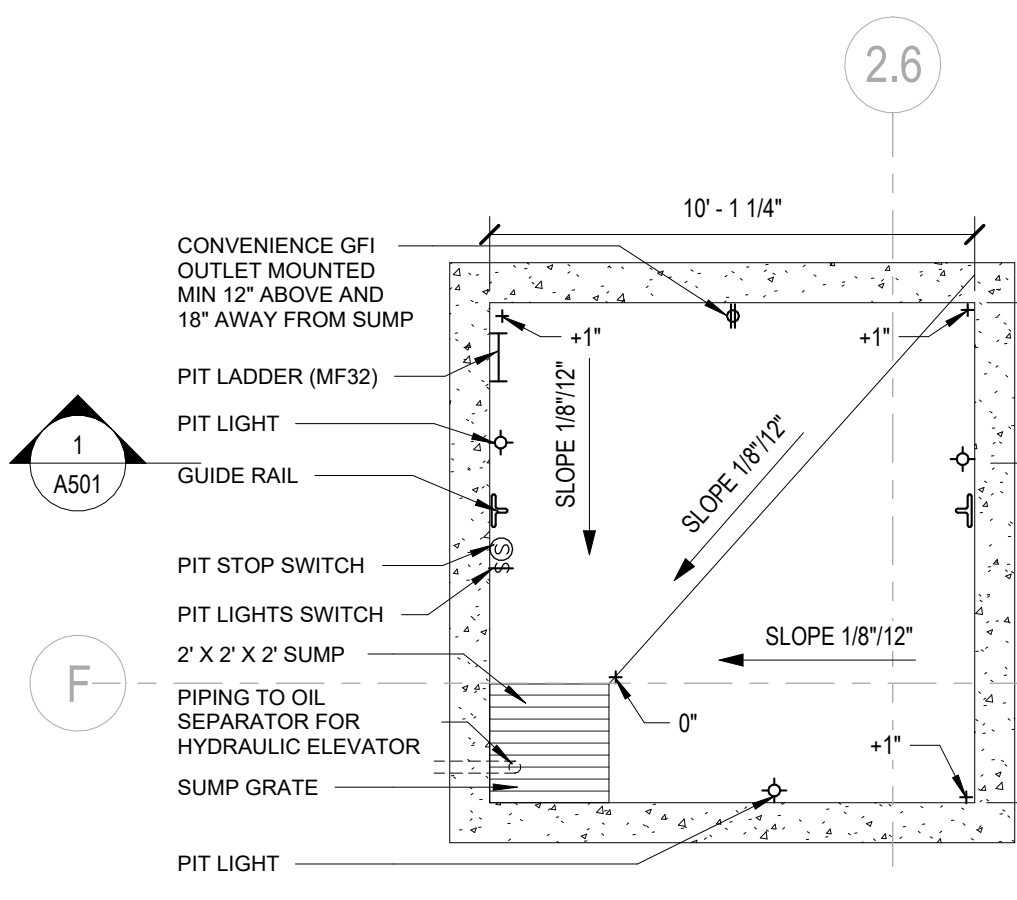
5 ENLARGED PLAN - ELEVATOR #1 - LEVEL 03
A501 1/4" = 1'-0"



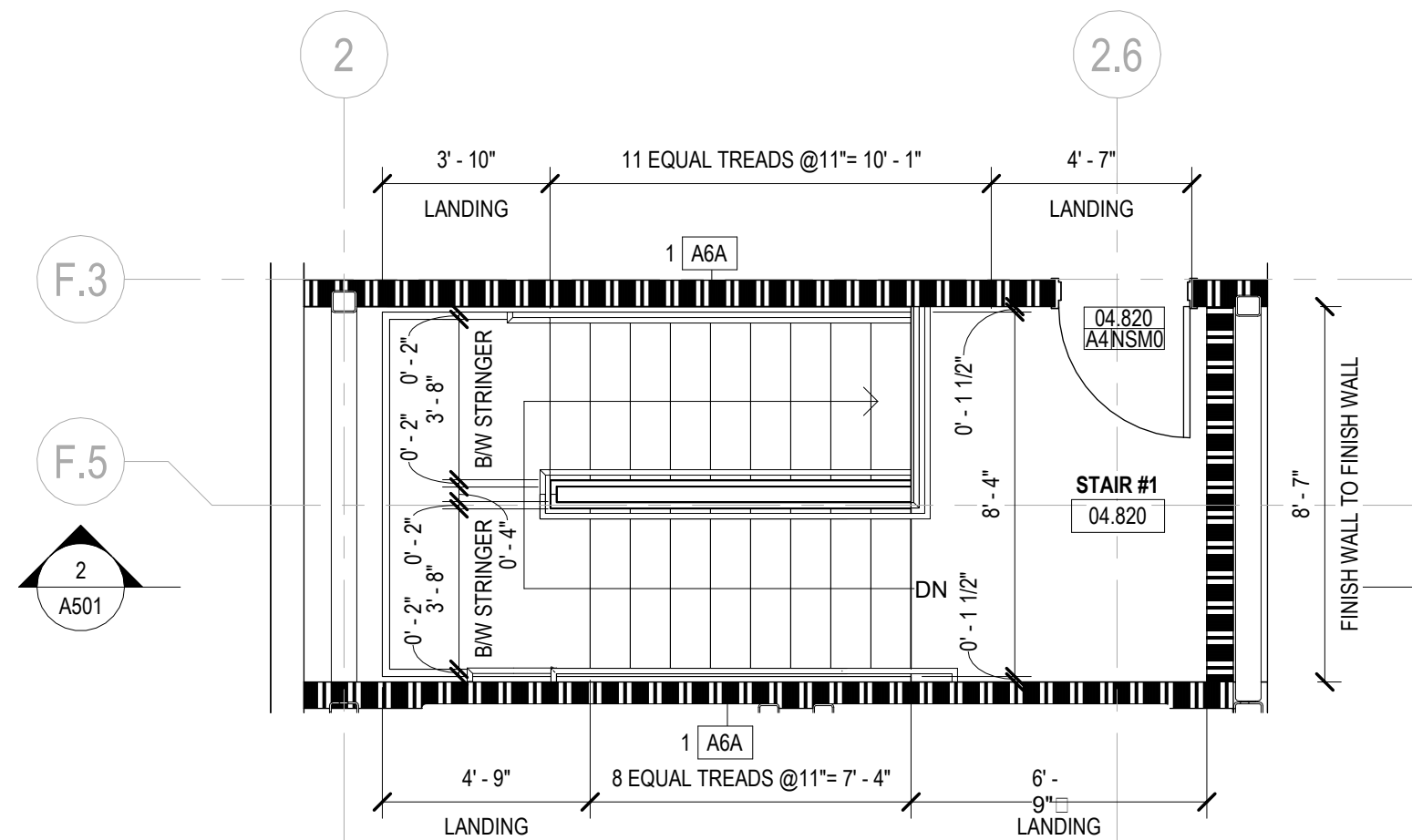
7 ENLARGED PLAN - ELEVATOR #1 - LEVEL 02
A501 1/4" = 1'-0"



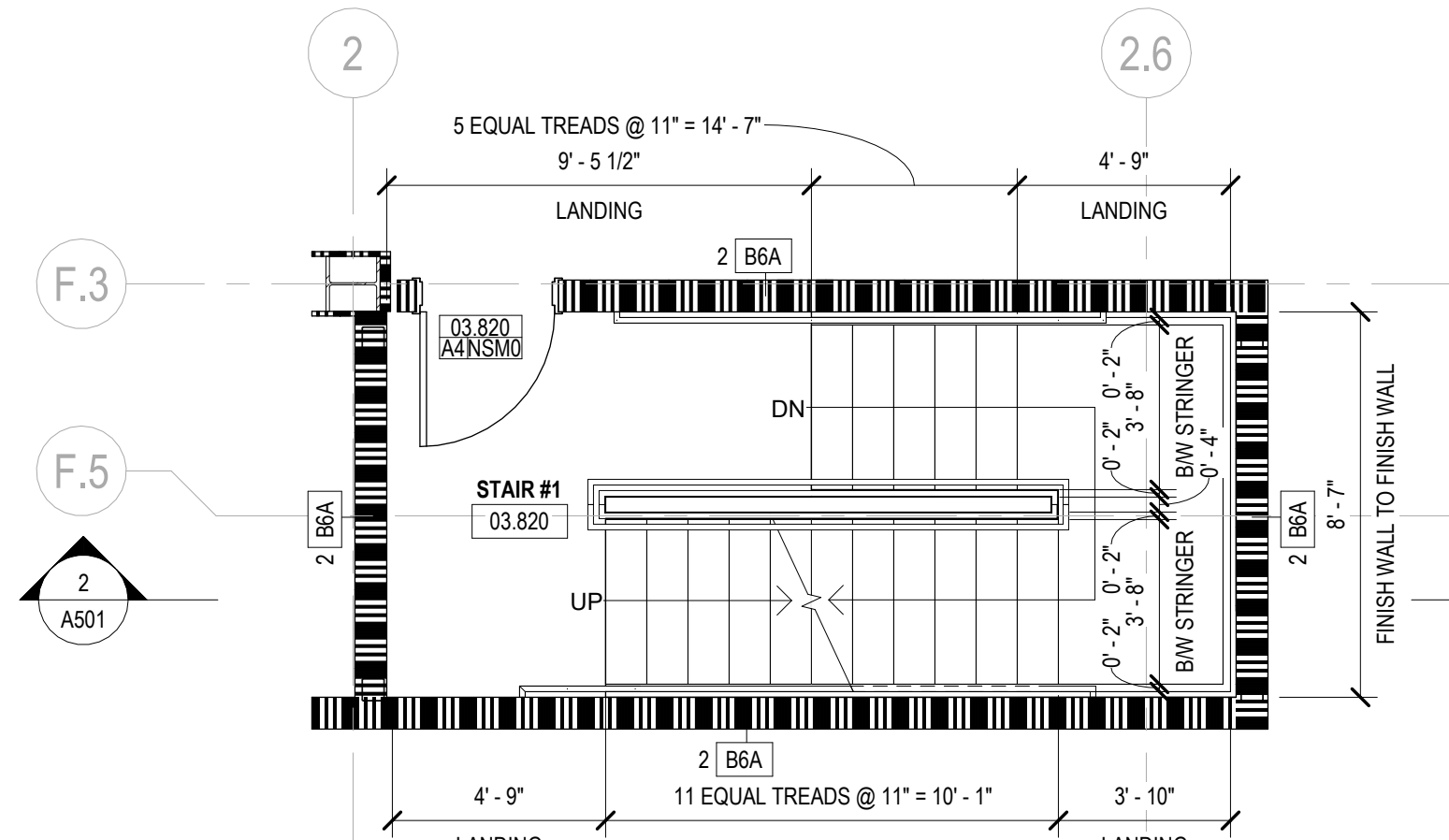
9 ENLARGED PLAN - ELEVATOR #1 - LEVEL 01
A501 1/4" = 1'-0"



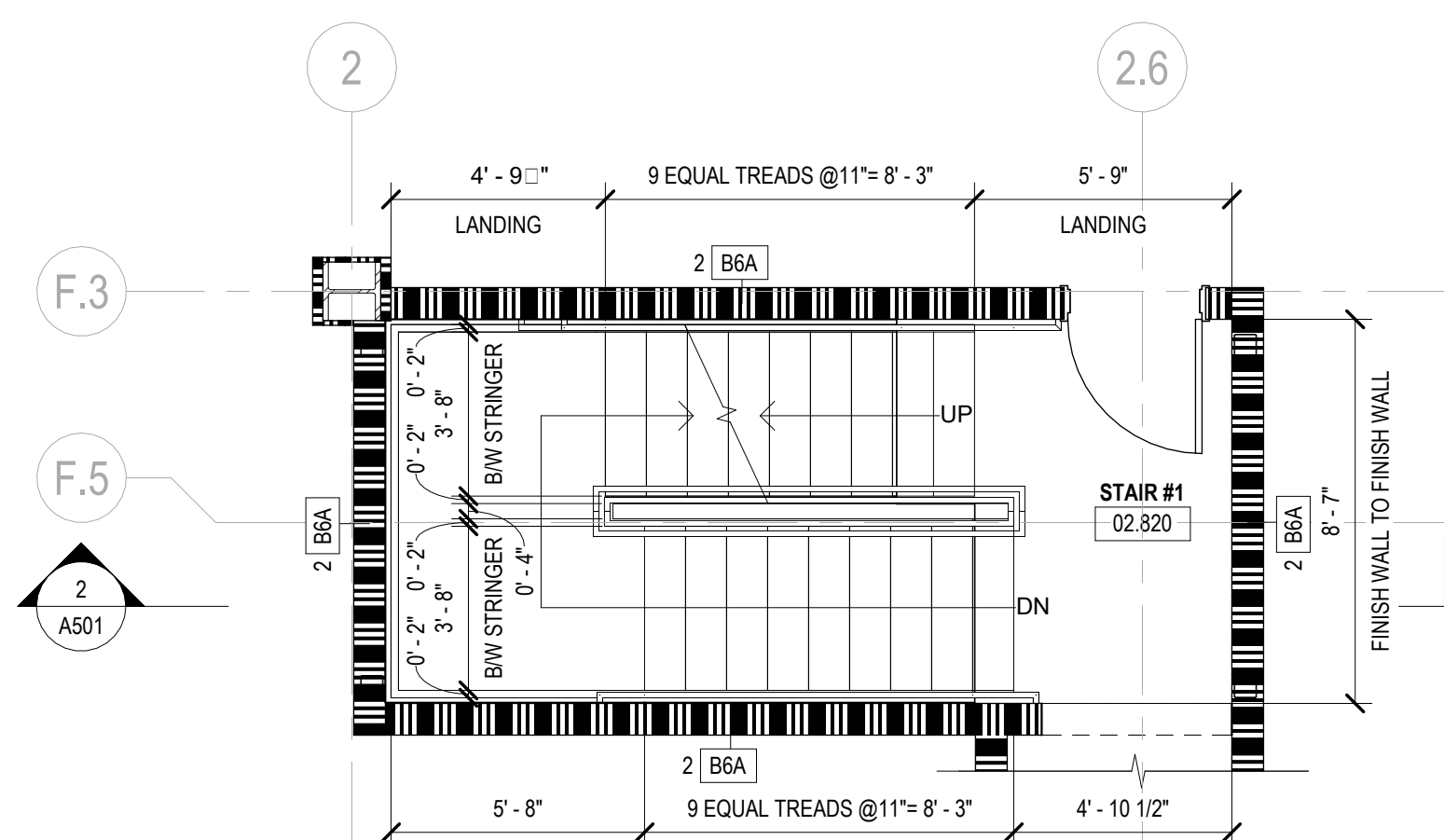
12 ENLARGED PLAN - ELEVATOR #1 - PIT PLAN
A501 1/4" = 1'-0"



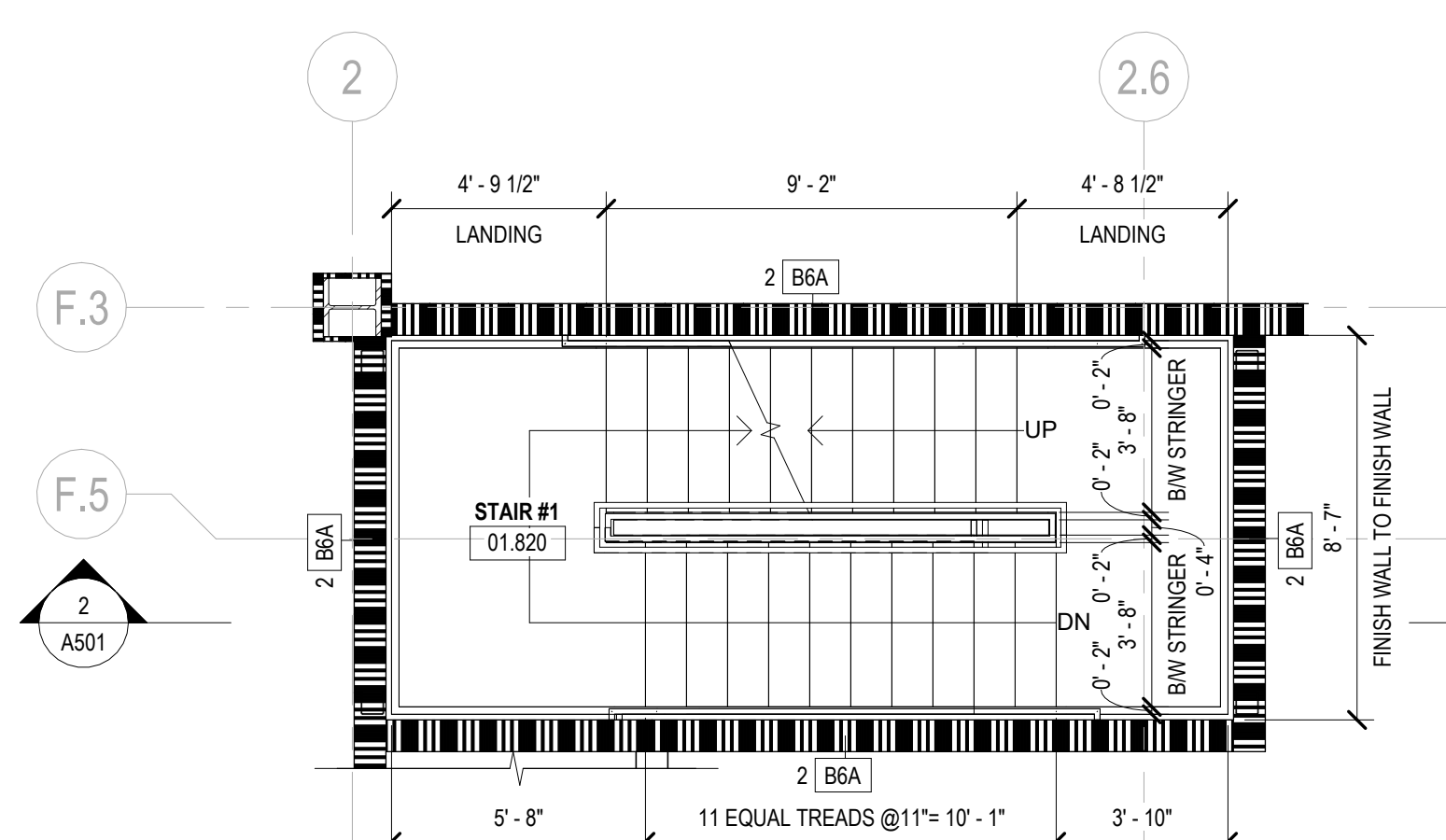
4 ENLARGED PLAN - STAIR #1 - PENTHOUSE
A501 1/4" = 1'-0"



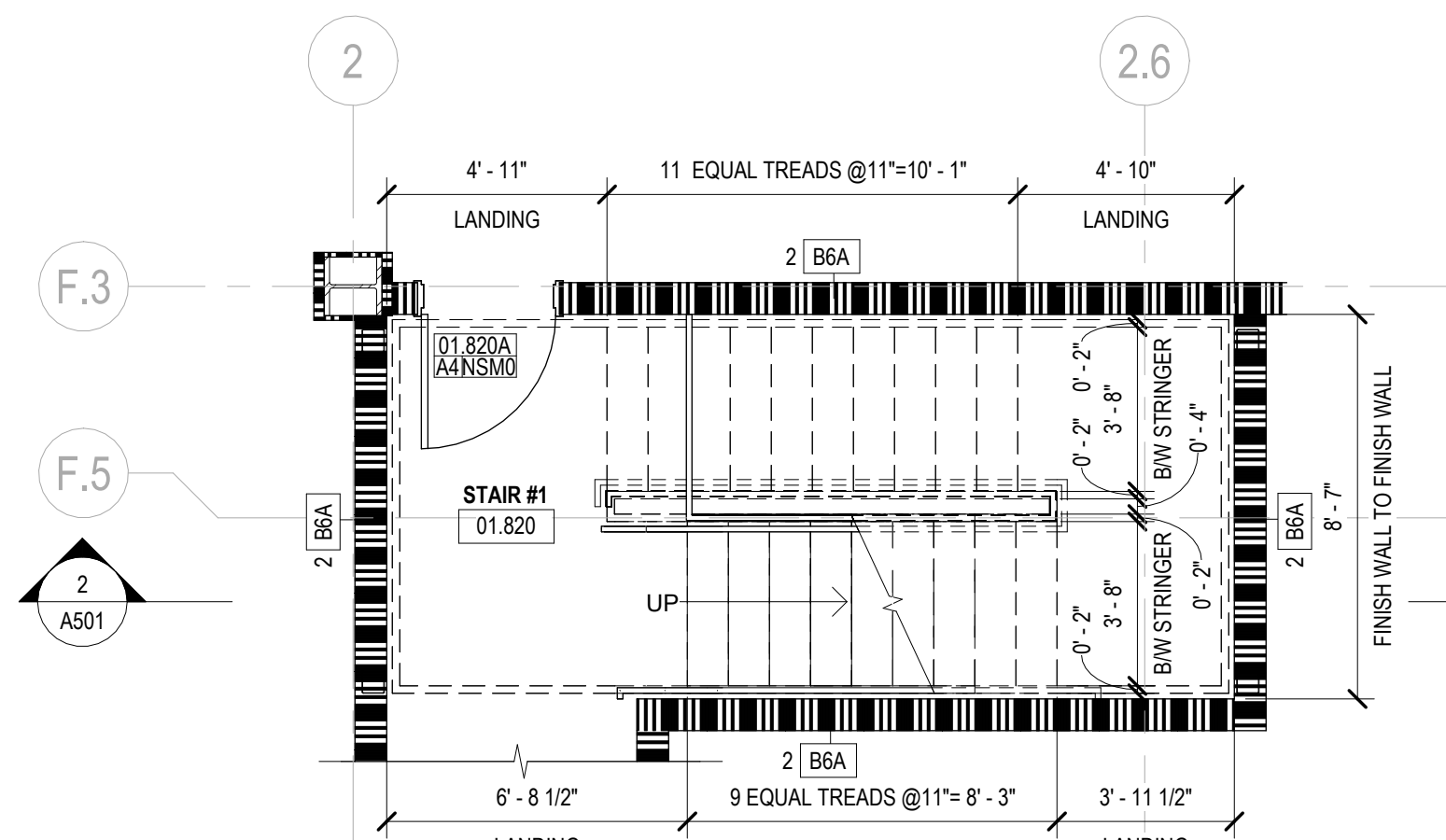
6 ENLARGED PLAN - STAIR #1 - LEVEL 03
A501 1/4" = 1'-0"



8 ENLARGED PLAN - STAIR #1 - LEVEL 02
A501 1/4" = 1'-0"



10 ENLARGED PLAN - STAIR #1 - TYPICAL CSH
A501 1/4" = 1'-0"



13 ENLARGED PLAN - STAIR #1 - LEVEL 01
A501 1/4" = 1'-0"

CONFIDENTIAL

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

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PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL ELEVATOR & STAIR PLANS & SECTIONS

DRAWING: A501

E1 SCALE: As indicated ASILE No: REV: C

SVY03A

TOTAL FOOTPRINT		
BUILDING A	105,750	SF
GEN YARD	55,150	SF
TOTAL	160,900	SF

GFA		
LEVEL 01	105,750	SF
LEVEL 02	105,750	SF
LEVEL 03	98,960	SF
TOTAL	310,460	SF
GEN YARD	55,150	SF
TOTAL(DH + GEN. YARD)	365,610	SF

ROOMS
DATA HALL + DAHU
ELECTRIC ROOMS
OFFICE/LOBBY
STORAGE
STAIRS +LIFT WELL+SHAFTS

SVY03B

TOTAL FOOTPRINT		
BUILDING B	15,254	SF

GFA		
BUILDING C	15,254	SF

SVY03C

TOTAL FOOTPRINT		
BUILDING C	1,605	SF

GFA		
BUILDING C	1,605	SF

SITE

Landscaped Area	165,557	SF
Total Open Space	68,945	SF
Substation SVY03S1 Area	23,210	SF
Switching Station	25,800	SF
Lot Coverage	500,287	SF

Parking Requirements		
	57	Spaces
	6	ADA
Total	63	Spaces

Bike Requirements		
Long Term	3	EA
Short Term	2	EA
Total	5	Total

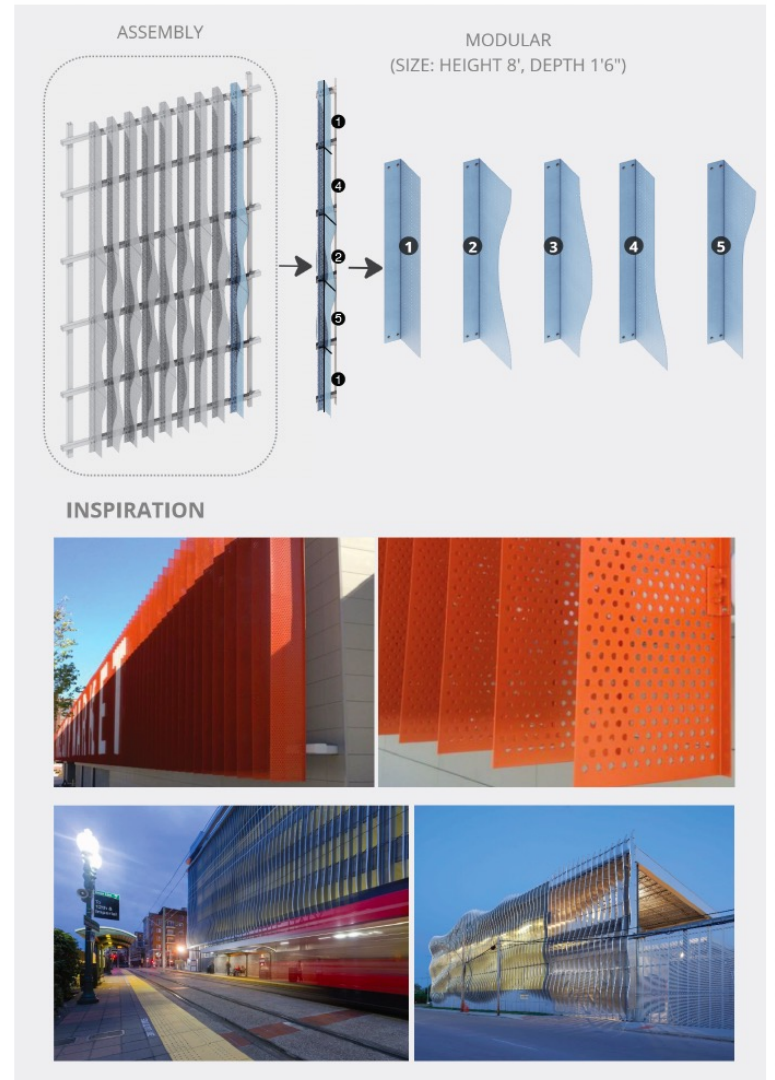
SVY03A AREA BREAKDOWN

LEVEL 01	LEVEL 02	LEVEL 03	PENTHOUSE	TOTAL	
69,278	65,809	62,519	0	197,606	SF
16,776	16,776	16,772	0	50,324	SF
13,100	14,379	7,261	0	34,740	SF
2,423	1,070	1,183	0	4,676	SF
4,148	7,691	11,215	884	23,938	SF
105,725	105,725	98,950	884	311,284	

RENDERING



PERFORATED METAL PANEL



GOOGLE EARTH VIEW



KEY MAP



View from Highway 92

RENDERINGS - OPTION 1 CONCEPT

RENDERING



GOOGLE EARTH VIEW



KEY MAP



RENDERINGS - OPTION 2 CONCEPT

RENDERING



GOOGLE EARTH VIEW




KEY MAP




DESIGN CONCEPT AND MODULES LAYOUT

**NARRATIVE:
FROM THE HILL TO THE SHORELINE**

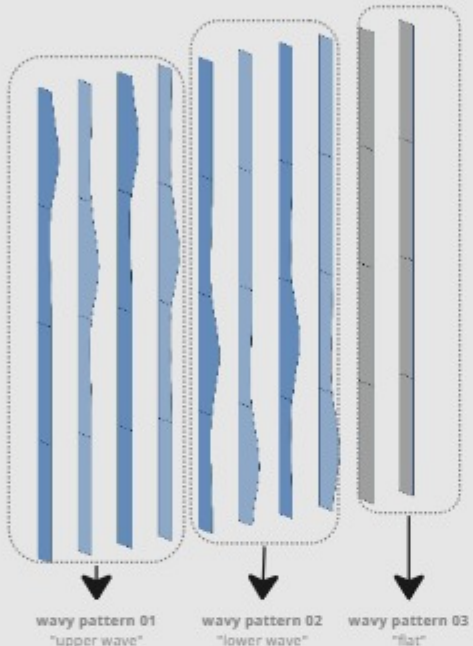
unique topography



color transition



The logic of waves fin

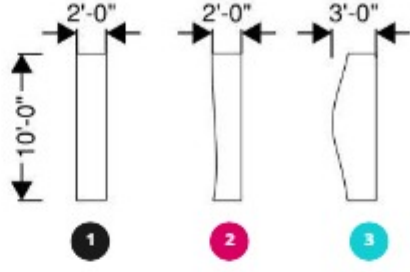


wavy pattern 01
"upper wave"





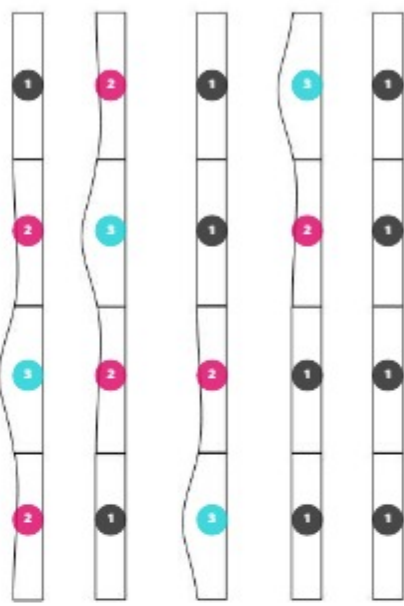
wavy pattern 02
"lower wave"

wavy pattern 03
"flat"

MODULE:



COMBO:



PUBLIC BENEFITS

\$300,000

- Gateway Marker Project (w/ Community)

\$300,000

- La Vista Park Contribution Match

\$200,000

- Small Business Grant Program

\$100,000

- Hayward Area Shoreline Planning Agency

\$100,000

- HUSD STEAM Showcase



\$100,000

- City Sustainability Goal & Awareness

\$1,000,000

- Total Public Benefit Package

Sustainability Plan

**Stack Infrastructure
SVY03A
26062 Eden Landing Road
Hayward, CA**

City of Hayward

**Prepared By:
HKS, Inc.**
350 N Saint Paul St., #100
Dallas, TX 75201

January 31, 2024

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2.2 Efficient Lighting and Controls	5
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2.4 Environmentally Conscious Roof Design.....	5
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1. Introduction

The property located at 26062 Eden Landing Road in Hayward, California, consists of three buildings and a premanufactured guardhouse. As part of the Permit application for the property, the site plan has been included to describe proposed sustainability measures, highlighting provisions which go above and beyond local and state requirements. The property and structures have been designed to incorporate many sustainability interventions which will reduce energy and water use. The property will align with CALGreen 2022 requirements including stringent Title 24 Energy Code compliance.

The functions of the three main buildings is as follows: Building A will house the main data center; Building B will house a smaller data center, and building C will be a security building, all with the same tenant. The sustainability plan will focus on two key sustainability categories; water and energy management, which reflect the primary environmental impact categories related to data center operations. The CALGreen 2022 Checklist can be found in Appendix A for reference.

In addition to measures reducing the water and energy impacts, the project has implemented multiple sustainability features across the site, including:

- Collection bins in the occupied office areas and a secured area on site to collect recyclables and organic waste to promote recycling and composting
- Electric vehicle charging at the buildings to promote the use of electric vehicles
- Short term and long-term bicycle parking is provided at the building for visitors and employees
- Low-emitting paint and materials to reduce VOC emissions exposure the building occupants
- Construction and demolition waste recycling to reduce disposal at landfills during the construction process
- Provisions for future PV panels to be installed on site, and...
- Public benefits package, which includes public amenities such as integration with a cycling path

2. Energy Management

The project is meeting the minimum energy efficiency standard per the California Energy Commission (CEC), Title 24 energy code. Energy code compliance for the interior fit-out for each building is expected to follow the requirements of CEC subchapter 5 section 140.1: Performance Approach: Energy Budgets. Energy models are under-going iterations based on project specifics and CEC requirements. All Mandatory requirements per CEC have been or will be incorporated into this design.

The project team is working through the core and shell energy efficiency requirements and will follow the performance path using energy modeling.

2.1 Adaptive Equipment

The building tenants will install variable frequency drives or soft starters on most equipment containing motor loads, regulating the electric motor to operate at less than maximum speed to reduce heat generation, voltage sag and energy consumption.

2.2 Efficient Lighting and Controls

The buildings at 26062 Eden Landing Road will have a lighting and controls systems that will consist of LED smart lighting fixtures with a rating of 80 CRI and equipped with integrated or remote sensors that can be remotely controlled to adjust light intensity and advanced lighting control system that can significantly reduce energy consumption up to 40% less energy compared to the traditional lighting control and fluorescent lighting systems.

2.3 Electronic Power management System

The building tenants will install an electronic power management system (EPMS), which is a high-end power monitoring system allowing end-users to see all the electrical usage of innumerable assets distributed across the buildings and provides detailed information about the flow of power to the buildings. The EPMS will be a system to assist and manage the operational environmental and optimize the HVAC and electrical system settings for the lowest functional energy usage.

2.4 Environmentally Conscious Roof Design

The buildings at 26062 Eden Landing Road are designed to have roof with solar-ready features. Providing tenants with solar-ready roofs providing the opportunity for increased renewable energy usage. In additional, the office areas will have daylight controls to reduce the lighting demand and associated electricity usage.

2.5 Power Usage Effectiveness

All the features listed in the previous sections contribute to low power usage effectiveness (PUE) for the Building B. PUE is a ratio that describes how efficiently a data center uses energy. It is the ratio of the total amount of energy used by the data center facility to the energy delivered specifically to computing equipment, thus the ideal PUE would be 1.0. The data center in building B will have a peak PUE of 1.28 and average PUE of 1.15. In comparison, Uptime's 2020 global data center survey indicated that global average PUE is currently 1.59 while the United State and Canada average PDU is currently 1.53, which is approximately 33% higher than building B data center's projected PUE.

2.6 renewable Energy Usage

The Building B tenant is committed to working with the local power utility to produce a 100% renewable energy mix by 2025. The local power utility Pacific Gas & Electric (PG&E), offers a diverse energy mix including 39% from eligible renewable resources (such a wind, geothermal and solar) and combine total of 85% from renewable or greenhouse gas free sources. PG&E currently offers various renewable programs to customers, including the Solar Choice program. Considering the carbon intensity of electricity demand and renewable energy portfolio, the Building B data center will be able to perform tasks with an 85% lower carbon footprint than a standard data center.

2.7 Additional Energy Conservation Measures

The Building B tenant will engage PG&E to stay apprised of all energy efficiency programs that could be implemented, will leverage PG&E incentives to fund energy conservation measures, and will incorporate energy conservation measures into building design where appropriate.

3. Water Management

3.1 Outdoor Water Use

The project will follow the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations. The details for outdoor potable water use in landscaped areas are shown on sheet P804.

3.2 Indoor Water Use

The building design integrated low-flush and low-flow fixtures to reduce the potable water requirements for the occupied areas of the buildings. The effective flush volume of all water closets specified is 1.28 gallons per flush (gpf). The effective flush volume for wall mounted urinals is 0.125 gpf. The showerheads will have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Tank-type water closets and showerheads shall be certified to U.S EPA WaterSense specifications. Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute (gpm) at 60 psi. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gpm at 60 psi. Wash fountains shall have a maximum flow rate of not more than 1.8 gpm/20 (rim space) inches at 60psi. Metering faucets shall not deliver more than 0.2 gallons per cycle. If complying faucets are unavailable, aerators or other means may be used to achieve the necessary reductions.

3.3 Process Water

Submetering will be placed for makeup water for evaporative coolers > 6 gpm (0.04 L/s), and steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW).

Please see below Section 4 for more details regarding the process water efficiencies in the project.

4. Planning Review Comment Response

The City of Hayward provided the following review comment for Item #12 Sustainability Plan:

In addition to showing compliance with CalGREEN, update the Sustainability Plan to include measures aimed at reducing energy and water use that go above and beyond State and local requirements. For example, as indicated in the General Comments from Utilities/Environmental Services – Water Resources below, the project should consider connecting to the City's recycled water infrastructure to reduce the project's demand for potable water.

4.1 Project Team Response

A data centers requires a large portion of its overall electricity demand to cool the server rooms, where significant heat is generated. The SVY03ADC1 has been designed to minimize electricity used for cooling by incorporating a direct evaporative cooling system and using IT equipment that can operate at greater temperatures than a majority of other data center facilities. In addition to save water, the direct evaporative system has been designed to minimize water use. A complete description of the system is provided below.

The portion of the facility that uses water for cooling is the IT space and its ancillary spaces that house Datahall Air Handling Units (DAHUs). The DAHUs are large Direct Evaporative Cooling air handlers located wholly inside building SVY03ADC1. Direct Evaporative Cooling is the most energy-efficient cooling technology for this space. During 99% of the hours of a Typical Meteorological Year

(based on weather in this project's vicinity), these DAHUs will operate in what is known as "Free Air Economization Mode." This means they will cool the IT spaces by using fans to draw outside air into the building and to distribute that cool outside air throughout the IT spaces, using no water in the process. After the IT equipment has cooled its internal components by rejecting heat to this air, an array of rooftop exhaust fans will draw that warmed air up through the building and exhaust it back outside. During the 1% of the hours of a Typical Meteorological Year when the outside air is too hot to be used for IT equipment cooling, the DAHUs will begin using their fans to draw the incoming outdoor air over large, wetted banks of evaporative media, lowering the air's temperature by raising its humidity. The DAHUs will then cool the IT space using this cooler, more humid air. Once the IT equipment has cooled its internal components by rejecting heat into this air, the same array of rooftop exhaust fans will draw this warmed, humidified air up through the building and exhaust it back outside.

While many other types of data center cooling system (e.g. air-cooled chillers, water-cooled chillers, split-system cooling units, etc.) can also operate in some kind of "economization mode," virtually all of them also involve meeting more intense cooling needs by using a "refrigeration cycle" (a.k.a. "heat pump cycle"), where a compressor moves refrigerant around a closed-loop system in a way that allows it to absorb heat from one location in the loop and reject that heat in another location in the loop. These systems all also involve using fans to move air – often both the air used to cooling the indoor space and the air used to reject the heat outdoors. Some of these systems also consume water to reject that heat (e.g. the cooling towers in a water-cooled chiller system.) Others consume no water at all (e.g. air-cooled chillers and split-system cooling units.)

Where the local (meteorological) climate allows their use, Direct Evaporative Cooling systems are almost always markedly more energy-efficient than these other systems for the simple reason that a Direct Evaporative Cooler only spends electrical power on using fans to move air, while these other systems spend electrical power both on using fans to move air and on using compressors to circulate refrigerant. Not only do these other systems need to spend that additional power operating the compressor, but the waste heat given off by the compressor is added to the overall total amount of heat that the system needs to reject.

With Direct Evaporative Cooling systems for IT spaces, the main potential drawback is simply that, in many climates, there will be some times during the year where a direct evaporative cooler cannot lower the temperature of outdoor air low enough to avoid damaging the IT equipment. Other data centers in the same climate as this project may use some of these alternatives to Direct Evaporative Cooling because the IT equipment in their facilities requires cooler operating temperatures because it was not designed to tolerate operating in the slightly warmer conditions that this facility will use. Since this facility will only need to use any water for cooling, at all, during 1% of the hours of a Typical Meteorological year, the facility's water usage will appear very "spiky." In other words, the use of water for cooling is significantly minimized to only those infrequent times of the year and is limited to only using water in proportion to how dire the situation. To ensure this "spikiness" in water demand would not be a problem for the water utility's general operations, the SVY03A Campus includes water storage tanks to "flatten the curve" if required by the City of Hayward.

In short, this facility's specific implementation of Direct Evaporative Cooling was chosen because it uses the least amount of water out of all the options that use some amount of water, and because it's markedly more energy-efficient than all the options that use zero water.

In addition, as discussed in the SVY03A Small Power Plant Exemption, STACK has incorporated the following measure into the design of the facility. This project design measure will ensure that the net electricity use of the campus will not result in indirect greenhouse gas emissions from electricity consumption.

PD GHG-1.1: *The project owner shall participate in PG&E's Regional Renewable Choice (i.e., 100% carbon-free electricity) for electricity accounts associated with the project or participate in a clean energy program that accomplishes the same goal of 100% carbon-free electricity.*

The above project design measure and the electricity and water reduction achieved for cooling the data halls exceeds state and local requirements.

STACK investigated using recycled water instead of potable water for the limited evaporative cooling proposed in SVY03DC1, but since the recycled water quality showed high amounts of ammonia and total alkalinity, pretreatment would be required to make the water suitable for use with the system without causing damage. Since recycled water infrastructure may not be immediately available for use when the SVY03DC1 is operational, the evaporative cooling system has been designed to pivot to utilize recycled water with relative ease, when the source becomes available. The evaporative cooling system provides significant reduction in electrical consumption while efficiently utilizing potable water and minimizing wastewater. Based on site conditions and equipment requirements, the evaporative cooling system is designed to effectively use potable water three times before sending to drain (otherwise known as 3 cycles of concentration). Given the designed use of potable water, reduction in electrical demand, and ability to pivot to a future recycled water source, this system meets the cooling demand of SCY03DC1 with efficiency and flexibility.

The site irrigation system will be designed to specify recycled water compatible equipment but will be charged with the potable water source at the time the SVY03A project becomes operational. Notes and details will be added to the irrigation plan set to meet both the baseline recycled water standards and horizontal and vertical clearances, which will allow the contractor to install the system correctly. Should the system be converted at a future time, the point of connection manifold will be reconnected to the new recycled water source, and additional equipment will be installed at the manifold to comply with standards. Recycled water permitting will be required before this future stage conversion takes place.

5. CalGREEN Compliance

The strategies outlined in the report below include the compliance measures for meeting the CalGREEN 2022 Mandatory requirements.

5.1 Planning & Design

5.106.1 - Storm water pollution prevention: Mandatory requirement

- A stormwater management and/or erosion control plan will be implemented to prevent the loss of soil through wind or water during construction of the building.
- Refer to best management practices for soil erosion control plan (5.106.1.2). Storm Water Pollution Prevention for projects that disturb less than 1 acre of land.

5.106.5.3 – Electric vehicle (EV) charging: Mandatory requirement

- Utilizing the requirements for the parking count between 51-75 spaces (Table 5.106.5.3.1), the total number of required EV capable spaces is 13, and total required number of EVSE is 3 (total: 16).
- The project is exceeding the required electric vehicle (EV) charging requirements by supplying 19 total electric vehicle (EV) charging spaces.

Mandatory Measures	
Total parking spaces	62
Requirement: Electric vehicle (EV) charging	13
EVSE future charging spaces	3
Provided: Electric vehicle (EV) charging	19

5.106.4.1 – Bicycle Parking: Mandatory requirement

- For short-term bicycle parking: Bicycle racks will be placed within 200 feet of the security building entrance for 5% of visitor parking spaces to utilize before entering the secure area.
- For long-term bicycle parking: Bicycle racks will be conveniently placed for employees within the secured parking area for 5% of parking spaces.

Mandatory measures	
Requirement: Short-term bicycle spaces	2
Provided: Short-term bicycle spaces	2
Requirement: Long-term bicycle spaces	3.1
Provided: Long-term bicycle spaces	4

5.106.8 – Light pollution reduction: Mandatory requirement

- The project will meet the minimum requirements of California Energy Code for Lighting Zones 1-4 as mentioned in Table 5.106.8. The project will meet the backlight, uplight and glare (BUG) ratings as defined in IES TM – 15-11.

5.106.10 – Grading and paving: Mandatory requirement

- Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.
- Surface water will be managed with the help of swales, water collection and disposal systems, french drains, water retention gardens or any other water measures which keep surface water away from buildings and aid in groundwater recharge.

5.408.3 – Excavated soil and land clearing debris: Mandatory requirement

- All trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled.

5.2 Energy Efficiency

5.201.1 – Meet the minimum energy efficiency standard: Mandatory requirement

- Energy code compliance for the interior fit-out for each building is expected to follow the requirements of CEC subchapter 5 section 140.1: Performance Approach: Energy Budgets. Energy models are under-going iterations based on project specifics and CEC requirements. All Mandatory requirements per CEC have been or will be incorporated into this design.
- The project team is working through the core and shell energy efficiency requirements and are likely to follow the performance path using energy modeling.

5.3 Water Efficiency and Conservation

5.303.3 – Water conserving plumbing fixtures and fittings: Mandatory requirement

- The effective flush volume of all water closets shall not exceed 1.28 gallons per flush (gpf).
- The effective flush volume for wall mounted urinals shall not exceed 0.125 gallons per flush (gpf) and for floor mounted urinals shall not exceed 0.5 gallons per flush (gpf).
- Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Tank-type water closets and showerheads shall be certified to U.S EPA WaterSense Specifications.
- Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute at 60 psi. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi.
- Wash fountains shall have a maximum flow rate of not more than 1.8 gallons per minute/20 (rim space) inches at 60psi.
- Metering faucets shall not deliver more than 0.2 gallons per cycle. If complying faucets are unavailable, aerators or other means may be used to achieve reduction.

5.304.1 – Outdoor potable water use in landscape areas: Mandatory requirement

- The California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELo) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations will be followed.

- The details for outdoor potable water use in landscaped areas are shown on sheet P804.

5.303.1 – Water Metering: Mandatory requirement

- Submetering will be placed for makeup water for evaporative coolers > 6 gpm (0.04 L/s), and steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW).

5.4 Material Conservation and Resource Efficiency

5.407.1 – Weather Protection: Mandatory requirement

- Primary exterior entries shall be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings.

5.407.2.1 – Sprinklers: Mandatory requirement

- Sprinklers will be installed in a manner to prevent any water spraying on structures.

5.407.2.2.2 – Flashing: Mandatory requirement

- Flashings will be integrated with a drainage plane.

5.410.1 Recycling by occupants: Mandatory requirement

- Dedicated and readily accessible areas for the collection and storage of recyclables will be provided and accessible to waste haulers and building occupants.
- These areas will serve the entire building.
- Recyclables include paper, corrugated cardboard, glass, plastics, organic waste and metals.
- Space allocation for recycling areas shall comply with Chapter 18, Part 3, Division 30 of the Public Resources Code.

5.408.1 – Construction waste management: Mandatory requirement

- A minimum of 65 percent of nonhazardous construction and demolition (C&D) waste will be recycled and/or salvaged for reuse.
- C&D waste materials will be diverted by recycling, reuse on the project or salvage for future use or sale.
- Diversion facilities will be identified where C&D waste can be collected and taken. The amount of C&D waste materials that are diverted will be calculated by weight or volume but not both.
- A waste management company that can provide verifiable documentation with respect to the percentage of C&D waste diverted will be appointed.
- Dedicated areas for the collection and storage of recyclables will be provided and accessible to waste haulers and building occupants.

5.410.2 – Commissioning new buildings: Mandatory requirement

- Full building commissioning will be conducted, and the following will be verified:
 - Owner's project requirements
 - Basis of design
 - Commissioning measures shown in the construction documents
 - Commissioning plan
 - Inclusion of system manuals in construction documents

- Functional performance testing
- Documentation and training
- Systems operations training
- Commissioning report

5.410.2 – Testing and Balancing (TAB): Mandatory requirement

- Testing and adjusting procedures will be carried out as per the Test and Balancing plan. The following systems will be included for testing and adjusting:
 1. HVAC systems and controls
 2. Indoor and outdoor lighting and controls
 3. Water heating systems
 4. Renewable energy systems
 5. Landscape irrigation systems
 6. Water reuse systems

5.410.3 – Procedures: Mandatory requirement

- The air-conditioning system will be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards, the National Environmental Balancing Bureau Procedural Standards, Associated Air Balance Council National Standards or as approved by the enforcing agency.

5.410.4.5 – Operation and maintenance (O&M) manual: Mandatory requirement

- The building owner will be provided with an operation and maintenance manual describing the operating and maintenance instructions in detail and copies of guaranties/warranties of each system. The O&M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142 and other related regulations.

5.508.1 – Ozone depletion and greenhouse gas emissions: Mandatory requirement

- All HVAC, refrigeration and fire suppression equipment will not contain chlorofluorocarbon (CFC)-based refrigerants or Halons.
- R-410a (HFC) is the only refrigerant used. See sheet M904 and M905 for more details.

5.407.1 – Weather protection: Mandatory requirement

- A weather-resistant exterior wall and foundation envelope will be designed as required by California Building Code Section 1403.2 (Weather Protection) and California Energy Code Section 150.

5.5 Environmental Quality

Indoor Air Quality during construction

5.504.1 – Temporary ventilation: Mandatory requirement

- The permanent HVAC system shall be used during construction only if necessary to maintain a temperature range for material and equipment installation. If the HVAC system is used during construction, return air filters of a Minimum Efficiency Reporting Value of 8 (MERV 8).

Indoor Air Quality post construction

5.504.3 – Covering of duct openings and protection of mechanical equipment during construction: Mandatory requirement

- All duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods that may reduce the amount of dust, water and debris which may enter the system.

5.504.4 – Finish material pollutant control: Mandatory requirement

- Adhesives, adhesive bonding primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits.

5.504.4.1 – Adhesives, sealants, and caulks: Mandatory requirement

- Adhesives and sealants utilized on the project shall comply with local or regional air pollution or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2.
- Aerosol adhesives and smaller unit sizes of adhesives and sealant or caulking compounds (not weighing more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements.

TABLE 5.504.4.1
ADHESIVE VOC LIMIT^{1,2}
Less Water and Less Exempt Compounds in Grams Per Liter

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesive not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

1. If an adhesive is used to bond dissimilar substrates together the adhesive with the highest VOC content shall be allowed.
2. For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168, <http://www.arb.ca.gov/DRDB/SC/CURHTML/R1168.PDF>.

TABLE 5.504.4.2
SEALANT VOC LIMIT
Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	
Nonporous	250
Porous	775
Modified bituminous	500
Marine deck	760
Other	750

Note: For additional information regarding methods to measure the VOC content specified in these tables, see South Coast Air Quality Management District Rule 1168.

5.504.4.3 – Paints and coatings: Mandatory requirement

Architectural paints and coatings shall comply with VOC limits shown in the Table 5.504.3

TABLE 5.504.4.3
VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{2,3}
Grams of VOC per Liter of Coating,
Less Water and Less Exempt Compounds

COATING CATEGORY	CURRENT LIMIT
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
SPECIALTY COATINGS	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings ¹	120
Magnesite cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shellacs	
Clear	730
Opaque	550
Specialty primers, sealers and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub and tile refinish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

1. Grams of VOC per liter of coating, including water and including exempt compounds.

2. The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.

3. Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

5.504.4.4 – Carpet systems: Mandatory requirement

- All carpet installed in the building interior shall meet the requirements of the VOC emission limits and testing requirements specified in the California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources using Environmental Chambers, Version 1.2, January 2017 (Emissions testing method for California Specification 01350).

5.504.4.1 – Carpet cushion: Mandatory requirement

- All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, “Standard Method for the testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers,” Version 1.2, January 2017 (Emission testing method for California Specification 01350).

5.504.4.4.2 – Carpet adhesive: Mandatory requirement

- All carpet adhesive shall meet the requirements of Table 5.504.4.1.

5.504.4.5 – Composite wood products: Mandatory requirement

- Hardwood, plywood, particleboard, and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the formaldehyde requirements specified in ARB’s Air Toxics Control Measure (ATCM) for Composite Wood (17 CCR 93120 et seq.)

**TABLE 5.504.4.5
FORMALDEHYDE LIMITS¹
Maximum Formaldehyde Emissions in Parts per Million**

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard ²	0.13

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E1333. For additional information, see *California Code of Regulations*, Title 17, Sections 93120 through 93120.12.

2. Thin medium density fiberboard has a maximum thickness of $\frac{3}{16}$ inch (8 mm).

5.504.4.6 – Resilient flooring systems: Mandatory requirement

For 80% of floor area receiving resilient flooring, installed resilient flooring shall comply with VOC emission limits and testing requirements specified in the California Department of Public Health’s 2010 Standard Method for the Testing and Evaluation Chambers, Version 1.2, January 2017.

5.504.5.3 – Filters: Mandatory requirement

- Air filtration media for outside and return air being supplied to the regularly occupied areas of the building will have a Minimum Efficiency Reporting Value of 13 (MERV 13). MERV 13 filters shall be installed prior to occupancy and recommendations for maintenance with filters of the

same value shall be included in the operation and maintenance manual. The MERV rating on the installed filters will be clearly labeled by the manufacturer.

5.504.7 – Environmental tobacco smoke (ETS) control: Mandatory requirement

- There will be no smoking in the building or within 25 feet of any building entries, outdoor air intakes and operable windows and within the building. “No Smoking” signage will be installed within 10 feet of all building entrances.

5.505.1 – Indoor moisture control: Mandatory requirement

- The building shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls).

5.506.1 – Outside air delivery: Mandatory requirement

- The project will meet the minimum requirements of Section 120.1 of the 2022 California Energy Code or applicable code, whichever is more stringent and Division 1, Chapter 4 of CCR, Title 8.

5.506.2 – Carbon dioxide (CO2) monitoring: Mandatory requirement

- The project will be equipped with demand control ventilation, CO2 sensors and ventilation controls shall be specified and installed in accordance with the requirements of the 2022 California Energy Code, Section 120.1 (c)(4).

5.507.4 – Acoustical control: Mandatory requirement

- The project will employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E90 and ASTM E413 or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E1332, using the CadnaA acoustic model for the performance method in Section 5.507.4.2.

5.504.4.8 – Acoustical ceilings and wall panels: Mandatory requirement

- All acoustical ceilings and wall panels will comply with the requirements of the California Department of Public Health, “Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers,” Version 1.2, January 2017 (Emission testing method for California Specification 01350).
- Verification will be performed on-site in coordination with the contractor.

Appendix A. CalGREEN Checklist

Y = Yes (section has been selected and/or included)
N/A = Not Applicable (section does not apply; mostly used in additions/alterations)
O = Other (provide explanation)

[N] = New construction, Section 301.3
[A] = Additions/Alterations, Section 301.3

SFO-071 CALGREEN 2022 Checklist					
Requirement	Section Title	Code Section	Y/N	N/A	O
Div 5.1 Planning and Design					
Mandatory	Storm water pollution prevention for projects that disturb less than 1 acre of land	5.106.1 through 5.106.2	Y		
Mandatory	Short-term bicycle parking (with exception)	5.106.4.1.1	Y		
Mandatory	Long-term bicycle parking	5.106.4.1.2 through 5.106.4.1.5	Y		
Mandatory	Electric vehicle (EV) charging [N] w/ exceptions	5.106.5.3	Y		
Mandatory	EV capable spaces [N]	5.106.5.3.1	Y		
Mandatory	Electric vehicle (EV) charging Stations (EVCS)	5.106.5.3.2	Y		
Mandatory	Use of automatic load management systems (ALMS)	5.106.5.3.3			
Mandatory	Accessible EVCS	5.106.5.3.4	Y		
Mandatory	Note for EVCS signs	5.106.5.3.4	Y		
Mandatory	TABLE 5.106.5.3.1 w/ footnotes	5.106.3.1, 5.106.3.2 and 5.106.3.3	Y		
Mandatory	Electric vehicle (EV) charging: medium-duty and heavy-duty [N]	5.106.5.4		N/A	
Mandatory	Electric vehicle charging readiness requirements for warehouses, grocery stores and retail stores with planned off-street loading	5.106.5.4.1		N/A	
Mandatory	TABLE 5.106.5.4.1	5.106.5.4 and 5.106.5.4.1		N/A	
Mandatory	Light pollution reduction [N] (with exceptions, notes and table)	5.106.8 through 5.106.8.2	Y		
Mandatory	Grading and paving (exception for additions and alterations not altering the drainage path)	5.106.10	Y		
Div 5.2 Energy Efficiency					
Mandatory	Meet the minimum energy efficiency standard	5.201.1	Y		
Div 5.3 Water Efficiency and Conservation					
Mandatory	Separate meters (new buildings or additions > 50,000 sf that consume more than 100 gal/day)	5.303.1.1	Y		
Mandatory	Separate meters (for tenants in new buildings or additions that consume more than 1,000 gal/day)	5.303.1.2		N/A	
Mandatory	Water closets shall not exceed 1.28 gallons per flush (gpf)	5.303.3.1	Y		
Mandatory	Wall-mounted urinals shall not exceed 0.125 gpf	5.303.3.2.1	Y		
Mandatory	Floor-mounted urinals shall not exceed 0.5 gpf	5.303.3.2.2	Y		
Mandatory	Single showerhead shall have maximum flow rate of 1.8 gpm (gallons per minute) at 80 psi	5.303.3.3.1	Y		
Mandatory	Multiple showerheads serving one shower shall have a combined flow rate of 1.8 gpm at 80 psi	5.303.3.3.2		N/A	
Mandatory	Nonresidential lavatory faucets	5.303.3.4.1	Y		

Mandatory	Kitchen faucets	5.303.3.4.2	Y		
Mandatory	Wash fountains	5.303.3.4.3		N/A	
Mandatory	Metering faucets	5.303.3.4.4		N/A	
Mandatory	Metering faucets for wash fountains	5.303.3.4.5		N/A	
Mandatory	Pre-rinse spray valve	5.303.3.4.6		N/A	
Mandatory	Food waste disposers	5.303.4.1		N/A	
Mandatory	Areas of additions or alterations	5.303.5		N/A	
Mandatory	Standards for plumbing fixtures and fittings	5.303.6	Y		
Mandatory	Outdoor potable water use in landscape areas (with notes)	5.304.1	Y		
Div 5.4 Material Conservation and Resource Efficiency					
Mandatory	Weather protection	5.407.1	Y		
Mandatory	Moisture control: sprinklers	5.407.2.1	Y		
Mandatory	Moisture control: exterior door protection	5.407.2.2.1	Y		
Mandatory	Moisture control: flashing	5.407.2.2.2	Y		
Mandatory	Construction waste management—comply with either: Sections 5.408.1.1, 5.408.1.2, 5.408.1.3 or more stringent local ordinance	5.408.1.1, 5.408.1.2, 5.408.1.3	Y		
Mandatory	Construction waste management: documentation	5.408.1.4	Y		
Mandatory	Universal waste [A]	5.408.2		N/A	
Mandatory	Excavated soil and land clearing debris (100% reuse or recycle)	5.408.3	Y		
Mandatory	Recycling by occupants (with exception)	5.410.1	Y		
Mandatory	Recycling by occupants: additions (with exception)	5.410.1.1		N/A	
Mandatory	Recycling by occupants: sample ordinance	5.410.1.2	Y		
Mandatory	Commissioning new buildings (≥ 10,000 sf) [N]	5.410.2	Y		
Mandatory	Owner's or owner representative's Project Requirements (OPR) [N]	5.410.2.1	Y		
Mandatory	Basis of Design (BOD) [N]	5.410.2.2	Y		
Mandatory	Commissioning plan [N]	5.410.2.3	Y		
Mandatory	Functional performance testing [N]	5.410.2.4	Y		
Mandatory	Documentation and training [N]	5.410.2.5	Y		
Mandatory	Systems manual [N]	5.410.2.5.1	Y		
Mandatory	Systems operation training [N]	5.410.2.5.2	Y		
Mandatory	Commissioning report [N]	5.410.2.6	Y		
Mandatory	Testing and adjusting for new buildings < 10,000 sf or new systems that serve additions or alterations [A]	5.410.4		N/A	
Mandatory	System testing plan for renewable energy, landscape irrigation and water reuse [A]	5.410.4.2		N/A	

Mandatory	Procedures for testing and adjusting	5.410.4.3	Y		
Mandatory	Procedures for HVAC balancing	5.410.4.3.1	Y		
Mandatory	Reporting for testing and adjusting	5.410.4.4	Y		
Mandatory	Operation and maintenance (O&M) manual	5.410.4.5	Y		
Mandatory	Inspection and reports	5.410.4.5.1	Y		
Div 5.5 Environmental Quality					
Mandatory	Fireplaces	5.503.1		N/A	
Mandatory	Woodstoves	5.503.1.1		N/A	
Mandatory	Temporary ventilation	5.504.1	Y		
Mandatory	Covering of ducts openings and protection of mechanical equipment during construction	5.504.3	Y		
Mandatory	Adhesives, sealants, and caulks	5.504.4.1	Y		
Mandatory	Paints and coatings	5.504.4.3	Y		
Mandatory	Aerosol paints and coatings	5.504.4.3.1	Y		
Mandatory	Aerosol paints and coatings: verification	5.504.4.3.2	Y		
Mandatory	Carpet systems	5.504.4.4	Y		
Mandatory	Carpet cushion	5.504.4.4.1	Y		
Mandatory	Carpet adhesives per Table 5.504.4.1	5.504.4.4.2	Y		
Mandatory	Composite wood products	5.504.4.5	Y		
Mandatory	Composite wood products: documentation	5.504.4.5.3	Y		
Mandatory	Resilient flooring systems	5.504.4.6	Y		
Mandatory	Resilient flooring: verification of compliance	5.504.4.6.1	Y		
Mandatory	Thermal insulation	5.504.4.7	Y		
Mandatory	Thermal insulation verification of compliance	5.504.4.7.1	Y		
Mandatory	Acoustical ceilings and wall panels	5.504.4.8	Y		
Mandatory	Acoustical ceilings and wall panels verification of compliance	5.504.4.8.1	Y		
Mandatory	Filters (with exceptions)	5.504.5.3	Y		
Mandatory	Filters: labeling	5.504.5.3.1	Y		
Mandatory	Environmental tobacco smoke (ETS) control	5.504.7	Y		
Mandatory	Indoor moisture control	5.505.1	Y		
Mandatory	Outside air delivery	5.506.1	Y		
Mandatory	Carbon dioxide (CO2) monitoring	5.506.2	Y		
Mandatory	Acoustical control (with exception)	5.507.4	Y		

Mandatory	Exterior noise transmission, prescriptive method (with exceptions)	5.507.4.1	Y		
Mandatory	Noise exposure where noise contours are not readily available	5.507.4.1.1	Y		
Mandatory	Performance method	5.507.4.2	Y		
Mandatory	Site features	5.507.4.2.1			
Mandatory	Documentation of compliance	5.507.4.2.2			
Mandatory	Interior sound transmission (with note)	5.507.4.3	N	N/A	
Mandatory	Ozone depletion and greenhouse gas reductions	5.508.1			
Mandatory	Chlorofluorocarbons (CFCs)	5.508.1.1	Y		
Mandatory	Halons	5.508.1.2	Y		
Mandatory	Supermarket refrigerant leak reduction for retail food stores 8,000 square feet or more	5.508.2 through 5.508.2.6.3		N/A	

**HAYWARD AREA SHORELINE PLANNING AGENCY**

City of Hayward
East Bay Regional Park District
Hayward Area Recreation and Park District

March 21, 2024**- 3:00 PM -****In-Person and Remote Participation**

**HASPA Board of Trustees
Meeting Agenda**

A Joint Powers Authority comprised of the East Bay Regional Park District, Hayward Area Recreation and Park District, and the City of Hayward.

Meeting location: HARD District Office at 1099 E Street, Hayward, CA and online via Zoom (Register for meeting link:

https://ebparks.zoom.us/webinar/register/WN_9zaE7KRqTZqT5oAs-PnaQg

Special notice regarding public participation:

The Hayward Area Shoreline Planning Agency (HASPA) intends to hold meetings through a hybrid platform of in-person and remote attendance to allow members of the public to participate via remote attendance through the East Bay Regional Park District's (EBRPD) virtual platform, Zoom. The Board of Trustees and designated staff will, with limited exceptions, participate in-person at the office of HARD, District Office at 1099 E Street, Hayward, or other designated public facility within the HASPA service area. Occasionally, members of the Board of Trustees may attend remotely as permitted by the Brown Act.

For those members of the public not attending in-person, public comments may also be submitted one of in the following ways:

1. Send an email to asanders@ebparks.org by 12:00 p.m. the day of the meeting. Please identify the Agenda Item Number in the subject line of your email. Emails will be compiled into one file, distributed to the HASPA Board of Trustees and Technical Advisory Committee (TAC) staff, and published on the EBRPD Public Meeting Page (<https://www.ebparks.org/calendar/public-meetings>). Written comments received after 12:00 p.m. that address an item on the agenda will still be included as part of the record.

2. Live via Zoom. If you would like to make a live public comment during the meeting this option is available through the virtual meeting platform: *Note: this virtual meeting preregistration link will have you preregister for the meeting and then provide you details to the virtual meeting for the purpose of providing a public comment: Preregistration required: https://ebparks.zoom.us/webinar/register/WN_9zaE7KRqTZqT5oAs-PnaQg

Comments received during the meeting and up until the public comment period on the relevant agenda item is closed will be provided in writing to the HASPA Board of Trustees. All comments received by the close of the public comment period will be available after the meeting as supplemental materials and will become part of the official meeting record. If you have any questions, please contact Amanda Sanders at asanders@ebparks.org or (510) 544-2650.

How to view the meeting virtually and provide live Public Comment during the meeting: Registration is required at below link. Meeting details will be provided when registration is completed.

When: March 21, 2024 03:00 PM Pacific Time (US and Canada)

Topic: HASPA Board of Trustees Meeting

Register in advance for this webinar:

https://ebparks.zoom.us/webinar/register/WN_9zaE7KRqTZqT5oAs-PnaQg

CALL TO ORDER

ROLL CALL

Public Comments

The Public Comment section provides an opportunity to address the Board on items not listed on the agenda. The Board welcomes your comments and requests that speakers present their remarks in a respectful manner, within established time limits, and focus on issues which directly affect the Board or are within the jurisdiction of the Board. As the Board is prohibited by State law from discussing items not listed on the agenda, your item will be taken under consideration and may be referred to staff.

- 1. Approval of Minutes from the HASPA Meeting Held on February 8, 2024 - Draft Action Minutes of February 8, 2024 (Attachment 1)**
- 2. Welcome Remarks From New HASPA Chair, Francisco Zermeno**
- 3. City of Hayward Project Update – (City Staff)**
- 4. JPA Agreement Discussion (Devan Reiff, EBRPD) (Attachment 2, 3 and 4)**
- 5. Old Business (TAC and Board):**
 - a. Recruitment Efforts for Additional Trustee Agencies**
 - b. Community Engagement Activities**
- 6. New Business (TAC and Board):**
 - a. Updates on Trustee Agency Capital Projects**
- 7. Board Member Announcements**
- 8. Agenda Setting for Next Meeting**

ADJOURNMENT

HASPA facilities and meetings comply with the Americans with Disabilities Act. If special accommodations are needed for you to participate, please contact EBRPD staff at (510) 544-2325 as soon as possible, but preferably at least three working days prior to the meeting.

Attachment 1: 2.8.2024 HASPA BOT Minutes**HAYWARD AREA SHORELINE PLANNING AGENCY****City of Hayward****East Bay Regional Park District****Hayward Area Recreation and Park District**

Meeting of Board of Trustees

Hybrid Meeting: Hayward Area Park & Recreation District & Zoom

February 8, 2024

DRAFT MINUTES**HASPA TRUSTEES PRESENT:**

Dennis Waespi, East Bay Regional Park District, HASPA Chair (Remote Attendance)

Lou Andrade, Hayward Area Recreation and Park District

Francisco Zermeño, City of Hayward

HASPA PROSPECTIVE TRUSTEES PRESENT:

Eric Hentschke, Alameda County Mosquito Abatement District

Rita Duncan, Oro Loma Sanitary District

HASPA TAC MEMBERS PRESENT:

Devan Reiff, East Bay Regional Park District

Eddie Willis, East Bay Regional Park District

Taylor Richard, City of Hayward

Erik Pearson, City of Hayward

Brian Laczko, Hayward Area Recreation and Park District

Erika Castillo, Alameda County Mosquito Abatement District

Jackie Zipkin, East Bay Dischargers Authority

Jimmy Dang, Oro Loma Sanitary District

STAFF:

Amanda Sanders, East Bay Regional Park District

Jason Rosenberg, East Bay Regional Park District

Elizabeth Blanton, City of Hayward

Makenna Colucci, City of Hayward

VISITORS:

Maria Long, Alameda County Supervisor Marquez' office

Nicole Witt, Hanson Bridgett

Jack Alcorn, Tri City Voice

Kate Kafka

CALL TO ORDER: A special meeting of the Hayward Area Shoreline Planning Agency (HASPA) was called to order at 3:00 P.M. by Devan Reiff, HASPA Lead Staff, and role was taken by Devan Reiff.

Emergency Remote Meeting Attendance was requested by Chair Waespi due to a contagious illness. Devan Reiff asked Trustees Zermeño and Andrade if there was a motion to allow for Chair Waespi to attend remotely. Motioned the vote by Trustee Zermeño, seconded by Trustee Andrade. Unanimously passed.

**1. Approval of Minutes from the HASPA Meeting held on December 7, 2023
- Draft Action Minutes of December 7, 2023**

Trustee Andrade motioned the vote and Trustee Zermeño seconded. Vote: Ayes – Zermeño, Andrade, Waespi. Approved unanimously.

Public Comments: None

2. Election of 2024 HASPA Chairperson

Chair Waespi nominated Trustee Zermeño, Trustee Andrade seconded. Passed unanimously. Newly elected Chair Zermeño, will take up Chair responsibilities at the March 21st Board of Trustees meeting.

3. City of Hayward Project Update – Data Center

Elizabeth Blanton with City of Hayward gave an update on application from STACK Data Center. Project area is located just south of Hwy 92 on Eden Canyon Road. It is just outside of the 100-year flood event zone. The property is zoned industrial park which allows for a data center. Project requests to demolish nine single buildings on the site to construct two data centers. The tallest building would be 115-feet, which requires approval from the Planning Commission. Public benefits are required to get approval for height in excess of what is allowed by the zoning. Data centers require a significant amount of power, the proposal shows two generator yards, with 28 generators with a substation and a PG&E switching yard. Public benefits to balance visual impact, suggested package includes artistic screening around substation and switching yard. Other suggestions include a small parklet style park at the corner of Eden Landing and Production, a bike repair area, a bike shelter and additional public amenities. Staff has requested one or more of the following additions be added to the proposal: a half-basketball court, walking trail, climate change signs, meeting space that can be rented by public, or small business space that can be rented. Public review comment time will allow for feedback. The project will be subject to CEQA.

Trustee Andrade stated that HARD is having a reception to raise money for the Hayward Shoreline Interpretive Center. Some funding towards the Hayward Shoreline Interpretive Center

might be a good project to be added as a public benefit enhancement for the Data Center project. He suggests that it is added as an option. Trustee Zermeño said the ideas are good, would like to add more suggestions of public art, perhaps a statue, likes to add Hayward Shoreline Center as suggested by Trustee Andrade. Trustee Zermeño mentioned that the bike repair shop is out of the way. Elizabeth replied that the idea was to have the bike repair shop connected to a pocket park there, that it would serve that industrial area and is also close to the SF Bay Trail. Prospective Trustee Duncan stated that she isn't familiar with STACK Data, is it new to Hayward? Elizabeth said this would be first time City of Hayward is working with them. The company is not connected to Stack Youth and Family Center on Tennyson Road. Prospective Trustee Duncan stated that AC Transit is reducing some of their routes. Is there public transportation available to get the public to the site? Trustee Andrade replied that the parklet would be mostly used by the employees on lunch break.

Prospective Trustee Duncan asked if the applicant is worried about sea level rise. Elizabeth responded that while the site is close to some of the mapped inundation areas, it is outside of it, so that would be a risk that the company would be taking on. Prospective Trustee Duncan asked if the public benefits would be mostly for the immediate area employees, would the public meeting area would it be for the public at large? Elizabeth said all the public amenities could be for the wider public, especially a public meeting room, and if the amenities are connected to existing facilities (ex. SF Bay Trail) it would make it more accessible for the larger public. Hoping that it will benefit the larger Hayward community. Chair Waespi asked what the cost of the project is. Elizabeth stated that she hasn't seen any cost estimates yet, and that it is the most significant project on the shoreline in Hayward in regard to height. Chair Waespi said that there needs to be a lot more public benefits than what currently suggested. It will be the first thing seen when entering Hayward from Hwy 92. He approves of the idea of Hayward Shoreline Center being included, and some SF Bay Trail connections. Chair Waespi thinks HASPA should put in comments requesting more public benefit conveyances. Elizabeth said that it is always a negotiation with the applicant to warrant the additional impacts from the project versus the public benefits. This will also be going to a work session with the Planning Commission.

4. Update on JPA Agreement

Devan Reiff introduced Nicole Witt, attorney with Hanson Bridgett, assisting HASPA with creating new JPA agreement. At the last meeting in December there was discussion about the JPA Agreement. After receiving comments, a final draft version was provided to the TAC. After the revised drafts were provided to the legal counsel of all JPA Trustees and prospective Trustees, there was additional feedback received. Staff is suggesting an additional special Trustee meeting in March 2024 to consider the JPA Agreement.

Nicole noted the recent proposal from HARD (to voluntarily join as a Tier 3 agency) was optimistic, but we would like to pursue it and get back to the group. The suggestion was that members could join at a higher tier if they wanted. The JPA Agreement, as currently worded, has three tiers of membership based on agency operational budgets. The new suggestion would allow agencies to join at different Tiers than those assigned by operational budget. The HARD proposal would create three Tier three agencies, to include EBRPD, Hayward and HARD. Trustee Zermeño said that he likes the idea of majority voting of 50% plus one. Nicole said that

the current wording is that a majority vote wins, but in certain situations the weighted voting could take place. Trustee Zermeño said that everyone is as important as other people's vote, regardless of how much money they pay in dues.

Trustee Andrade asked if we did research into how other JPA's worked. Devan replied yes, that other JPA's have majority voting as regular and weighted voting as an option. Nicole said that the idea is that when weighted voting takes place it makes sure that the higher tiers would be responsible fiscally for additional projects/work that they would have to pay for. Prospective Trustee Hentschke said that for capital projects AC Mosquito Abatement has a smaller budget, so they wouldn't be able to put in as much money. Prospective Trustee Duncan says that she agrees with Trustee Zermeño and there should be majority vote for decisions. Trustee Andrade said that HARD is the third largest landowner on the shoreline and they want to protect their interest. The tier suggestion was from HARD. There should be cooperation between agencies, especially with grants. Trustee Andrade said we should say that any grant that someone gets should have to work with other HASPA agencies and would like a policy in place. He would like to see the proposal come back in March. Trustee Zermeño said the tiers came about because Hayward has more money than Oro Loma. Rita asked if this would affect recruitment. Trustee Andrade said he wasn't sure how it would affect recruitment.

Chair Waespi asked when the weighted voting would apply. Nicole said that it would only apply if a Trustee stated "I motion for weighted voting on this item". The weighted voting proposal was carefully researched by the TAC, to ensure that HASPA could have the ability to grow, as well as have a good fiduciary balance. The new proposal would cause the work done on the current weighted voting language to be restructured, but would hopefully find approval. Chair Waespi said that we have gone over this so many times, thinks that it isn't productive. Chair Waespi said that agencies said they couldn't make the same responsibilities or monetary commitments, so we came up with weighted voting and tiers. Trustee Andrade suggested that there should be a higher voting requirement to get over to a majority vote, so it would, for example, require 70% approval (or, three agencies voting to approve a motion). Nicole cautioned that if two members have more than 50% of the fiscal responsibility and all the administrative responsibility, and other three trustees vote something that the two other agencies don't like, they couldn't stop it. Super majority would be three agencies. 51% would be weighted based on the percentages of the tiers.

Trustee Zermeño suggested that a vote be motioned at this meeting. Nicole said that she thinks that it is premature for a motion and that it should be brought back soon for review by the Trustees. Chair Waespi stated that it is an informational item so we can't take a motion as it hasn't been noticed. Nicole said the intent is to bring the new JPA language back to present to the Trustees at the March special meeting.

5. Selection of Special Meeting Dates

Suggest adding two Special meetings of the HASPA Board: March 21st selected, and May 9th selected. April 11th meeting is a regular meeting and was already scheduled.

Trustee Zermeño motioned, seconded by Trustee Andrade. Approved unanimously.

6. Old/New Business

Jackie Zipkin, EBDA, gave an update on the Horizontal Levee project that would provide flood control near the Oro Loma plant. EBDA held a design charrette that was intended to get design feedback from stakeholders: 32 representatives of various agencies including all of the current and prospective HASPA members and TAC members, plus others-- a wide-ranging group. Currently completing 30% design drawings, have been awarded a new grant from SFEP/EPA that will take the project through final design and the CEQA process. The charrette was very successful in generating ideas for the project and for HASPA moving forward. EBDA is building a strong coalition. Shared artistic examples of work in progress of two potential futures, one where there is traditional riprap uses, and an environmental example. Talked about having a bridge to connect the community from the San Lorenzo community park to the Bay Trail at the shoreline, which doesn't currently have access. It's meant to illustrate potential future amenities for this project. Trustee Andrade said the bridge is a great idea and it would open up access to a lot of things, especially for walking and biking connectivity. Chair Waespi said it is a great vision and a big challenge.

7. Board Meeting Announcements

Trustee Zermeño mentioned that from May to September there are events in Downtown Hayward, would like to invite HASPA to have booths at the events.

Erik Pearson is hosting City of Hayward's Earth Day Fair on Saturday, April 20th. Staff agreed to have a HASPA table at the event at Meek Park.

HARD is having an open house at Eden Mansion to benefit Hayward Shoreline Interpretive Center. Flyer to be distributed to the group.

8. Agenda Setting for Next Meeting

Community engagement plan; Earth Day events traveling roadshow for April events – will have HASPA table at the Meeks Park event

Meeting adjourned at 4:24pm

Attachment 2: Proposed JPA Agreement Memorandum**HAYWARD AREA SHORELINE PLANNING AGENCY*****Memorandum***

DATE: March 21, 2024

TO: HASPA Board of Trustees, TAC

FROM: Devan Reiff, EBRPD / Nicole Witt (Hanson Bridgett)

SUBJECT: Proposed JPA Agreement

The HASPA Board of Trustees (Board), prospective Trustees, and staff from the Board and prospective Trustees on the Technical Advisory Committee (TAC) have been engaged in diligent negotiations about a new Joint Powers Authority Agreement (JPA Agreement) for the Hayward Area Shoreline Planning Agency (HASPA) since 2022. Trustees and prospective Trustees expressed an interest in HASPA becoming a larger agency, ensuring its longevity to protect the Hayward Shoreline from the effects of climate change and sea level rise. The goals of this new JPA Agreement are to meet HASPA's evolving needs for the next 20+ years and to give the agency maximum flexibility to address possible future expansion in operations and management.

Attorneys for HASPA, from the firm of Hanson Bridgett, received substantive input from the Board, prospective Trustees, TAC members, and the legal counsel from the respective agencies. The majority of that input has been incorporated into this draft JPA Agreement, for the consideration of the Board and TAC. A clean copy of the draft JPA Agreement (Attachment 3) was circulated to TAC staff on March 8, 2024 in anticipation of this March 21st Board meeting.

The JPA Agreement consists of 20 sections and four attachments (called "Schedules"). Of the JPA Sections, #5, "Organization" and #8, "Budget," are the most pertinent to the recent discussions.

Changes from previous drafts of the JPA Agreement are as follows:

- Hayward Area Park and Recreation District (HARD) is now listed as a Tier 3 agency and, as a result, any motion subject to weighted voting will require the approval of at least three agencies. See Schedules C and CI, as agreed to by the TAC, for each agency's weighed voting percentages (Attachment 4). This is

consistent with non-weighted voting, which will also require the approval of at least three agencies.

- A new defined term, "Climate Change Impacts," to ensure that the JPA Agreement speaks consistently about the purpose of HASPA.
- Removal of the delegation of authority to the HASPA Board to approve "non-substantive amendments."
- Clarification of the intent of any alternative Surcharge allocation, and a new requirement that, if a party's Surcharge allocation is higher than the percentage allocations in Schedule C, the party must consent to the higher allocation.
- Clarification that the approval threshold for any motion subject to weighted voting is 51%.
- Clarification that the parties may sign the JPA by electronic signature.

The TAC grappled with the weighted voting/tiered dues structure in an effort to create a structure for HASPA that is both fair and functional. The ability of the members to call for weighted voting is critical for the efficient functioning of HASPA. Proposed alternatives would have allowed one member agency to veto the budget and other similar actions, which would impair HASPA's ability to expand its role in the Hayward Shoreline region. Additionally, the proposal to include a supermajority vote threshold for approval of the budget, or for dues increases, would create an administrative burden that could lead to mistakes—and subsequent related litigation.

Trustees have also suggested that HASPA staff should be actively pursuing additional new HASPA member agencies, to expand the agency so that it includes all public landowners on the Hayward Shoreline. Staff agrees this is a priority and can report that efforts encouraging Alameda County join HASPA are underway. Staff will bring an engagement plan to the April 11th Board meeting detailing both outreach to prospective new HASPA Board members as well as community engagement efforts to involve the public in HASPA.

This JPA Agreement seeks to balance the efficient functioning the agency and adequate protections for the parties. Staff seeks Trustee and prospective Trustee direction on the adequacy of this version of the JPA Agreement, and further, staff seeks direction from the Board to prepare a final version of the JPA Agreement for the next regular HASPA Board meeting on April 11, 2024, for potential adoption.

Attachment 3: Proposed JPA Agreement

**AMENDED AND RESTATED HAYWARD AREA SHORELINE PLANNING AGENCY
JOINT EXERCISE OF POWERS AGREEMENT**

July 1, 2024

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Schedule B: Service Area Map

Schedule C: Annual Dues Table/Weighted Voting Chart

Schedule C-1: Example Annual Dues Table

**AMENDED AND RESTATED HAYWARD AREA SHORELINE PLANNING AGENCY
JOINT EXERCISE OF POWERS AGREEMENT**

THIS AGREEMENT, dated for convenience as of July 1, 2024, is made and entered into by and among the East Bay Regional Park District, a special district (hereinafter referred to as “Regional Park District”); the Oro Loma Sanitary District, a sanitary district (hereinafter referred to as “Oro Loma”), the Alameda County Mosquito Abatement District, a mosquito control district (hereinafter referred to as “ACMAD”), the Hayward Area Recreation and Park District, a California special district (hereinafter referred to as “HARD”); and the City of Hayward, a municipal corporation (hereinafter referred to as “Hayward”) (collectively “Parties” and individually “Party”); each duly organized and existing in the County of Alameda under the constitution and laws of the State of California.

WITNESSETH:

WHEREAS, the Hayward Area Shoreline Planning Agency (hereinafter referred to as “HASPA” or “Agency”), is a joint powers authority consisting of representatives from the Regional Park District, Oro Loma, ACMAD, HARD, and Hayward;

WHEREAS, HASPA was formed pursuant to the December 7, 1970 Joint Exercise of Powers Agreement (hereinafter the “Agreement”);

WHEREAS, the Agreement was subsequently extended on October 7, 1975, November 13, 1979, June 10, 1985, September 11, 1990, September 21, 1995, August 25, 2000, July 1, 2005, June 30, 2010, June 30, 2015, December 1, 2015, January 1, 2021, January 1, 2022, June 30, 2022, and May 11, 2023;

WHEREAS, HASPA's original purpose, which has been fulfilled, was to study, plan, and adopt policies concerning the land uses in the Shoreline area, in order to develop a

comprehensive plan for the governing bodies of the original parties so that the plans and actions of each party are compatible with those of the other parties;

WHEREAS, the Hayward Shoreline faces serious impacts to infrastructure and resources caused by sea level rise, groundwater intrusion, and storm surge (“Climate Change Impacts”);

WHEREAS, HASPA adopted the Hayward Regional Shoreline Adaptation Master Plan, which creates a framework for a region-wide response to Climate Change Impacts;

WHEREAS, the Parties wish to continue HASPA and its powers and functions in addressing the new mission of responding to Climate Change Impacts by promoting public health and climate adaptation measures, protecting critical infrastructure at the shoreline, and maintaining public access to the shoreline, as more particularly described herein;

WHEREAS, Climate Change Impacts create a unique challenge to the preservation of open space resources at the shoreline. Climate adaptation measures facilitate the conservation and restoration of park lands and habitat for threatened species in the East Bay;

WHEREAS, Climate Change Impacts threaten waste water treatment facilities located along the Hayward Shoreline. Addressing and mitigating sea level rise is necessary to ensure these sanitary sewer facilities remain functional and to prevent the sewer overflows into the San Francisco Bay in order to protect public health;

WHEREAS, the coastal inundation and flooding exacerbated by sea level rise increase the breeding habitat for mosquitoes and warmer temperatures associated with climate change can accelerate mosquito development. Engaging in preventative climate change efforts is a crucial way to combat and prevent the transmission of vector-borne diseases which will further ACMAD’s mission of improving the health and comfort of Alameda County residents;

WHEREAS, HARD is a recreational and park district established under Public Resources Code Section 5780 *et seq.* empowered to, among other things, acquire, operate, maintain, and improve recreational facilities and open space, which includes the authority to respond to Climate Change Impacts by implementing climate adaptation measures to safeguard its property;

WHEREAS, the City of Hayward, pursuant to Section 200 of the City Charter and Article XI, Section 5 of the California Constitution, may make and enforce all laws and regulations in respect to municipal affairs, and pursuant to Article XI, Section 7 of the California Constitution may exercise its police powers to make and enforce ordinances and regulations to promote the public health, safety, and welfare, which includes development and implementation of climate adaption measures to address Climate Change Impacts along the Hayward Shoreline, including sea level rise and/or inundation;

WHEREAS, the Parties desire that this Agreement supersede and supplant all previous iterations of the Agreement set forth above;

NOW, THEREFORE, in consideration of the mutual promises and agreements contained herein, the Parties agree as follows:

Section 1. Definitions

- a. “Agency” means HASPA.
- b. “Agreement” means this Amended and Restated Joint Exercise of Powers Agreement.
- c. “HASPA Board” means the Hayward Area Shoreline Planning Agency Board of Trustees, being the governing body of HASPA.
- d. “Controller” means the public officer performing the functions of auditor or controller as determined pursuant to the Act.

- e. “Hayward Shoreline” or “Service Area” means all areas of the City of Hayward and all areas of the unincorporated land in the Alameda County that are west of the Southern Pacific Railroad tracks and are between the boundaries of the City of San Leandro on the north and the City of Fremont on the south and all areas where the 100 year inundation line is currently shown on FEMA maps, as shown in Schedule A.
- f. “Manager” or “Managing Agency” means the Party, individual, or independent contractor, designated by the HASPA Board to act for and on behalf of the Agency, as the agent or representative of the Agency, pursuant to and within the scope of authority provided in this Agreement and delegated by the HASPA Board, as further described in Section 6.
- g. “Supporting Agency” means a Party that contracts for a project within the Service Area that is not otherwise supported by annual dues.
- h. “Surcharge” means funds required for any expenditure that is approved by the HASPA Board, but is not itemized in the annual budget.
- i. “Treasurer” means the public officer designated and performing the functions of as determined pursuant to Section 6505.5 or Section 6505.6 of the Act.

Section 2. Authority and Purpose

This Agreement is made pursuant to Chapter 5, of Division 7, Title 1 of the California Government Code (Sections 6500 *et seq.*; the "Act") and relates to the joint exercise of powers held by each of the parties and as otherwise granted by the Act. The purpose of this Agreement is to jointly exercise the common powers of the parties to address Climate Change Impacts on the Hayward Shoreline by promoting and implementing climate adaptation measures on the

Hayward Shoreline through shoreline planning activities, collaboration to advance projects, and seeking funding for projects.

Section 3. Creation of HASPA

The Agency is a public agency separate from the Parties. The Agency will exercise the powers set forth in this Agreement. No debt, liability, or obligation of the Agency will constitute a debt, liability, or obligation of the parties, except as expressly provided in this Agreement.

Section 4. Powers

To the greatest extent permitted by law and in the manner provided herein, the Agency will exercise the powers which are common to each Party, or as otherwise permitted under the Act, and all incidental, implied, expressed, or necessary powers to accomplish the purposes of this Agreement. The Agency is hereby authorized, in its own name, to perform all acts necessary to fulfill the purposes of this Agreement, including but not limited to any or all of, the following:

- a. to make and enter into contracts;
- b. to employ agents and employees;
- c. to apply for and accept grants, advances and contributions
- d. to receive, accept, and expend or disburse monies by contract or otherwise for purposes consistent with this Agreement;
- e. to employ or contract for the services of planners, financial advisors, consultants, contractors, fiscal agents, and such other persons as the HASPA Board deems necessary and to establish compensation, salaries, and other benefits for such persons as are necessary to implement this Agreement;
- f. to make plans and conduct studies;
- g. to acquire, hold or dispose of property;

- h. to sue and be sued in its own name;
to incur debts, liabilities or obligations and issue indebtedness;
- i. to prepare and adopt a general budget for HASPA's functions;
- j. to explore shoreline protection in conjunction with climate adaptation;
- k. to develop and adopt bylaws and policies for the conduct of the business of the Agency;
- l. to insure itself and the Parties from loss, liability, and claims arising out of or in any way connected with the performance of this Agreement; and
- m. To enter into joint exercise of powers agreements pursuant to the Act.

For the purposes of California Government Code Section 6509, the powers of the Agency will be exercised subject to the restrictions upon the manner of exercising such powers as are imposed on the City of Hayward, a charter city.

Section 5. Organization

a. HASPA Board

The Agency will be governed by the HASPA Board, which will exercise all powers and authority on behalf of the Agency except as otherwise provided herein. The HASPA Board is composed of representatives from each Party, who are known as trustees. Each party to this Agreement will appoint one member of its governing body to be a trustee and will appoint a second member of its governing body to be an alternate trustee to serve in the absence of that Party's trustee. Each trustee and alternate will serve at the pleasure of his or her governing body, but in no event will either a trustee or alternate trustee serve on the HASPA Board if he or she is no longer a member of the governing body of a party. Each trustee (or alternate trustee serving the absence of the trustee) is allocated one vote on any matter before the HASPA Board. In

accordance with the Bylaws, the trustees will elect from among themselves, and establish the terms of office for, a Chair and such other officers, as they deem necessary or desirable.

b. Voting

1. Majority Vote and Weighted Voting. Generally, the affirmative vote of a majority of the total membership of the HASPA Board is required to adopt any action. However, any HASPA Board member may call for any motion to be subject to weighted voting. The call for weighted voting must be made before the motion is made. The weighted percentage of each member's vote will be as set forth in Schedule C. An affirmative vote of at least 51% is required to adopt any motion subject to weighted voting, subject to the consent requirement in Section 8(a) if applicable.

c. JPA Amendments.

Unless explicitly provided in the Agreement, the HASPA Board and the governing boards of the Parties must approve all amendments to the Agreement, including any amendments to the Agreement that effect the rights, obligations, or status of the Parties to this Agreement, add new parties to the Agreement, or alter the authority and purpose of the Agency.

d. Certain JPA Amendments Delegated to the Board.

The Parties have delegated to the HASPA Board the authority to make any revision to the provisions of the Agreement related to the operations of the Agency, which is necessary to effect the purpose of the Agency.

e. Certain JPA Amendments Delegated to the Manager/Managing Agency.

In addition, the Parties have delegated to the Manager/Managing Agency the authority to make such administrative revisions to the Agreement as described in Section 12.

f. Meetings

All meetings of the HASPA Board are public meetings and will be held subject to the requirements of the Ralph M. Brown Act, Section 54950 *et seq.* of the California Government Code, other applicable laws of the State of California, and the bylaws of the HASPA Board. A majority of the trustees will constitute a quorum.

g. Bylaws

The HASPA Board may adopt, and from time to time amend, bylaws of the HASPA Board as necessary or convenient in the determination of the HASPA Board to achieve its purposes. The bylaws may set forth how meetings of the HASPA Board will be conducted.

Section 6. Managing Agency/Manager

a. Managing Agency

If the HASPA Board designates a Party as the Managing Agency, the duties of the Managing Agency will alternate among the Tier 3 Parties as set forth in Schedule C. The Tier 3 Parties will rotate the Managing Agency role as needed.

b. Manager

The HASPA Board may employ a staff member of one of the Parties or other individual to manage the Agency, or it may contract for the services of the Manager. In such case, the HASPA Board will prescribe the duties, compensation, and terms and conditions of employment, or of the contract, of the Manager. At a minimum, the Manager will coordinate the business of the Agency, hire and direct any Agency employees, attend HASPA Board meetings, prepare, distribute and maintain agendas and minutes of the HASPA Board meetings and official actions of the Agency, and carry out other duties as may be assigned by the HASPA Board. The Manager will serve at the pleasure of the HASPA Board. In the event the HASPA Board

employs or contracts for the services of a Manager, the Managing Agency will be responsible for supporting tasks such as administration of the contract for the services of a Manager and use of office resources.

Section 7. Employees

a. Agency Employees

The Agency may directly employ officers, agents, or employees, but none of the officers, agents, or employees directly employed by the Agency will be deemed, by reason of their employment by the Agency, to be employed by any Party or to be subject to any of the requirements of any Party. Any officer, employee, or agent of the Agency may also be an officer, employee, or agent of any Party, provided that the HASPA Board or Manager determines that the two positions are compatible.

b. Officers, Employees, Agents of the Parties

All privileges and immunities from liability, all exemptions from laws, ordinances and rules, and all pension, relief, disability, worker's compensation, and other benefits which apply to the activities of officers, agents, or employees of a Party when performing their respective functions will apply to them to the same degree and extent while engaged in the performance of any of the functions and other duties under this Agreement.

Section 8. Budget and Finance

a. Budget

The Agency may adopt a budget for activities consistent with its powers and may require the contribution of funds from the Parties for the expenditures included in that budget. As opportunities arise, the Board may approve the imposition of Surcharges to fund expenses that are not otherwise included in the adopted budget. Generally, Surcharges will be allocated

to each Party in accordance with the percentages in Schedule C. However, at the request of any Party, the Board may consider a different allocation for the Surcharge. At the Board's discretion, such allocation may be among all of the Parties or only a portion of the Parties. The intent of any such alternative allocation is to give Supporting Agencies and/or any party that may receive unique benefits from the expense the opportunity to contribute at a higher level than the applicable percentage in Schedule C. If a Party's Surcharge allocation is higher than the percentage in Schedule C, the Party must consent in writing to the Surcharge allocation. The Board's decision on any allocation will be final.

b. Dues

On July 1 of each year, each Party will pay the annual dues to the Agency. The total amount of annual dues will equal the total adopted budget for that fiscal year. Each Party's allocation of the annual dues will be based on the percentages set forth in Schedule C.

c. Funding and Agency Financial Commitments

The Agency may apply for and receive grants and other funding from outside sources to support its purpose. The Agency may be the responsible fiscal agency for the funding or an appropriate Party may be selected. The Agency may not make any financial commitment that requires revenues in excess of those available to it.

Section 9. Treasurer, Controller, Accountability, and Access to Property

a. Treasurer

Pursuant to Government Code Section 6505.5, the treasurer of the Managing Agency, or other duly authorized staff person, is the Treasurer of the Agency. Alternatively, pursuant to Government Code Section 6505.6, the HASPA Board may appoint one of the Agency's officers

or employees as Treasurer of the Agency. The Treasurer will be the depositary, and have custody of all the money of the Agency from whatever source. The Treasurer will:

1. Receive and receipt for all money of the Agency and place it in the treasury of the Treasurer to the credit of HASPA.
2. Be responsible upon his or her official bond for the safekeeping and disbursement of all Agency money and personal property.
3. Pay, when due, out of money of the Agency, all sums due from the Agency, or any portion thereof, only upon warrants of the public officer performing the functions of Controller of the Agency.
4. Verify and report in writing on the first day of July, October, January, and April of each year to the Agency, and to each of the Parties, the amount of money held for HASPA, the amount of receipts since the last report, and the amount paid out since the last report.
5. Invest all of the Agency's funds not currently required in the manner provided by law including but not limited to Government Code sections 6509.5 and 53601 and collect interest thereon for account of the Agency.
6. Have the powers, duties, and responsibilities of the treasurer as specified in the Act, including, without limitation, Sections 6505 and 6505.5 thereof.

b. Controller

Pursuant to Government Code Section 6505.5, the auditor of the Managing Agency, or other duly authorized staff person, is the Controller of HASPA. Alternatively, pursuant to

Government Code Section 6505.6, the HASPA Board may appoint one of the Agency's officers or employees as Controller of the Agency. If an appointment is made pursuant to Government Code Section 6505.6, the offices of the Treasurer and Controller may be held by the separate individuals or the offices may be held by the same individual. The Controller will draw warrants to pay demands against the Agency when the demands have been duly authorized by the HASPA Board. The Controller will have the powers, duties, and responsibilities specified in the Act, including, without limitation, Sections 6505 and 6505.5 thereof.

c. Accountability of Funds

There will be strict accountability of all HASPA funds and report of all receipts and disbursements and compliance with the Act. The Controller will either make or arrange for a contract with a certified public accountant or public accountant to make an annual audit of the accounts and records of the Agency.

d. Access to Property and Funds

As provided in Section 6505.1 of the Act, the Treasurer is hereby designated as the person who has charge of, handles, and has access to the property of the Agency. The HASPA Board will require such person to file an official bond in an amount to be fixed by the HASPA Board and the cost of said bond will be paid by the Agency.

Section 10. Term, Termination, and Withdrawal of a Party

a. Term

This Agreement is effective as of the date of execution by the last party hereto and will continue in full force and effect until terminated by mutual agreement of the Parties.

b. Termination

Upon mutual agreement of the Parties to terminate the Agreement, the Agency will liquidate any assets. After the discharge of all enforceable liabilities, the liquidated assets will be divided equally among the Parties, unless otherwise agreed to by the Parties. In terminating this Agreement, the Parties agree to apportion any employee retirement obligations of the Agency equally among all Parties. All Parties will comply with all legal requirements related to the Agency's pension liabilities and obligations as specified in the Act and the Public Employees Retirement Law (California Government Code Section 20000 et seq.).

c. Withdrawal

Any Party may withdraw from the Agency by reaching an agreement with the remaining Parties, whereby the remaining Party(ies) acquires all of the rights in this Agreement and in the Agency and assumes all liability, including bonded indebtedness, of the withdrawing Party.

d. Reinstatement

A party, subsequent to its filing of its notice of withdrawal or its actual withdrawal from the Agency, may seek reinstatement as a member of the Agency in accordance with the procedures for adding a new party as set forth in Section 14.

Section 11. Elections

For the purpose of holding any election within the Agency's boundaries, the HASPA Board may call and hold an election to submit propositions to the electors of the Agency in the same manner as the board of supervisors of a county may call and hold county elections, and the electors of the Agency will have the right to petition for referendum on any ordinance enacted by the HASPA Board in the same manner as the electors of a county, except that all computations referred to in those sections and the officers of the county mentioned in those sections will be construed to refer to comparable computations and officers of the Agency. For the purposes of

any such election or referendum petition, the electors residing within the boundaries of the Agency who would be qualified to vote for candidates for Governor at any general election will be the electors of the Agency.

Section 12. Boundaries and Service Area

The boundary of the Agency will be the consolidated boundaries of all Parties, as may be amended from time to time. The current boundaries are shown in Schedule B. In the event the Agency's boundaries change, the Managing Agency or Manager will prepare an updated Schedule B, which will be automatically incorporated into this Agreement. For clarity, HASPA generally will exercise the common powers described in this Agreement within the Service Area, as shown in Schedule A. In the event the Service Area changes (e.g. due to the withdrawal of a Party, updates to the FEMA maps), the Managing Agency or Manager will prepare an updated Schedule A, which will be automatically incorporated into this Agreement.

Section 13. Amendments

The Parties authorize the HASPA Board to approve amendments to the Agreement as described in section 5(d) and the trustees are each authorized to execute any such amendments on behalf of their respective agencies. All other amendments to this Agreement require approval

by unanimous vote of the total membership of the HASPA Board and a writing approved and executed by the governing bodies of all Parties.

Section 14. New Parties

A new party may be added to this Agreement by forwarding a duly adopted resolution of its governing body to the Manager or Managing Agency. If approved by the HASPA Board, the addition of the new party will be effective upon approval of the amendment by all Parties.

Section 15. Dispute Resolution

In the event of any dispute, the parties will promptly meet and confer, first at a staff level and then elevated to a meeting of the HASPA Board, in a good faith attempt to resolve the dispute. In connection with such negotiations, the party asserting the dispute must provide the other with a written description of the nature of the dispute, along with reasonable supporting documentation. If a dispute cannot be resolved by the parties independently, they may agree to submit such dispute to non-binding mediation by a mutually agreed-upon neutral third party with offices in the San Francisco Bay Area. The cost of mediation will be shared equally. In the alternative, a party may choose to resolve questions or disputes arising under the Agreement through arbitration or judicial determination.

Section 16. Severability

If any one or more of the covenants or agreements set forth in this Agreement should be contrary to any provision of law or contrary to the policy of law to such an extent as to be unenforceable in any court of competent jurisdiction then such covenant or covenants, or such agreement or agreements, will be null and void and will be deemed separable from the remaining covenants and agreements and will in no way affect the validity of remaining portions of this Agreement.

Section 17. Counterparts.

This Agreement may be separately executed in any number of counterparts, and each counterpart signature page and the remainder of this Agreement will constitute the original Agreement. Facsimile, electronic, or digital signatures will be treated in all respects as having the same effect as an original signature.

Section 18. Successors; Assignment

This Agreement will be binding upon and inure to the benefit of the successors of the Parties. No Party may assign any right or obligation hereunder without the consent of the others.

Section 19. Governing Law

This Agreement will be governed by, and construed and enforced in accordance with, the laws of the State of California, without giving effect to conflict of law provisions.

Section 20. Joint Drafting

All Parties participated in the drafting of this Agreement and the Agreement will not be construed against any Party as the drafter.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be duly executed and attested by their respective officers, duly authorized to so act, on the dates set forth.

SIGNATURE BLOCKS ON FOLLOWING PAGES

Attachment 4: Proposed JPA Agreement Schedule C & C1

Schedule C: Annual Dues Table/Weighted Voting Chart¹

Agency	Weighted Voting %
ACMAD (Tier 1)	10%
Oro Loma (Tier 2)	18%
HARD (Tier 3)	24%
Hayward (Tier 3)	24%
EBRPD (Tier 3)	24%
TOTALS	100%

¹ The weighted voting allocation described in this Schedule C is based on the agencies' annual operating budgets. Tier 1 agencies have an annual operating budget of less than \$10 million. Tier 2 agencies have an annual operating budget of between \$10 million to \$30 million, and Tier 3 agencies have an annual operating budget over \$30 million. The tiers described above are fixed and may not be modified except by amendment to the Agreement.

Schedule C-1: Example Annual Dues Table
For illustrative purposes only

Agency	Weighted Voting %	Example Annual Dues Allocation
ACMAD (Tier 1)	10%	\$13,000
Oro Loma (Tier 2)	18%	\$23,400
HARD (Tier 3)	24%	\$31,200
Hayward (Tier 3)	24%	\$31,200
EBRPD (Tier 3)	24%	\$31,200
TOTALS	100%	Example Annual Budget Total: \$130,000



CITY OF HAYWARD

Hayward City Hall
777 B Street
Hayward, CA 94541
www.Hayward-CA.gov

File #: RPT 24-043

DATE: June 3, 2024

TO: Council Economic Development Committee

FROM: Chief Economic Development Officer

SUBJECT

Future Meeting Topics as of June 3, 2024

RECOMMENDATION

That Committee members review and comment on the attached Future Meeting Topics

ATTACHMENTS

Attachment I Future Meeting Topics as of June 3, 2024



**Council Economic Development Committee
Future Meeting Topics as of
June 3, 2024**

RESPONSIBLE STAFF	FUTURE MEETING AGENDA ITEMS	PRESENTATIO N DATE*
Economic Development	Hayward Upward Economic Recovery Program Updates	Standing Item
Economic Development	Downtown Action Plan Working Group Update	To be Scheduled
Community and Media Relations	Update on Implementation of Hayward Branding and Marketing Activities	To be Scheduled

*Subject to change and data availability