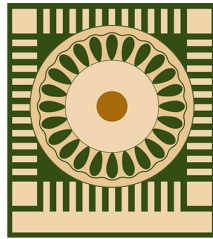


CITY OF HAYWARD

Hayward City Hall
777 B Street
Hayward, CA 94541
www.Hayward-CA.gov



CITY OF
HAYWARD
HEART OF THE BAY

Agenda

Thursday, January 11, 2018

7:00 PM

Council Chambers

Planning Commission

MEMBERS OF THE AUDIENCE WISHING TO ADDRESS THE PLANNING COMMISSION

Obtain a speaker's identification card, fill in the requested information, and give the card to the Commission Secretary. The Secretary will give the card to the Commission Chair who will call on you when the item in which you are interested is being considered. When your name is called, walk to the rostrum, state your name and address for the record and proceed with your comments. The Chair may, at the beginning of the hearing, limit testimony to three (3) minutes per individual and five (5) minutes per an individual representing a group of citizens for organization. Speakers are expected to honor the allotted time.

CALL TO ORDER Pledge of Allegiance**ROLL CALL****PUBLIC COMMENTS**

The PUBLIC COMMENTS section provides an opportunity to address the Planning Commission on items not listed on the agenda. The Commission welcomes your comments and requests that speakers present their remarks in a respectful manner, within established time limits and focus on issues which directly affect the City or are within the jurisdiction of the City. As the Commission is prohibited by State law from discussing items not listed on the agenda, your item will be taken under consideration and may be referred to staff for further action.

ACTION ITEMS

The Commission will permit comment as each item is called for Public Hearing. Please submit a speaker card to the Secretary if you wish to speak on a public hearing item.

PUBLIC HEARING

For agenda item No. 1, the decision of the Planning Commission is final unless appealed. The appeal period is 10 days from the date of the decision. If appealed, a public hearing will be scheduled before the City Council for final decision.

1. [PH 18-001](#) Proposed Vesting Tentative Tract Map 8397 and Site Plan Review for a five-lot subdivision and the construction of four new single-family homes at 25000 Muir Street (APN 444-0051-116-00) Application No. 201700900; Mohamed Genidy (Applicant) on behalf of Khoa Le (Owner).

Attachments: [Attachment I Staff Report](#)
 [Attachment II Findings and Conditions of Approval](#)
 [Attachment III Project Plans](#)
 [Attachment IV Renderings](#)

APPROVAL OF MINUTES

2. [MIN 18-008](#) Minutes of the Planning Commission Meeting of December 14, 2017

Attachments: [Attachment I Draft Minutes of December 14, 2017](#)

COMMISSION REPORTS

Oral Report on Planning and Zoning Matters

Commissioners' Announcements, Referrals

ADJOURNMENT

NEXT MEETING, JANUARY 25, 7:00PM

PLEASE TAKE NOTICE

That if you file a lawsuit challenging any final decision on any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the City's public hearing or presented in writing to the City Clerk at or before the public hearing.

PLEASE TAKE FURTHER NOTICE

That the City Council has adopted Resolution No. 87-181 C.S., which imposes the 90 day deadline set forth in Code of Civil Procedure section 1094.6 for filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure section 1094.5.

****Materials related to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the Permit Center, first floor at the above address. Copies of staff reports for agenda items are available from the Commission Secretary and on the City's website the Friday before the meeting.****

Assistance will be provided to those requiring accommodations for disabilities in compliance with the Americans with Disabilities Act of 1990. Interested persons must request the accommodation at least 48 hours in advance of the meeting by contacting the City Clerk at (510) 583-4400 or TDD (510) 247-3340.



CITY OF HAYWARD

Hayward City Hall
777 B Street
Hayward, CA 94541
www.Hayward-CA.gov

File #: PH 18-001

DATE: January 11, 2018

TO: Planning Commission

FROM: Planning Manager

SUBJECT

Proposed Vesting Tentative Tract Map 8397 and Site Plan Review for a five-lot subdivision and the construction of four new single-family homes at 25000 Muir Street (APN 444-0051-116-00) Application No. 201700900; Mohamed Genidy (Applicant) on behalf of Khoa Le (Owner).

RECOMMENDATION

That the Planning Commission approve Vesting Tentative Tract Map 8397 and Site Plan Review Application No. 201700900 based on the analysis set forth in this report and the attached Findings (Attachment II), and subject to the Conditions of Approval (Attachment II).

ATTACHMENTS

Attachment I: Staff Report
Attachment II: Findings and Conditions of Approval
Attachment III: Project Plans
Attachment IV: Renderings



SUBJECT

Proposed Vesting Tentative Tract Map 8397 and Site Plan Review for a five-lot subdivision and the construction of four new single-family homes at 25000 Muir Street (APN 444-0051-116-00). Application No. 201700900; Mohamed Genidy (Applicant) on behalf of Khoa Le (Owner).

RECOMMENDATION

That the Planning Commission approve Vesting Tentative Tract Map 8397 and Site Plan Review Application No. 201700900 based on the analysis set forth in this report and the attached Findings (Attachment II), and subject to the Conditions of Approval (Attachment II).

SUMMARY

The applicant is requesting approval of Vesting Tentative Tract Map 8397 and Site Plan Review Application No. 201700900 for a five-lot subdivision of an existing 0.83-acre parcel and the construction of four new single-family homes located at 25000 Muir Street, Hayward (APN 444-0051-116-00). The existing single-family home fronting Muir Street will remain.

Pursuant to Section 10-3.010 of the Hayward Municipal Code (HMC), the purpose of the Subdivision Ordinance is to ensure that all proposed subdivisions are consistent with the procedures, policies, and programs of the *Hayward 2040 General Plan*, underlying zoning district, and Subdivision Map Act. Pursuant to Section 10-1.3005 of the HMC, the purpose of the Site Plan Review is to foster development that complies with the intent of City development policies and regulations and is operated in a manner determined to be acceptable and compatible with surrounding development.

BACKGROUND

The existing home was built in 1954. In 2002, the Planning Commission denied an Administrative Use Permit and Site Plan Review application to demolish the existing home and construct a 10,917-square-foot, two-story mosque building. On October 26, 2016, staff held a Pre-Application Meeting with the applicant to discuss a proposal to subdivide the project site into five lots and construct four new single-family homes behind the existing home. Staff provided general feedback to the applicant regarding the density, lot size, setbacks, lot coverage, parking, circulation, landscaping, and design.

Staff received this application on February 21, 2017 and the original proposal has since been revised. The private street was extended to provide direct access to the rear lots (Lots 3 and

4) and improve circulation on the site. The homes, which were originally facing Muir Street, have been reoriented to face the private street to provide a better street presence and prevent front yards from facing the rear yards of other homes.

Public Outreach: Following receipt of application, a preliminary meeting with the applicant and neighbors was held on Thursday, April 6, 2017 at 1:00 p.m. in the Permit Center Conference Room 1C, First Floor at Hayward City Hall. The neighbors raised concerns regarding potential impacts to drainage and privacy. On December 21, 2017, a Notice of Public Hearing was placed in the newspaper and sent to all property owners and interested stakeholders within 300 feet of the subject property.

PROJECT DESCRIPTION

Existing Conditions: The 0.83-acre project site is currently developed with one single-family home. The existing home fronts Muir Street and is located in a manner that would allow for additional development in the large, unused rear yard, consistent with other development on Muir Street. The property is generally flat and surrounded by other one- and two-story single-family homes located to the north, south, east, and west. The subject property is zoned RS (Single-Family Residential) District and designated for LDR (Low Density Residential) land uses in the *Hayward 2040 General Plan*.

Proposed Project: The project proposes to subdivide the existing parcel into five lots, ranging from 5,014 to 6,035 square feet in size, to allow the construction of four new single-family homes behind the existing home. A private street with an approximately 5-foot wide sidewalk on one side and an access easement will provide vehicular and pedestrian access to the new homes from Muir Street. A new 5-foot wide landscape strip will provide a buffer between the private street and the adjacent property to the north. No parking will be allowed on either side of the private street.

Each of the new homes will be two stories, with maximum heights of 22 and 23 feet. The architecture incorporates articulation in the building form, front entry porches, balconies, varied materials (composition roof shingles, stucco, and stone veneer), and contrasting trim colors. the proposed garages are recessed to minimize their presence on the private street and Lots 3 and 4 include a three-car garage while Lots 2 and 5 include a two-car garage with two additional uncovered guest parking spaces. Of the six existing trees on-site, three will be preserved and three will be removed. Seven trees will be planted throughout the project site and as conditioned, will be upsized to mitigate the removal of the trees protected under the Tree Preservation Ordinance.

Homeowners Association: As part of the standard conditions of approval, the project is required to form a new Homeowners' Association (HOA) with required Covenants, Conditions and Restrictions (CC&R's) to ensure the future homeowners will be responsible for maintaining all the project components, including the private street, street lights, utilities, and other privately owned common areas and facilities on the site, including the bio-retention areas, landscaped areas, preservation and replacement of trees, and decorative paving. The CC&R's will also contain a standard condition that if the HOA fails to

maintain the common areas, private streets, lights and utilities, the City of Hayward will have the right to enter the subdivision and perform the necessary work to maintain these areas and special assessment and/or lien the properties for their proportionate share of the costs as described in Attachment II. Also, staff is recommending that the CCR's require that at least 75 percent of the units be owner-occupied, which will be enforced by the HOA.

Utilities and Street Improvements: The existing utilities in the project vicinity, including sanitary sewer, water, and storm drain systems have sufficient capacity to adequately serve the proposed development. On-site sewer and water utilities will be installed within the new public utility easement within the project site and connect to the existing utilities on Muir Street. As previously discussed, the project will be served by a new private street. While the existing roadway is sufficient to accommodate the additional traffic generated from the project, staff has added a condition of approval to require the reconstruction and repair of the existing road and sidewalks along the project frontage on Muir Street to meet current roadway standards.

Sustainability Features: While the project is not incorporating sustainable features in the new homes themselves, the project is required to meet CALGreen and 2016 California Energy Code standards for energy efficiency and will meet the City's requirements with respect to water efficient landscaping. Additionally, the project will comply with the City standards for recycling of waste during construction and operation. The project will also comply with the Municipal Regional Stormwater Permit requirements regarding stormwater runoff prevention and treatment.

POLICY CONTEXT AND CODE COMPLIANCE

Zoning Ordinance: The project site is zoned RS, Single-Family Residential District, which allows for the development of single-family homes and community services. The project meets all the development standards of the RS District related to lot size, lot width, lot depth, lot frontage, lot coverage, setbacks, building height, and parking. Additional detail regarding the project's compliance with the development standards of the RS District is provided in the table below.

Development Standard	HMC Requirement	Proposed Project
Min. Lot Size (Interior Lot)	5,000 sq. ft.	≥ 5,014 sq. ft.
Min. Lot Frontage	35 ft.	≥ 50 ft.
Min. Average Lot Width	50 ft.	≥ 50 ft.
Min. Average Lot Depth	80 ft.	≥ 94.33 ft.
Max. Lot Coverage	40%	≤ 30.8%
Min. Front Yard Setback	20 ft.	20 ft.
Min. Side Yard Setback	5 ft. or 10% of lot width (whichever is greater)	≥ 6 ft.
Min. Rear Yard Setback	20 ft.	≥ 21 ft. 10 in.
Max. Building Height	30 ft.	≤ 23 ft.

Single-family homes are required to provide a minimum of two parking spaces within an enclosed garage. A lot abutting a public or private street with no parking on either side of the street is required to provide two uncovered guest parking spaces in addition to a two-car garage or a three-car garage. Lots 2 and 5 provide two uncovered guest parking spaces in addition to a two-car garage. Lots 3 and 4 provide a three-car garage instead.

Vesting Tentative Map: Pursuant to Section 10-3.150 of the Hayward Municipal Code (HMC), the Planning Commission may conditionally approve a Vesting Tentative Tract Map application when all the following findings are met:

- The proposed subdivision is not in conflict with the General Plan and applicable specific plans and neighborhood plans;
- The proposed subdivision meets the requirements of the City Zoning Ordinance; and
- No approval of variances or other exceptions are required for the approval of the subdivision.

If the Vesting Tentative Map is approved, the applicant may submit a final map and improvement plans to the City for review. The City Engineer must determine that the improvement plans and final map are in substantial compliance with the approved Vesting Tentative Map prior to recommending approval of the Final Map for Tract 8397 to City Council. Upon City Council approval of the Final Map, the developer shall enter into a Subdivision Agreement and post bonds with the City prior to map recordation with the Alameda County Recorder's Office and commencing any construction activities. In accordance with HMC Section 10-3.246, approval of this vesting tentative tract map shall expire 36 months after the effective date of approval subject to statutory and discretionary extensions as allowed by the HMC and Subdivision Map Act. A copy of the Vesting Tentative Map is included as Attachment III.

Site Plan Review: The construction of the single -family homes are subject to the Site Plan Review findings contained in Section 10-1.3205 of the HMC to demonstrate the proposed homes are consistent with the development standards of the Single Family Residential zoning district. In particular, the following Site Plan Review findings are required for the project:

- The development is compatible with on-site and surrounding structures and uses and is an attractive addition to the City;
- The development takes into consideration physical and environmental constraints;
- The development complies with the intent of City development policies and regulations; and
- The development will be operated in a manner determined to be acceptable and compatible with surrounding development.

Staff has provided a more detailed analysis for the required Vesting Tentative Map and Site Plan Review findings in Attachment II.

Hayward 2040 General Plan: The project site is designated LDR, Low-Density Residential, which allows for a residential density range of 4.3 to 8.7 dwelling units per net acre, in the *Hayward 2040 General Plan*. Properties with the LDR land use designation are typically characterized by suburban development including single-family homes, second units, and other accessory structures. The project is consistent with the *Hayward 2040 General Plan* in that it is a single-family residential development with a density of approximately 7.8 dwelling units per net acre, which is within the allowable density range. The project is also consistent with the following applicable General Plan policies:

- H-3.1 Diversity of Housing Types: *The City shall implement land use policies that allow for a range of residential densities and housing types, prices, ownership, and size, including low-density single family uses, moderate-density townhomes, and higher-density apartments, condominiums, transit-oriented developments, live-work units, and units in mixed-use developments.*
- H-3.4 Residential Uses Close to Services: *The City shall encourage development of residential uses close to employment, recreational facilities, schools, neighborhood commercial areas, and transportation routes.*
- Land Use Policy LU-1.3 Growth and Infill Development: *The City shall direct local population and employment growth toward infill development sites within the city, especially the catalyst and opportunity sites identified in the Economic Development Strategic Plan.*

The project's consistency with the *Hayward 2040 General Plan* and its specific goals and policies is discussed in greater detail in the project findings (Attachment II).

Strategic Initiatives: This project supports several of the City's Strategic Initiatives, including Complete Communities and Complete Streets. The purpose of the Complete Communities strategy is to create and support services and amenities that provide inclusive and equitable access with the goal of becoming a thriving and promising place to live, work and play for all. The purpose of the Complete Streets Strategic Initiative is to build streets that are safe, comfortable, and convenient for travel for everyone, regardless of age or ability, including motorists, pedestrians, bicyclists, and public transportation riders. The project, as proposed, will create new housing opportunities that provide a mix of housing in the City and will require the construction of a new private street that will be designed to accommodate vehicles and pedestrians. The project supports the following Strategic Initiative goals and objectives that were established by the City Council:

Complete Communities

- Goal 1: Improve quality of life for residents, business owners, and community members in all Hayward neighborhoods.
- Objective 4: Create resilient and sustainable neighborhoods.
- Goal 2: Provide a mix of housing stock for all Hayward residents and community members, including the expansion of affordable housing opportunities and resources.
- Objective 2: Facilitate the development of diverse housing types that serve the needs of all populations.

Complete Streets

- Goal 1: Prioritize safety for all modes of travel.
- Objective 3: Ensure that roadway construction and retrofit programs and projects include complete streets elements.

STAFF ANALYSIS

As referenced above and pursuant to the required findings for Site Plan Review and Tentative Tract Map included in Attachment II, the project complies with the intent of City development policies and regulations, including the *Hayward 2040 General Plan*, Zoning Ordinance, and Subdivision Ordinance. The project also supports several of the City's Strategic Initiatives.

In addition, the project would be consistent with the developmental pattern of the existing neighborhood, which consists of single-family residential lots of various sizes, including many small lots similar in size to the proposed lots. The new homes would be compatible with the scale of other homes nearby. Overall, the homes are attractively designed and compatible with the existing character of the neighborhood. The building facades are articulated to provide visual interest from all sides of the homes, especially the front elevations, which incorporate recesses and projections through windows, front entry porches, second-story balconies, varied materials, and contrasting trim colors.

Furthermore, the project will operate in a manner compatible with surrounding development. Each new home provides guest parking spaces and the new private street will provide adequate circulation throughout the development. Staff has also included conditions of approval that will minimize any land use or environmental impacts of the project.

Based on the analysis described above, staff believes that the Planning Commission can make the required findings to approve Vesting Tentative Tract Map 8397 and Site Plan Review Application No. 201700900 per the conditions of approval and as reflected in the project plans (Attachment III).

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review in accordance with the California Environmental Quality Act (CEQA) Guidelines, Section 15332, Infill Development Projects, in that:

1. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations;
2. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
3. The project site has no value as habitat for endangered, rare or threatened species;
4. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and

5. The site can be adequately served by all required utilities and public services.

NEXT STEPS

Should the Planning Commission take action, a 10-day appeal period of that action would follow, which would expire on January 21, 2018 at 5 p.m.

If the project is approved and there is no appeal or City Council member call-up filed within the appeal period, the applicant may proceed with submitting a final map and improvement plans to the City for review. The City Engineer must find that the final map and improvement plans are in substantial compliance with the approved Vesting Tentative Tract Map and recommend to the City Council for approval and recordation with the Alameda County Recorder's Office. If the final map and improvement plans are approved and recorded, the applicant may then proceed with obtaining building permits.

Prepared by: Jay Lee, AICP, Associate Planner

Approved by:



Sara Buizer, AICP, Planning Manager



Stacey Bristow, Interim Development Services Director

**CITY OF HAYWARD PLANNING DIVISION
PLANNING COMMISSION
APPLICATION NO. 201700900
VESTING TENTATIVE TRACT MAP 8397 & SITE PLAN REVIEW
25000 MUIR STREET, APN 444-0051-116-00
DRAFT FINDINGS OF APPROVAL**

January 11, 2018

Proposed Vesting Tentative Tract Map 8397 and Site Plan Review for a five-lot subdivision and the construction of four new single-family homes at 25000 Muir Street (APN 444-0051-116-00). Application No. 201700900; Mohamed Genidy (Applicant) on behalf of Khoa Le (Owner).

VESTING TENTATIVE TRACT MAP FINDINGS

Pursuant to Section 10-3.150 of the Hayward Municipal Code (HMC), the Planning Commission may conditionally approve a Vesting Tentative Tract Map application when all the following findings are met:

A. The proposed subdivision is not in conflict with the General Plan and applicable specific plans and neighborhood plans;

The project is proposing a density of approximately 7.8 dwelling units per net acre, which is consistent with the *Hayward 2040 General Plan* land use designation of Low Density Residential (LDR), which allows for a density range of 4.3 to 8.7 dwelling units per acre. The LDR land use designation allows for the development of detached, single-family homes with anticipated future changes including additional residential development, building and landscaping improvements, and neighborhood enhancements that create more complete, walkable, and sustainable neighborhoods. The project is considered an in-fill development, which will increase the housing inventory for the City of Hayward and result in a more complete neighborhood. The project is also consistent with the following General Plan policies:

- H-3.1 Diversity of Housing Types: *The City shall implement land use policies that allow for a range of residential densities and housing types, prices, ownership, and size, including low-density single family uses, moderate-density townhomes, and higher-density apartments, condominiums, transit-oriented developments, live-work units, and units in mixed-use developments.*

The project will subdivide an existing parcel into five lots and allow for four new single-family homes, which provide additional single-family housing opportunities in the City.

- H-3.4 Residential Uses Close to Services: *The City shall encourage development of residential uses close to employment, recreational facilities, schools, neighborhood commercial areas, and transportation routes.*

The project is located in an established neighborhood near Downtown Hayward, which is the City's urban core, and Mission Boulevard, which is a major commercial corridor. Furthermore, recreational facilities such as the Eden Greenway and Hayward Community Gardens and educational facilities such as John Muir Elementary School are nearby.

- Land Use Policy LU-1.3 Growth and Infill Development: *The City shall direct local population and employment growth toward infill development sites within the city, especially the catalyst and opportunity sites identified in the Economic Development Strategic Plan.*

The project is surrounded by other single-family homes and is considered an in-fill project, which is appropriate for new housing development.

In addition, the project is not located within any specific plan area but is located within the Jackson Triangle Neighborhood Plan area and is consistent with those relevant policies. Therefore, the proposed subdivision is not in conflict with the General Plan and applicable specific plans and neighborhood plans.

B. The proposed subdivision meets the requirements of the City Zoning Ordinance; and

The proposed subdivision meets all the development standards of the RS (Single-Family Residential) District related to lot size, lot width, lot depth, and lot frontage. The subdivision will also allow for the construction of four new single-family residences, which is a permitted land use in the RS District.

C. No approval of variances or other exceptions are required for the approval of the subdivision.

As previously discussed, the proposed subdivision will meet the requirements of the Zoning Ordinance, including the development standards of the RS District and other applicable sections. The project will also meet the requirements of the Subdivision Ordinance. Therefore, the project does not require a variance or any other exceptions from the requirements of the HMC.

SITE PLAN REVIEW FINDINGS

Pursuant to Section 10-1.3025 of the HMC, the Planning Commission may conditionally approve a Site Plan Review application when all the following findings are met:

A. The development is compatible with on-site and surrounding structures and uses and is an attractive addition to the City.

The new single-family residences would be compatible with the existing single-family dwelling on-site and surrounding uses. The homes will be an attractive addition to the City and be designed to be consistent with the developmental pattern of the existing neighborhood, which consists of single-family residential lots of various sizes, including many small lots, which are similar in size to the lots proposed with subdivision.

The new homes would be similar in size and scale to other homes nearby and would be well-articulated to provide visual interest from all sides of the site, especially the front elevations, which incorporate recesses and projections through windows, front entry porches, and second-story balconies. The proposed design, materials, and color palette of the new homes are also compatible with the character of other homes in the neighborhood and will feature composition shingle roofs and a stucco exterior with stone veneer accents. Overall, the homes are attractively designed and compatible with the existing neighborhood character.

B. The development takes into consideration physical and environmental constraints.

The project takes into consideration physical and environmental constraints in that the scale and character of the new homes are harmonious with the surrounding neighborhood, which primarily consists of small single-family residential lots containing two-story homes. The architectural designs of the new two-story homes are compatible with the design of the existing homes nearby. Each of the new lots will contain between 5,000 and 6,000 square feet and will be consistent with the lot sizes of other parcels in the neighborhood. In addition, the project is an in-fill development with minimal impact on the existing development pattern and will not require the demolition of any structures. A new private street will provide access to the new homes to allow for safe and efficient vehicular circulation.

C. The development complies with the intent of City development policies and regulations.

As previously discussed, the project is consistent with the LDR, Low Density Residential land use designation in the *Hayward 2040 General Plan*. The LDR land use designation is primarily intended for detached single-family homes and the proposed density is within the allowable density range. The project is also consistent with the goals and policies of the *Hayward 2040 General Plan*, which encourage a diverse housing inventory and in-fill development. Furthermore, the project meets all the applicable regulations of the Zoning Ordinance, including the development standards of the RS District including setbacks, lot coverage, building height, and parking. Therefore, the project complies with the intent of City development policies and regulations.

D. The development will be operated in a manner determined to be acceptable and compatible with surrounding development.

The project will operate in a manner determined to be acceptable and compatible with surrounding development in that the project will comply with all applicable zoning regulations, building codes, and other regulations in the HMC. The proposed site improvements will also have to meet all City standards and details to the satisfaction of the Director of Public Works as shown on the final map and improvement plans. The project will also be subject to various conditions of approval intended to protect the surrounding neighborhood from any potentially harmful impacts. In addition, the project includes guest parking spaces and a private

street, which will minimize potential parking and traffic impacts on Muir Street after construction of the homes.

- E. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15332, Infill Development Projects. As conditioned, the project will have no significant impact on the environment, cumulative or otherwise.

**CITY OF HAYWARD PLANNING DIVISION
PLANNING COMMISSION
APPLICATION NO. 201700900
VESTING TENTATIVE TRACT MAP 8397 & SITE PLAN REVIEW
25000 MUIR STREET, APN 444-0051-116-00
DRAFT CONDITIONS OF APPROVAL**

January 11, 2018

Proposed Vesting Tentative Tract Map 8397 and Site Plan Review for a five-lot subdivision and the construction of four new single-family homes at 25000 Muir Street (APN 444-0051-116-00). Application No. 201700900; Mohamed Genidy (Applicant) on behalf of Khoa Le (Owner).

GENERAL

1. The permittee shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
2. Vesting Tentative Tract Map (VTTM) 8397 and the Site Plan Review application are approved subject to the vesting tentative tract map and project plans date stamped November 2, 2017, except as modified by the conditions listed below.
3. In accordance with Hayward Municipal Code (HMC) Section 10-3.246, approval of this VTTM and Site Plan Review application shall expire 36 months after the effective date of approval subject to statutory and discretionary extensions as allowed by the HMC and Subdivision Map Act.
4. Any proposal for alterations to the conditionally approved VTTM and Site Plan Review application that does not require a variance to any zoning ordinance standard shall be subject to approval by the Development Services Director or his/her designee, prior to implementation. Alterations requiring a variance shall be subject to review and approval by the Planning Commission.
5. All permit charges accrued in the processing of VTTM 8280 and the Site Plan Review application shall be paid in full prior to consideration of a request for approval extensions and/or submittal of building permits for the development.
6. Applicant shall apply for all necessary building permits and/or all other related permits from the Building Division. All structures shall be constructed and installed in accordance with the California Building Code, Uniform Mechanical and Plumbing Code, National Electrical Code, and the California Fire Code as adopted by the City of Hayward.

7. If determined to be necessary for the protection of the public peace, safety and general welfare, the City of Hayward may impose additional conditions or restrictions on this permit. Violations of any approved land use conditions or requirements will result in further enforcement action by the Code Enforcement Division. Enforcement includes, but is not limited to, fines, fees/penalties, special assessment, liens, or any other legal remedy required to achieve compliance including the City of Hayward instituting a revocation hearing before the Planning Commission.

SUBDIVISION IMPROVEMENT PLANS AND FINAL MAP

8. The Developer shall provide for the City's review and approval the Final Map prepared substantially in compliance with the Conditionally Approved Tentative map, Hayward Municipal Code and the State Subdivision Map Act.
9. The Final Map shall clearly show exterior boundaries and dimensions of each proposed lot, public street right-of-way and public utilities easement dedications; easements to be vacated, retained and created; and other details required by the State Subdivision Map Act and Hayward Municipal Code Section 10-3.
10. The Developer shall provide all map calculations, copies of grant deeds, property ownership records, title report(s) and geo-technical study report(s).
11. The Final Map shall include a 28-foot wide public street right-of-way dedication across the Muir Street property frontage in compliance with the City's adopted plan and generally as shown on the Tentative Map.
12. The Final Map shall show all existing, vacated and newly created easements and rights-of-way.
13. Documents defining ownership rights, responsibilities and financial arrangements for needed repairs, maintenance, construction and reconstruction of common use area and common use improvements shall be submitted for the City Engineer's review and approval concurrently with the Final Map submittal.
14. The common use area improvements shall include but are not limited to the paved vehicular driveway to Muir Street, accessibility compliant walkway to each lot; lighting and landscape improvements; sanitary and storm sewer mains and laterals and storm water pollution prevention measures etc.
15. Before requesting the City Council approval of the Final Map, all improvements required by the condition of the Tentative Map approval shall be complete or the Developer must execute an improvement agreement with the City and post improvement securities in the amounts and format approved by the City Engineer.
16. The Final Map shall be filed in the County's public records after the City's approval concurrently with the ownership and maintenance documents for common use

areas and improvements as approved by the City.

17. The Final Map shall show that vehicular/driveway connections to the proposed private street will be made via a driveway cut.
18. The private street shall include appropriate private ingress-egress easements to allow for turnaround movements for passenger vehicles.
19. The PVC Sanitary Sewer within the proposed private street shall be maintained by the homeowner's association (HOA).
20. Prior to the sale of any parcel, or prior to the acceptance of site improvements, whichever occurs first, Conditions, Covenants and Restrictions (CC&R's), creating an HOA for the property, shall be reviewed and approved by the Planning Director and City Attorney and recorded. The CC&R's shall describe how the stormwater BMPs associated with privately owned improvements and landscaping shall be maintained by the association. The CC&Rs shall include the following provisions:
 - a. The CC&R's shall state that the City of Hayward has the right to abate public nuisance conditions in the common area if the association or corporation fails to do so, and to assess the cost to the association, corporation or individual unit owners. In order to accomplish this, the CC&Rs shall contain the following typical statements:
 - i. In the event the Board fails to maintain the exterior portions of the common area so that owners, lessees, and their guest suffer, or will suffer, substantial diminution in the enjoyment, use or property value of the project, thereby impairing the health, safety, and welfare of the residents in the project, the City of Hayward, by and through its duly authorized officers and employees, shall have the right to enter upon the real property described in Exhibit "A" and to commence and complete such work as is necessary to maintain said exterior portions of the common area. The City shall enter and repair only if, after giving the Board written notice of the Board's failure to maintain the premises, the Board does not commence correction of such conditions in no more than 30 days from delivery of the notice and proceed diligently to completion. The Board agrees to pay all expenses incurred by the City of Hayward within 30 days of written demand. Upon failure by the Board to pay within said 30 days, the City of Hayward shall have the right to impose a lien for the proportionate share of such costs against each condominium or community apartment in the project.
 - ii. It is understood that by the provisions hereof, the City of Hayward is not required to take any affirmative action, and any action undertaken by the City of Hayward shall be that which, in its sole discretion, it deems reasonable to protect the public health, safety, and general

welfare, and to enforce it and the regulations and ordinances and other laws.

- iii. It is understood that action or inaction by the City of Hayward, under the provisions hereof, shall not constitute a waiver or relinquishment of any of its rights to seek redress for the violation of any of the provisions of these restrictions or any of the rules, regulations, and ordinances of the City, or of other laws by way of a suit in law or equity in a court of competent jurisdiction or by other action.
 - iv. It is further understood that the remedies available to the City by the provision of this section or by reason of any other provisions of law shall be cumulative and not exclusive, and the maintenance of any particular remedy shall not be a bar to the maintenance of any other remedy. In this connection, it is understood and agreed that the failure by the Board to maintain the exterior portion of the common area shall be deemed to be a public nuisance, and the City of Hayward shall have the right to abate said condition, assess the costs thereof and cause the collection of said assessments to be made on the tax roll in the manner provided by Chapter 4, Article 1, of the Hayward Municipal Code or any other applicable law.
 - v. The City Council of the City of Hayward may, at any time, relinquish its rights and interest in the project as herein set forth by appropriate resolution. Any such relinquishment by the City Council shall be effective on the date that the resolution is adopted and a copy thereof is placed in the United States mail, postage prepaid, addressed to the Board. The Board shall execute and record a declaration reflecting such relinquishment within 10 days of receipt of a copy of the resolution.
- b. Each owner shall automatically become a member of the association(s) and shall be subject to a proportionate share of maintenance expenses.
 - c. A reserve fund shall be maintained to cover the costs of improvements and landscaping to be maintained by the Association(s).
 - d. The HOA shall own and maintain the private access roads and on-site storm drain systems in the development, excluding those located within the public right-of-way.
 - e. A provision that the building exteriors and fences shall be maintained free of graffiti. The owner's representative shall inspect the premises on a weekly basis and any graffiti shall be removed within 48 hours of inspection or within 48 hours of notification by the City.
 - f. The HOA shall maintain the common area irrigation system and maintain the common area landscaping in a healthy, weed-free condition at all times. The HOA representative(s) shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over 30% die-back) shall be

replaced within fifteen days of notification to the homeowner. Plants in the common areas shall be replaced within two weeks of the inspection. Trees shall not be severely pruned, topped or pollarded. Any trees that are pruned in this manner shall be replaced with a tree species selected and size determined by the City Landscape Architect, within the timeframe established by the City and pursuant to the Hayward Municipal Code.

- g. The HOA shall conduct at least semi-annual inspections to confirm that all residents are using their garages for parking their cars and not for storage. Residents shall make garages available for such inspections, as appropriate. An automatic garage door opening mechanism shall be provided for all garage doors.
- h. Individual homeowners shall maintain in good repair the exterior elevations of their dwelling. The CC&Rs shall include provisions as to a reasonable time period that a unit shall be repainted, the limitations of work (modifications) allowed on the exterior of the building, and the right of the home owners association to have necessary work done and to place a lien upon the property if maintenance and repair of the unit is not executed within a specified time frame. The premises shall be kept clean and free of debris at all times. Color change selections shall be compatible with the existing setting.
- i. The HOA shall maintain all fencing, parking surfaces, common landscaping, lighting, drainage facilities, project signs, exterior building elevations, etc. The CC&Rs shall include provisions as to a reasonable time period that the building shall be repainted, the limitations of work (modifications) allowed on the exterior of the buildings, and its power to review changes proposed on a building exterior and its color scheme, and the right of the home owners association to have necessary work done and to place a lien upon the property if maintenance and repair of the unit is not executed within a specified time frame. The premises shall be kept clean.
- j. Any future major modification to the approved site plan shall require review and approval by the City.
- k. On-site streetlights and pedestrian lighting shall be owned and maintained by the HOA and shall have a decorative design approved by the Planning Director and the City Engineer.
- l. Street sweeping of the private street and private parking stalls shall be conducted at least once a month.
- m. The association shall ensure that no less than 75 percent of the units shall be owner-occupied. The CC&Rs shall further provide that the leasing of units as a regular practice for business, speculative investment or other similar purpose is not permitted. However, to address special situations and avoid unusual hardship or special circumstances, such as a loss of job, job transfer, military transfer, change of school or illness or injury that, according to a doctor, prevents the owner from being employed, the CC&Rs may authorize

the governing body to grant its consent, which consent shall not be unreasonably withheld, to a unit owner who wishes to lease or otherwise assign occupancy rights to a specified lessee for a specified period.

PRIOR TO ISSUANCE OF BUILDING PERMITS

21. The lot configuration on the architectural plans shall match the final map of the building permit plans to show that the private street will extend all the way to Lots 3 and 4.
22. The building colors and materials shown on the building permit plans shall match those shown on the color/material exhibit and renderings date stamped December 13, 2017. Any revision to the approved colors and materials shall be reviewed and approved by the Planning Division prior to the issuance of a building permit.
23. Prior to final inspection, all pertinent conditions of approval and all other improvements shall be completed to the satisfaction of the Planning Director.
24. A copy of these conditions of approval shall be included on a full-size sheet in the building permit plan set.
25. Failure to comply with any of the conditions set forth in this approval, or as subsequently amended in writing by the City, may result in failure to obtain a building final and/or a Certificate of Occupancy until full compliance is reached. The City's requirement for full compliance may require minor corrections and/ or complete demolition of a non-compliant improvement regardless of costs incurred where the project does not comply with design requirements and approvals that the applicant agreed to when permits were pulled to construct the project.

Landscape

26. Park Dedication In-Lieu Fees shall be required for all new dwelling units. Fees shall be those in effect at the time of issuance of the building permit.
27. Detailed landscape and irrigation plans in full compliance with the City's Bay-Friendly Water Efficient Landscape Ordinance (California Building Code Title 23) prepared by a licensed landscape architect shall be submitted for review and approval. The plans shall be wet-stamped and wet-signed and shall include water budget calculations. Some of the key compliance requirements include, but not limited to, plumbing system supporting "laundry to landscape," minimum one fifty-gallon lidded rainwater harvesting barrel, no lawn area less than ten feet by ten feet unless subsurface irrigation on a separate valve is used, erosion control material on slopes equal or steeper than three to one (3:1), and installation of rain garden and rainwater retention within the property.
28. Prior to the approval of improvement plans or issuance of the first building permit, detailed landscape and irrigation plans shall be reviewed and approved by the City.

Copies of the approved and signed improvement plans shall be submitted as a part of the building permit submittal. The plans shall be prepared by a licensed landscape architect on an accurately surveyed base plan. The plans shall comply with the City's latest water efficient landscape ordinance (California Building Code Title 23). The plans shall also comply with other relevant sections in Municipal Codes. Dripline of the existing trees to be saved shall be shown on the plan.

29. Mylar of the approved landscape and irrigation improvement plans shall be submitted to the Engineering Department. Mylar shall be wet-signed and shall be provided with a bar scale. The size of Mylar shall be twenty-two (22) inches by thirty-four (34) inches without an exception. A signing block shall be provided in the low right side on each sheet of Mylar. The signing block shall contain a signature line and a date line for City of Hayward, Landscape Architect. Upon completion of installation, As-built/Record Mylar shall be submitted to the Engineering Department by the developer.
30. Tree preservation bond in the amount that is equal to the approved appraised value of existing trees shall be submitted to the City prior to commencement of any work at this property.
31. Existing trees shall be protected in accordance with Tree Preservation Ordinance. Any damaged existing trees during construction shall be replaced to the approved appraised value. The landscaping plan shall be revised to upsize the proposed landscaping materials to mitigate the removal of the tree on-site. The revised landscape plan shall be reviewed and approved by the City's Landscape Architect prior to the issuance of any building permits.
32. Tree protection measures shall be included in the landscape plan.
33. Base information for landscape plans shall include all proposed underground utilities lateral lines, water meter, and sewer cleanout locations.
34. Fencing proposed shall be shown on the landscape plans to include location, layout deminsions and details. Fences shall be offset from building corners.
35. Minimum dimension for planting areas shall be five feet in all directions measured from back of all paved areas and structure to back of all paved areas and structure including property fence and building without exception.
36. Paving shall be reduced at the building entries at Lots 3 and 4, and planting areas shall be added between the entry paving and driveways.
37. The minimum required static water pressure (psi) shall be identified on the plans for each irrigation point of connection.
38. Show the location of the irrigation mainline.

39. An automatic irrigation controller shall be shown for each lot.

Development Review Services Engineering / Public Works Engineering

General

40. All lots shall be served with underground utilities for electrical, gas and telecommunication services, public sewer collection, public water supply and drainage collection and discharge to an existing public drainage system.
41. Muir Street right-of-way across the property frontage shall be improved with concrete curb, gutter and contiguous sidewalk and 18 feet wide roadway to the street center line with Traffic Index 5 capability and LED street light on a metal pole. All improvements shall be as per the City Standard Details SD-102 for a Residential Public Street with 56 feet right-of-way. The City Standard Details are available online at: https://www.hayward-ca.gov/sites/default/files/documents/ET_STANDARD%20DETAILS_V042117.pdf.
42. An encroachment permit shall be secured before starting any construction or traffic disrupting activity within the City street right-of-way. The permit application may be obtained and submitted at the Hayward City Hall Permit Center. The permit application submittal package should include plans detailing the work in the street right-of-way, traffic control, work schedule and fees.
43. Landscape improvements in the 5-foot wide Landscape Strip along the other side of the on-site Private Access Way shall include programmable irrigation system, ground cover, shrubs and small trees.
44. Permits for all on-site and public street improvements shall be secured before requesting any building permit.
45. Combustible material shall not be brought on-site until all-weather access for emergency service vehicles and fire protection required water supply is available.
46. All on-site and public street improvements shall be complete and approved by the City Engineer's Office before any building occupancy permit is requested.

Grading

47. A grading permit shall be secured before starting any grading operation. Grading shall be per plans prepared by a State licensed engineer and approved by the City Engineer and the project geotechnical engineer. Grading plans shall be submitted together with the related geotechnical and engineering reports and plans for soil erosion/sediment control.
48. A Construction Noise Management Plan shall be prepared and implemented. Such plan must be approved by the City Engineer prior to issuance of grading permits and shall contain, at minimum, a listing of hours of construction operations (which shall

be in accordance with the City's construction hours), use of mufflers on construction equipment, limitation of on-site speed limits, identification of haul routes to minimize travel through residential areas and identification of noise monitors. Specific noise management measures shall be included in appropriate contractor specifications.

49. Prior to the start of any construction or grading activity, including hauling of material from the project site, a mitigation plan approved by the Bay Area Air Quality Management District (BAAQMD) shall be required. The plan must be implemented throughout the duration of construction or grading activity. The dust mitigation plan must specify dust mitigation practices which are sufficient to ensure that no equipment or operation emits dust that is visible and crossing the property line.
50. Any land disturbing activity shall comply with plans approved by the City Engineer. The erosion and sediment control plans must be prepared by a licensed engineer, comply with the local and regional regulations and must include one or more provisions addressing each of the following topics:
 - a. Track-out prevention and control measures.
 - b. Control for traffic traveling on project site unpaved driveways, parking lots, and staging areas.
 - c. Control for earth moving activities.
 - d. Post construction stabilization of disturbed areas.
 - e. Frequency of reporting.
51. Grading plans shall include details for existing and finished lot grades, retaining walls, storm water pollution prevention measures and slope protection measures.

Drainage

52. A detailed grading and drainage plan with supporting calculations and a completed Drainage Review Checklist shall be reviewed and approved by the City Engineer.
53. The storm drain facilities shall be designed to comply with the Alameda Countywide Clean Water Program including the established provision C.3. Any natural or mechanical storm drain filtration and treatment systems shall be designed as part of the private storm drain systems.
54. The latest edition of the Alameda County Flood Control and Water Conservation District's Hydrology and Hydraulics Criteria Summary shall be used to design the storm drain system.
55. The on-site storm drains and storm water treatment systems shall be owned and maintained by the owners collectively.

56. The project shall not block runoff from, or augment runoff to, adjacent properties. The drainage area map developed for the hydrology design shall clearly indicate all of area tributary to the project site. The developer is required to mitigate augmented runoffs with on-site improvements.
57. Drainage discharge from the project site shall not exceed the pre-development flow rate during any ten-year frequency and two-hour duration storm. Any increase in drainage flow rate will require extension of an 18" diameter storm drain pipe in Muir Street to the nearest public storm drain.
58. Drainage discharge shall not increase soil erosion potential.
59. The project shall not block runoff from, or augment runoff to, adjacent properties. The drainage area map developed for the project hydrology design shall clearly indicate all areas tributary to the project area. The developer is required to mitigate unavoidable augmented runoffs with offsite and/or on-site improvements.
60. All storm drain inlets must be labeled "No Dumping – Drains to Bay" using City approved methods.

Storm Water Quality Requirements

61. The following materials related to the Storm Water Pollution Prevention and treatment facility requirements shall be submitted with the grading permit application:
 - a. The owner shall complete the Storm Water Pollution Prevention Program required improvements on-site as per the plans approved by the City Engineer.
 - b. The property owner shall enter into the City's standard "Stormwater Treatment Measures Maintenance Agreement" (as prepared by the City). The Maintenance Agreement shall be recorded with the Alameda County Recorder's Office to ensure that the maintenance responsibility is bound to the property in perpetuity.
 - c. The plans shall identify Best Management Practices (BMPs) appropriate to the uses conducted on-site to limit the entry of pollutants into storm water runoff to the maximum extent practicable.
 - d. The proposed BMPs and storm water pollution prevention measures shall be designed to comply with the hydraulic sizing criteria listed in Provision C.3 of the Alameda County Clean Water Program (ACCWP) NPDES permit (page 30). In addition, the California Stormwater Quality Association's Stormwater best Management Practice Handbook New Development and Redevelopment, Subsection 5.5 on pages 5-12 has a section titled "BMP Design Criteria for Flow and Volume". These materials are available on the internet at www.cabmphandbooks.com

- e. The following documents shall be completed and submitted with the improvement and/or grading plans:
 - i. Hydromodification Management Worksheet;
 - ii. Development and Building Application Information Impervious Surface Form;
 - iii. Updated Stormwater Requirements Checklist;
 - iv. Numeric Sizing Criteria used for stormwater treatment (Calculations).
- 62. The Developer shall submit conceptual a Storm Water Management Control Plan with the following information:
 - a. Show Drainage Management Area (DMA) boundaries on the plan.
 - b. Provide Stormwater Treatment Summary Table showing total drainage management area, size of bio-retention, pervious/impervious area, treatment area required/provided, ponding depth, treatment type and sizing method used.
 - c. Show drainage conveyance/piping system into the on-site bio-retention area and out of it to an existing drainage system.
- 63. When required, the Developer shall submit to the City Engineer an Information Request Form for Stormwater Treatment Maintenance Agreement and execute the agreement with the City of Hayward. The Maintenance Agreement will be recorded in the Alameda County Recorder's Office assuring future maintenance and upkeep of the stormwater pollution prevention measures implemented in the development project.
- 64. The Developer shall be responsible for ensuring that all contractors are aware of all storm water quality measures and implement such measures. Failure to comply with the approved construction BMPs will result in the issuance of correction notices, citations or a project stop order.

Utilities and Environmental Services

- 65. The building permit plans shall indicate the location on the private street each residence will place garbage, recycling, and organics carts for collection.
- 66. At the time of building permit submittal, the permittee shall submit the completed and signed "Applicant" section of the attached Construction and Demolition Debris Recycling Statement. The "Contractor" section shall be completed upon completion of the project and submitted to the Utilities and Environmental Services Department, along with all weigh tags, for final building inspection approval.
- 67. The development's proposed water main and valves shall be public, owned and maintained by the City. If the water mains are located in a private roadway, either

the entire roadway shall be a public utility easement or a minimum 10' wide easement shall be granted to the City.

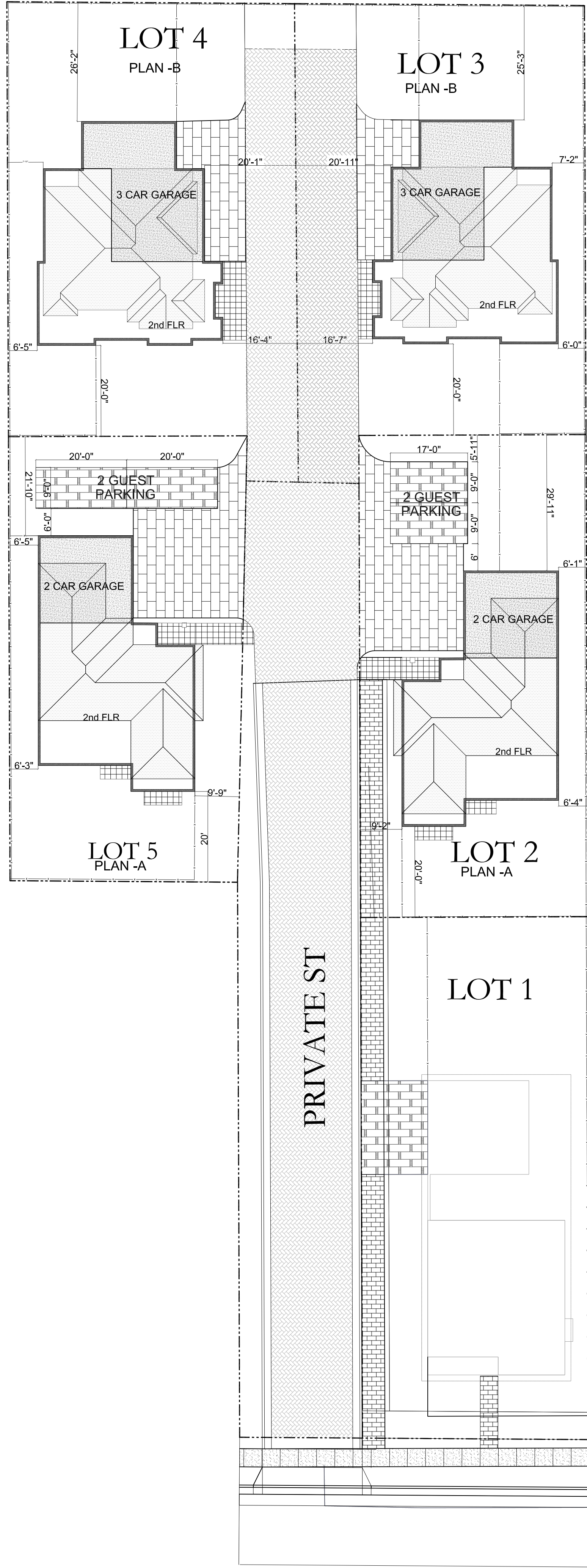
68. All public water mains and appurtenances shall be constructed in accordance to the City's "Specifications for the Construction of Water Mains and Fire Hydrants," latest revision at the time of permit approval (available on the City's website at <http://user.govoutreach.com/hayward/faq.php?cid=11188>).
69. All water mains shall be looped. Dead end water mains will not be allowed. Water mains shall be connected to other water mains, through easements if necessary.
70. All connections to existing water mains shall be performed by City Water Distribution Personnel at the applicant's/developer's expense.
71. All water services from existing water mains shall be installed by City Water Distribution Personnel at the applicant's/developer's expense. The developer may only construct new services in conjunction with their construction of new water mains.
72. City records that the parcel has one 5/8" domestic water meter that serves the existing house. If the water service and/or meter will not be used for this development, it shall be abandoned by City Water Distribution personnel at the applicant/developer's expense.
73. Each single-family residence shall have an individual domestic water meter. Based on the water fixtures shown on the plans, each unit will require a minimum 3/4" water meter. Facilities fees for residential meters are calculated based on the domestic water demand for the home (excluding fire service demand). A larger water meter may be installed if the service is combined with a private fire service. The developer is required to pay water facilities fees and installation charges for connections to water mains and work performed by City forces.
74. Each structure shall have its own fire service, sized per the requirements of the Fire Department. Fire services shall have an above ground Double Check Valve Assembly, per City Standards SD-201 and SD-204.
75. The development could use combined residential domestic and fire services for each residence. Residential combined domestic and fire services are allowed, per City Standard SD-216. The minimum size for a residential fire service connection is 1 inch (combined or not) and the maximum size for combined services is 2 inches. If the calculated fire demand exceeds 160 GPM, a separate fire service will be required. Note that, per CBC 2010 R313, flow-through or multipurpose systems may not require a backflow device (SD-216 is attached).

76. It is anticipated that one or more separate irrigation water meters and services shall be installed for development landscaping. The applicant/developer shall install an above ground Reduced Pressure Backflow Prevention Assembly (RPBA) on each irrigation water meter, per SD-202. Backflow prevention assemblies shall be at least the size of the water meter or the water supply line on the property side of the meter, whichever is larger.
77. All domestic and irrigation water meters shall be radio-read type.
78. Water meters and services shall be located a minimum of two feet from top of driveway flare as per SD-213 thru SD-218.
79. Water mains and services, including the meters, shall be located at least 10 feet horizontally from and one-foot vertically above any parallel pipeline conveying untreated sewage (including sanitary sewer laterals), and at least four feet from and on foot vertically above any parallel pipeline conveying storm drainage, per the current California Waterworks Standards, Title 22, Chapter 16, Section 64572. The minimum horizontal separation distances can be reduced by using higher grade (i.e., pressure) piping materials.

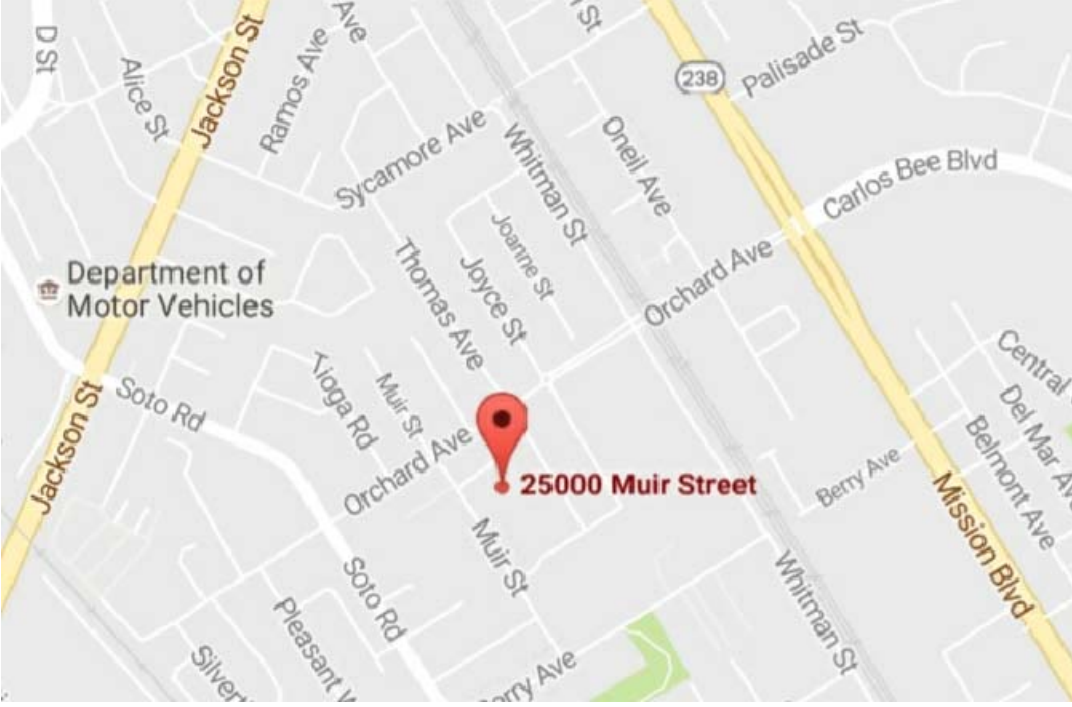
Fire Department

80. Residential buildings shall be required to install a fire sprinkler system in accordance with NFPA 13D.
81. Maximum 80 PSI water pressure design criteria shall be used when water data indicates a higher static pressure. Residual pressure shall be adjusted accordingly.
82. Underground fire service line serving NFPA 13D sprinkler system shall be installed in accordance with the Hayward Public Work Department SD-216. Water meter shall be a minimum one-inch in diameter.
83. An audible alarm bell (device) shall be installed on the fire sprinkler system riser.
84. An interior audible alarm device shall be installed within the dwelling in a location so as to be heard throughout the home. The device shall activate upon any fire sprinkler system waterflow activity.
85. All bedrooms and hallway areas shall be equipped with smoke detectors, hard-wired with battery backup.
86. Carbon monoxide detectors shall be placed near the sleeping area on a wall about 5 feet above the floor. The detector may be placed on the ceiling. Each floor shall have a separate detector.

87. A minimum 4" self-illuminated address shall be installed on the front of the dwelling in a location so as to be visible from the street. Otherwise, a minimum 6" address shall be installed on a contrasting background and shall be in a location approved by the Fire Department.
88. Design of the public streets and private streets and courts shall meet City of Hayward Fire Department Standards.
89. All public and private streets and private courts shall be designed with an all-weather surface pavement.
90. Parking of vehicles is allowed one-side parking on 30-foot-wide road. No parking is allowed on 24-foot-wide road. Where there is no on-street parking, fire lane signage shall be installed in locations required by the Hayward Fire Department. "No Parking" sign shall meet the City of Hayward Fire Department fire lane requirements.
91. All public streets, private streets and private courts shall be designed and engineered to withstand 75,000 lbs. gross vehicle weight of fire apparatus. Such standard is also applicable to pavers or decorative concrete.
92. Spacing and locations of fire hydrants shall be subject to review and approval by the Hayward Fire Department. The type of fire hydrant shall be Modified Steamer Hydrant (Clow Valve Co. Model LB 614 with one 2-1/2" outlet and one 4-1/2" outlet) in single-family residential area, capable of flowing 1,500 gallons per minute. The design and layout of the hydrants shall be reviewed and approved by the Fire Department.
93. Blue reflective pavement markers shall be installed at fire hydrant locations. If fire hydrants are located to be subjected to vehicle impacts as determined by the Hayward Fire Department, crash posts shall be installed around the fire hydrant(s).
94. The water/fire flow test data information shall be on the building permit plans, including static pressure, residual pressure, pitot pressure, test flow, calculated available water flow at 20 PSI and test date. This information may be requested from the Hayward Public Works Department. The minimum fire flow of 1500 GPM shall be provided onsite.



VILLAS OF MUIR STREET
25000 MUIR ST.
HAYWARD CA.



PROJECT DATA

APN#	
PARCEL SIZE	0.78 ACRES
EXISTING USE	1 SFR
PROPOSE DENSITY	6 UNITS/ACRE
ZONING	RS
GENERAL PLANS	LDR

LOTS

PLAN	LOT #	NET SIZE	1ST FLR.	2ND FLR.	TOTAL LIVING	GARAGE	COVERED PORCH	LOT COVERAGE
EXISTING	LOT-1	5,383 SF	965		965	460		
PLAN -A	LOT-2	5,290 SF	1,060	1,045	2,105	470	15	1,545 29.2%
PLAN -B	LOT-3	6,019 SF	1,027	1,096	2,123	635	18	1,680 27.7%
PLAN -B	LOT-4	6,035 SF	1,027	1,096	2,123	635	18	1,680 27.8%
PLAN -A	LOT-5	5,014 SF	1,060	1,045	2,105	470	15	1,545 30.8%
	PRIVATE STREET	6,367 SF						
	ACCESS EASEMENTS	0 SF						
	TOTAL LOT AREA	34,108 SF						

OWNER/DEVELOPER KHOA LE 1ST DESIGN SALE INC. 1694 TULLY RD. # 50 SAN JOSE, CA 95122 KHOA LE T. 408.595.9639 KHOA.LE@AKIMAX.NET PRINCIPAL ENGINEER GPM ENGINEERS 2051 JUNCTION AVE, #235 SAN JOSE, CA 95131 T. 650.331.7264 MOHAMED GENIDY, PhD, PE T. 510.377.7866 mgenidy@gpmengineers.com	DESIGN FAHED HABAYEB ,ASSOC. AIA DESIGN & PLANNING 686 STOCKTON AVE. SAN JOSE, CA 95126 FAHED HABAYEB T. 408.483.0302 habayeb3@aol.com SURVEY THE BRONSON COMPANY 6206 EPPS DR. WINTON, CA. 95388 T.209.606.7340 KEVIN BRONSON T. 209.606.7340 kevin@thebronsonco.com
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DRAWING INDEX

CS	NEW SITE PLAN, COVER SHEET & PROJECT DATA
A1-A	LOTS 2 & 5 FLOOR PLANS
A2-A	LOTS 2 & 5 ELEVATIONS
A1-B	LOTS 3 & 4 FLOOR PLANS
A2-B	LOTS 3 & 4 ELEVATIONS
S1	SURVEY PLAN
C1	CIVIL COVER SHEET
C2	SITE LAYOUT
C3	PRELIMINARY GRADING AND DRAINAGE PLAN
C4	PRELIMINARY UTILITY PLAN
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CBBP	CLEAN BAY BLUE PRINT
L1	CONCEPTUAL LANDSCAPE PLAN
L2	IRRIGATION PLAN
L3	HYDRO ZONE PLAN

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Assoc. AIA

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25000 MUIR ST.
HAYWARD CA.

NO.	DATE	ISSUE
FEB. 15	2017	
MAR. 27	2017	
MAY. 15	2017	
AUG. 18	2017	
OCT. 30	2017	

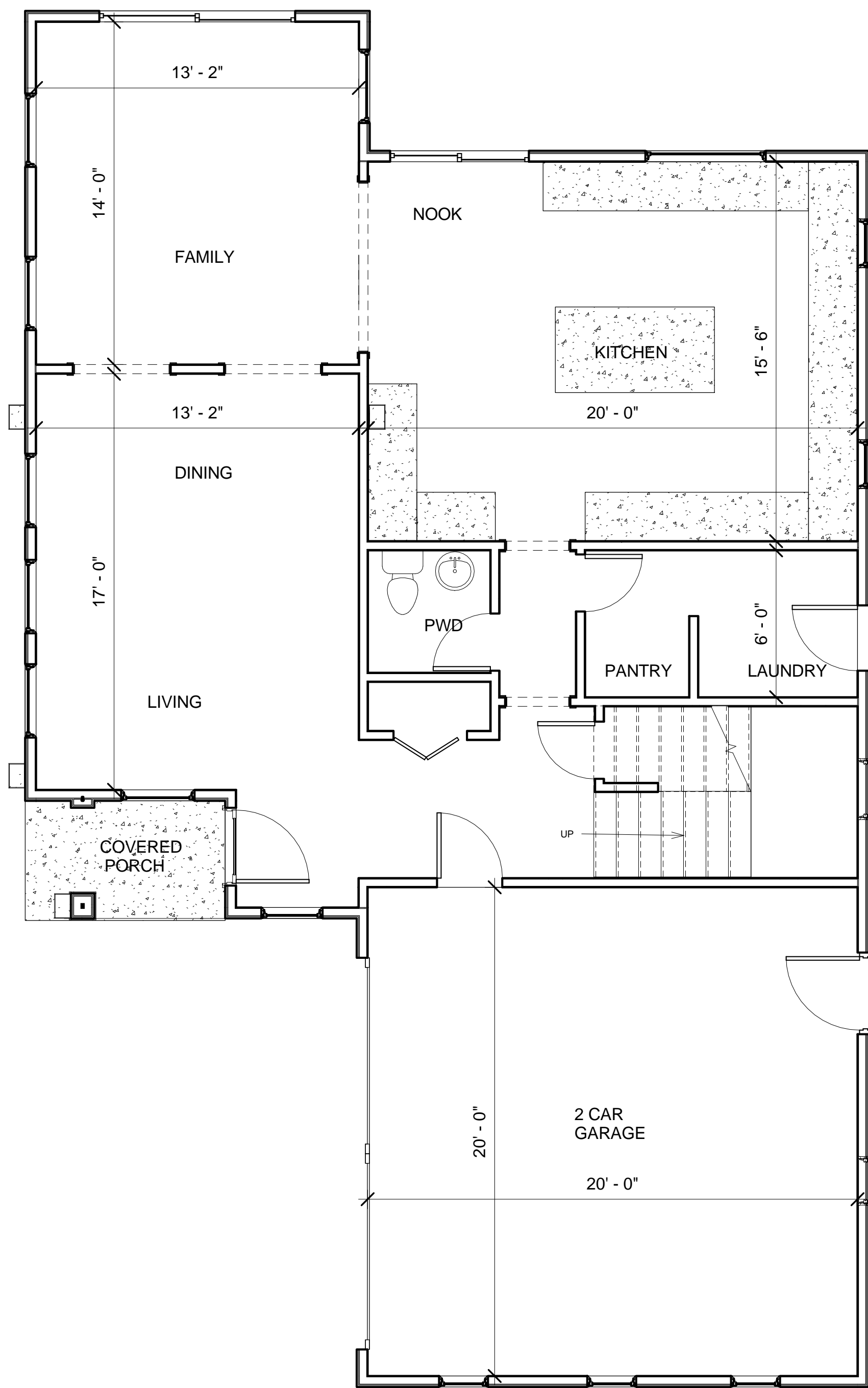
SITE PLAN

JOB NO.	0116
SCALE	AS NOTED
DRAWN BY	FH
SHEET NO.	

CS

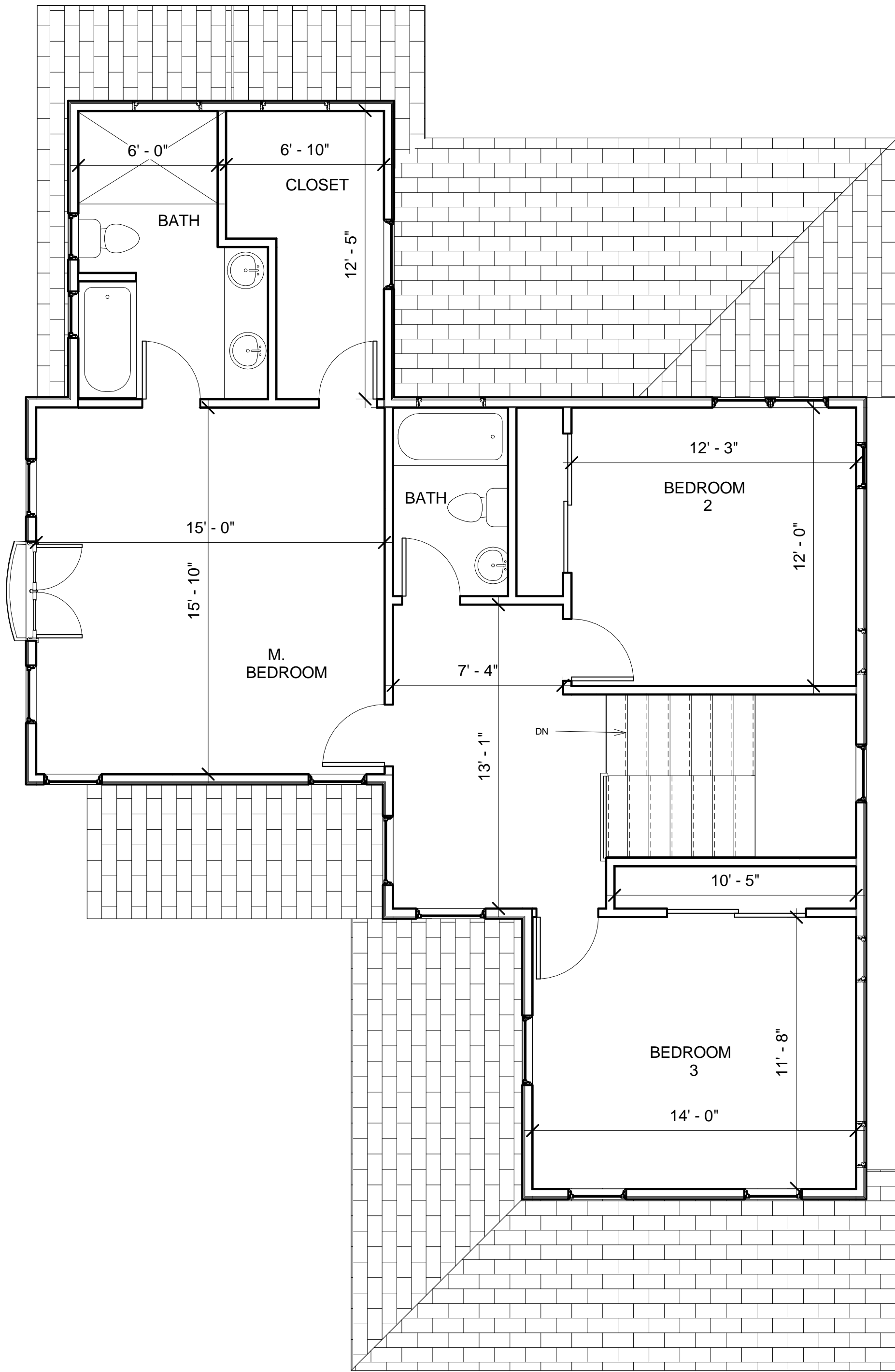
SITE PLAN

1" = 1/16"



1ST FLOOR

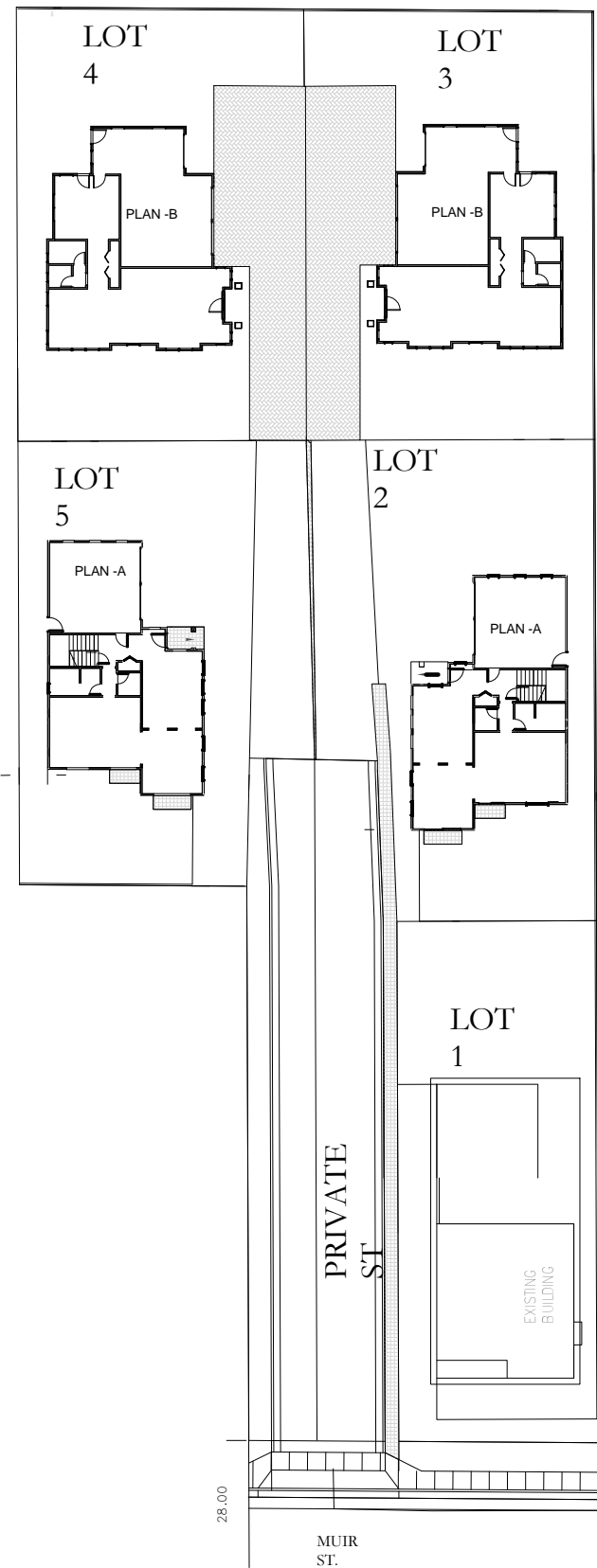
1/4"



2ND FLOOR

1,086 SQFT

1/4"



KEY MAP

NO.	DATE	ISSUE

PLANS

JOB NO.	0116
SCALE	AS NOTED
DRAWN BY	FH
SHEET NO.	



FRONT ELEVATION

1/4"



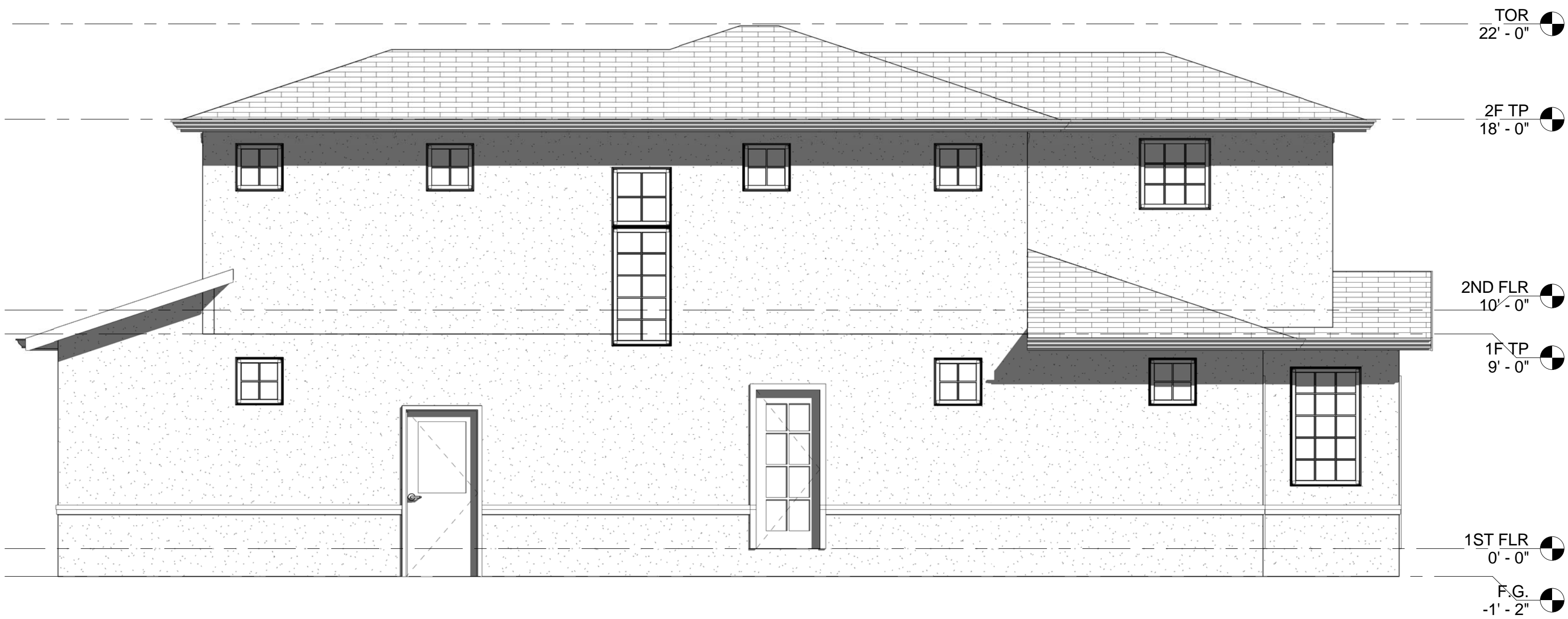
RIGHT SIDE ELEVATION

1/4"



LEFT SIDE ELEVATION

1/4"



REAR ELEVATION

1/4"

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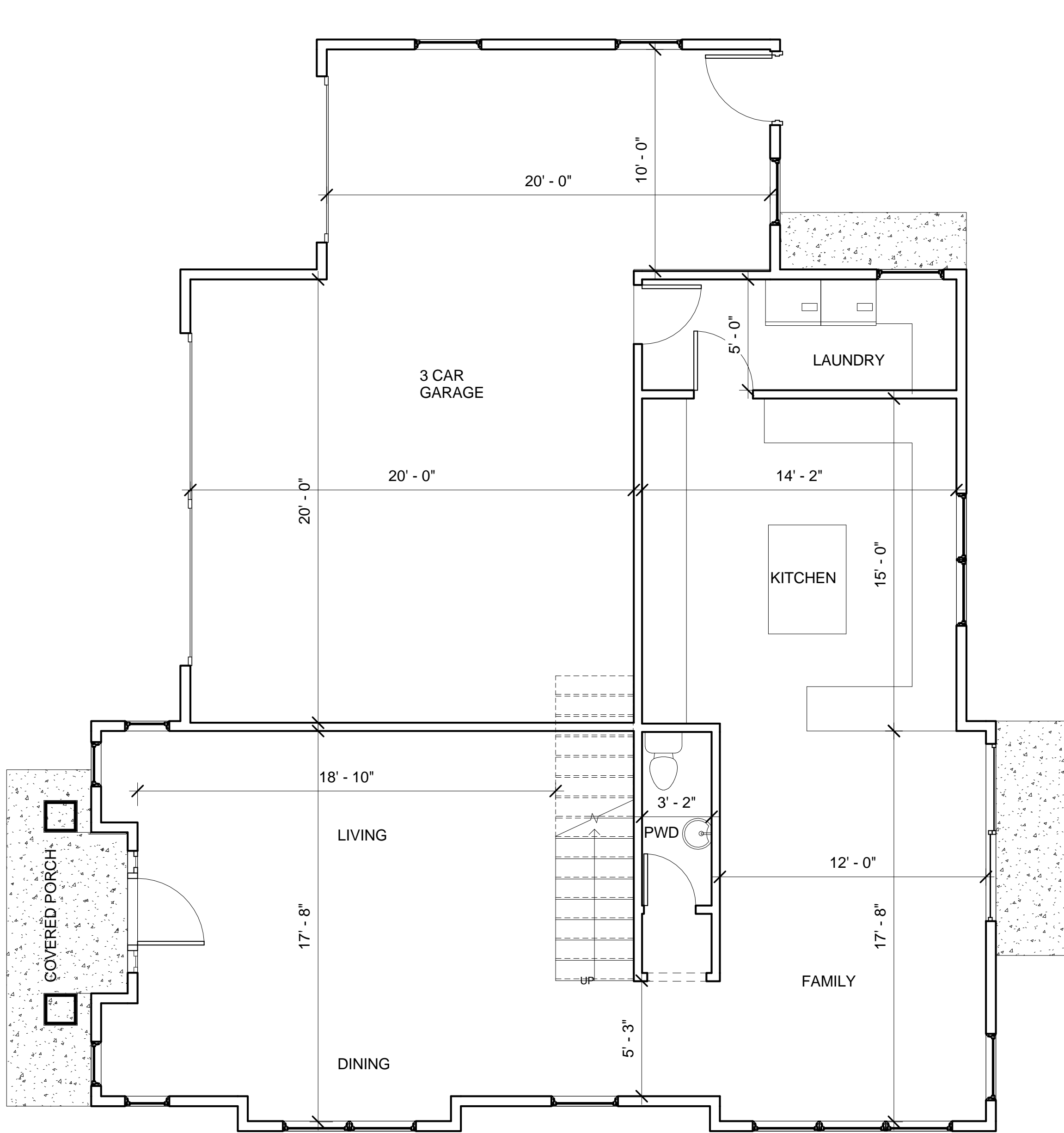
25000 MUIR ST.
HAYWARD CA.
LOTS 2 & 5

NO.	DATE	ISSUE

ELVATIONS

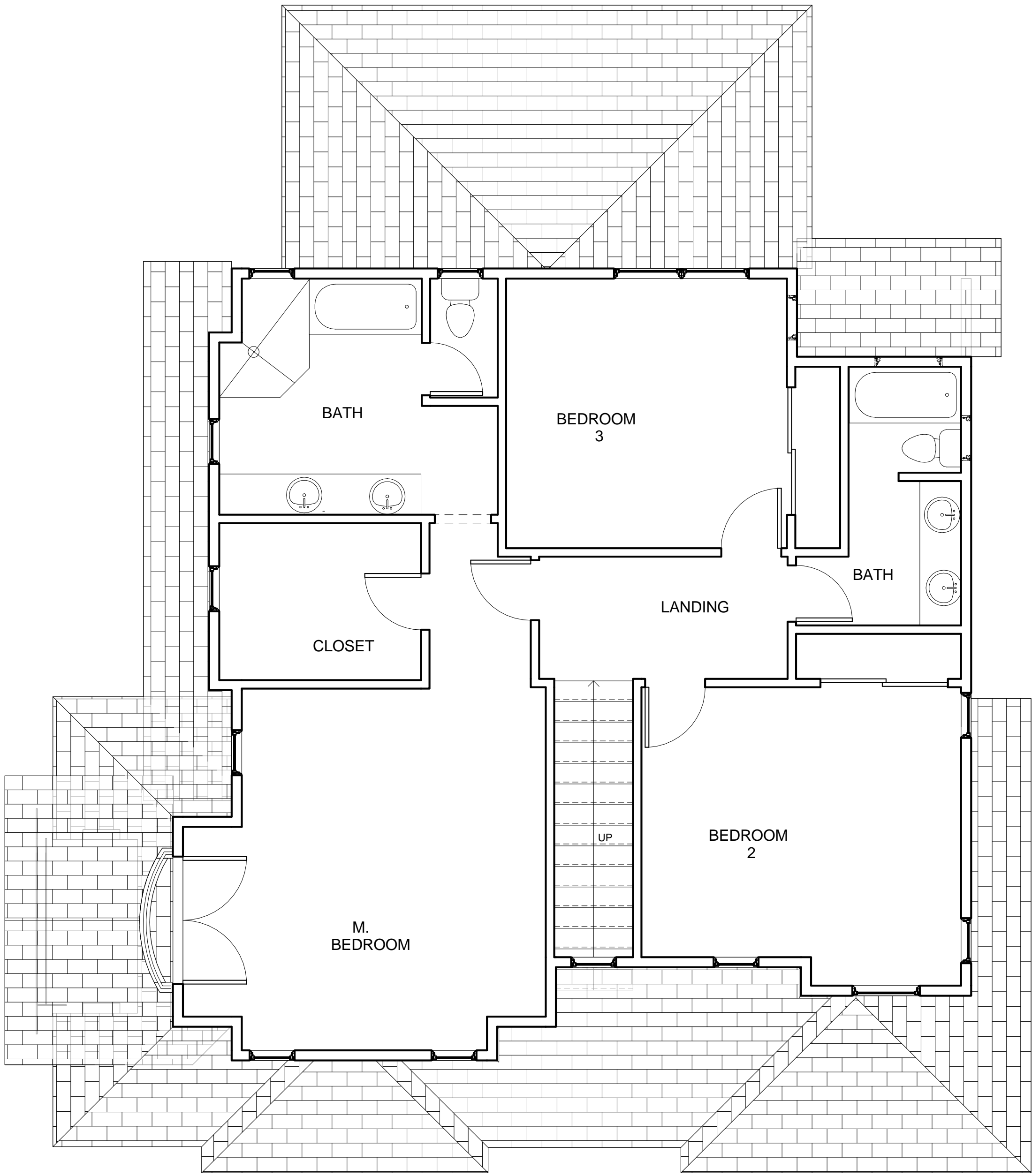
JOB NO.	0116
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SHEET NO.	

A2-A



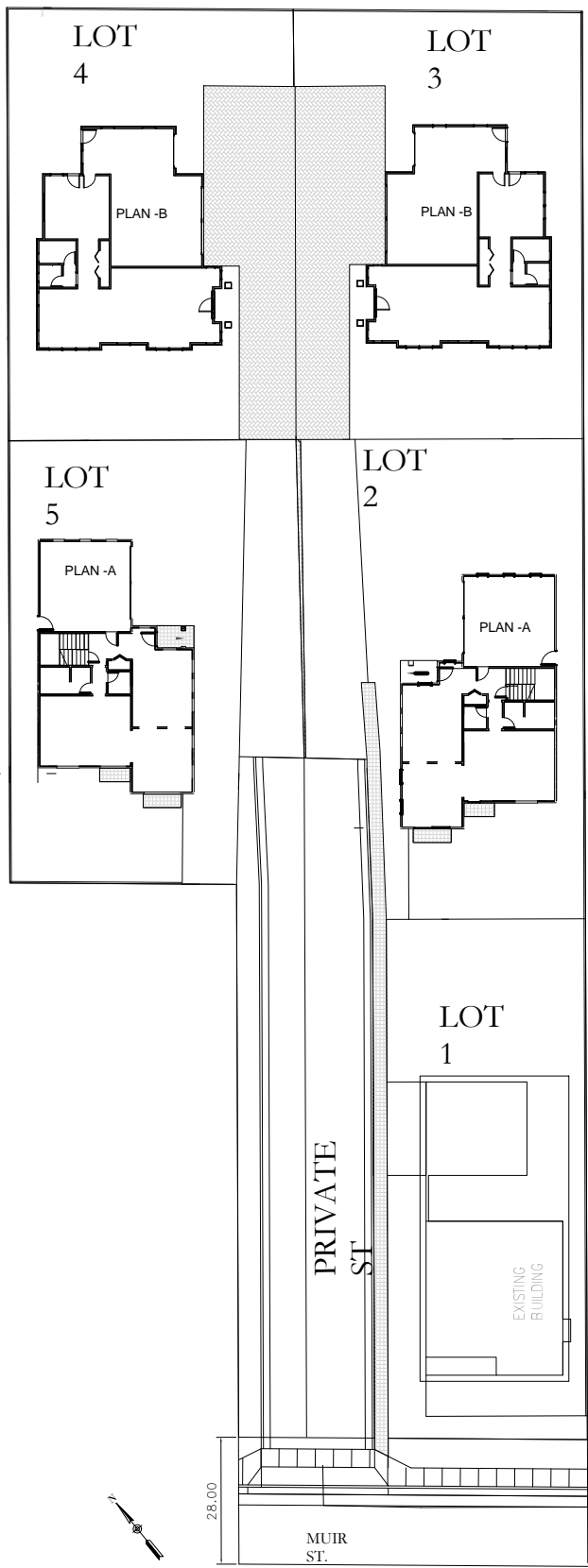
1ST FLOOR

1/4"



2ND FLOOR

1/4"



KEY MAP

25000 MUIR ST.
HAYWARD CA.
LOT S 3 & 4

NO.	DATE	ISSUE

PLANS LOTTS 3 & 4

JOB NO.	0116
SCALE	AS NOTED
DRAWN BY	FH
SHEET NO.	

A1-B



FRONT ELEVATION

1/4"



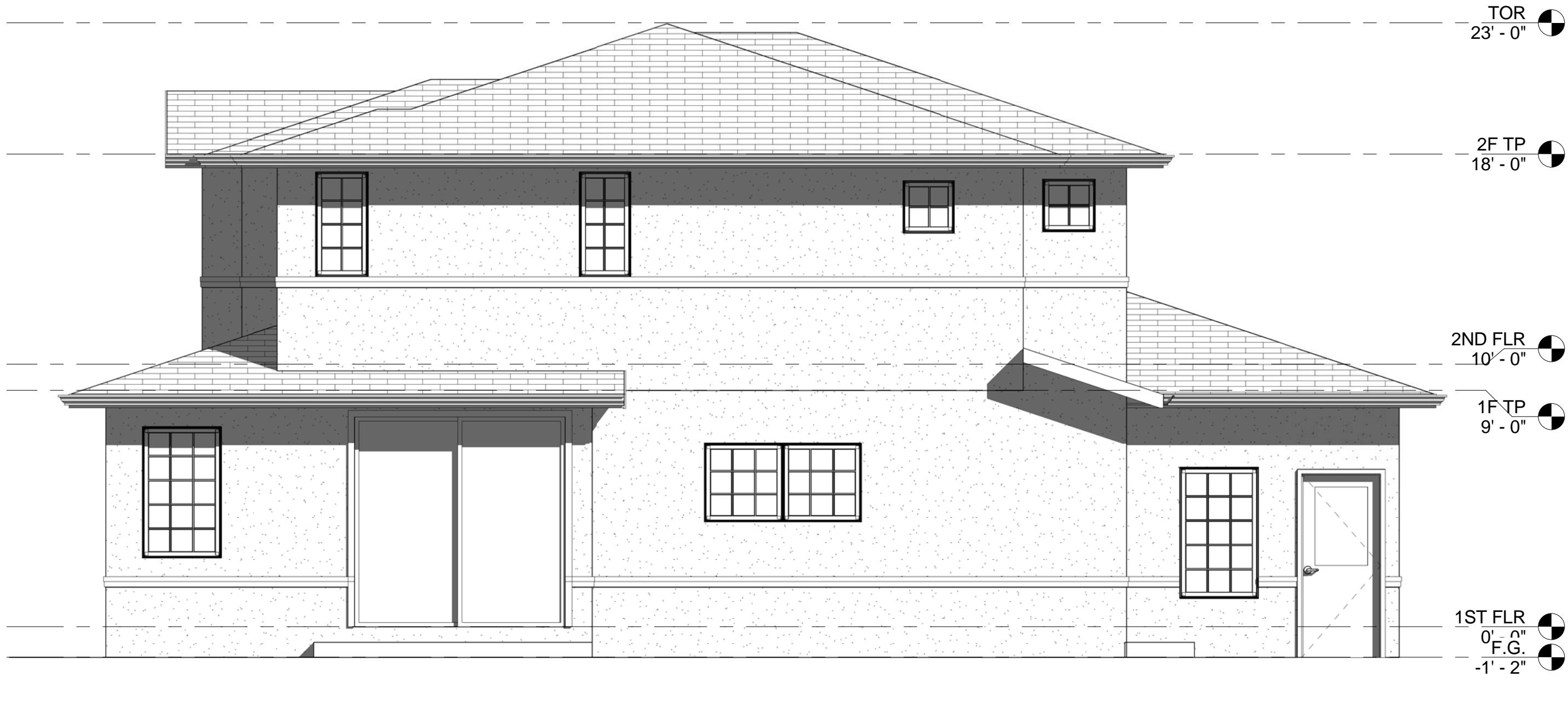
RIGHT SIDE ELEVATION

1/4"



LEFT SIDE ELEVATION

1/4"



REAR ELEVATION

1/4"

25000 MUIR ST.
HAYWARD CA.
LOT S 3 & 4

NO.	DATE	ISSUE

ELVATIONS

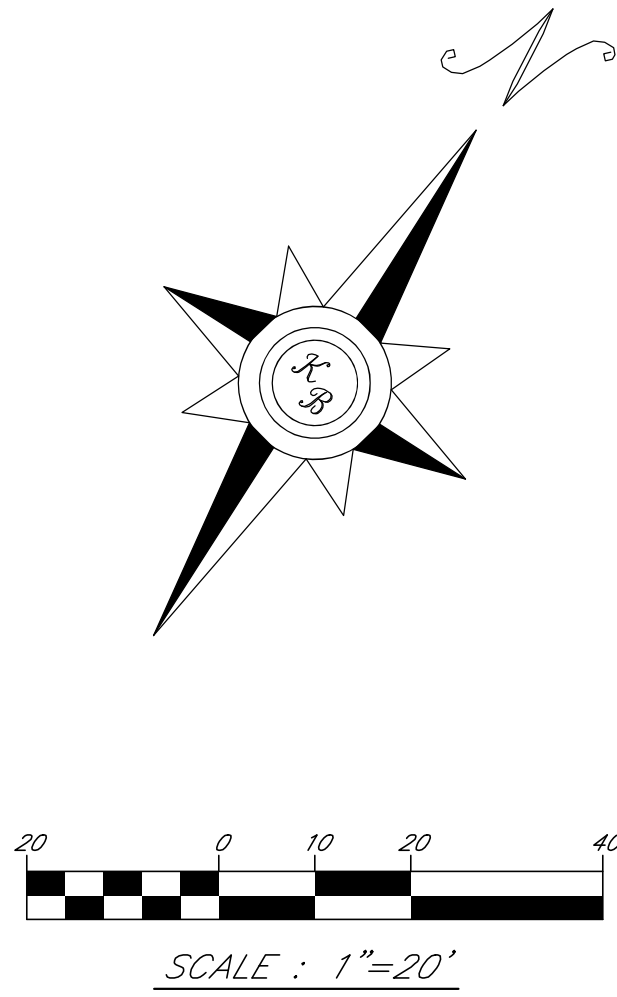
JOB NO.	0116
SCALE	AS NOTED
DRAWN BY	FH
SHEET NO.	

VICINITY MAP
N.T.S.



PROJECT
SITE

TOPOGRAPHIC & BOUNDARY SURVEY OF
25000 MUIR STREET
HAYWARD, CA 94544
APN 444-0051-116



- LEGEND**
- ASPHALT
 - CONCRETE
 - CURB AND GUTTER
 - SANITARY SEWER LINE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - WATER LINE
 - ELECTRIC OVERHEAD LINE
 - COMMUNICATION OVERHEAD LINE
 - JOINT POLE
 - GAS METER
 - GAS LINE
 - ELECTRIC METER
 - WOOD FENCE
 - WROUGHT IRON FENCE

BENCHMARK

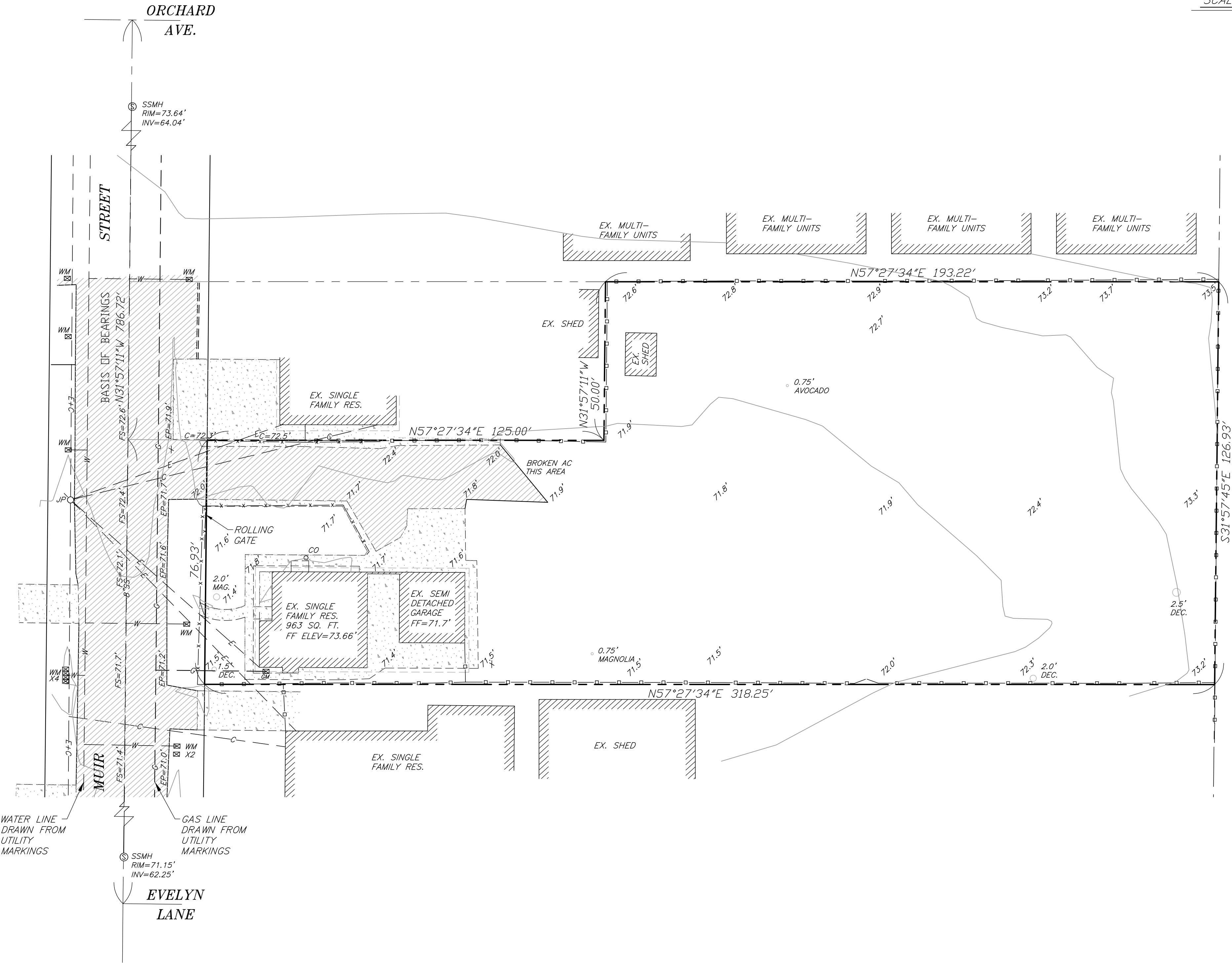
USGS BENCHMARK HT0207, A STANDARD BRASS DISK ALONG THE SOUTHERN PACIFIC TRACKS NEAR THE END OF ORCHARD AVENUE, HAVING AN NAVD88 ELEVATION OF 69.90', IS THE BASIS OF ALL ELEVATIONS SHOWN ON THIS MAP.

BASIS OF BEARINGS

THE CENTERLINE BEARING OF N31°57'11"W MUIR STREET AS SHOWN ON PARCEL MAP 2900 RECORDED ON APRIL 09, 1979, IN BOOK 109 OF MAPS AT PAGE 57, SANTA CLARA COUNTY RECORDS, IS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY NOTES:

THE UTILITIES AS DRAFTED ARE AS THEY ARE BELIEVED TO EXIST BASED ON SURFACE EVIDENCE. UTILITIES MAY EXIST THAT ARE NOT INDICATED. NO SUBSURFACE INVESTIGATIONS WERE PERFORMED.



SURVEY PREPARED FOR
1ST DESIGN
FOR SALE, INC.
AUGUST 17, 2016

THE BRONSON COMPANY
SURVEYING SERVICES
6206 EPPS DRIVE
WINTON, CA 95388
(209)606-7340 kevin@thebronsonco.com

TOPOGRAPHIC SURVEY OF
25000 MUIR STREET
CITY OF HAYWARD,
COUNTY OF ALAMEDA,
STATE OF CALIFORNIA

NO.	REVISION	DATE
PROJECT MANAGER Kevin Bronson		
DRAWN BY KB	CHECKED BY	
DATE AUGUST 2016		
CAD FILE		
JOB NUMBER 3295		
SHEET S1	OF 1	

OWNER AND DEVELOPER

1ST DESIGN FOR SALE, INC.
1694 TULLY RD., UNIT #50
SAN JOSE, CA 95122

CONTACT: KHOA LE

PROJECT CONSULTANTS

CIVIL ENGINEER:	GPM ENGINEERS 2051 JUNCTION AVE., #235, SAN JOSE, CA MOHAMED GENIDY, PE TEL. (650) 331-7264 CONTACT@GPMENGINEERS.COM
LAND SURVEYOR:	THE BRONSON COMPANY, 6206 EPPS DR., WINTON, CA KEVIN BRONSON, PLS TEL. (209) 606.7340
UTILITY CONSULTANT:	KENNETH S. NGAI, PE, LEED AP TEL. (408) 970-9888 AEC ALLIANCE ENGINEERING CONSULTANTS, 4701 PATRICK HENRY DR., #10, SANTA CLARA, CA
LANDSCAPE ARCHITECT:	WESLEY SAKAMOTO, LSA TEL. (510) 882-0864 WESLEY SAKAMOTO LAND SURVEYOR, 665 HOLLYHOCK DR., SAN LEANDRO, CA
ARCHITECT:	FAHD HAYABEB, ASSOC. AIA 2051 JUNCTION AVE., #235, SAN JOSE, CA
SOILS ENGINEER:	WAYNE TING TEL. (510) 623-7768 WAYNE TING ASSOCIATES 42329 OSGOOD RD., FREMONT, CA

BENCHMARK

USGS BENCHMARK HT0207, A STANDARD BRASS DISK ALONG THE SOUTHERN PACIFIC TRACKS NEAR THE END OF ORCHARD AVENUE, HAVING AN NAVD88 ELEVATION OF 69.90', IS THE BASIS OF ALL ELEVATIONS SHOWN ON THIS MAP.

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LEGEND

PROPOSED	EXISTING	PROPOSED	EXISTING

VILLAS OF MUIR STREET
VESTING TENTATIVE TRACT MAP 8397
CITY OF HAYWARD, ALAMEDA COUNTY

PROJECT SUMMARY

PROPERTY:	APN: 444-0051-116-00
SITE AREA	36,083 SF GROSS (0.83 ACRE BEFORE PUBLIC ST DEDICATION) 33,915 SF NET (0.78 ACRE)
ZONING:	RS: SINGLE FAMILY RESIDENTIAL
LANDUSE:	LDR: LOW DENSITY RESIDENTIAL (4.3 TO 8.7 UNIT/ACRE)
PROPOSED DEVELOPMENT:	4 NEW DETACHED SINGLE FAMILY RESIDENCES PLUS EXISTING SINGLE FAMILY RESIDENCE
PROPOSED DENSITY:	6.3 UNIT/ACRE
UTILITY SOURCES:	WATER --- CITY OF HAYWARD SANITARY SEWER --- CITY OF HAYWARD STORM DRAIN --- CITY OF HAYWARD ELECTRICAL AND GAS --- PACIFIC GAS AND ELECTRIC TELEPHONE --- ATT CABLE TV --- COMCAST

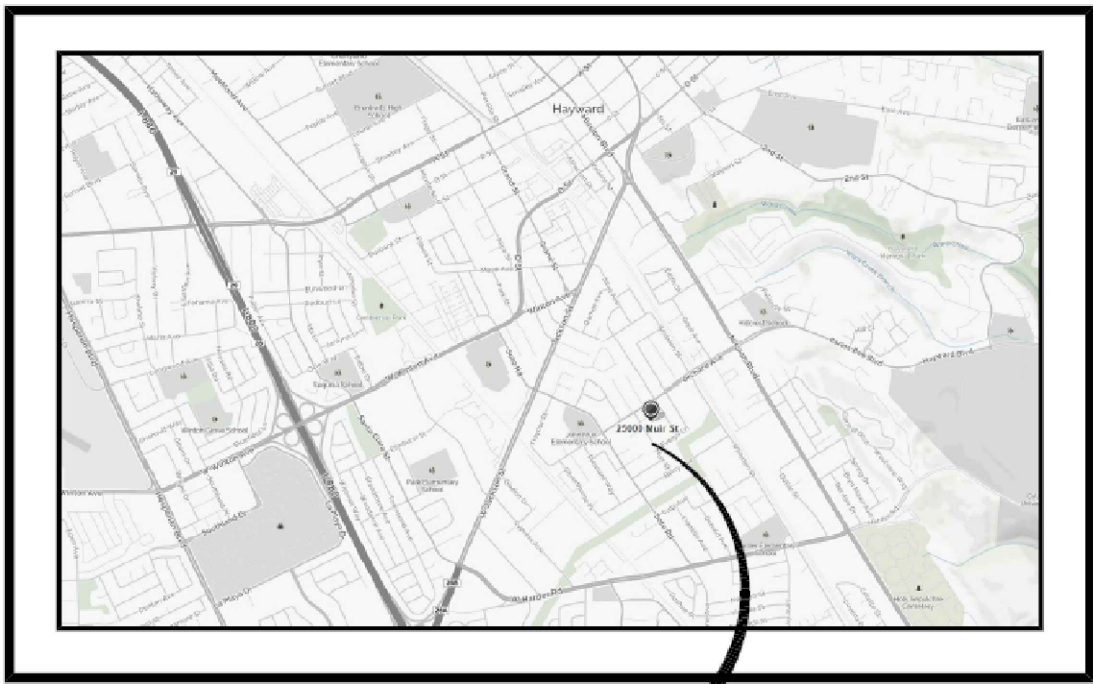
SHEET INDEX

SHEET NO.	TITLE
C1	COVER SHEET
C2	SITE LAYOUT
C3	PRELIMINARY GRADING AND DRAINAGE
C4	PRELIMINARY UTILITY PLAN
C5	PRELIMINARY STORMWATER MANAGEMENT PLAN

CIVIL

VICINITY MAP

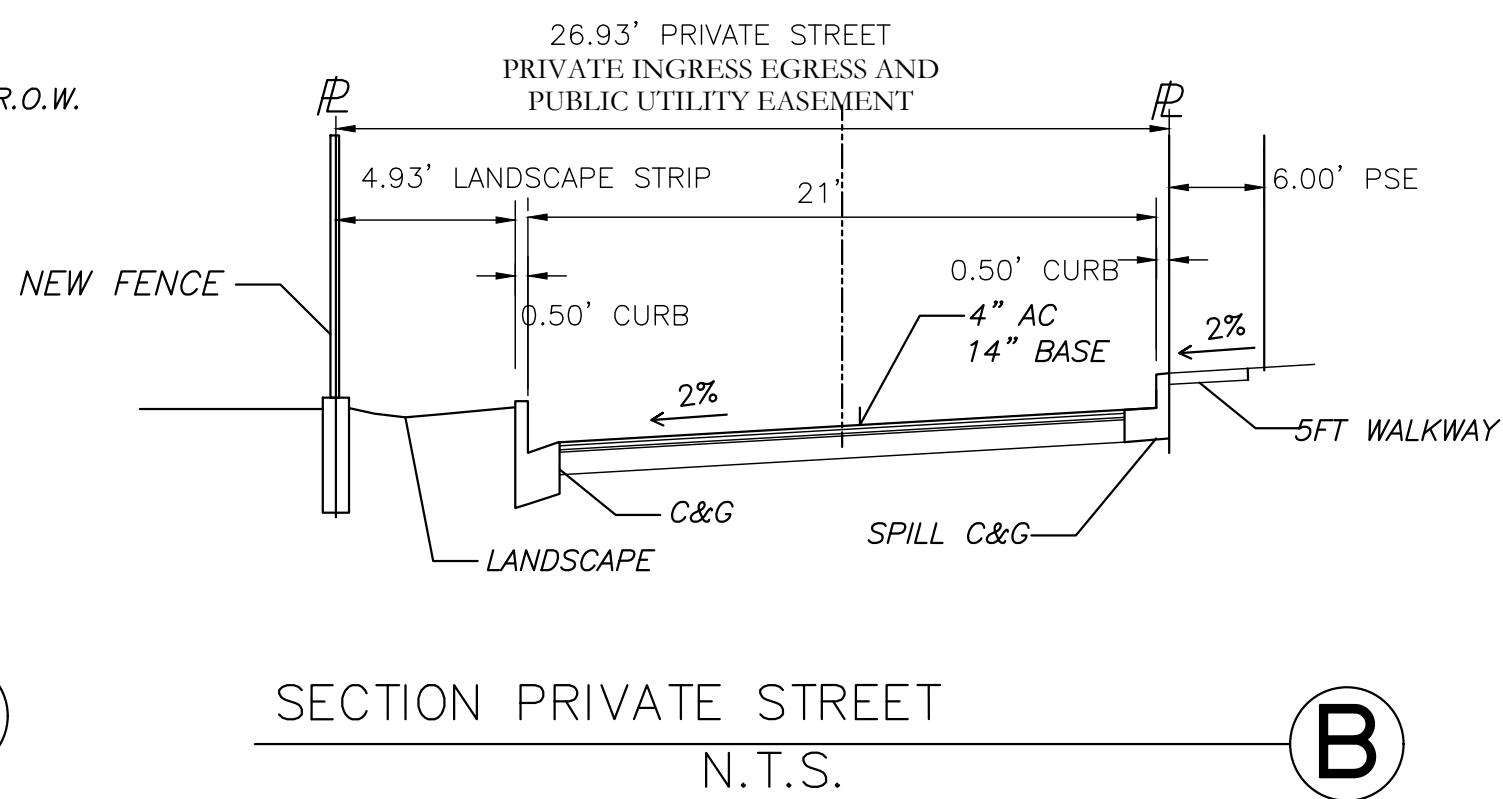
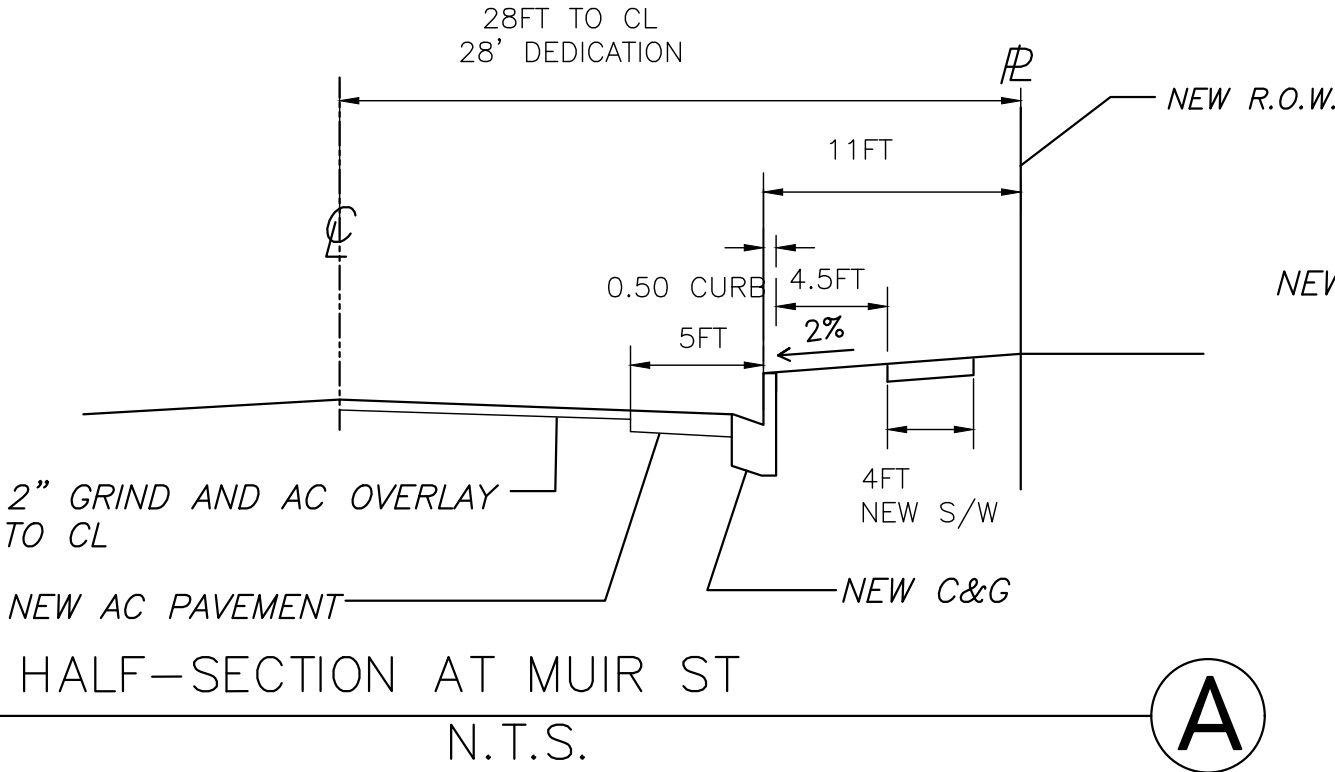
N.T.S.



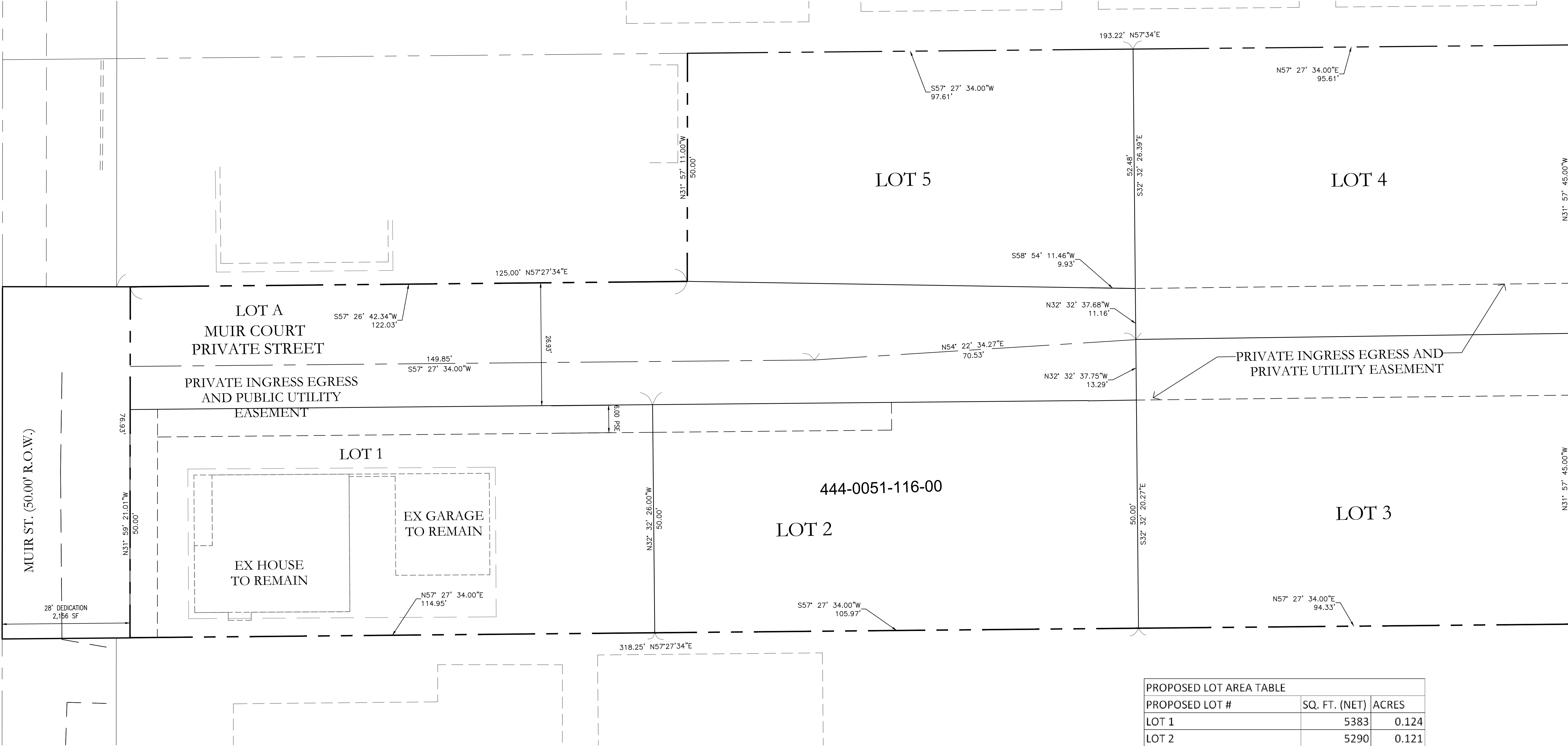
PROJECT SITE

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
@	AT	MAX	MAXIMUM
AB	AGGREGATE BASE	MIN	MINIMUM
AC	ASPHALT CONCRETE	NO., #	NUMBER
AD	AREA DRAIN	NTS	NOT TO SCALE
BC	BEGINNING OF CURVE	PIE	PRIVATE INGRESS EGRESS EASEMENT
BLDG	BUILDING	POC	POINT OF CURB RETURN
BOS	BOTTOM OF STEPS	PCR	PACIFIC GAS AND ELECTRIC
BW	BACK OF WALK	PG&E	PACIFIC GAS AND ELECTRIC
CB	CATCH BASIN	PL, P/L	PROPERTY LINE
CL	CENTERLINE	POC	POINT ON CURVE
CONC	CONCRETE	PRC	POINT OF REVERSE CURVE
CONT	CONTINUATION	PSDE	PRIVATE STORM DRAIN EASEMENT
DDCV	DOUBLE DETECTOR CHECK VALVE	PT	POINT
DI	DROP INLET	PUE	PUBLIC UTILITY EASEMENT
DS	DOWN SPOUT	PVC	POLYVINYL CHLORIDE
DWY	DRIVEWAY	PVI	POINT OF VERTICAL INTERSECTION
EB	ELECTRICAL BOX	R	RADIUS
EC	END OF CURVE	RCP	REINFORCED CONCRETE PIPE
EL, ELEV.	ELEVATION	RIM	RIM ELEVATION
EP	EDGE OF PAVEMENT	R/W	RIGHT OF WAY
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	S	SLOPE
EX., EXIST.	EXISTING	SD	STORM DRAIN
F/C	FACE OF CURB	SDE	STORM DRAIN EASEMENT
FF	FINISHED FLOOR ELEVATION	SDMH	STORM DRAIN MANHOLE
FG	FINISHED GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSCO	SANITARY SEWER LATERAL CLEANOUT
FL	FLOW LINE	SSDI	SANITARY SEWER DRAIN INLET
FP	FINISHED PAVEMENT	SSGB	SANITARY SEWER GRADE BREAK
FPW	FIRE PROTECTION WATER	SSE	SANITARY SEWER EASEMENT
FS	FINISHED SERVICE ELEV.	SSMH	SANITARY SEWER MANHOLE
FT	FEET	ST	STREET
G	GAS	STA	STATION
GB	GRADE BREAK	S/W	SIDEWALK
GFF	GARAGE FINISHED FLOOR ELEV.	T	TELEPHONE
GRND	GROUND	TC	TOP OF CURB
HDPE	HIGH DENSITY POLYETHYLENE	TEMP	TEMPORARY
HGL	HYDRAULIC GRADE LINE	TG	TOP OF GRATE
HP	HIGH POINT	TP	TOP OF PAVEMENT
INV	INVERT	TOS	TOP OF STEPS
IRR	IRRIGATION	TYP	TYPICAL
JT	JOINT TRENCH	VC	VERTICAL CURVE
LF	LINEAR FEET	W, WL	WATERLINE
LP	LOW POINT	WLE	WATER LINE EASEMENT
LT	LEFT	WM	WATER METER
		WS	WATER SERVICE
		WV	WATER VALVE



DATE: 10-18-2017	NO.	REVISION	DATE	DIRECTED BY:	PROJECT: VILLAS OF MUIR ST 25000 MUIR ST. HAYWARD, CA	SHEET TITLE: COVER SHEET	SHEET NUMBER: C1 1 OF 5
SCALE: AS NOTED							
DESIGNED BY: MG							
DRAWN BY: EH							



A SITE LAYOUT

SCALE: 1" = 20'

PROPOSED LOT AREA TABLE		
PROPOSED LOT #	SQ. FT. (NET)	ACRES
LOT 1	5383	0.124
LOT 2	5290	0.121
LOT 3	6019	0.138
LOT 4	6035	0.139
LOT 5	5014	0.115
LOT A: PRIVATE STREET	6367	0.146
ACCESS EASEMENTS	0	0.000
TOTAL LOT AREAS	34108	0.783

100% NET SITE

DATE:	10-18-2017	NO.	REVISION	DATE
SCALE:	AS NOTED	△		
DESIGNED BY:	MG	△		
DRAWN BY:	EH	△		
		△		
		△		

DIRECTED BY:

MOHAMED S. GENOVESE

REGISTERED PROFESSIONAL ENGINEER

C61578

EXP. 6/30/19

STATE OF CALIFORNIA

11-1-2017

GPM GPM ENGINEERS

2051 Junction Ave. SUITE 235

San Jose, CA 95131

TEL. (650) 331-7264 FAX (650) 472-9004

WWW.GPMENGINEERS.COM

CIVIL • STRUCTURAL • PLANNING • DEVELOPMENT

PROJECT:

VILLAS OF MUIR ST

25000 MUIR ST.

HAYWARD, CA

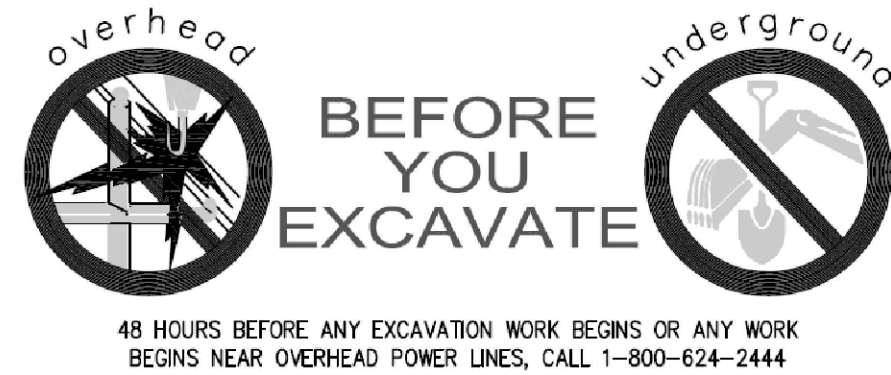
SHEET TITLE:

SITE LAYOUT

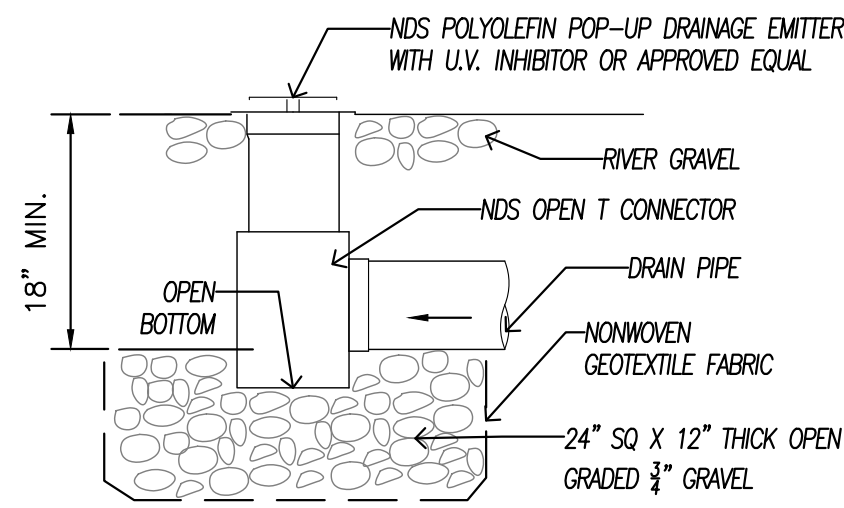
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C2

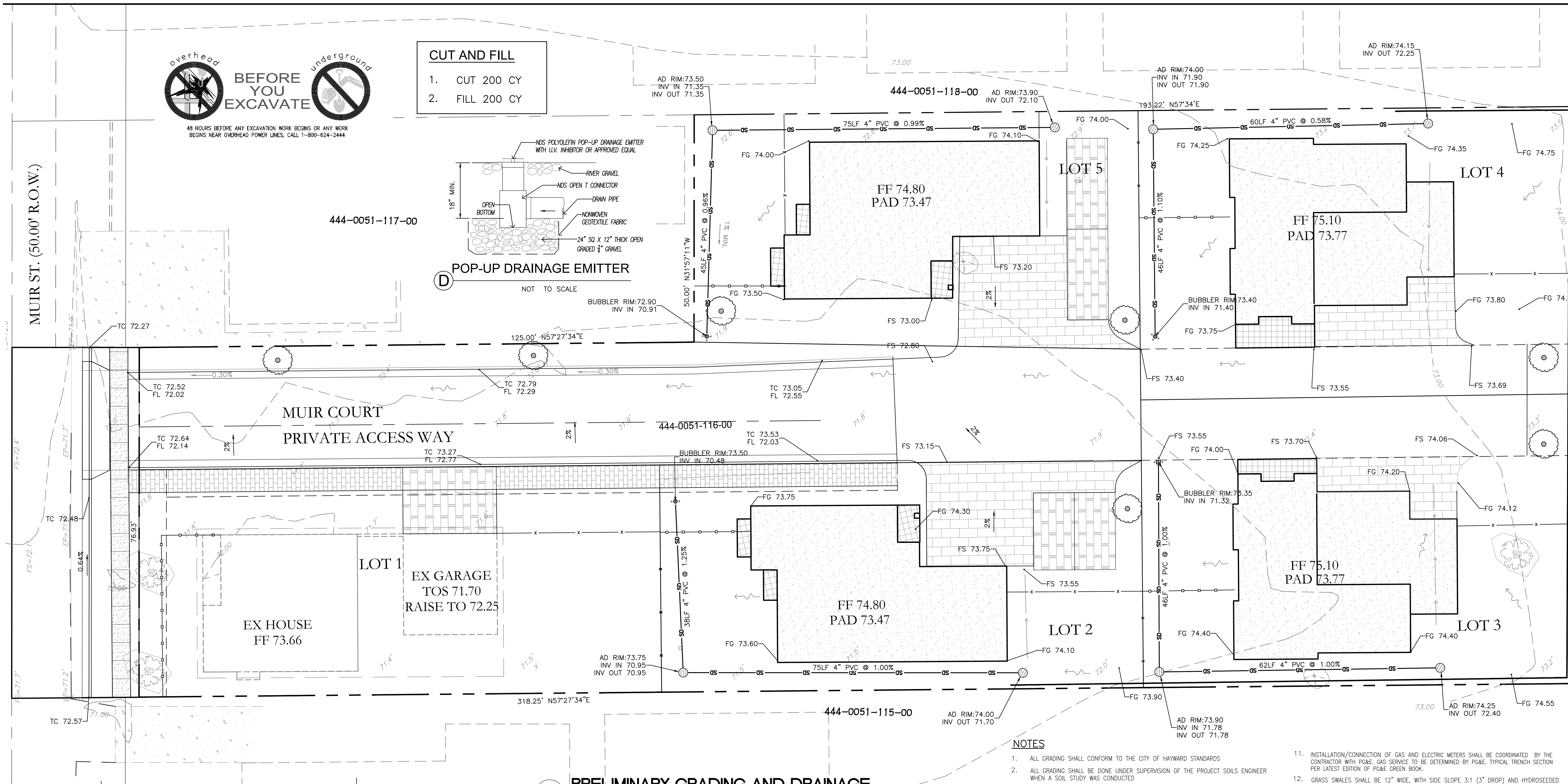
2 OF 5

**CUT AND FILL**

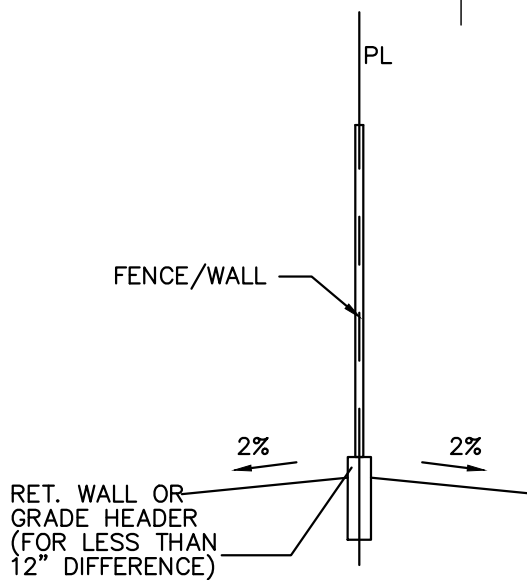
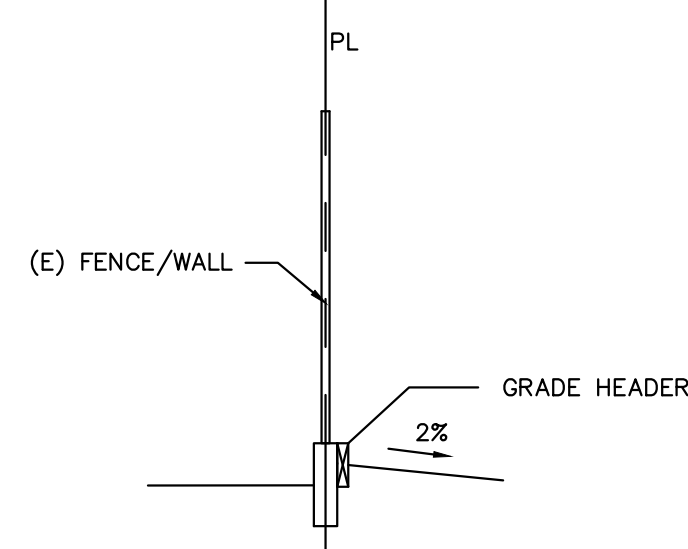
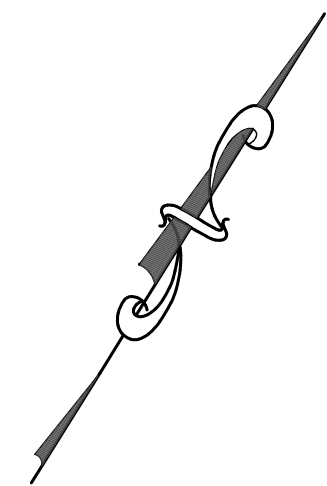
1. CUT 200 CY
2. FILL 200 CY

**POP-UP DRAINAGE EMITTER**

NOT TO SCALE

BUBBLER RIM: 72.90
INV IN 70.91**PRELIMINARY GRADING AND DRAINAGE**

SCALE: 1" = 10'

**A** CROSS SECTION AT COMMON FENCE
SCALE: N.T.S.**B** CROSS SECTION AT (E) NEIGHBOR FENCE
SCALE: N.T.S.**C** CROSS SECTION AT BUILDING WALL
SCALE: N.T.S.**NOTES**

1. ALL GRADING SHALL CONFORM TO THE CITY OF HAYWARD STANDARDS
2. ALL GRADING SHALL BE DONE UNDER SUPERVISION OF THE PROJECT SOILS ENGINEER WHEN A SOIL STUDY WAS CONDUCTED
3. OBTAIN ENCROACHMENT PERMIT AS REQUIRED FOR WORK WITHIN RIGHT OF WAY.
4. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MIN. 5% SLOPE FOR MIN. DISTANCE OF 5 FT AT LANDSCAPED AREAS
5. ALL GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
6. AREA DRAINS SHALL HAVE A MIN. 6 INCHES DIAMETER GRATE OPENINGS
7. ALL DRAIN LINES SHALL HAVE A 1% MIN. SLOPE
8. WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE
9. ALL STORM DRAIN PIPE SHALL BE PVC SOR 35 OR EQUIVALENT, SLOPED AT 1% MIN. UNLESS OTHERWISE SPECIFIED ON THE PLANS. PIPES SHALL BE SIZED AS SPECIFIED ON THE PLANS. ALL CHANGES IN DIRECTIONS SHALL BE MADE WITH A WYE CONNECTION, ELBOWS, TEE'S SHOULD BE AVOIDED
10. UTILITY COMPANIES SHALL BE CONSULTED AND NECESSARY PERMITS SHALL BE SECURED FOR DISCONNECTION/RECONNECTION OF UTILITY SERVICE LINES.
11. INSTALLATION/CONNECTION OF GAS AND ELECTRIC METERS SHALL BE COORDINATED BY THE CONTRACTOR WITH PG&E. GAS SERVICE TO BE DETERMINED BY PG&E. TYPICAL TRENCH SECTION PER LATEST EDITION OF PG&E GREEN BOOK.
12. GRASS SWALES SHALL BE 12" WIDE, WITH SIDE SLOPE 3:1 (3" DROP) AND HYDROSEEDING TO AVOID EROSION.
13. ALL CUT AND FILL SLOPES AT THE BOUNDARY LINES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FENCES WILL NOT BE DAMAGED. GRADING SHALL CONFORM AT BOUNDARY LINES. INSTALL PRESSURE TREATED WOODEN GRADE HEADER FOR GRADE DIFFERENCES LESS THAN 12".
14. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SAID GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLY MATERIAL FOR DEFICIENCIES TO BRING PAVEMENT OR LOTS TO REQUIRED GRADE. CLARIFICATION OF GRADING SHALL BE DONE BY THE SURVEYOR.
16. PRIOR TO ANY GRADING, DEMOLITION OF THE SITE SHOULD BE COMPLETED. DEMOLITION SHOULD INCLUDE THE COMPLETE REMOVAL OF ALL SURFACE AND SUBSURFACE STRUCTURES. IF ANY OF THE FOLLOWING ARE ENCOUNTERED: TREE ROOT SYSTEMS, CONCRETE, SEPTIC TANKS, GAS OR OIL TANKS, STORM INLETS, IRRIGATION PIPES, FOUNDATIONS, ASPHALT, DEBRIS AND TRASH, THESE SHOULD ALSO BE REMOVED, WITH THE EXCEPTION OF ITEMS SPECIFIED BY THE OWNER FOR SALVAGE.
17. SEE SOILS REPORT (WHEN APPLICABLE) FOR PREPARATION OF PAD

DATE:	10-18-2017	NO.	REVISION	DATE	DIRECTED BY:
SCALE:	AS NOTED	△			
DESIGNED BY:	MG	△			
DRAWN BY:	EH	△			
		△			
		△			



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2051 Junction Ave. SUITE 235
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TEL. (650) 331-7264 FAX (650) 472-9004
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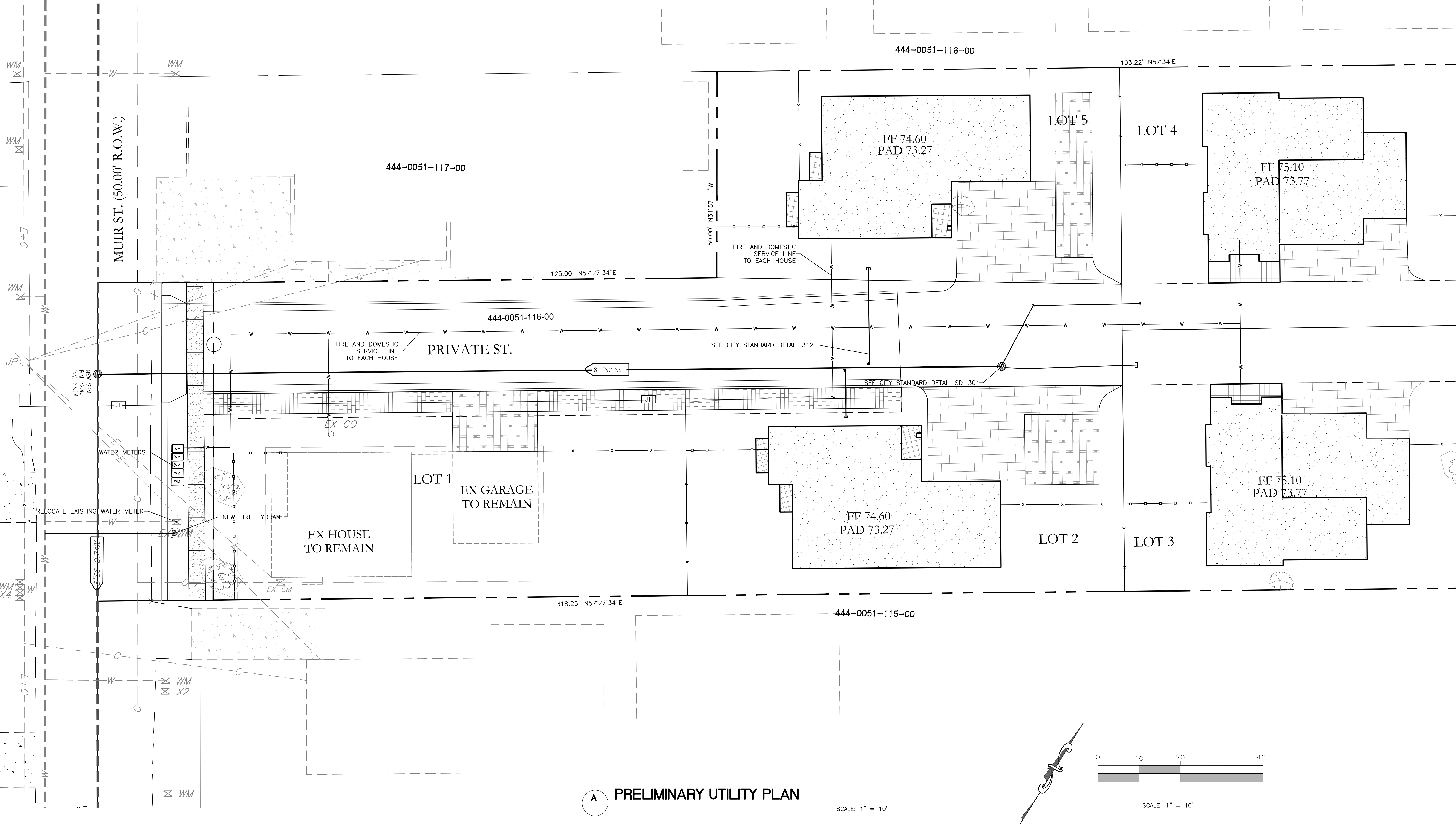
PROJECT:
VILLAS OF MUIR ST
25000 MUIR ST.
HAYWARD, CA

SHEET TITLE:

PRELIMINARY GRADING AND DRAINAGE

SHEET NUMBER

C3
3 OF 5



DATE:	10-18-2017	NO.	REVISION	DATE
SCALE:	AS NOTED	△		
DESIGNED BY:	MG	△		
DRAWN BY:	EH	△		
		△		
		△		

DIRECTED BY:

M. S. S. S. S.

REGISTERED PROFESSIONAL ENGINEER
MOHAMMED S. GENDY
C61578
EXP. 6/30/19
CIVIL
STATE OF CALIFORNIA

11-1-2017

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CIVIL ■ STRUCTURAL ■ PLANING ■ DEVELOPMENT

PROJECT:

VILLAS OF MUIR ST
25000 MUIR ST.
HAYWARD, CA

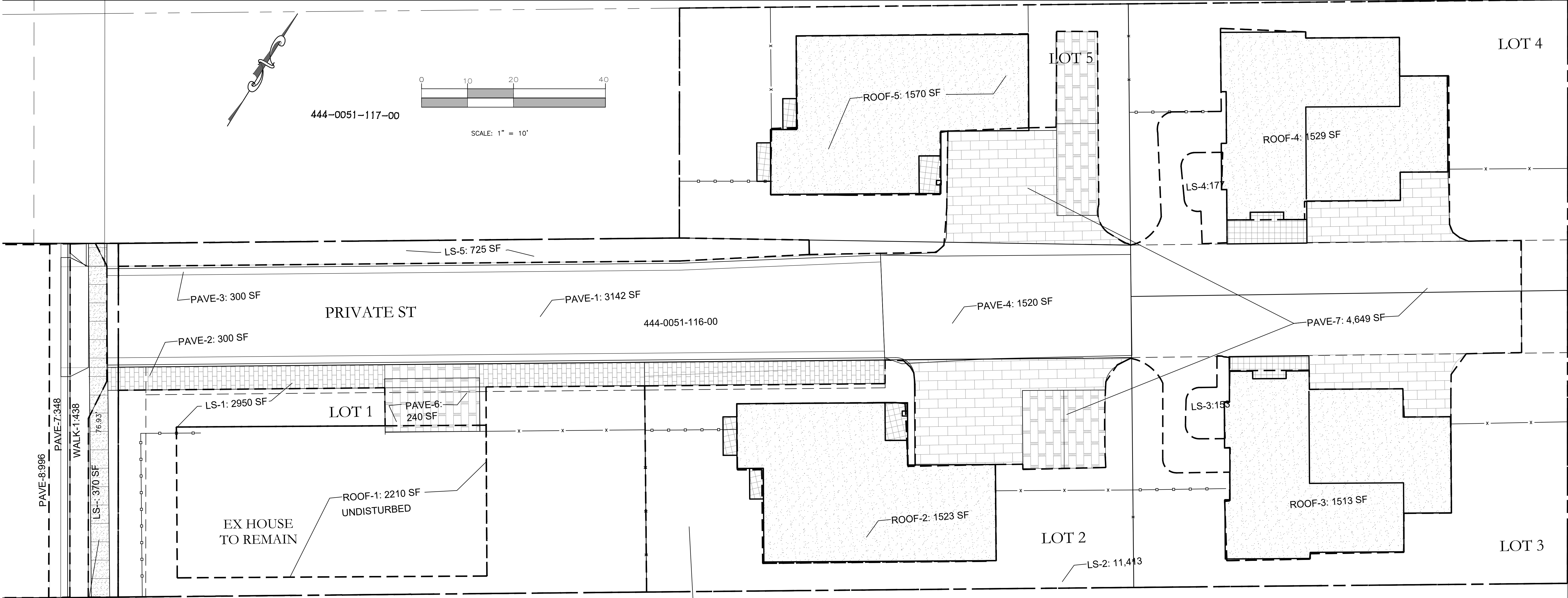
SHEET TITLE:

PRELIMINARY UTILITY PLAN

SHEET NUMBER

C4

4 OF 5



DMA #2 (OFF-SITE)
2,152 SF

Drainage Management Area # 2 (Public Street)			
Pave-7	IMPERVIOUS	Existing Pavement	996
Pave-8	IMPERVIOUS	New Pavement	348
Walk-1	IMPERVIOUS	New sidewalk	438
LS-9	PERVIOUS	Landscape	370

TOTAL SITE 2,152

444-0051-115-00
DMA #1 (ALL ON-SITE)
31,704 SF
DOES NOT INCLUDE EXISTING ROOF

Drainage Management Area # 1 (DMA-1)				
Drainage Area	PERVIOUS/ IMPERVIOUS	TYPE OF DRAINAGE DMANAGEMENT AREA	DRAINAGE DMANAGEMENT AREA (SF)	DMANAGEMENT FACILITIES
Roof-1	IMPERVIOUS	Existing House	UNDISTURBED	Direct to Landscape
Roof-2	IMPERVIOUS	House	1,523	Direct to Landscape
Roof-3	IMPERVIOUS	House	1,513	Direct to Landscape
Roof-4	IMPERVIOUS	House	1,529	Direct to Landscape
Roof-5	IMPERVIOUS	House	1,570	Direct to Landscape
Pave-1	PERVIOUS	Driveway-pavers	3,142	Direct to Landscape
Pave-2	IMPERVIOUS	Driveway-C&G	300	Direct to Landscape
Pave-3	IMPERVIOUS	Driveway-C&G	300	Direct to Landscape
Pave-4	PERVIOUS	Driveway-pavers	1,520	Self Treating
Pave-5	PERVIOUS	Private street - pavers	4,649	Self Treating
Pave-6	PERVIOUS	Private street - pavers	240	Self Treating
LS-1	IMPERVIOUS	Landscape	2,950	Self Treating
LS-2	IMPERVIOUS	Landscape	11,413	Self Treating
LS-3	IMPERVIOUS	Landscape	153	Self Treating
LS-4	IMPERVIOUS	Landscape	177	Self Treating
LS-5	IMPERVIOUS	Landscape	725	Self Treating
LS-6	IMPERVIOUS	Landscape	-	Self Treating
LS-7	IMPERVIOUS	Landscape	-	Self Treating
LS-8	IMPERVIOUS	Landscape	-	Self Treating
LS-9	IMPERVIOUS	Landscape	-	Self Treating

TOTAL DMA1 31,704

DMA-1 IMPERVIOUS AREA 9,877 SF Flow over landscape

PERVIOUS AND IMPERVIOUS DISTURBED SURFACES COMPARISON TABLE			
		PROJECT:	
Total Site (acres)	0.83	Total Area of Site Disturbed (Acres)	0.59
Impervious Surfaces	Existing Conditions of Site Area Disturbed (SF)	Proposed Condition of Site Area Disturbed (SF)	
		Replaced	New
Roof Area	0	0	6,135
Parking and Driveways	1,700	0	3,142
Sidewalks, Patios, Paths, etc	50	0	
Streets (Public)	0	0	
Streets (Private)	0	0	600
Total Impervious Surfaces	1,750	0	9,877
Pervious Surfaces			
Landscape Areas	31,475		12,468
Pervious Paving	858	858	8,453
Other Pervious Surfaces			-
Total Pervious Surfaces	32,333	858	20,921
Total Proposed Replaced + New Impervious Surfaces			9,877
Total Proposed Replaced + New Pervious Surfaces			21,779

A STORMWATER QUALITY MANAGEMENT PLAN

SCALE: 1" = 10'

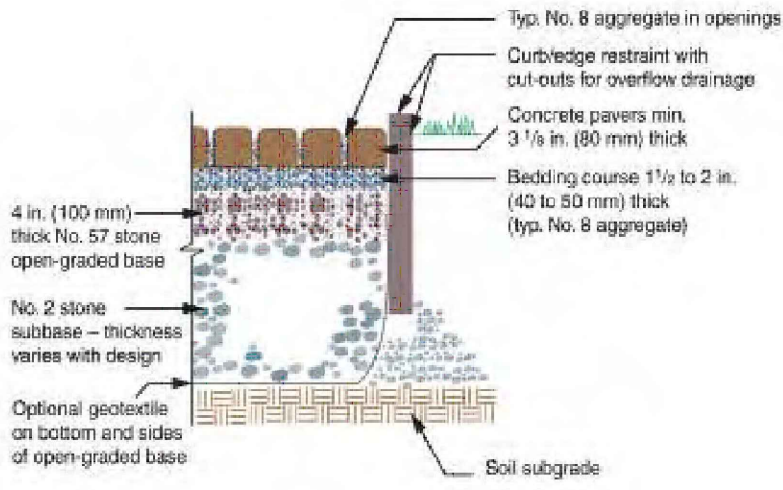
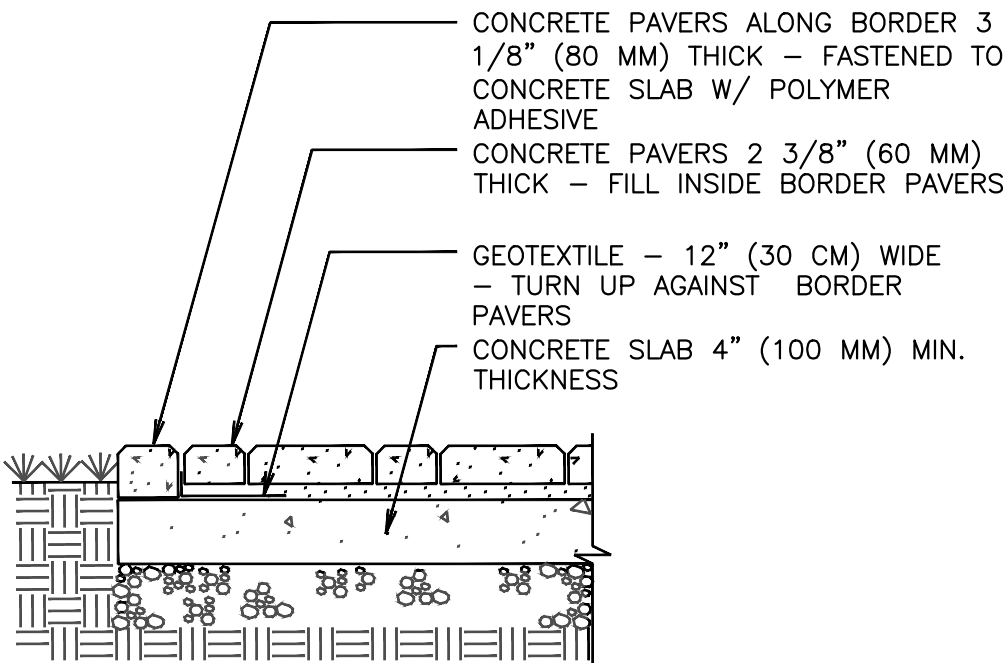


Figure 6-37. Typical Permeable Interlocking Concrete Pavement
Note: ASTM No. 3 or 4 stone may be substituted for No. 2 stone.
Note: ASTM No. 89 or 9 stone may be used in the paver openings.



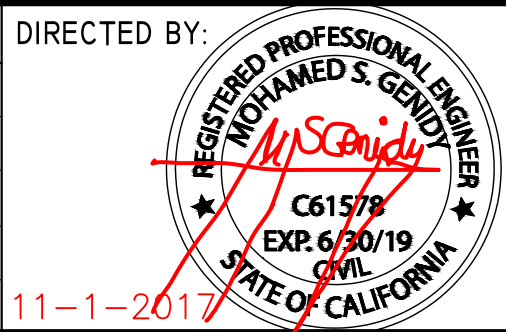
PAVERS AT DRIVEWAY
N.T.S.

2

PAVERS AT PATIO
N.T.S.

1

DATE:	10-18-2017	NO.	REVISION	DATE	DIRECTED BY:
SCALE:	AS NOTED	△			
DESIGNED BY:	MG	△			
DRAWN BY:	EH	△			
		△			
		△			



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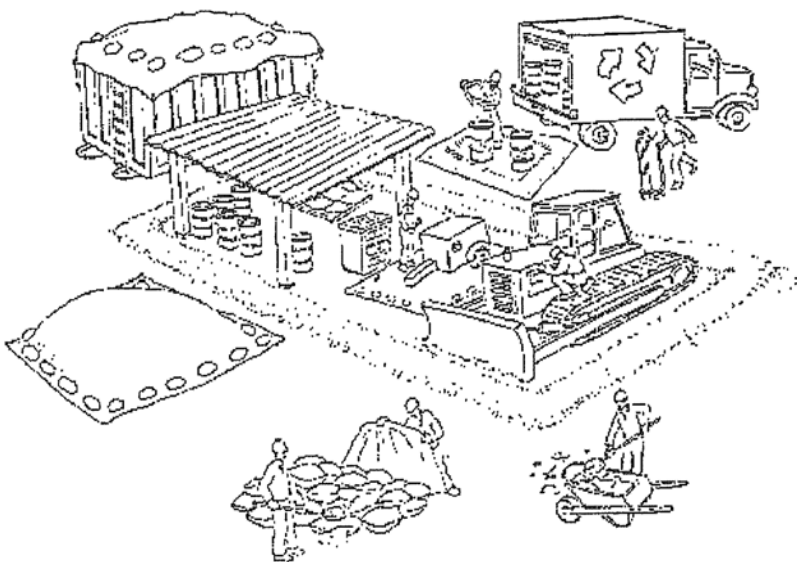
PROJECT:
VILLAS OF MUIR ST
25000 MUIR ST.
HAYWARD, CA

SHEET TITLE:

STORMWATER QUALITY
MANAGEMENT PLAN

SHEET NUMBER
C5
5 OF 5

Clean Bay Blue Print



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with **City of Fremont** requirements.

Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with **City of Fremont** Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
- ✓ Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- ✓ Cover all dumpsters with a tarp at the end of every work day or during wet weather.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- ✓ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Dispose of all containment and cleanup materials properly.
- ✓ Report any hazardous materials spills immediately! Dial 911

Construction Entrances and Perimeter

- ✓ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ✓ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it will not collect in the street.
- ✓ Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Earth moving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.

Dewatering operations

- ✓ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.



- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.

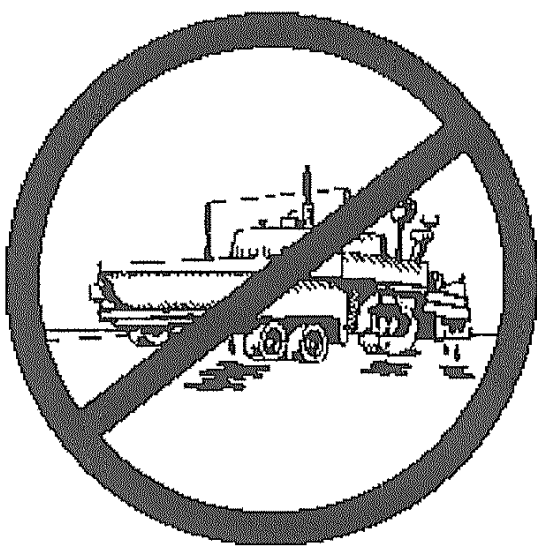
- ✓ Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.

- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work



- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- ✓ Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.

- ✓ Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.



- ✓ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.

Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.



- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

Landscape Materials

- ✓ Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✓ Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

REVISIONS

NO.	DESCRIPTION	BY	DATE	APPROVED

APPROVED

DATE	ADV	DATE

CLEAN BAY
BLUE PRINT

WORK ORDER NO.

SPECIFICATION NO.

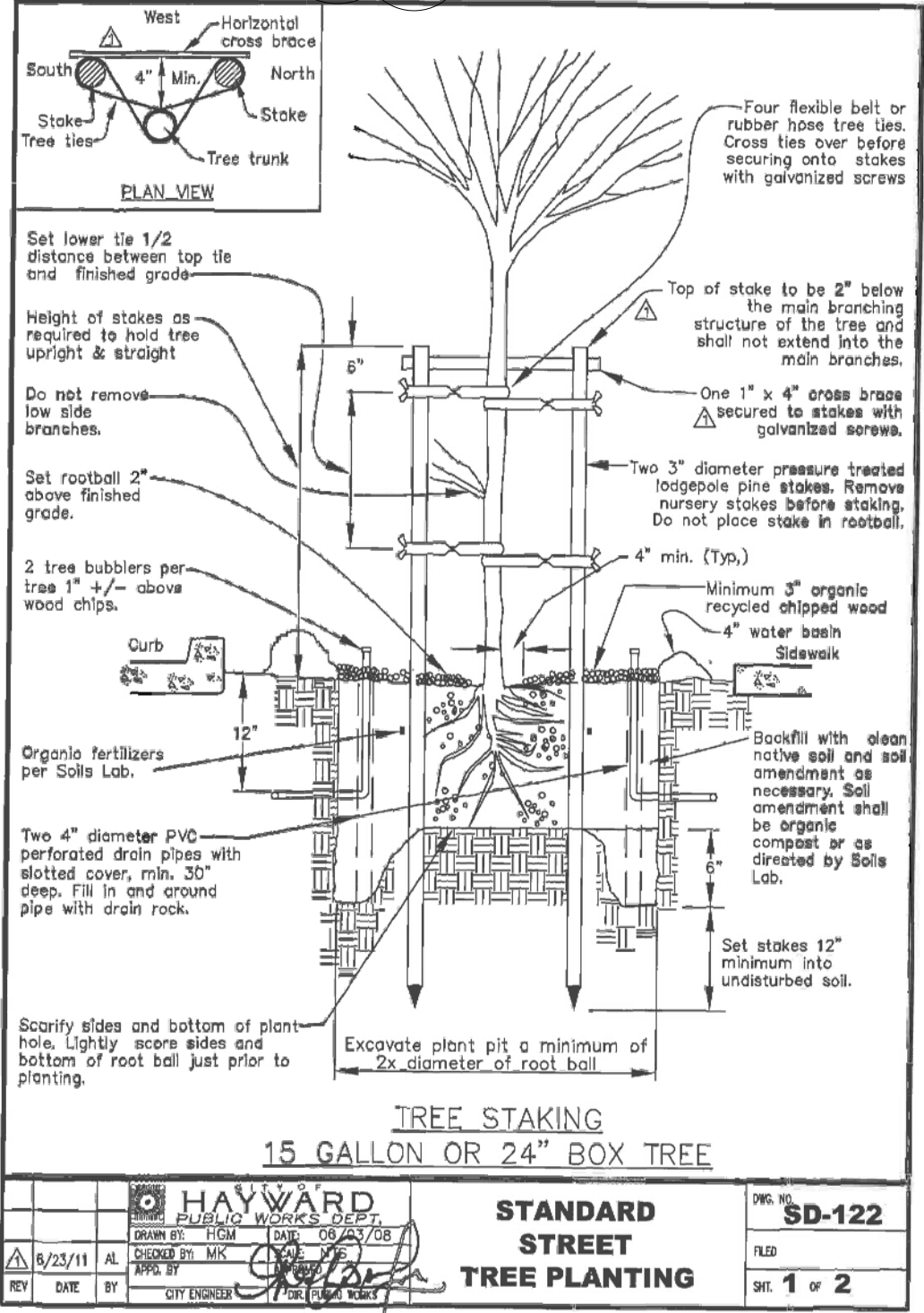
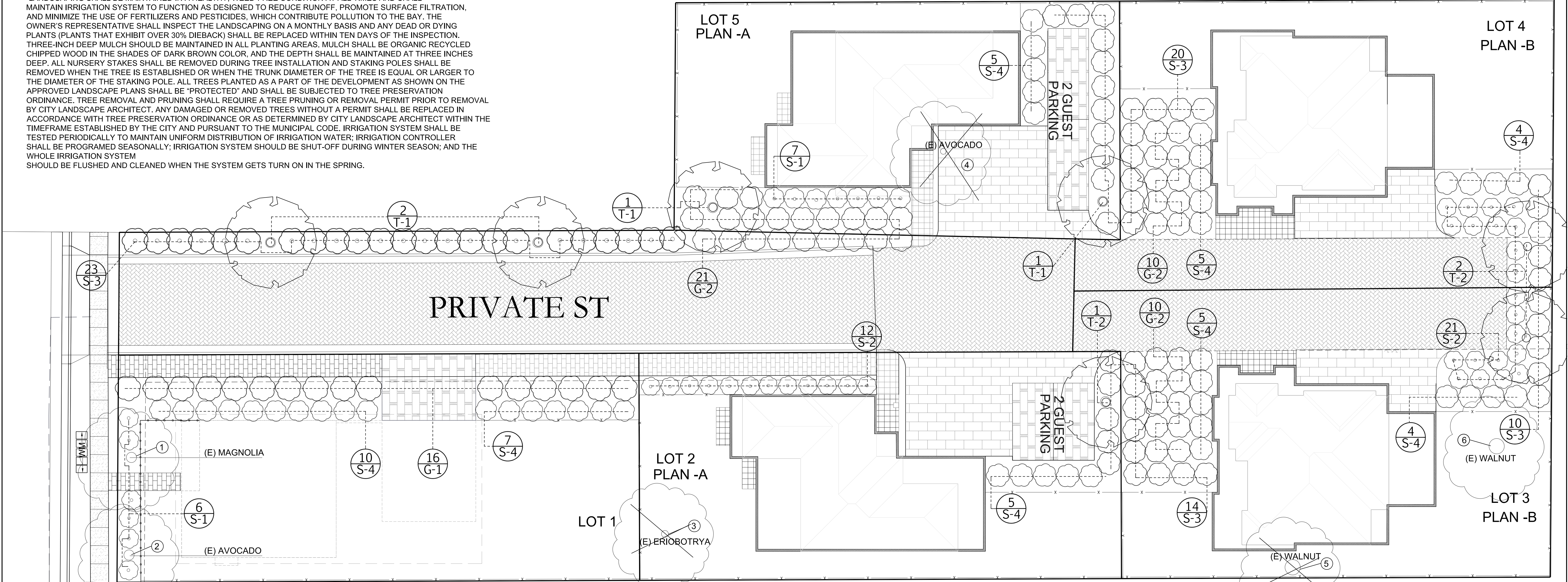
SHEET NO.
13 OF 29

FILE NO.

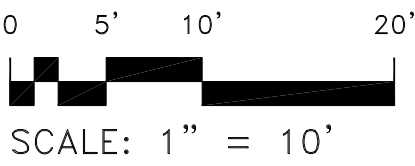
Storm drain polluters may be liable for fines of \$10,000 or more per day!

For references and more detailed information:
www.cleanwaterprogram.org
www.cabmphandbooks.com

LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY, WEED-FREE CONDITION AT ALL TIMES AND SHALL MAINTAIN IRRIGATION SYSTEM TO FUNCTION AS DESIGNED TO REDUCE RUNOFF, PROMOTE SURFACE FILTRATION, AND MINIMIZE THE USE OF FERTILIZERS AND PESTICIDES, WHICH CONTRIBUTE POLLUTION TO THE BAY. THE OWNER'S REPRESENTATIVE SHALL INSPECT THE LANDSCAPING ON A MONTHLY BASIS AND ANY DEAD OR DYING PLANTS (PLANTS THAT EXHIBIT OVER 30% DIEBACK) SHALL BE REPLACED WITHIN TEN DAYS OF THE INSPECTION. THREE-INCH DEEP MULCH SHOULD BE MAINTAINED IN ALL PLANTING AREAS. MULCH SHALL BE ORGANIC RECYCLED CHIPPED WOOD IN THE SHADES OF DARK BROWN COLOR, AND THE DEPTH SHALL BE MAINTAINED AT THREE INCHES DEEP. ALL NURSERY STAKES SHALL BE REMOVED DURING TREE INSTALLATION AND STAKING POLES SHALL BE REMOVED WHEN THE TREE IS ESTABLISHED OR WHEN THE TRUNK DIAMETER OF THE TREE IS EQUAL OR LARGER TO THE DIAMETER OF THE STAKING POLE. ALL TREES PLANTED AS A PART OF THE DEVELOPMENT AS SHOWN ON THE APPROVED LANDSCAPE PLANS SHALL BE "PROTECTED" AND SHALL BE SUBJECT TO TREE PRESERVATION ORDINANCE. TREE REMOVAL AND PRUNING SHALL REQUIRE A TREE PRUNING OR REMOVAL PERMIT PRIOR TO REMOVAL BY CITY LANDSCAPE ARCHITECT. ANY DAMAGED OR REMOVED TREES WITHOUT A PERMIT SHALL BE REPLACED IN ACCORDANCE WITH TREE PRESERVATION ORDINANCE OR AS DETERMINED BY CITY LANDSCAPE ARCHITECT WITHIN THE TIMEFRAME ESTABLISHED BY THE CITY AND PURSUANT TO THE MUNICIPAL CODE. IRRIGATION SYSTEM SHALL BE TESTED PERIODICALLY TO MAINTAIN UNIFORM DISTRIBUTION OF IRRIGATION WATER; IRRIGATION CONTROLLER SHALL BE PROGRAMED SEASONALLY; IRRIGATION SYSTEM SHOULD BE SHUT-OFF DURING WINTER SEASON; AND THE WHOLE IRRIGATION SYSTEM SHOULD BE FLUSHED AND CLEANED WHEN THE SYSTEM GETS TURN ON IN THE SPRING.



LANDSCAPE PLAN



(E) TREE CHART

NO	BOTANICAL & COMMON NAME	RECOMMENDATION
1	MAGNOLIA GRANDFLORA- MAGNOLIA	SAVE
2	AVOCADO	SAVE
3	ERIOBOTRYA - JAPONICA	REMOVE
4	AVOCADO	REMOVE
5	WALNUT	REMOVE
6	WALNUT	SAVE

PLANT LIST

TYPE	QUANT.	BOTANICAL & COMMON NAME	SIZE	WUCOLS	SPACING	HW
TREES						
T-1	4	LAGERSTROEMIA MUSOGEE 'CRAPE MYRTLE	15 G	LW	SEE PLAN	25'X12'
T-2	3	PISTACIA CHINENSIS - CHINESE PISTASHE	15 G	LW	SEE PLAN	30'X30'
GROUND COVERS						
G-1	16	ARCTOSTAPHYLOS CULTIVAR MONTEREY CARPET- MONTEREY MANZITA	1 GC	LW	5' O.C.	2'X6'
G-2	41	CEANOTHUS GRISEUS - DIAMOND HEIGHT- DIAMOND HEIGHT - CEANOTHUS	1 GC	LW	5' O.C.	1'X6'
SHRUBS						
S-1	6	CISTUS PURPUREVS ROCK ROSE	5 GC	LW	4' O.C.	4'X4'
S-2	33	NANDINA DOMESTIC' COMPACTA- DWARF HEAVENLY BAMBOO	5 GC	LW	4' O.C.	4'X3'
S-3	67	NERIUM OLEANDER 'PETITE PINK' OLEANDER	5 GC	LW	4' O.C.	5'X5'
S-4	45	RHAPHIOLEPIS UMBELLATA MINOR YEDDO HAWTHORN	5 GC	LW	3' O.C.	5'X5'

NOTES:

- 1- INSTALL 3" OF ORGANIC CHIPPED WOOD MULCH IN DARK BROWN COLOR IN ALL PLANTING AREAS.
- 2- AMEND THE EXISTING SOIL WITH 3" OF ORGANIC COMPOST TO 9" IN DEPTH.
- 3- PLANTING HOLE SHALL BE TWICE THE SIZE OF ROOT BALL FOR EACH PLANT, BACKFILL WITH ONE HALF NATIVE SOIL AND ONE HALF ORGANIC COMPOST, ADD SLOW RELEASE FERTILIZER AT TIME OF PLANTING.
- 4- STAKE AND IRRIGATION AT TREES PER CITY OF HAYWARD TREE PLANTING DETAIL SD-122
- 5- REQUIRED SOIL AMENDMENT SHALL BE ORGANIC COMPOST BASED ON SOIL ANALYSIS REPORT RECOMMENDATIONS.

WESLEY SAKAMOTO
LANDSCAPE ARCHITECT -LIC.# 1078
665 HOLLY HOCK DR.
SAN LEANDRO, CA. 94578
TEL: (510) 882-0864



PROJECT TITLE
VILLAS OF MUIR STREET
25000 MUIR STREET, HAYWARD, CA.

TITLE
LANDSCAPE PLAN

REVISIONS	DATE	BY	DRAWN	WS	SHEET L1 OF 23 SHEETS
			CHECKED	WS	
			DATE	OCT. 26, 2017	
			SCALE	AS NOTED	

LEGEND

- FEBCO 3/4" 825 BV REDUCED PRESSURE BACKFLOW PREVENTER WITH THERMAL BLANKET
- NEW 3/4" METER
- 711 APR RICHDEL REMOTE CONTROL VALVE 3/4"
- RAINBIRD NO. 1402 BUBBLER ON 1804 RAINBIRD BODY
- PEPCO QUADRA BUBBLER (GREEN PORTS) INSTALL IN PEPCO 645 VBX-12 BOX
- PEPCO QUADRA BUBBLER TUBING WITH INSECT PLUG
- RAINBIRD NO. ESP- SMTE SMART CONTROLLER, WITH SENSOR
- PVC LATERALS CLASS 200
- RAINBIRD NO. BV075 SS ISOLATION VALVE
- PVC SCHEDULE 40 SLEEVES - 2 TIME PIPE SIZE

LOT 5
PLAN -A

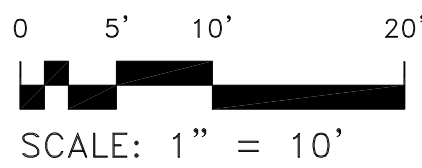
LOT 4
PLAN -B

PRIVATE ST

LOT 2
PLAN -A

PLAN -B

IRRIGATION PLAN



NOTES:

- 1- INSTALL BACFLOW PREVENTER WITH ENCLOSURE AND THERMAL BLANKET PER CITY OF HAYWARD DETAIL SD-202.
- 2- INSTALL ALL REMOTE CONTROL VALVES IN PLASTIC VALVE BOXES SET TO GRADE PER CITY OF HAYWARD DETAIL SD-202.
- 3- INSTALL RAIN SENSOR ABOVE CONTROLLER.
- 4- PROVIDE POWER TO CONTROLLER LOCATION.
- 5- INSTALL PVC SCHEDULE 40 SLEEVES UNDER ALL PAVED AREAS. SLEEVES SHALL BE 24" DEEP UNDER DRIVEWAY AND 8" UNDER WALKWAYS.
- 6- TIE IN BACFLOW PREVENTER TO MAIN LINE TO RESIDENCES WITH SCHEDULE 40 PVC MAIN AND RAINBIRD #BV075 SS ISOLATION VALVE IN PLASTIC VALVE BOX.

VALVE CHART

VALVE NO.	SIZE	IRRIGATION TYPE	GPM	PRESSURE
1A	3/4"	DRIP	4.6	35 PSI
1B	3/4"	BUBBLER	1.0	35 PSI
1C	3/4"	DRIP	2.9	35 PSI
2A	3/4"	DRIP	2.5	35 PSI
2B	3/4"	DRIP	.4	35 PSI
3A	3/4"	BUBBLER	.5	35 PSI
3B	3/4"	DRIP	3.3	35 PSI
3C	3/4"	DRIP	1.6	35 PSI
4A	3/4"	DRIP	1.6	35 PSI
4B	3/4"	DRIP	1.25	35 PSI
4C	3/4"	BUBBLER	.5	35 PSI
5A	3/4"	DRIP	2.3	35 PSI
5B	3/4"	DRIP	3.0	35 PSI
5C	3/4"	BUBBLER	1.0	35 PSI

FOR IRRIGATION AND WATER SERVICES
WHERE REQUIRED BY CCR, TITLE 17, § 7604

PLAN VIEW

PROFILE VIEW

NOTES:

1. ALL BACFLOW PREVENTER ASSEMBLIES AND THEIR ORIGINATIONS SHALL BE LIMITED TO THOSE SPECIFIED ON THE LIST OF APPROVED BACFLOW PREVENTER ASSEMBLIES BY THE UNIVERSITY OF SOUTHERN CALIFORNIA'S FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, 2002 OR LATER EDITION.
2. THE BACFLOW DEVICE SHALL BE LOCATED (A) A MAXIMUM OF 6' FROM BACK OF SIDEWALK (TYP.), (B) WHERE SCREENING IS REQUIRED, A MAXIMUM OF 30' FROM BACK OF SIDEWALK OR (C) AT A LOCATION DETERMINED BY THE WATER DISTRIBUTION CROSS CONNECTION PERSONNEL IN THE FIELD.
3. CONCRETE PAD SHALL BE CLASS 8 CONCRETE, 4" MINIMUM THICKNESS, REINFORCED WITH WELDED WIRE MESH.
4. WHERE SERVICE LINES SMALLER THAN 4" PASS UNDER A SIDEWALK, TYP. SHALL BE INSTALLED IN A PVC CHANNEL DUCT AT LEAST 1" LARGER THAN THE SERVICE LINE AND EXTENDS AT LEAST 6" BEYOND THE EDGES OF THE SIDEWALK.
5. METAL TUBES EXPOSED TO SOIL OR CONCRETE SHALL BE COATED WITH AN SCOTCH-WRAP PIPE PRIMER AND WRAPPED WITH 3M SCOTCH-WRAP NO. 31 BLACK PVC TAPE (4" OVERLAP).
6. THE PORTION OF THE TRENCH FROM BACK OF METER TO THE DEVICE SHALL REMAIN OPEN UNTIL WATER DISTRIBUTION CROSS CONNECTION PERSONNEL HAVE INSPECTED AND APPROVED THE INSTALLATION.
7. THE TESTING SIDE OF THE DEVICE SHALL HAVE A MINIMUM 8" OF CLEARANCE FROM OBSTRUCTIONS (NON-TRIMMABLE LANDSCAPING, BUILDINGS, UTILITIES, ETC.). ALL PIPES BACFLOW DEVICES SHALL BE BURNISHED BY A MINIMUM OF 10'.
8. BACFLOW ASSEMBLIES SMALLER THAN 2" SHALL BE COVERED WITH AN INFLATION BLANKET, MIN R-13, GREEN, WEATHERGUARD OR EQUAL, AND PROTECTED BY A LOCKABLE WIRE GAGE ENCLOSURE MOUNTING TO THE PAD. THE ENCLOSURE SHALL BE PRIMER POWDER COATED GREEN AND SECURED WITH A DOUBLE-LOCKED GALVANIZED CHAIN SUCH THAT EITHER LOCK CAN RELEASE THE CHAIN. ONE LOCK WILL BE SUPPLIED BY CITY.
9. BACFLOW ASSEMBLIES 2" AND LARGER SHALL BE SECURED BY A DOUBLE-LOCKED, GALVANIZED STRAND-PI UNLATCH CHAIN THAT LOCKS THE VALVE HANDWHEEL IN THE OPEN POSITION AND EITHER LOCK CAN RELEASE THE CHAIN. ONE LOCK WILL BE SUPPLIED BY CITY. IN AREAS PRONE TO VANDALISM, CITY MAY ADDITIONALLY REQUIRE A LOCKABLE PROTECTIVE ENCLOSURE (SEE NOTE 8).
10. SOLARIS MAY BE REQUIRED BY CITY TO PROVIDE ADDITIONAL PROTECTION (SEE SD-202 FOR SOLARIS DETAIL).
11. BACFLOW ASSEMBLIES INSTALLED ON PORTABLE WATER SERVICES SHALL BE LEAD FREE.
12. BACFLOW ASSEMBLIES SHALL BE AT LEAST THE SIZE OF THE WATER METER OR THE WATER SUPPLY LINE ON THE PROPERTY SIDE OF THE METER, WHICHEVER IS LARGER.

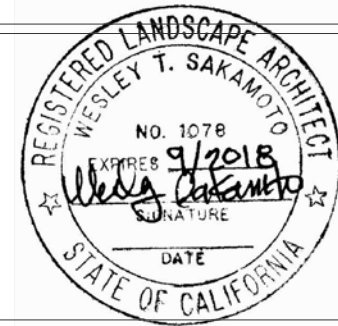
HAYWARD
PUBLIC WORKS DEPT.
DATE: 11/20/12
BY: [Signature]
CITY ENGINEER

STANDARD - REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTION ASSEMBLIES

SD-202

1 of 1

WESLEY SAKAMOTO
LANDSCAPE ARCHITECT -LIC.# 1078
665 HOLLY HOCK DR.
SAN LEANDRO, CA. 94578
TEL: (510) 882-0864



PROJECT TITLE

VILLAS OF MUIR STREET
25000 MUIR STREET, HAYWARD, CA.

TITLE

IRRIGATION PLAN

REVISIONS DATE BY

DRAWN WS

CHECKED WS

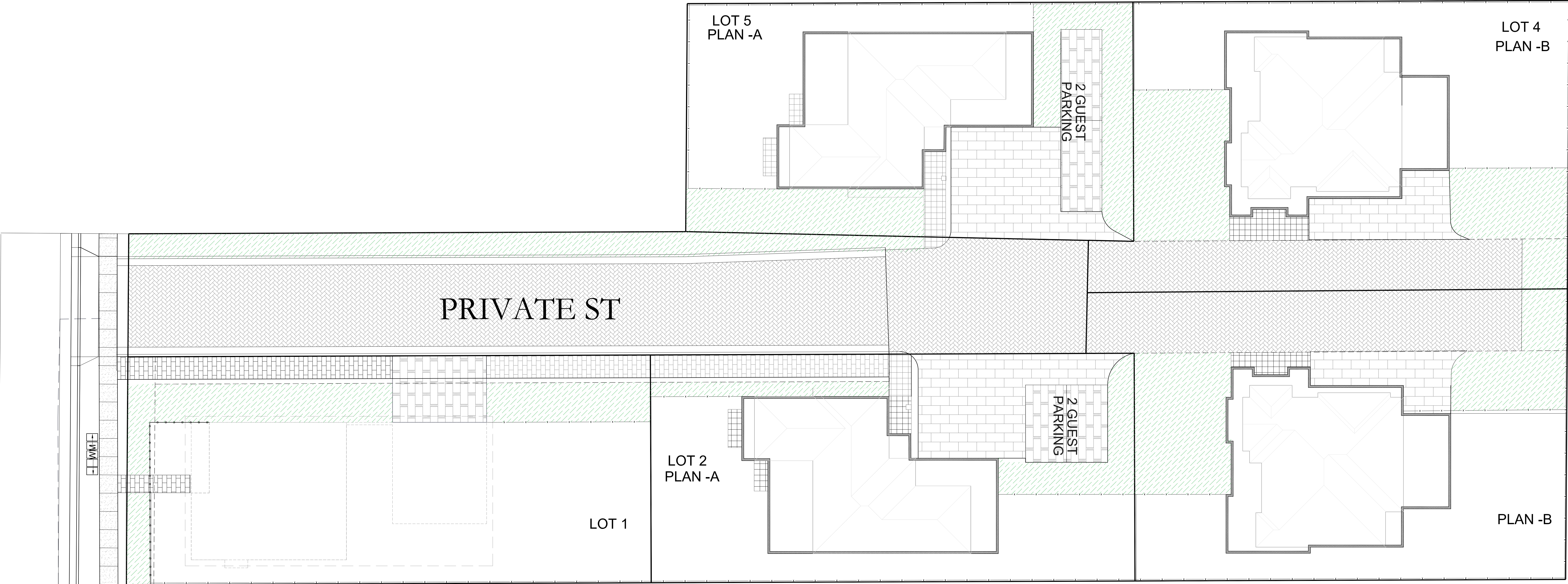
DATE OCT. 26, 2017

SCALE AS NOTED

SHEET

L2

OF 23 SHEETS



HYDRO ZONE PLAN

 LOW WATER USE AREA

HYDRO ZONE #	PLANT FACTOR	IRRIGATION	IRRIGATION	ETAF	LANSCAPE	ETAF X	ESTIMATED TOTAL
PLANTING DISC.	PF	METHOD	EFFICIENCY	(PF/IE)	AREA S.F.	AREA	WATER USE (ETWS)
REGULAR LANDSCAPE							
2	.2	DRIP	.81	.25	5410 S.F.	1352.5	37059
TOTAL					5410 S.F.	1352.5	
					ETWU		37059
					MAWA		81529

MAWA = (ET)(0.62)(ETAF X LA)

(44.2)(0.62)(.55 X 5410) = 81529 GAL.

ETWU = (ET)(0.62)(ETAF X LA)

(44.2)(0.62)(.25 X 5682) = 37059 GAL.

REGULAR LANDSCAPE AREA	
TOTAL ETAF X AREA	5410 S.F.
TOTAL AREA	5410 S.F.
PF / IE	.25

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PROJECT TITLE
VILLAS OF MUIR STREET
25000 MUIR STREET, HAYWARD, CA.

TITLE
HYDRO ZONE PLAN

REVISIONS	DATE	BY	DRAWN	WS
			CHECKED	WS
			DATE	OCT. 26 2017
			SCALE	AS NOTED

SHEET
L3
OF 23 SHEETS



Lot 2



Lot 3



Lot 4



Lot 5



CITY OF HAYWARD

Hayward City Hall
777 B Street
Hayward, CA 94541
www.Hayward-CA.gov

File #: MIN 18-008

DATE: January 11, 2018

TO: Planning Commission

FROM: Interim Development Services Director

SUBJECT

Minutes of the Planning Commission Meeting of December 14, 2017

RECOMMENDATION

That the Planning Commission approve the minutes of the Planning Commission meeting of December 14, 2017

ATTACHMENTS

Attachment I Draft Minutes of December 14, 2017



**MINUTES OF THE REGULAR MEETING OF THE
CITY OF HAYWARD PLANNING COMMISSION
Council Chambers
Thursday, December 14, 2017, 7:00 p.m.
777 B Street, Hayward, CA 94541**

MEETING

A regular meeting of the Hayward Planning Commission was called to order at 7:00 p.m. by Chair Enders.

CALL TO ORDER Pledge of Allegiance

Commissioner Schott led in the Pledge of Allegiance.

ROLL CALL

Present: COMMISSIONERS: Willis Jr., Bonilla Jr., Schott, McDermott, Faria
CHAIRPERSON: Enders
Absent: COMMISSIONER: Goldstein

Staff Members Present: Brick, Buizer, Langbauer, Madhukansh-Singh, Schmidt, McNeeley, Hinkle, Fakhrat

General Public Present: 6

ELECTION OF OFFICERS:

The Planning Commission held their annual election of officers.

Chair Enders made a motion to elect Commissioner Goldstein as Chair, Commissioner Faria as Vice Chair, and Commissioner Bonilla Jr. as Secretary. Commissioner McDermott seconded the motion.

The motion passed with the following vote:

AYES:	Commissioners Willis Jr., Bonilla Jr., Schott, McDermott, Faria Chair Enders
NOES:	None
ABSENT:	Goldstein
ABSTAIN:	None

PUBLIC COMMENT:

There were none.



**MINUTES OF THE REGULAR MEETING OF THE
CITY OF HAYWARD PLANNING COMMISSION
Council Chambers
Thursday, December 14, 2017, 7:00 p.m.
777 B Street, Hayward, CA 94541**

PUBLIC HEARINGS:

For agenda item No. 1, the decision of the Planning Commission is final unless appealed. The appeal period is 10 days from the date of the decision. If appealed, a public hearing will be scheduled before the City Council for final decision.

For agenda item No. 2 the Planning Commission may make a recommendation to the City Council.

1. Proposed Conditional Use Permit with Site Plan Review to allow the construction of an 8,193 square-foot canopy addition to an existing 15,606 square foot plastic bag manufacturing plant to accommodate the major outdoor storage use for a site located at 3202 and 3208 Diablo Avenue. Application No. PL-2017-02725. Eugene Loh (Applicant) on behalf of Jesse Tseng. (APNs 439-0075-036-02 and 439-0075-035-02).

Assistant Planner Langbauer provided a synopsis of the staff report and presented a PowerPoint presentation.

In response to Commissioner Schott's question whether there were any objections to the project from the local business committee, Assistant Planner Langbauer noted that there were none.

Commissioner McDermott asked staff if plastic bags were currently being stored inside the two buildings and whether adding the outdoor storage would create additional space inside the buildings. Assistant Planner Langbauer indicated that this was correct.

Commissioner Willis Jr. inquired about what type of material would be used to build the canopy and asked whether this would be made of canvas. He mentioned that the staff report indicated that the canopy would be made of durable materials.

Vice Chair Faria asked if the applicant could respond to the question about what material the awning would be made of.

Project applicant Jesse Tseng stated that his architect was on his way to the Planning Commission meeting and that the architect would be able to address the question.

Commissioner Willis Jr. supported the staff recommendation and requested that the Planning Commission be informed at a later time of the material that the canopy would be made of.



**MINUTES OF THE REGULAR MEETING OF THE
CITY OF HAYWARD PLANNING COMMISSION
Council Chambers
Thursday, December 14, 2017, 7:00 p.m.
777 B Street, Hayward, CA 94541**

Vice Chair Faria opened and closed the public hearing at 7:13 p.m.

Commissioner McDermott made the motion to approve the Conditional Use Permit with Site Plan Review, based on the analysis set forth in the staff report and including the Findings and Conditions highlighted in Attachment III. Commissioner Willis Jr. seconded the motion.

The motion passed with the following vote:

AYES:	Commissioners Willis Jr., Bonilla Jr., Enders, Schott, McDermott Vice Chair Faria
NOES:	None
ABSENT:	Goldstein
ABSTAIN:	None

2. Proposed Zoning Text Amendment to Chapter 10, Article 1 (Zoning Ordinance) to amend the height limit for the AT, Air Terminal District; Application No. 201706359. The proposed amendment would impact all AT District properties (AT-Commercial, AT-Aviation Commercial, AT-Operations, AT-Recreational, and AT-Industrial Park) located within the boundaries of the Hayward Executive Airport; Application No. 201706359; City of Hayward (Applicant/Owner).

Commissioner Schott asked legal counsel if he should recuse himself from the public hearing as he had a hangar at the Hayward Executive Airport. Assistant City Attorney Brick noted that Commissioner Schott did not need to recuse himself as the economic interest he had in leasing the city structure was not impacted by the proposed regulation.

Senior Planner Schmidt provided a synopsis of the staff report and presented a PowerPoint Presentation. She noted that since the property is owned by the City, any land that is developed would result in revenues to the City.

Commissioner Schott asked if the issue for potential development of the vacant lot was along Hesperian Boulevard or along Corsair Boulevard. Airport Manager McNeeley responded that it was primarily along Hesperian Boulevard and the lot behind La Quinta, which was currently vacant.

Mr. McNeeley noted for Commissioner Schott that the maximum height will be determined when the Federal Aviation Administration (FAA) analyzes the Form 70 and Form 60 that will be submitted. He added that staff did a quick calculation and came up with a height of approximately 140 feet total, which could be allowable under the Part 77 airspace regulations. Mr. McNeeley indicated that roughly a nine to ten story hotel could be accommodated. He mentioned that the areas at the end of the runway were more



**MINUTES OF THE REGULAR MEETING OF THE
CITY OF HAYWARD PLANNING COMMISSION
Council Chambers
Thursday, December 14, 2017, 7:00 p.m.
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restrictive, and that the areas that staff is looking into as potential development sites along Hesperian Boulevard are to the side and less restrictive.

Commissioner Willis Jr. asked if staff was aware of any decisions made by the FAA regarding height limits for other airports in the vicinity, such as Livermore. He specifically asked if any applications for height limits had been rejected or amended by the FAA.

Airport Manager McNeeley indicated that he was not aware of any decisions for local airports such as Livermore; however, he noted that approximately 15 years ago there was an issue with an airport in San Diego where the contractor built a skyscraper too tall despite the airport restrictions and as a result, had to remove a couple stories of the building after construction.

Mr. McNeeley clarified for Commissioner Willis Jr. that the restrictive areas are the ends of the runways where the planes are landing and taking off; he said that to the sides, there is a 7:1 ratio thereby making it less restrictive to the sides of the runways which provides for more flexibility on height.

Commissioner Willis Jr. asked if the request for increase in height is denied by the FAA, then will the developer be amenable to constructing a building with a lower height. Mr. McNeeley confirmed that this was correct.

Planning Manager Buizer clarified that the staff recommendation before the Planning Commission, which will also be presented to the City Council, is not to establish a height limit. The height limit will remain at 40 feet, the recommended text amendment is to provide flexibility to increase the height limit. She emphasized that when development proposals do come in, there will be a site plan review application that will be thoroughly evaluated. Ms. Buizer underscored that the proposed text amendments would not change the height requirements but would allow for more flexibility, especially if the City has a proposal in the future for a beneficial project offering a better community amenity or a better site layout.

Vice Chair Faria opened and closed the public hearing at 7:26 pm

Commissioner Willis Jr. made a motion per the staff recommendation that the City Council approve the proposed zoning text amendments, subject to the Findings for Approval. Commissioner Schott seconded the motion.



**MINUTES OF THE REGULAR MEETING OF THE
CITY OF HAYWARD PLANNING COMMISSION
Council Chambers
Thursday, December 14, 2017, 7:00 p.m.
777 B Street, Hayward, CA 94541**

AYES: Commissioners Willis Jr., Bonilla Jr, Enders, Schott, McDermott
Vice Chair Faria
NOES: None
ABSENT: Goldstein
ABSTAIN: None

APPROVAL OF MINUTES

3. Approval of minutes of the Planning Commission Meeting of November 9, 2017
Commissioner McDermott made a motion, seconded by Commissioner Willis Jr., to approve the Planning Commission Meeting Minutes of November 9, 2017. The motion passed with the following votes:

6:0:1 (AYES: Willis Jr., Bonilla Jr., Enders, Schott, McDermott, Faria; ABSENT: Goldstein.)

COMMISSION REPORTS

Oral Report on Planning and Zoning Matters:

Planning Manager Buizer wished everyone a wonderful holiday and reminded everyone of the City Hall closure starting December 22, 2017 through January 1, 2018.

Commissioners' Announcements, Referrals:

Commissioner Enders requested that staff provide an update possibly around spring on the affordable housing ordinance.

ADJOURNMENT

Vice Chair Faria adjourned the meeting at 7:28 p.m.

APPROVED:

Ray Bonilla, Jr. Secretary
Planning Commission



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ATTEST:

Avinta Madhukansh-Singh, Management Analyst
Office of the City Clerk