

CITY OF HAYWARD

Hayward City Hall
777 B Street
Hayward, CA 94541
www.Hayward-CA.gov



CITY OF
HAYWARD
HEART OF THE BAY

Agenda

Thursday, January 23, 2020

7:00 PM

Council Chambers

Planning Commission

MEMBERS OF THE AUDIENCE WISHING TO ADDRESS THE PLANNING COMMISSION

Obtain a speaker's identification card, fill in the requested information, and give the card to the Commission Secretary. The Secretary will give the card to the Commission Chair who will call on you when the item in which you are interested is being considered. When your name is called, walk to the rostrum, state your name and address for the record and proceed with your comments. The Chair may, at the beginning of the hearing, limit testimony to three (3) minutes per individual and five (5) minutes per an individual representing a group of citizens for organization. Speakers are expected to honor the allotted time.

CALL TO ORDER Pledge of Allegiance: Chair Bonilla**ROLL CALL****PUBLIC COMMENTS**

The PUBLIC COMMENTS section provides an opportunity to address the Planning Commission on items not listed on the agenda. The Commission welcomes your comments and requests that speakers present their remarks in a respectful manner, within established time limits and focus on issues which directly affect the City or are within the jurisdiction of the City. As the Commission is prohibited by State law from discussing items not listed on the agenda, your item will be taken under consideration and may be referred to staff for further action.

ACTION ITEMS

The Commission will permit comment as each item is called for Public Hearing. Please submit a speaker card to the Secretary if you wish to speak on a public hearing item.

PUBLIC HEARING

For agenda item No. 1 the Planning Commission may make a recommendation to the City Council.

For agenda item No. 2, the decision of the Planning Commission is final unless appealed. The appeal period is 10 days from the date of the decision. If appealed, a public hearing will be scheduled before the City Council for final decision.

1. [PH 20-003](#) Proposed Commercial Cannabis Retail Dispensary with Ancillary Retail Delivery within an existing building located at 1147 B Street (Assessor Parcel No. 427-0011-021-00), Requiring Approval of Conditional Use Permit Application No. 201806127. Esther Lopez (Applicant); Gregory Varr (Property Owner).

Attachments: [Attachment I Staff Report](#)
[Attachment II Findings](#)
[Attachment III Conditions of Approval](#)
[Attachment IV Project Plans](#)
[Attachment V Operating Plan](#)

2. [PH 20-004](#) Proposed Cannabis Cultivation Use Located at 3166 Diablo Avenue (Assessor Parcel No. 439-0075-039-00) Requiring Approval of Conditional Use Permit Application No. 201805426. Hidden Farms (Applicant); Ancile Development Holdings LLC (Property Owners).

Attachments: [Attachment I Staff Report](#)
[Attachment II Findings](#)
[Attachment III Conditions of Approval](#)
[Attachment IV Project Plans](#)
[Attachment V Business Plan](#)

APPROVAL OF MINUTES

3. [MIN 20-011](#) Minutes of the Planning Commission Meeting of January 9, 2020

Attachments: [Attachment I Draft Minutes of January 9, 2020](#)

COMMISSION REPORTS

Oral Report on Planning and Zoning Matters

Commissioners' Announcements, Referrals

ADJOURNMENT

NEXT MEETING, FEBRUARY 13, 2020, 7:00PM

PLEASE TAKE NOTICE

That if you file a lawsuit challenging any final decision on any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the City's public hearing or presented in writing to the City Clerk at or before the public hearing.

PLEASE TAKE FURTHER NOTICE

That the City Council has adopted Resolution No. 87-181 C.S., which imposes the 90 day deadline set forth in Code of Civil Procedure section 1094.6 for filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure section 1094.5.

****Materials related to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the Permit Center, first floor at the above address. Copies of staff reports for agenda items are available from the Commission Secretary and on the City's website the Friday before the meeting.****

Assistance will be provided to those requiring accommodations for disabilities in compliance with the Americans with Disabilities Act of 1990. Interested persons must request the accommodation at least 48 hours in advance of the meeting by contacting the City Clerk at (510) 583-4400 or TDD (510) 247-3340.



CITY OF HAYWARD

Hayward City Hall
777 B Street
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File #: PH 20-003

DATE: January 23, 2020

TO: Planning Commission

FROM: Planning Manager

SUBJECT

Proposed Commercial Cannabis Retail Dispensary with Ancillary Retail Delivery within an existing building located at 1147 B Street (Assessor Parcel No. 427-0011-021-00), Requiring Approval of Conditional Use Permit Application No. 201806127. Esther Lopez (Applicant); Gregory Varr (Property Owner).

RECOMMENDATION

That the Planning Commission recommend that the City Council approve the Conditional Use Permit application for the proposed commercial cannabis retail dispensary with ancillary retail delivery use, based on the analysis set forth in this report and the required Findings (Attachment II), and subject to the Conditions of Approval (Attachment III).

SUMMARY

The applicant, Aunty Honeys, is seeking Conditional Use Permit approval and a reduction of the 600-foot sensitivity buffer to establish a commercial cannabis retail dispensary with ancillary retail delivery within a vacant building located at 1147 B Street. The proposed use would provide cannabis and cannabis-related products to the members of the public that are 21 years and older for recreational use, and 18 years and older for medical use, as allowed by the State. The proposed project includes a security plan, odor control plan and improvements to the retail tenant space and the parcel.

ATTACHMENTS

Attachment I	Staff Report
Attachment II	Findings
Attachment III	Conditions of Approval
Attachment IV	Project Plans
Attachment V	Operating Plan

File #: PH 20-003



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BACKGROUND

In 2015, the State of California enacted a comprehensive regulatory framework (AB 243, AB 266, SB 643) for the licensing and enforcement of cultivation, manufacturing, retail sale, transportation, storage, delivery and testing of medicinal cannabis in California. The legislation was collectively known as the Medical Cannabis Regulation and Safety Act (MCRSA).

On November 8, 2016, the voters of the state adopted Proposition 64, the Adult Use of Marijuana Act (AUMA), which legalized adult cannabis use, possession and cultivation for non-medicinal purposes and created a regulatory framework for non-medicinal cannabis businesses. The intent of MCRSA and AUMA was to establish a comprehensive regulatory system for cultivation, production and sale of cannabis and cannabis products.

On June 15, 2017, the State enacted Senate Bill 94, the Medicinal and Adult-Use Cannabis Regulation and Safety Act (MAUCRSA), which consolidated provisions of MCRSA into the regulatory framework of the AUMA, creating a unified regulatory system for medicinal and

adult use cannabis. MAUCRSA specifically authorized local jurisdictions to adopt and enforce local ordinances to regulate cannabis businesses licensed pursuant to state law, including local zoning and land use requirements, business license requirements, and one or more types of businesses licensed pursuant to MAUCRSA.

On October 30, 2017¹ and November 28, 2017², respectively, the City Council enacted regulatory and land use ordinances authorizing cannabis businesses within the City of Hayward subject to compliance with local and state regulations. At their October meeting, the Council also established a request for proposal process by which the City would select commercial cannabis businesses. The process involved four stages to help differentiate applicants who meet the City's desired set of qualifications. These stages include:

1. Criminal Background Investigation
2. Competitive Scoring and Ranking
3. Proposal Interviews
4. City Council Approval

The RFP process commenced on December 8, 2017, with applications due on January 12, 2018. At that time, the City received 77 total applications for commercial cannabis companies. Four of these applications did not meet the background check requirements of the City's cannabis program; however, 73 applications were then sent to a neutral, third party reviewer hired by the City to evaluate and score the proposals. Following an independent review by the outside consultants and interviews by key City staff, the City Manager recommended to City Council the award of commercial cannabis licenses to eleven commercial operators for land use activities that include cultivation, manufacturing, distribution, testing labs, delivery and retail. Once selected, applicants had six months to file their land use applications. The applicant, Auntie Honeys, was one of the three companies selected for a commercial cannabis retail dispensary permit.

On March 19, 2019³, the City Council adopted Ordinance Nos. 19-06 and 19-07, reducing the overconcentration buffer between retail dispensaries from 1,000 feet to 500 feet; and, provided Planning Commission the ability to waive or reduce the 600-foot buffer between commercial cannabis uses and sensitive uses, subject to special findings. The regulations were intended to decrease distance requirements in the Downtown area where lots are smaller and uses are closer to each other by design. Although the proposed project meets the 500-foot overconcentration buffer, the project site is in proximity of two sensitive land uses and as such, additional findings are required to be made as part of the Conditional Use Permit.

Public Outreach. On November 30, 2018, an initial Notice of Application Receipt for the project application was sent to property owners, residents, and businesses within a 300-foot radius of the project site.

¹ October 30, 2017 City Council Minutes

<https://hayward.legistar.com/MeetingDetail.aspx?ID=570110&GUID=1F62F795-56FA-4667-9BD1-E5FDA22CB8C5&Options=info&Search=>

² November 28, 2017 City Council Minutes

<https://hayward.legistar.com/MeetingDetail.aspx?ID=573134&GUID=C82D348A-0412-4741-854C-23697F2AE444&Options=info&Search=>

³ March 19, 2017 City Council Minutes

<https://hayward.legistar.com/DepartmentDetail.aspx?ID=30850&GUID=ABB40C93-B4A0-406D-809B-03936402537F&Mode=MainBody>

Following Notice of Receipt of Application, the City received two items of written correspondence on the project: one email from a member of the public who expressed concern with the dispensary and the possibility that it could result in “risky” behavior; and a letter from the Hayward Chamber of Commerce, who expressed support for the proposed cannabis dispensary in downtown Hayward. Following this correspondence, the applicant reached out to local businesses in the area and provided them a written letter describing the proposed day to day operations of the dispensary.

On January 7, 2020, a Notice of Public Hearing for the Planning Commission meeting was sent to property owners, residents, and businesses within 300-feet of the project site and published in The Daily Review newspaper. No additional public feedback has been received since the Notice was sent.

PROJECT DESCRIPTION

Existing Conditions. The .41-acre parcel currently has two commercial structures, one structure is about \pm 2,300 square feet (sq. ft.) and the other structure is about \pm 3,578 sq. ft. Both structures front B Street and are separated by a shared driveway approach, which provides access to the common delivery area located to the rear of the parcel. Per the County assessor, the structures were constructed of a masonry material in 1955.

Currently, one of the buildings is vacant, and the other building is divided and occupied by a Thai food restaurant and a Barbershop. As proposed, Auntie Honeys would occupy the \pm 3,578 sq. ft. vacant commercial building located at 1147 B Street, previously a dry-cleaning business. Surrounding land uses include a combination of commercial, office, and service uses. Including a church, a chapel, a nail salon, other retail uses, restaurants, cafes and vacant tenant spaces.

Proposed Project. As proposed, the retail dispensary with ancillary delivery would occupy an existing \pm 3,578 square foot building located at 1147 B Street. The proposed retail dispensary would sell and deliver cannabis related products such as edibles, oils and concentrates for both recreational and medical use and operate between the hours of 6a.m. to 10 p.m., seven days a week. If approved, the hours for delivery service would run concurrently with the dispensary hours of operation.

As shown in the floorplan, two-thirds of the tenant space would be open to the public, and the rear third of the tenant space would be utilized as an inventory control room, office, and storage. The public entrance would be along the B Street frontage, and the vendor entrance would be located to the rear of the building, only accessible by way of the private rear yard and by way of a security fence. Additionally, there would be a front desk for customers to check-in, which would be setback from the retail area and a series of display cases to minimize visibility of the products from the entrance and storefront windows.

The applicant is also proposing several exterior modifications, which include the installation of a new security camera system, security lighting, a new trash enclosure, replacement of the existing fence fronting on B Street, replacement of the existing awning, new paint for the exterior walls, new charcoal filtration system, addition of a security fence to the rear of the

building, and a proposed mural on the right side of the building. A copy of the site and building plans are included (Attachment IV) and a copy of the proposed business/operating plan is included (Attachment V).

Parking and Loading. Pursuant to Chapter 6 of the Development Code. Division 2.2.070(f) additional parking is not required for commercial uses under 5,000 sq. ft⁴. However, the site has access to on-street parking and is immediately adjacent to Municipal Parking Lot #4, which provides customers with four hours of free parking.

The applicant is proposing to make some minor parking lot improvements on-site that include the striping for two stalls to park delivery vehicles when they are not in service. Staff has included several conditions of approval that indicate at no times shall the delivery vehicles be stationed on public right-of-way (Condition # 7); and to prohibit delivery or delivery retail vehicles stationed on site overnight (Condition# 9).

Local Hiring and Training. Per the business proposal submitted on January 2018, Aunty Honeys has committed to prioritizing the hiring of local Hayward residents. Specifically, the business would like to hire 19 staff members, including a Director of Security, Director of Compliance, Director of Wellness, Community Manager, two Relations Managers, Quality Assurance Manager, Inventory Manger, Operations Manager, Beautification Manger, two community service agents, four budtenders, and three security guards.

Prior to beginning work, all employees would be required to complete a five-module training course. Trainings to include security and diversion prevention, sanitation and safety, labeling and packaging, transportation, and inventory. Once employed, employees would be required to complete several cannabis trainings such as: patient-focused certification, diversity training, and safety and health in the cannabis industries.

Security Plan. The applicant submitted a detailed security plan to ensure public and product safety. According to the security plan, a minimum of two guards would be on site during the hours of operation. One security guard would be stationed at the main entrance to check identification cards for all individuals entering the establishment to ensure that they are 21 years or older (and 18 years or older with a medical cannabis card). The second security guard would walk the premise to deter loitering or consumption on site or within the adjacent municipal parking lot.

Other proposed security measures include 360 view cameras located within the interior and exterior of the building. The site would also have an alarm system, motion detection lighting, and a Security Plan, which addresses shipping, receiving, transactions, product storage, and inventory procedurals. All proposed security measures have been reviewed and deemed appropriate by the Hayward Police Department.

Odor Control Plan. Pursuant to the odor control plan submitted by the applicant, the proposed dispensary would incorporate fans and a carbon filter system, reducing the possibility of

⁴ Downtown Main Street Division 2.2.070(f)
<https://www.hayward-ca.gov/sites/default/files/Hayward%20Downtown%20Specific%20Plan.pdf>

detectable cannabis odor. Furthermore, per State regulations, Auntie Honeys would only receive cannabis products in final package form, meaning the product would be bagged and sealed at a separate location. No cannabis products sold at the dispensary would be exposed to open air thereby reducing the possibility of detectable cannabis odor.

Pursuant to the Conditions of Approval, the proposed fans and filtration system must be included in the building permit application submittal. If approved, the applicant has committed to visually inspect all fans and filters each week to ensure proper functionality. The applicant would also replace all carbon filters on a quarterly basis. Additionally, the applicant would be required to maintain records of repairs and replacement for at least three years, to be made available to local or state authorities upon request.

Community Benefits. As part of the RFP review and selection criteria, the applicant committed to provide a community benefit that would encourage community building and to provide support to vulnerable populations by way of referrals, to counselors specializing in mental health, domestic violence, drug abuse, and rehabilitation placement. Additionally, Auntie Honeys has pledged to support local organizations promoting environmental health, and community outreach, such as the Downtown Street Team. Staff has included a condition of approval requiring the applicant provide specific details of their Community Benefits program and to coordinate implementation of the Community Benefits program with City staff within six months if approved (Condition # 12).

POLICY CONTEXT AND CODE COMPLIANCE

Hayward 2040 General Plan. The project site is designated City Center – Retail and Office Commercial (CC-ROC) in the *Hayward 2040 General Plan*⁵. Allowable uses include retail, dining and service uses, entertainment and recreational uses and office and residential uses above ground floor commercial uses. As a retail use, commercial cannabis dispensaries would be consistent with the allowable uses in the CC-ROC land use designation.

The following General Plan Policies apply to the subject site, and to the establishment of such businesses in Hayward:

- **Land Use Policy LU-2.1, Downtown Arts and Entertainment.** The City shall encourage private-sector investment in Downtown to transform it into a safe, vibrant, and prosperous arts and entertainment district that offers enhanced shopping, dining, recreational, and cultural experiences and events for residents, families, college students, and visitors.
- **Land Use Policy LU-2.16, Uses to Attract the Creative Class.** The City shall encourage the development of uses and amenities to attract creative-class professionals and businesses to Hayward.

⁵ Hayward 2040 General Plan
<https://www.hayward2040generalplan.com/>

- *Economic Development Policy ED-1.4.* The City shall establish business attraction efforts that focus on small and medium-sized businesses within emerging and growing business sectors.
- *Economic Development Goal ED-2.* Cultivate a culture of entrepreneurship to encourage and support local business start-ups.

Further discussion of the consistency between the proposed use and policies related to Downtown retail is included in the Staff Analysis section below and in Attachment II, Findings.

Downtown Specific Plan (DTSP). The proposed cannabis dispensary and retail delivery business would be established in the Downtown (Urban) Neighborhood Area. Per the DTSP, the *Urban Neighborhood* Area should function as a gateway to the Downtown Core. The vision is for that area to evolve to include a combination of higher intensity urban buildings that are compatible in scale with existing taller buildings along Foothill Boulevard. The following Downtown Specific Plan policies apply to the subject site, and to the establishment of such businesses in Hayward:

- *Policy Land Use 3 Opportunity Sites:* Encourage the development and improvement of opportunity sites that have the potential to attract developer interest in the Downtown and generate more economic activity.
- *Policy Community Development 6 Public Art:* Promote the creation and funding of public art that contributes to the cultural experience of visiting the Downtown.

Zoning Ordinance. The project site is located within the Downtown Main Street (DT-MS) zone and is subject to the requirements set forward by the Downtown Specific Plan(DTSP), the Hayward 2040 General Plan, as well as the adopted Cannabis land use ordinance, and the regulatory framework for Commercial Cannabis Businesses⁶.

Pursuant to Chapter 6 of the Development Code, Division 2.3 (Use Table) of the DTSP, Commercial Cannabis Retail Dispensaries are allowed in the DT-MS Zone subject to Conditional Use Permit. Additionally, Section 10-1.3603(B)⁷ of the Hayward Municipal Code (HMC) requires all commercial cannabis businesses operating within the City of Hayward be subject to a 600-foot minimum setback from youth centers, sensitive land uses, and similar areas dedicated toward children activities. The required 600-foot setback may be reduced as part of the issuance of a Conditional Use Permit if it is found that the public convenience and necessity will be served by an alternate distance requirement and that alternative measures to assure public health and safety are in place with respect to a commercial cannabis business. In addition to the general findings in the City's Zoning Ordinance, the project is subject to four additional cannabis findings pursuant to Section 10-1.3609 of the HMC:

⁶ Hayward Commercial Cannabis Businesses Ordinance
https://library.municode.com/ca/hayward/codes/municipal_code?nodeId=HAYWARD_MUNICIPAL_CODE_CH6BUPRTR_ART14COCABU

⁷ Hayward Municipal code Section 10-1.3603 (Commercial Cannabis Business)
https://library.municode.com/ca/hayward/codes/municipal_code?nodeId=HAYWARD_MUNICIPAL_CODE_CH10PLZOSU_ART1ZOOR_S10-1.3600CA_S10-1.3603COCABU

1. The proposed cannabis use will not be detrimental to the public health, safety, or general welfare in that the cannabis operation is situated in an appropriate location where sensitive land uses will not be adversely impacted; and
2. Appropriate measures have been taken to address nuisances related to odor, noise, exhaust, and waste related to the cannabis operation; and
3. The cannabis operation is designed to be safe, secure and aesthetically compatible with the surrounding area; and
4. The cannabis operation will not place a burden on the provision of public services disproportionate to other industrial or commercial uses.

Further analysis related to the cannabis findings is included in Staff Analysis below and in Attachment II, Findings.

Mandatory Buffers. Pursuant to HMC Section 10-1.3607(c)(1), to avoid overconcentration of commercial cannabis retail dispensaries, such business shall be a minimum of 500 feet from any other such business. The proposed location satisfies this minimum distance requirement from the entitled cannabis dispensary (Hayward Station) approved at the corner of Main and B Streets.

Sensitive Uses. Pursuant to HMC Section 10-1.3603(B), commercial cannabis businesses are subject to a minimum 600-foot minimum setback from sensitive land uses, including schools (grades K through 12), day care centers, youth/recreation centers, designated open space areas, and parks which contain a children's playground. For this site, the applicant has requested an alternate distance requirement. As the proposed location if approved, would be situated within the 600-foot radius of two sensitive land uses. The Kumon learning center located at 22628 Foothill Boulevard (±200 feet away) and the Kid's Breakfast Club located at 22542 2nd Street (±300 feet away). Further analysis and discussion of the reduction of distance between the proposed use and nearby sensitive uses is included in Staff Analysis below and in Attachment II, Findings.

Commercial Cannabis Permits. An applicant is required to obtain approval of a Commercial Cannabis Business Permit by the City to assure that all regulatory requirements are met. The applicant has satisfied this task.

The applicant must also obtain the necessary land use entitlements, which must be consistent with the Zoning Ordinance standards, which are the subject of this application. Following entitlement, the applicant will be required to obtain a cannabis license from the State. Failure to obtain the State license would be grounds for revoking the City's permit.

Commercial Cannabis Permits issued by the City are valid for one year and must be renewed annually following the completion of a mandatory safety inspection and demonstrated compliance with all local and State regulations, including any conditions of approval adopted as part of this Conditional Use Permit.

STAFF ANALYSIS

Based on the applicant's proposal, staff believes that the Planning Commission can make the required Findings to recommend City Council approval of the Conditional Use Permit to allow for the establishment of a commercial cannabis retail dispensary and retail delivery at the proposed site, including a reduction of the sensitive land use buffer, subject to conditions of approval as outlined below. Retail uses, such as a cannabis retail dispensary, are consistent with the CC-ROC land use and Downtown Core designations.

Staff believes that establishment of a cannabis retail dispensary and retail delivery at 1147 B Street would be beneficial in that the site has been vacant for years. The building's state of disrepair has resulted in a disproportionate impact on the surrounding neighborhood and signals a lack of investment in the area. The proposed site improvements as well as the establishment of a new, unique retail use in the vacant building would improve the appearance of the building and activate that location. Hopefully, translating to positive impact on the adjacent properties and Downtown neighborhood. Establishment of a cannabis retailer near Downtown Hayward would bring retail consumers to not only shop at Auntie Honeys, but also patronize surrounding businesses and restaurants, which would further contribute to the sense of activation of the City's commercial core.

This is the second of three proposed cannabis retail dispensaries anticipated in the Downtown area. The first retail dispensary approved in the City of Hayward is Hayward Station, located at 1004 B Street.

Characterized by a commercial core along B Street, the City's Downtown area has multiple small lots with buildings built to the street edge. By design, the businesses within Downtown are near each other making it difficult to maintain minimum distances between cannabis businesses and other uses which may be considered sensitive. However, attractive downtowns are often created and rooted in the mixing of uses that appeal to people of all ages, desires, and in the excitement of those uses and individuals connecting in the public realm. As previously noted, there are two sensitive uses within 600 feet of the project site, including The Kumon Learning Center, an after-school tutoring center for children 3-5, and The Kids Breakfast Club, a breakfast center that provides free breakfast and activities for children when schools are not in session.

Per HMC Section 10-1.3603(B), the deciding authority may waive the minimum distance requirements provided that public convenience and necessity would be served by an alternative distance and provided adequate safety controls are in place to assure public health and safety. As noted above, an alternative distance requirement would be necessary because of the layout and nature of the Downtown area, and to allow a variety of uses near each other. As conditioned, staff believes that the on-site security guards, the numerous cameras at the entrance, and the queuing area fronting B Street along the proposed store-frontage would assure public health and safety. In addition to the consultant review of the business plan, the Hayward Police Department, Code Enforcement Division and Fire Department have reviewed the project proposal with the Planning Division staff ensuring the use would operate in a safe manner. Conditions of Approval are included to ensure that the proposed use and operations of the cannabis business would provide a safe and secure environment for the surrounding

neighborhood and mitigate potential impacts to adjacent properties (Conditions of Approval 5 through 26).

Per the Conditions of Approval and by Ordinance, cannabis permits shall be renewed annually providing the City an opportunity to revoke a permit if determine not compatible upon approval, or if the applicant does not adhere to the City's requirements. Thus, the applicant has an interest in complying with the Conditions of Approval, the approved business plan, security plan, odor minimization measures, and to maintain a safe establishment.

ENVIRONMENTAL REVIEW

The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1), Existing Facilities, in that the proposed use would occupy an existing commercial structure that was designed to accommodate retail uses.

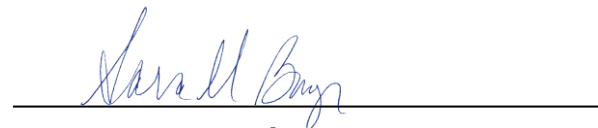
Additionally, per the historic evaluation prepared by Richard Patenaude, AICP, the site is not considered historic nor contains any historic significance. Thereby, the proposed project does not require additional review for historic significance in accordance with the California Environmental Quality Act (CEQA).

NEXT STEPS

Pursuant to HMC Section 10-1.3250(a), the Planning Commission may refer a Conditional Use Permit application to the City Council with or without a recommendation. Given the unique location of the business, staff recommends that the Planning Commission recommend approval of the project, subject to the attached conditions of approval, and refer the application to the City Council for a final decision.

Prepared by: Edgar Maravilla, Associate Planner

Approved by:

A handwritten signature in blue ink, appearing to read "Sara M. Buizer", is written over a horizontal line.

Sara Buizer, AICP, Planning Manager

A handwritten signature in blue ink, appearing to read "Laura J. Simpson", is written over a horizontal line.

Laura Simpson, AICP, Development Services Director

**CITY OF HAYWARD PLANNING DIVISION
PROPOSED COMMERCIAL CANNABIS RETAIL DISPENSARY
WITH ANCILLARY DELIVERY USE
AUNTY HONEY'S, 1147 B STREET
CONDITIONAL USE PERMIT APPLICATION NO. 201806127**

FINDINGS FOR APPROVAL

Conditional Use Permit

Pursuant to Hayward Municipal Code Section 10-1.3200, The Planning Commission or other approving authority may approve or conditionally approve an application when all the following findings are made:

1. *The proposed use is desirable for the public convenience or welfare;*

The proposed retail cannabis dispensary would be desirable for the public convenience and welfare in that it would result in establishment of a cannabis retail delivery and cannabis retail dispensary in a vacant and underutilized commercial building within the Downtown Main Street (DT-MS) Zone. Cannabis retail sales are an increasing retail category that could contribute positively to the sales tax base in Hayward and attract a regional clientele to the area. There are relatively few locations that provide boutique cannabis and cannabis related products in the immediate area. Establishment of a cannabis dispensary and retail delivery within the DT-MS Zone would bring retail consumers to not only shop at Aunty Honey's, but also patronize surrounding businesses and restaurants, leading to a sense of activation of the commercial core, thus benefitting the City and neighborhood.

2. *The proposed use will not impair the character and integrity of the zoning district and surrounding area;*

The proposed commercial cannabis dispensary and retail delivery would occupy an existing building that has been vacant and underutilized for years. The subject building's lack of basic maintenance and investment of the site has resulted in a negative visual impact on the surrounding neighborhood. Occupancy of the vacant structure and proposed façade and site improvements would signal increased investment in the DT-MS Zone. Further, establishment of a new, unique retail use in the vacant building would activate the site possibly resulting in increased pedestrian traffic and patrons. Leading to more eyes on the streets and to a positive impact on the adjacent properties and the Downtown neighborhood.

To ensure that the proposed use would not impair the character and integrity of the applicable zoning district, the proposed dispensary would have an intake area fronting B Street to function as a buffer between public right of way and the cannabis retail display area.

3. *The proposed use will not be detrimental to the public health, safety, or general welfare; and*

The proposed cannabis retail and delivery retail use would not be detrimental to the public health, safety or general welfare in that the facility, as conditioned, would operate within

the permit requirements and regulations established by State, County and local laws. The applicant has provided an Odor Mitigation Plan to ensure that cannabis odors cannot be detected outside of the building, and a detailed Security Plan that includes installation of security cameras inside and outside of the building; positioning of security guards at all entrance; use of ID scanners to verify patron age; robust commercial locks on all points of ingress and egress and alarm system; compliance with a State-mandated track and trace program to prevent diversion of cannabis; a records retention program; and identification of a local contact to handle all safety and security issues. Additionally, all retail delivery vehicles would have a State-mandated GPS tracking system, video and voice recording cameras, and no distinguishable signage shall be allowed on the delivery vehicles.

The applicant's Business and Security Plan was reviewed and evaluated by an independent consultant and determined to include procedures and protocols to ensure public safety. Additionally, the applicant and all employees associated with the business are subject to an extensive background check by the Hayward Police Department.

4. *The proposed use is in harmony with applicable City policies and the intent and purpose of the zoning district involved.*

Per Chapter 6 of the Downtown Specific Plan, Division 2.3, retail uses, such as a cannabis retail dispensary and retail deliver, are allowed uses in the DT-MS Zone. The proposed use would contribute positively to the tax base and could attract a regional clientele to the Downtown area meeting Economic Development Goals and Policies. However, the City's General Plan also calls for retail shopfront displays. In this case, due to the sensitivity of the product being retailed, the location would have a transparent front façade, but the frontage will not display cannabis or cannabis products. The visible frontage of the building would be used as a reception area. Thereby, still activating the street in similar fashion as a shopfront display. Ensuring compliance with the following General Plan Goals and Policies:

- Land Use Policy LU-2.1, Downtown Arts and Entertainment. The City shall encourage private-sector investment in Downtown to transform it into a safe, vibrant, and prosperous arts and entertainment district that offers enhanced shopping, dining, recreational, and cultural experiences and events for residents, families, college students, and visitors.
- Land Use Policy LU-2.2, Downtown Activities and Functions. The City shall maintain the Downtown as a center for shopping and commerce, social and cultural activities, and political and civic functions.
- Land Use Policy LU-2.3, Downtown Pedestrian Environment. The City shall strive to create a safe, comfortable, and enjoyable pedestrian environment in the Downtown to encourage walking, sidewalk dining, window shopping, and social interaction.
- Land Use Policy LU-2.4, Downtown Retail Frontages. The City shall require retail frontages and storefront entrances on new and renovated buildings within the "retail core" of Downtown Hayward, which includes properties along B Street between Watkins Street and Foothill Boulevard, and Main Street between A Street and C Street.

This policy does not apply to historic building originally designed without retail frontage or storefronts.

- Land Use Policy LU-2.16, Uses to Attract the Creative Class. The City shall encourage the development of uses and amenities to attract creative-class professionals and businesses to Hayward.
- Economic Development Goal ED-1. Diversify the economic base of Hayward to support a robust and stable economy with a diverse range of employment, shopping, and cultural opportunities for local residents.
- Economic Development Policy ED-1.4. The City shall establish business attraction efforts that focus on small and medium-sized businesses within emerging and growing business sectors.
- Economic Development Goal ED-2. Cultivate a culture of entrepreneurship to encourage and support local business start-ups.

Cannabis Ordinance

In addition to the required findings contained in Section 10-1.3125 (Conditional Use Permit), every land use application requiring discretionary review for cannabis and cannabis products shall be required to make the following findings prior to issuance:

1. *The proposed cannabis use will not be detrimental to the public health, safety, or general welfare in that the cannabis operation is situated in an appropriate location where sensitive land uses will not be adversely impacted;*

The proposed commercial cannabis dispensary would not be detrimental to the public health, safety or general welfare in that the facility, as conditioned, would operate within the permit requirements established by the State and by the City. Per the City's Land Use requirements, retail cannabis dispensaries in conjunction with retail delivery are only geographically allowed in the Downtown areas, by way of a Conditional Use Permit.

Establishment of a cannabis retailer in a building located in the Downtown area would bring retail consumers to not only shop at Auntie Honey's, but also patronize surrounding businesses and restaurants. Further contributing to the City's tax base, and there would be more eyes on the street, leading to an increase sense of activation.

By design, the structures and businesses within the Downtown area are near each other and may result in location of sensitive uses within the minimum distance buffers. However, as described in the accompanying staff report. and in the finding related to alternative distances below. The proposed project would incorporate a robust Safety and Security Plan. Including but not limited to on-site security guards, cameras, security lighting, employee background checks, Conditions of Approval related to loitering and nuisances, and a reception area fronting the building to function as a buffer between public right of way and the retail display area. Thus, assuring public health and safety within the vicinity of the subject site.

2. *Appropriate measures have been taken to address nuisances related to odor, noise, exhaust, and waste related to the cannabis operation;*

Physical and operational safeguards are in place to ensure this cannabis retail delivery and retail dispensary operate at the proposed location without impacts to other properties. The proposed project includes an Odor Mitigation Plan, a robust Security Plan including but not limited to installation of cameras inside and outside of the building, provision for on-site security guards, ID scanners, and employee background checks among other safety and security measures.

As part of the initial RFP process, the applicant's business plan for this use permit was reviewed and scored by an independent, outside consultant who determined this operator would meet the City's objectives related to best practices for the cannabis industry. Furthermore, per the proposed Conditions of Approval and by Ordinance, cannabis permits shall be renewed annually. Providing the City, a yearly opportunity to reevaluate the proposed business, and ensure compliance with the approved business plan, the conditions of approval, and all pertinent City regulations.

3. *The cannabis operation is designed to be safe, secure and aesthetically compatible with the surrounding area; and*

The proposed cannabis delivery and retail dispensary would occupy an existing building that has been vacant for years. The subject building's lack of basic maintenance and investment has resulted in a divested building. Occupancy of the vacant structure along with the façade and site improvements would signal increased investment in the Downtown area. Further, establishing a new, unique retail use in the vacant building would activate the area likely increasing pedestrian circulation and patrons to the area. Having a positive impact on the adjacent properties and Downtown neighborhood.

To ensure that the proposed use is designed to be aesthetically compatible with the surrounding area, specific conditions of approval would require that the building maintain a buffer between the public right of way and the cannabis retail area. In addition, the applicant would paint the building, add a mural, replace the existing awning, add security cameras, and security lighting to ensure safety and aesthetic compatibility with the surrounding area.

4. *The cannabis operation will not place a burden on the provision of public services disproportionate to other industrial or commercial uses.*

As proposed, the applicant would lease a currently vacant commercial space in the Downtown area. As conditioned, the proposed use would not place a burden on public services disproportionate to other commercial uses in the Downtown area. As conditioned, the applicant is required to adhere to the comprehensive Security and Safety Plan and conditions of approval, which prohibit loitering and on-site consumption. In addition, the applicant is subject to annual safety inspections, financial audits and conditions of approval review. Requiring inspection of the proposed cannabis retail use by the City's Code Enforcement Division, Police Department and Fire Department, as part of the cannabis permit renewal.

Further, as conditioned, any excessive calls for service, including nuisance and code violations, may result in the revocation of the approval.

5. *The required 600-foot setback for sensitive uses may be reduced if it is found that the public convenience and necessity will be served by an alternate distance requirement, and that alternative measures to assure public health and safety are in place with respect to the commercial cannabis business.*

Per the City's land use regulations, retail cannabis dispensaries are only allowed within the Downtown Area limits by way of a Conditional Use Permit. However, due to eclectic land uses currently located in the Hayward Downtown area, meeting the required 600-foot buffer from sensitive uses would be nearly impossible. Specifically, the proposed site would be within proximity to two sensitive uses. The Kumon center locates within ± 300 feet of the site, and the Breakfast Club located within ± 250 feet of the site.

By design, the structures and businesses within Downtown are in close proximity to each other making it difficult to maintain minimum distances between cannabis businesses and sensitive uses. Allowing flexibility in the minimum distance requirement between the subject business and the nearby sensitive uses would be warranted in this instance to ensure that the subject building, which has been vacant and dilapidated for years, will be cleaned up, improved and activated. Leading to positive impacts by attracting a regional clientele who would visit Auntie Honey's and patronize surrounding businesses. As conditioned, staff believes that the alternative measures outlined in the Safety and Security Plan and the design measures to obscure views of the cannabis and cannabis products would assure public health and safety.

Environmental Review

1. The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1), Existing Facilities, in that the proposed use would occupy an existing commercial structure that was designed to accommodate retail uses. As proposed and conditioned, the proposed use will not result in any significant effects related to traffic, noise, air quality and water quality.
2. Per the memo prepared by Richard Patenaude AICP, the site is not historic or of historic significance. Thereby, the proposed project does not require additional review for historic significance in accordance with the California Environmental Quality Act (CEQA).

**CITY OF HAYWARD PLANNING DIVISION
PROPOSED COMMERCIAL CANNABIS RETAIL DISPENSARY
WITH ANCILLARY DELIVERY USE
AUNTY HONEY'S, 1147 B STREET
CONDITIONAL USE PERMIT APPLICATION NO. 201806127
DRAFT CONDITIONS OF APPROVAL**

GENERAL

1. The applicant shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
2. The applicant, property owner or designated representative shall allow the City's staff to access the property for site inspection(s) to confirm all approved conditions have been completed and are being maintained in compliance with all adopted city, state and federal laws.
3. Failure to comply with any of the conditions set forth in this approval, or as subsequently amended in writing by the City and agreed to by the applicant, may result in failure to obtain a building final and/or a Certificate of Occupancy until full compliance is reached. The City's requirement for full compliance may require minor corrections and/or complete demolition of a non-compliant improvement regardless of costs incurred where the project does not comply with design requirements and approvals that the applicant agreed to when permits were pulled to construct the project. The applicant acknowledges that the conditions set forth in this approval are not intended to supersede any obligations imposed pursuant to Chapter 6, Article 14 of the Hayward Municipal Code related to commercial cannabis permits, as it may be amended from time to time.
4. All outstanding fees owed to the City, including permit charges and staff time spent processing or associated with the development review of this application shall be paid in full prior to any consideration of a request for approval extensions and/or the issuance of a building permit.

Cannabis Dispensary Use & Operations

5. The applicant shall take all reasonable steps to discourage and correct conditions that constitute a public or private nuisance in parking areas, sidewalks, alleys and areas surrounding a permitted facility. Such conditions include but are not limited to: smoking; creating a noise disturbance; loitering; littering; and graffiti. Graffiti must be removed from property and parking lots under the control of the permittee within 72 hours of discovery.

6. The cannabis retail dispensary and retail delivery business may operate per the hours allowed by the State, 6 a.m. and 10 p.m. daily.
7. The retail delivery vehicle shall not be stationed or loaded for delivery on public right of way.
8. During the business hours of operation, all retail delivery vehicles shall be stationed on site, in the designated parking area shown on the approved set of plan date stamped December 12, 2019.
9. After normal business hours, there shall be no delivery vehicles or retail delivery vehicles parked on-site overnight.
10. All loading and unloading of delivery vehicles or retail delivery vehicles shall be done to the rear of the building as shown on the approved set of plans date stamped December 12, 2019.
11. The cannabis dispensary shall operate according to these conditions of approval and the business plan submitted on January 12, 2018, included as part of the use permit application, including the hours of operation, intensity of use and mode/character of the proposed dispensary operation. Any future change or modification of the operational plan and/or any expansion of the approved use may require the submittal of a new use permit application and commercial cannabis permit and shall be subject to additional review and approval by the City prior to any change, modification or expansion.
12. The applicant shall provide a detailed Community Benefits program and coordinate the implementation of the proposed Community Benefits program with City staff within six months from use permit approval. The applicant will be subject to annual review and verification on the implementation of the approved Community Benefits program prior to permit renewal.
13. Permittees shall employ only persons at least 21 years of age at any permitted facility within the City of Hayward. Employee records shall be kept and maintained, and proof of age shall be provided to the City upon request.
14. Permittees shall have an on-site manager at each permitted facility within the City of Hayward who is responsible for overall operation during times that employees are conducting operations and shall provide the City with contact information for all such persons, including telephone number and email address. Permittees shall also provide the City with the name and contact information including phone number of at least one manager that can be reached 24-hours a day.
15. The proposed cannabis use shall operate in a manner to prevent possible diversion of cannabis and shall promptly comply with any track and trace program established by the State.

16. No outdoor storage or uses permitted. All cannabis related activities are to be conducted indoors.
17. The applicant shall notify the City if it intends to transfer ownership or operational control of a Commercial Cannabis Business. The transferee shall be responsible for complying with all applicable local and state licensing requirements. Any conditions imposed upon the transferor by the original use permit shall be binding upon any subsequent transferees. Any transfer of ownership or operational control of a Commercial Cannabis Business which results in a lapse of normal operations for a period of six months or more shall be required to obtain a new use permit and/or commercial cannabis permit, consistent with Hayward Municipal Code Sections [10-1.3170](#) or [10-1.3270](#), as applicable.
18. Cannabis or cannabis products, whether for medicinal or adult recreational use, shall only be sold to individuals authorized by state law to purchase such cannabis or cannabis products.
19. No person who is younger than the minimum age established by state law for the purchase, possession or consumption of cannabis and cannabis-related products shall be allowed on the premises of a permitted Commercial Cannabis Business.
20. Subject to Section 10-1.3607 of the Hayward Municipal Code, consumption or ingestion of cannabis or cannabis products on the premises of a permittee, including outdoor areas and parking lots, is prohibited.

Security

21. The proposed cannabis use shall provide adequate security on the premises, including any on-site security, lighting and alarms, to insure the public safety and the safety of persons within the facility and to protect the premises from theft. Additionally, all Commercial Cannabis Businesses and Cannabis Operators shall include a security and safety plan that includes the following minimum requirements:
 - a. *Security Cameras.* Security surveillance IP video cameras shall be installed at the public and vendor entrances, in the parking lot and throughout the building in accordance with the Security Room Diagram provided in the Conditional Use Permit Application. All cameras shall be maintained in good working order to provide coverage on a twenty-four (24) hour real-time basis of all internal and exterior areas where Cannabis is dispensed. The cameras shall allow for remote access to be provided to the Hayward Police Department. The security surveillance cameras shall be oriented in a manner that provides clear and certain identification of all individuals within those areas. IP cameras shall always remain active and shall be capable of operating under any lighting condition. Security video must use standard

industry format to support criminal investigations and shall be maintained for ninety (90) days.

- b. *Building Security.* All points of ingress and egress to the proposed use shall be secured with Building Code compliant commercial-grade, non-residential door locks and/or window locks. All heating, ventilating, air-conditioning and service openings shall be secured with steel bars and/or metal grating.
- c. *Security Guards.* The applicant shall provide at least two uniformed security guard licensed by the State of California. The security guards shall be stationed at each entrance when in use. The security guard(s) shall maintain order therein and prevent any activity which would interfere with the quiet enjoyment of their property by nearby resident(s). Said personnel shall carry his/her Guard Card on their person at all times and present it to any Peace Officer upon demand. Said personnel shall be clothed in such a manner as to be readily identifiable.
- d. *ID Scanners.* Security guards shall use an ID scanner to verify authenticity of IDs for all patrons who enter the business.
- e. *Alarm System.* A professionally monitored security alarm system shall be installed and maintained in good working condition. The alarm system shall include sensors to detect entry and exit from all secure areas and all windows. The applicant shall keep the name and contact information of the alarm system installation and monitoring company as part of the Commercial Cannabis Business's onsite books and records.
- f. *Secure Storage and Waste.* Commercial Cannabis products and associated product distribution and dispensing waste shall be stored and secured in a manner that prevents diversion, theft, loss, hazards and nuisance.
- g. *Transportation.* The proposed use shall implement procedures for safe and secure transportation and delivery of Commercial Medical and Non-Medical Cannabis, including all Cannabis products and currency, in accordance with local and state law. None of the vehicles associated with commercial use shall have markings or advertising that indicates the presence of cannabis on-site.
- h. *Emergency Access.* Security measures shall be designed to ensure emergency access is provided to the Hayward Police Department and Hayward Fire Department for all areas on the premises in the case of an emergency.
- i. *Background Checks.* All employees working in conjunction with the cannabis retail use shall be subject to background/LiveScan checks. Additionally, all

employees shall furnish the Hayward Police Department a state or federal registered Identification Card, upon request.

- j. *Inspections.* During regular business hours, the building premises shall be accessible, upon request, to an identified Hayward Police Department, Building Division or Code Enforcement employee for random and/or unannounced inspections.
- k. *Records Retention.* A licensed retailer must maintain financial records, personnel records, training records, contracts, permits, security records, destruction records, data entered into track-and-trace, and an accurate record of all sales for seven years. All records must be made available to the Hayward Police Department upon request
- a. *Local Contact.* Cannabis Operators shall also identify a local contact who will be responsible for addressing security and safety issues and shall provide and keep current that contact information to the Hayward Police Department as part of the permitting process.

Odor Control

- 22. No cannabis odors shall be detectable outside of the facility. The applicant shall incorporate and maintain adequate on-site odor control measures such that the odors resulting from cannabis stored and sold on-site cannot be readily detected from outside of the structure in which the Business operates or from other non-cannabis businesses adjoining the Commercial Cannabis Business.
- 23. The building permit applicant shall include duct work, filters and other recommendations included in the Odor Mitigation Plan and shall be certified by a professional engineer or industrial hygienist. The Odor Mitigation Plan submittal shall include the following:
 - a. Operational processes and maintenance plan, including activities undertaken to ensure the odor mitigation system remains functional;
 - b. Staff training procedures; and
 - c. Engineering controls, which may include carbon filtration or other methods of air cleansing, and evidence that such controls are sufficient to effectively mitigate odors from all odor sources. All odor mitigation systems and plans submitted pursuant to this subsection shall be consistent with accepted and best available industry-specific technologies designed to effectively mitigate cannabis odors.

Commercial Cannabis Permit

24. The applicant shall obtain and maintain a valid Commercial Cannabis Permit from the City, including any other applicable State and local permits. Commercial Cannabis Permit applications and renewals are subject to the requirements of HMC Section 6-14.15. **Commercial Cannabis Permits are valid for a period of one year from the date that the permittee received land use approval and shall be renewed annually.** The permit is invalid if the term has expired and the annual fee, as established in the City of Hayward Master Fee schedule, has not been timely paid in full. Non-payment will result in a violation penalty fee in accordance with the Master Fee Schedule for Cannabis uses. Additionally, the City may invalidate or suspend a Commercial Cannabis Permit for excessive calls for service or nuisance citations.
25. The proposed commercial cannabis use shall not commence operations until the Business can demonstrate compliance with all necessary state and local licenses (dual licensing) and agency permits. Failure to demonstrate dual licensing in accordance with the Hayward Municipal Code shall be grounds for revocation of a City approved permit. Revocation of a local permit and/or a state license shall terminate the ability of the Commercial Cannabis Business to operate until a new permit and/or state license is obtained.
26. The applicant shall maintain books, records, accounts, public safety calls for service, and all data and information relevant to its operations of the commercial cannabis use, including the implementation of the proposed community benefits component, and allow the City access to such records for purposes of conducting an audit or examination to determine compliance with the Hayward Municipal Code, and other local regulations, including compliance with local tax obligations. Prior to the applicant's commercial cannabis permit renewal each year, the applicant shall provide these records to the City for review to verify compliance.

Interior and Exterior Building Design

27. The building colors and materials shown on the building permit plans shall match those shown on the plans and renderings, except as modified in these conditions of approval. Any revision to the approved colors and materials shall be reviewed and approved by the Planning Division prior to the issuance of a building permit.
28. Storefront shall be dedicated as a reception/waiting room as to function as a buffer from the retail area. As shown on (sheet A2.1) of the approved set of plans date stamped December 12, 2019.
29. Storefront windows shall be kept clear and free of all interior or exterior obstructions including but not limited to display cases, curtains, black out windows, and other methods of obscuring light and views into the building.

30. Interior fixtures and structures including but not limited to interior cornice shall not block windows and shall not be placed in a manner to be visible from the sidewalk or entries. Interior fixtures shall be sized and/or placed in a manner to ensure that cannabis is not visible from the public right-of-way.
31. Windows shall not be blacked out or covered with interior shutters or curtains in a manner to block views into the tenant space.
32. All vents gutters, downspouts, flashings, electrical conduits, and other utilitarian fixtures shall be painted to match the color of the adjacent material unless specifically designed as an architectural element.
33. All lighting fixtures affixed to the building shall incorporate a shield to allow for downward illumination. No spillover lighting to adjacent properties is permitted and all exterior lighting on walls, shall be recessed/shielded to minimize visual impacts.
34. All exterior and rooftop mechanical equipment shall be screened. Mechanical and rooftop equipment shall include, but is not limited to, electrical panels, pull boxes, air conditioning units, gas meters, and other equipment. All rooftop screening and mechanical equipment shall be shown on the project plans and be subject to final review and approval by City staff prior to the issuance of an occupancy permit.
35. Any above-ground structures that may be required to provide utilities for the project shall be compatible as to location, form, design, exterior materials, and noise generation. The applicant shall obtain staff approval prior to issuance of any permits.

Signage

36. No signs are approved with this project. Any signs placed on-site or off-site shall be reviewed and approved by the Planning Division and a separate Sign Permit application shall be required, consistent with Hayward Municipal Code Sign Ordinance requirements.
37. The final design, location and size of the proposed mural on the side wall shall be reviewed and approved by the Planning Director and shall be installed prior to the issuance of the Certificate of Occupancy for the building.

Expiration & Revocation

38. This Use Permit approval is void 36 months after the effective date of approval unless:

- a. Prior to the expiration of the 36-month period, a building permit application has been submitted and accepted for processing by the Building Official or a time extension of the approval has been granted by the Planning Director.
 - b. If a building permit is issued for construction of improvements authorized by the use permit approval, said approval shall be void two years after issuance of the building permit, or three years after approval of the application, whichever is later, unless the construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance on the conditional use permit approval. A request for an extension must be submitted in writing to the Planning Division at least 30 days prior to the above date.
 - c. Business operations have commenced in accordance with all applicable conditions of approval.
 - d. If this conditionally/administratively permitted use cease operation for a period of more than six consecutive months, it shall be deemed to be discontinued, and the use permit establishing said use shall become null and void. Reestablishment of said use shall only be permitted upon obtaining a new use permit.
39. The Planning Commission may require modification, discontinuance or revocation of this Conditional Use Permit if its determined that the use is operated or maintained in a manner that it:
- a. Adversely affects the health, peace or safety of persons living or working in the surrounding area;
 - b. Contributes to a public nuisance; or
 - c. Has resulted in excessive nuisance activities including disturbances of the peace, illegal drug activity, diversion of commercial cannabis or commercial cannabis products, public intoxication, smoking in public, harassment of passerby, littering, or obstruction of any street, sidewalk or public way; or
 - d. Violates any provision of the Hayward Municipal Code or condition imposed by a City issued permit, or violates any provision of any other local, state, regulation, or order, including those of state law or violates any condition imposed by permits or licenses issued in compliance with those laws.

CODE ENFORCEMENT DIVISION

40. All tenant improvements and modifications and/or demolition require approval of a building permit prior to the start of the work. Verified violations of the California Building Code Section 105.1 are subject to a penalty fee of 205% of the required

permit fees in addition to the regular Building Division fees in accordance with the City of Hayward Master Fee Schedule.

41. The Commercial Cannabis establishment shall maintain and visibly post valid copies of all required State, Local, and Municipal permits, including but not limited to the State of California Cannabis Bureau license, the Hayward Cannabis license, City of Hayward business license, and other pertinent permits and licenses according to the specific cannabis use.
42. Every owner of real property within the City is required to manage the property in a manner so as not to violate the provisions of the Cannabis Ordinance and/or any State and Municipal regulations. The property owner remains ultimately liable for all penalties and fees as a result of violation of any of the requirements for the Commercial Cannabis operation thereof regardless of any contract or tenant agreement or other third parties.

BUILDING DIVISION

43. The project will require a building permit application and the associated plan review process. During the building permit review stage, detailed comments will be provided.
44. For the building permit submittal drawings, a lighting plan and T-24 energy report shall be included in the set.

PUBLIC WORKS ENGINEERING AND TRANSPORTATION

45. City's Encroachment Permit shall be secured for any work proposed in the public sidewalk or parking lot.
46. Applicant shall submit on-site and off-site outdoor lighting and photometric analysis plan in conjunction with the building permit submittal. The photometric site lighting plan shall include fixtures, mounting heights, light wattage and that demonstrates adequate site and off-site lighting without excessive glare, off-site impacts or "hot spots." All lighting shall be reviewed and approved by the City Engineer, Planning Division and Hayward Police Department prior to issuance of building permits.

UTILITIES AND ENVIRONMENTAL SERVICES

47. Property has an existing 5/8" domestic water meter (account 9155). Any modifications to existing water services (upscale, downscale, relocate, abandon, etc.) must be performed by City Water Distribution personnel at the applicant's or owner's expense.
48. The Fire Department will make the determination if fire sprinklers are required. New fire services must be installed by City Water Distribution Personnel at the owner's/applicant's expense. Fire service and fire hydrant installation costs are

based on actual costs of work performed and equipment/materials used with a time and materials deposit due prior to the start of installation.

49. All domestic & irrigation water meters must have Reduced Pressure (RP) Backflow Prevention Assemblies, per SD-202. Backflow prevention assemblies shall be at least the size of the water meter or the water line on the property side of the meter, whichever is bigger. Backflow prevention assemblies on domestic water services shall be lead free.
50. Water meters and services must be located a minimum of two feet from top of driveway flare as per City Standard Details SD-213 thru SD-218. Water meters shall not be in setback areas or private driveways or roadways unless approved otherwise.
51. The property has an existing industrial sewer connection with a “grandfathered” sewer capacity of 210 gallons per day of domestic strength discharge. Additional sewer capacity to accommodate additional wastewater discharge over the “grandfathered” sewer capacity may need to be purchased. The proposed business’ sewer capacity will be estimated based on information provided in the Industrial & Commercial Sanitary Sewer Connection form.
52. Sewer cleanouts shall be installed on each sewer lateral at the connection with the building drain, at any change in alignment, and at uniform intervals not to exceed 100 feet. Manholes shall be installed in the sewer main at any change in direction or grade, at intervals not to exceed 400 feet, and at the upstream end of the pipeline.
53. Complete the attached Industrial & Commercial Sanitary Sewer Connection form. Provide additional details regarding the proposed business, such as number of employees, volumes and types of wastewater discharge into the sewer system (if other than domestic), etc.
54. Wastewater Discharge Permit may be required. Contact Water Source Pollution Control at (510) 881-7900 to discuss the business operation and to determine if a Wastewater Discharge Permit is required.
55. Provide a site or utility plan showing the sizes and locations of all existing and proposed water service lines, water meters, backflow prevention assemblies (per SD-202), and sewer lines.

SOLID WASTE

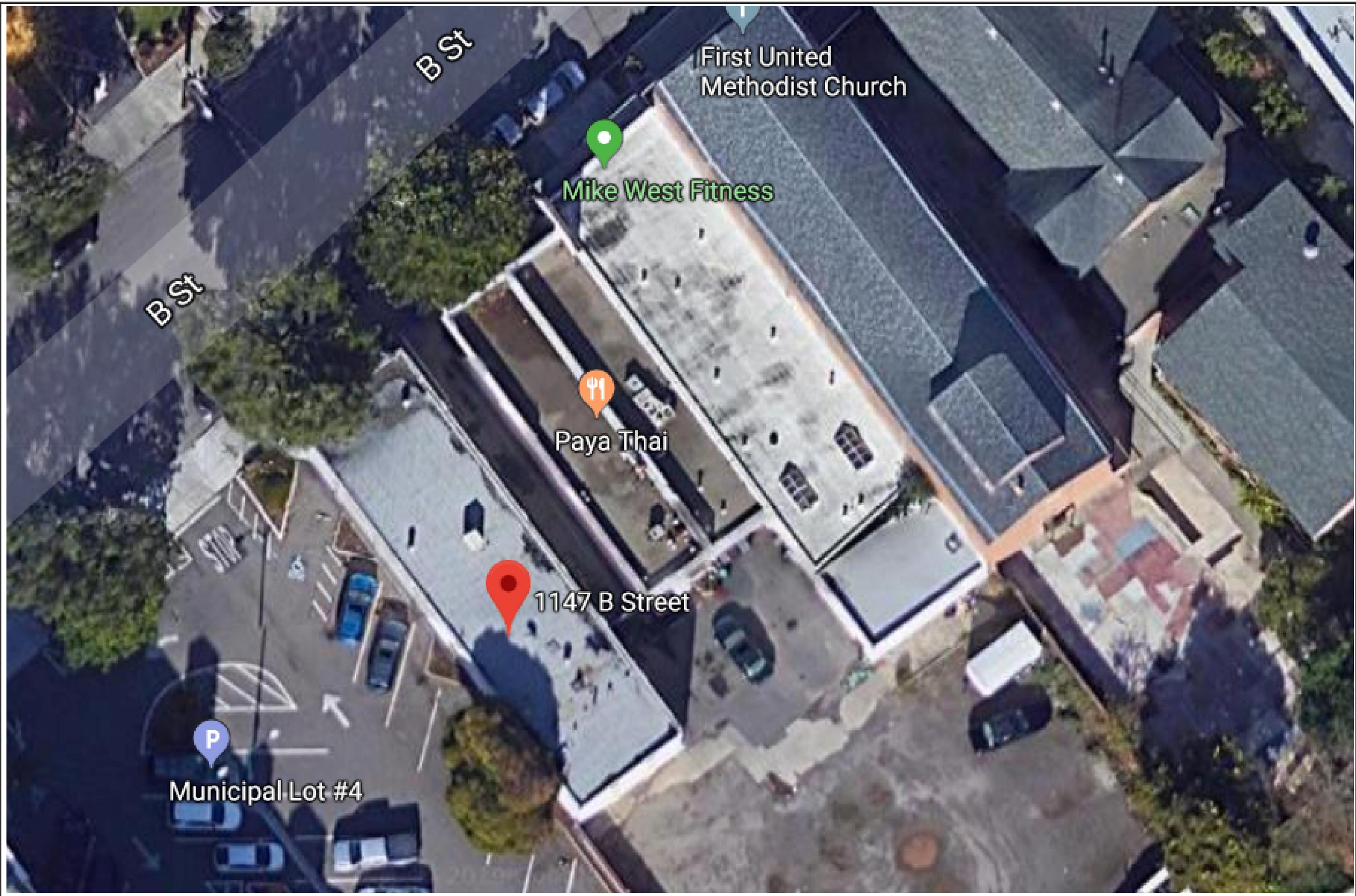
56. All trash enclosures must adhere to all the basic design guidelines provided in Section 3 of the City's Standard Design Requirements for Collection & Storage of Trash, Recyclables and Organics for Commercial Projects. All trash enclosures shall be adequately screened from view, utilizing a decorative wood or masonry wall or combination thereof and incorporate a roof, and doors which are compatible with the design of the primary building on site. The building permit submittal shall

include a detailed set of plans that show the design details of the enclosures, including the location of all bins and label each bin with the capacity (ex: three cubic yards, four cubic yards, etc.) as well as the type of waste trash, recyclables, organics).

57. All trash bins must be removed from public right of way within four hours after collection.
58. Any waste, recycles, or organics not serviced by the City must be disposed of by the applicant as deemed necessary or as require by the City of Hayward.
59. Construction & Demolition Debris: The City requires that construction and demolition debris be recycled per certain ordinance requirements. Submittal of the Debris Recycling Statement will be required at the time of your building permit. The form can also be found at <http://www.hayward-ca.gov/services/city-services/construction-and-demolition-debris-disposal>. You may also visit Hayward's [Green Halo webpage](#) and create a waste management plan instead of filling in the Debris Recycling Statement.

HAYWARD FIRE DEPARTMENT

60. A building permit is required for the installation of storage racks greater than six feet in height. A Fire Department Annual Operational Permit is required for any combustible storage (floor and/or rack) which exceeds 12 feet in height (Class I-IV type commodities), AND/OR any high hazard storage which includes commodities such as hazardous materials, flammable liquids, plastics, foam and rubber products, or any other classified commodity as dictated by the California Fire Code (CFC) and NFPA 13 Standards, which exceeds six feet in height.
61. All building units shall have approved address numbers, building numbers. Address identification of shall be placed in a position that is plainly legible and visible from the street or road fronting the property.
62. Duct smoke detectors that are installed within the HVAC system (AHU's and Smoke Dampers) shall meet the California Mechanical Code for installation and the California Fire Code. Such detectors shall be interconnected to the building's main fire alarm control panel and zoned separately.
63. 2A:10BC type fire extinguishers are required throughout the building for every 75' feet of travel or every 3,000 square feet of space.
64. Illuminated Exit signs shall be installed as per the California Building/Fire Code(s).



AERIAL VIEW



VICINITY MAP



STREET VIEW

AUNT HONEY'S CANNABIS DISPENSARY

GREAM ENTERPRISE INC

TENANT IMPROVEMENT

1147 & 1149 "B" STREET HAYWARD, CALIFORNIA 94545

PROJECT INFORMATION

BUSINESS TYPE: RETAIL
OF STORIES: ONE (1)
LOT AREA: 17,860 SQ. FT.
AREA OF TI WORK: 3,578 SQ. FT.
APN: 427-0011-021-00

TYPE OF CONSTRUCTION: V-B
FIRE SPRINKLER: NO
OCCUPANCY TYPE: "B"
ZONING AREA: CC-C
PARCEL:

DESIGNER INFORMATION

dba RVL DESIGN SERVICES CA. LICENSE # 34187
DESIGNER: VICTOR LINO
PH. 510.828.8810
EMAIL: victor_derudegn@outlook.com
CONSULTANT: HENRY ZUO, P.E.
LIC.# M31980

CONSTRUCTION NOTES

- CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE FOLLOWING HOURS OF OPERATION PER CITY OF HAYWARD ORDINANCES :
7 a.m. TO 7 p.m. MONDAY THROUGH FRIDAY
9 a.m. TO 6 p.m. SATURDAY AND SUNDAY
- FIRE DEPARTMENT ACCESS MUST BE PROVIDED AND MAINTAINED SERVICEABLE.
- PROVIDE AN EMERGENCY TELEPHONE ON THE JOB SITE.

PROJECT SCOPE OF WORK

THE SCOPE OF WORK UNDER THIS APPLICATION INCLUDES THE NECESSARY TENANT IMPROVEMENT TO ACCOMMODATE A NEW RETAIL/ DISPENSARY AND DELIVERY SERVICE FACILITY. THE FOLLOWING WORK INCLUDES: NEW NON-BEARING PARTITION WALLS TO CREATE A NEW UNISEX RESTROOM AND MANAGERS OFFICE. A NEW MECHANICAL HVAC ROOFTOP UNIT ARE BEING PROPOSED WITH NEW AIR DISTRIBUTION AND EXHAUST SYSTEM. IN ADDITION, BATHROOM FIXTURES WILL BE INSTALLED WITH PLUMBING LINES AND GENERAL LIGHTING, POWER OUTLETS/RECEPTACLES TO BE INSTALLED. NO UPGRADE TO THE EXISTING ELECTRICAL SERVICE AND GAS. NO ALTERATIONS AND/OR MODIFICATIONS TO THE EXISTING BUILDING SHELL. AND EXTERIOR WALLS ARE PROPOSED UNDER THIS APPLICATION.

COMPLIANCE NOTES

FIRE/ENVIRONMENTAL NOTES:

- A SEPARATE PERMIT IS REQUIRED FOR THE FIRE SUPPRESSION SYSTEM. OWNER, CONTRACTOR OR VENDOR TO PROVIDE A DEFERRED SUBMITTAL PACKAGE FOR THE FIRE SUPPRESSION SYSTEM REQUIREMENTS TO THE ALAMEDA COUNTY FIRE DEPARTMENT FOR APPROVAL.
- THE APPLICANT SHALL COMPLY WITH THE PROVISIONS OF PERMITS REQUIRED FROM ANY STATE OR REGIONAL AGENCIES, INCLUDING, BUT NOT LIMITED TO, THE BAY AREA QUALITY MANAGEMENT DISTRICT (BAAQMD), REGIONAL WATER QUALITY BOARD (RWQCB), UNION SANITARY DISTRICT, S (USD) POTW AND THE ALAMEDA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH, THE ALAMEDA COUNTY FIRE DEPARTMENT AND THE CITY OF HAYWARD ENVIRONMENTAL SERVICES.
- THE APPLICANT MUST IMMEDIATELY NOTIFY THE ALAMEDA COUNTY FIRE DEPARTMENT AND THE CITY OF HAYWARD ENVIRONMENTAL SERVICES HAZARDOUS MATERIALS UNIT OF ANY UNDERGROUND PIPES, TANKS OR STRUCTURES; ANY SUSPECTED OR ACTUAL CONTAMINATED SOILS; OR OTHER ENVIRONMENTAL ANOMALIES ENCOUNTERED DURING SITE DEVELOPMENT ACTIVITIES. ANY CONFIRMED ENVIRONMENTAL LIABILITIES WILL NEED TO BE REMEDIATED PRIOR TO PROCEEDING WITH SITE DEVELOPMENT.
- THE APPLICANT SHALL COMPLY WITH THE CURRENT CALIFORNIA BUILDING CODES, LOCAL ORDINANCES AND ALL APPLICABLE STATE, COUNTY AND CITY ENFORCEMENT/COMPLIANCE. ALL WORK AND INSTALLATION TO PERFORM MUST BE DONE IN ACCORDANCE TO THE CURRENT CODE SET FORTH BY THE STATE OF CALIFORNIA. CONTRACTOR SHALL BE RESPONSIBLE ON ALL BUILDING PROCESS, IMPROVEMENTS AND CHANGES TO BE DONE WITHIN THE SCOPE OF WORK DEPICTED OR NOT SPECIFIED IN THIS PERMIT DRAWINGS.
- BUILDING AND TENANT SPACE HAS NO FIRE SPRINKLERS AND FIRE ALARMS IN PLACE AND NO NEW INSTALLATION OF SUCH IS PART OF THIS SCOPE OF WORK. CONTRACTOR SHALL PROVIDE A SEPARATE DEFERRED SUBMITTAL FOR THE KITCHEN HOOD FIRE SUPPRESSION SYSTEM ONLY FOR PERMIT APPROVAL.

GENERAL NOTES

- BEFORE STARTING ANY WORK, THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND ACCURACY OF THE SCOPE OF WORK AND SHALL INDICATE TO THE ARCHITECT ANY DISCREPANCIES THAT MAY BE DISCOVERED IN A TIMELY MANNER.
- ALL WALKWAYS FROM ACCESSIBLE PARKING TO THE ACCESSIBLE ENTRANCES OF THE BUILDING SHALL BE LEVEL, WITH MAXIMUM SLOPE NOT TO EXCEED 1:20. CROSS WALKS ARE 2% MAXIMUM SLOPE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS AND FURNISHING THE OWNER WITH A COPY OF ALL PERMITS AND FINAL ACCEPTANCES GRANTED BY THE UTILITY COMPANIES AND REGULATORY AGENCIES INVOLVED.
- THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE CITY OF HAYWARD REGARDING SITE ACCESS, DELIVERIES, HANDLING OF MATERIALS, DEBRIS, ETC.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY UPON DISCOVERING ANY ASBESTOS AT THE JOBSITE IN ORDER FOR THE OWNER TO IMMEDIATELY MAKE ARRANGEMENT FOR PROPER REMOVAL BY A LICENSED ASBESTOS REMOVAL CONTRACTOR.
- DO NOT DISTURB THE ADJACENT OCCUPIED AREAS DURING CONSTRUCTION. ALWAYS KEEP PATHWAYS CLEAR AND CLEAN.
- ALL DIMENSIONS ARE TO BE WITHIN THE MARGIN OF ERROR OF 1/8" ALONG FULL HEIGHT AND ALONG FULL WIDTH OF WALLS.
- PROVIDE ADEQUATE WALL BACKING TO SUPPORT THE RELATIVE WEIGHT OF ALL WALL MOUNTED ITEMS AND FIXTURES.

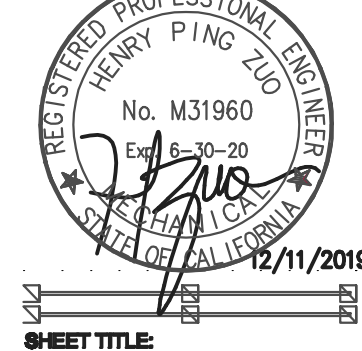
DRAWING INDEX

SHEET #:	SHEET TITLE:
A1.0	SITE PHOTO, VICINITY MAP, LEGENDS & GEN. NOTES
A2.0	SITE DEVELOPMENT PLAN, PARKING & UTILITIES
A2.1	PROPOSED FLOOR PLAN, CCTV & LIGHTING PLAN
A2.2	BUILDING ELEVATION PLAN



Tel. 510.828.8810
Email: victor_derudegn@outlook.com
Visit us @ www.rvl-design.com

SEALS



Tenant Improvement For:
AUNT HONEY'S CANNABIS DISPENSARY
GREAM ENTERPRISE INC
1147 "B" STREET, HAYWARD CALIFORNIA 94545
APN #: 427-0011-021-00

OWNER INFORMATION

Gregory S. Varr
TEL: (408) 252-0888
EMAIL: gsvarr@vafco.com

CONTRACTOR

BANKS CONSTRUCTION
GENERAL CONTRACTORS
TEL: (910) 821-6888

PROJECT NO:

VL 2018-001

DATE OF PLANS

November 05, 2018

ISSUE FOR PERMIT

MAY 08, 2019

REVISIONS

ISSUE FOR PERMIT
MAY 08, 2019

DRAWN BY:

VL

CHECKED BY:

HZ
ML

DATE

NOVEMBER , 2018

SCALE

1/4" = 1'-0"

SHEET NAME:

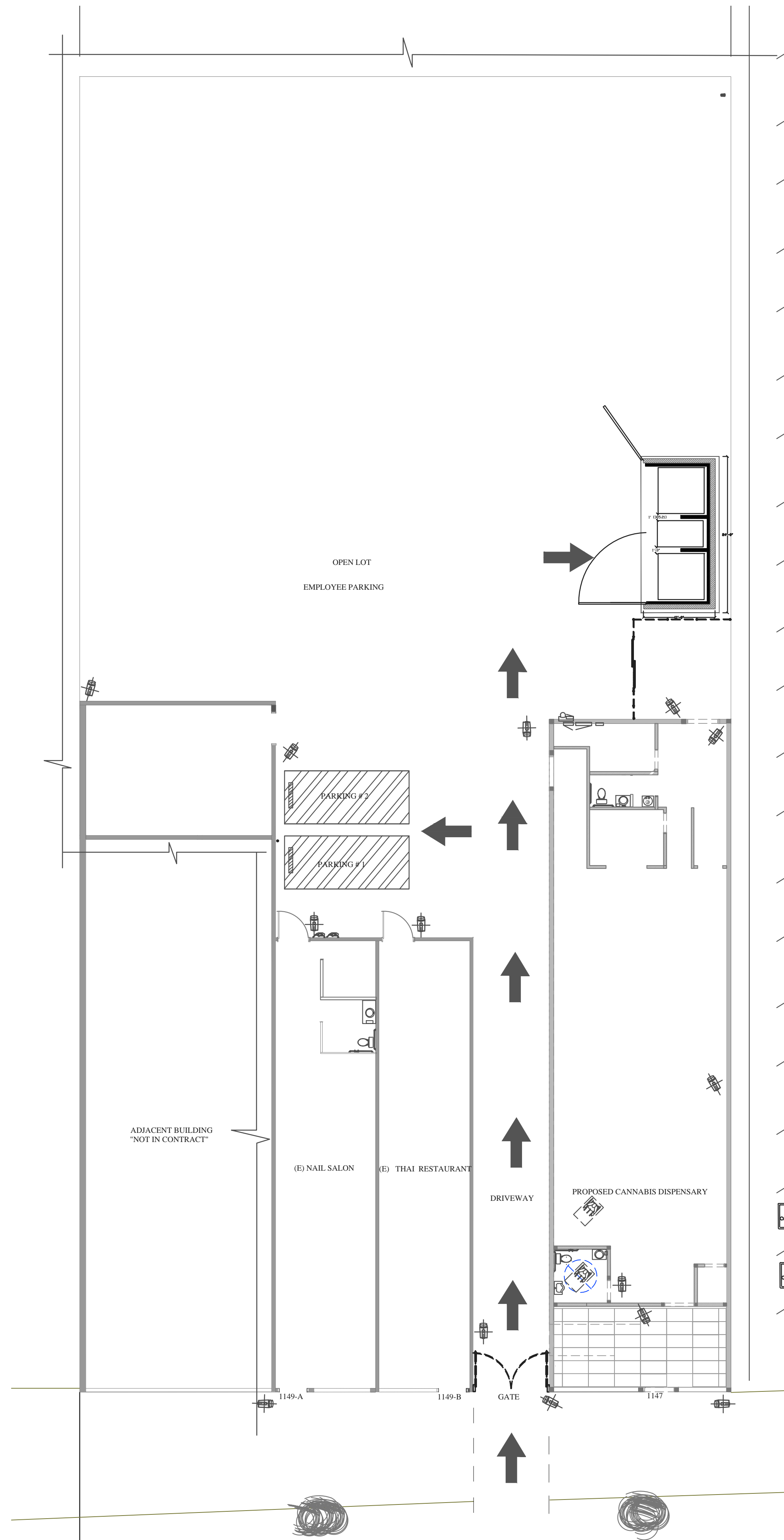
ARCHITECTURAL

SHEET TITLE:

SITE PLAN,
VICINITY MAP,
BUILDING LEGEND
AND
GENERAL NOTES

SHEET NUMBER

A1.0



PROPOSED SITE PLAN

1
3/32" = 1'-0"

24' X 12' CONCRETE FLOOR SLAB
W/1.5% GRADE AND SLOPE AS REQUIRED

6" PARKING CURB/BUMPER

8" CMU WALL @10.5 FT. HT.

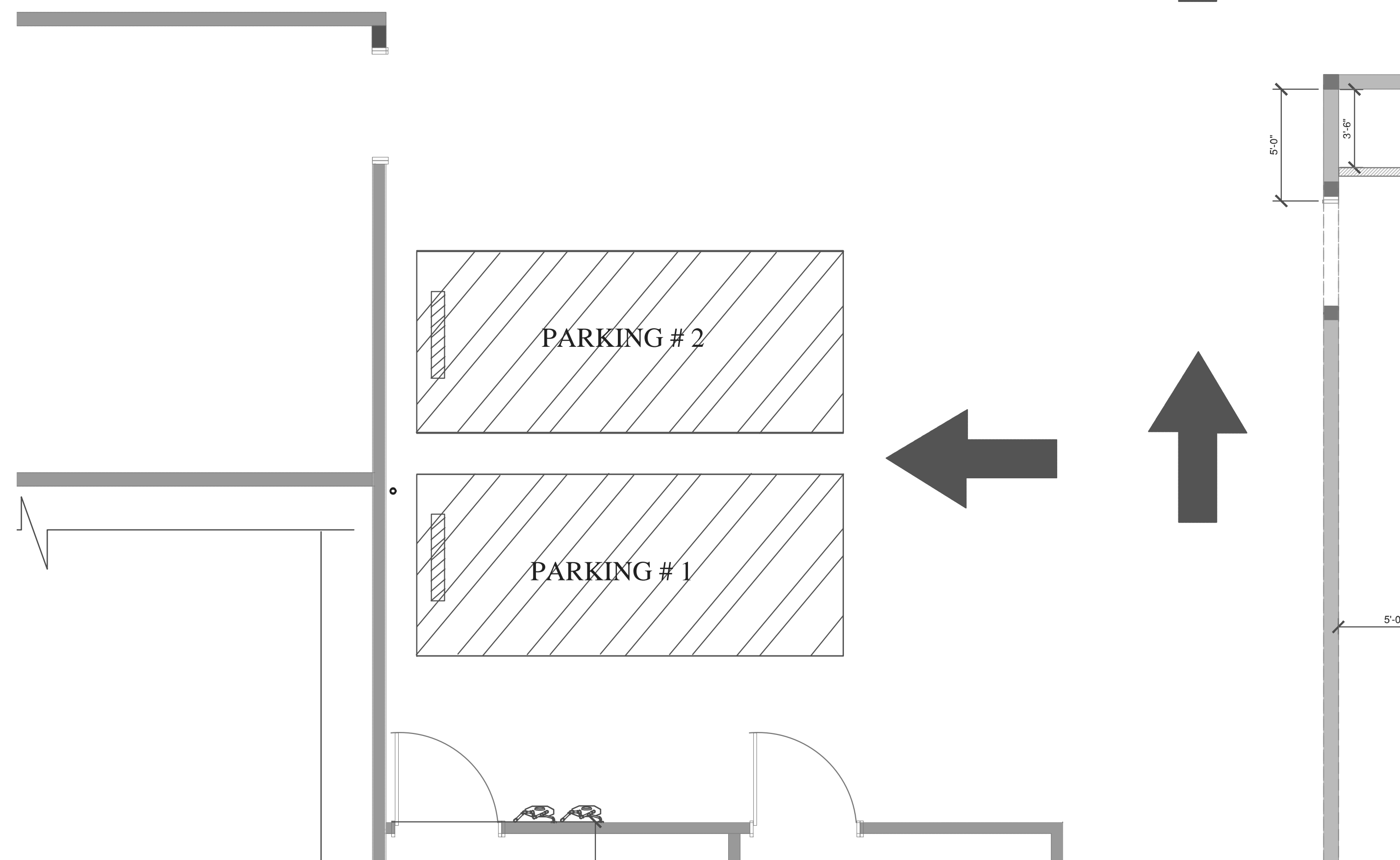
4 CUBIC YARDS
TRASH BIN

3 CUBIC YARDS ORGANIC
TRASH BIN (ONLY)

4 CUBIC YARDS
RECYCLABLE BIN

ENLARGED SCALE- TRASH BIN ENCLOSURE

3
1/4" = 1'-0"



ENLARGED SCALE- PROPOSED PARKING STALLS

2
1/4" = 1'-0"

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CONCEPTS
AND
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PLUMBING

TEL: (916) 882-8810
Email: rvl.design@outlook.com
Visit us @ www.rvl.design.com

SEALS

REGISTERED PROFESSIONAL ENGINEER
HENRY PING ZUO
No. M31960
12/11/2019

SHEET TITLE:

Tenant Improvement For:
AUNT HONEY'S CANNABIS DISPENSARY
GREAM ENTERPRISE INC
1147 "B" STREET HAYWARD CALIFORNIA 94541
APN #: 427-001-021-000

OWNER INFORMATION
Gregory S. Van
TEL: (408) 282-8888
EMAIL: gvan@yaho.com

CONTRACTOR
BANKS CONSTRUCTION
GENERAL CONTRACTORS
TEL: (916) 821-8888

PROJECT NO:
VL 2018-001

DATE OF PLANS
November 05, 2018

ISSUE FOR PERMIT
MAY 08, 2019

REVISIONS
ISSUE FOR PERMIT
MAY 08, 2019

DRAWN BY:
VL

CHECKED BY:
HZ
ML

DATE

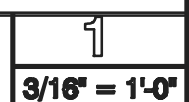
SCALE 1/4" = 1'-0"

SHEET NAME:
ARCHITECTURAL

SHEET TITLE:

**SITE PLAN,
PARKING
AND TRASH
ENCLOSURE**

SHEET NUMBER:
A2.0



**AUNTY HONEYS
COMMERCIAL CANNABIS RETAIL DISPENSARY
APPLICATION**

Date: January 12, 2018

To:
John Stefanski
Office of the City Manager
RE: CCP RFP City of Hayward
777 B Street Hayward, CA 94541
John.Stefanski@hayward-ca.gov

By submitting this proposal, the Applicant represents and warrants that:

- (a) The information provided is genuine and not a sham, collusive, or made in the interest or on behalf of any party not therein named, and that the Applicant has not directly or indirectly induced or solicited any other Applicant to put in a sham proposal, or any other Applicant to refrain from presenting information and that the prospective provider has not in any manner sought by collusion to secure an advantage.
- (b) The Applicant has not paid or agreed to pay any fee or commission, or any other thing of value contingent upon the award of an exclusive operating area, to any employee, official, or existing contracting consultant of the City of Hayward.

Prepared on behalf of GREAM Enterprises, Inc DBA Aunty Honeys
By Green Rush Consulting

The following documents are hereby segregated as Confidential – Proprietary Trade Secret Information and are exempt from disclosure pursuant to the Public Records Act

LIVESCAN FORMS

Completed LiveScan Background Check documentation is included for each member of the Applicant Team:

1. Esther Lopez, Applicant and sole Owner of Aunty Honeys and Chief Executive Officer
2. Melba Khan, financial backer of Aunty Honeys with no operational role

Completed LiveScan Background Check documentation is also included for three prospective employees with pivotal roles in Aunty Honeys:

3. Angela Casanave, Director of Compliance and Quality Assurance Manager
4. Isabel Pina-Ramirez, Director of Security
5. Marcella James, Community Relations Manager

Additional team members are listed in the application at the Director and Manager level and are described in the Management Experience section of the application. Upon licensure and prior to beginning active roles, these persons and all other prospective employees will undergo LiveScan background checks.

The following documents are hereby segregated as Confidential – Proprietary Trade Secret Information and are exempt from disclosure pursuant to the Public Records Act

APPLICANT ATTESTATION FORM COVER PAGE

Completed Attestation Forms are included for each member of the Applicant Team:

1. Esther Lopez, Applicant and sole Owner of Aunty Honeys and Chief Executive Officer
2. Melba Khan, financial backer of Aunty Honeys with no operational role

Completed Attestation Forms are also included for three prospective employees with pivotal roles in Aunty Honeys:

3. Angela Clark-Casanave, Director of Compliance and Quality Assurance Manager
4. Isabel Pina-Ramirez, Director of Security
5. Marcella James, Community Relations Manager

Because of the substantive roles that these prospective employees will play, Aunty Honeys has high standards for their past level of business conduct. Their completion of this attestation form reflects those standards and their level of commitment to the proposed dispensary.

Upon request by the City of Hayward, Aunty Honeys will provide attestation forms from other similar high-level employees.

Please note: the field “Business Address” is left blank, as no current location for the Applicant has been secured. All mail related to this application and other business may be sent to:

The Business Center
1164 West Tennyson Road
Hayward, CA 94544

The following documents are hereby segregated as Confidential – Proprietary Trade Secret Information and are exempt from disclosure pursuant to the Public Records Act

APPLICATION FORM/REQUIRED CONTENT COVER PAGE

TABLE OF CONTENTS

Application Forms

- Applicant Information
 - Copy of State Registration
- Co-Applicant Information

RFP Narrative

- Proposed Business Types
- Proposed Business Location(s)
- Business Plan and Operation
 - Attachments: Proof of Capitalization Attachments
 - Esther Lopez
 - Melba Khan
 - Attachments: Conceptual Site Plan
- Management Experience
 - Attachments:
 - Resumes
- Safety and Security Plan
 - Attachments: Sample Policy
- Community Benefits Proposal
- Product Testing and Safety
- Environmental Plan
- Labor and Employment Practices
 - Attachments:
 - Labor Peace Agreement
 - Commercial Cannabis Permit Program Declaration of Non-Discrimination
 - Non-Discrimination/Anti-Harassment and Complaint Procedure policy
 - Worker's compensation Letter of Intent
 - Cannabis Industry Workers' Compensation Application
- Applicant Certification
- Application Fee

APPLICANT INFORMATION

- Information on Applicant
 - Name (full, legal name): **Esther J Lopez**
 - Title: **Chief Executive Officer**
 - DOB: [REDACTED]
 - SS# [REDACTED]
 - Valid California driver's license # [REDACTED]
 - All other names used in the past: **N/A**
- If Applicant is corporation, nonprofit, or other business entity:
 - Full, true name of business: **GREAM ENTERPRISES, INC**
 - Doing Business As (DBA): **AUNTY HONEYS**
 - Type of Corporate Structure: **C-CORPORATION**
 - Attach a copy of State registration: **Attached**
- Contact Information:
 - Mailing Address: [REDACTED]
 - Primary phone number: [REDACTED]
 - Alternate phone number: [REDACTED]
 - Email address: [REDACTED]

4000046

**ARTICLES OF INCORPORATION
OF
GREAM ENTERPRISES, INC.**

FILED *gmh*
Secretary of State
State of California

14 **MAR 02 2017** *DN*

ARTICLE I

The name of this corporation is:
GREAM ENTERPRISES, INC.

ARTICLE II

The purpose of the corporation is to engage in any lawful act or activity for which a corporation may be organized under the General Corporation Law of California other than the banking business, the trust company business or the practice of a profession permitted to be incorporated by the California Corporations Code.

ARTICLE III

The name and complete business address in the State of California of this corporation's initial agent for service of process is:

**ESTHER JESSIE LOPEZ
1164 WEST TENNYSON ROAD
HAYWARD, CALIFORNIA 94544**

ARTICLE IV

The corporation's complete business addresses are:

Initial Street Address: **1164 WEST TENNYSON ROAD
HAYWARD, CALIFORNIA 94544**

Initial Mailing Address: **1164 WEST TENNYSON ROAD
HAYWARD, CALIFORNIA 94544**

ARTICLE V

This corporation is authorized to issue only one class of shares of stock which shall be designated Common Stock, \$.001 par value; and the total number of shares which this corporation is authorized to issue is **1,000**.

ARTICLE VI

(a) The liability of directors of this corporation for monetary damages shall be eliminated to the fullest extent permissible under California law.

(b) This corporation is authorized to provide indemnification of agents (as defined in Section 317 of the California Corporations Code) through bylaw provisions, agreements with agents, vote of shareholders or disinterested directors, or otherwise, to the fullest extent permissible under California law.

(c) Any amendment, repeal or modification of any provision of this Article VI shall not adversely affect any right or protection of an agent of this corporation existing at the time of such amendment, repeal or modification.



ESTHER JESSIE LOPEZ

DISPLAY CONSPICUOUSLY AT PLACE OF BUSINESS FOR WHICH ISSUED

CALIFORNIA STATE BOARD OF EQUALIZATION

TEMPORARY SELLER'S PERMIT

Valid 05/01/2018 through 07/01/2018



SR CH 103-187096

AUNTY HONEYS
CREAM ENTERPRISE INC
1164 W TENNYSON RD
HAYWARD, CA 94544-4422

IS HEREBY AUTHORIZED PURSUANT TO SALES AND USE TAX LAW TO ENGAGE IN THE BUSINESS OF SELLING TANGIBLE PERSONAL PROPERTY AT THE ABOVE LOCATION. THIS PERMIT IS VALID FOR THE PERIODS SHOWN AND IS NOT TRANSFERABLE.

For general tax questions, please call our Customer Service Center at 1-800-400-7115 (TTY:711).
For information on your rights, contact the Taxpayers' Rights Advocate office at 1-888-324-2798 or 1-916-324-2798.

BOE-442-ST REV. 5 (11-14)

A MESSAGE TO OUR NEW PERMIT HOLDER

As a seller, you have rights and responsibilities under the Sales and Use Tax Law. In order to assist you in your endeavor and to better understand the law, we offer the following sources of help:

- Visiting our website at
- Visiting a field office
- Attending a Basic Sales and Use Tax Law class offered at one of our field offices
- Sending your questions in writing to any one of our offices
- Calling our toll-free Customer Service Center at 1-800-400-7115 (TTY:711)

As a seller, you have the right to issue resale certificates for merchandise that you intend to resell. You also have the responsibility of not misusing resale certificates. While the sales tax is imposed upon the retailer,

- You have the right to seek reimbursement of the tax from your customer
- You are responsible for filing and paying your sales and use tax returns timely
- You have the right to be treated in a fair and equitable manner by the employees of the California State Board of Equalization (BOE)
- You are responsible for following the regulations set forth by the BOE

As a seller, you are expected to maintain the normal books and records of a prudent businessperson. You are required to maintain these books and records for no less than four years, and make them available for inspection by a BOE representative when requested. You are also expected to notify us if you are buying, selling, adding a location, or discontinuing your business, adding or dropping a partner, officer, or member, or when you are moving any or all of your business locations. If it becomes necessary to surrender this permit, you should only do so by mailing it to a BOE office, or giving it to a BOE representative.

If you would like to know more about your rights as a taxpayer, or if you are unable to resolve an issue with the BOE, please contact the Taxpayers' Rights Advocate office for help by calling toll-free, 1-888-324-2798 or 1-916-324-2798. Their fax number is 1-916-323-3319.

Please post this permit at the address for which it was issued and at a location visible to your customers.

CALIFORNIA STATE BOARD OF EQUALIZATION
Sales and Use Tax Department



State of California Secretary of State

S

Statement of Information

(Domestic Stock and Agricultural Cooperative Corporations)

FEES (Filing and Disclosure): \$25.00.

If this is an amendment, see instructions.

IMPORTANT – READ INSTRUCTIONS BEFORE COMPLETING THIS FORM

FR55245

FILED

In the office of the Secretary of State
of the State of California

OCT-12 2017

This Space for Filing Use Only

1. CORPORATE NAME

GREAM ENTERPRISES, INC.

2. CALIFORNIA CORPORATE NUMBER

C4000046

No Change Statement (Not applicable if agent address of record is a P.O. Box address. See instructions.)

3. If there have been any changes to the information contained in the last Statement of Information filed with the California Secretary of State, or no statement of information has been previously filed, this form must be completed in its entirety.

☐ If there has been no change in any of the information contained in the last Statement of Information filed with the California Secretary of State, check the box and proceed to Item 17.

Complete Addresses for the Following (Do not abbreviate the name of the city. Items 4 and 5 cannot be P.O. Boxes.)

4. STREET ADDRESS OF PRINCIPAL EXECUTIVE OFFICE CITY STATE ZIP CODE

1164 W TENNYSON RD, HAYWARD, CA 94544

5. STREET ADDRESS OF PRINCIPAL BUSINESS OFFICE IN CALIFORNIA, IF ANY CITY STATE ZIP CODE

6. MAILING ADDRESS OF CORPORATION, IF DIFFERENT THAN ITEM 4 CITY STATE ZIP CODE

ESTHER LOPEZ 1164 W TENNYSON RD, HAYWARD, CA 94544

Names and Complete Addresses of the Following Officers (The corporation must list these three officers. A comparable title for the specific officer may be added; however, the preprinted titles on this form must not be altered.)

7. CHIEF EXECUTIVE OFFICER ADDRESS CITY STATE ZIP CODE

ESTHER JESSIE LOPEZ 1164 W TENNYSON RD, HAYWARD, CA 94544

8. SECRETARY ADDRESS CITY STATE ZIP CODE

MELBA KHAN 1164 W TENNYSON RD, HAYWARD, CA 94544

9. CHIEF FINANCIAL OFFICER/ ADDRESS CITY STATE ZIP CODE

ESTHER LOPEZ 1164 W TENNYSON RD, HAYWARD, CA 94544

Names and Complete Addresses of All Directors, including Directors Who are Also Officers (The corporation must have at least one director. Attach additional pages, if necessary.)

10. NAME ADDRESS CITY STATE ZIP CODE

ESTHER JESSIE LOPEZ 1164 W TENNYSON RD, HAYWARD, CA 94544

11. NAME ADDRESS CITY STATE ZIP CODE

12. NAME ADDRESS CITY STATE ZIP CODE

13. NUMBER OF VACANCIES ON THE BOARD OF DIRECTORS, IF ANY:

Agent for Service of Process If the agent is an individual, the agent must reside in California and Item 15 must be completed with a California street address, a P.O. Box address is not acceptable. If the agent is another corporation, the agent must have on file with the California Secretary of State a certificate pursuant to California Corporations Code section 1505 and Item 15 must be left blank.

14. NAME OF AGENT FOR SERVICE OF PROCESS

ESTHER JESSIE LOPEZ

15. STREET ADDRESS OF AGENT FOR SERVICE OF PROCESS IN CALIFORNIA, IF AN INDIVIDUAL CITY STATE ZIP CODE

1164 W TENNYSON RD, HAYWARD, CA 94544

Type of Business

16. DESCRIBE THE TYPE OF BUSINESS OF THE CORPORATION

RETAIL

17. BY SIGNING THIS STATEMENT OF INFORMATION TO THE CALIFORNIA SECRETARY OF STATE, THE CORPORATION CERTIFIES THE INFORMATION CONTAINED HEREIN, INCLUDING ANY ATTACHMENTS, IS TRUE AND CORRECT.

CEO

DATE

TYPE/PRINT NAME OF PERSON COMPLETING FORM

TITLE

SIGNATURE

The following documents are hereby segregated as Confidential – Proprietary Trade Secret Information and are exempt from disclosure pursuant to the Public Records Act

CO-APPLICANT INFORMATION

Last Name: Lopez	First Name: Esther	Middle Initial: J
Alias(es): N/A		
Title: Chief Executive Officer		
<div></div>		
Business Address:		
City:	State:	Zip:

Last Name: Khan	First Name: Melba	Middle Initial:
Alias(es): N/A		
Title: Investor		
<div></div>		
Business Address:		
City:	State:	Zip:

PROPOSED BUSINESS TYPES

ALL COMMERCIAL CANNABIS PERMITS FOR THE CITY OF HAYWARD

- Commercial Cannabis Retail Dispensary

COMMERCIAL CANNABIS PERMIT SOUGHT IN THIS APPLICATION

- Commercial Cannabis Retail Dispensary

STATE CANNABIS LICENSES

- The Applicant will apply for Type 10 Storefront Retail Licenses for both medical and adult use
- The Applicant does not currently hold any State cannabis licenses

PROPOSED BUSINESS LOCATION

Have you identified or secured location(s) for your proposed business?

- No: **The Applicant has not secured a location for the proposed business.**

Description of the proposed location(s): **N/A**

Have you confirmed that the proposed commercial cannabis business is allowed at this location under the City of Hayward Municipal Code Chapter 10 (Zoning Ordinance)?

- **The Applicant will perform the appropriate confirmation upon securing a location.**

Right to Occupy Proposed Location: Check the appropriate box indicating Applicant's right to occupy proposed location(s) and provide supporting documents if available:

- ~~Owner (provide copy of deed)~~
- ~~Tenant (provide copy of lease)~~
- ~~Intent to Lease/Purchase (provide letter of intent)~~
- **Not yet secured a location**

If Applicant is not the owner of the proposed location, provide following information for the current property owner:

- Full name,
- Residential address,
- Phone,
- Email,
- Proof of consent to operate a commercial cannabis business at the location.
- **The Applicant will provide the required information upon securing a location.**

AUNTY HONEYS COMMERCIAL CANNABIS RETAIL APPLICATION BUSINESS PLAN AND OPERATION

OPERATIONS

Company Overview and Vision

Auntie Honeys, a proposed commercial cannabis retail dispensary, is led by a team of women with deep roots in the Hayward community who seek to provide high-quality medical and adult use cannabis products at a fair price. Auntie Honeys will draw from the leadership team's significant experience in the cannabis field to create a compassionate, supportive, and educational space for patients and customers who are seeking to understand how cannabis can play a beneficial role in their lives.

At its core, Auntie Honeys is a collaborative group of individuals working for the common good, similar to a beehive. At the center of this hive is the Auntie, a warm and caring leader with open arms and a familiar presence. CEO Esther Lopez is the human embodiment of this Auntie, with a history of becoming the compassionate listening ear of her clients at The Business Center, a financial services business in Hayward. Ms. Lopez is driven to create and nurture businesses that take pride in earnestly serving the community, and has had success with as CEO of The Business Center.

For a period of time, The Business Center operated as a nationally-recognized franchise. While this exposure increased the company's profit margins, it could no longer offer the most affordable services for its customers, and many other community-oriented services were no longer available. After the contract period was fulfilled, CEO Esther Lopez promptly terminated the franchise partnership and resumed operations as an independent, local business prioritizing fair prices and offering free professional services to seniors and veterans. This shift demonstrates Ms. Lopez's commitment to the community as well as her ability to run a successful business that maintains a compassionate community focus. With Ms. Lopez at the helm, Auntie Honeys will become a successful dispensary that balances contributing to the community with generating reasonable profits.

Day-to-Day Operations

Auntie Honeys, as a commercial cannabis retail dispensary, will provide an accessible and secure purchasing environment for both medical and adult use customers. The knowledgeable staff will also share educational insight into product selection. The dispensary itself will further serve as a community hub, offering referrals and partnerships to appropriate third parties (described in detail in the Community Benefits plan).

Auntie Honeys intends to build on its strengths and experience as a community-driven cohort of compassionate and knowledgeable leaders to develop a dispensary that is tailored to the unique needs of Hayward residents. To achieve its mission, Auntie Honeys is committed to implementing the following goal in day-to-day operations:

- **Providing high-quality products at a reasonable price:** Auntie Honeys will draw on decades of experience purchasing cannabis products in California to identify high-quality

cannabis and cannabis products that have been tested in full compliance with State of California requirements. Over time, Aunty Honeys envisions vertically integrating with an off-site cultivation facility in order to further ensure the quality and affordability of its products. When appropriate, Aunty Honeys plans to work with Harrens Lab in Hayward to verify the quality of products.

- **Creating a welcoming and supportive environment:** Aunty Honeys will design a clean, inviting, secure facility, and hire and train staff to provide a welcoming environment for all customers, particularly those who may be new to cannabis.
- **Contributing positively to the Hayward community:** As long-standing residents and business owners in Hayward, Aunty Honeys will build on existing relationships with community organizations to support Hayward's youth, seniors, ill, and low-income residents, and build a compassionate care program for patients who would otherwise struggle to afford medicine. Aunty Honeys also intends to benefit the Hayward community by creating local jobs, contributing tax revenue to the City, and beautifying the area surrounding the dispensary. (More details in the Community Benefits Plan.)
- **Offering educational services targeted to the Hayward community:** Decades of War on Drugs propaganda has fueled rampant misinformation on cannabis' uses and effects. Aunty Honeys will educate staff, patients, and customers on the latest science regarding the safe use of cannabis, different types of cannabis products and strains, and the use of cannabis for both wellness and treatment of illnesses. Aunty Honeys will provide open seminars for all to learn more about the cannabis plant and its uses. In addition, when appropriate, Aunty Honeys will provide referrals to substance abuse counselors.

Products and Services

Aunty Honeys will determine its line of cannabis products based on its assessment of the East Bay cannabis market, its relationship with licensed vendors, and data on consumer purchasing patterns provided through MJ Freeway. Over time, Aunty Honeys will adjust its product line based on regional and statewide data as well as customer feedback. Initial products and services will include:

- **Products for medical need:** Patients in Hayward and the East Bay often turn to cannabis for assistance in treating cancer, seizure disorders, arthritis, migraines, PTSD, ADD/ADHD, anxiety, depression, and insomnia, among other disorders. Aunty Honeys will carry a variety of products targeted to these ailments. In particular, Aunty Honeys will carry high-CBD and CBD-only products, which cause no psychoactive effects and which research shows high effectiveness for a number of common conditions.
- **A diversity of high-demand products:** Aunty Honeys' leadership team has found that sativa dominant strains are particularly popular among patients in the East Bay. The dispensary will stock these high-demand products along with a range of popular products including indicas, extracts, tinctures, high-potency and microdosed edibles, topicals, sprays, and live resins from state-licensed vendors. Aunty Honeys believes a diversity of products will best meet the demand. Aunty Honeys will also seek to carry branded products designed specifically for women.
- **Education on safe and effective cannabis use:** Many existing and potential cannabis consumers do not feel empowered to use cannabis in a way that will most benefit them.

Auntie Honeys will train staff on the latest research on cannabis' uses and will make open seminars available for patients and customers who want to learn more about cannabis.

- **On-demand cannabis delivery:** Soon after launch, Auntie Honeys plans to offer delivery services. Supplementing storefront retail sales will enable Auntie Honeys to reach patients and customers with less mobility or capacity to physically travel to a dispensary; as well as simply offer greater convenience for customers.

Over the longer term, Auntie Honeys plans to establish a licensed cultivation facility in order to vertically integrate a portion of its raw cannabis product.

At all times Auntie Honeys will comply fully with state and local law, including the requirement that all products come through a state-licensed distributor and fully-licensed supply chain.

Projected Customer Base

As shown in the financial pro forma below, Auntie Honeys is using a conservative customer estimate in line with the values Hayward City Staff used during a Fiscal Sustainability Workshop in October 2017. These estimates are based on data from San Jose, adjusted for the higher (15%) tax rate in Hayward. Based on these values, which yield approximately \$2.5 million in taxes for Hayward, the retail cannabis market in the City would be valued at approximately \$18 million.

Based on market data, a typical current California cannabis user will consume on average one eighth of dry cannabis flower and one half-gram of cannabis concentrate per week. At current market rates, this is a value of \$75. With the introduction of the recreational market and new cannabis users, and recognizing that Hayward's average income is only half that of the state average, Auntie Honeys conservatively estimates that average use per person will be half that amount. With this spending estimate and the estimated market for the City of Hayward, Auntie Honeys' included financial pro forma is based on an estimated customer base of 9,230 individuals, or approximately 6 percent of Hayward's population (159,000). Other estimates place cannabis use at as much as 15 percent of California's population, again making this a conservative estimate of customers.

Auntie Honeys estimates that 20 percent of sales will go through non-storefront delivery services, and remaining sales will be evenly divided among the proposed three storefront dispensaries. Therefore Auntie Honeys anticipates capturing slightly more than a quarter of the anticipated customers in Hayward, or nearly 2,500 customers and nearly \$5,000,000 in gross receipts.

Marketing Plan

Auntie Honeys' Marketing Plan is centered on establishing a brand identity as a woman-friendly dispensary carrying high quality, affordable products, and providing reliable cannabis education. Given the leadership team's roots in the community, Auntie Honeys is especially well positioned to take advantage of word-of-mouth marketing so long as its business operations meet high standards of quality. Word-of-mouth marketing is generally considered to be the gold standard for marketing: according to Forbes, 92% of consumers prioritize recommendations from friends and family over advertising, and 64% of marketing executives identify word-of-mouth as the single most effective form of marketing.

In addition to leveraging its position in the community, Aunty Honeys will pursue several strategies to increase its marketing reach:

- **Social media and web presence:** Aunty Honeys will establish and maintain social media profiles including Yelp, Google, Weedmaps, Massroots, and Leafly. Aunty Honeys will also establish and maintain a website with detailed educational information on cannabis' effects and uses, including safe use tips; cannabis product availability and descriptions; and promotions or special events.
- **Presence at cannabis events:** Aunty Honeys will establish a physical presence at key licensed cannabis industry events that draw large numbers of cannabis consumers, such as the Emerald Cup. With the new temporary event license established under recent BCC regulations, the landscape of cannabis events is likely to change, and Aunty Honeys will adapt to maintain a consistent presence prominent emerging events in the Bay Area.
- **Customer incentive programs:** Aunty Honeys will establish programs to encourage customer loyalty through a customer rewards program, as well as a referral bonus for customers who refer friends to the dispensary.

Hours of Operation

Aunty Honeys currently plans to operate from 9am-7pm, seven days per week. These operating hours are subject to change based on market conditions. Aunty Honeys will notify the City of any changes in operating hours and will not operate outside of state restrictions which limit operating hours to 6am-10pm.

Specialized Equipment

No specialized equipment will be used.

Hazardous Materials

The dispensary may use typical retail cleaning supplies in accordance with manufacturer's instructions and municipal, state, or federal requirements for safe storage and disposal. No other hazardous materials, including volatile solvents or gases, will be used by Aunty Honeys.

State-Licensed Vendors

In accordance with state law, Aunty Honeys will purchase all cannabis from a state-licensed distributor. At the present time, it is too early to determine which distributor, or combination of distributors, will be in the best position to supply Aunty Honeys with quality products at reasonable cost and in a secure fashion; however, Aunty Honeys will prioritize women-led and local distributors, as well as distributors who provide high quality pesticide-free cannabis products. Aunty Honeys will provide the City of Hayward with up-to-date information on its distributor partners upon request.

Frequency of Deliveries

Based on its understanding of other dispensary operations, Aunty Honeys anticipates receiving deliveries once per day. However, the precise frequency of deliveries will depend on customer demand as well as the capacity of distributors in the licensed marketplace. To streamline inventory management and decrease security risks during chain of custody transactions, Aunty

Honeys will work to keep deliveries of wholesale product to a minimum. Chain of custody transactions will meet the stringent standards and SOPs identified in the security plan, and will be updated to comply with and reflect state and local regulations and best practices.

Design Concept

The design and aesthetics of a retail establishment not only drives the customer experience and determines the clientele, it holds the power to transform the surrounding community. This rings more true than ever for cannabis businesses, where many neighborhood residents share concerns that a dispensary could negatively impact their community. Therefore, Aunty Honeys commits to integrating a dispensary design that fosters a communal feeling and serves as a catalyst for community revitalization.

Aunty Honeys plans to create a space that evokes an “urban contemporary” ambiance with warm, rustic interior design, employing local artisans to craft custom-built natural wood cabinetry. The overall design will feel open and inviting, evoking a feeling of relaxation in patients and visitors. Aunty Honeys will further select design elements including accent and display lighting to promote an intimate yet sophisticated experience. Furthermore, Aunty Honeys will engage in landscaping, maintenance, and periodic re-paintings to ensure that the facility’s exterior remains in pristine condition. A prominent East Bay artist, Norman Chuck (aka Vogue), will also be commissioned to create a community-oriented mural on the building exterior.

Regulatory Compliance

Aunty Honeys has designated a Director of Compliance responsible for ensuring conformance with all aspects of Hayward Municipal Code Chapters 10-1.3600 and 6-14, all statutory and regulatory requirements issued pursuant to MAUCRSA, and any regulatory clarifications issued by state or local authorities, including California’s Bureau of Cannabis Control. The Director of Compliance will be responsible for designing and implementing Standard Operating Procedures (SOPs) based on these regulations, as well as tracking changes to local and state regulation as they occur. Given the likelihood of rapid regulatory changes at the state level, in particular, Aunty Honeys understands that maintaining an adaptive and flexible compliance plan will be crucial to ensuring that its operations are fully compliant.

Aunty Honeys will not begin operations until it is in possession of valid local and state commercial cannabis permits, certificates, and licenses. Upon receiving a cannabis retail permit from Hayward, Aunty Honeys plans to apply for Type 10 Storefront Retail Licenses for both medical and adult use activity from the Bureau of Cannabis Control. After obtaining the relevant permits and licenses, Aunty Honeys will only do business with other state-licensed cannabis businesses. In particular, Aunty Honeys will only receive product shipments from state-licensed distributors who have completed testing and quality assurance required by state law.

SOPs will be promulgated for security, odor control, waste disposal, track and trace, inventory management, recordkeeping, quality assurance, and any other process required by state or local law or regulation. SOPs will also be implemented to ensure cannabis will be dispensed only to individuals with proper identification and documentation in compliance with Section 5402 of emergency BCC regulations. Aunty Honeys will implement procedures to ensure that all taxes –

including state sales tax, state cannabis excise tax, and any local tax determined by the City of Hayward – are collected and remitted. In compliance with state law, Aunty Honeys will retain all records associated with cannabis activity for a minimum of seven years. Records will be made available to Hayward authorities or the BCC upon request, and Aunty Honeys will make the premises available for inspection to ensure compliant operation.

Aunty Honeys operating procedures take further inspiration from the 2008 California Attorney General’s Guidelines that clarified the “collective and cooperative” model of business under SB 420. While these Guidelines are no longer the legal touchpoint for operations, many are reiterated in MAUCRSA regulations or are best practices in the industry.

With this inspiration, Aunty Honeys places emphasis on implementing and providing clear guidance to staff and customers with respect to: verifying medical recommendations, as applicable; purchasing cannabis only as provided by law; disallowing unlawful weapons and illicit drugs on the premises; adhering to a lawful supply chain with strict safeguards against distribution outside of California; and stringent age verification of all customers.

Aunty Honeys does not currently hold any local or state licenses for any cannabis activity, and will not commence operations until all appropriate licenses and permits are secured.

Startup Timeline

Q1 2018:

- Apply for City of Hayward Commercial Cannabis Business Permit
- Applicant interviews for the City of Hayward
- Identify correctly zoned and workable locations
- Identify appropriately licensed contractors, including for building renovations
- Network and develop licensed supply chain, including local distributors

Q2 2018:

- Finalize property details and apply for land use approval pursuant to the Hayward Zoning Ordinance; apply for Type 10 Storefront Retail Licenses for both medical and adult use licenses from California’s BCC; pay applicable fees, charges, taxes, and deposits
- Assess site security vulnerabilities and plan security installations with OnView Security
- Community outreach and education process
- Public hearing for the proposed location
- Review with building, fire, revenue, and police departments
- Renovation planning and building permits
- Network and develop licensed supply chain, including local distributors

Q3 2018:

- Anticipated receipt of land use and Conditional Use Permits
- Planned renovations and all components of physical build-out, including security and surveillance equipment, and all subsequent inspections required for building permits
- Finalize personnel decisions and secure contracts with necessary vendors
- Finalize all compliance requirements: Standard Operating Procedures, Employee Handbook, on-site manuals and filing system, installation and training on track and trace

- Provide initial training (detailed in Labor and Employment Practices)
- Test all policies and procedures, including track and trace system and security equipment, prior to acquisition of any cannabis product
- Continue to engage with local community
- Network and develop licensed supply chain, including local distributors

Q4 2018:

- Anticipated Grand Opening, pending all legal and compliance requirements and the acquisition of cannabis products from licensed distributors
- Maintain strict inventory and security protocols, including oversight on the correct implementation of all policies and procedures
- Submit City of Hayward renewal paperwork at least 60 days before expiration
- Continue to engage with local community
- Initial community benefits disbursement and provision of community services (detailed in Community Benefits Proposal)
- Initial tax payments to the City of Hayward and the State of California
- Evaluate and plan expansion to delivery services
- Network and develop licensed supply chain, including local distributors

FINANCIALS

Projected capital expenditures

As shown in the attached Proof of Capitalization, Aunty Honeys has additional reserves available to cover contingencies.

Phase 1 Costs & Consulting Fees	\$30,000.00
Application Fees (State & Local)	\$10,000.00
Accounting Fees	\$20,000.00
Pre-operational Payroll	\$50,000.00
Benefits	\$18,000.00
Staff Training	\$20,000.00
Property Lease Deposit and Fees	\$60,000.00
Site Remodel	\$200,000.00
Furniture, Fixtures & Equipment	\$100,000.00
Utilities	\$7,500.00
Security	\$75,000.00
Insurance	\$10,000.00
Website/Marketing	\$75,000.00
Administrative & Financing Fees	\$50,000.00
Cash Reserves (3-month operation)	\$200,000.00
	\$925,500.00

Operational costs and revenue

	Q1	Q2	Q3	Q4	Y1 TOTAL
Revenue					
Dry Flower	\$ -	\$ -	\$ -	\$ 779,333	\$ 779,333
Products	\$ -	\$ -	\$ -	\$ 334,000	\$ 334,000
Total Sales	\$ -	\$ -	\$ -	\$ 1,113,333	\$ 1,113,333
Dry Flower	\$ -	\$ -	\$ -	\$ 259,549	\$ 259,549
Concentrate/Manufactured Products	\$ -	\$ -	\$ -	\$ 167,000	\$ 167,000
<i>Card Processing Fees</i>	\$ -	\$ -	\$ -	\$ 26,631	\$ 26,630.93
Total Cost of Goods Sold	\$ -	\$ -	\$ -	\$ 453,180	\$ 453,180
Total Gross Margin	\$ -	\$ -	\$ -	\$ 660,154	\$ 660,154
<i>State and Local Sales Tax (30%)</i>	\$ -	\$ -	\$ -	\$ (198,046)	\$ (198,046)
Total Net Revenue	\$ -	\$ -	\$ -	\$ 462,107	\$ 462,107
Expenses					
Rent	\$ -	\$ -	\$ -	\$ 15,000	\$ 15,000
Manager and Staff Payroll	\$ 7,200	\$ 9,600	\$ 14,400	\$ 16,800	\$ 48,000
Benefits, payroll processing, tax	\$ 2,520	\$ 3,360	\$ 5,040	\$ 5,880	\$ 16,800
Security contractor	\$ -	\$ -	\$ -	\$ 20,000	\$ 80,000
Security monitoring & maintenance	\$ -	\$ -	\$ 3,000	\$ 3,000	\$ 6,000
Inventory control software	\$ -	\$ -	\$ 3,000	\$ 3,000	\$ 6,000
Marketing & Advertising	\$ -	\$ -	\$ 11,133	\$ 11,133	\$ 22,267
Office expenses	\$ -	\$ -	\$ 1,500	\$ 1,125	\$ 2,625
Equipment	\$ -	\$ 1,500	\$ 1,500	\$ 1,500	\$ 4,500
Repairs and maintenance	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 12,000
Janitorial	\$ -	\$ -	\$ -	\$ 5,000	\$ 5,000
Utilities & phone	\$ -	\$ -	\$ 2,500	\$ 2,500	\$ 5,000
Business insurance (2% gross sales)	\$ -	\$ -	\$ -	\$ 22,267	\$ 22,267
Industry memberships	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 6,000
Professional services	\$ 7,500	\$ 7,500	\$ 7,500	\$ 7,500	\$ 30,000
Community Benefit					\$ 50,000
Total Overhead Expenses	\$ 21,720	\$ 26,460	\$ 54,073	\$ 119,205	\$331,458
Operating Income (EBITDA)	\$(21,720)	\$(26,460)	\$(54,073)	\$ 342,902	\$130,649
<i>30% Provision Federal Taxes</i>					-\$ 39,195
Net Profit	\$(21,720)	\$(26,460)	\$(54,073)	\$ 342,902	\$91,454

Pricing: \$50 per eighth and 100 percent markup on concentrates/manufactured products.

PROOF OF CAPITALIZATION

Aunty Honeys has over \$80,000 in liquid assets and \$1.5 million available in financing, primarily from residential building equity. The attachments include a cover page detailing the enclosures and clearly describing where the funding will come from.

THREE-YEAR FINANCIAL PRO FORMA

The included financial pro forma is based on the following assumptions, designed to be realistic with respect to costs and conservative with respect to revenue:

- **Revenue:** Revenue projections are based on the assumption that Aunty Honeys will capture 26% of Hayward's projected cannabis market, as described above in Projected Customer Base. See three-year sales projections below; first year sales will start in Q4. Note that these estimates are very conservative and are based on the City of Hayward's cannabis market projections. Revenue could easily be double or more: Aunty Honeys is prepared to scale to meet demand.
- **Customer volume:** If three Hayward-based dispensaries are licensed, Aunty Honeys assumes 175 daily transactions.
- **Product costs:** Aunty Honeys assumes manufactured products will cost 50% of their retail sales price. Aunty Honeys assumes dry flower will cost approximately \$2,100/pound in Year 1, including packaging.
- **Compensation of employees:** Aunty Honeys shall compensate all employees at rates above the local living wage: hourly employees \$17.50-30; managers \$55-70,000; and directors \$70-100,000. Staff payroll expenses scale as the business grows.
- **Equipment costs:** Aunty Honeys anticipates approximately \$100,000 in equipment costs as well as \$200,000 in site remodel expenses. Aunty Honeys anticipates approximately \$12,000 annually in track and trace costs.
- **Utility costs:** Aunty Honeys anticipates annual utility costs to be approximately \$10,000.
- **Other costs:** Applicant shall utilize contract security guards and expects this cost to be \$80,000 annually, in addition to \$12,000 in annual security monitoring and maintenance. The Applicant has an annual marketing budget of 2% of gross sales.

Three-year sales projections	2018 (Q4)	2019	2020
	Year 1	Year 2	Year 3
TOTAL Dry Flower Sales (retail)	\$2,922,500	\$11,690,000	\$12,274,500
TOTAL Manufactured Sales (retail)	\$1,252,500	\$5,010,000	\$5,260,500
TOTAL CANNABIS SALES	\$4,175,000	\$16,700,000	\$17,535,000
TOTAL LOCAL SALE TAX (15%)	\$626,250	\$2,505,000	\$2,630,250
Delivery Dispensary Sales (20% of total)	\$835,000	\$3,340,000	\$3,507,000
Brick and Mortar Dispensary Sales	\$3,340,000	\$13,360,000	\$14,028,000
# Brick and Mortar Dispensaries	3	3	3
Annual Revenue Per Dispensary	\$1,113,333	\$4,453,333	\$4,676,000

Three-year operational costs and revenue

Projected Income Statement:

	Y1 (2018 Q4)	Y2 (2019)	Y3 (2020)
Revenue			
Dry Flower	\$ 779,333	\$ 3,117,333	\$ 3,273,200
Products	\$ 334,000	\$ 1,336,000	\$ 1,402,800
Total Sales	\$ 1,113,333	\$ 4,453,333	\$ 4,676,000
Dry Flower	\$ 259,549	\$ 1,038,196	\$ 1,090,105
Concentrate/Manufactured Products	\$ 167,000	\$ 668,000	\$ 701,400
<i>Card Processing Fees</i>	<i>\$ 26,631</i>	<i>\$ 106,524</i>	<i>\$ 111,850</i>
Total Cost of Goods Sold	\$ 453,180	\$ 1,812,719	\$ 1,903,355
Total Gross Margin	\$ 660,154	\$ 2,640,614	\$ 2,772,645
<i>State and Local Sales Tax (30%)</i>	<i>\$ (198,046)</i>	<i>\$ (792,184)</i>	<i>\$ (831,793)</i>
Total Net Revenue	\$ 462,107	\$ 1,848,430	\$ 1,940,851
Expenses			
Rent	\$ 15,000	\$ 60,000	\$ 60,000
Manager and Staff Payroll	\$ 48,000	\$ 540,000	\$ 540,000
Benefits, payroll processing & tax	\$ 16,800	\$ 189,000	\$ 189,000
Security contractor	\$ 80,000	\$ 80,000	\$ 80,000
Security monitoring & maintenance	\$ 6,000	\$ 12,000	\$ 12,000
Inventory control software	\$ 6,000	\$ 12,600	\$ 13,230
Marketing & Advertising	\$ 22,267	\$ 89,067	\$ 93,520
Office expenses	\$ 2,625	\$ 2,625	\$ 2,625
Equipment	\$ 4,500	\$ 4,500	\$ 4,500
Repairs and maintenance	\$ 12,000	\$ 12,000	\$ 12,000
Janitorial	\$ 5,000	\$ 20,000	\$ 20,000
Utilities & phone	\$ 5,000	\$ 5,250	\$ 5,513
Business insurance (2% gross sales)	\$ 22,267	\$ 89,067	\$ 93,520
Industry memberships	\$ 6,000	\$ 10,000	\$ 10,000
Professional services	\$ 30,000	\$ 30,000	\$ 30,000
Community Benefit	\$ 50,000	\$ 60,000	\$ 75,000
Total Overhead Expenses	\$ 331,458	\$ 1,216,108	\$ 1,240,908
Operating Income (EBITDA)	\$ 130,649	\$ 632,321	\$ 699,944
<i>30% Provision for Federal Taxes</i>	<i>\$ (39,195)</i>	<i>\$ 189,696</i>	<i>\$ 209,983</i>
Net Profit	\$ 91,454	\$ 822,018	\$ 909,927

The following documents are hereby segregated as Confidential – Proprietary Trade Secret Information and are exempt from disclosure pursuant to the Public Records Act

PROOF OF CAPITALIZATION COVER PAGE

Bank statements, Pre-Approval letters, and Letters of Commitment are included for each investing member of the Applicant Team. Find below a breakdown of documents attached.

Esther Lopez

Applicant and sole Owner of Aunty Honeys & Chief Executive Officer

1. Bank Statement, Wells Fargo
 - a. Acct Ending 4598 total \$4316.91
 - b. Acct Ending 3132 total \$440.18
2. Bank Statement, Wells Fargo*
 - a. Acct Ending 2811 total \$6429.90
 - b. Acct Ending 6522 total \$565.46
3. Bank Statement, Wells Fargo
 - a. Acct Ending 2829 total \$2300.72
 - b. Acct Ending 6514 total \$508.94
4. Bank Statement, Wells Fargo, Acct Ending 50282 total \$14802.61
5. Pre-Approval Letter, Guild Mortgage Company, Mortgage Loan total \$544,000.00
6. Pre-Approval Letter**, Guild Mortgage Company, Mortgage Loan total \$376,000.00
7. Letter of Commitment

Melba Khan

Financial backer of Aunty Honeys with no operational role

8. Bank Statement, Citibank
 - a. Money Market Plus Account total \$7941.19
 - b. Credit Line total \$50,000.00
9. Pre-Approval Letter**, Guild Mortgage Company, Mortgage Loan total \$640,000.00
10. Letter of Commitment

* Ms. Lopez and Dawood Khan are both owners of this account. Upon request from the City of Hayward, Mr. Khan will attest to granting unrestrained consent for utilizing any and all funds represented, and will also provide a Live Scan.

** Dawood Khan co-owns these properties. However, Ms. Lopez and Ms. Khan are the investors in Aunty Honeys. Upon request from the City of Hayward, Mr. Khan will also provide a Live Scan.

ESTHER J. LOPEZ

1164 W Tennyson Hayward, Ca 94544 | 510-457-8393 | Taxtender@yahoo.com

01/09/20018

GREAM INC DBA AUNTY HONEYS

1164 W Tennyson Hayward, Ca 94544

Dear Aunty Honeys

This letter acknowledges that, upon Aunty Honey's procurement of local and state licensure, as issued by the City of Hayward and California's Bureau of Cannabis Control. I, Esther J. Lopez ("Investor") intend to provide an unrestricted cash loan to Aunty Honeys in the minimum amount of \$210,000.00 to be used for startup costs and operations of the dispensary facility, as needed.

It is acknowledged and understood that Aunty Honeys will repay this loan pursuant to the terms of a Loan Agreement between Investor and Aunty Honeys.

This agreement is made in good faith demonstrated by all parties. It is understood that all efforts possible will be made to turn Aunty Honeys into a sustainable venture enabling repayment of the loan with standard interest.

Attached is a copy of BANK STATEMENTS/LENDER APPROVAL LETTER demonstrating externally verified proof of such funds.

Sincerely,

Esther J. Lopez



MELBA KHAN

01/09/20018

GREAM INC DBA AUNTY HONEYS

Dear Aunty Honeys

This letter acknowledges that, upon Aunty Honey's procurement of local and state licensure, as issued by the City of Hayward and California's Bureau of Cannabis Control. I, Melba Khan ("Investor") intend to provide an unrestricted cash loan to Aunty Honeys in the minimum amount of \$390,000.00 to be used for startup costs and operations of the dispensary facility, as needed.

It is acknowledged and understood that Aunty Honeys will repay this loan pursuant to the terms of a Loan Agreement between Investor and Aunty Honeys.

This agreement is made in good faith demonstrated by all parties. It is understood that all efforts possible will be made to turn Aunty Honeys into a sustainable venture enabling repayment of the loan with standard interest.

Attached is a copy of BANK STATEMENTS/LENDER APPROVAL LETTER demonstrating externally verified proof of such funds.

Sincerely,

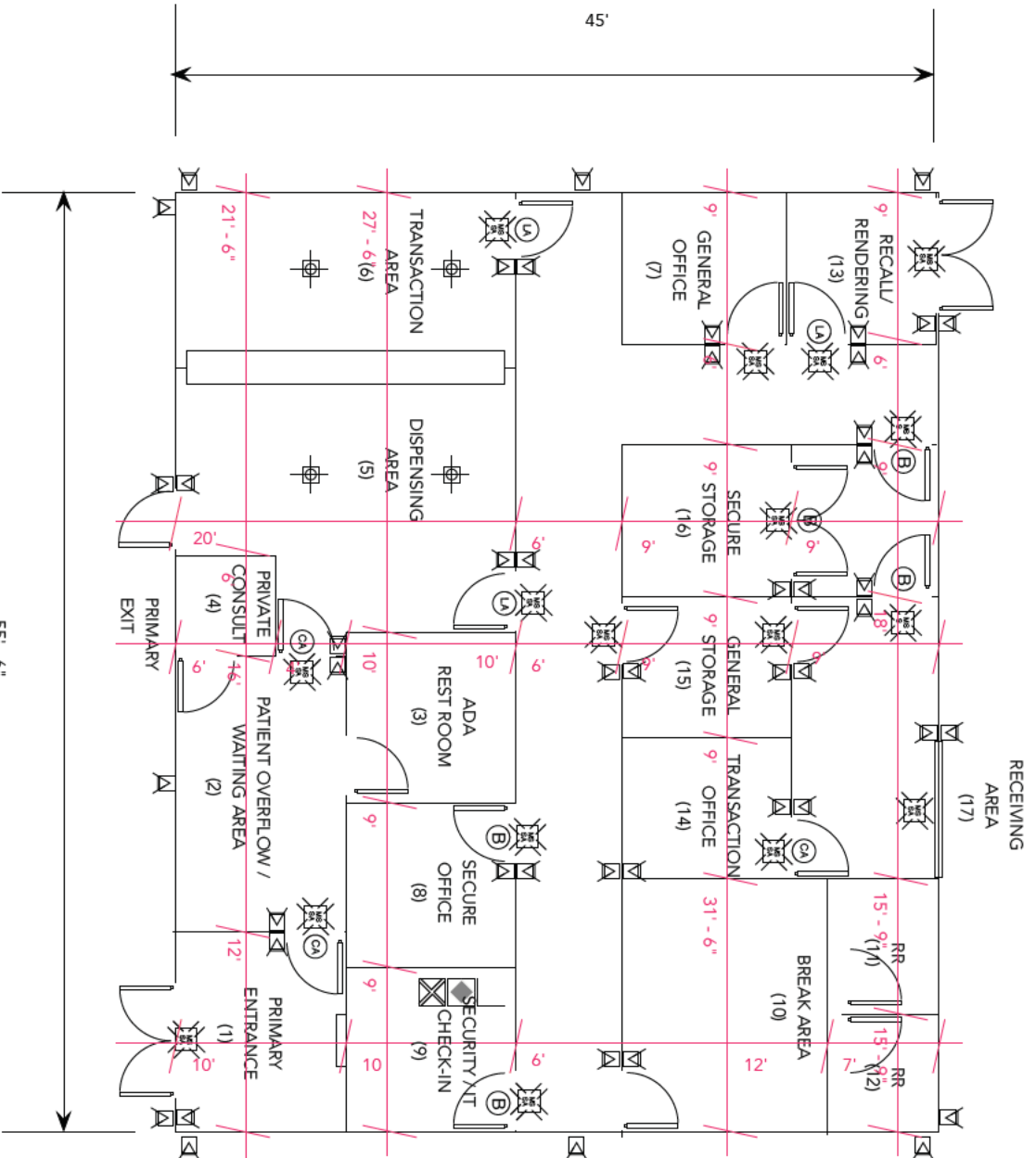
Melba Khan




The following documents are hereby segregated as Confidential – Proprietary Trade Secret Information and are exempt from disclosure pursuant to the Public Records Act

CONCEPTUAL SITE PLAN COVER PAGE

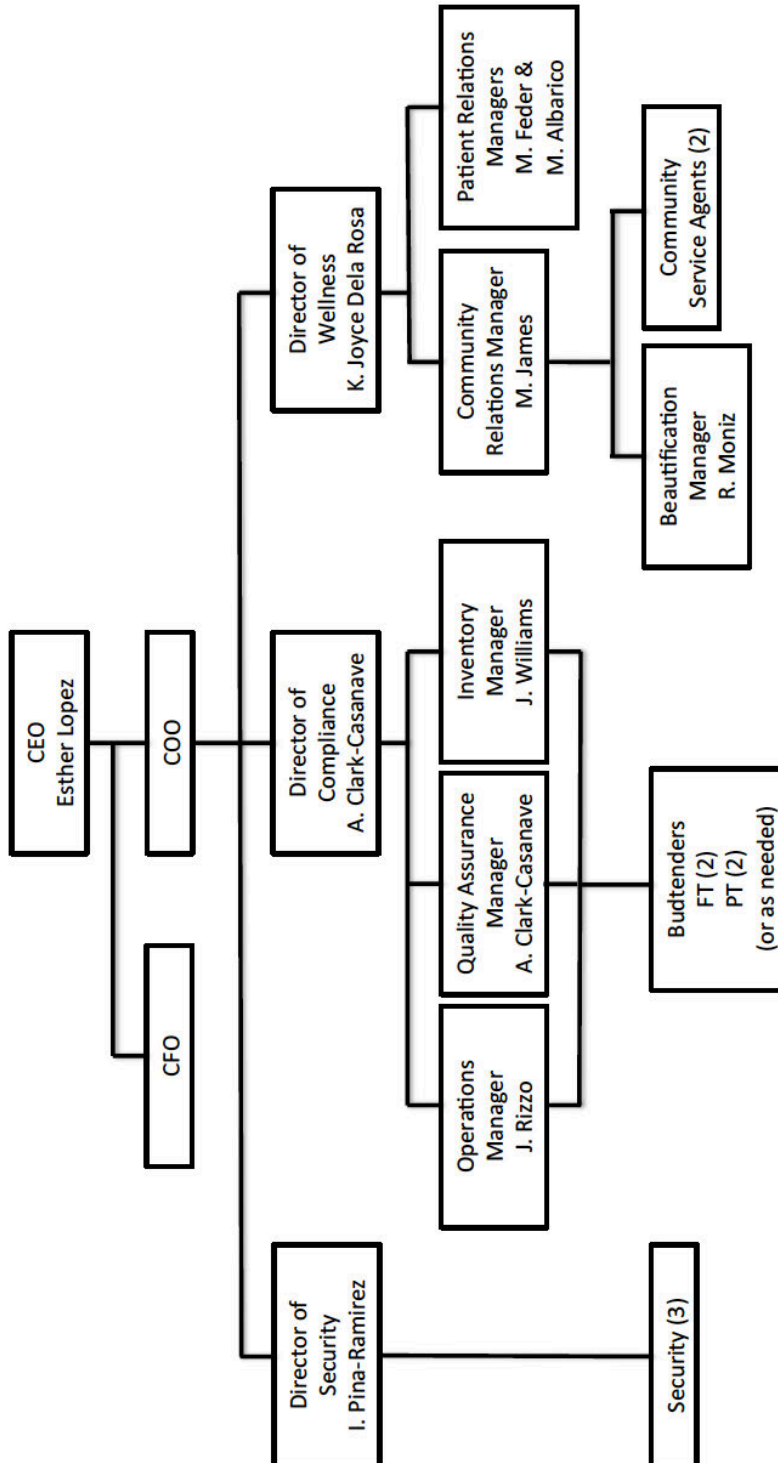
Enclosed is a conceptual site plan for Aunty Honeys. The current proposal is subject to change as these are developed in more detail and a final location for the dispensary facility is chosen by the Applicant and approved by the City of Hayward.



<input checked="" type="checkbox"/> BACKUP POWER	SECURITY ALARM SYSTEM	<input type="checkbox"/> SECURE SERVER / DATA STORAGE	CLIENT: ESTHER LOPEZ		
<input type="radio"/> BIOMETRIC ACCESS	<input type="radio"/> CONTROLLED ACCESS	<input type="radio"/> LIMITED ACCESS			
<input checked="" type="checkbox"/> MOTION SENSOR/ALARM	<input checked="" type="checkbox"/> DOME CAMERA	<input checked="" type="checkbox"/> SURVEILLANCE CAMERA			
	01.11.18	OAKLAND, CALIFORNIA			

AUNTY HONEYS COMMERCIAL CANNABIS RETAIL APPLICATION MANAGEMENT EXPERIENCE

COMPANY STRUCTURE & ORGANIZATIONAL CHART



Aunty Honeys' leadership team brings together proven professionals with experience in cannabis business operations; community service and development; professional training and career advancement; holistic healing, patient care, and wellness; as well as Hayward-based leadership and business management. Aunty Honeys' leadership team has robust medical experience, which positions its team to cater to both medical and adult use cannabis markets; including providing both staff, patients, and customers with informed understanding of the impact and benefits of cannabis products. With this compassionate and competent team, Aunty Honeys will establish its brand as a leader in cannabis professionalism and community development.

Aunty Honeys is owned and operated by Esther Lopez, a local to Northern California, and is registered as a C corporation. Additional team members who will operate under her authority are listed in the application at the Director and Manager level. Upon licensure and prior to beginning active roles, these persons and all prospective employees will undergo LiveScan background checks. Furthermore, Aunty Honeys is committed to prioritizing the hiring, training and professional development of individuals who are residents of Hayward, California.

Aunty Honeys will provide programs to encourage people of all ages, races, and cultural and ethnic backgrounds to grow as role models. This ideology is reflected in the management and corporate structure, which showcases a leadership team composed entirely of highly successful and skilled women. With the team's deep ties to the Hayward community, Aunty Honeys will also draw on local connections as employees, contractors, and referral partners.

RELEVANT EXPERIENCE

CEO: Esther Lopez

The CEO for the applicant team is a successful businesswoman, single mother, and loyal friend and supporter to the Hayward Community for over 23 years. Ms. Lopez is the owner and operator of The Business Center, a financial services company located in the Tennyson Corridor, where she manages a team of seven who serve over 5000 loyal clients. Ms. Lopez has also been a California-licensed real estate agent in the Bay Area for 19 years, and has been a registered tax preparer since 2014. With community service at the core of her business model at The Business Center, Ms. Lopez and her business entity have helped rehabilitate and rejuvenate the community for seniors, veterans and those with mental disabilities for over 20 years. Ms. Lopez has also worked extensively with community youth volunteers. Ms. Lopez is a role model and success story, as she had been a ward of the court for a large portion of her childhood and has since then turned her life around, becoming a valued community leader and successful businesswoman. Ms. Lopez now oversees an impressive revenue stream in excess of a quarter million annually while providing free services for seniors and veterans, proving her ability to balance prosperous business management and ownership with a commitment to the community.

CEO Ms. Lopez also boasts 7 years of leadership and management experience in the legal cannabis industry, and is currently the cannabis buyer for a well-respected medical cannabis dispensary, Highway 29 Health Care, located in Vallejo, California. Her cannabis-related management experience includes overseeing and managing the high-volume purchasing, processing, and tracking and tracing of all cannabis inventory received by the company on a weekly basis; the coordination of purchasing; and ensuring all operations are conducted in compliance with California regulations and ordinances. Additionally, from her work at a

cannabis delivery service, The Greenerside in San Bruno, Ms. Lopez has extensive experience in marketing and human resources, with a focus on new member initiatives and community event planning. She was also in charge of implementing the track and trace system MJ Freeway for The Greenerside. Drawing upon her rich experience in cannabis business as well as business management and ownership in the city of Hayward, Ms. Lopez will oversee the quality of services provided by the dispensary, particularly in the areas of quality assurance and control, inventory management, and community services.

Director of Security: Isabel Pina-Ramirez

The Director of Security for the Applicant team has approximately 15-years of experience working with the Hayward Police Department, serving as a Community Service Officer. Before dedicating her time to local law enforcement, Mrs. Pina-Ramirez served in the Military Police for the United States Navy Reserves and was deployed on four separate occasions to: Japan, 2001-2002; Kuwait, 2003-2004; Bahrain, 2005-2006; and Kuwait, 2008-2009. In addition to her military and law enforcement background, the Director of Security holds a MBA and a B.S in Business Management. The Director of Security will use this unique blend of professional training to ensure that dispensary does not in any way pose a threat to the safety and security of the Hayward Community. The Director of Security will use her business planning expertise to design and implement a Public Safety Plan to preemptively address the concerns of local business owners and residents living in the area. This will require that all security personnel maintained by Auntie Honeys receive additional training in community engagement and duty.

Director of Wellness: Kathleen Joyce Dela Rosa, RN

Kathleen Joyce Dela Rosa is a Registered Nurse and has been practicing for the past 6 years. Certified by the American Heart Association, BCLS and the ACLS, Ms. Dela Rosa is a patient care specialist and will work vis-à-vis patients to help them determine the most appropriate means of medication. This will include discussing (with the patients, customers, and other staff) the known effects of the various cannabinoid and terpene profiles that are readily available on the market. As a RN, Ms. Dela Rosa has developed a sense of compassion for patients and brings with her a professional humility when discussing sensitive medical topics. She will work with the Patient Relations Manager and the Inventory Manager to ascertain—through quantitative and qualitative analysis, and focus group research—the most appropriate and effective cannabis products for the Hayward Community. By mobilizing her experience with existing data-collection practices and the professional medical industry, the Director of Wellness intends to identify and help treat the conditions that specifically affect the Hayward Community.

Operations Manager: Jill Rizzo

Jill Rizzo is a talented horticulturalist with more than 21 years of leadership and management experience in the cannabis industry. As the current Senior Manager for one of the Bay Area's most prominent cultivation facilities, AI Hydroponic Farms, Mrs. Rizzo has been training and developing staff members for the past 18 years. In this role, she has been responsible for implementing Standard Operating Procedures (SOPs); training and managing a large-sized staff; and managing greenhouse operations in order to maintain a year-long, perpetual harvest farm. In addition, Mrs. Rizzo was responsible for increasing net profit for the company by 85 percent; while at the same time implementing cultivation strategies that resulted in a 300 percent increase in harvest yields. As the Operations Manager for Auntie Honeys, Mrs. Rizzo will be responsible

for developing and implementing SOPs compliant with the MAUCRSA program. She will be responsible for training staff and will work directly with the Director of Compliance.

Inventory Manager: Josephina Williams

Josephina Williams is a track-and-trace inventory specialist. At The Greenerside, she worked hand-in-hand with CEO Esther Lopez to implement, train, and oversee the track and trace inventory system MJ Freeway. This co-experience will be invaluable as Ms. Williams works with Ms. Lopez to implement and oversee both MJ Freeway and Metrc, the programs that will be the track and trace inventory control systems for Auntie Honeys, providing the backbone for quality control as well as state and local compliance.

Ms. Williams is also an expert in community outreach and youth development. Since 2011 she has been dedicating her time to various efforts that include: No More Starving Students, a non-profit located in Los Angeles, California; the Castlemont education system; and Playworks, an Oakland-based non-profit that provides local schools with educational assistance programs. For the past 20 years, Playworks has been helping rejuvenate the classroom environment and culture by providing educational programs designed to enhance recess activities, transforming them into team-building and educational experiences that enrich local youth. Ms. Williams will work in conjunction with the Director of Wellness and the Community Relations Manager to ensure that Auntie Honeys provides effective outreach programs in Hayward. In particular, Ms. Williams will contribute to outreach programs designed to impact local youth.

Patient Relations Manager (1 of 2): Monica Feder

Monica Feder has 18 years of experience working in a professional medical environment, and is a customer care specialist who will work with the Director of Wellness to oversee the quality of customer care and education. Mrs. Feder is a degreed Medical Assistant with 7 years of medical office management experience. As an office manager, her responsibilities included: coordinating assessment meetings for clients and caregivers; maintaining patient scheduling calendars; coordinating office staff; and, the maintenance and sterilization of medical apparatuses. At Auntie Honeys, Mrs. Feder will be responsible for the coordination of private patient consultations and broader educational efforts. Additionally, Mrs. Feder will aid the Director of Wellness in the collection of data pertaining to the consumption, usage and administration of cannabis. This data will be used for qualitative and quantitative analysis to help determine the cannabis strains, product types, and cannabinoid profiles that are best suited to the unique conditions of the Hayward Community. Mrs. Feder has worked in Hayward for 13 years.

Beautification Manager: Roberta Moniz

Roberta Moniz brings unique management and leadership experience from state municipalities. As the traffic manager for the California Department of Transportation, Ms. Moniz has overseen state projects including traffic controls and closures for Santa Clara County, where she prioritized public safety. Ms. Moniz also researched initiatives to protect the public, wildlife, and environment, and beautify public roadways through tasteful landscaping. As the Beautification Manager, Ms. Moniz will use this experience as she oversees landscape and storefront design. Further, Ms. Moniz shall execute Auntie Honeys' vision as a hive of friendly, familiar faces, ready to serve its neighborhood and community, through welcoming, beautiful decor.

MANAGEMENT EXPERIENCE IN THE HAYWARD COMMUNITY

CEO Esther Lopez and Director of Security Isabel Pina-Ramirez, as described above, have extensive management experience in the Hayward community. Ms. Lopez owns and operates The Business Center on The Tennyson Corridor, and has for 22 years, while Mrs. Pina-Ramirez has spent over 15 years in senior roles with the City of Hayward. In putting together the team described above, many who grew up in Hayward or in the Bay Area, Ms. Lopez has demonstrated her intention to create a dispensary that is locally-focused. In addition to all the team members with existing senior experience, Ms. Lopez hopes to provide growth opportunities for talented Hayward locals, including those already identified and listed below:

Director of Compliance and Quality Assurance Manager: Angela Clark-Casanave

Angela Clark-Casanave holds over 30 years of experience in the customer service industry. At United Airlines, Ms. Clark-Casanave has worked closely with federal regulatory agencies, such as the FAA and TSA, to maintain aircraft and passenger safety and ensure compliance with all federal regulations, as well as United Airlines' stringent policies and procedures. Working closely with the CEO and the Inventory Manager, Ms. Clark-Casanave will bring this rich compliance and safety-focused experience to ensure the compliance of all dispensary operations and cannabis products at Auntie Honeys. Ms. Clark-Casanave is a longtime Hayward resident.

Community Relations Manager: Marcella James

Marcella James has 20 years of customer service experience in the healthcare and distribution industries. For the past 12 years Ms. James has been with Kaiser Permanente as the first point of contact for patients and their families, and worked closely with medical staff and law enforcement. Ms. James will be responsible for outreach and communication with the surrounding residential and business communities. She will work with the Patient Relations Managers and the leadership team to create and implement a robust Community Benefits Proposal that positively impacts the Hayward community. Ms. James is a Hayward native and has lived in the same Hayward home for 44 years.

Patient Relations Manager (1 of 2): Monica Albarico

Monica Albarico has over 14 years of customer service experience and experience providing office assistance to Bay Area and Hayward small businesses. Ms. Albarico is also a degreed Medical Assistant from Bryman College in Hayward. Ms. Albarico will work closely with the Director of Wellness as well as Patient Relations Manager, Mrs. Feder, to aid in the coordination of private patient consultations and educational efforts. Ms. Albarico is a Hayward native.

CANNABIS REFERENCES

CEO Esther Lopez acted as the purchaser for Highway 29, a permitted dispensary in Vallejo.

Highway 29 (Cannabis Dispensary)

3737 Sonoma Blvd. Vallejo, CA 94589 - Dispensary

707-645-8303

LisaHighway29@gmail.com

TEAM MEMBER RESUMES

Enclosed are resumes from all prospective team members, including managerial, non-managerial, and referral/advisor. The resume cover page identifies each person's proposed role.

The following documents are hereby segregated as Confidential – Proprietary Trade Secret Information and are exempt from disclosure pursuant to the Public Records Act

RESUME COVER PAGE

Resumes are included for each known member of the Applicant Team, including management and non management team members, as well as resumes from other individuals working with the Applicant who have no operational role.

Management Team

1. Esther Lopez, Applicant and sole Owner of Aunty Honeys and Chief Executive Officer
2. Isabel Pina-Ramirez, Director of Security
3. Kathleen Joyce Dela Rosa, RN, Director of Wellness
4. Jill Rizzo, Operations Manager
5. Josephina Williams, Inventory Manager
6. Monica Feder, Patient Relations Manager
7. Roberta Moniz, Beautification Manager
8. Angela Clark-Casanave, Director of Compliance and Quality Assurance Manager
9. Marcella James, Community Relations Manager
10. Monica Albarico, Patient Relations Manager

Non-management Team Members

11. Selina Margain, part time employee (possibly Budtender)
12. Rebeca Andrade, part time employee (possibly Budtender)

Other Individuals of Interest

13. Melba Khan, financial backer of Aunty Honeys
14. Stephanie Vizcaino, Patient Care and Community Benefit Advisor
15. Angela De La Cruz, Patient Care and Community Benefit Advisor

Esther Lopez

The Business Center

Outgoing entrepreneur looking to beautify and restore the city of Hayward by creating more jobs in the community with my professional expertise by pioneering the Cannabis industry in Hayward.

Skills

- Licensed Realtor
- Licensed Tax Preparer
- Marketing Guru
- Community Youth Volunteer
- Entrepreneur

Experience

OCTOBER 1996 – PRESENT

CEO/ The Business Center/ Bay City Real Estate & Loan, Hayward CA

Operating a successful business for over 21 years in the Tennyson corridor of Hayward. Managing a medium staff. Rehabilitated the community of Seniors, Veterans and the Mentally Disabled of Hayward for over 20 years.

AUGUST 2012 – PRESENT

Cannabis Buyer / Highway 29 Health Care, Vallejo CA

Managed processing, ordering, tracking and receiving high volume of weekly purchases. Analyzing weekly demands and high profit margins. Coordinate purchasing activities with retail managers and inventory team members. Enforced California legal requirements for cannabis handling and processing.

FEBRUARY 2011 – FEBRUARY 2013

Marketing and HR / The Greenerside, San Bruno CA

Lead new member initiatives, prioritized weekly events and staff meeting on long term calendar. Tracked success of events and generated reports of profitability for each activity. Managed social accounts alongside weedmaps.com. Managed gorilla marketing tactics, industry and non-industry strategies. Verified patient recommendations.

JUNE 1997 – OCTOBER 2000

Artist Relations Marketing Manager/ Glass House Records, Los Angeles CA

Planned, administered and supervised all concert activities including facility, equipment rental and staging requirement as well as other logistical arrangements. Coordinate activities with music personnel, artist staff, guest artist and production staff. Served as a member of management negotiating team for collective bargaining agreement.

Accomplishments

A successful single businesswoman, mother, daughter and loyal friend to the community of Hayward for over 23 years. Strengthening revenue to other patrons in the community of Hayward with my growing clientele of over 5000 loyal customers.

ISABEL PINA- RAMIREZ



OBJECTIVE

Determines to provide a safe and secure surroundings by contributing my knowledgeable and professional skill set in security and protection with over 16 years of experience.

EXPERINCE

- | | |
|-----------|---|
| 2001-2015 | Community Service Officer, <i>Hayward Police Department</i>

Primary Duty was in processing/out processing of inmates; transportation to city court or county jail; search inmates/property; booking of inmates; warrant checks; court ordered OR booking process for walk-ins; Drug/Sex Offender Registration; cell/inmate checks for duration of shift; female drug offense full body searches; confiscation of narcotics if brought into the jail; responsibility of feeding inmates during shift; moving inmates from different cells if necessary for many reasons (Gang Affiliation, Case Sensitivity; Sexual Offender; Sexual Orientation, etc); report writing. |
| 1999-2013 | Military Police, <i>United States Navy Reserves</i>

4 Deployments
(Japan 2001-2002, Kuwait 2003-2004, Bahrain 2005-2006, Kuwait 2008-2009)
Various areas visited while inconus (In Country).
Each deployment was mission oriented as well as the training.
Honorably Discharged |

EDUCATION

- | | |
|------|--|
| 2016 | Bachelors of Science, Management, <i>University of Phoenix</i> |
| 2017 | Master Degree, Business, <i>University of Phoenix</i> |

Kathleen Joyce Dela Rosa

Experience Registered Nurse

Berman Skin Institute, San Francisco, CA

August 2013 – Present

- Trained, certified, and perform Laser Hair Removal, Tattoo Removal, Botox, Fillers, Cryotherapy, Hyfrecator, Excimer Laser and UVB light treatments for Vitiligo, Psoriasis, Blue Light treatments for Acne and Actinic Keratoses, and other laser treatments for aesthetic improvement using devices: Photofacial Broad Band Light, Candela Pulse Dye Laser, Reliant Fraxel Laser, Q-switched Yag Laser, and Candela Gentlemax/-yag/-lase.
- Facilitate new prescriptions, refills, and prior authorizations.
- Take part in community health events; i.e. I assisted in Skin Cancer Screenings at the Facebook Health Center in 2014.

Medical Assistant

Berman Skin Institute, San Francisco, CA

June 2001 – August 2013

- Set-up surgical procedures, assist providers during surgery, and recover patients post-op.
- Prepare for accreditation and take part in quality improvement processes
- Help physicians and nurses examine and treat patients.

Medical Assistant

Southeast Bay Pediatrics Medical Group, Fremont, CA

March 1999 – May 2001

- Prepared and administered medications as directed by a physician and performed routine immunizations.
- Tested for routine labs such as strep throat and anemia
- Interviewed patients to obtain medical information, measured vital signs, weight, and height.

Education Baccalaureate in Nursing

San Francisco State University, San Francisco, CA May 2012

License Registered Nurse, License number: 849871

Certifications American Heart Association BCLS and ACLS, Head Start Audiometry, Allergan Botox, Juvederm, Candela, Reliant Lasers Zeltiq Coolsculpting

JILL RIZZO



OBJECTIVE

Talented Horticulturalist with more than 21 years of experience in Cannabis Growing, Cannabis Business and Cannabis Culture which I plan to implement as Director of Ordering and Training.



EXPERIENCE

Senior Manager | AI Hydroponic Farms

OCTOBER 2000 – PRESENT

Managed greenhouse operations and field crops. Duties included planning plantings, ordering seeds and plants and maintenance of plants and equipment services.

Organized records in Microsoft office to maintain up to date information regarding, reports and supplies to fulfill customer order requirements.

Collaborated in recruiting and training new staff. Completed weekly schedules according to payroll policies. Oversaw and trained a large staff to deliver outstanding customer service.

Increased total profits by 85% by informing clients with expert product and service information. Cross-trained in other departments to increase sales and product knowledge.

Implemented standard operating procedures. Such as advanced soil, nutrients and growing knowledge. Participated in multiple trimming sessions. Obtained general hydroponic knowledge with the desire to learn all aspects of this field.

Supervised the set-up of multiple grow rooms and ordered inventory along with organizing inventory when shipments are received.

Scheduled harvests based on weather conditions and market demands.

Utilized greenhouses year-round to have multiple harvests. Growing from seeds and clones to established strains. Knowledgeable of the strains needed for oils and the benefits it provides.



SKILLS

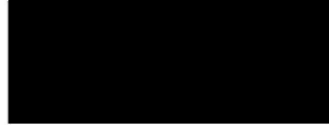
- Garden Management
- Flowering Specialist
- Cloning/ Breeding
- Biological Pest Management
- Soil and Hydroponic Mediums
- Composting and Super Soil



ACCOMPLISHMENTS

Oversaw and implemented cultivation strategies which resulted in a 300% increase in harvest over the company's previous cultivation strategies.

Josephina Williams



Establishing professional relationships and providing excellent customer service in the cannabis industry as a Cannabis Buyer.

Education

March 2015 | Bachelors of Science in Kinesiology

- Emphasis: Nonprofit Business Management with Community Leadership; Minor: Gender, Woman and Sexuality Studies

Experience

August 2016 – June 2017 | Program Coordinator
Playworks | Oakland, CA

Transform the culture of the school community through creating opportunities for safe, healthy, and inclusive play. Exercise initiative and good judgment to inspire, train, and support a group of youth leaders. In addition, developed skills and knowledge about physical activity programming and instruction for youth in educational and community-based contexts.

August 2015 – June 2016 | Instructional Aide
Castlemont Community Transition Leader | Oakland, CA

Reviews and reinforces classroom lessons and learning experiences with students, assists in formulating and conducting classroom activities. Provides information to assist the teacher in evaluation of the learning process, behavior management programs, individual student needs and progress and recommends appropriate action

September 2011 – June 2015 | Volunteer
No More Starving Students | Los Angeles, CA

Oversee daily operations and maintenance of program, developed No More Starving students. By laws and Constitution, create and structure programs, plan and participate in events.

February 2011 – February 2013 | Delivery Coordinator
The Greenerside | San Bruno, CA

Assisted in patient verification, coordinated schedules with drivers and staff. Generated events in southern California.

OBJECTIVE:

Establishing professional customer service and providing the best medical experience for patients as Director of Patient Relations with over 18 years of experience.

EDUCATION:

Heald College • June 2011

- ASA Degree Medical Assistant

EXPERIENCE:

Dr. McNemar Cosmetic and Blum Facial Surgery

Lead Medical Assistant/ Office Coordinator • December 2015 – Present

- Coordinated office staff, HMO and PPO referrals along with time card collection and payroll responsibilities
- Prepare surgical trays with in office procedures by drawing up medication, suture removals and drain removals; Initiate proposal for cosmetic procedure and close proposal deals; Advise patients with post op instructions

Dr. Dat Tien Nguyen, M.D.

Supervisor/ Medical Assistant • September 2013 – December 2015

- Track Bariatric patients through pre-op requirements, schedule office visits for in/outpatient procedures, rooming (taking vitals, updating medications), sterile and non-sterile tray setup, assist with in-office procedures, data entry and patient education
- Obtain authorization forms from insurance companies, sterilization, responsible for office inventory and supervising front office staff

Modesto Radiology Imaging

Receptionist • March 2013 - August 2013

- Checked in patients and scheduled appointments.
- Processed patients payments during check-in. Handled multiple priorities while maintaining a professional and service-oriented style.

Visiting Angels

Coordinator • October 2012 - April 2013

- Schedule caregivers for client jobs. Coordinate assessment meetings for potential clients and caregiver introduction meetings.
- Specialized in emergency situations. Replace sick caregivers. Provide on-call weekend support and assist with after hour issues that require quick resolution.

SKILLS:

- Over 18 years of medical office experience
- Experienced in medical office processes
- Post op procedures
- Excellent customer service and office administrative skills
- Maintained autoclave instrument skills

MONICA FEDDER

1749 San Gabriel, Modesto, CA 95205 • (202) 744-1111 • mofeder@visitingangels.com

Roberta Moniz

Objective

- Seeking to give my professional services for landscape and store front architect, hoping to beautify, develop and maintain a beautiful surrounding for customers and employees.

Accomplishments

CERTIFICATION:

- United States Emergency Response Personnel for Debriefing and Defusing, Critical Situations.
- Dispatcher Certification
- Drug and Alcohol Counselor
- Class A California Driver License

LEADERSHIP

- 1st Female Responder to the 1998 Lima Puritan Earthquake
- Professional Dispatcher during Oakland Fire Storm
- S.A.I.N: Substance Abuse Information Network

Experience

TRAFFIC MANAGER | CALIFORNIA DEPARTMENT OF TRANSPORTATION | JULY 2005- DEC 2008

- Over seen all road closures in Santa Clara County, including state right away, conventional highways, interstates and state freeways.
- Approve all closures, assuring safety was the number one priority for the public.
- Assured all provisions were met by contracts, which included all state projects, Cal trans road and landscape.
- Researched the required impact to protect the public, wildlife and greenery.

EQUIPMENT OPERATOR | CALTRANS HIGHWAY | FEB 1997- JULY 2005

- Operated large equipment including manual big Riggs 10 to 16 gears.
- Supervised all community workers assigned by the courts
- Conducted backhoes, gadwalls, power tools, paved asphalt and concrete roads.
- Participated in traffic controls, closures, dispose of large and small debris along with 24 hr. emergency response.

MAINTAINANCE | CALTRANS HIGHWAY | JAN 1998- FEB 2001

- Operated Manual Big Riggs 10- 16 gears
- Assisted in Large and small construction sites
- 24-hour emergency response team

ANGELA CLARK- CASANAVE

ACCOMPLISHMENTS A professional individual with over 30 years in the Customer Service Industry. Trained in first response actions and effective communication skills needed to relay emergency information in a timely concise manor using air to ground communication system. Diplomatic and tactful with professionals and non-professionals at all levels.

SKILLS & ABILITIES

- Knowledge of Federal Aviation Administration Regulations
- Airline Emergency Procedures and Equipment Use Current thru 8-2017
- Certified in CPR and AED Use Current thru 8-2017

**PROFESSIONAL
EXPERIENCE**

INTERNATIONAL FLIGHT ATTENDANT, UNITED AIRLINES

June 1986 - August 2016

- Responsible for heavy customer service for domestic and international markets. As Lead Flight Attendant, coordinate and manage flight and crew on a flight.
- Prepare international customs and documentation disbursement as well as aircraft documentation and verification of all crew members' Passport and Visa.
- Greet and assist guests with carry-on baggage stowage. Deliver onboard announcements and ensure the safety of all guests providing a welcoming environment during their flight.
- Calmly resolve passenger situations during flight, including disorderly passengers, and medical emergencies. Respond and provide leadership during an emergency, including aircraft evacuation.
- Maintain aircraft security before and after flight ensuring compliance with all Federal Aviation Administration Regulations and United Airlines' policies and procedures.

CUSTOMER SERVICE, BANK OF AMERICA

January 1987 - June 1999

- Responsible for the handling, processing and servicing of clients' branch transactions in a prompt, efficient, and accurate manner, adhering to all bank security, audit, and compliance requirements.
 - Greeted clients and assisted them with financial transactions including product services; CD's, checking accounts, home loans, and Investments. Identified referral opportunities and cross sell bank services effectively, dealing tactfully and efficiently with demanding customers.
 - Controlled and monitored the levels of cash in the teller drawer and followed all check cashing and cash handling procedures.
 - Maintained and balanced currency, coin, and checks in cash drawers at ends of shifts, and calculated daily transactions using computers, calculators, or adding machines. Processed and Audited ATM - cash and checks transactions.
-



Objective: To obtain and hold a position within a company that will allow me to utilize my skills in patient/client services and communications. To work for an employer that will encourage learning as well as growth.

Skills: Over 20 years of strong Customer Service experience (all areas). Excellent client relations (in person, phones & electronic communications). General Office skills; data entry, invoicing (AP/AR), creating spread sheets, letters, and other documents. Efficient multitasking. Sensitive and conscious of confidential matters.

Employment History:

Aug. 2005 to Present Kaiser Permanente Registration Representative/Emergency Department

Greet and register patients arriving with minor to severe health concerns and issues. Cash Handling; collection of patient share of cost/copay fees. Research and reconcile insurance coverages as needed. Heavy interaction with medical staff, patients and their families, law enforcement. General office duties.

Sept. 1997 to Dec. 2000 Seko Worlwide Customer Service/Operations

Dec. 2004 to Apr. 2005 Re-Hired

Heavy Customer Service assisting clients with scheduling and routing freight shipments (Air/Ground), Domestic and International freight. AP/AR. Created and maintained spread sheets and other documents: Bills of Lading, Insurance, Hazmat and safety documents when appropriate. Heavy contact with vendors.

Education:

1991	Brenkwitz High School	Hayward, CA	Diploma
2016	Chabot College	Hayward, CA	Continuing Education

MONICA MARIE ALBARICO

Summary

With over 14 years of customer service experience, I am very dependable, I work well under pressure, I can multi-task and could work independently or in a team environment.

Education

Accounting Certificate | Spectrum School

Medical Assistant | Bryman School

Experience

Belilove Company-Engineering

Office Coordinator | March 2012- Present

- Performed general clerical day to day functions
- Assist Engineers, by quoting customers and follow order processor
- Purchasing from vendors and follow up with orders
- Assembling and QC for manufactured products
- Answered inbound phone calls (approx. 50- 75 calls per day)

Skelton Heating & Air Conditioning

Customer Service | May 2010- February 2012

- Provided customer service to vendors
- Answered inbound phone calls (approx. 100- 150 calls per day)
- Performed accounts receivable functions, data entry, post billing for cash & credit cards and schedule appointments.

Adesa Golden Gate Auto Auction

Data Entry Clerk | June 2001- March 2010

- Responsible for checking in vehicles into master inventory system for entire auction on national levels
- Collected monies from dealers that were purchasing vehicles within the auction
- Heavy data entry, filing, faxing, email, scheduling appointments, billing, cash transactions, invoicing, dispatching and order supplies

SELINA MARGAIN

SKILLS

10 -key by touch, Type 55 wpm with superior accuracy, knowledge of Microsoft Word, Outlook, Excel, Power Point, Adobe Illustrator, Photoshop CS6. I can operate a fax machine, copy machine, and a scanner.

EXPERIENCE

Inside Sales/ Receptionist | Classic Party Rentals
October 2016- July 2017

Developed interpersonal relationships with clients acting as a liaison between Outside Sales Consultants and clients. Prepared accurate quotes for clients by entering orders in the CRM software.

Assistant Manager | Johnny Apple Seed Cafe
August 2013 – September 2016

Oversaw eight employees, assisted with schedules, creating menus daily, as well as catering day and night events. Maintained a clean environment, sustained inventory with Sysco and Costco, and performed order processing and daily deposits.

Data Entry Clerk | Service West Inc
November 2009 – October 2011

Scheduled appointments for carrier's delivering merchandise to our facility. Successfully input daily inventory into File-maker Pro. Filed invoices by alphabetical order and mailed invoices to customers

EDUCATION

Animation and Visual Effects | May 2010 | Expression College

Diploma | June 1999 | San Lorenzo High School

OBJECTIVE

To perform my business administrative skills to add growth to an employer or company.



By Request

By Request

LEADERSHIP

Detail oriented team player with strong interpersonal and organizational skills with a respect and focus on quality. Well organized, provide a professional and consistent attitude. Preserve approachable customer service skills and communication skills to satisfy customer requirements.

Rebeca Andrade



OBJECTIVE

To secure a professional medical assisting position in a reputable medical facility where I can contribute my 18 years of experience and continue to develop & enhance my knowledge in the medical field.

SKILLS

- Knowledge of the verification process and requirements for medical insurance benefits & eligibility (PPO, HMO, Medi-Cal, Medicare)
- Knowledge of HMO & PPO requirements for Authorizations, billing claims submission & edits
- Knowledge of scheduling, registration, and admission process for patients
- Able to prepare and administer injections
- Extensive knowledge of electronic medical records system, EPIC, iKnowMed, All scripts, Citrix, GE Centricity practice management systems
- Exceptional interpersonal and communication skills, and medical terminology
- Familiar with HIPPA laws and requirements
- Typing speed 55 wpm
- Efficient in ICD-9, ICD-10 and CPT coding, Microsoft Word
- Detail oriented, organized, punctual and attentive to the needs of patients and colleagues
- Fast learner, dependable, ability to work in a busy environment while under minimal or no supervision, and also as a team player

EXPERIENCE

Gopala Kolluru M.D., Fremont, CA
Medical Assistant July 2017-Current

- Answering multi phone lines
 - Preparing patients for examinations by rooming patients, taking and recording initial patient history into EMR, taking and recording accurate vital signs into EMR
 - Obtaining insurance authorizations
 - Stocking and cleaning exam rooms
 - Collection of co-payments, self-payments, and balances due
 - Medical billing
-

- patient history into EMR, taking and recording accurate vital signs into EMR
- Preparing & administering vaccines and documenting in EMR
- Answering multiple phone lines
- Assisting physicians with minor procedures
- Preparing specimens for laboratory pickup
- Accurately documenting test results, messages and other various information in the patients EMR
- Ensuring smooth patient flow during the day
- Making confirmation and follow up phone calls
- Stocking and cleaning waiting and exam rooms
- Managing physicians calendars and events
- Ordered all office & medical supplies and maintained inventory
- Patient check in and check out
- Collecting co-payments, balances due, self-payments and posted payments to patients accounts
- Medical billing, claims & edits
- HMO & PPO insurance authorizations & eligibility
- Patient check in and check out
- Responsible for facilitating patient admits to various hospitals
- Scheduled various inpatient and outpatient appointments and surgeries
- Scanned patient documents into the EMR
- Front desk supervisor, responsible for training all new employees
- Communicated with patients, family members, staff members and other doctor offices regarding patient care, benefits and authorizations
- Prescription refills

San Francisco Perinatal Associates, San Francisco, CA

Patient Service Representative/Insurance & Authorization Coordinator, April 2006 to March 2010

- Patient check in and check out
- Preparing and administering vaccines
- Collecting co-payments, balances due & self-payments and posting charges in patient accounts
- Data entry & updating patient information in the EMR
- Preparing specimens for laboratory pick up
- Accurately documenting in the patients electronic medical record
- Ensuring smooth patient flow during the day
- Answering multiple phone lines and making follow up phone calls
- Responsible for all HMO authorizations, PPO benefit & eligibility verification, billing claims & edits
- Communicating with patients, family members & staff members regarding patients benefits and authorizations
- Preparing all patient charts and paperwork requirements prior to patient visits
- Training new employees on all office processes including authorizations, benefits, eligibility and scheduling.

The Business Center
1164 West Tennyson Road
Hayward, CA 94544
(510) 781-0151 Fax: (510) 781-0749

Melba Khan

A caring entrepreneur looking for new opportunities to provide better service to my loyal clientele

Experience:

Technician | **Summit Hospital** | San Francisco, CA
January 1984 to January 1987

Technician | **Seaton Medical Hospital** | Daily City, CA
April 1989 to May 2012

23 years of experience with EGG, Cardiograms, EKG, Holter monitors, V.E.R, B.A.E.R and S.S.E.R. Loyal to the medical field with a high reputation with patients, management and associates.

Owner | **Bay City Financial Service** | Hayward, CA
January 1999 to Present

Owner of a successful business and an accomplished figure in the Latino community with over 18 years of experience. By providing a safe and accurate place for services including Notary Public, tax preparer, immigration service and translations.

Stephanie Vizcaino
**HIGHLIGHTS OF QUALIFICATIONS**

- Certified as Registered Addiction Specialist, Clinical Supervisor and Forensic Counselor.
- Seven years experience working in the Drug and Alcohol field.
- Three years experience working in the Harm Reduction field.
- Ability to maintain excellent relationship management with residents and staff members.
- Highly professional with integrity and respect for diversity.
- Exemplary problem solving working to find the best solutions in any given situation.+
- Excellent verbal and written communication skills.
- Detailed oriented, ability to maintain record keeping and reporting.

EXPERIENCE

- Work collaboratively with Director of Operations and Executive Director.
- Provide guidance and direction to staff in support of client's treatment plans.
- Monitor day to day program activities to ensure operations meet agency requirements.
- Measure and evaluate program performance; collect data and provide routine request reports.
- Ensure that in-take; initial assessments and treatment plan are completed within program guidelines.
- Review and evaluate client's progress in relation to measurable goals described in treatment plan.
- Coordinate Counseling efforts with Mental Health professionals i.e., doctors, nurses and social workers.
- Monitored and record clients progress to ensure that goals and objectives are met.
- Maintain resource directory for referrals to various service providers.
- Assure all logs i.e.; classroom, med and communications logs are properly maintained.

WORK HISTORY

01/06 – Present	Program Manager/Case Manager	Women on the Way Recovery Home, Hayward, CA
01/07 – 06/10	Lead Counselor	Lifeline Treatment Center, Oakland, CA
06/90 – 01/01	City Carrier	U.S. Postal Services, Fremont, CA

EDUCATION

Current	Substance Abuse/Social Services	Samuel Merritt Community College, Oakland, CA
2010 – Current	C.E.U. for Substance Abuse	Breining Institute Online Courses
1985	Diploma General Education	Tennyson High School, Hayward, CA

References available upon request

10/20/2017 13:40

(FAX)

P.002/002



Angela De La Cruz

Case Manager

ABOUT ME

I have 8 ½ years of past AOD counseling experience and currently certified with the CAADE. I have worked both social and medical model facilities. I am a motivated individual who enjoys helping others and takes great pride in the work that I do. I understand the value of working with others and also believe working in a team approach.

EMPLOYMENT

BAYMARK / August 2016 – September 2

AOD Counseling, Case management for methadone maintenance 21 day detox, operated meth a soft computer system, met monthly client counseling requirements, proper documentation of client progress, performed client intakes/discharges, assisted clients and made necessary referrals, and created Tx. plans

MWRP/ March 2016 to August 2016

AOD Counseling, Group facilitator, Intake coordinator proper documentation of client progress. Performed client intake and discharges. Assisted patients and made necessary referrals.

BAART / January 2010 to February 2013

AOD Counseling, Case management for methadone maintenance 21 day detox, operated meth a soft computer system, met monthly client counseling requirements, proper documentation of client progress, performed client intakes/discharges, assisted clients and made necessary referrals, and created Tx. plans

LIFE LINE TX SERVICES/ July 2007 to August 2009

AOD Counseling, Case management for methadone maintenance 21 day detox, operated meth a soft computer system, met monthly client counseling requirements, proper documentation of client progress, performed client intakes/discharges, assisted clients and made necessary referrals, and created Tx. plans

EDUCATION

FOOTHILL HIGH 1994
CHABOT COLLEGE 2007
CAARR 2008
BRIENING INSTITUTE
2010
CAADE #

D0910241359

SKILLS

Alcohol and Dug

Operate Towers Computer System

Operate Meth Soft Computer System

Group Facilitation

Case Management

Medi-Cal Billing

Accurately Type 35 wpm

CONTACT

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310 Caswell Ave Oakland CA, 94603

AUNTY HONEYS COMMERCIAL CANNABIS RETAIL APPLICATION SAFETY AND SECURITY PLAN

OVERVIEW

Aunty Honeys' Safety and Security Plan is designed to keep all employees, clientele, the community, and cannabis materials safe and secure. To that end, it complies with all aspects of California state cannabis law and regulation; OSHA standards; Hayward Municipal Code Chapters 10-1.3600 and 6-14; and best practices in dispensary security management.

Aunty Honeys' Director of Security, Isabel Pina-Ramirez, will coordinate with the Hayward Police Department on safety and security. She will also be responsible for updating the Safety and Security Plan with site-specific details once a final location is determined, as well as in the event of changes in state or local regulation, new information on best practices, or feedback from the Hayward Police Department or other law enforcement agencies.

In addition, in accordance with Hayward Municipal Code Chapter 6-14.13, Aunty Honeys shall have an on-site manager during all times that employees are conducting operations. All on-site managers shall work closely with the Director of Security to ensure that all elements of the Safety and Security Plan are consistently and correctly implemented.

GENERAL SAFETY POLICY AND PROTOCOLS

Aunty Honeys is laying the groundwork to provide a safe environment for employees, clientele, vendors, and the surrounding community. By designating senior staff members with clear responsibilities for emergency situations and for preventing and eliminating hazards, Aunty Honeys strives for an incident-free workplace. The Director of Security has primary authority over safety and security issues, but will be supported by all supervisors and employees, all of whom will have clear responsibilities detailed in the employee handbook and covered during initial and annual employee training.

In particular, Aunty Honeys will:

- Develop fliers to distribute to the City Manager, Hayward Police Department, and all residents, businesses, and property owners within 100 ft of the dispensary. These fliers will include contact information (phone, secondary phone, and email) for the Community Relations Manager.
- Designate a contact person, either an employee such as the Director of Security or a security vendor, who will be available 24/7 for City inquiries, emergency access, or security concerns. This information will be provided to the City Manager and Hayward Police Department.
- Designate on-site managers, at least one of whom shall be present during all operating hours, and provide their contact information to the City Manager
- Contract with experienced security firms to install, monitor, and maintain security equipment and provide security guards as appropriate. Initially, Aunty Honeys will

contract with OnView Security Services, a Fremont-based security firm Aunty Honeys has already reviewed with Hayward Police Department and that has signed a letter of intent to provide these services. Prior to changing companies, Aunty Honey will notify the City of Hayward and Hayward Police Department.

- Maintain on-site the current contact information for the security alarm company. This will be kept current and available for inspection at all times.

Fire Prevention, Detection & Response

As a retail dispensary, Aunty Honeys does not have comparable fire hazards to the lighting in a cultivation facility or the chemicals in a processing facility. As a result, Aunty Honeys will follow fire safety management protocols typical of a retail environment: designating and training persons who will be on-site and in charge of fire safety management (primarily the Director of Security and on-site managers); performing and documenting an annual fire risk assessment; generating and updating a Fire Safety and Emergency Response Plan; maintaining a fire safety checklist and logbook; performing annual maintenance of fire extinguishers; incorporating fire safety procedures into initial and annual training (including not blocking or holding open fire doors); and additional measures as deemed necessary or recommended by inspectors.

In terms of fire detection, Aunty Honeys will contract with OnView Security Services to install a security alarm system capable of detecting smoke, fire and carbon monoxide. In compliance with National Fire Protection Association recommendations, smoke detectors will be positioned in the center of the ceiling of each room or as necessary in larger rooms. Aunty Honeys will test all fire alarm and notification systems every 30-day period at minimum.

The Director of Security will also be responsible for training all employees on all aspects of the Fire Safety and Evacuation Plan. Fire inspectors may devise or advise on all such training, which will be tailored to the chosen location. During training, staff will be appointed as lead fire safety captains and equipped with conspicuous caps to wear in the event of a fire emergency. Training will include, at minimum: the location of all points of emergency egress, and/or escape routes; procedures to assist individuals that are unable to use the general means of egress and/or escape route(s); proper accounting of personnel following evacuation; and the identification of individuals in need of immediate rescue or medical attention.

The Director of Security will ensure the safety of the facility and personnel by establishing the proper protocol for Emergency Evacuation Drills. All aspects of the Emergency Evacuation Drill will be compliant with California Fire Code Sections 405.1-405.9. All Fire Safety and Evacuation Plans will be made available to the neighboring buildings, businesses and establishments.

Employee-Specific Safety Policies and Training

Each employee will undergo safety and security training prior to beginning work. The Director of Compliance will conduct an initial training for all employees based on best practices, regulation, and input from relevant State and local agencies. Trainings will include the following:

- Review of the employee handbook;
- Training for security procedures and SOPs, including building orientation; procedures for access to limited-access areas; and best practices for preventing security incidents; and
- Training for non-medical emergencies, including bomb threats, fires, explosions, chemical release, natural disasters, and raids. Supplemental training will be provided as necessary, including refresher training once per year.

Supervisors and security staff will be trained in CPR, proper use of automatic electronic defibrillators (AEDs), and Red Cross certified adult and pediatric first aid. All personnel will be trained in procedures to use on-site AEDs and to alert authorities in the event of a medical emergency in the facility.

Procedures will be revised and updated as necessary with supplemental trainings. Employees and supervisors will receive refresher training at least once per year, or when regulations or best practices change.

GENERAL SECURITY POLICIES AND PROTOCOLS

The Director of Security will oversee the implementation of all security policies and procedures, and will work with the CEO on security vendor decisions. At this point, Aunty Honeys has contracted OnView Security Services, a qualified security vendor located in Fremont, to provide security services. OnView has provided an estimated cost of services and is willing to provide security services contingent upon Aunty Honeys receipt of a license from the City of Hayward. OnView personnel have twenty-five years of technical experience in private security operations, alarm response protocol, and fire safety. Aunty Honeys will coordinate with OnView to provide security equipment and personnel, as detailed below.

As a condition of employment, employees will undergo a LiveScan background check. Only criminal records that are prohibited under State or local law or regulations will be considered disqualifying. Records will be provided to appropriate State and local agencies if required; in accordance with Hayward Municipal Code Chapter 6-14.12, the LiveScan background check for all on-site managers shall be provided to the City.

Transactional Security

Chain of custody is the time of highest security risk for a cannabis dispensary, and Aunty Honeys will therefore take extra precautions during this time. Aunty Honeys will receive shipments of cannabis product only from state-licensed distributors at an entrance not open to or visible to the public. Shipments will be scheduled in advance, and unscheduled or unexpected shipments will not be accepted. All shipments will be checked against a shipping manifest containing information on the identity of the distributor, expected time of delivery, and expected inventory.

When product is in the process of being transferred, the following security protocols will be implemented:

- All transactions will be conducted under video surveillance and with at least two dispensary employees – including one manager – and one security personnel present.

- The distributor will only be accepted on premises if it is in the vicinity of the scheduled delivery time. If not, an employee of the dispensary will record the distributor's information and require the distributor to leave.
- If the distributor is authorized, security will notify a supervisor that the distributor is on-site and record the time, date, distributor identity, and vehicle information.
- Security will verify driver identification prior to entry.
- An employee of the dispensary responsible for chain of custody transactions will verify the transportation and delivery manifest and accept the shipment.
- Upon receipt, all cannabis goods will be transported directly to the secure area. Cannabis products will be kept under video surveillance at all times.
- Access to the secure product area will be limited to supervisors, who will always require a second employee accompany them into the room.

Distributor partners will be expected to follow all security SOPs promulgated by Aunty Honeys. Aunty Honeys will adopt any additional security protocols required by the distributor.

Customer Security

Aunty Honeys customer security protocols are designed to prevent and deter theft inside the facility, as well as ensure customer safety inside and within the vicinity of the dispensary. Customers will only have access to a single main entrance clearly marked on the exterior of the facility. A security guard will be posted at the main entrance at all times during operating hours to deter loitering and consumption and prevent incidents outside the dispensary, and will verify date of birth prior to allowing entrance to the dispensary. The security guard will be trained to respond safely and appropriately to any individuals smoking, creating a noise disturbance, loitering, littering, or vandalizing property within the vicinity of the premises; and will also be trained to recognize any potentially offensive odors that require dispensary action.

When a customer enters the dispensary, they will enter a reception area which will be set off from the retail area of the facility by a locked and secure door. A security guard will be present in the reception area to prevent security incidents. The customer will be checked in by an employee, who will verify that the customer is either a) over 21 years of age, or b) over 18 years of age and possesses a valid physicians' recommendation for the medical use of cannabis. In compliance with Section 5402 of Bureau of Cannabis Control (BCC) regulation, the following forms of identification will be accepted:

- A document issued by a federal, state, county, or municipal government that contains the name, date of birth, physical description, and picture of the person;
- A valid identification card issued to a member of the Armed Forces that includes a date of birth and a picture of the person; or
- A valid passport issued by the United States or by a foreign government.

If the customer's identification is sufficient, the employee will remotely unlock the door and allow the customer to enter the retail area. If the customer's identification is insufficient, they will not be granted access to the retail area and will be asked to leave.

Once in the retail area, the customer will not have access to any limited-access areas of the facility. A security guard will be present. Cameras will be strategically placed within the retail area to ensure clear and certain recognition of all persons within the area.

Third-Party Contractor Security

Aunty Honeys will minimize the use of contractors aside from security guards and a qualified security company tasked with maintaining the dispensary's surveillance and alarm systems. However, when necessary, Aunty Honeys will work with contractors with appropriate state licensure or permits. Third-party contractors will be granted badges that will offer access to areas of authorized entry on the premises and shall be accompanied by a dispensary employee with authorized access at all times.

Product Security

Aunty Honeys will implement strict procedures to protect against burglary or diversion of cannabis product. Aunty Honeys will not store or maintain more cannabis or cannabis products than are required for the normal, efficient operation of the dispensary. Immediately following receipt from a distributor, all cannabis products will be transported to the storage room under video surveillance. The storage room will only be accessible by authorized personnel, and two persons will always be present during access. The number of personnel authorized for access will be the minimum necessary for the dispensary's day-to-day operations. Storage areas will be monitored under video surveillance and secured with a motion detector at all times. Access to the storage area will be limited to hours of operation, which will extend approximately an hour before and after the time in which the dispensary is open to the public (only as long as required for inventory management).

In addition to physical security, stringent inventory management is crucial to preventing diversion of cannabis product. Aunty Honeys will utilize the MJ Freeway API in conjunction with the state-mandated Metrc track and trace system to track all inventory within the facility. MJ Freeway includes a suite of tools for compliant inventory management including automatic recordkeeping, flexibility to adapt to changing state regulations, and tracking each action performed in the system to ensure accountability. Aunty Honeys will designate a track and trace system administrator to receive training from the state for compliant use of track and trace, and the administrator will implement SOPs and train other employees on the track and trace system.

In compliance with Section 5424 of BCC regulation, Aunty Honeys will perform a full inventory reconciliation at least once every fourteen days. If a significant discrepancy in inventory is detected or if there is evidence of theft, diversion, or loss, or any other criminal activity pertaining to the operation of the facility and/or employees of the dispensary, Aunty Honeys will immediately notify the law enforcement and the BCC, within 24 hours, and perform an audit of the track and trace system to identify the cause of the discrepancy. Notification will include all information required by state and local law.

Delivery Security

Aunty Honeys will consider delivery services once it receives a state license and has established its business. Aunty Honeys procedures for security during delivery operations are modeled on best practices for delivery security and BCC regulations as described in Sections 5415-5421 of emergency regulation. All deliveries will be performed by a direct employee of the dispensary who is at least 21 years of age and who has been thoroughly trained on delivery SOPs.

Procedures for delivery security will include the following:

- Delivery vehicles will not be marked in any way to suggest that it is transporting cannabis products.
- Delivery vehicles will be fully enclosed. No product will be visible from the exterior of the vehicle.
- Delivery vehicles will be equipped with an active vehicle alarm system that will activate upon any unauthorized entry.
- Delivery vehicles will be equipped with a GPS capable of tracking the vehicle's location at all times.
- At all times when not in active transfer to a customer, cannabis products will be locked in a box that is secured to the inside of the vehicle.
- Delivery vehicles will not carry in excess of \$3,000 of cannabis goods at any time.
- Delivery vehicles will take the most direct possible route to their destination, except for necessary breaks for rest, fuel, repair, or temporary traffic detours due to construction or an accident.

For each delivery, Aunty Honeys will prepare a manifest that includes the name, address, phone number, and intended method of payment for the customer and verify that this information remains accurate. Any suspicious activity or previous incidents involving that customer or location will be noted. Delivery drivers will keep a minimal quantity of cash in the delivery vehicle and will not accept large bills from customers.

Ingress and Egress

Points of ingress and egress will be determined partially by the final location that Aunty Honeys secures. In principle, Aunty Honeys anticipates having three entrances and exits: a main entrance for customers and employees; an exit leading out of the retail area, primarily for customers who have completed a purchase; and an accessory entrance for receiving wholesale purchases from a distributor, which will not be publicly accessible and will be enclosed by a secure gate.

Customers will only be permitted to enter the dispensary through a main entrance that opens into a patient intake area, where their identification, age, and medical status (if applicable) will be verified prior to granting entry to the retail area. The flow of customers through the facility is described in greater detail in the "customer security" section below. Procedures related to the receiving entrance are described in greater detail in the "transactional security" section above.

All points of ingress and egress will be secured with building code compliant commercial-grade, non-residential door and window locks. Outside of public operating hours, all entrances and exits from the premises will be locked and secured with an active alarm system. Access outside of operating hours will be limited to specifically authorized employees and security contractors.

Aunty Honeys shall ensure emergency access is provided to the Hayward Police Department and Hayward Fire Department for all areas on the premises at all times in the case of an emergency. This shall be ensured by designating a contact person who is an employee or contractor with access to all areas on the premise, including limited access areas in the facility, who will be on-call 24/7 to authorize and enable egress to Hayward Police and/or Fire Departments.

Perimeter Security

Surveillance cameras will provide a three hundred and sixty degree view of all points outside the facility, with clear and certain facial recognition of all persons within at least twenty feet. Exterior cameras will be capable of operating under all lighting conditions; however, to ensure that they are as effective as possible and meet state security requirements, Aunty Honeys will also install motion-activated lighting that enhances the range and resolution of surveillance cameras. Motion-activated lighting will also serve to deter break-ins outside of operating hours. All publically-accessible entrances and exits will also be lighted consistently outside of operating hours. As described above, all points of ingress and egress, including windows, will be locked and secured with an active alarm system sensors monitored at all times by a third party security company.

Aunty Honeys will assess the specifics of its final location to determine if and where it will be necessary to install gates or fencing. Aunty Honeys will plan to install gates or other physical barriers around the shipping and receiving area to ensure physical security during chain of custody transactions. Aunty Honeys will also consider installing gates to limit access to the employee parking area.

During operating hours, a security guard will be posted outside the main entrance at all times and will deter loitering, public consumption, or other nuisances in the vicinity of the facility.

Internal Security Measures and Controlled Access

Access to the patient intake area and retail area will be limited according to the procedures in the “customer security” section above. Areas outside of the patient intake area and retail area will be designated “limited-access” and will only be accessible to employees, contractors or authorized visitors who will be accompanied by an employee at all times. All limited-access areas of the dispensary will be kept under video surveillance at all times.

Limited-access areas will be accessible on an as-needed basis to employees and contractors: if there is not a reason for personnel to have access to an area, they will not have access to it. Employees will be issued an employee badge and key fob that will selectively grant access to those areas that are authorized for each employee.

Sensitive areas, including vault and storage areas will be secured with additional measures. Entry to these areas will be secured with a biometric lock system in addition to an employee badge and key fob. The system will log the time, date, and identity of each attempted entry. These rooms will also be equipped with an active alarm system. Employees will be required to wear, at all times, laminated or plastic coated badges that conform to all BCC requirements.

Security Systems, Equipment & Maintenance

Aunty Honeys will use security systems and equipment recommended by OnView Security Services. To ensure that all equipment remains in working order, Aunty Honeys will establish a contract for regular maintenance that includes monthly inspections and on-call repair or replacement. Equipment will be replaced on a regular basis, in accordance with manufacturer recommendations or in the event that state or local regulations require specifications that are not met with the existing equipment. Any necessary repairs will be conducted promptly once a concern is identified. Monthly inspections will include verifying proper operation of surveillance cameras and recording devices, testing door alarms and locks, and verifying the proper operation of motion sensors. In addition, as part of the evening routine, a security guard will verify that lighting works properly each day.

Lighting

Aunty Honeys will install motion-activated lights that will activate in the event of persons in the vicinity of the dispensary outside of operating hours. These lights will serve to both enhance the capabilities of exterior cameras, and deter burglary. All entrances and exits will be lighted at all times outside of operating hours. Lights will activate 30 minutes before sunset and deactivate 30 minutes after sunrise.

Surveillance Equipment

Surveillance cameras will be installed at the following locations:

- Any area where loading or unloading of cannabis products occurs;
- Any area where cannabis products are transported into or through the facility;
- All limited-access areas;
- All storage areas;
- The patient intake area;
- All entrances and exits, including windows; and
- At multiple points at the point of sale in the retail area, so to be able to clearly identify all individuals in the area, including staff and customers.

Surveillance cameras will meet the following standards for resolution, clarity:

- Interior security cameras will have a resolution of 2.0MP, and exterior security cameras will have a resolution of 4.0MP. These standards will produce a resolution well in excess of the state-required 1280x720 pixels.

- All cameras will be IP enabled, use standard industry format to support criminal investigations, and allow for remote access by the Hayward Police Department or state agencies as required (including using TCP protocol).
- Exterior cameras will have the capacity to clearly record activity occurring within twenty feet of all points of entry and exit of the facility.
- All recordings will be recorded onto a digital device and retained for a minimum of 90 days in compliance with state regulation. Recordings will be secured in a locked room accessible only to authorized personnel.
- Cameras will be equipped with night vision and capable of operating under any lighting condition.
- Cameras will remain active and recording 24 hours per day, 365 days per year.
- Cameras will be oriented to provide clear and certain identification of all individuals within each area.
- Cameras will operate at a minimum of 15 FPS.
- Recorded images will clearly and accurately display the time and date.
- The surveillance system will include failure notification system that provides notification of any interruption or failure of the video surveillance system or storage device.

Alarm System

Aunty Honeys will work with OnView Security Services to install, monitor, and maintain a comprehensive electronic security system, including security alarms. The alarm system will include sensors to detect entry and exit from all secure areas and all windows, exterior walls, interior storage and vault areas, and security gates. Aunty Honeys Director of Security will serve as the point of contact for all security and alarm issues. The alarm system will include a fully redundant back-up alarm system in case of a power or technical failure.

Contact information for OnView Security Services, or any other licensed security company which Aunty Honeys contracts with for alarm system and monitoring, will be maintained on Aunty Honeys premises and made available to the City or law enforcement on request.

Locks

Outside of operating hours, all limited-access areas, windows, and points of entry and exit will be securely locked using commercial-grade, nonresidential door or window locks. In patrols before and after operating hours, a Security Guard will walk the perimeter and verify that all locks are engaged. During opening, in the event that any lock is not engaged, they will immediately notify law enforcement and the dispensary supervisor and follow security procedures for a potential theft.

Security Personnel

Aunty Honeys will contract with a qualified local security vendor, such as OnView Security Services, to provide security personnel necessary to secure 1) the exterior of the dispensary near the main public entrance, 2) the retail area of the dispensary, 3) the shipping and receiving area

during transactions with a distributor, and 4) the dispensary parking lot. All security personnel will possess a valid Department of Consumer Affairs Security Guard Card and will operate in compliance with private security requirements contained in Chapters 11.4 and 11.5 of Division 3 of the California Business and Professions Code.

Diversion Prevention & Track and Trace

The primary methodology for preventing diversion is correctly using the track and trace system, with sufficient supervisor oversight, in combination with physical checks on inventory. Aunty Honeys will be implementing the state-mandated Metrc system in addition to MJ Freeway. All persons using these systems will receive appropriate training, and the on-site managers will monitor or spot-check transactions to verify the procedures are followed correctly. They will also perform daily reconciliation of inventory removed from or returned to the secure product area, to verify that physical totals of this subset of the total inventory matches the expected amount in the track and trace system.

In addition, as described in the attached sample policy and required under Section 5424 of Bureau of Cannabis Control (BCC) regulation, Aunty Honeys plans to perform physical audits of the inventory on a bi-weekly basis. The attached sample policy also describes Aunty Honeys' robust investigation policy in the event of any discrepancies.

HAZARDOUS MATERIALS

As Aunty Honeys is a proposed commercial retail dispensary, no hazardous materials (except cleaning supplies used and stored according to manufacturer recommendations) will be used.

The following documents are hereby segregated as Confidential – Proprietary Trade Secret Information and are exempt from disclosure pursuant to the Public Records Act

SAMPLE SECURITY POLICY COVER PAGE

Enclosed is a sample written policy for Aunty Honeys. The current proposed table of contents for the standard operating procedures (subject to change as these are developed in more detail) is enclosed first for context, followed by the details of the proposed Aunty Honeys Tracking procedures. These procedures are the core of the system that will be used to track and monitor cannabis on-site in order to prevent diversion.

STANDARD OPERATING PROCEDURES

TABLE OF CONTENTS

1. Receipt
 - 1.1. Ordering Wholesale Cannabis
 - 1.2. Receiving or Refusing Wholesale Deliveries of Cannabis
2. Storage
 - 2.1. Storing and Retrieving Cannabis in the Secure Room
 - 2.2. Storing Cannabis in Display Cases
 - 2.3. Storing Cannabis Waste and Recalled Cannabis
3. Packaging & Labeling
 - 3.1. Packaging Cannabis
 - 3.2. Labeling Cannabis
4. Handling
 - 4.1. Maintaining a Clean, Orderly, and Sanitary Facility
 - 4.2. Maintaining Clean and Accurate Equipment
 - 4.3. Handling Cannabis
 - 4.4. Maintaining Personal Cleanliness
5. Tracking
 - 5.1. Reporting Suspected Theft or Diversion
 - 5.2. Auditing the Physical Inventory
 - 5.3. Reporting Quarterly Inventory
6. Dispensing
 - 6.1. Dispensing Cannabis at the Dispensary
 - 6.2. Dispensing Cannabis via Delivery
 - 6.3. Verifying Qualifying Patient or Caregiver Status
 - 6.4. Providing Information to Qualifying Patients or Caregivers
 - 6.5. Declining to Dispense Cannabis
7. Waste & Disposal
 - 7.1. Cannabis Disposal
8. Complaints and Adverse Events
 - 8.1. Responding to Complaints and Adverse Events
9. Maintaining Standard Operating Procedures
 - 9.1. Creating New SOPs
 - 9.2. Updating SOPs
 - 9.3. Monitoring Regulations

5. TRACKING

5.1. Reporting Suspected Theft or Diversion

Revision #: 000	Effective Date:	Overseen by: Operations Manager (OM)
Cause of Revision: <input type="checkbox"/> Regulatory change <input type="checkbox"/> Equipment change <input type="checkbox"/> Efficiency improvement <input type="checkbox"/> _____		Approval Authority: Name: ID: Date: Signature upon approval:
Review Required: <input type="checkbox"/> Legal/Compliance <input type="checkbox"/> Subject Matter Expert <input type="checkbox"/> Owner <input type="checkbox"/> _____	Reviewer approval [initials]:	Next Scheduled Review: Date: Authority Required: OM

Regulatory references

Bureau of Cannabis Control Proposed Emergency Regulation Article 3 Section 5036: Notification of Theft, Loss, and Criminal Activity

Purpose

To promptly document and report any actual or suspected loss or theft of cannabis from the dispensary to the appropriate law enforcement agency, the City Manager of Hayward, and the BCC within 24 hours.

Responsibility

Inventory Manager (IM)

- To consistently monitor the dispensary inventory and verify any discrepancy or loss
- To oversee all shipments and, if applicable in the future, deliveries
- To report suspicions to the DOC or OM

Director of Compliance (DOC)

- To oversee all investigations and verify compliance with requirements
- To liaise with law enforcement, the City Manager of Hayward, and the BCC
- To report suspicions to the IM or OM

Operations Manager (OM)

- To initiate internal investigations
- To liaise with law enforcement, the City Manager of Hayward, and the BCC
- To report suspicions to the IM or DOC

Budtenders

- To report suspicions to the IM, DOC, or OM

Procedures

Initial investigation of suspected theft or diversion

If an employee finds evidence of suspected theft or diversion, the employee shall immediately notify the OM, IM, or DOC. If the DOC, OM, or IM finds evidence of suspected theft or diversion, or upon notification by a employee, they shall immediately notify each other.

The OM shall immediately initiate an investigation to confirm or rectify the suspected theft or diversion:

1. Review the details presented by the employee reporting the issue
 - a. Create an initial incident report detailing the date, incident or discrepancy description, identification of any licensees or employees involved, and chain of events
2. Investigate the possibility of an inventory maintenance error
 - a. If an employee is deemed responsible for an error, the OM shall log the error, add a note to the file of the employee, and have the employee retrained by the IM on proper inventory maintenance
3. If the OM confirms theft or diversion or has reason to suspect theft or diversion, the OM shall report to the City Manager of Hayward, the BCC, and law enforcement within 24 hours of the initial notification by the employee
4. The DOC shall follow up with the OM at regular intervals, not exceeding six hours or the end of the business day, whichever comes first, in order to ensure the investigation proceeds in a timely fashion and that the City Manager of Hayward, the BCC, and law enforcement are notified promptly

Formal incident investigation

Upon discovering or being notified of a problem at the facility, the OM shall:

1. Initiate investigation: The OM completes the initial investigation of suspected theft or diversion, as described above. In the event that the initial investigation confirms a security incident, the OM will continue with the remainder of this protocol.
2. Preserve evidence: The OM will take immediate action to secure and protect, from destruction or interference, any relevant accounting, administrative, or security records. If deemed necessary, the OM may suspend an employee(s) if there is evidence of misuse of resources or if the employee's continued presence may interfere with the investigation.
3. Determine roles/responsibility: During the initial meeting, the OM will propose a course of action for the investigation, including designating an investigator. In many cases, this will be the OM or the IM. If appropriate, this may include an external investigator or auditor, in the event of financial records issue. In all cases, the investigator, whether internal or external, should have: an ability to investigate objectively; no stake in the outcome; working knowledge of employment and labor laws; strong interpersonal skills and ability to be perceived as neutral and fair; attention to detail; and an appropriate

temperament for conducting interviews. This meeting may also include legal counsel to ensure the dispensary has relevant advice regarding the rights of employees, especially when individuals are at risk of self-incrimination.

4. **Develop investigative plan:** Prior to taking other actions, the investigator will record an investigative plan that includes the outline from Step 1, a proposed witness and expert list, a requested evidence list (including surveillance), planned interview questions, and a process for retention of documentation. The investigator will have the authority to interview employees, contractors, and other witnesses or experts if necessary; to inspect facilities and records; and to request information the investigator deems relevant and necessary to the investigation. If appropriate, a union representative or advisor will be requested to be present during any witness interviews. In all cases, the investigative plan will include a timeline with a final report within 30 business days of the initial incident report.
5. **Conduct investigation:** After receiving approval from the OM, and legal counsel if appropriate, the investigator will implement the investigative plan. The investigator will provide updates to the OM, DOC, IM, and other individuals as required at appropriate time intervals.
6. **Draft report:** The investigator will prepare and review a draft report with the appropriate stakeholders. This report will include the scope and nature of the allegations, including dates and times, a record of how and when the incident came to the company's attention, parties involved, key factual and credibility findings (including sources), interviews conducted, evidence reviewed, employer policies/guidelines and applicability to the investigation, conclusion reached, party or parties responsible for final determination, recommendations, and issues that could not be resolved and reasons for lack of resolution. During this meeting, if the report is deemed sufficiently complete, the group will determine actions.
7. **Actions:** Appropriate next actions by OM may include: disciplinary measures up to and including termination, training programs, modifications to the standard operating procedures, modification to the security and surveillance plan or equipment, or other actions as appropriate. Any disciplinary procedures must be in accordance with any labor agreements and must be reviewed by legal counsel or HR professional prior to the action being taken.
8. **Draft final report:** The investigator will update the report as necessary from Step 7. The final report must include actions taken and must clearly document a good-faith basis for any actions taken during or as a result of the investigation. If this investigation is in response to a reportable event, the final report will be provided to the City Manager of Hayward and the BCC. In all cases, the final report shall be submitted to the City Manager of Hayward and the BCC within 30 business days.
9. **Follow-up:** The OM will follow up as appropriate. This may include reviewing surveillance to ensure new standard operating procedures are being implemented correctly, informing other employees of the outcome of the investigation, asking employees for feedback on the investigation or actions taken, or other follow-up as appropriate. The OM will also review the investigation process and review whether or not

the investigation process should be revised. Any amendments to the SOPs shall follow 9.2 Updating SOPs and shall include appropriate re-training of and notification to all employees.

Shipment-related inventory investigation

In the event that an employee identifies a discrepancy during or after the receipt of a cannabis shipment, the employee will notify the IM and follow the protocol above for the initial investigation of suspected theft or diversion.

In the event that the OM determines that the incident is not merely a solvable inventory discrepancy, the OM shall assign the IM to conduct an investigation:

1. Evaluate incident severity: The IM shall use the initial incident report to evaluate the severity and impact of the inventory discrepancy, and classify it as a low, medium, or high impact incident.
2. Request shipping licensee's assistance: The IM shall send a formal request to the shipping licensee to generate and submit within 7 business days a preliminary report of an investigation of the discrepancy. This report should be submitted to both the City Manager of Hayward, the BCC, and to the DOC.
 - a. The IM shall immediately follow the written request with a phone call to the licensee to ensure the request is received.
 - b. The IM shall immediately notify the City Manager of Hayward and the BCC that the formal report request has been initiated with the shipping licensee.
 - c. The IM shall follow-up in writing and by phone after three business days to check on progress, and after six business days with a reminder of the deadline for report submission.
 - d. Upon receipt of the initial investigation report from the shipping licensee, the IM will phone the shipping licensee to set a deadline for the final incident report from the shipping licensee. The IM will follow this phone call with a formal written request for the final incident report from the shipping licensee that includes the agreed-upon deadline. This deadline will not be more than 20 days after the submission of the initial report. The IM will then notify the City Manager of Hayward and the BCC of the final report request and deadline.
 - e. The IM shall follow-up in writing and by phone one day before the deadline for the final incident report to ensure that the report is submitted on time.
3. Initiate a Root Cause Analysis (RCA) report: The IM shall use the initial incident report, the shipping licensee's preliminary report, and any additional available information to document the factors that contribute to the incident. The RCA report will state a 20-day deadline for resolution of the issue, and it will track the incident, root cause, investigation, and remediation. The RCA will assign an incident number, identify the shipping licensee and related electronic manifest, and detail the date, problem statement, who detected the issue, what area was affected, what product was affected, a chronology of events/timeline, investigative team, investigative method, findings and presumed root cause, and Remediation Plan.

4. Incident investigation: The IM shall follow the steps detailed above in the formal incident investigation, taking the lead role instead of the OM and producing the completed RCA report as its deliverable. Once received, the IM shall integrate findings from the shipping licensee's final report. The IM shall be responsible for ensuring the Remediation Plan is implemented.
5. Notify the City Manager of Hayward and the BCC: The IM shall be responsible for submitting to the City Manager of Hayward and the BCC a copy of the RCA report or a summary of its findings, corrective actions planned or taken based on its analysis, and any preventive actions that will be implemented as part of the SOPs. This report shall be submitted using the method designated by the City Manager of Hayward and the BCC within 30 business days of the discovery of the discrepancy that led to the investigation.

Notifying law enforcement of suspected criminal activities

Upon determining that an employee is attempting to deceive or impede a supervisor, investigator, or investigation, or discovering that an employee is engaged in criminal activities, the DOC or OM shall:

1. Halt all internal investigations
2. Notify law enforcement immediately
3. Unless otherwise directed by law enforcement, suspend the employee until the matter is investigated and resolved
4. Preserve all related evidence and resources
5. Notify the City Manager of Hayward and the BCC
6. Follow law enforcement directives

5.2. Auditing the Physical Inventory

Revision #: 000	Effective Date:	Overseen by: Inventory Manager (IM)
Cause of Revision: <input type="checkbox"/> Regulatory change <input type="checkbox"/> Equipment change <input type="checkbox"/> Efficiency improvement <input type="checkbox"/> _____		Approval Authority: Name: ID: Date: Signature upon approval:
Review Required: <input type="checkbox"/> Legal/Compliance <input type="checkbox"/> Subject Matter Expert	Reviewer approval [initials]:	Next Scheduled Review: Date: Authority Required:

<input type="checkbox"/> Owner		IM
<input type="checkbox"/> _____		

Regulatory references

Bureau of Cannabis Control Proposed Emergency Regulation Article 6: Track and Trace Requirements

Purpose

To deter diversion and to ensure the accuracy of the inventory tracking system

Responsibility

Inventory Manager (IM)

- To oversee opening inventory verification
Operations Manager (OM)

- To oversee closing inventory verification
Budtenders

- To accompany the Operations Manager (OM) or Inventory Manager (IM) during the physical cannabis inventory count

Procedures

Close of business inventory count

While returning all cannabis products [that have been removed for access during the day] to the secure storage, the OM and one or more accompanying Budtender(s) shall:

1. Count all cannabis products being returned to the full inventory

Upon completion, the OM shall:

1. Reconcile the physical count with the report from the electronic tracking system
2. Enter a report into the dispensary's recording system, MJ Freeway, which interfaces with the state's track and trace program, Metrc

Start of business inventory count

While preparing cannabis products to be available for Budtender access during the day, the IM and one or more accompanying Budtender(s) shall:

1. Count all cannabis products being removed from the inventory

Upon completion, the IM shall:

1. Reconcile the physical count with the previous evening's count
2. Check the electronic tracking system for items that should be marked unusable, such as those that are past the expiration date

- a. All such products will be recorded in accordance with 2.3 Storing Cannabis Waste and Recalled Cannabis and marked for disposal in accordance with 7.1 Cannabis Disposal
3. Enter a report into the dispensary's recording system, MJ Freeway, which interfaces with the state's track and trace program, Metrc

In the event of a discrepancy

Upon identifying a discrepancy, the OM or IM and accompanying Budtender shall:

1. Verify the physical inventory count
2. Review the day's events and identify any occurrences that could have led to an incorrect record
3. Document all findings
4. Notify all of the OM, IM, and Director of Compliance (DOC) not present
5. Initiate the procedures in 5.1 Reporting Suspected Theft or Diversion

5.3 Auditing Physical Inventory

Revision #: 000	Effective Date:	Overseen by: Inventory Manager (IM)
Cause of Revision: <input type="checkbox"/> Regulatory change <input type="checkbox"/> Equipment change <input type="checkbox"/> Efficiency improvement <input type="checkbox"/> _____		Approval Authority: Name: ID: Date: Signature upon approval:
Review Required: <input type="checkbox"/> Legal/Compliance <input type="checkbox"/> Subject Matter Expert <input type="checkbox"/> Owner <input type="checkbox"/> _____	Reviewer approval [initials]:	Next Scheduled Review: Date: Authority Required: ICCO

Regulatory references

Bureau of Cannabis Control Proposed Emergency Regulation Article 6: Track and Trace Requirements

Purpose

To reconcile all daily inventory records, to ensure the completeness and accuracy of the inventory control system, and to inform business decisions

Responsibility

Inventory Manager (IM)

- To reconcile all inventory records and report on business trends

Procedures

Bi-weekly inventory reconciliation

On a bi-weekly basis, the IM shall:

1. Prepare a physical inventory of all cannabis products on-site
 - a. A second employee shall be present at all times and shall verify and initial all counts
2. Compare expected inventory, as listed in the electronic tracking system, with the physical inventory
 - a. Flag any discrepancy or shrinkage for review
3. Review all inventory records
 - a. Review past trends in patient data and identify changes
 - i. Popular items or strains
 - ii. Popular purchasing times and days
 - iii. Average patient basket price (anonymous)
 - iv. Average patient expenditure per month (anonymous)
 - v. Average sales per day and per day of the week
 - vi. Other trends as identified
 - b. Review all investigations into loss or discrepancies
4. Audit the inventory control system
 - a. Verify that no expired products remain on the premises
 - b. Verify that all cannabis that has been marked for destruction or disposal has been dealt with in accordance with 7.1 Cannabis Disposal
 - c. Note all products or strains that have not sold prior to their expiration date
5. Prepare a report for the dispensary records
 - a. Include recommendations for future inventory acquisition
 - b. Include an income statement, balance sheet, summary of weekly cannabis inventory, wholesale costs, and sales summary
 - c. Summarize any inventory discrepancies and investigations initiated

AUNTY HONEYS COMMERCIAL CANNABIS RETAIL APPLICATION COMMUNITY BENEFITS PROPOSAL

COMMUNITY VISION

Aunty Honeys' CEO, Esther Lopez, has a vision of a dispensary that Hayward residents are proud to call their own. As a Hayward native and business owner for over 22 years, Ms. Lopez is deeply committed to the community and strives to craft a space that will contribute to elevating her community. As detailed in the sections below, Ms. Lopez intends to build the dispensary in much the same way she has shaped her existing real estate and tax services: a hub for community-building, a vessel for caring for vulnerable populations, and a skill-building opportunity for the local workforce. With the support of a leadership team who shares roots in Hayward and the Bay Area, Ms. Lopez will also specifically focus on health education and prevention strategies, economic benefits to the City, alignment with City of Hayward strategic initiatives, neighborhood benefits and improvements, and community outreach and support. Because of Aunty Honeys' close integration with the community, the dispensary will adapt quickly to changing needs by the community and the City of Hayward.

The implementation of this vision will be grounded in the leadership team's deep roots in the Hayward community. The desire to benefit the community is at the core of Ms. Lopez's reason for starting this business. Under her leadership, Aunty Honeys will go beyond an abstract laundry list of promises or simply hiring a Community Liaison. Aunty Honeys will be an integral, long-term partner in the community.

In creating this Community Benefits Plan, Aunty Honeys has focused on a realistic account of its strengths and limitations. Aunty Honeys does not believe that any dispensary, or the sum total of many cannabis businesses, or the financial resources they collectively generate, can solve all of the challenges in the community. In light of that, rather than seek to solve everything, Aunty Honeys' goal is to deliver specific and targeted benefits that will address Hayward's most important needs and take advantage of the strengths of the Aunty Honeys team.

HEALTH EDUCATION AND PREVENTION STRATEGIES

Establishing a dispensary in Hayward in 2018 provides Aunty Honeys with a unique opportunity to contribute to health education and substance abuse prevention. With medical cannabis authorized by California voters in 1996, local residents have had over two decades to become familiar with the idea of medical cannabis. However, a lot of misinformation remains. With the emerging state regulations and opportunities for licensed entities to provide both medical and adult-use products and services, Aunty Honeys will be able to provide resources with respect to cannabis and its medical properties to a broader audience. Aunty Honeys will complement these resources with educational materials and contact information for services available to Hayward residents, such as access to medical and dental resources at the Firehouse Center and information about services provided by Tiburcio Vasquez Health Center (whose core mission is to provide multicultural services, including mental health and chronic disease education, as well as bilingual services).

Aunty Honeys also recognizes that Downtown Hayward, where the proposed dispensary will

likely be located, has had an increase in drug addiction in recent years. Aunty Honeys takes its responsibility as a cannabis retailer seriously, and plans to take a proactive approach to ensure that the dispensary does not contribute to the challenges in this area. With licensed medical professionals on its leadership and operational team, Aunty Honey will develop policies and procedures that will enable all staff members to provide respectful and effective services to persons who may need substance abuse counseling.

Aunty Honeys has identified specific and appropriate counselors who it will be able to refer customers to. The first of these counselors, Stephanie Vizcaino, runs Women on the Way Recovery Center in the Bay Area, a licensed California Drug and Alcohol nonprofit organization that provides a safe and loving home where women can regain their health, mental stability and dignity through a program of recovery and education. Aunty Honeys will also refer customers and patients to Angela De La Cruz, who is an alcohol and drug counselor and case manager for methadone maintenance and 21-day detox programs. Both Ms. De La Cruz and Ms. Vizcaino are Hayward locals and grew up in the Tennyson Corridor. Additionally, Ms. De La Cruz and Ms. Vizcaino will act as patient care and community benefit advisors and will support Aunty Honeys in creating and offering educational programs related to substance abuse and adverse events to staff, patients, and customers.

In addition, Aunty Honeys will provide educational resources about Project Eden, a local program offering services for substance abuse prevention, intervention, and treatment including for youth and families. Aunty Honeys will also share materials about the Hayward Coalition for Healthy Youth, another program dedicated to minimizing substance abuse and improving overall health of local youth. This topic is a passion for CEO Esther Lopez, who grew up in Hayward: she and her friends and cousins enjoyed La Vista skating rink, Holiday Bowl, and the Red Devil BMX track in neighboring Union City. Looking around today, Ms. Lopez sees a lack of outdoor activities and social opportunities for youth to develop skills. Aunty Honeys will therefore support programs offered by the above groups through direct financial contributions and through staff volunteer programs, in addition to other groups offering youth-oriented programs, such as Eden Area Youth Group or the employment training offered by Elevating Soulciety. With several members of the Aunty Honeys' team having seen first-hand the difficulties that youth and substance abuse can result in, this cause is one that the team passionately cares about dedicating time to.

Aunty Honeys will also develop an educational series with guest speakers. The intention is to host a quarterly event with topics covering substance abuse prevention, teen pregnancy, HIV and STDs, career opportunities, and financial basics including the importance of savings and credit history.

ECONOMIC BENEFITS

In addition to the local employment opportunities described above, Aunty Honeys will become a significant contributor to the local economy. With the conservative estimates used in Aunty Honeys' financial pro forma (included in the Business Plan and Operation section), the dispensary would contribute \$400,000 to the City directly from taxes. In addition to this, with CEO Esther Lopez and her team already embedded in the local community, they have the

network in place to hire local, train local, and support local. Anticipated payroll, largely returning to Hayward natives, is over \$500,000 per year. Contracts with local vendors will also be significant, with \$80,000 per year on security alone.

As an independent business with a demonstrated emphasis on local economic development, Auntie Honeys will have a multiplier effect on the local economy. First, as described above, Auntie Honeys will have a direct impact through hiring local employees and working with local businesses, as well as required spending, such as purchasing inventory, utilities, and equipment. Second, these expenditures themselves lead to an indirect impact by recirculating throughout the local economy, causing additional business-to-business spending. Third, Auntie Honeys contributes to induced impact, or additional consumer spending, as employees, business owners, and others spend their additional income in the local economy. A conservative estimate of the multiplier effect on the local economy is 1.5 times the direct expenses—a higher multiplier than typically seen with franchise-style businesses headquartered in other areas. With this multiplier effect, Auntie Honeys would contribute approximately \$1.8 million to the local economy, in addition to the tax revenue for the City of Hayward.

Above and beyond these economic benefits through regular business activities, Auntie Honeys plans to dedicate five percent of net profits—above and beyond the taxes paid to the City—for contributions towards City of Hayward funding priorities or initiatives that contribute to those priorities.

Local Employment

Auntie Honeys is committed to implementing a business model that supports the local community while maintaining sustainable revenue. As such, the Applicant has developed a hiring plan that ensures its operations prioritize the hiring of locally-based applicants for employment. Auntie Honeys intends to participate in local recruiting efforts, including but not limited to events held by the City of Hayward and local Employment Development Department office. The Labor and Employment Practices plan describes local hiring in more detail.

Further, Auntie Honeys commits to providing opportunities for growth in management and leadership. With the talented leadership team CEO Esther Lopez has brought together, Auntie Honeys will provide mentorship opportunities for talented individuals from the City of Hayward who are capable and ready to advance in their careers. Ms. Lopez has already identified some of these individuals as part of the proposed team, as discussed in the Business Plan.

ALIGNMENT WITH CITY OF HAYWARD STRATEGIC INITIATIVES

Auntie Honeys is fully supportive of the City of Hayward priorities (safe, clean, green, and thrive), as well as its strategic initiatives.

Tennyson Corridor Strategic Initiative

With CEO Esther Lopez's other business (The Business Center) located on the Tennyson Corridor, Ms. Lopez has seen firsthand the need for improvements in the Tennyson Corridor Strategic Initiative, especially with the mental health and homeless issues plaguing the population. To that end, Auntie Honeys anticipates contributing \$50,000 to Hayward community

outreach programs, such as the Downtown Streets Team's expansion into the Tennyson Corridor. This innovative group works to help people transition into housing while simultaneously strengthening the business community. This will contribute to the Tennyson Corridor Strategic Initiative's Goal 5: *Increase Community Resiliency*, leading to: an increased awareness of and access to City Services, in particular to the medical and dental services at Firehouse Clinic; increase resident emergency preparedness, by increasing their stability and reducing vulnerability; and facilitate economic development and growth opportunities, by implementing the Downtown Streets Team's innovative approaches.

In addition, in support of Goal 1: *Create a Community Vision for the Corridor*, Aunty Honeys plans to offer the City targeted funding that could be used to finance urban planning, streetscape improvements, and infrastructure investment.

Aunty Honeys will finalize a location in the area designated for cannabis business activities by the City of Hayward and the State of California. Commercial cannabis retail is not allowed in the Tennyson Corridor, so improvements to the selected location will not directly contribute to the goals of this Strategic Initiative. However, much of the vision that CEO Esther Lopez has will bring improvements similar to the Strategic Initiative to the neighborhood of the facility:

1. In the spirit of Goal 2: *Increase Pedestrian and Bicyclist Safety*, as detailed in the Safety and Security Plan, Aunty Honeys will install lighting around the facility exterior for security purposes, with the benefit of providing a safer environment for pedestrians and cyclists (identified by the City as Objective 4). Aunty Honeys would also welcome the opportunity to collaborate with the City to further improve safety measures for the surrounding community (Objective 3), such as through training of the dispensary's on-site security personnel. As described in the Environmental Plan, Aunty Honeys also intends to expand the availability of bike racks.
2. In the spirit of Goal 3: *Improve Community Appearance*, Aunty Honeys is strongly committed to doing its part to beautify the area. CEO Esther Lopez is a proud Hayward resident, and will establish a dispensary that her community can take pride in as well. Once a final location is selected, Aunty Honeys will develop a detailed landscaping plan, and will immediately begin to maintain the surrounding area, including trash and graffiti cleanup.
3. In the spirit of Goal 4: *Foster a Cohesive Sense of Place*, Aunty Honeys plans to commission a mural to beautify the exterior of the space while maintaining or improving the neighborhood character, described more in Neighborhood Improvements below.
4. In the spirit of Goal 5: *Increase Community Resiliency*, Aunty Honeys plans to improve access to services needed by the community. As discussed in the section below on Vulnerable Populations, this will include referrals to the Firehouse Clinic with medical and dental services, as well as a particular focus on facilitating services for the homeless and individuals with mental health issues.

Complete Communities and Complete Streets

Aunty Honeys also supports the Complete Communities and Complete Streets strategic initiatives, and will primarily support these through tax payments and active participation in conversations with the City of Hayward. However, as a woman-led, woman-owned, woman-financed organization with a significant number of multi-cultural team members, Aunty Honeys also contributes to the diversity valued in Complete Communities Goal 1: *Improve Quality of Life for Residents, Business Owners, and Community Members in All Hayward Neighborhoods*. Aunty Honeys' robust Security Plan and embedded knowledge of the community will also contribute to this goal's objective of increasing neighborhood safety.

Hayward 2040 General Plan

Aunty Honeys is supportive of the Hayward 2040 General Plan. By seeking to identify and adapt an existing property in Downtown Hayward, the project is in support of LU-5.6 Adaptive Reuse, Renovation or Redevelopment. As a dispensary, Aunty Honeys would be a new commercial business, in line with ED-1.11 Local Serving Retail, encouraging local spending within Hayward. The cannabis industry is also one of the fastest growing sectors in the nation, supporting ED-3.2 Fast Growing Industries. As a locally-owned entity, Aunty Honeys is best positioned to reinvest in and expand Hayward's new foray into this industry (as described in the Economic Benefits section above). Finally, through partnerships and referrals for vulnerable populations, as well as financial contributions, Aunty Honeys will facilitate the ability of existing health care facilities (particularly mental health and substance abuse facilities) to meet the needs of residents, in accordance with HLQ-4.1 Adequate Health Care Facilities.

NEIGHBORHOOD BENEFITS AND IMPROVEMENTS

Aunty Honeys is committed to contributing to the quality of the surrounding neighborhood and becoming an institution that the neighborhood is proud to include in the community. Aunty Honeys will maintain a clean and attractive exterior, clean any litter or dumping that accumulates outside the dispensary, and remove any graffiti on the building within 48 hours.

Additionally, Aunty Honeys plans to commission a mural. The proposed artist is Norman Chuck (aka Vogue), a Bay Area local who recently completed a mural honoring those lost in the Oakland Ghost Ship fire. He is an American graffiti artist, calligraphist, illustrator and graphic designer best known for his photorealistic "Spraycan Art" and Murals. The subject for the mural will be carefully considered to best reflect the community's character, with input from local residents and business owners.

Community-Building

Much of the Aunty Honeys team grew up in Hayward, many graduating from Tennyson High and continuing to work in the community in the years since. CEO Esther Lopez is one of these native Hayward residents, and has contacts with 5,000 clients of her current real estate and tax services business, in addition to small business connections formed through events held by the City of Hayward. As a result, Aunty Honeys has a rich network of contacts in the neighborhood. Aunty Honeys will capitalize on this by hiring local employees, securing local vendors (like the Fremont-based OnView security company who already has a letter of commitment with Aunty Honeys), and offering community message boards within the dispensary. As an owner who is

present and engaged in the Hayward community, Ms. Lopez will continue to enrich this element of the dispensary in the years to come.

Ms. Lopez also intends to build on the model of community-building that has proven successful at The Business Center, another Hayward business where she is the CEO. In that space, Esther has created a culture of trust that means her clients reach out to her not only for the services listed on her business cards, but also when any other problems arise. The Business Center has become a vibrant hub of connectivity as Ms. Lopez and others working in the space help solve a variety of problems for their clients, often by referring those clients to other local businesses.

Vulnerable Populations

As a proud local and business owner, CEO Esther Lopez has a history of providing leadership in the support of vulnerable populations and is excited about the prospect of expanding that support through the opportunities provided by opening a dispensary. She currently provides free tax services to senior citizens and veterans, and envisions Aunty Honeys expanding on that support. The dispensary will seek both medical and adult use permits from the state, and will develop programs to support vulnerable patients (including seniors, veterans, those qualifying for SSI, or requesting based on unique circumstances) with needed medication through 20% discount, free provision, or other program allowed under state regulations.

As a business owner currently located in the Tennyson Corridor, Ms. Lopez has also seen the need for support systems for the homeless, for individuals with mental health issues, and for patients in residential rehabilitation facilities. Ms. Lopez regularly finds men and women sleeping under the awning of The Business Center and has spoken directly with them to determine their most immediate needs. She believes there is a clear need to allocate additional resources towards beds, hot meals, job assistance, and access to mental health services. Under her vision, Aunty Honeys will support Hayward community outreach programs, such as the Downtown Streets Team that helps restore the lives of the homeless in their expansion to the Tennyson Corridor. Aunty Honeys would also like to contribute to resolving root causes and will refer willing individuals to counselors specializing in mental health, domestic violence, drug abuse, and rehabilitation placement.

CEO Esther Lopez has brought Monica Feder onboard as a Patient Relations Manager, the same position she has held for 13 years at Bay Valley Medical, a hospital located in the Tennyson Corridor. This experience gives Mrs. Feder significant insight into the challenges facing the vulnerable populations in the area. She will help Aunty Honeys' staff respond respectfully and appropriately when encountering members of these groups in the dispensary, and will provide insight into the implementation of the Community Benefits Proposal.

The Aunty Honeys leadership has worked to identify pressing needs in Downtown Hayward that the dispensary can support through provision of services or referrals. In addition to referrals to substance abuse counselors as described in the Health Education section above, Aunty Honeys will look for opportunities to fund and partner with community organizations that support breast cancer screenings, free dental hygiene services, free STD testing, and counseling services. These priorities reflect the needs that Aunty Honeys' leadership team has identified as most critical in

the Hayward community. In addition, Aunty Honeys will also provide monthly opportunities for free dental cleaning for anyone who signs up at the dispensary. CEO Esther Lopez has already spoken with dental hygienists local to Hayward who are interested in collaborating to provide this service. CEO Lopez plans to seek partnership opportunities for this program with the Firehouse Clinic or other community-based organizations. Aunty Honeys will also offer HIV and Hepatitis C testing, with the frequency of those services based on demand. This testing would be in partnership with the Tiburcio Vasquez Health Center or other similar groups.

In recent years, the City of Hayward has experienced substantial challenges with homelessness, mental health issues, and drug addiction. To help address these challenges, Aunty Honeys plans to collaborate with Women on the Way, a holistic women's recovery program that is already carrying out important work to address substance abuse and housing insecurity among vulnerable individuals in the community.

COMMUNITY OUTREACH AND SUPPORT

Community is the foundation of Aunty Honeys' approach. CEO Esther Lopez will work closely with the designated Community Relations Manager, Marcella James, to implement a proactive approach for working with local stakeholders. Ms. Lopez is already well-connected with the City of Hayward business community, as she operates The Business Center on the Tennyson Corridor and regularly attends meetings the City of Hayward hosts for local business owners. In that role she is already engaging with business owners and Hayward residents, explaining her vision for Aunty Honeys.

Once Aunty Honeys secures a location for the proposed dispensary, Ms. Lopez and Ms. James will implement an outreach plan to open a dialogue with the surrounding community. At a minimum, this will include providing businesses and residents within a 1000 ft radius of the dispensary with fliers containing an explanation of the proposed dispensary and contact information for Ms. James. Ms. Lopez and Ms. James will also identify business organizations and community groups that represent the neighborhood, and seek to arrange presentations during which Aunty Honeys will explain the project, listen to concerns, and propose ways to address community worries. Ms. Lopez and Ms. James will also approach members of the Hayward City Council to discuss and address concerns.

As required by the RFP process, Aunty Honeys will also prepare for the public hearing required under Hayward Municipal Code Chapter 10 (Zoning). This may include preparing handout materials addressing common concerns such as substance abuse prevention, safety and security, preventing youth access, odor control, and public consumption.

All current materials will be available on-site for patrons of the dispensary.

Community Outreach and Support Designee Contact Info:

Marcella James

27692 E. 16th Street, Hayward, CA 94544

Phone: 510-432-9209

Email: cellajames@aol.com

AUNTY HONEYS COMMERCIAL CANNABIS RETAIL APPLICATION PRODUCT TESTING AND SAFETY

PRODUCT TESTING AND SAFETY

Aunty Honeys will ensure product quality by partnering only with reputable, compliant, and licensed cultivators, manufacturers, and distributors who have had their products tested for biological and chemical contaminants in compliance with California state law. State law assigns state-licensed distributors with primary responsibility for quality assurance and testing. All quality assurance and testing standards must be met before distributors are authorized to transport cannabis goods to dispensaries for final sale.

Given these requirements, Aunty Honeys' role in ensuring product quality is not the direct testing of products, but rather performing due diligence. To that end, Aunty Honeys will adopt several procedures to ensure its products meet or exceed standards required by California state law:

- **Quality assurance:** Aunty Honeys will designate a Quality Assurance Manager responsible for all product testing, safety, quality, as well as responsiveness to customer feedback. Upon receiving cannabis products from a distributor, the Quality Assurance Manager or a designee will:
 - Verify that each product has received a Certificate of Analysis from a licensed testing laboratory certifying that the product meets safety standards required by California state law.
 - Visually inspect incoming products to detect lapses in packaging, labeling, or product quality.
- In accordance with Section 5406 of emergency state regulations, through inventory tracking alerts (if available) and through visual inspection of products at time of sale, Aunty Honeys will verify that cannabis goods have not exceeded their expiration or sell-by date prior to sale to a customer.
- **Responsible supply chain:** Aunty Honeys will only contract with high-quality and reputable licensed distributors, cultivators, and manufacturers, as determined by demonstrated compliance with California law and adherence to Good Manufacturing Practices. Aunty Honeys will cease to do business with any suppliers that demonstrate repeated violations, customer complaints, or poor product quality.
- **Exceeding required testing standards:** Emergency cannabis licensing regulations in the State of California allow a “grace period” in which cannabis products are not required to be tested, so long as the product is labeled to inform the customer of that fact. Given the severe pesticide issues which have been identified over the past several years in California, however – when no testing was required at a state level – Aunty Honeys does not believe it is in the interest of its patients and customers to sell any product that has not been certified as compliant by a licensed testing laboratory. Investigations over the past

year have found significant quantities of cannabis tainted with myclobutanil, a pesticide which is converted to hydrogen cyanide upon combustion. This includes a white paper released by Steep Hill Labs in 2017 which found over 65% of cannabis products tainted with myclobutanil, and over 75% of products containing a level of pesticides that would result in test failure under current state standards. Aunty Honeys firmly believes that all cannabis products should be tested to strict standards, and will only acquire and sell cannabis products with Certificates of Analysis that demonstrate compliance with state safety standards even during the state-allowable grace period.

In addition, all testing standards required by the California Bureau of Cannabis Control (BCC) emergency regulations, and any subsequent state or local requirements, will be met or exceeded for all products carried by Aunty Honeys. This includes testing for cannabinoids, heavy metals, foreign materials, microbial impurities, mycotoxins, homogeneity, moisture content, residual pesticides and solvents, and terpenoids.

- **Return of products:** In the event that a product is defective or does not meet high quality standards, Aunty Honeys will accept returns of cannabis products. Contact information for product complaints will be made available to customers, and quality assurance personnel will promptly respond to complaints. Any product that is required to be destroyed, including all returned products, will be rendered unusable and recognizable and disposed of in compliance with Section 5055 of emergency BCC regulations or the comparable permanent regulation. If a complaint or complaints about a cannabis product indicates that a recall may be necessary, Aunty Honeys will work with state regulators and the vendor to determine if a recall is warranted.
- **Compliance with product recalls:** In the event that a product has been recalled, Aunty Honeys will follow all required steps to return or destroy product in compliance with BCC regulations.
- **Audit of problems:** Quality concerns may be identified through inventory audits, inventory control tracking software, complaints by employees or clientele, or any other means. In the event of such a concern, once the issue has been resolved, the Quality Assurance Manager will review and update policies and procedures to reduce the likelihood that the concern will be repeated; or to ensure that the concern will be caught prior to purchase or sale. Such reviews will take place in a timely manner and at least within one month of the concern being raised.
- **Relationship with Harrens Lab:** CEO Esther Lopez recently toured the Harrens Lab, a Hayward-based cannabis testing facility. Assuming the laboratory receives state and local licensing, Aunty Honeys will maintain a relationship with Harrens Lab. This may include education with respect to testing standards and understanding test results, seeking product testing under unusual circumstances, or recommending a testing facility to local distribution companies.

These procedures will ensure that Aunty Honeys meets and exceeds all state requirements for all cannabis products, including flower, concentrates, topical, and edibles. In doing so, Aunty

Honeys will also, in most cases, substantially exceed federal safety standards for analogous products. Although the federal government does not promulgate testing standards for cannabis products, state standards developed by the Bureau of Cannabis Control rely on a combination of cannabis-specific research and existing federal standards for food, drugs, and tobacco. The BCC considered existing standards from the U.S. Pharmacopeial Convention (USP), the National Institute for Occupational Safety and Health, and the American Conference of Governmental Industrial Hygienists in addition to Cal/OSHA and the California Department of Industrial Relations in determining their acceptable allowances for pesticides, contaminants, and residual solvents. In most cases, BCC standards are set at the limits of detection: meaning, effectively, at zero. These standards are more stringent than those typically applied to food products, and substantially more stringent than pesticide standards applied to tobacco, which is not heavily regulated for biological and chemical contaminants.

Aunty Honeys will store all cannabis products in a designated and secure storage area, with access limited to authorized personnel. To ensure product safety and prevent degradation, all cannabis and cannabis products will be stored in accordance with the standards set by USP 34, Section 10: Preservation, Packaging, Storage, and Labeling. The USP describes in detail best practices for storage of prescription drugs, including climate control, humidity control, and protection from light. Temperature and humidity will be selected to promote product stability and to avoid any sudden changes that may lead to condensation, bacterial growth, or other problems. The storage area will have sufficient lighting and ventilation to support the desired temperature and humidity conditions. The Quality Assurance Manager and Inventory Manager will work with distributors and other supply chain partners to implement any other controls necessary to ensure safe storage for specific products.

INVENTORY MANAGEMENT PLAN

Aunty Honeys will utilize the state-mandated Metrc track and trace system, in conjunction with the MJ Freeway API, to facilitate its inventory management. MJ Freeway will enable Aunty Honeys to supplement Metrc's protections against unlawful diversion of cannabis product with automated systems for compliance, accounting, tax remittance, auditing, and data collection. Each of these systems are capable of tracking cannabis batches and lots from seed to sale with unique identifiers, including the verification of weight, amount, and valid movement through the supply chain.

Aunty Honeys will designate an owner as the state-required account manager for operation of the Metrc track and trace system. The account manager will be responsible for promptly attending state mandated track and trace training on proper usage of the Metrc system. Once training is completed, the account manager will designate a limited number of employees as users who will each create unique logins. Each user will only be authorized to enter into the track and trace system under their own username and password, ensuring that all entries into the system will be tied to a responsible party.

Authorized track and trace users will enter all events required by Section 5049 of BCC regulation into the track and trace system, including: receipt, return, destruction, spoilage, or sale of cannabis goods; identity of the cannabis or cannabis product; and information associated with

the time, date, and identity of incoming shipments from a distributor. All track and trace information will be entered promptly for each transaction, in most cases immediately. If feasible, Aunty Honeys will use transportation and delivery manifests for verification and automatic updating of the track and trace system. In all cases, track and trace information will be fully updated by 11:59pm on the day that a transaction occurs. All records will be kept for seven years in compliance with state law.

In compliance with Section 5424 of BCC regulation, Aunty Honeys will perform a full inventory reconciliation at least once every fourteen days. If a significant discrepancy in inventory is detected or if there is evidence of theft, diversion, or loss, Aunty Honeys will immediately notify law enforcement and the BCC and perform an audit of the track and trace system to identify the cause of the discrepancy.

Aunty Honeys will designate a Quality Assurance Manager who will oversee all inventory control procedures, including those detailed above. The QA Manager will also be responsible for training other employees on these procedures and on safe product handling and storage procedures, and verifying compliance with these best practices.

Designated employees will receive training on MJ Freeway and Metrc with the purpose of monitoring the misuse and diversion of cannabis. This will include training on the information required to be submitted, transmitting information as specified by California's Bureau of Cannabis Control rules and regulations, time limits on information transmittal, and contingency solutions if the dispensary suffers a mechanical or electrical failure or is unable to meet transmittal deadline for other reasons beyond its control. Specific transmittal information will include dispensary identification, patient identification, physician recommendation date and identification, date, quantity, and number of days' supply of dispensation, and originating source of cannabis. Employees will receive training on patient confidentiality within the database as well.

PRODUCT LABELING STANDARDS

California state law limits dispensaries' responsibilities for packaging and labeling, and assigns most of these responsibilities to cultivators, manufacturers, and distributors. In compliance with Section 5412 of BCC regulations, Aunty Honeys will not accept any cannabis goods that are not in their final packaged form, and will not repackage or relabel any cannabis goods following receipt from a distributor, except where explicitly provided for by California state regulations.

The California Department of Public Health and California Department of Food and Agriculture have developed product packaging and labeling standards and will enforce these standards for products developed by manufacturers and cultivators. Labeling standards for manufactured products are described in Sections 40400-40415 of the DPH regulations and include prescribed caution labels; potency information; a universal symbol indicating THC content; information on the manufacturer and date of manufacture; applicable expiration dates; ingredient and allergen information; and restrictions on packaging or labeling contents that would appeal to children. Labeling standards for non-manufactured cannabis products are outlined in Sections 26070, 26120, and 26121 of the Business and Professions Code.

Upon receiving inventory from a distributor, the Quality Assurance Manager or a designee will inspect products to ensure there are no visible breaches in packaging, non-compliant labeling, or other apparent issues in quality. Later, when products are sold to a customer, retail employees will perform a second quality assurance check. In compliance with Section 5413 of BCC regulations, all cannabis products will be placed in an opaque exit package at the point of sale.

Prior to employees beginning work at the dispensary, they will undergo training to ensure all packaging and labeling protocols are understood and followed. Additional packaging and labeling training information is described in the Labor and Employment Practices plan in this application.

AUNTY HONEYS COMMERCIAL CANNABIS RETAIL APPLICATION ENVIRONMENTAL PLAN

NEIGHBORHOOD IMPACT AND NUISANCE MITIGATION

Aunty Honeys is committed to having a net positive effect on the surrounding community and contributing to a vibrant and attractive Downtown Hayward. Aunty Honeys has designated a Community Relations Manager, Marcella James, responsible for proactively dealing with potential nuisance issues. The Community Relations Manager will also be responsible for promptly responding to and resolving complaints from customers, neighbors, or city officials.

Upon securing a properly zoned and compliant location, the Community Relations Manager will make every effort to speak with all businesses and neighbors within 100 feet of the facility, as well as passing out fliers. Fliers will include the name, phone number, secondary phone number and e-mail address of the Community Relations Manager. When this contact information changes, the Community Relations Manager will provide updated fliers in a timely manner.

Noise Mitigation

Under normal operational practices, the Dispensary should not produce excessive noise. Aunty Honeys will ensure that excessive crowds of customers will not congregate within or outside the dispensary at any time in order to minimize the risk of a noise disturbance. To prevent large crowds from gathering, Aunty Honeys will provide sufficient overflow space inside the dispensary, and temporary barriers outside if required and in accordance with City of Hayward regulations. As described in greater detail in the Security Plan, security personnel outside the dispensary will deter and address any disturbances or nuisances in the vicinity of the facility. Furthermore, Aunty Honeys will provide signage to remind customers, vendors, visitors, and employees to maintain a quiet presence in and around the perimeter of the facility, including entrance points and parking areas.

Foot and Vehicle Traffic

Aunty Honeys does not yet have a specific location, but will prioritize options which either have dedicated parking or are close to parking such as the City of Hayward Parking Lot. Aunty Honeys will implement efficient procedures within the dispensary, which will both reduce the length of time public parking spaces would be used and reduce the likelihood of excessive patrons interfering with foot traffic.

If for any reason the interior waiting area becomes full, Aunty Honeys will provide a retractable temporary barrier to prevent customers who are waiting for entrance from interfering with other foot traffic. Such barriers would be established in accordance with the City of Hayward Municipal Code and other provisions.

Aunty Honeys is also planning to provide delivery service at a later stage, using energy efficient vehicles. By offering delivery, Aunty Honeys can not only provide services to customers without easy access to the retail storefront, but also reduce foot and vehicle traffic near the proposed dispensary.

Waste Production and Water Usage

Aunty Honeys does not anticipate an increase in waste production or water usage as part of its dispensary operations as compared with a typical retail operation. However, Aunty Honeys is committed to water conservation and responsible discharge of cannabis and other waste. Procedures for each of these are discussed in greater detail below.

Safety Concerns

Aunty Honeys takes safety and security very seriously, as detailed in the Security Plan. With proper security procedures in place, Aunty Honeys does not anticipate that the dispensary's operations will result in increased safety concerns for the surrounding area. An April 2016 report generated by the City of Oakland summarized Oakland's experience with safety in the vicinity of dispensaries, finding that:

“crime statistics suggest licensed medical cannabis facilities have zero to negative impact on crime. For example, on average, calls for service to the Oakland Police Department went down 2.5 percent within 500 feet of a City Of Oakland licensed dispensary the year after the dispensary opened compared to the year prior.”

Academic studies published in peer reviewed journals including PLoS One, the Journal of Economic Analysis & Policy, and the Journal of Studies on Alcohol and Drugs have also consistently found a decrease in crime in the areas surrounding new dispensaries. These studies were conducted in demographically and geographically diverse locations including Sacramento, Los Angeles, and Denver, and tend to attribute decreases in crime to well-executed dispensary Security Plans.

As detailed in the Security Plan, if an incident does occur in or around the dispensary, the Director of Security will collaborate with City of Hayward police to prevent or deter recurrence.

Neighborhood Beautification and Blight Abatement

Aunty Honeys is committed to being a proud Hayward institution. Maintenance of a clean and attractive exterior is central to both Aunty Honeys branding and marketing strategy and its commitment to the overall vitality of the neighborhood. Aunty Honeys will engage in landscaping, maintenance, and periodic re-paintings to ensure that the facility remains in pristine condition. A prominent East Bay artist, Norman Chuck (aka Vogue), will also be commissioned

to create a mural on the building's exterior. Vogue has produced iconic works in the Bay Area, including one to honor the lives lost in the Ghost Ship fire.

Auntie Honeys will participate in Hayward's Adopt-A-Block program to ensure that the area surrounding the dispensary is kept free from litter, graffiti and blight. All graffiti in the vicinity of the premises will be removed within 48 hours.

WASTE DISPOSAL

As a retail business, Auntie Honeys does not anticipate generating industrial waste. In some cases, however, it will be necessary to dispose of cannabis waste. Reasons for disposal of cannabis waste include return of product from a customer, or products in inventory that have passed their "sell by" date or otherwise do not meet quality assurance standards. All cannabis waste will be disposed of pursuant to a process managed by the Quality Assurance Manager following strict SOPs that are designed in compliance with California state regulations.

In compliance with Section 5054 of BCC regulation and federal guidance for disposal of controlled substances, all cannabis products will be removed from their packaging and rendered unrecognizable and unusable prior to disposal. All cannabis waste will be directly disposed of and cannabis waste will never be sold. An employee will mark cannabis products for disposal and supervise the segregation of the material from viable cannabis product in the storage area marked for cannabis disposal. Cannabis marked for disposal will be stored in a secured and covered disposal bin. The room in which the disposal bin is stored will be secured and will be limited to access by authorized personnel, and the storage area will be covered by video surveillance at all times.

Prior to initiating the destruction of cannabis marked for disposal, a manager will verify that all surveillance cameras covering the designated destruction area are functioning correctly. After being rendered unusable, all cannabis waste will be transported directly to a waste disposal facility. All destruction of cannabis and cannabis waste disposal will be entered into the track and trace system and all records will be maintained for a minimum of seven years.

WATER CONSERVATION

As a retail business, Auntie Honeys does not anticipate substantial water usage. For marginal water usage on site, however, Auntie Honeys will follow retail industry best practices and City of Hayward guidelines for reducing water consumption, including the following:

- Regularly scheduling maintenance on HVAC systems;
- Monitoring water bills to detect excess water usage or leaks;
- Installing high-efficiency toilets;
- Installing rain barrels to collect excess rainwater;

- Landscaping using low-water usage techniques, consistent with guidelines in the Hayward Lawn Conversation Rebate Program and Hayward Water Efficient Landscape Ordinance;
- Conforming to all design guidelines, as applicable based on location; and
- Installing faucet aerators.

ODOR CONTROL

As a dispensary, Aunty Honeys will have a substantially lower risk of odor issues than a cultivation or distribution operation. Given that state law requires all cannabis products to arrive at a retailer in final packaged form, cannabis products will not be exposed to open air and therefore are not likely to generate detectable odor, either inside or outside the facility. Unlike a cultivation facility, then, Aunty Honeys will not require systematic, large-scale carbon filtration to prevent odors generated by normal business operations.

Aunty Honeys' Odor Control Plan seeks to identify and mitigate any unpleasant odor which does occur. Key policies include: preventing on-site consumption of cannabis; training employees not to remove any cannabis product from its packaging; and training employees and contracted security personnel to detect and report unacceptable odors both inside and outside the facility.

Storage areas that contain large amounts of packaged cannabis product may conceivably generate some odor. If necessary, Aunty Honeys will install activated carbon filters and fans in storage areas with sufficient CFM capacity to fully eliminate these odors. All atmosphere that is purged from the storage area will also undergo HEPA filtration to ensure that no detectable odors leave the vault area and that all mold and contaminants are removed from the airstream.

Aunty Honeys does not anticipate significant cannabis odors will be generated from the retail area of the facility. This air will be exhausted continually.

Each of the above odor control strategies will be subject to immediate change if undesirable odors are detected at any point inside or outside the facility. If necessary, Aunty Honeys will install additional filters and fans with sufficient CFM to fully scrub odor from air in any portion within the facility prior to exhaust outside of the facility. In the event that odors are detected despite existing filters and fans, the Quality Assurance Manager or designee (including appropriate vendor) will inspect all odor control equipment to ensure proper operation and to promptly resolve any issues. All fans will be inspected visually each week to ensure proper functionality and all carbon filters will be replaced each quarter. Records of repair and replacement will be retained for at least three years and will be made available to local or state authorities as requested.

ENERGY EFFICIENCY, SUSTAINABILITY, AND RECYCLING

Aunty Honeys views energy efficiency as essential for both its long-term financial sustainability and for its benefits to the environment. Upon identifying a location, Aunty Honeys will conduct a full assessment of the proposed facility's existing energy usage to determine priorities for improvement. In this process, leadership will work closely with the Hayward Building Division to screen all proposed energy efficiency improvements and to identify the most pressing needs. Aunty Honeys will also identify priorities using the Hayward Climate Action Plan, California Building Energy Efficiency Standards, and assessment by East Bay Energy Watch.

While Aunty Honeys cannot commit to specific improvements prior to finalizing a location, the following improvements will be strongly considered:

- Installing high-efficiency lighting;
- Reducing lighting use through motion-activated internal and external lighting;
- Installing high-efficiency toilets;
- Installing faucet aerators;
- Monitoring water bills to detect excess water usage or leaks;
- Installing rain barrels to collect excess rainwater, to supplement landscape irrigation;
- landscaping with native, drought resistant plants;
- Landscaping using low-water techniques, consistent with guidelines in the Hayward Lawn Conversation Rebate Program and Hayward Water Efficient Landscape Ordinance;
- Conducting a review of building insulation;
- Conducting routine maintenance on HVAC systems;
- Pursuing Hayward Green Business Certification;
- Encouraging employees to make responsible energy choices, including recycling and mitigation of water and energy usage;
- Encouraging employee carpooling and use of public transit;
- Installing bicycle parking in the vicinity of the facility, if not already available;
- Conducting a review of building insulation, including windows;
- Prioritizing local vendors, distributors, and testing laboratories to reduce transportation energy usage;
- Prioritizing vendors with certified environmentally responsible practices, particularly cultivation businesses who demonstrably mitigate energy and water consumption; and
- Assessing the feasibility of LEED certification.

Aunty Honeys will fully comply with Hayward business recycling mandates for disposal of recyclable materials and organic non-cannabis waste. Employees will be trained in SOPs for recycling and customers will be encouraged to recycle inside the facility. Aunty Honeys will also pursue relationships with packaging vendors to ensure that exit packages will be recyclable.

AUNTY HONEYS COMMERCIAL CANNABIS RETAIL APPLICATION LABOR AND EMPLOYMENT PRACTICES

HIRING PLAN

Aunty Honeys is committed to implementing a business model that both supports the local community as well as is sustainable in the long term. As such, Aunty Honeys has developed a Hiring Plan that ensures its operations prioritize the promotion of the local economy. The Hiring Plan encompasses a Labor Peace Agreement, local hiring preference, training requirements, commitment to living wage, a nondiscrimination policy, and Worker's Compensation Policy.

LABOR PEACE AGREEMENT

Aunty Honeys certifies that a Labor Peace Agreement is in place; a copy of the agreement is attached. No current pre-existing recognition from a certified labor union is in place; however, a collective bargaining agreement with a certified labor union is currently being negotiated and will be in place prior to commencing operations.

LOCAL HIRING PREFERENCE

Aunty Honeys is committed to implementing a business model that both supports the local community as well as is sustainable in the long term. As such, Aunty Honeys has developed a hiring plan that ensures its operations prioritize the hiring of locally based applicants for employment. Aunty Honeys will participate in local recruitment opportunities, including but not limited to events held by the City of Hayward and the local Employment Development Department office.

Aunty Honeys is committed to providing opportunities for professional development as well as management and director level positions to lifelong residents of the city of Hayward. In addition to CEO Esther Lopez's long history in Hayward, Aunty Honeys plans to provide the following director- and management- level opportunities to a selection of talented women native to or who work in the city of Hayward:

- Director of Security: Isabel Pina-Ramirez – born and raised in Hayward, where she recently retired from the Hayward Police Department
- Community Relations Manager: Marcella James – born and raised in Hayward and has lived in the same home for 44 years
- Patient Relations Manager: Monica Feder – worked in Hayward for 13 years
- Patient Relations Manager: Monica Marie Albarico – born and raised in Hayward

More information about these selected individuals, along with copies of their resume, are available in the Business Plan section of this application. Furthermore, with approval of the state and local permitting agencies, Aunty Honeys intends to eventually provide delivery services, as well as operate a licensed cultivation facility. With these additions to its business structure, Aunty Honeys will be able to provide further leadership roles and opportunities to Hayward residents.

TRAINING AND CONTINUING EDUCATION

All Dispensary Agents must complete the following trainings prior to beginning work at the Applicant's dispensary:

Initial Training

- This training period will also feature detailed training on compliance, diversion prevention, applicable laws, policies and procedures. It will be arranged in the following modules:
 - Module 1: Security and Diversion Prevention
 - The Operations Manager will arrange with a security consultant to train all initial employees on proper safety and security procedures.
 - This training will be recorded, and made available to employees.
 - All subsequently hired employees shall watch the recording and take required supplementary training on additional or modified procedures prior to beginning typical duties.
 - In addition to training on standard security procedures and the use of all equipment, including duress, holdup, panic, and wireless alarms, each employee will receive training on responding to threatening events, burglaries, and raids.
 - Reporting suspicious behavior or evidence of diversion
 - On-site use of cannabis and use of cannabis by employees during work hours is prohibited
 - Module 2: Sanitation and Safety
 - Personal hygiene
 - Handling Cannabis Products
 - Cleaning and sanitizing the facility
 - Labeling and storing toxic solvents
 - Waste removal procedures
 - When and how to utilize PPE
 - Module 3: Transportation
 - Shipping protocol
 - Delivery protocol
 - Transportation Manifests
 - Driver and passenger protocol
 - Module 4: Inventory
 - How to update the state-mandated electronic track and trace system, Metrc
 - How to perform daily, monthly, and annual inventory reconciliation procedures
 - How to respond to inventory discrepancies
 - How to monitor MJ Freeway and Metrc for the misuse and diversion of cannabis.
 - Protocols for inventory tracking at receipt of Cannabis Product
 - How to handle complaints and product returns
 - Procedures for recalls
 - Module 5: Labeling and Packaging

- How to recognize a compliant label or package
- How to recognize a non-compliant label or package
- How to create a receipt
- What to do in the event of a non-compliant label or package
- Proper protocol for interfacing with patients and caregivers who need special accommodations (e.g. a larger sized type on their receipt)

In addition to the above training, staff will be required to attend a CPR certification course. Upon completion of initial training, employees will be issued or assigned uniforms and then permitted to begin working at the dispensary.

Updated Training

- Employees will undertake annual training refresher courses, as well as ad hoc training when regulations, research, or procedures change
 - The Director of Compliance will monitor BCC and the City of Hayward for regulatory updates. The CEO will also discuss industry trends and upgrades with advisors and consultants annually, at minimum. When relevant regulations or recommendations change, the Director of Compliance or CEO will coordinate with the Operations Manager to ensure dispensary employees receive updated training.
- When available, employees will be offered the opportunity to attend BCC training seminars

ASA's Patient-Focused Certification Training

- Employees will take this training within one calendar year of employment. The curriculum consists of the following components:
 - Cannabis as Medicine
 - Cannabis Business Operations
 - Understanding Cannabis Law
 - State and Local Legal Compliance
 - Distribution Operations

Diversity Training

- Applicant will undertake this training annually
- Identification and prevention of harassment based on race, sex, gender, disability status, religion or national origin. This training will include:
 - A clear grievance procedure or set of steps for an employee who has experienced or witnessed discrimination
 - A declaration of the Aunty Honeys' commitment to prompt investigation of complaints of discrimination
 - A promise of protection against retaliation
 - A commitment by Aunty Honeys to be legally bound by its policy

- Auntie Honeys will hire the National Diversity Council to train all new employees on diversity and inclusion. These annual, mandatory cultural competency workshops will teach employees how they can make the workplace a more welcoming place for all, examine hidden and overt bias, and give employees conflict-resolution skills and tips about how to be workplace allies. It will also include training on specific issues, including but not limited to the following:
 - Gender Identity and Inclusivity
 - e.g. What pronoun a transitioning coworker might prefer, they can politely ask their coworker how they would like to be addressed.
 - Neurodivergence and Inclusivity
 - Racial Equity
- Participant Involvement in Training
 - Before a diversity training, all Dispensary Employees will have the opportunity to fill out an anonymous questionnaire about which topics they would like to learn about in the upcoming training.

Colorado's OSHA's "Guide to Worker Safety and Health in the Marijuana Industry" Training

- All employees will undertake this training, which is designed to achieve the following objectives:
 - Assist in the recognition of occupational health hazards that might be present within the cannabis industry.
 - Identify specific existing federal, state, and local safety and health related regulations that may apply to the cannabis industry.
 - Provide initial recommendations for engineering, administrative and personal protective equipment controls that can be used to help eliminate or reduce hazards in the cannabis industry.
 - Provide information and resources to assist employers in developing written workplace safety and health programs.
 - Provide information to help develop cannabis worker safety training program.

LIVING WAGE

Auntie Honeys is committed to implementing a business model that both supports the local community as well as is sustainable in the long term. As such, the Applicant intends to remunerate all employees, at minimum, at a wage that is considered a living wage. The current minimum hourly wage in Hayward is \$10, however the living wage is approximately \$16. No employee shall receive hourly wages less than \$16. Regular raises will be available based on length of time employed, with various incentives also available to appropriate staff. In addition, all full time staff will receive benefits, including health care and paid time off that exceeds local and state requirements.

Estimated Wage Scale

WAGE SCALE

Staff Level	Minimum Salary	Maximum Salary
Director	\$70,000 (annual)	\$100,000 (annual)
Manager	\$55,000 (annual)	\$70,000 (annual)
Hourly Staff	\$17.50 (hourly)	\$30.00 (hourly)

NON-DISCRIMINATION

Aunty Honeys is committed to equal employment opportunities and does not discriminate against qualified employees or applicants because of race, color, ethnicity, religion, sex, sexual orientation, gender identity, pregnancy, childbirth or related medical conditions, national origin, ancestry, citizenship, age, veteran status, marital status, physical disability, mental disability, medical condition, political activity or any other characteristic protected by local, state, or federal law.

Equal employment opportunity will be extended to all persons in all aspects of the employer-employee relationship, including but not limited to recruitment, hiring, upgrading, training, promotion, transfer, discipline, layoff, recall, and termination. Aunty Honeys' policy prohibits harassment of applicants or employees related to these issues. A signed copy of Aunty Honeys Non-Discrimination/Anti-Harassment and Complaint Procedure policy as well as their Commercial Cannabis Permit Program Declaration of Non-Discrimination are attached to this plan.

Reasonable Accommodations for Persons with Disabilities

Aunty Honeys complies with the Americans for Disabilities Act and applicable state and local laws providing for nondiscrimination in employment against qualified individuals with disabilities. In addition, individuals with a disability who use or are accompanied by guide dogs, signal dogs, or service dogs are protected classes in California.

Aunty Honeys intends to provide accommodation in the hiring, placement, and advancement of employees with disabilities, and intends to seek out those with disabilities, who can, with or without accommodation, perform essential functions of the job. The Company encourages employees and other sources to recommend for employment individuals with disabilities whom they believe can, with or without accommodations, perform the job function.

An applicant or employee who believes they need accommodation of a disability should discuss the need with their supervisor.

WORKER'S COMPENSATION

Aunty Honeys has safeguards and policies and procedures in place to protect employees from workplace hazards. In the event that an employee is involved in a workplace incident or illness, Aunty Honeys has purchased a Worker's Compensation policy from Heffernan Insurance Brokers. The policy applies to bodily injury by accident and bodily injury or disease caused or aggravated by the conditions of the Applicant's employment. Please see the attached Worker's Compensation Letter of Intent and Cannabis Industry Workers' Compensation Application.

The following documents are hereby segregated as Confidential – Proprietary Trade Secret Information and are exempt from disclosure pursuant to the Public Records Act

LABOR AND EMPLOYMENT PRACTICES ATTACHMENTS

The following documents, referenced in the Labor and Employment Practices Plan, are listed below:

1. Labor Peace Agreement
2. Commercial Cannabis Permit Program Declaration of Non-Discrimination
3. Non-Discrimination/Anti-Harassment and Complaint Procedure Policy
4. Worker's Compensation Letter of Intent
5. Cannabis Industry Workers' Compensation Application

Labor Peace Agreement

By and between

County Honey ("Employer")

and

Teamsters Joint Councils #7 and #42

Whereas Employer holds or intends to apply for one or more State Licenses to engage in commercial cannabis activity, and intends to become a licensee to engage in commercial cannabis activity, as such terms are defined by section 19300 of the Business and Professions Code;

Whereas Union represents employees working within industries engaged in cultivating, processing, warehousing or transportation of perishable and consumer products, and such industries are within the historical and recognized jurisdiction of the Union;

Whereas Employer desires to construct and operate commercial cannabis activities within the Union's geographic jurisdiction, and desires to do so without disruption, unrest or delay that may be occasioned by labor disputes;

Whereas the Union seeks a means of efficiently and amicably resolving disputes relating to its representation of employees engaged in the industry in which Employer seeks to operate;

Whereas the parties intend this agreement to satisfy the provisions of Business and Professions Code 19300(p) and 1931, and terms used herein shall have the definitions as set forth in Business and Professions Code section 19300;

Wherefore, the Parties voluntarily enter into this agreement, which shall be binding on them:

1. Scope and term:

- A. **Scope.** This agreement shall apply with respect to any and all commercial cannabis operations in which the Employer currently engages and any operations the Employer engages in the future, in addition to any businesses acquired by the Employer with respect to employees not already represented by a labor organization. This Agreement shall be submitted with any application made by Employer to obtain any License to engage in commercial cannabis activities.
- B. **Term.** This agreement shall be in effect and binding upon the parties from the date on which it is executed and continuing for all periods during which the Employer engages in commercial cannabis activities within the state of California. This agreement shall be binding with respect to all employees engaged in commercial cannabis activities employed by the employer, but shall cease to apply to employees for whom (1) a labor organization is recognized pursuant to the procedures set forth herein and the parties have entered into a collective bargaining agreement covering such employees; or (2) the National Labor Relations Board has issued a certification with respect to such employees.

2. Obligations of the Employer

A. **Neutrality.** The Employer shall remain neutral with respect to the Union and its representation of employees covered by this agreement. Neutrality means that the Employer shall make no written or oral statement or take any action opposing or advocating unionization. The Employer also shall not demean the Union as an organization or its representatives as individuals, nor portray the Union in a bad light. The Employer shall neither retaliate against, disparage nor pressure any employee for voicing his or her support or opposition of the Union or union representation, and shall not conduct captive audience meetings. The Employer will inform all managerial employees, supervisors, or other agents of the Employer of their obligations under this Agreement and will take prompt and appropriate action to stop and correct any violations of this Agreement up to and including termination from employment for any violations of this neutrality provision.

B. **Union Access.** The Company recognizes the Union's right to communicate with the workers it seeks to organize and the Union recognizes that access must accommodate the Company's concerns with minimizing disruption of business and productivity. The Company shall permit Union representatives access to employer property and facilities for the purpose of communicating with employees about Union representation. Employees will be allowed to distribute literature and distribute and collect authorizations cards.

C. **Employee/Eligibility List.** Upon the hiring of any non-supervisory and non-management employees who will be engaged in commercial cannabis activities, the Employer shall provide to the Union the names, addresses, telephone numbers and email addresses of all such employees, together with a designation of the work location and department/function of each listed employee, which shall be described with respect to one or more of the following categories: cultivation, manufacture, processing, laboratory, labeling, packaging, storing or warehousing, transporting, distribution, sale, or security/guards.

The Employer shall update this submission regularly and no less often than weekly if requested by the Union. Such list shall be used, and be regarded as a conclusive eligibility list for the purpose of determining whether the Union enjoys a majority of support among the employees, or a subset of such employees appropriate for purposes of collective bargaining as defined herein.

Any disputes regarding eligibility, the eligibility list, or the sufficiency or authenticity of the Union's showing of interest shall be determined by the neutral third party appointed to ascertain the sufficiency of the Union's showing of interest.

D. **No Lockout:** The employer may not engage in a lockout

3. Obligations of the Union

A. **Union Neutrality.** The Union agrees to communicate with employees in a positive manner and shall not denigrate the Company, its managers, supervisors, agents or representatives. The Union shall not present or portray the Employer in a bad light to employees or to the public.

- B. **Non-disruption of business operations.** The Union's activities shall not disrupt or interfere with the Employer's operations or business.
- C. **No Strike.** The union and any employees it represents will not engage in or encourage any strikes, slowdowns, picketing or other concerted activity. The union will not engage in any hand-billing directed at the public except insofar as the parties agree in advance that such hand-billing is appropriate and not a breach of this agreement.
- D. **Assignment of Local Union.** The respective Joint Council which has the geographic jurisdiction shall assign

4. Recognition and Representation

- A. **Bargaining Unit.** The Employer shall recognize the Union upon the presentation of a confirmed showing of majority support, consisting of signed authorization cards of a majority of employees in a unit appropriate for collective bargaining. An appropriate unit may comprise of one or more of the following as designated by the Union upon its presentation of majority support:
 - (1) all employees employed by the employer under a single License;
 - (2) all employees employed at a single location ;
 - (3) all employees employed within a particular classification at a particular location;
 - (4) all employees engaged in commercial cannabis activities.(A unit shall not include supervisors, management, or confidential employees. The Employer shall recognize the Union with respect to guards/security personnel.)
- B. **Recognition and Majority Interest.** When the Union has received signed authorization cards from a majority of employees in the unit, the Union will notify the Employer in writing and request recognition. Within five (5) days of such notification, the parties shall designate a neutral, disinterested third party to oversee the recognition process. Absent agreement on a neutral third party, the parties shall request the State Mediation and Conciliation Service to provide a neutral third party. The Union will present the authorization cards to the neutral third party for inspection and verification. Any authorization card which is dated more than one year prior to the date of the count by the neutral third party shall be considered stale and not counted. The neutral third party shall issue his/her written verification which shall also define the bargaining unit upon which the Employer shall recognize the Union as the exclusive bargaining representative of such employees of such unit(s).
- C. **Costs.** The Employer and the Union agree to equally share in the costs of this verification procedure.

5. Collective Bargaining Obligations

- A. **Commencement and Scope of Bargaining.** Within ten days of the issuance of a verification and concomitant recognition, the parties shall meet and confer in good faith, in person, to negotiate a collective bargaining agreement with respect to any mandatory

subject of bargaining over which either party desires to negotiate, and any permissive subjects over which the parties mutually agree to bargain.

- B. **Obligation to Bargain in Good Faith.** The parties shall meet thereafter no less often than weekly until a contract is reached or until one or the other party invokes the impasse procedure set forth below for the resolution of impasse disputes. The parties shall "TA" any proposals, or parts of proposals, on which they have tentatively agreed.
- C. **Discipline for Just Cause.** Following verification and recognition, the employer shall not discipline an employee represented by the Union without just cause. Disputes over just cause discipline shall be resolved in accordance with the procedure for resolution of disputes.

6. Resolution of Disputes

- A. **Notice of breach.** Should a party determine that the other may be in breach of this agreement, it shall inform the other in writing. The party so informed shall have 24 hours to cease and desist from the practice and/or provide an explanation of its action. In the event the aggrieved party is not satisfied, it shall invoke this dispute resolution procedure as the sole means of resolving the dispute.
- B. **Resolution of Disputes.** Any and all disputes regarding the interpretation, application or compliance with this Agreement shall be subject to binding arbitration, with the sole exception being injunctive relief sought for the purpose of maintaining the *status quo* pending the resolution of the particular dispute under this procedure.

Should a dispute arise, either party may request a panel of seven (7) arbitrators from the Federal Mediation and Conciliation Service ("FMCS"). Arbitrators on the FMCS Panel must be members of the National Academy of Arbitrators from Northern California. The parties shall alternately strike from the FMCS Panel. The selected arbitrator shall provide dates and the parties shall agree on a date that is no longer than sixty days following the date on which they have selected the arbitrator. If he or she is unable to offer dates within such sixty day period, the jurisdiction to hear the dispute shall be offered to each arbitrator on the FMCS Panel in the reverse order that they were struck by the parties.

At the conclusion of the hearing, the parties may submit oral argument, but neither party shall submit any written briefs. A final written decision may be issued by the arbitrator at the conclusion of the hearing or within three days of the close of the hearing. The parties shall request the arbitrator who first hears a dispute under this provision to accept designation as a permanent arbitrator if s/he is willing to continue to hear and resolve disputes on an expedited basis.

- C. **Exceptional Remedies for Willful Breach.** In the event the Arbitrator finds a party has willfully breached this agreement, s/he shall impose the following remedies as appropriate to fully remedy the breach: Injunctive relief; award of attorney's fees and arbitration costs; extension of the term of this agreement; foreseeable, reliance, consequential or actual damages; specific performance; and liquidated damages in an amount of no less than \$5,000. In the event a prevailing party must proceed to a court of

law to confirm and/or enforce an award issued under this agreement, the losing party shall be liable for payment of reasonable attorneys' fees and costs incurred to enforce and obtain compliance with the award.

D. Resolution of Bargaining Impasse. In the event the parties reach an impasse with respect to their collective bargaining obligations, the parties shall engage the arbitrator, or another arbitrator selected in accordance with the procedures above, to resolve any outstanding contract terms. The parties shall provide a list of terms to which they have tentatively agreed, and a list of outstanding items including the party's last best and final offer. The arbitrator may hear presentations of the parties with respect to the outstanding issues, request statements, convene fact-finding, or otherwise obtain information regarding industry practice or standards pertinent to resolving the outstanding issues. The arbitrator shall then issue a written resolution in the form of contract provisions which shall resolve each outstanding issue in addition to the terms that were tentatively agreed to. The parties shall execute a collective bargaining agreement containing such terms which shall be effective from the date on which the arbitrator renders his/her decision and continuing for a period of one year thereafter. To the extent the terms cannot be immediately put into effect, they shall be put into effect as soon as practical and retroactive to the date of the issuance of the decision or ratification by the affected membership if so required by the Union's constitution or bylaws. The terms determined by the arbitrator shall remain in effect for one year, and continue thereafter unless reopened by either party upon sixty days advance written notice from the anniversary date of the date of the issuance of the order.

7. Severability. To the extent one or more terms of this agreement are determined to be invalid by a court of law or by a final decision of an administrative agency that is appealable only to a court of law, the remaining provisions shall be unaffected and shall remain in force and effect.

8. Warranty of Authority. The parties warrant that their respective representatives who have executed this agreement have full authority to bind and obligate the parties to the terms set forth herein.

Agreed and accepted this 21 date of November 2017

By: 

Name: ESTHER J. LOPEZ

Title:

For Employer: Auntie Honey

By: 

Name: Richard Fern

Title: Trustee

For the Union



Commercial Cannabis Permit Program

Declaration of Non-Discrimination

Applicant certifies that it shall comply with all applicable federal, state, and local laws, rules, and regulations in regard to nondiscrimination in employment because of race, color, ancestry, national origin, religion, sex, marital status, age, medical condition, pregnancy, disability, sexual orientation, or other prohibited basis.

Applicant Signature

01-09-18

Date

ESTHER J LOPEZ

Applicant Name (please print)

Auntie Honey's

Applicant company (if applicable)



AUNTY HONEYS NONDISCRIMINATION/ANTI-HARASSMENT POLICY AND COMPLAINT PROCEDURE

Objective

Aunty Honeys is committed to a work environment in which all individuals are treated with respect and dignity. Each individual has the right to work in a professional atmosphere that promotes equal employment opportunities and prohibits unlawful discriminatory practices, including harassment. Therefore, Aunty Honeys expects that all relationships among persons in the office will be business-like and free of bias, prejudice and harassment.

Aunty Honeys has developed this policy to ensure that all its employees can work in an environment free from unlawful harassment, discrimination and retaliation. Aunty Honeys will make every reasonable effort to ensure that all concerned are familiar with these policies and are aware that any complaint in violation of such policies will be investigated and resolved appropriately.

Any employee who has questions or concerns about these policies should talk with any members of upper management.

These policies should not, and may not, be used as a basis for excluding or separating individuals of a particular gender, or any other protected characteristic, from participating in business or work-related social activities or discussions. In other words, no one should make the mistake of engaging in discrimination or exclusion to avoid allegations of harassment. The law and the policies of Aunty Honeys prohibit disparate treatment on the basis of sex or any other protected characteristic, with regard to terms, conditions, privileges and perquisites of employment. The prohibitions against harassment, discrimination and retaliation are intended to complement and further those policies, not to form the basis of an exception to them.

Equal employment opportunity

It is the policy of Aunty Honeys to ensure equal employment opportunity without discrimination or harassment on the basis of race, color, religion, sex, sexual orientation, gender identity or expression, age, disability, marital status, citizenship, national origin, genetic information, or any other characteristic protected by law. Aunty Honeys prohibits any such discrimination or harassment.

Retaliation

Aunty Honeys encourages reporting of all perceived incidents of discrimination or harassment. It is the policy of Aunty Honeys to promptly and thoroughly investigate such reports. Aunty Honeys prohibits retaliation against any individual who reports discrimination or harassment or participates in an investigation of such reports.

Sexual harassment

Sexual harassment constitutes discrimination and is illegal under federal, state and local laws. For the purposes of this policy, "sexual harassment" is defined, as in the Equal Employment Opportunity Commission Guidelines, as unwelcome sexual

advances, requests for sexual favors and other verbal or physical conduct of a sexual nature when, for example: a) submission to such conduct is made either explicitly or implicitly a term or condition of an individual's employment, b) submission to or rejection of such conduct by an individual is used as the basis for employment decisions affecting such individual, or c) such conduct has the purpose or effect of unreasonably interfering with an individual's work performance or creating an intimidating, hostile or offensive working environment.

Title VII of the Civil Rights Act of 1964 recognizes two types of sexual harassment: a) quid pro quo and b) hostile work environment. Sexual harassment may include a range of subtle and not-so-subtle behaviors and may involve individuals of the same or different gender. Depending on the circumstances, these behaviors may include unwanted sexual advances or requests for sexual favors; sexual jokes and innuendo; verbal abuse of a sexual nature; commentary about an individual's body, sexual prowess or sexual deficiencies; leering, whistling or touching; insulting or obscene comments or gestures; display in the workplace of sexually suggestive objects or pictures; and other physical, verbal or visual conduct of a sexual nature.

Harassment

Harassment on the basis of any other protected characteristic is also strictly prohibited. Under this policy, harassment is verbal, written or physical conduct that denigrates or shows hostility or aversion toward an individual because of his or her race, color, religion, sex, sexual orientation, gender identity or expression, national origin, age, disability, marital status, citizenship, genetic information, or any other characteristic protected by law, or that of his or her relatives, friends or associates, and that: a) has the purpose or effect of creating an intimidating, hostile or offensive work environment, b) has the purpose or effect of unreasonably interfering with an individual's work performance, or c) otherwise adversely affects an individual's employment opportunities.

Harassing conduct includes epithets, slurs or negative stereotyping; threatening, intimidating or hostile acts; denigrating jokes; and written or graphic material that denigrates or shows hostility or aversion toward an individual or group that is placed on walls or elsewhere on the employer's premises or circulated in the workplace, on company time or using company equipment by e-mail, phone (including voice messages), text messages, social networking sites or other means.

Individuals and Conduct Covered

These policies apply to all applicants and employees, whether related to conduct engaged in by fellow employees or by someone not directly connected to Auntie Honeys (e.g., an outside vendor, consultant or customer).

Conduct prohibited by these policies is unacceptable in the workplace and in any work-related setting outside the workplace, such as during business trips, business meetings and business-related social events.

Reporting an Incident of Harassment, Discrimination or Retaliation

Aunty Honeys encourages reporting of all perceived incidents of discrimination, harassment or retaliation, regardless of the offender's identity or position. Individuals who believe that they have been the victim of such conduct should discuss their concerns with their immediate supervisor, any member of upper management. See the complaint procedure described below.

In addition, Aunty Honeys encourages individuals who believe they are being subjected to such conduct to promptly advise the offender that his or her behavior is unwelcome and to request that it be discontinued. Often this action alone will resolve the problem. Aunty Honeys recognizes, however, that an individual may prefer to pursue the matter through complaint procedures.

Complaint Procedure

Individuals who believe they have been the victims of conduct prohibited by this policy or believe they have witnessed such conduct should discuss their concerns with their immediate supervisor, or any member of upper management.

Aunty Honeys encourages the prompt reporting of complaints or concerns so that rapid and constructive action can be taken before relationships become irreparably strained. Therefore, while no fixed reporting period has been established, early reporting and intervention have proven to be the most effective method of resolving actual or perceived incidents of harassment.

Any reported allegations of harassment, discrimination or retaliation will be investigated promptly. The investigation may include individual interviews with the parties involved and, where necessary, with individuals who may have observed the alleged conduct or may have other relevant knowledge.

Aunty Honeys will maintain confidentiality throughout the investigatory process to the extent consistent with adequate investigation and appropriate corrective action. Retaliation against an individual for reporting harassment or discrimination or for participating in an investigation of a claim of harassment or discrimination is a serious violation of this policy and, like harassment or discrimination itself, will be subject to disciplinary action. Acts of retaliation should be reported immediately and will be promptly investigated and addressed.

Misconduct constituting harassment, discrimination or retaliation will be dealt with appropriately. Responsive action may include, for example, training, referral to counseling or disciplinary action such as a warning, reprimand, withholding of a promotion or pay increase, reassignment, temporary suspension without pay, or termination, as Aunty Honeys believes appropriate under the circumstances.

If a party to a complaint does not agree with its resolution, that party may appeal to Aunty Honeys executive director or the chief executive officer.

False and malicious complaints of harassment, discrimination or retaliation (as opposed to complaints that, even if erroneous, are made in good faith) may be the subject of appropriate disciplinary action.

ESTHER J. LOPEZ

(Print Name of Company Official)

CEO

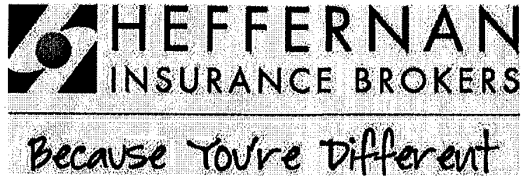
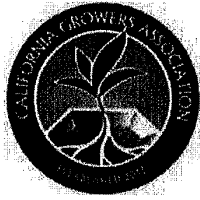
(Title)



(Signature of Company Official)

Jan 5, 2018

(Date)



December 18, 2017

RE: Greams Enterprises, Inc | Letter of Intent

To Whom It May Concern;

This letter is confirmation that Greams Enterprises, Inc has contacted us, and filled out the necessary applications to obtain workers' compensation for their operation doing business in CA as "Auntie Honeys". We are currently working with our carrier partners to complete the underwriting process and expect to have a quotation for coverage shortly. Thank you for your time in reviewing this matter.

Please feel free to call me with any questions at (415) 808-1368

Sincerely,

A handwritten signature in black ink, appearing to read "Marshall Nehring".

Marshall Nehring

Producer, Heffernan Insurance Brokers



HEFFERNAN INSURANCE BROKERS

A Member of the Heffernan Group



Cannabis Industry Workers' Compensation Application

Legal Business Name: Greems Enterprises INCFEIN # (Tax ID): 82-1357462DBA(s): Aunt HoneyYears in Business: 2017Summary of Operations: Retail Cannabis1164 W. Tennyson Road Hayward, CA 94544 (mailing address)We are currently applying for a Permit and we are required to show a letter of intent.

Employee Breakdown (Current):

Full Time	Part Time	Seasonal	Volunteer	Leased

Employee Breakdown (2018 Expected):

Full Time	Part Time	Seasonal	Volunteer	Leased
6	2			

Payroll/Premium Breakdown:

	2018 Projected	2017-18 (if any)	2016-17 (if any)	2015-16 (if any)
Class/Payroll	8017/420,000.00	8017/28,000		
Class/Payroll	8810/100,000	8810/20,000		
Class/Payroll				
Class/Payroll				
Premium				

Ownership Breakdown:

Your Entity's Ownership

Name	Title	% Ownership
Esther J. Lopez	CEO	100%

List Your % Ownership In Any Related Business:

List Any Other Entities with Ownership In Your Business:

APPLICANT CERTIFICATION COVER PAGE

Enclosed is the Signed Applicant Certification

Applicant Certification

I certify under penalty of perjury under the laws of the State of California, that I have personal knowledge of the information contained in this application, and that the information contained herein is true and correct.

Signature:  Date: Jan. 11, 2018

The information contained on this document is subject to disclosure under the Public Records Act.



CITY OF HAYWARD

Hayward City Hall
777 B Street
Hayward, CA 94541
www.Hayward-CA.gov

File #: PH 20-004

DATE: January 23, 2020

TO: Planning Commission

FROM: Planning Manager

SUBJECT

Proposed Cannabis Cultivation Use Located at 3166 Diablo Avenue (Assessor Parcel No. 439-0075-039-00) Requiring Approval of Conditional Use Permit Application No. 201805426. Hidden Farms (Applicant); Ancile Development Holdings LLC (Property Owners).

RECOMMENDATION

That the Planning Commission approve the Conditional Use Permit application for the proposed cannabis cultivation facility, based on the analysis set forth in this report and the required Findings (Attachment II), and subject to the Conditions of Approval (Attachment III).

SUMMARY

The applicant, Hidden Farms, is seeking approval of a Conditional Use Permit (CUP) to occupy an 8,100 square-foot industrial building, located at 3166 Diablo Avenue, for the operation of a commercial cannabis cultivation facility. The proposed project includes site upgrades and minor modifications to the existing building to enhance security and storage for the cultivation of cannabis.

ATTACHMENTS

Attachment I	Staff Report
Attachment II	Findings
Attachment III	Conditions of Approval
Attachment IV	Project Plans
Attachment V	Business Plan



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BACKGROUND

In 2015, the State of California enacted a comprehensive regulatory framework (AB 243, AB 266, SB 643) for the licensing and enforcement of cultivation, manufacturing, retail sale, transportation, storage, delivery and testing of medicinal cannabis in California. The legislation was known as the Medical Cannabis Regulation and Safety Act (MCRSA).

On November 8, 2016, the voters of the state adopted Proposition 64, the Adult Use of Marijuana Act (AUMA), which legalized adult cannabis use, possession and cultivation for non-medicinal purposes and created a regulatory framework for non-medicinal cannabis businesses. The intent of MCRSA and AUMA was to establish a comprehensive regulatory system for cultivation, production and sale of cannabis and cannabis products.

On June 15, 2017, the State enacted Senate Bill 94, the Medicinal and Adult-Use Cannabis Regulation and Safety Act (MAUCRSA), which consolidated provisions of MCRSA into the regulatory framework of the AUMA, creating a unified regulatory system for medicinal and adult use cannabis. MAUCRSA specifically authorized local jurisdictions to adopt and enforce local ordinances to regulate cannabis businesses licensed pursuant to state law, including local zoning and land use requirements, business license requirements, and one or more types of businesses licensed pursuant to MAUCRSA.

On October 30, 2017¹ and November 28, 2017², respectively, the City Council enacted regulatory and land use ordinances authorizing cannabis businesses within the City of Hayward subject to compliance with local and state regulations. At their October meeting, the Council also established a request for proposal process by which the City would select commercial cannabis businesses. The process involved four stages to help differentiate applicants who meet the City's desired set of qualifications. These stages include:

1. Criminal Background Investigation
2. Competitive Scoring and Ranking
3. Proposal Interviews
4. City Council Approval

The RFP process commenced on December 8, 2017, with applications due on January 12, 2018. At that time, the City received 77 total applications for commercial cannabis companies. Four of these applications did not meet the background check requirements of the City's cannabis program; however, 73 applications were then sent to a neutral, third party reviewer hired by the City to evaluate and score the proposals. Following an independent review by the outside consultants and interviews by key City staff, the City Manager recommended to City Council the award of commercial cannabis licenses to eleven commercial operators for land use activities that include cultivation, manufacturing, distribution, testing labs, delivery and retail. Once selected, applicants had six months to file their land use applications. The applicant, Hidden Farms, was one of the eleven companies selected for a commercial cannabis permit, specifically for cannabis cultivation.

Public Outreach. On October 29, 2018, a Notice of Application Receipt for the project was sent to property owners, and businesses within a 300-foot radius of the project site.

Following the Notice of Application, the City received correspondence from two members of the public related to the proposed use: one letter from a business located on Diablo Avenue who did not object to the project but highlighted the importance of having a functional Odor Mitigation Plan to mitigate nuisance odors related to cannabis cultivation activities; and the other was an email from another business owner on Diablo Avenue who expressed concerns that the proposed cultivation business could negatively affect their property values and make it difficult for mainstay businesses to compete for commercial/ industrial spaces on Diablo Avenue. Shortly after receiving these letters, the applicant reached out to local businesses in the area and provided a more detailed explanation of the proposed day to day operations of the proposed cultivation use.

On January 7, 2020, a Notice of Public Hearing for the Planning Commission meeting was sent to property owners, residents, and businesses within 300-feet of the project site and published in The Daily Review newspaper. No additional correspondence has been received following publication of this notice.

¹ October 30, 2017 City Council Minutes
<https://hayward.legistar.com/MeetingDetail.aspx?ID=570110&GUID=1F62F795-56FA-4667-9BD1-E5FDA22CB8C5&Options=info&Search=>

² November 28, 2017 City Council Minutes
<https://hayward.legistar.com/MeetingDetail.aspx?ID=573134&GUID=C82D348A-0412-4741-854C-23697F2AE444&Options=info&Search=>

PROJECT DESCRIPTION

Existing Conditions. The project is located on a .55-acre parcel located at 3166 Diablo Avenue. The site currently contains a two-story industrial building, which was constructed in 1979, and parking area. The existing building was developed and demised sharing a common wall with the adjacent property at 3156 Diablo Avenue. Per City's records, the industrial building has been vacant for over two years.

Surrounding land uses include a combination of industrial uses, offices, operation centers, administrative offices, and businesses conducting wholesale and warehousing. The project site is zoned Industrial General (IG) and contains a land use designation of Industrial Corridor (IC) in the *Hayward 2040 General Plan*.

Proposed Project. As proposed, the building would be occupied by a commercial cannabis cultivation facility containing approximately 8,100 square feet. As shown in the floorplan (Attachment IV Sheet A-1.1), the proposed two-story cultivation facility would be partitioned into 17 different rooms. The first floor would consist of seven cultivation rooms ranging in size from 669 sq. ft. to 769 sq. ft. (totaling 5,020 Sq. ft.), a shipping and receiving warehouse area (749 sq. ft.), a reception center (not open to the public), an employee break room, an office, and two restroom facilities. The second-floor mezzanine area would be partitioned into four rooms, including three storage rooms, and an office. As proposed, the business would operate seven days a week, from 9 a.m. to 5 p.m.

Proposed exterior modifications include the installation of a new security camera system, security lighting, a new trash enclosure, new paint to the building, addition of an odor filtration system, construction of a security fence, and minor modifications to the existing roll up doors located to the rear of the building and fronting Diablo Street.

Additionally, new parking lot striping will be added for 14 stalls, including seven stalls at the front of the building and seven stalls in the rear of the building. A new landscaped area fronting on Diablo Avenue would also be installed by a landscape architect. A copy of the site and building plans are included as Attachment IV and a copy of the proposed business and operational plan are included as Attachment V.

Security Plan. The applicant submitted a detailed security plan to ensure public and product safety. According to the security plan, a minimum of one security guard would be on site during the hours of operation and during non-operating hours, a security guard would station on site as to be visible and periodically drive around Diablo Avenue.

Other proposed security measures include the installation of high definition 24-hr cameras to be located within the interior and exterior of the building. The site would also have an alarm system, security lighting, and a detailed Security Plan, which addresses shipping, receiving, transactions, product storage, and inventory procedures. All proposed security measures have been reviewed and deemed appropriate by the Hayward Police Department.

Product location data, surveillance video and inventory reports would be made available upon request. The applicant would also implement a comprehensive employee-training safety program so that each employee understands their role keeping the facility, themselves, and

products safe and secure. Additionally, the conditions of approval further stipulate that additional security measures may be required, consistent with Crime Prevention Through Environmental Design (CPTED) best practices. The proposed safety and security plan will be enforced and monitored by the City's Code Enforcement Division, the Building Division and the Hayward Police Department.

Odor Control Plan. Based on the operational plan submitted by the applicant, all cultivation production rooms, and cannabis storage rooms would have constant fresh air brought in through HEPA filters from roof mounted fans. Additionally, each cultivation room would exhaust into the common hallway, which would be served by the building's exhaust fan. Specifically, the buildings exhaust fan would be composed of two exhaust outlets each equipped with a three-stage carbon filter. Furthermore, the cultivation rooms, and storage areas would be designed as to create a negative pressure environment when doors are opened. This would be created by using the mechanical system to pull air into the rooms, as to not allow pressure to push odors out.

Pursuant to the Odor Mitigation Strategies, each room would be coated with a Polyurethane cell foam to prevent odors from penetrating through the wall. In addition, all cultivation production rooms would be exterior rated with air seals and equipped with a self-closing door system. Pursuant to the City's Cannabis Ordinance, the proposed Odor Mitigation Plan must be signed by a licensed engineer once submitted for construction to ensure the system is designed, developed, and reviewed by a subject matter expert.

Sustainability Plan. Pursuant to Section 10-1.3606(D)³ of the HMC, the applicant is required to provide a Sustainability Plan that incorporates best practices and site-specific improvements, including water conservation, reductions in air emissions and recycling. The Sustainability Plan was review and deemed appropriate by the Environmental Services Division. A summary of the sustainable components is detailed below.

Solar: If approved, Hidden Farms would negotiate a contract with a solar company to install solar powered panels, as to be a more sustainable solar operated cannabis cultivation facility. Additionally, to conserve electricity, the lights in the cultivation rooms would be operated during non-peak hours, and the applicant would utilize energy-efficient appliances, and install LED energy-efficient lighting.

Water Usage: To conserve water, Hidden Farms would use a drip irrigation system to be controlled by an electric timer. Specifically, the business would operate on 811 gallons of water per day. Of said water use, only 15 percent of the water (112 gallons) would become wastewater. To further conserve water, Hidden Farms would install a system to reclaim approximately 97 percent of all the water released by the air-conditioning system and the dehumidifiers.

Organic Waste: As proposed, Hidden Farms would create an onsite organic composting area. The compose would be used for the fertilization and cultivation of other plants. Organic

³ Section 10-1.3606(D) Commercial Cannabis Cultivation
https://library.municode.com/ca/hayward/codes/municipal_code?nodeId=HAYWARD_MUNICIPAL_CODE_CH10PLZOSU_ART1ZOOR_S10-1.3600CA_S10-1.3606COMENDICAMA

material that cannot be composted on site would be hauled by Gaiaca, a cannabis waste management company licensed by the State of California.

Community Benefits. As part of the RFP review and selection criteria, the community benefit component for cannabis operators was a part of the business plan submitted to the City and impacted the screening and scoring criteria when selected. As proposed, the applicant would like to develop an ongoing program (Project Wreckless), an interactive program that would teach underserved youth how to rebuild a vehicle. Hidden Farms would coordinate with local schools, the police department, community residents, and interested nonprofit organizations to gather support and organizational assistance to create the project.

Staff has included a condition of approval that requires the applicant provide specific details of their Community Benefits program and coordinate the implementation of the Community Benefits program with City staff within six months from approval. Additionally, the applicant is subject to annual review and verification on the implementation of the approved Community Benefits program prior to permit renewal.

Local Hire and Employee Training. Per the operation proposal, Hidden Farms has committed to paying living wages of at least \$17.76 per hour about \$7 more than the State mandated minimum wage (Attachment IV pg. 24). Hidden Farms envision hiring 12-14 employees. All employees would be subject to a background check. Once hired, all employees would be trained on security measures, fire safety, first aid, and evacuation procedures.

POLICY CONTEXT AND CODE COMPLIANCE

Hayward 2040 General Plan. The project site is designated Industrial Technology and Innovation Corridor (IC) in the *Hayward 2040 General Plan*⁴. The Corridor is expected to grow as an economic and employment center and evolve to achieve a healthy balance of traditional manufacturing and information- and technology-based uses. Allowable uses include professional offices, corporate campuses, research and development, warehousing and logistics, manufacturing, and biotechnology. As proposed, a commercial cannabis cultivation facility would be compatible and consistent with the IC land use designation. The following General Plan policies apply to the project site and the proposed cultivation use:

- *Land Use Policy LU-2.16, Uses to Attract the Creative Class.* The City shall encourage the development of uses and amenities to attract creative-class professionals and businesses to Hayward
- *Land Use Policy LU-6.2.* The City shall encourage the conversion of obsolete industrial and warehouse distribution space to a productive use, such as advanced manufacturing, professional office centers, corporate campuses, research and development parks, and flex space.

⁴ Hayward 2040 General Plan
<https://www.hayward2040generalplan.com/>

- Economic Development Policy ED-1.4. The City shall establish business attraction efforts that focus on small and medium-sized businesses within emerging and growing business sectors.
- Economic Development Goal ED-2. Cultivate a culture of entrepreneurship to encourage and support local business start-ups.

Further discussion of the consistency between the proposed use and policies are included in the Staff Analysis section below and in Attachment II, Findings.

Zoning Ordinance. Per the Zoning Ordinance, the proposed cannabis cultivation facility would be located in the General Industrial (IG) Zone. As shown, the project adheres to the recently approved Industrial Design District Guidelines (IDDG), by upgrading and restriping the parking lot, additional landscaping throughout the site, and removal of the loading dock fronting on Diablo Avenue. The project is also subject to the requirements set forth by the adopted Cannabis land use and regulatory ordinances, which apply to all Commercial Cannabis Businesses⁵.

In addition to the general findings in the City's Zoning Ordinance for Use Permits, the project is subject to four additional cannabis findings as listed below:

1. The proposed cannabis use will not be detrimental to the public health, safety, or general welfare in that the cannabis operation is situated in an appropriate location where sensitive land uses will not be adversely impacted; and
2. Appropriate measures have been taken to address nuisances related to odor, noise, exhaust, and waste related to the cannabis operation; and
3. The cannabis operation is designed to be safe, secure and aesthetically compatible with the surrounding area; and
4. The cannabis operation will not place a burden on the provision of public services disproportionate to other industrial or commercial uses.

Further analysis related to the cannabis findings is included in Staff Analysis below and contained in Attachment II, Findings.

Sensitive Uses. Pursuant to HMC Section 10-1.3603(B), commercial cannabis businesses are subject to a minimum 600-foot minimum setback from sensitive land uses, including schools (grades K through 12), day care centers, youth/recreation centers, designated open space areas, and parks which contain a children's playground. As proposed, there are no known sensitive uses located within 600 feet of the project site.

Commercial Cannabis Permits. An applicant is required to obtain approval of a Commercial Cannabis Business Permit by the City to assure that all regulatory requirements are met. The applicant has satisfied this task.

⁵ Commercial Cannabis Businesses Ordinance

https://library.municode.com/ca/hayward/codes/municipal_code?nodeId=HAYWARD_MUNICIPAL_CODE_CH6BUPRTR_ART14COCABU

The applicant must also obtain the necessary land use entitlements, which must be consistent with the Zoning Ordinance standards, which are the subject of this application. Following entitlement, the applicant will be required to obtain a cannabis license from the State. Failure to obtain the State license would be grounds for revoking the City's permit.

Commercial Cannabis Permits issued by the City are valid for one year and must be renewed annually following the completion of a mandatory safety inspection and demonstrated compliance with all local and State regulations, including any conditions of approval adopted as part of this Conditional Use Permit.

STAFF ANALYSIS

Based on the applicant's proposal, staff believes that the Planning Commission can make the required Findings to approve the Conditional Use Permit application to allow for the establishment of a commercial cannabis cultivation use at the subject property. As proposed, the reuse of the existing industrial building would be consistent with the policies established in the City's Zoning Ordinance, General Plan and Commercial Cannabis Business regulations. Additionally, the establishment of the cannabis cultivation facility in Hayward provides significant economic development opportunity and growth potential for a relatively new and emerging industry in California.

Staff believes that establishment of a cannabis cultivation facility at 3166 Diablo Avenue would be beneficial in that the site has been vacant for two years. The proposed site improvements as well as the establishment of a new, unique cultivation facility in the vacant building would improve the appearance of the building and conform to current California Building Code as adopted by the City of Hayward, California Fire Code as adopted by the City of Hayward, and all local City of Hayward requirements.

Overall, industrial cultivation uses, such as a cannabis cultivation facility, is consistent with the IC General Plan land use designation. Additionally, the proposed project meets all the development regulations of the IG zoning district and adheres to the newly adopted Industrial District guidelines by improving the exterior façade of the building and the addition of new site improvements and landscaping.

As part of the regulatory toolkit established by the State of California and the land use ordinances adopted by the City, staff believes that the physical and operational safeguards are in place to ensure the cultivation operation can operate at the proposed location without impacts to other properties. As part of the initial RFP process, the applicant's business plan was reviewed and scored by an independent, outside consultant who determined this operator would meet several of the city's objectives related to best practices for the cannabis industry.

In addition to the consultant review of the business plan, the Hayward Police Department, Code Enforcement Division and Fire Department have reviewed the project proposal with the Planning Division staff to ensure the use can be operated in a safe manner and all appropriate Conditions of Approval to ensure that the proposed use and operations of the cannabis business would provide a safe and secure environment for the employees and mitigate potential impacts to adjacent properties. Conditions of approval have been included that

require the applicant adhere to the approved business plan, including a comprehensive list of security, odor and noise measures. Additionally, Commercial Cannabis Permits are renewed annually, providing the City an opportunity to revoke a permit if determined that the applicant does not adhere to the City's requirements and conditions of approval.

ENVIRONMENTAL REVIEW

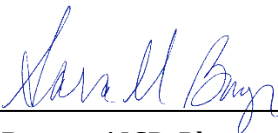
The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 1 for existing facilities. In that the project only involves interior and site improvements for an existing 8,100 sq. ft. industrial building to be used as a cultivation facility. Therefore, as conditioned, would create little to no impacts on the environment. Therefore, no environmental review is necessary.

NEXT STEPS

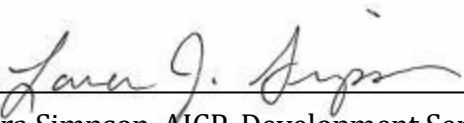
If the Planning Commission approves the Conditional Use Permit, then a 10-day appeal period would commence from the date of decision. If no appeal is filed, then the decision will be deemed final. If an appeal is filed within the 10-day time frame, then the application will be heard by the City Council for final disposition.

Prepared by: Edgar Maravilla. Associate Planner

Approved by:

A handwritten signature in blue ink, appearing to read "Sara M. Buizer", is written over a horizontal line.

Sara Buizer, AICP, Planning Manager

A handwritten signature in black ink, appearing to read "Laura J. Simpson", is written over a horizontal line.

Laura Simpson, AICP, Development Services Director

**CITY OF HAYWARD PLANNING DIVISION
PROPOSED CANNABIS CULTIVATION FACILITY
HIDDEN FARMS, 3166 DIABLO AVENUE
CONDITIONAL USE PERMIT APPLICATION NO. 201805426**

FINDINGS FOR APPROVAL

Conditional Use Permit

Pursuant to Hayward Municipal Code Section 10-1.3200, The Planning Commission or other approving authority may approve or conditionally approve an application when all the following findings are made:

1. *The proposed use is desirable for the public convenience or welfare;*

The proposed cultivation facility would be desirable for the public convenience and welfare in that it would result in establishment of a cannabis cultivation facility in a vacant and underutilized industrial building within the Industrial General (IG) Zone. The cannabis cultivation facility would also positively contribute to the City by paying local taxes. Additionally, the site would be renovated, and the applicant would provide 24-hour security guard service on Diablo Avenue, benefitting the neighborhood.

2. *The proposed use will not impair the character and integrity of the zoning district and surrounding area;*

The proposed cultivation facility would occupy an existing building that has been vacant and underutilized for over two years. The subject building's lack of basic maintenance and investment of the site has resulted in a negative visual impact on the surrounding neighborhood. Occupancy of the vacant structure and proposed site improvements would signal increased investment in that area. Further, in the IG Zone, cannabis cultivation is an allowed use. If approved, the cannabis cultivation facility would operate in similar fashion as other surrounding industrial uses.

To ensure that the proposed use would not impair the character and integrity of the applicable zoning district, the proposed cultivation facility would have to adhere to all the requirements set forth by the City's Cannabis Ordinance, in addition to the requirements set forth by the Hayward Police Department, Hayward Fire Department, Hayward Building Division, and all other pertinent regulations established by State, County and local laws.

3. *The proposed use will not be detrimental to the public health, safety, or general welfare; and*

The proposed cannabis cultivation facility use would not be detrimental to the public health, safety or general welfare in that the facility, as conditioned, would operate within the permit requirements and regulations established by State, County and local laws. The applicant has provided an Odor Mitigation Plan to ensure that cannabis odors cannot be detected outside of the building, and a

detailed Security Plan that includes installation of security cameras inside and outside of the building; a security guards to be present at all time including after hours when the business is not operating. Additionally, the facility would have an alarm system; compliance with a State-mandated track and trace program to prevent diversion of cannabis; a records retention program; and identification of a local contact to handle all safety and security issues.

The applicant's Business and Security Plan were reviewed and evaluated by an independent consultant and determined to include procedures and protocols to ensure public safety. Additionally, the applicant and all employees associated with the business are subject to an extensive background check by the Hayward Police Department and will be subject to employee training.

4. *The proposed use is in harmony with applicable City policies and the intent and purpose of the zoning district involved.*

Per Table 10-1.1603 of the Hayward Municipal Code, uses such as a cannabis cultivation facility, is an allowed use in the IG Zone. The proposed use would contribute positively to the City's tax base, and comply with the following General Plan Goals and Policies:

- Land Use Policy LU-2.16, Uses to Attract the Creative Class. The City shall encourage the development of uses and amenities to attract creative-class professionals and businesses to Hayward.
- Land Use Policy LU-6.2. The City shall encourage the conversion of obsolete industrial and warehouse distribution space to a productive use, such as advanced manufacturing, professional office centers, corporate campuses, research and development parks, and flex space.
- Economic Development Policy ED-1.4. The City shall establish business attraction efforts that focus on small and medium-sized businesses within emerging and growing business sectors.
- Economic Development Goal ED-2. Cultivate a culture of entrepreneurship to encourage and support local business start-ups.

Cannabis Ordinance

In addition to the required findings contained in Section 10-1.3125 (Conditional Use Permit), every land use application requiring discretionary review for cannabis and cannabis products shall be required to make the following findings prior to issuance:

1. *The proposed cannabis use will not be detrimental to the public health, safety, or general welfare in that the cannabis operation is situated in an appropriate location where sensitive land uses will not be adversely impacted;*

The proposed cannabis cultivation facility would not be detrimental to the public health, safety or general welfare in that the facility, as conditioned, would operate within the permit requirements established by the State and by the City. Per the City's

Land Use requirements, cannabis cultivation facilities in excess of 5,000 sq. ft. are allowed in the IG Zone, by way of a Conditional Use Permit.

The proposed project would incorporate a robust Safety and Security Plan. Including but not limited to on-site security guards, cameras, security lighting, employee background checks, Conditions of Approval related to loitering and nuisances, and the facility would not be open to the public. Thus, assuring public health and safety within the vicinity of the subject site.

2. *Appropriate measures have been taken to address nuisances related to odor, noise, exhaust, and waste related to the cannabis operation;*

Physical and operational safeguards are in place to ensure this cannabis cultivation facility operates at the proposed location without impacts to other properties. The proposed project includes an Odor Mitigation Plan a robust Security Plan including but not limited to installation of cameras inside and outside of the building, provision for on-site security guards, ID scanners, and employee background checks among other safety and security measures.

As part of the initial RFP process, the applicant's business plan for this use permit was reviewed and scored by an independent, outside consultant who determined this operator would meet the City's objectives related to cannabis industry best practices. Furthermore, per the proposed Conditions of Approval and by Ordinance, cannabis permits shall be renewed annually. Providing the City, a yearly opportunity to reevaluate the proposed business, and ensure compliance with the approved business plan, the conditions of approval, and all pertinent City regulations.

3. *The cannabis operation is designed to be safe, secure and aesthetically compatible with the surrounding area; and*

The proposed cannabis cultivation facility would occupy an existing building that has been vacant for over two years. The subject building's lack of basic maintenance and investment has resulted in a divested building. Occupancy of the vacant structure along with the façade and site improvements would signal increased investment in that area.

To ensure aesthetic compatibility with the surrounding area, the loading and unloading of cannabis product would only be allowed by way of the loading dock located to the rear of the building. Additionally, the applicant would replace the existing landscape, paint the building, add security cameras, and security lighting to ensure safety and aesthetic compatibility with the surrounding area.

4. *The cannabis operation will not place a burden on the provision of public services disproportionate to other industrial or commercial uses.*

As proposed, the applicant would lease a currently vacant, dilapidated industrial space in the IG Zone. As conditioned, staff does not foresee an impact on public services. So long as the applicant adherence to the comprehensive Security and Safety Plan and

conditions of approval prohibiting loitering and on-site consumption. In addition, the applicant would be required to submit for an annual review. Requiring inspection of the cannabis cultivation use by way of the City's Code Enforcement Division, Police Department and Fire Department. Further, as conditioned, any excessive calls for service, including nuisance and code violations, may result in the revocation of the approval.

5. *The required 600-foot setback for sensitive uses may be reduced if it is found that the public convenience and necessity will be served by an alternate distance requirement, and that alternative measures to assure public health and safety are in place with respect to the commercial cannabis business.*

Per the City's land use regulations, cannabis cultivation facilities are allowed in the IG Zone if approved by way of Planning Commission. As proposed, the project site would adhere to the 600-foot buffer from sensitive uses and no reduction of this setback is required.

Environmental Review

1. The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1), Existing Facilities, in that the proposed use would occupy an existing industrial building to accommodate a cannabis cultivation facility. As proposed and conditioned, the proposed use will not result in any significant effects related to traffic, noise, air quality and water quality.

**CITY OF HAYWARD PLANNING DIVISION
PROPOSED CANNABIS CULTIVATION FACILITY
HIDDEN FARMS, 3166 DIABLO AVENUE
CONDITIONAL USE PERMIT APPLICATION NO. 201805426**

CONDITIONS OF APPROVAL

GENERAL

1. The applicant shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
2. The applicant, property owner or designated representative shall allow the City's staff to access the property for site inspection(s) to confirm all approved conditions have been completed and are being maintained in compliance with all adopted city, state and federal laws.
3. Failure to comply with any of the conditions set forth in this approval, or as subsequently amended in writing by the City and agreed to by the applicant, may result in failure to obtain a building final and/or a Certificate of Occupancy until full compliance is reached. The City's requirement for full compliance may require minor corrections and/or complete demolition of a non-compliant improvement regardless of costs incurred where the project does not comply with design requirements and approvals that the applicant agreed to when permits were pulled to construct the project. The applicant acknowledges that the conditions set forth in this approval are not intended to supersede any obligations imposed pursuant to Chapter 6, Article 14 of the Hayward Municipal Code related to commercial cannabis permits, as it may be amended from time to time.
4. All outstanding fees owed to the City, including permit charges and staff time spent processing or associated with the development review of this application shall be paid in full prior to any consideration of a request for approval extensions and/or the issuance of a building permit.

Cannabis Cultivation Use & Operations

5. The applicant shall take all reasonable steps to discourage and correct conditions that constitute a public or private nuisance in parking areas, sidewalks, alleys and areas surrounding a permitted facility. Such conditions include but are not limited to: smoking; noise; loitering; littering; and graffiti. Graffiti must be removed from property and parking lots within 72 hours of discovery.
6. All loading and unloading of delivery vehicles shall be done to the rear of the building as shown on the approved set of plans date stamped by Eloyan Architects Inc, September 2018.
7. Delivery vehicles shall not be stationed on public right of way.

8. The cannabis cultivation facility shall operate according to these conditions of approval and the business plan submitted on January 11, 2018, including the hours of operation, intensity of use and mode/character of the proposed cultivation operation. Any future change or modification of the operational plan and/or any expansion of the approved use may require the submittal of a new use permit application and commercial cannabis permit and shall be subject to additional review and approval by the City prior to any change, modification or expansion.
9. The applicant shall provide a detailed Community Benefits program and coordinate the implementation of the proposed Community Benefits program with City staff within six months from use permit approval. The applicant will be subject to annual review and verification on the implementation of the approved Community Benefits program prior to permit renewal.
10. Permittees shall employ only persons at least 21 years of age at any permitted facility within the City of Hayward. Employee records shall be kept and maintained, and proof of age shall be provided to the City upon request.
11. Permittees shall have an on-site manager at the permitted facility within the City of Hayward who is responsible for overall operation during times that employees are conducting operations and shall provide the City with contact information for all such persons, including telephone number and email address. Permittees shall also provide the City with the name and contact information including phone number of at least one manager that can be reached 24-hours a day.
12. The proposed cannabis use shall operate in a manner to prevent possible diversion of cannabis and shall promptly comply with any track and trace program established by the State.
13. No outdoor storage or uses permitted. All cannabis related activities are to be conducted indoors.
14. The applicant shall notify the City if it intends to transfer ownership or operational control of a Commercial Cannabis Business. The transferee shall be responsible for complying with all applicable local and state licensing requirements. Any conditions imposed upon the transferor by the original use permit shall be binding upon any subsequent transferees. Any transfer of ownership or operational control of a Commercial Cannabis Business which results in a lapse of normal operations for a period of six months or more shall be required to obtain a new use permit and/or commercial cannabis permit, consistent with Hayward Municipal Code Sections [10-1.3170](#) or [10-1.3270](#), as applicable.
15. Consumption or ingestion of cannabis or cannabis products on the premises of a permittee, including outdoor areas and parking lots, is prohibited.
16. No person who is younger than the minimum age established by state law for the purchase, possession or consumption of cannabis and cannabis-related products shall be allowed on the premises of a permitted Commercial Cannabis Business.

17. The Commercial Cultivation of Medical and Non-Medical Cannabis must be conducted in accordance with all applicable federal, state, and local laws and regulations governing the use of pesticides. Any fumigation or insecticidal fogging shall comply with the California Fire Code Chapter 26 (Fumigation and Insecticidal Fogging).
18. The Commercial Cultivation of Medical and Non-Medical Cannabis must be conducted in accordance with the Sustainability Plan approved.

Security

19. The proposed cannabis use shall provide adequate security on the premises, including any on-site security, lighting and alarms, to ensure the public safety and the safety of persons within the facility and to protect the premises from theft. Additionally, all Commercial Cannabis Businesses and Cannabis Operators shall include a security and safety plan that includes the following minimum requirements:
 - a. *Security Cameras.* Security surveillance IP video cameras shall be installed at the public and vendor entrances, in the parking lot and throughout the building in accordance with the Security Room Diagram provided in the Conditional Use Permit Application. All cameras shall be maintained in good working order to provide coverage on a twenty-four (24) hour real-time basis of all internal and exterior areas where Cannabis is dispensed. The cameras shall allow for remote access to be provided to the Hayward Police Department. The security surveillance cameras shall be oriented in a manner that provides clear and certain identification of all individuals within those areas. IP cameras shall always remain active and shall be capable of operating under any lighting condition. Security video must use standard industry format to support criminal investigations and shall be maintained for ninety (90) days.
 - b. *Building Security.* All points of ingress and egress to the proposed use shall be secured with Building Code compliant commercial-grade, non-residential door locks and/or window locks. All heating, ventilating, air-conditioning and service openings shall be secured with steel bars and/or metal grating.
 - c. *Security Guards.* The applicant shall provide at least one uniformed security guard licensed by the State of California. The security guard(s) shall maintain order therein and prevent any activity which would interfere with the quiet enjoyment of their property by nearby businesses. Said personnel shall carry his/her Guard Card on their person at all times and present it to any Peace Officer upon demand. Said personnel shall be clothed in such a manner as to be readily identifiable.
 - d. *Alarm System.* A professionally monitored security alarm system shall be installed and maintained in good working condition. The alarm system shall include sensors to detect entry and exit from all secure areas and all windows. The applicant shall keep the name and contact information of the

alarm system installation and monitoring company as part of the Commercial Cannabis Business's onsite books and records.

- e. *Secure Storage and Waste.* Commercial Cannabis products and associated product distribution and dispensing waste shall be stored and secured in a manner that prevents diversion, theft, loss, hazards and nuisance.
- f. *Transportation.* The proposed use shall implement procedures for safe and secure transportation and delivery of Commercial Medical and Non-Medical Cannabis, including all Cannabis products and currency, in accordance with local and state law. None of the vehicles associated with commercial use shall have markings or advertising that indicates the presence of cannabis on-site.
- g. *Emergency Access.* Security measures shall be designed to ensure emergency access is provided to the Hayward Police Department and Hayward Fire Department for all areas on the premises in the case of an emergency.
- h. *Background Checks.* All employees working in conjunction with the cannabis cultivation use shall be subject to background/LiveScan checks. Additionally, all employees shall furnish the Hayward Police Department a state or federal registered Identification Card, upon request.
- i. *Inspections.* During regular business hours, the building premises shall be accessible, upon request, to an identified Hayward Police Department, Building Division or Code Enforcement employee for random and/or unannounced inspections.
- j. *Records Retention.* All financial records, personnel records, training records, contracts, permits, security records, destruction records, data entered into track-and-trace, and an accurate record of all business activities must be made available to the Hayward Police Department upon request
- k. *Local Contact.* Cannabis Operators shall also identify a local contact who will be responsible for addressing security and safety issues and shall provide and keep current that contact information to the Hayward Police Department as part of the permitting process.

Odor Control

20. No cannabis odors shall be detectable outside of the facility. The applicant shall incorporate and maintain adequate on-site odor control measures such that the odors resulting from cannabis stored and sold on-site cannot be readily detected from outside of the structure in which the Business operates or from other non-cannabis businesses adjoining the Commercial Cannabis Business.
21. The building permit applicant shall include duct work, filters and other recommendations included in the Odor Mitigation Plan and shall be certified by a professional engineer or industrial hygienist. The Odor Mitigation Plan submittal shall include the following:

- a. Operational processes and maintenance plan, including activities undertaken to ensure the odor mitigation system remains functional;
- b. Staff training procedures; and
- c. Engineering controls, which may include carbon filtration or other methods of air cleansing, and evidence that such controls are sufficient to effectively mitigate odors from all odor sources. All odor mitigation systems and plans submitted pursuant to this subsection shall be consistent with accepted and best available industry-specific technologies designed to effectively mitigate cannabis odors.

Commercial Cannabis Permit

- 22. The applicant shall obtain and maintain a valid Commercial Cannabis Permit from the City, including any other applicable State and local permits. Commercial Cannabis Permit renewals are subject to the requirements of HMC Section 6-14.15. **Commercial Cannabis Permits are valid for a period of one year from the date that the permittee received land use approval and shall be renewed annually.** The permit is invalid if the term has expired and the annual fee, as established in the City of Hayward Master Fee schedule, has not been timely paid in full. Non-payment will result in a violation penalty fee in accordance with the Master Fee Schedule for Cannabis uses. Additionally, the City may invalidate or suspend a Cannabis Permit for excessive calls for service or nuisance citations.
- 23. The proposed commercial cannabis use shall not commence operations until the Business can demonstrate compliance with all necessary state and local licenses (dual licensing) and agency permits. Failure to demonstrate dual licensing in accordance with the Hayward Municipal Code shall be grounds for revocation of a City approved permit. Revocation of a local permit and/or a state license shall terminate the ability of the Commercial Cannabis Business to operate until a new permit and/or state license is obtained.
- 24. The applicant shall maintain books, records, accounts, public safety calls for service, and all data and information relevant to its operations of the commercial cannabis use, including the implementation of the proposed community benefits component, and allow the City access to such records for purposes of conducting an audit or examination to determine compliance with the Hayward Municipal Code, and other local regulations, including compliance with local tax obligations. Prior to the applicant's commercial cannabis permit renewal each year, the applicant shall provide these records to the City for review to verify compliance.

Interior and Exterior Building Design

- 25. The building colors and materials shown on the building permit plans shall match those shown on the plans and renderings, except as modified in these conditions of approval. Any revision to the approved colors and materials shall be reviewed and approved by the Planning Division prior to the issuance of a building permit.
- 26. All exterior and rooftop mechanical equipment shall be screened. Mechanical and rooftop equipment shall include, but is not limited to, electrical panels, pull boxes,

air conditioning units, gas meters, and other equipment. All rooftop screening and mechanical equipment shall be shown on the project plans and be subject to final review and approval by City staff prior to the issuance of an occupancy permit.

27. Interior fixtures shall be sized and/or placed in a manner to ensure that cannabis is not visible from the public right-of-way.
28. All vents gutters, downspouts, flashings, electrical conduits, and other utilitarian fixtures shall be painted to match the color of the adjacent material unless specifically designed as an architectural element.
29. All lighting fixtures affixed to the building shall incorporate a shield to allow for downward illumination. No spillover lighting to adjacent properties is permitted and all exterior lighting on walls, shall be recessed/shielded to minimize impacts.
30. Any above-ground structures that may be required to provide utilities for the project shall be compatible as to location, form, design, exterior materials, and noise generation. The applicant shall obtain staff approval prior to issuance of permits.

Signage

31. No signs are approved with this project. Any signs placed on-site or off-site shall be reviewed and approved by the Planning Division and a separate Sign Permit application shall be required, consistent with Hayward Municipal Code Sign Ordinance requirements.

Expiration & Revocation

32. This Use Permit approval is void 36 months after the effective date of approval unless:
 - a. Prior to the expiration of the 36-month period, a building permit application has been submitted and accepted for processing by the Building Official or a time extension of the approval has been granted by the Planning Director.
 - b. If a building permit is issued for construction of improvements authorized by the use permit approval, said approval shall be void two years after issuance of the building permit, or three years after approval of the application, whichever is later, unless the construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance on the conditional use permit approval. A request for an extension must be submitted in writing to the Planning Division at least 30 days prior to the above date.
 - c. Business operations have commenced in accordance with all applicable conditions of approval.
 - d. If this conditionally/administratively permitted use cease operation for a period of more than six consecutive months, it shall be deemed to be discontinued, and the use permit establishing said use shall become null and void. Reestablishment of said use shall only be permitted upon obtaining a new use permit.

33. The Planning Commission may require modification, discontinuance or revocation of this Conditional Use Permit if it is determined that the use is operated or maintained in a manner that it:
- a. Adversely affects the health, peace or safety of persons living or working in the surrounding area;
 - b. Contributes to a public nuisance; or
 - c. Has resulted in excessive nuisance activities including disturbances of the peace, illegal drug activity, diversion of cannabis or cannabis products, public intoxication, smoking in public, harassment of passerby, littering, or obstruction of any street, sidewalk or public way; or
 - d. Violates any provision of the Hayward Municipal Code or condition imposed by a City issued permit, or violates any provision of any other local, state, regulation, or order, including those of state law or violates any condition imposed by permits or licenses issued in compliance with those laws.

CODE ENFORCEMENT DIVISION

34. All tenant improvements and modifications and/or demolition require approval of a building permit prior to the start of the work. Verified violations of the California Building Code Section 105.1 are subject to a penalty fee of 205% of the required permit fees in addition to the regular Building Division fees in accordance with the City of Hayward Master Fee Schedule.
35. The Commercial Cannabis establishment shall maintain and visibly post valid copies of all required State, Local, and Municipal permits, including but not limited to the State of California Cannabis Bureau license, the Hayward Cannabis license, City of Hayward business license, and other pertinent permits and licenses according to the specific cannabis use.
36. Every owner of real property within the City is required to manage the property in a manner so as not to violate the provisions of the Cannabis Ordinance and/or any State and Municipal regulations. The property owner remains ultimately liable for all penalties and fees as a result of violation of any of the requirements for the Commercial Cannabis operation thereof regardless of any contract or tenant agreement or other third parties.

BUILDING DIVISION

37. Submit for proper building permits for the construction of the building to the Building Department. All building construction shall meet the requirements of adopted California Building Code.
38. In the building permit application drawings, applicant is subject, but not limited to provide following information:
- a. Information regarding the equipment and/or chemicals that support the plant cultivation.
 - b. Path of travel upgrades to the public right of way per CBC 11B section 202.

- c. T-24 energy reports for new lighting and any new conditioned floor area.
- d. Electrical panel schedules and single line diagrams.
- e. Mechanical drawings describing any new ventilation devices or HVAC systems.

PUBLIC WORKS ENGINEERING AND TRANSPORTATION

- 39. City's Encroachment Permit shall be secured for any work proposed in the public sidewalk.

UTILITIES AND ENVIRONMENTAL SERVICES

- 40. Utility plans must show the sizes and locations of all existing and proposed water service lines, water meters, backflow prevention assemblies (per SD-202), and sewer lines.
- 41. Provide a complete floor plan and plumbing plan that clearly shows all existing and proposed water fixtures (toilets, sinks, mop sinks, dishwashers, etc.) and irrigation system for the cultivation operation.
- 42. All connections to existing water mains, and any modifications to existing water services (upscale, downsize, relocate, abandon, etc.) shall be performed by City of Hayward Water Distribution personnel at applicant's or owner's expense.
- 43. The Fire Department will make the determination if fire sprinklers are required. New fire services must be installed by City Water Distribution Personnel at the owner's/applicant's expense. Fire service and fire hydrant installation costs are based on actual costs of work performed and equipment/materials used with a time and materials deposit due prior to the start of installation.
- 44. All domestic and irrigation water meters must have Reduced Pressure (RP) Backflow Prevention Assemblies, per City of Hayward Standard Detail 202 (SD-202). Backflow prevention assemblies shall be at least the size of the water meter or the water line on the property side of the meter, whichever is bigger. Backflow prevention assemblies on domestic water services shall be lead-free.
- 45. Water meters and services must be located a minimum of two feet from top of driveway flare as per SD-213 thru SD-218. Water meters shall not be in setback areas or private driveways or roadways unless approved otherwise.
- 46. Sewer cleanouts shall be installed on each sewer lateral at the connection with the building drain, at any change in alignment, and at uniform intervals not to exceed 100 feet. Manholes shall be installed in the sewer main at any change in direction or grade, at intervals not to exceed 400 feet, and at the upstream end of the pipeline.
- 47. An industrial waste monitoring structure is required to be installed on all points of wastewater discharge, per SD-209.

SOLID WASTE

48. All trash enclosures must adhere to all the basic design guidelines provided in Section 3 of the City's Standard Design Requirements for Collection & Storage of Trash, Recyclables and Organics for Commercial Projects. All trash enclosures shall be adequately screened from view, utilizing a decorative wood or masonry wall or combination thereof and incorporate a roof, and doors which are compatible with the design of the primary building on site. The building permit submittal shall include a detailed set of plans that show the design details of the enclosures, including the location of all bins and bin capacity (ex: three cubic yards, four cubic yards, etc.) as well as the type of waste trash, recyclables, organics).
49. Any waste, recycles, or organics not serviced by the City must be disposed of by the applicant as deemed necessary or as require by the City of Hayward.
50. Construction & Demolition Debris: The City requires that construction and demolition debris be recycled per certain ordinance requirements. Submittal of the Debris Recycling Statement will be required at the time of your building permit. The form can also be found at <http://www.hayward-ca.gov/services/city-services/construction-and-demolition-debris-disposal>. You may also visit Hayward's [Green Halo webpage](#) and create a waste management plan instead of filling in the Debris Recycling Statement.

HAYWARD FIRE DEPARTMENT

51. The Hayward Fire Department has completed technical review for the fire protection analysis dated September 3, 2019, prepared by Zari Consulting Group. Fire protection features proposed in the report become stipulations in conjunction with provisions of 2016 California Fire Code, 2016 NFPA 13, as well as related codes/standards.
52. No oil extraction is allowed without the approval of the Hayward Fire Department and the Hayward Planning Department.
53. The building is divided into two control areas using 1-hour rated barrier walls. A metal 45-minute fire rated door shall be provided between control areas.
54. The Ax60+ (Multi-gas Safety Monitor with data output module) is a wall-mountable gas safety device for monitoring oxygen and carbon dioxide. Each room shall have a visual/audio alarm/notification when levels of CO2 reach 3,000ppm and a caution alarm at 5,000ppm. The facility will have CO2 generator that burn natural gas as well as 10 CO2 tanks onsite. CO2 tanks are to be primary supply and the generator will be backup when tanked CO2 is used up.
55. Installation of fire alarm system shall comply with 2016 NFPA 72. The existing fire alarm system will be removed and replaced with the Honeywell ES-200X intelligent addressable FACP with communicator with smoke detectors and heat detectors.

56. Installation of fire sprinkler system shall comply with 2016 NFPA 13. Fire sprinkler system in rooms (Room 1 Shipping & Receiving, Room 12 Storage and Room 13 Storage) with higher hazard such as high-piled storage will be provided with 0.40 GPM/SF over 2,500 square feet, hose allowance 500 GPM. Growing rooms will be provided with 0.15 GPM/SF over 1,500 square feet.
57. Attach evacuation (you are here) map signs shall be required on each end of the first floor grow room corridors and on the top of the second-floor stairs.
58. Install portable fire extinguishers having a minimum size of 5 lbs. and a minimum rating of 2A:10BC in centrally located and accessible locations (as approved by the Fire Department) with maximum travel distance of 75 feet within the tenant space. Maximum floor area for each extinguisher is 3,000 square feet.
59. Duct smoke detectors that are installed within the HVAC system (AHU's and Smoke Dampers) shall meet the California Mechanical Code for installation and the California Fire Code. Such detectors shall be interconnected to the buildings' main fire alarm control panel and zoned separately (if the building has a fire alarm panel).
60. Minimum building address shall be 12" high with 1.5" stroke. When building is located greater than 50 feet from street frontage, address shall be minimum 16" high with 1.5" stroke. Tenant space number shall be 6" high with 0.75" stroke on a contrasting background so as to be visible from the street.
61. Vehicle protection for CO2 tanks/cylinders – Tanks shall be seismic anchored, cylinders must be chained/secured and protected from vehicles in the rear yard area per the 2016 Calif. Fire Code sec. 312. Compressed gas cylinders shall be secured 1/3 from the top and 1/3 from the bottom with non-combustible straps.
62. Hazardous Materials Permit – The business shall apply for a Consolidated Permit/Registration for the Unified Hazardous Materials/Hazardous Waste Management Regulatory Program. The applicant shall obtain and keep current this Consolidated Permit. Application shall be submitted to the Hayward Fire Department Hazardous Materials Division. The facility is required to have the Consolidated permit at the time of the Final Inspection.
63. Hazardous Materials Business Plan (HMBP) / California Environmental Reporting System (CERS) – The storage and/or use of hazardous materials shall be electronically reported through the California Environmental Reporting System for the HMBP elements. Submittal of CERS information/documents including the HMBP is required at the time of the final inspection.
64. Hazardous Materials Limits – Hazardous materials storage and use in each control area shall not exceed the maximum allowable quantities (MAQs) as given in Chapter 50 of the 2016 California Fire Code (CFC) for non-hazardous occupancy classifications.

65. Chemical Information - Hazardous Materials and HMBP information shall be available at the exterior of the facility in a Fire Department Emergency information knox box. The knox box shall be large enough to hold the CERS/hazardous materials business plan chemical and a site map.
66. Regular Inspection – The applicant shall be subject to inspections by the City of Hayward Fire Department at a frequency determined by the Fire Chief as necessary to ensure the compliance of the facility. In addition to the regular Hazardous Materials inspections, the Hayward Fire Department shall inspect for compliance, including quantity limitations, facility security, appropriate storage configurations, labeling, signage, alarm systems, and Fire Department knox box.
67. Labeling Guidelines – All hazardous material containers, CO2 generators, rooms, and storage areas for hazardous materials shall be appropriately identified with signage, (example flower room 1). In addition, all hazardous material piping is to be labeled with its contents and have directional flow arrows placed every 20 feet.
68. Secondary Containment – is required per the City of Hayward Hazardous Material Ordinance and Hayward adopted California Fire Code for liquid containers equal to or greater than 55 gallons. For smaller liquid containers spill control is required and we recommend that these containers also be place in secondary containment and/or flammable cabinets.
69. Placarding – Due to the amount of hazardous materials being contained within the building, hazard placards shall be provided for the exterior face of the (front/rear) building per the Guidelines for the Placarding of Hazardous Materials Facilities, which can be obtained by calling the Hazardous Materials Office.
70. Carbon Dioxide (CO2) generators shall be wired to shut down in case of CO2 detector activation. Provide and label CO2 emergency shut off valves to CO2 tank / cylinder manifolds.
71. City inspector safety - The facility will provide Tyvek outer wear suits for inspector safety and provide standard operating procedures (SOPs) for entering/working grow rooms under a safe atmosphere.
72. Security Measures - The applicant shall contact the Hayward Police Department to ensure the business is meeting the requirements of the Hayward Police Department Including the requirements of the Hayward Security Ordinance, as well as any reasonable and customary recommendations of the Hayward Police Department.
73. Final Inspection – A final inspection of this facility shall be completed by the Hazardous Materials office once the facility is ready for operations and before commencement of operations and storage of hazardous materials. Please contact the Hazardous Materials office at (510) 583-4910 to schedule the inspection at least 48 hours in advance.

TENANT IMPROVEMENT

3166 DIABLO AVE. HARWARD, CA 94545

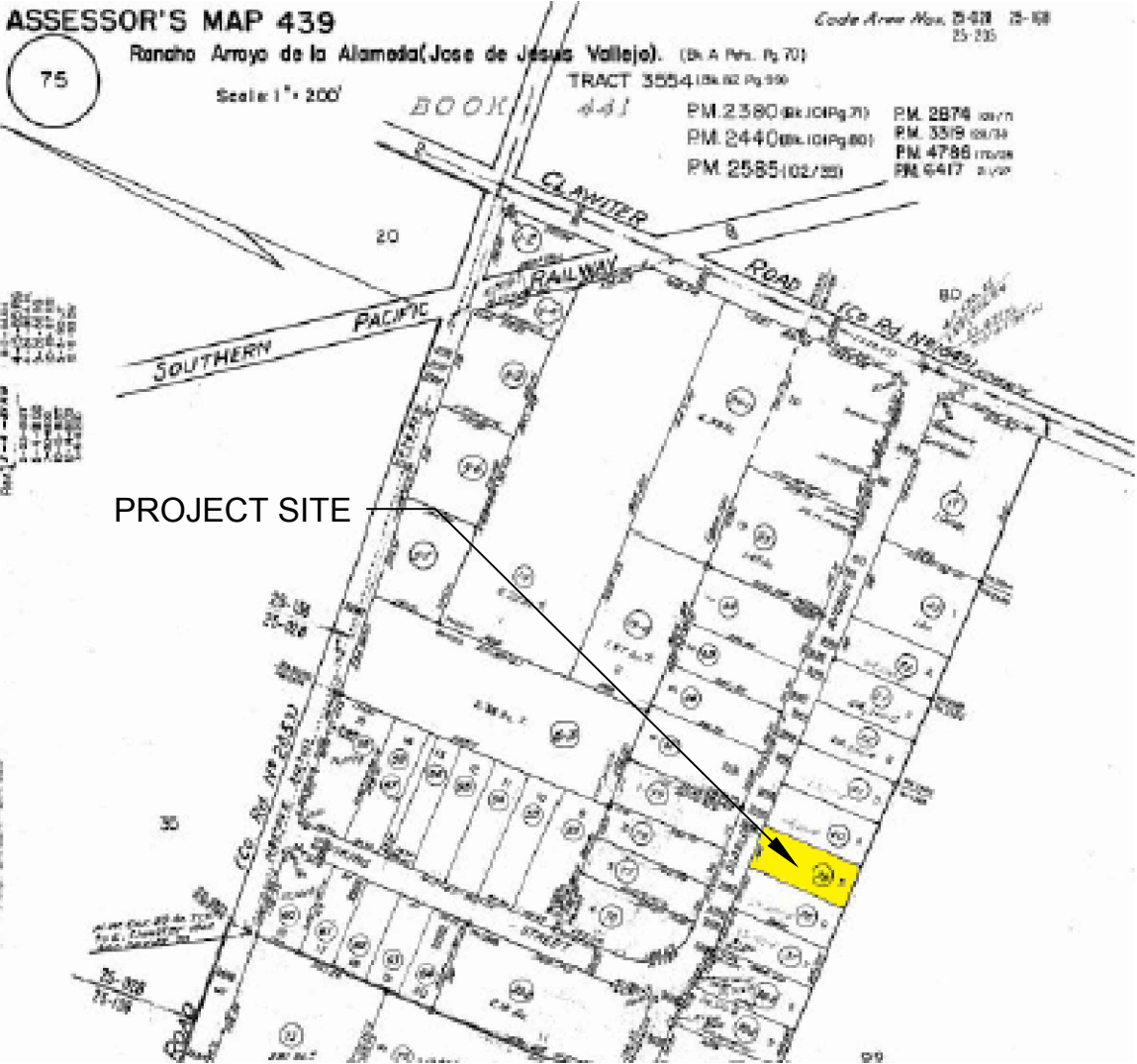
PROPOSED OCCUPANT LOAD CALCULATION

GROSS FLOOR AREA 8100 SF
OCCUPANCY GROUPS - "B", "F1", "S1", "U"
OCCUPANT LOAD FACTOR FOR GROUP "B" IS 100 GROSS (TABLE 1004.1.2)
OCCUPANT LOAD FACTOR FOR GROUP "F1" IS 300 GROSS (TABLE 1004.1.2)
OCCUPANT LOAD FACTOR FOR GROUP "S1" IS 300 GROSS (TABLE 1004.1.2)
OCCUPANT LOAD FACTOR FOR GROUP "U" IS 300 GROSS (TABLE 1004.1.2)
"B" OCCUPANCY AREA - 1078 SF, OCCUPANT LOAD 1078/100 = 11
"F1" OCCUPANCY AREA - 1519 SF, OCCUPANT LOAD 5017/300 = 17
"U" OCCUPANCY AREA - 222 SF, OCCUPANT LOAD 222/300 = 1
TOTAL NUMBER OF OCCUPANTS = 34
NUMBER OF REQUIRED FOR "B", "F1" AND "S1" "U" GROUPS EXITS (34<49) = 1
NUMBER OF PROPOSED EXITS = 2

MINIMUM PLUMBING FACILITIES

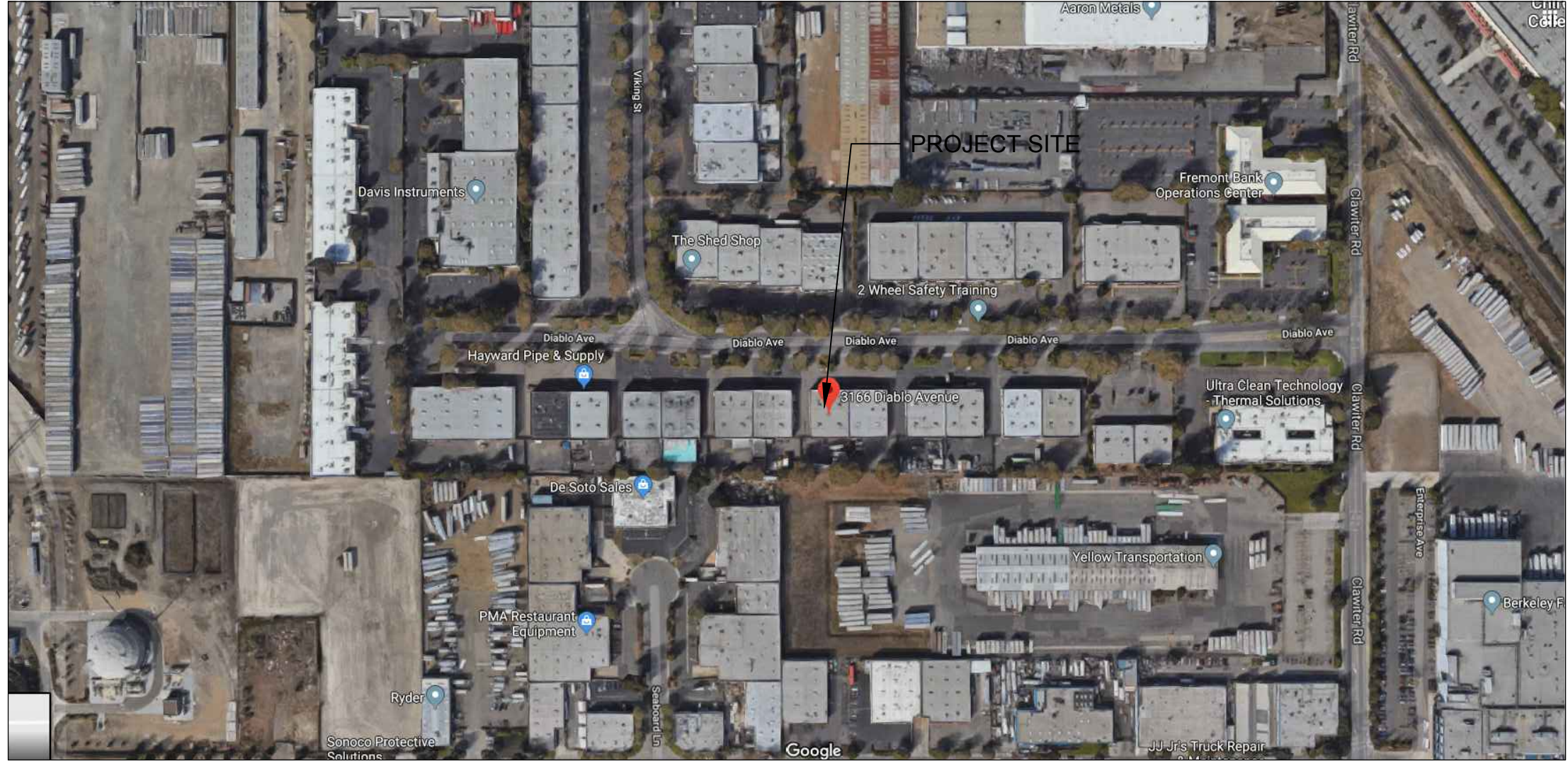
"B" OCCUPANCY - 1 : 1-50
"F1" OCCUPANCY - 1 : 1-100
"S1" OCCUPANCY - 1 : 1-100
TOTAL REQUIRED WATER CLOSETS WATER CLOSETS NUMBERS - 1
TOTAL REQUIRED WATER CLOSETS WATER CLOSETS NUMBERS - 2

ENGINEER PATH OF TRAVEL STATEMENT
- A COMMON BARRIER FREE ACCESSIBLE ROUTE FROM THE PUBLIC SIDEWALK AND FROM THE NEAREST DISABLED PARKING SPACES THROUGH THE PRIMARY ENTRANCE OF THE BUILDING TO THE SPECIFIC AREA OF ALTERATION OR ADDITIONAND INTO THE ACCESSIBLE TOILETS SERVING THE ALTERATION OR ADDITION
- AT LEAST 48" WIDE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2 BEVELED AT 1:2 MAX
SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL
- THE PATH OF TRAVEL SURFACE IS SLIPRESISTANT, STABLE, FIRM AND SMOOTH.
- PASSING SPACES AT LEAST 60"x60" ARE LOCATED NOT MORE THAN 200' APART.
- CONTINUOUS GRADIENTS HAVE 60" LEVEL AREAS NOT MORE THAN 400' APART
- CROSS SLOPE DOES NOT EXCEED 2%
- SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED AS A RAMP.
- MAINTAIN PATH OF TRAVEL FREE OF OVERHUNGING OBSTRUCTIONS TO 80" MIN, PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL OR EDGE AND 27" ABOVE FINISH GRADE.



ASSESSOR MAP

FIRE NOTES:
1. FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 501.4
2. PPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1
3. AN APPROVED KEY BOX, LISTED IN ACCORDANCE WITH UL1037 SHALL BE PROVIDED AS REQUIRED BY FIRE CODE 506. THE LOCATION OF EACH KEY BOX SHALL BE DETERMINED BY THE FIRE INSPECTOR.



VICINITY MAP

4. PROVIDE AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM AS SET FORTH BY BUILDING CODE 903 AND FIRE CODE 903. PLANS SHALL BE SUBMITTED TO THE SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
5. THE MEANS OF EGRESS, AND EXIT DISCHARGE, SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENCITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL. BUILDING CODE 1006.2
6. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MIN AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. BUILDING CODE 1006.3
7. EXITS, EXIT ACCESS DOORS AND PATHS OF EGRESS TRAVEL THAT IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS SHALL BE MARKED BY AN APPROVED EXIT SIGN THAT IS READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
8. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS AS REQUIRED BY FIRE CODE 906.
9. OPERATIONAL PERMITS SHALL BE OBTAINED FOR PLANT EXTRACTION SYSTEM. CODE 105.6.50.
10. OPERATIONAL PERMITS SHALL BE OBTAINED FOR FLAMMABLE LIQUIDS TO STORE, HANDLE OR USE CLASS I LIQUIDS IN EXCESS OF 5 GAL IN A BUILDING OR IN EXCESS OF GALLONS OUTSIDE. CODE 105.6.17.
11. "NO SMOKING" SIGNS SHALL BE POSTED AT ENTRANCES TO ROOMS AND IN AREAS CONTAINING FLAMMABLE GASESIN

ACCORDANCE WITH SECTION 5003.7.1 PER CFC5803.1.4.2 SIGNS.
12. ANY BUILDING THAT HAS FLAMMABLE OR COMBUSTIBLE GAS FOR EXTRACTION PROCESS SHALL HAVE AN APPROPRIABLE PLACARD EXTERNALLY PLACED ON THE BUILDING, ON THE ADDRESS SITE, AND AT ANY ACCESS POINT WITHIN THE BUILDING WHERE THE EXTRACTION PROCESS OCCURS.
13. WET LOCATIONS: GROW ROOMS WILL BE CONSIDERED DAMP/WET LOCATIONS AS THEY ARE SUBJECT TO WASH DOWN AND ARE SUBJECTED TO THE HIGH HUMIDITY. INDOOR WET LOCATION WIRING METHODS SHALL MEET THE REQUIREMENTS OF THE CEC ARTICLE 303.3(D) WHEN HUMIDITY IS LEFT UNCONTROLLED >50%.
14. CIRCUIT INTERRUPTERS: GROUND FAULT CIRCUIT INTERRUPTERS ARE REQUIRED FOR PERSONNEL PROTECTION IN THE WET LOCATIONS.

SCOPE OF WORK

TENANT IMPROVEMENT OF EXISTING 8100 SQ/FT WAREHOUSE TO GROWING AND STORAGES

PROJECT DATA

ADDRESS: 3166 DIABOLO AVENUE, HARWARD, CA 94545
OWNER: ANCILE DEVELOPMENT HOLDING LLC 249 SHIPLEY ST #1, SAN FRANCISCO, CA 94107
TENANT: HIDDEN FARMS INC

LEGAL DESCRIPTION

ASSESSOR PARCEL NUMBER (APN) 439-75-39
TRACT 3554
LOT 39
ZONING I
OCCUPANCY GROUPS "B", "F1", "S1"

TYPE OF CONSTRUCTION TYPE III

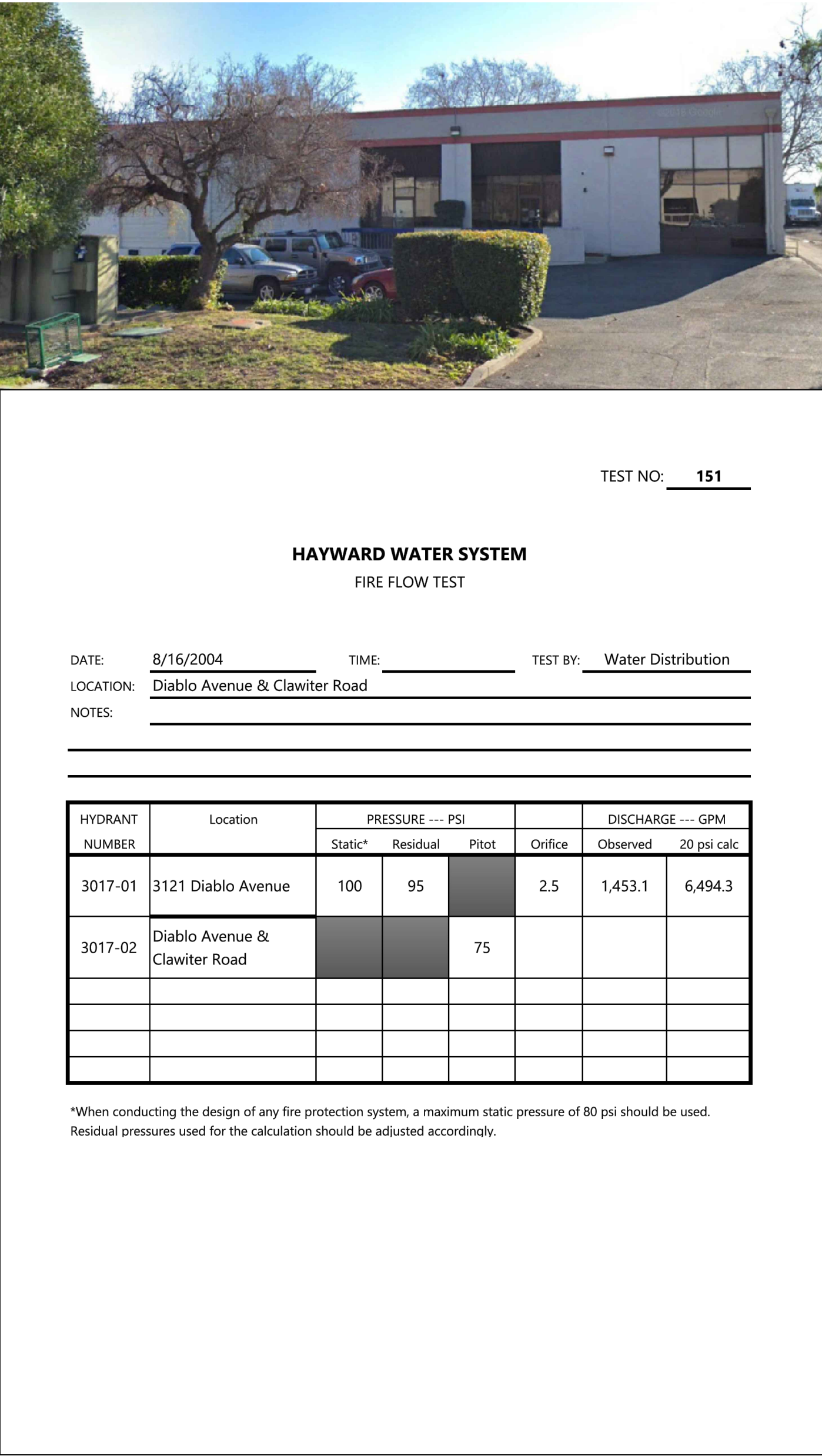
AREA SUMMARY

LOT AREA 24200 SQ FT
BUILDING SQUARE FOOTAGE 8100 SQ FT

NUMBER OF PARKING SPACES

EXISTING PARKING PROVIDED 14
(E) ACCESSIBLE PARKING 4
(E) STANDARD PARKING 10

EXISTING FIRE SPRINKLER SYSEM YES



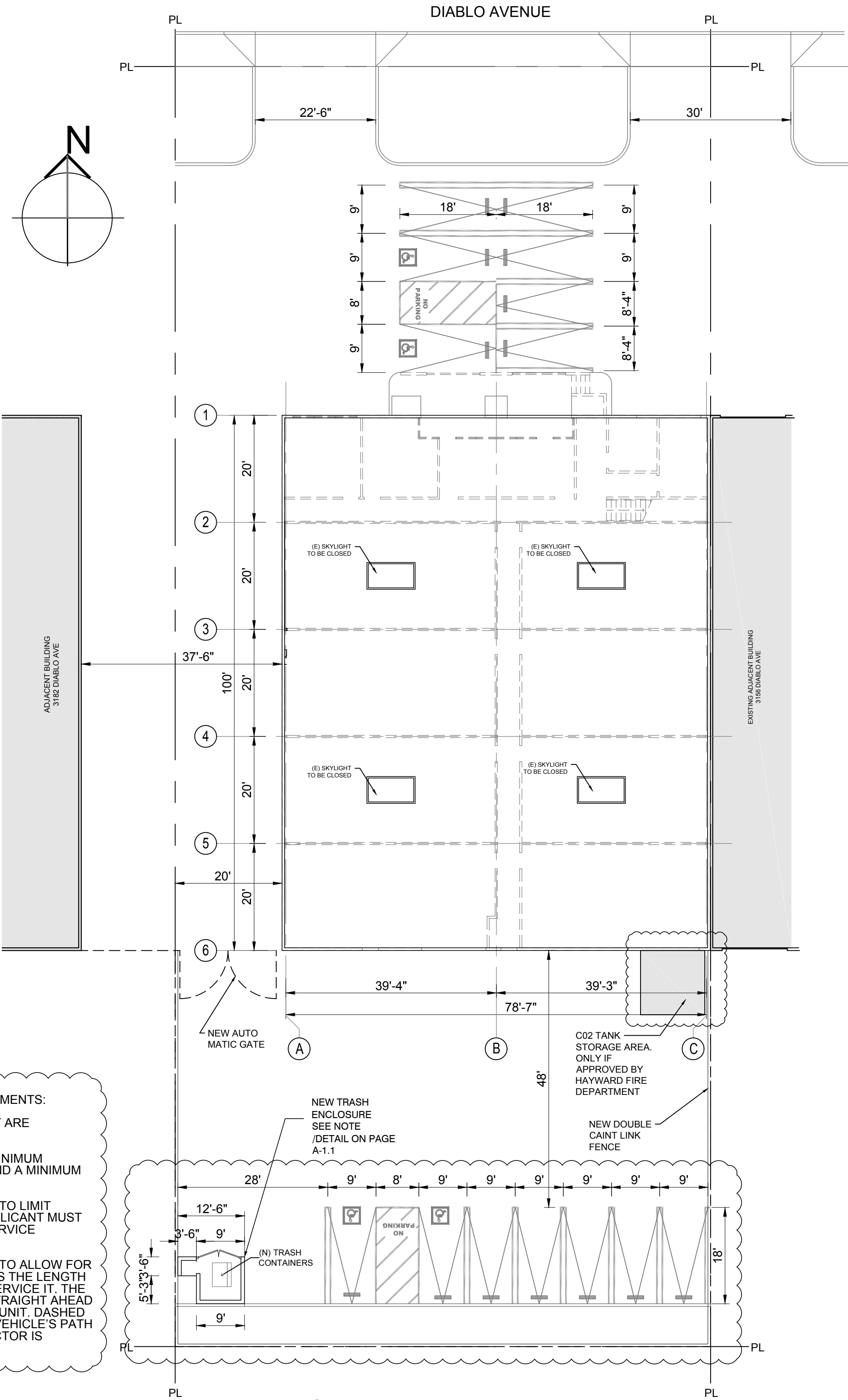
*When conducting the design of any fire protection system, a maximum static pressure of 80 psi should be used. Residual pressures used for the calculation should be adjusted accordingly.

COLLECTION VEHICLE ACCESS REQUIREMENTS:

- SERVICE EACH CONTAINER, AND EXIT ARE REQUIRED.
- COLLECTION VEHICLES REQUIRE A MINIMUM VERTICAL CLEARANCE OF 14 FEET AND A MINIMUM WIDTH OF 12 FEET.
- IF GATES WITH LOCKS ARE PLANNED TO LIMIT ACCESS TO THE PROPERTY, THE APPLICANT MUST PROVIDE KEYS OR CARDS TO THE SERVICE PROVIDER.
- COMPACTORS MUST BE POSITIONED TO ALLOW FOR A BACKUP DISTANCE OF THREE TIMES THE LENGTH OF THE COMPACTOR IN ORDER TO SERVICE IT. THE BACK-UP DISTANCE MUST EXTEND STRAIGHT AHEAD FROM THE END OF THE COMPACTOR UNIT. DASHED LINES INDICATING THE COLLECTION VEHICLE'S PATH OF TRAVEL TO SERVICE THE COMPACTOR IS REQUIRED.

FIRE HYDRANT 3017-02 3121 DIABLO AVE

FIRE HYDRANT 3017-01 DIABLO AVE & CLAWITER RD



SITE PLAN

Scale: 1/16" = 1'

NO CHANGES

SHEET INDEX

- A-0.0 TITLE/SITE PLAN
- A-0.1 GENERAL NOTES
- A-0.2 GENERAL NOTES
- A-0.3 TYPICAL ACCESSIBILITY DETAILS (1)
- A-0.4 TYPICAL ACCESSIBILITY DETAILS (2)
- A-0.5 TYPICAL ACCESSIBILITY DETAILS (3)
- A-0.6 CALGREEN NON-RESIDENTIAL (1)
- A-0.7 CALGREEN NON-RESIDENTIAL (2)
- A-0.8 CALGREEN NON-RESIDENTIAL (3)
- A-1.0 EXISTING PLANS
- A-1.1 PROPOSED PLANS
- A-1.2 PROPOSED RCP
- A-1.3 ELEVATIONS / SECTION

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all field measurements and conditions. No field measurements shall be made immediately after any construction. All dimensions and quantities shall be verified by the contractor. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.

3166 DIABLO AVENUE HAYWARD CA 94545

CUP

NO	REVISION	DATE
1		
2		
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10		

PRODUCTION DATE
SEP. 2018

A-0.0
TITLE /
SITE PLAN
SHEET NUMBER
1 of 9

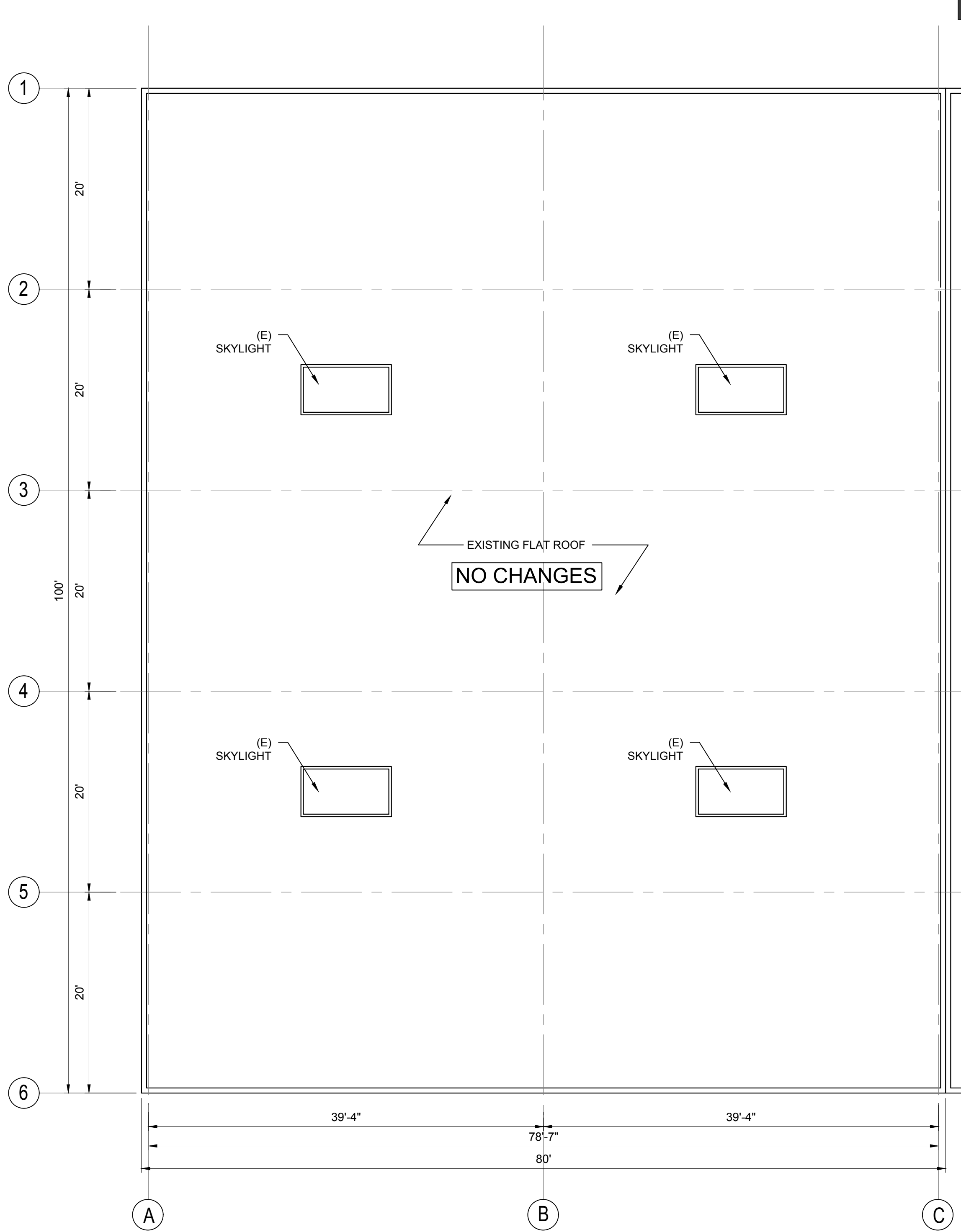
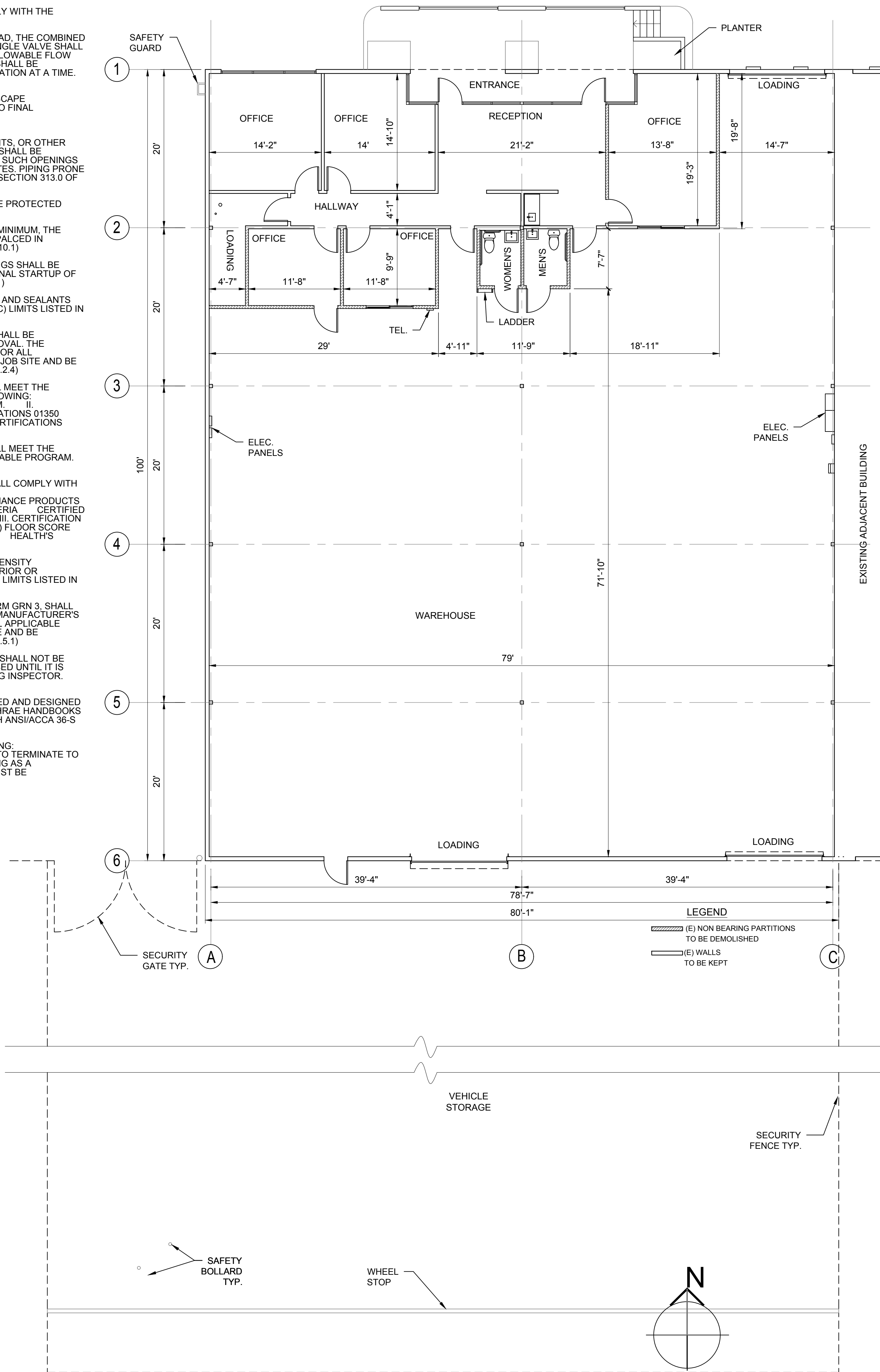
- NOTES
1. THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES IN TABLE 4.303.2
 2. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED THE FLOW RATES SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME. (CALGREEN 4.303.2)
 3. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. (STATE ASSEMBLY BILL NO. 1881)
 4. ANNULAR SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES. PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.0 OF THE LOS ANGELES PLUMBING CODE. (4.406.1)
 5. MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE. (4.407.4)
 6. AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PALCED IN BUILDING AT THE TIME OF FINAL INSPECTION. FORM GRN 6 (4.410.1)
 7. ALL DUCT AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. (4.504.1)
 8. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4.504.3 (4.504.2.1-4.504.2.3)
 9. THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.2.4)
 10. ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING REQUIREMENTS OF ONE OF THE FOLLOWING:
i. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
ii. CALIFORNIA DEPARTMENT OF PUGLIC HEALTH'S SPECIFICATIONS 01350
iii. NSF/ANSI 140 AT THE GOLD LEVEL
iv. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD
 11. ALL NEW CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. (4.504.3.1)
 12. 50% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OF THE FOLLOWING:
i. VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATA BASE
ii. PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM
iii. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM
iv. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350 (CALGREEN 4.504.4)
 13. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5. (4.504.5)
 14. THE FORMALDEHYDE EMISSION VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILALE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.5.1)
 15. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR. (4.505.3)
 16. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004. (CALGREEN 4.507.2)
 17. BATHROOM EXHAUST FANS MUST COMPLY WITH THE FOLLOWING:
i. FANS SHALL BE ENERGY STAR COMPILANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING
ii. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

SETBACK CERTIFICATION REQUIREMENT:

1. A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE OB FILE PRIOR TO THE FIRST INSPECTION. (BMC 9-1-1-110.3.1.1)

GENERAL NOTES :

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2013 EDITION OF THE CBC, CRC, CMC, CPC AND CEC AS ADOPTED AND AMDENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION
2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION
3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN
4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-1-3392.3)
5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST
6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON THE SITE (BMC 9-1-1-3305)
7. THE FINISH GRADE SHALL SLOPE A MIN OF 5% OR 6" TO A POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2% (CRC R401.3)
8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2% (CRC R403.1.7.3)



PART III: BUILDING CODE

A. GENERAL REQUIREMENTS

3. NOTES:

- a. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- b. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,156) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- c. PLUMBING FIXTURE ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- d. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- e. BATHTUBS WITH A SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE FLOOR (R307.2).
- f. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- g. PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (R308).
- i. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)
- l. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.

- m. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY. UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
- n. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- o. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELS OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- p. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

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Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all field measurements. If any discrepancy is found, the contractor must notify immediately of any variations from the dimensions and specifications shown on these drawings. The contractor shall be responsible for the accuracy of the field measurements. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.

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CUP

NO	REVISION	DATE

PRODUCTION DATE:
SEP. 2018

A-1.0
EXISTING
PLANS

SHEET 1 of 9

STORM WATER MANAGEMENT:

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON THE SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER.
3. NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
4. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY THER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON ITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
5. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
6. SEDIMENTS AND OTHER MATERIALS MAY NOT

MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

BE RACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY.

7. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
8. ANY SLOPES WITH DISTURBED SOILS OR DENUED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

9. SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY WIND, RAIN, RUNOFF AND VEHICLE TRACKING.

NOTES

EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES/54 LUX INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702 EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90MIN. IN CASE OF PRIMARY POWER LOSS. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.1.9-1010.1.9.12. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS: AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS

CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1028.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. EXTERIOR LANDINGS AS REQUIRED BY SECTION 1010.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MIN. AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION

SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. AN APPROVED SEISMIC GAS SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING (PER ADDITION 170, 158) (INCLUDES COMMERCIAL ORDINANCES AND TI WORK OVER \$10,000). SEPARATE PLUMBING PERMIT IS REQUIRED. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.11 AND SECTION 803.1.

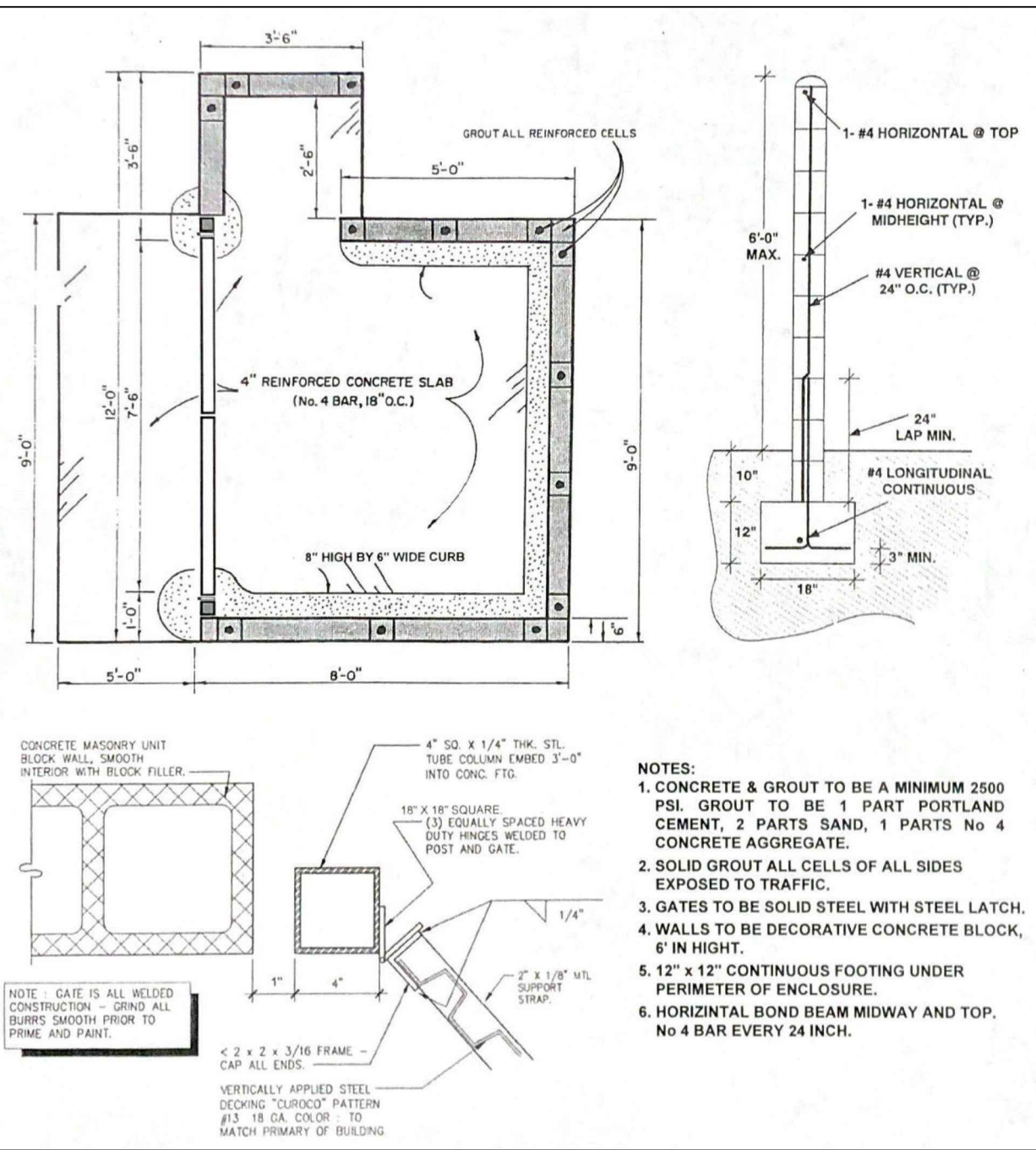
FIRE RATED ASSEMBLIES SHALL BE PER TABLE 721.1(1), GENERIC ASSEMBLIES OF GYPSUM HANDBOCK, OR HAVE LARR APPROVAL OR ICC APPROVAL.

THE FOLLOWING NONSTRUCTURAL PRODUCTS SHALL COMPLY WITH AN APPROVED ICC EVALUATION REPORT OF LA CITY RESEARCH REPORT.

TRESHHOLDS AT DOORWAYS SHALL NOT EXCEED 0.50" IN HEIGHT. 0.75" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS.

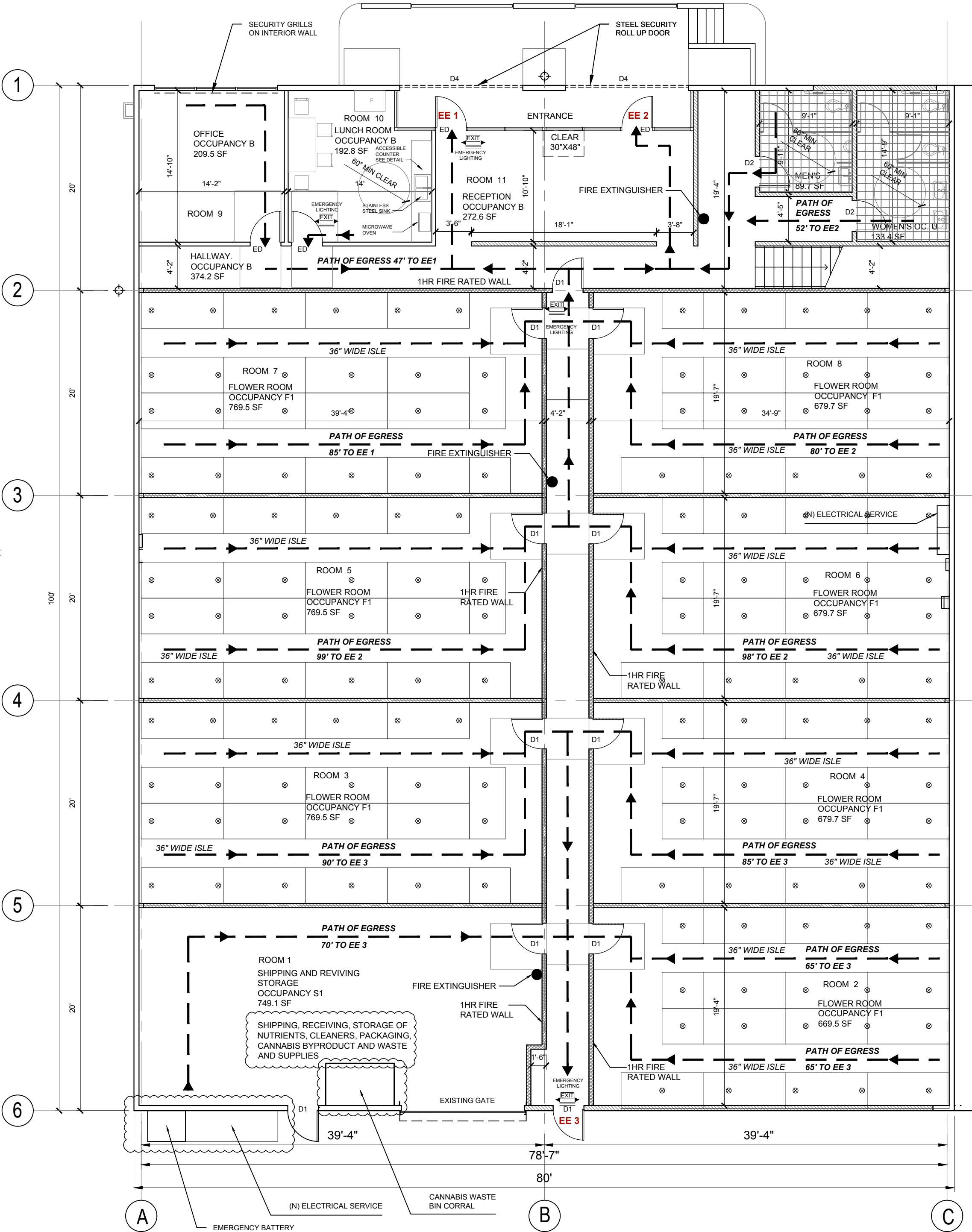
TRASH ENCLOSURE REQUIREMENTS:

- 8" CMU WALLS, FENCING, OR OTHER MATERIALS APPROVED BY THE PLANNING DIVISION.
- 6" WIDE CURB OR BUMPER MUST BE INCLUDED ALONG THE INTERIOR PERIMETER OF THE ENCLOSURE AND EXTENDING AT LEAST THREE FEET LONG BETWEEN THE BINS FOR TRASH, RECYCLABLES, AND ORGANICS.
- ALL NEW TRASH ENCLOSURES MUST INCLUDE A SEPARATE SPACE FOR ORGANICS CONTAINERS.
- A MINIMUM SPACE OF 12 INCHES BETWEEN EACH BIN AND THE WALLS OF THE ENCLOSURE IS REQUIRED TO ALLOW FOR MANEUVERING OF THE BINS.
- GATES SHOULD HINGE FROM THE CORNERS OF THE ENCLOSURE TO ALLOW FOR MAXIMUM ACCESSIBILITY TO THE CONTAINERS.
- ENCLOSURES MUST BE CONSTRUCTED ON A FLAT AREA WITH NO MORE THAN A 2% GRADE. TRASH ENCLOSURES SHALL HAVE THE SLAB FLOOR DESIGNED TO PREVENT RUN-ON OF SURFACE WATER AND RUN-OFF OF POLLUTANTS.
- A SOLID ROOF OVER THE ENCLOSURE IS REQUIRED.
- INTERNAL HEIGHT CLEARANCE WITHIN THE ENCLOSURE MUST BE MORE THAN THE SUM OF THE HEIGHT AND DEPTH (LISTED ON PAGE 2 OF THIS DOCUMENT) OF THE BIN THAT WILL BE USED TO ALLOW SUFFICIENT SPACE TO OPEN THE LID WHILE INSIDE THE ENCLOSURE. FOR EXAMPLE, AN ENCLOSURE FOR A 4 CUBIC YARD BIN MUST HAVE AN INTERNAL HEIGHT CLEARANCE OF 10.5 FEET (5.5 FEET + 5 FEET).
- SIGNAGE INDICATING "TRASH ONLY", "RECYCLABLES ONLY", AND "ORGANICS ONLY" AT THE APPROPRIATE LOCATIONS IS REQUIRED.
- A CONCRETE PAD EXTENDING 20' FROM THE TRASH ENCLOSURE TO ACCOMMODATE THE TRUCK WEIGHT IS RECOMMENDED.
- A DRAIN INLET CONNECTED TO THE SANITARY SEWER LINE MAY BE REQUIRED, PRIOR TO DESIGNING A DRAIN TO THE SANITARY SEWER, PLEASE CONTACT WATER POLLUTION SOURCE CONTROL AT (510) 881-7900. UNLESS AUTHORIZED BY WATER POLLUTION SOURCE CONTROL, TRASH ENCLOSURES SHALL NOT HAVE HOT/COLD WATER UTILITIES PROVIDED.
- TRASH ENCLOSURES MAY NEED TO BE MODIFIED IF WHEN NEW TENANTS OR BUSINESSES ARE IDENTIFIED. IN ORDER TO ACCOMMODATE ANY INCREASES IN THE ANTICIPATED WASTE STREAM, ENCLOSURES MAY NEED TO BE MODIFIED. EXISTING ENCLOSURES MAY NEED TO BE MODIFIED TO MINIMIZE THE NEED FOR FUTURE MODIFICATIONS. ORIGINAL CONSTRUCTION SHOULD ANTICIPATE BOTH NEAR- AND LONG-TERM POSSIBLE BUSINESS TYPES OR OCCUPANTS.
- A TRASH ENCLOSURE SHALL BE SITED NO FURTHER THAN 100 FEET FROM THE BUSINESS(ES) IT IS DESIGNED TO SERVE, UNLESS THE SITE TOPOGRAPHY IS SUCH THAT ADHERING TO THIS STANDARD WOULD INTERFERE WITH THE COLLECTION OF TRASH, RECYCLABLES AND ORGANICS, AS ESTABLISHED IN THE CITY'S ZONING ORDINANCE.



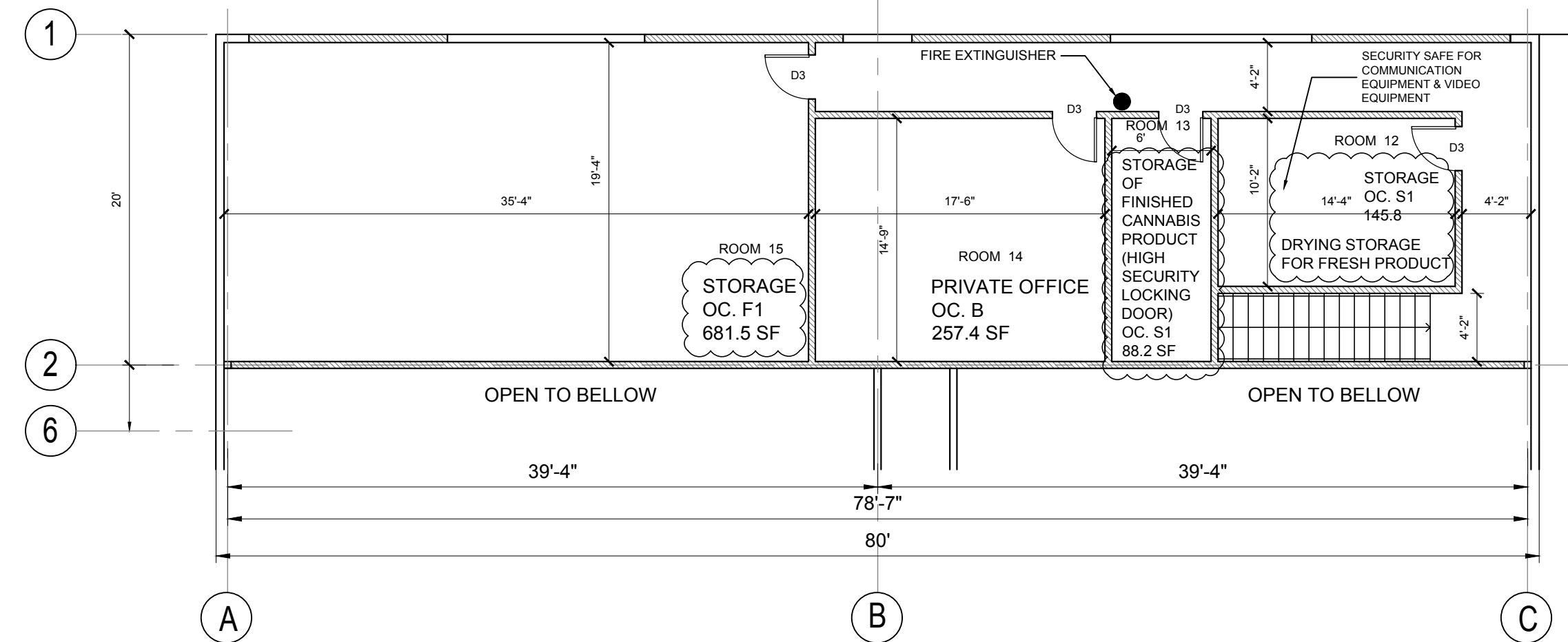
TRASH ENCLOSURE

Not to scale

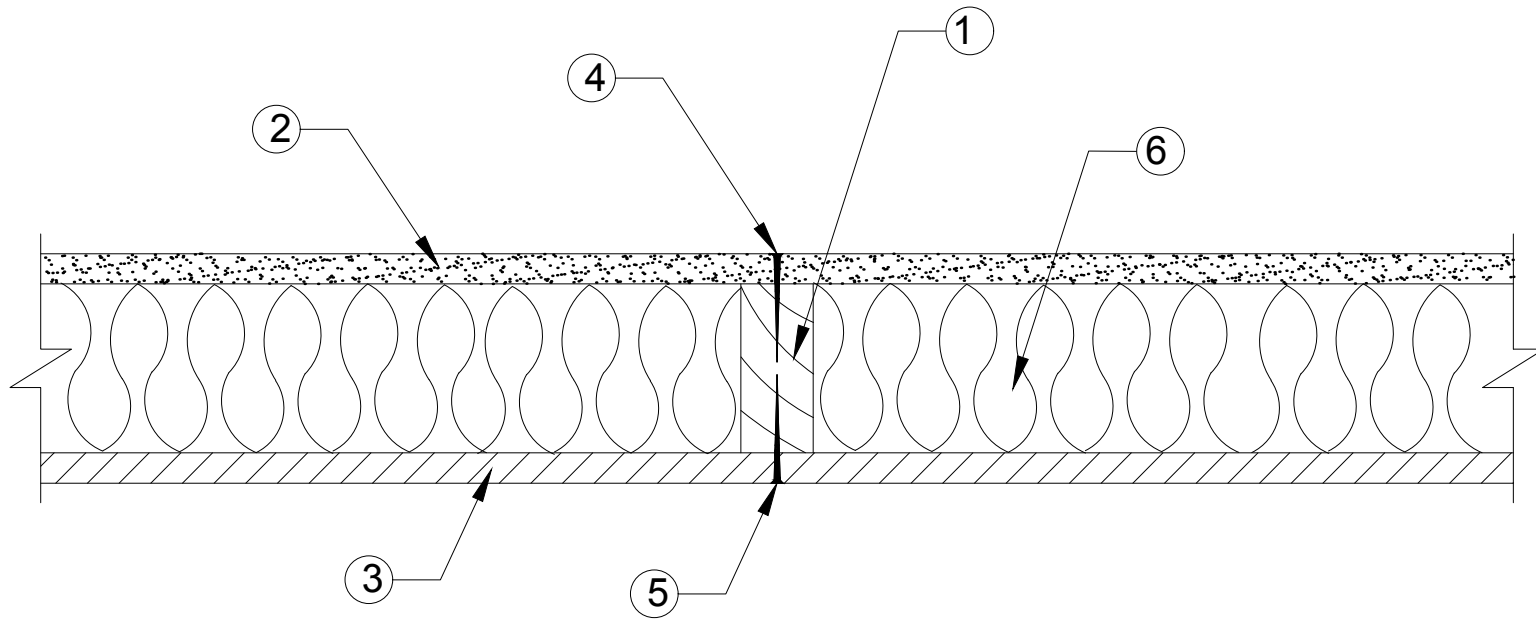


PROPOSED GROUND FLOOR PLAN

Scale: 1/8" = 1'



WS4-1.2 One-Hour Fire-Resistive Wood-Frame Wall Assembly
2x4 Wood Stud Wall - 100% Design Load - ASTM E 119 / NFPA 251

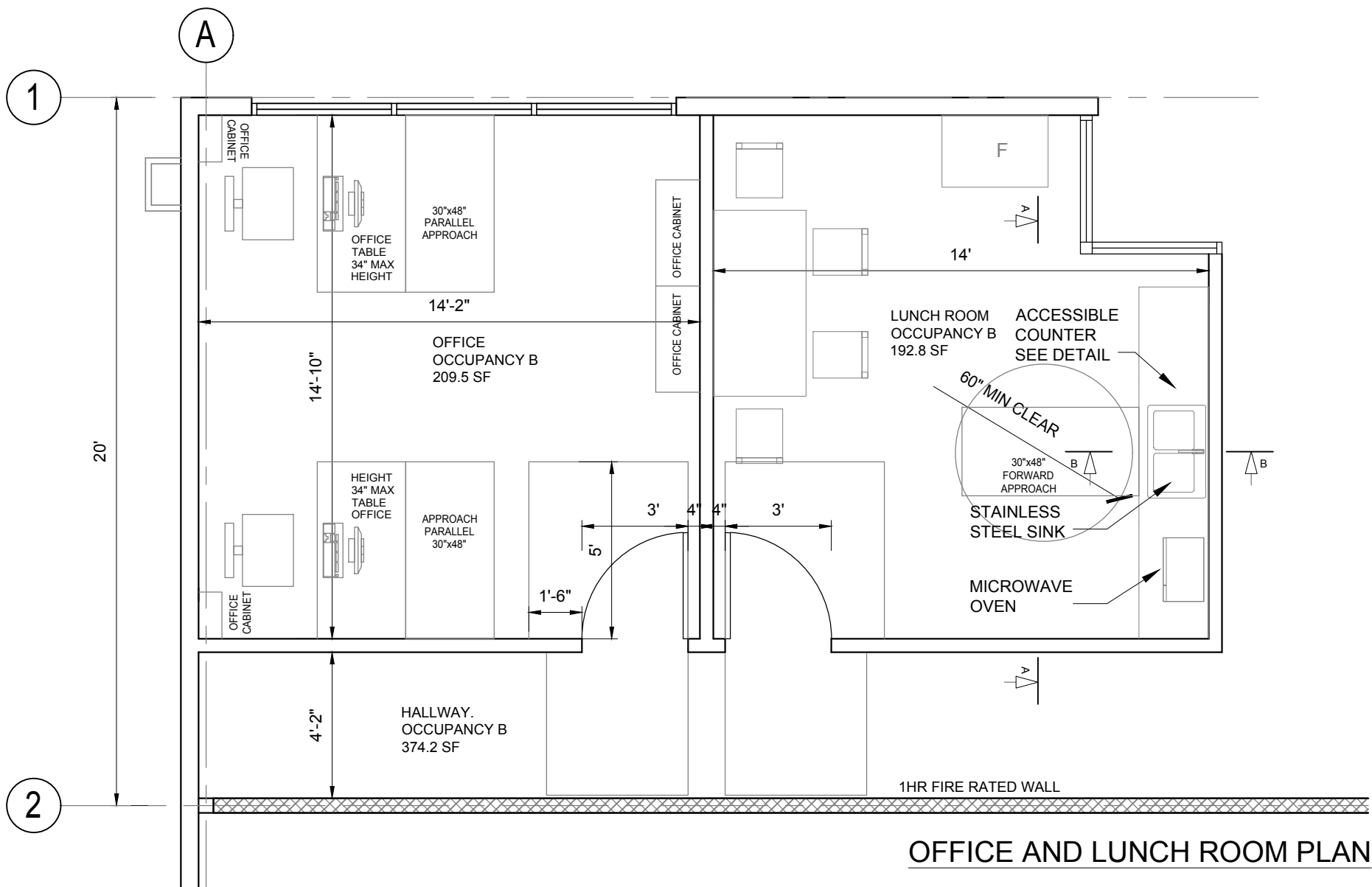


1. Framing - Nominal 2x4 wood studs, spaced 16 in. o.c., double top plates, single bottom plate
 2. Sheathing - 5/8 in. Type X gypsum wallboard, 4 ft. wide, applied horizontally, unblocked. Horizontal application of wallboard represents the direction of least fire resistance as opposed to vertical application.
 3. Sheathing - 3/8 in. wood structural panels, plywood (oriented stand board), applied vertically, horizontal joints blocked
 4. Fasteners - 2-1/4 in. Type S drywall screws, spaced 12 in. o.c.
 5. Panel Fasteners - 6d common nails (bright) - 12 in. o.c. in the field, 6 in. o.c. panel edges
 6. Insulation - 3-1/2 in. thick mineral wool insulation (2.5 pcf, nominal)
 7. Joints and Fasteners Heads - Wallboard joints covered with paper tape and joint compound, fastener heads covered with joint compound
- Tests conducted at the Fire Test Laboratory of National Gypsum Research Center
Test No: WP-1261 (Fire Endurance & Hose Stream) November 1, 2000
WP-1246 (Hose Stream) March 9, 2000
Third Party Witness: Intertek Testing Services
Report J20-006170.2

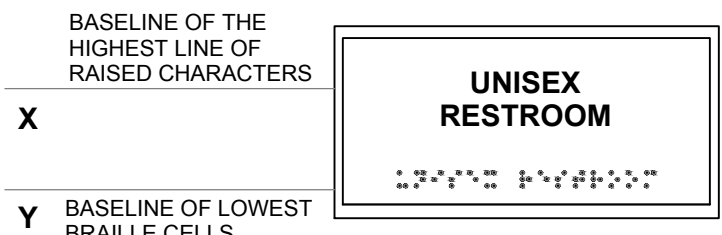
This assembly was tested at 100% design load, calculated in accordance with the 1997 National Design Specification for Wood Construction. The authority having jurisdiction should be consulted to assure acceptance of this report.

ONE-HOUR FIRE-RESISTIVE WOOD-FRAME CEILING ASSEMBLY

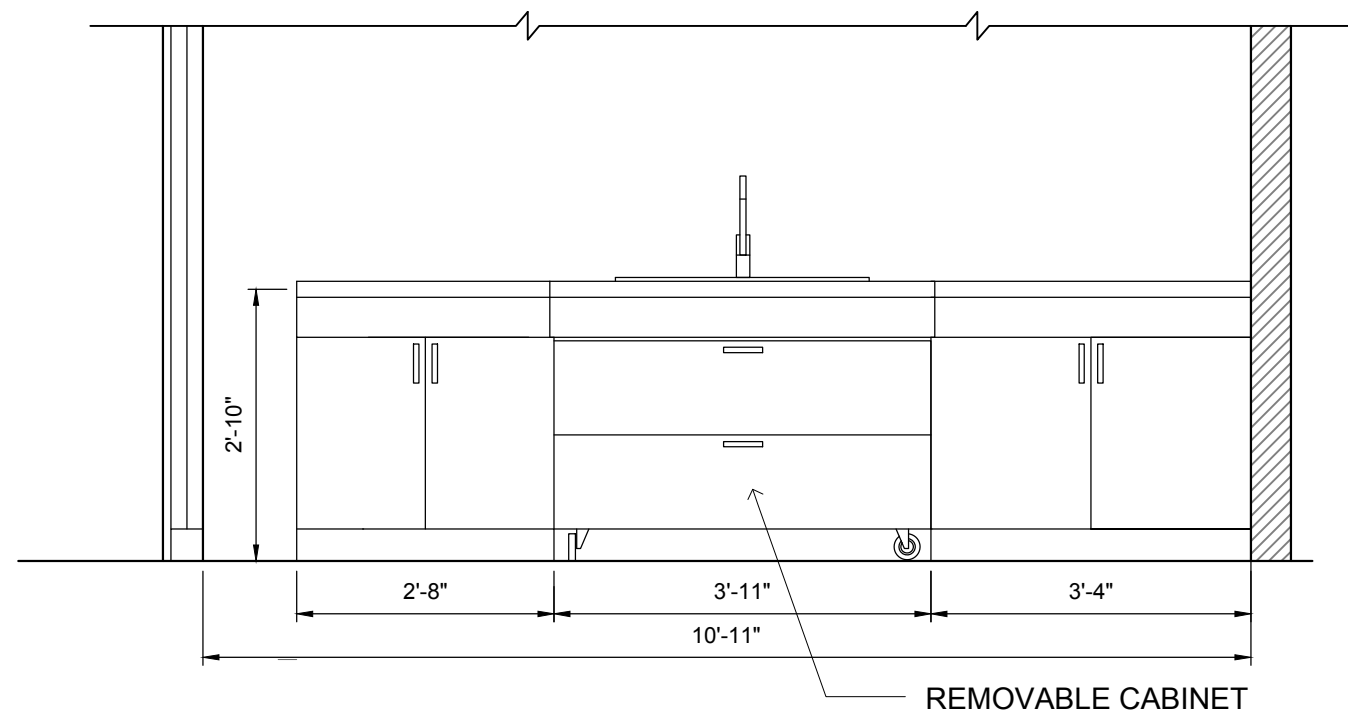
1 Hour Fire-Rated Construction	Dimensional Lumber	Test Number	Acoustical Performance	Reference
Construction Detail cig. wt. 5 11"	Description • two layers 5/8" Sheetrock Firecode Core gypsum panels, - 2 x 10 wood joists 24" o.c. - face layer joints finished - floor: 1/2" plywood with extending glue Also for roof-ceilings, including trusses	GA-FC-5406 and RC-2601	STC Test Number	Index B-57



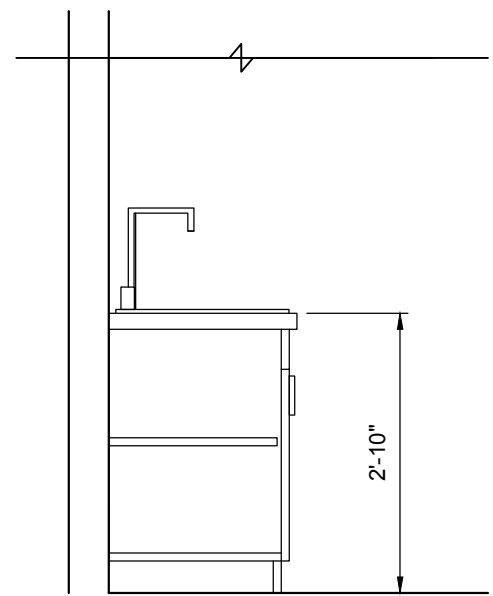
RESTROOM SIGN



TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NONABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4' (1210.2.1) WALLS WITHIN 2 FEET OF THE FRONT AND SIDES OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE OF PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER SMOOTH, HARD NON-ABSORBENT SURFACE TO A HEIGHT OF 4 FEET, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE. (1210.2.2)



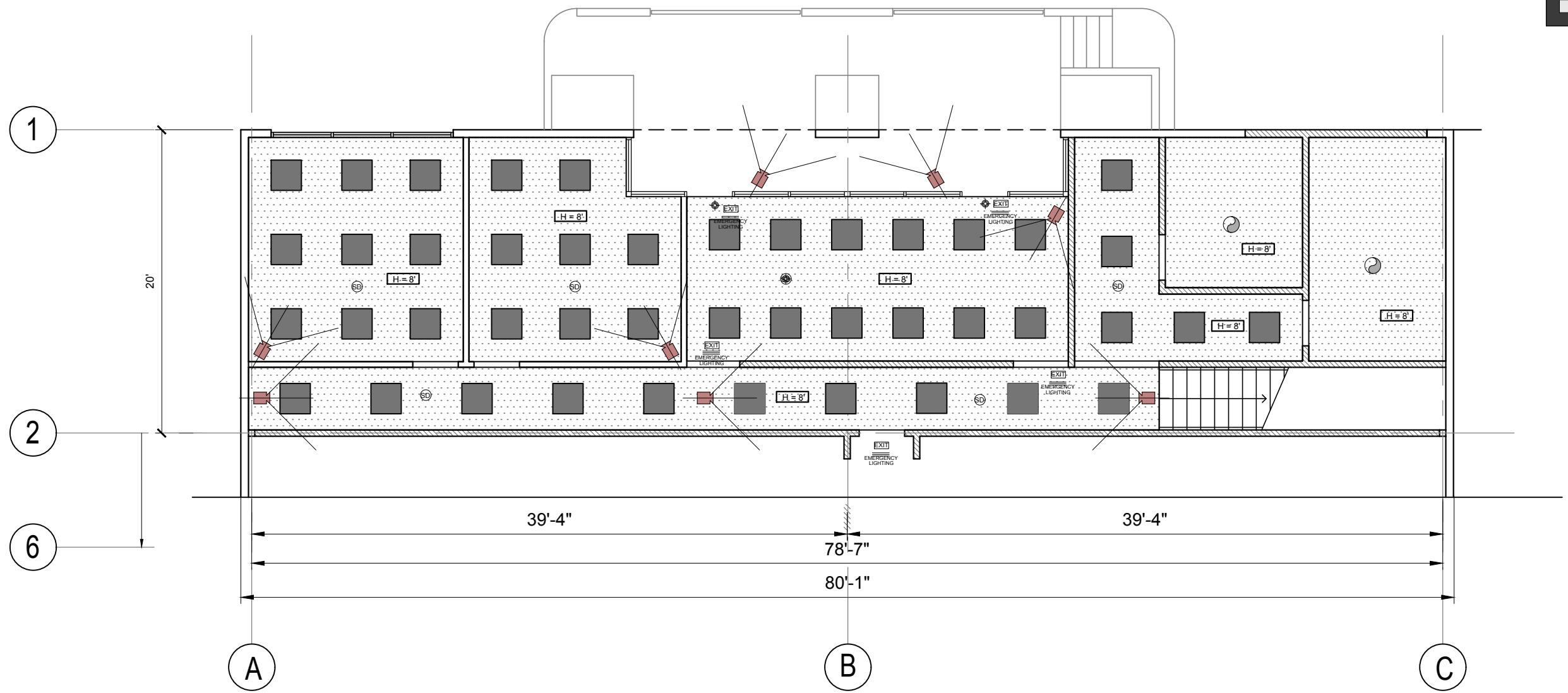
LUNCH ROOM ELEVATION A-A



LUNCH ROOM ELEVATION B-B

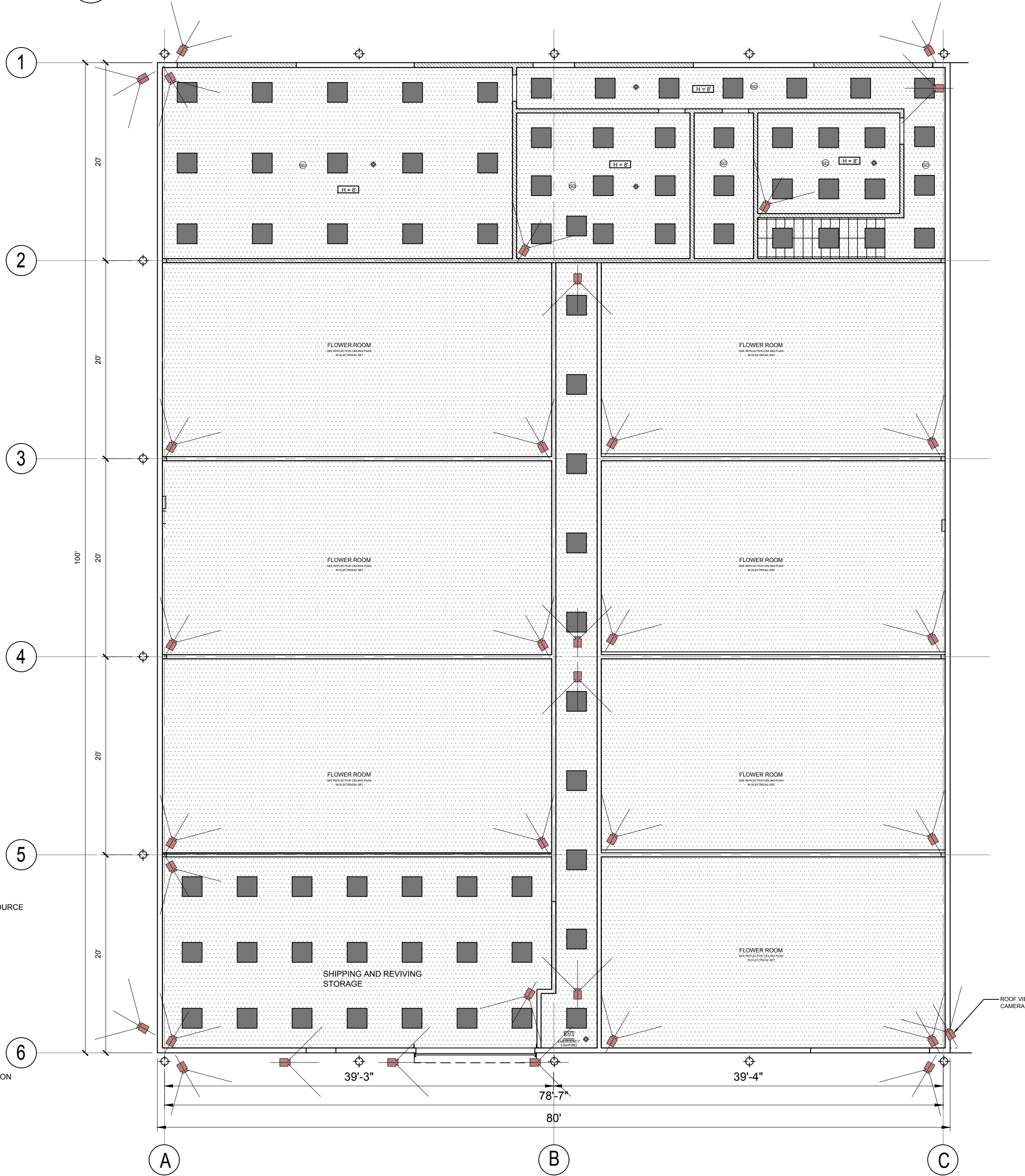
LEGEND

- SURFACE MOUNTED HUNG SOURCE
- CEILING HEIGHT
- GYPSUM BOARD
- SMOKE DETECTOR
- EXHAUST FAN
- EMERGENCY EXIT SIGN WITH 90MIN BATTERY BACKUP
- EMERGENCY EGRESS ILLUMINATION WITH 90MIN BATTERY BACKUP
- LID LIGHTING (EXTERIOR)
- CAMERA (VISION DIRECTION)



PROPOSED FIRST FLOOR REFLECTIVE CEILING PLAN

Scale: 1/8" = 1'



PROPOSED SECOND FLOOR REFLECTIVE CEILING PLAN

Scale: 1/8" = 1'

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all notations and dimensions. Any variations from the dimensions and notes shall be the responsibility of the Contractor. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.

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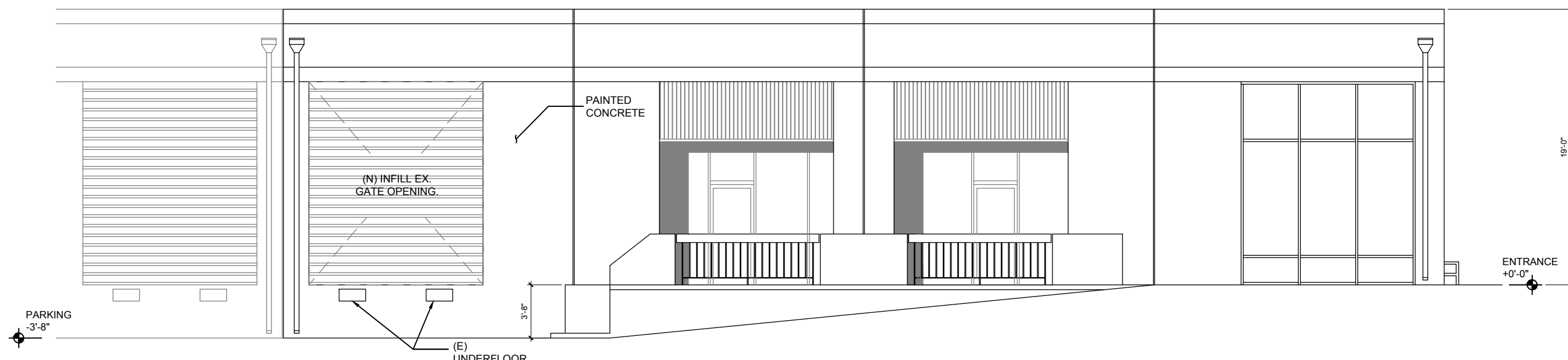
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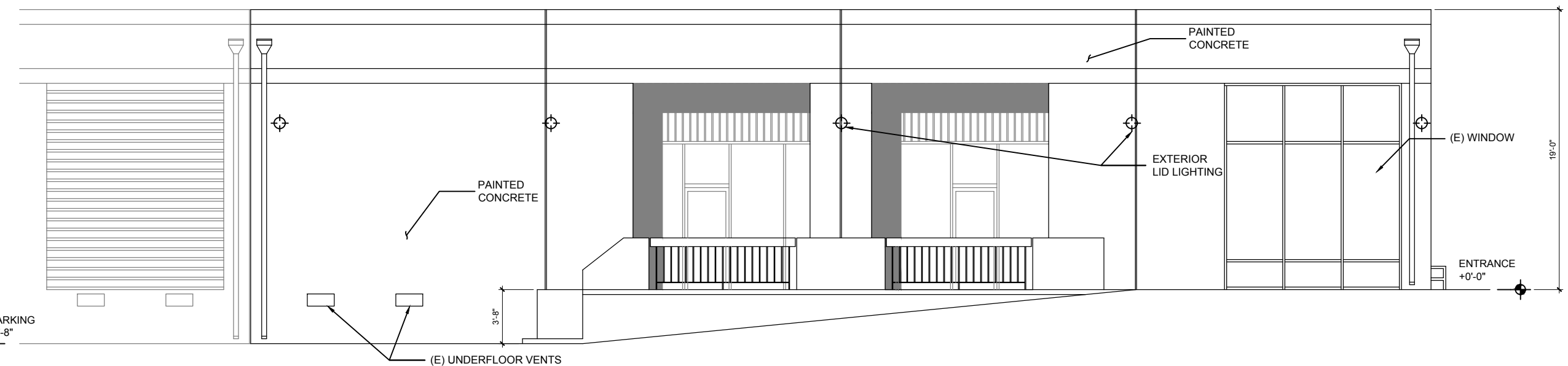
PRODUCTION DATE:
SEP. 2018

A-1.2

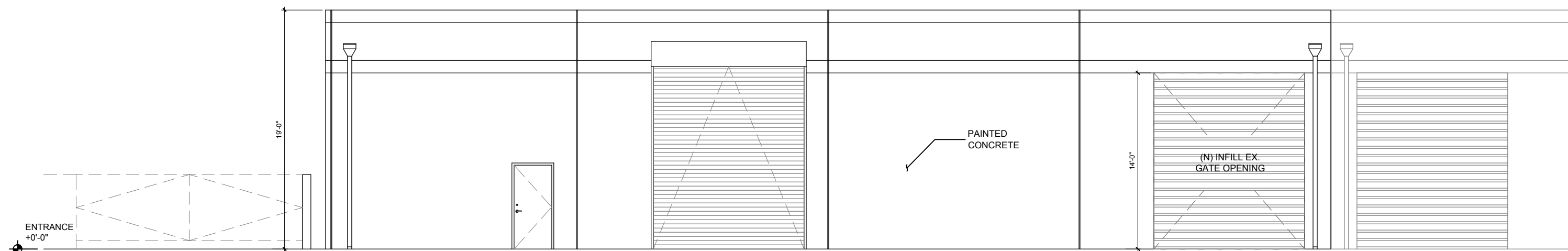
PROPOSED
REFLECTIVE
CEILING
PLANS



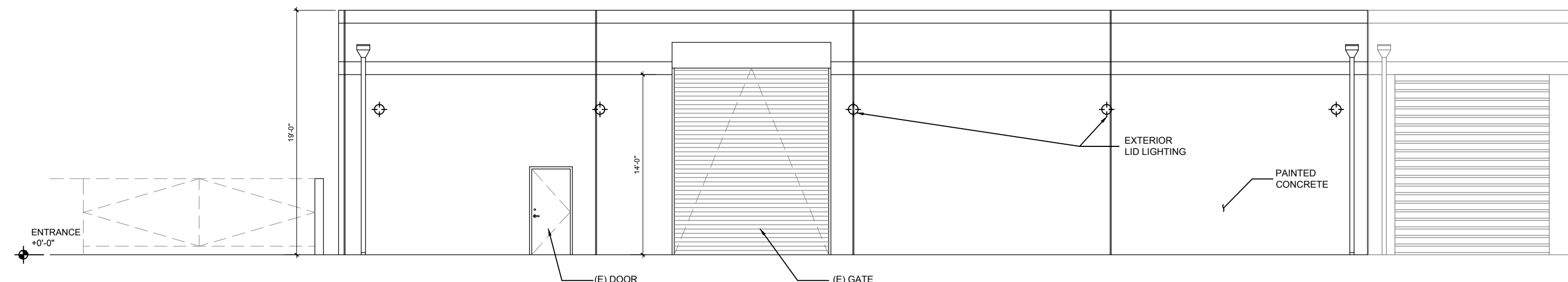
EXISTING NORTH ELEVATION
Scale: 1/8" = 1'



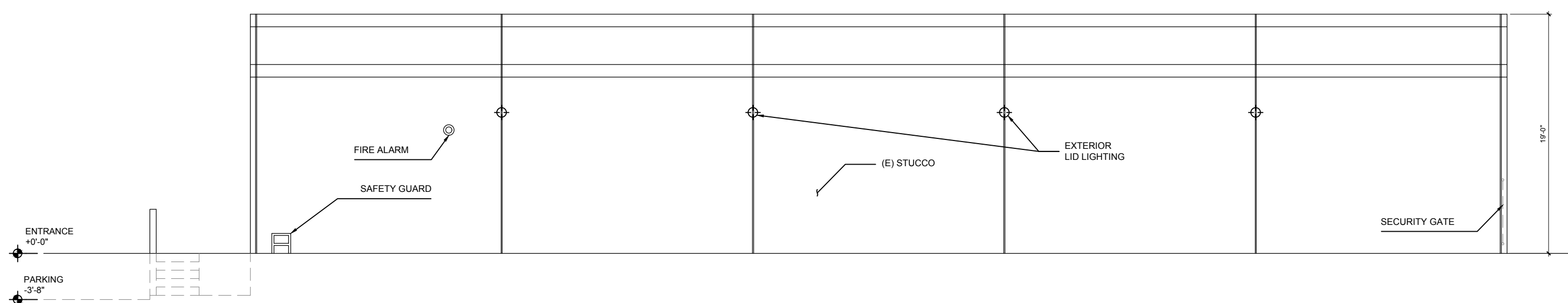
PROPOSED NORTH ELEVATION
Scale: 1/8" = 1'



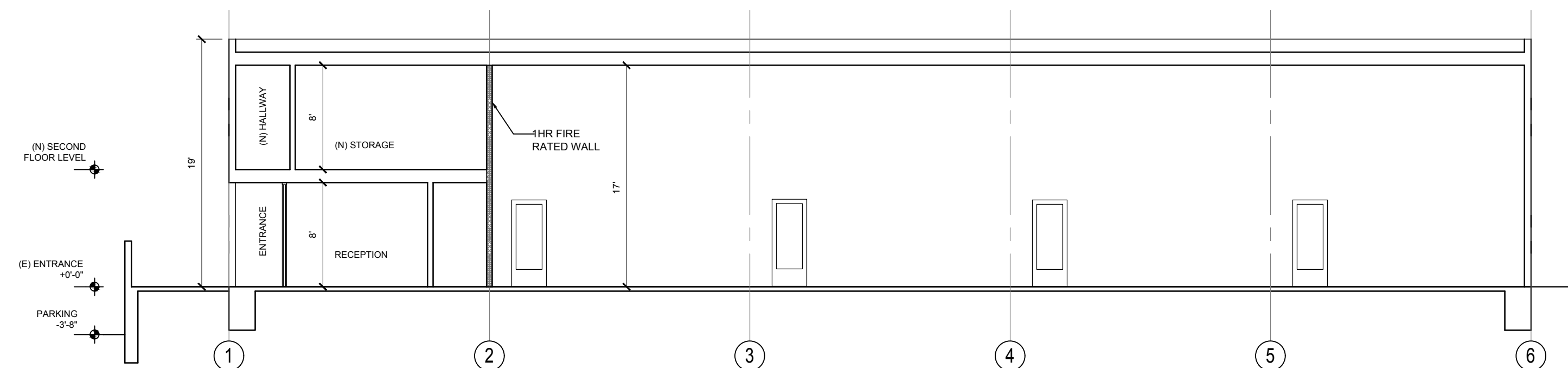
EXISTING SOUTH ELEVATION
Scale: 1/8" = 1'



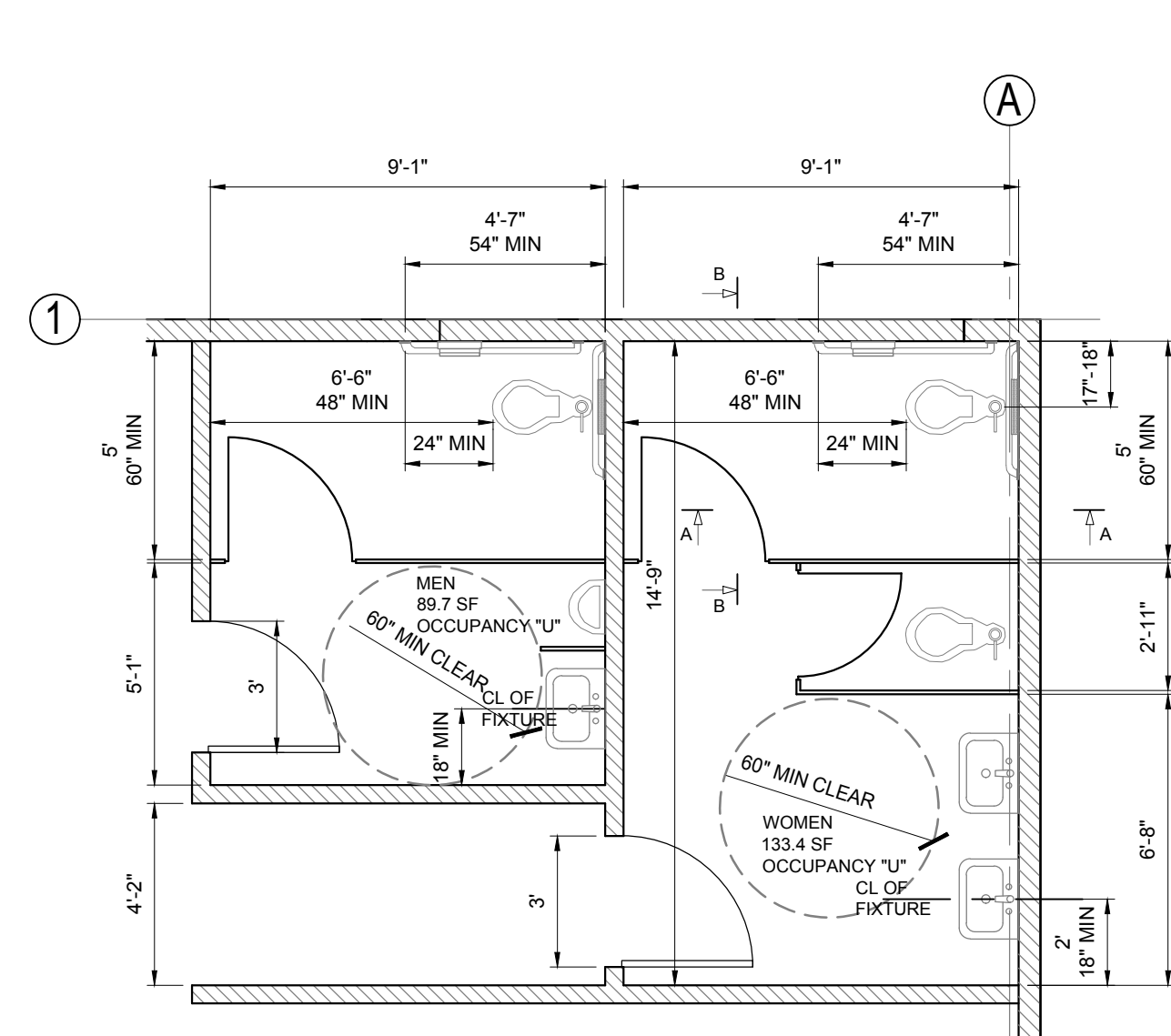
PROPOSED SOUTH ELEVATION
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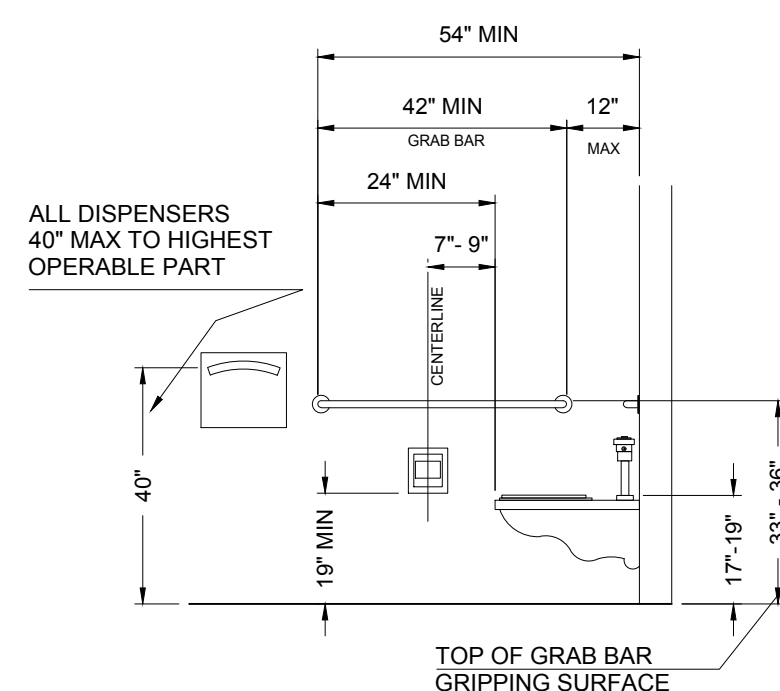
EXISTING WEST ELEVATION
Scale: 1/8" = 1'
NO CHANGES



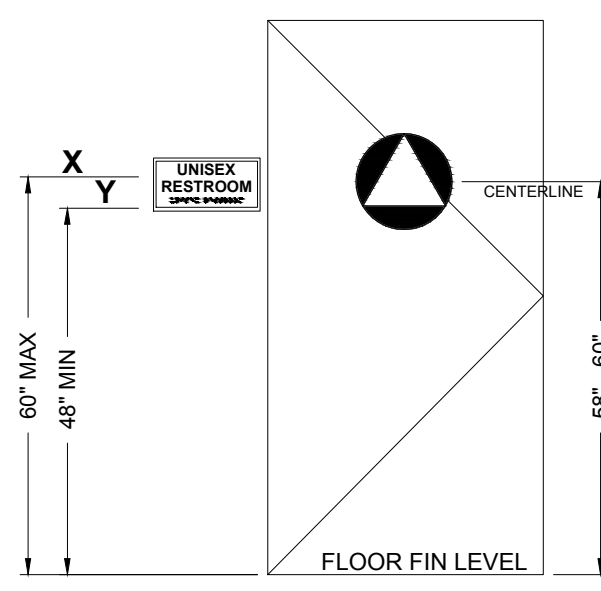
SECTION 1
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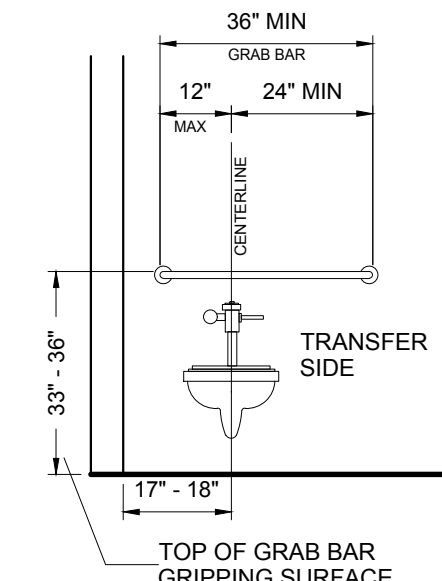
RESROOM PLAN



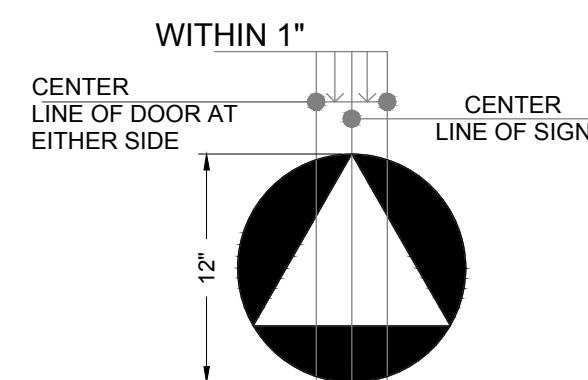
RESTROOM ELEVATION A-A



RESTROOM SIGNAGE LOCATION



RESTROOM ELEVATION B-B



RESTROOM SIGNAGE LOCATION

CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN):

- STORM WATER DRAINAGE AND RETENTION SEC. 4.106.2. SHOW HOW THE PROJECT WILL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION THROUGH USE OF RETENTION BASINS, FILTERING BY A BARRIER SYSTEM, OR COMPLIANCE WITH THE STORM AFTER MANAGEMENT ORDINANCES.
- SURFACE DRAINAGE SEC. 4.106.3. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINING SYSTEM WILL MANAGE WATER FLOWS AND KEEP SURFACE WATER FROM ENTERING BUILDINGS THROUGH THE USE OF SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, OR WATER RETENTION GARDENS.
- OUTDOOR WATER USE SEC. 4.304. WEATHER OR SOIL MOISTURE BASED AUTOMATIC IRRIGATION CONTROLLERS FOR LANDSCAPE IRRIGATION SYSTEMS SHALL AUTOMATICALLY ADJUST IN RESPONSE TO WEATHER CONDITIONS. WEATHER BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH COMMUNICATES WITH THE CONTROLLER.
- JOINTS AND OPENINGS SEC. 4.406.1. OPENINGS IN THE BUILDING ENVELOPE SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SHALL BE SEALED IN ACCORDANCE WITH CALIFORNIA ENERGY CODE REQUIREMENTS. ANULAR SPACES OR OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A MILAR APPROVED METHOD TO PREVENT THE PASSAGE OF RODENTS.
- BUILDING MAINTENANCE AND OPERATION SEC. 4.410. BUILDING MANUAL: AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC OR OTHER APPROVED MEDIA SHALL BE PLACE IN THE BUILDING THAT CONTAINS THE INFORMATION SPECIFIED IN CALGREEN SEC. 4.410.
- COVERING DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT SEC. 4.504.1. COVERING OF OPENINGS DURING CONSTRUCTION: ALL DUCTS AND AIR DISTRIBUTION OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL DURING STORAGE ON THE SITE AND BY THE TIME OF ROUGH INSTALLATION THROUGH FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.
- FINISH MATERIAL POLLUTANT CONTROL SEC. 4.504.2. FINISH MATERIAL POLLUTANT CONTROL: THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE VOC CONTENT LIMITS SET FORTH IN CALGREEN SECTIONS 4.504.2 THROUGH 4.504.5: ADHESIVES, SEALANTS AND COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR.
- MOISTURE CONTROL OF CONCRETE SLAB FOUNDATIONS EC. 4.504.2. SHOW THE CAPILLARY BREAK INSTALLED FOR CONCRETE SLAB FOUNDATIONS.
- MOISTURE CONTENT OF BUILDING MATERIALS SEC. 4.505.3. MOISTURE CONTENT OF MATERIALS REQUIREMENT: BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION WHICH IS VISIBLY WET OR HAS HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.
- WHOLE HOUSE EXHAUST FAN SEC. 4.507.1. WHOLE HOUSE FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF THAT HAVE A MIN. INSULATION VALUE OF R-4.2
- HEATING AND AIR CONDITION DESIGN SEC. 4.507.2. SYSTEMS SHALL BE SIZED, DESIGNED, AND SPECIFIED ACCORDING TO ACCA, ASHRAE OR EQUIVALENT DESIGN SOFTWARE OR METHODS.

SETBACK CERTIFICATION REQUIREMENT:

A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE OB FILE PRIOR TO THE FIRST INSPECTION. (BMC 9-1-1-110.3.1.1)

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH THE 2013 EDITION OF THE CBC, CRC, CMC, CPC AND CEC AS ADOPTED AND AMDENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION.
- SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION
- ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN
- A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-1-3392.3)
- WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
- TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON THE SITE (BMC 9-1-1-3305)
- THE FINISH GRADE SHALL SLOPE A MIN OF 5% OR 6\"/>



Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all field measurements. The architect shall not be responsible for any modifications or variations from the dimensions and quantities shown on these drawings. The contractor shall be responsible for the accuracy of the dimensions and quantities shown on these drawings and no part thereof shall be used for any other than this project without the written consent of the architect.

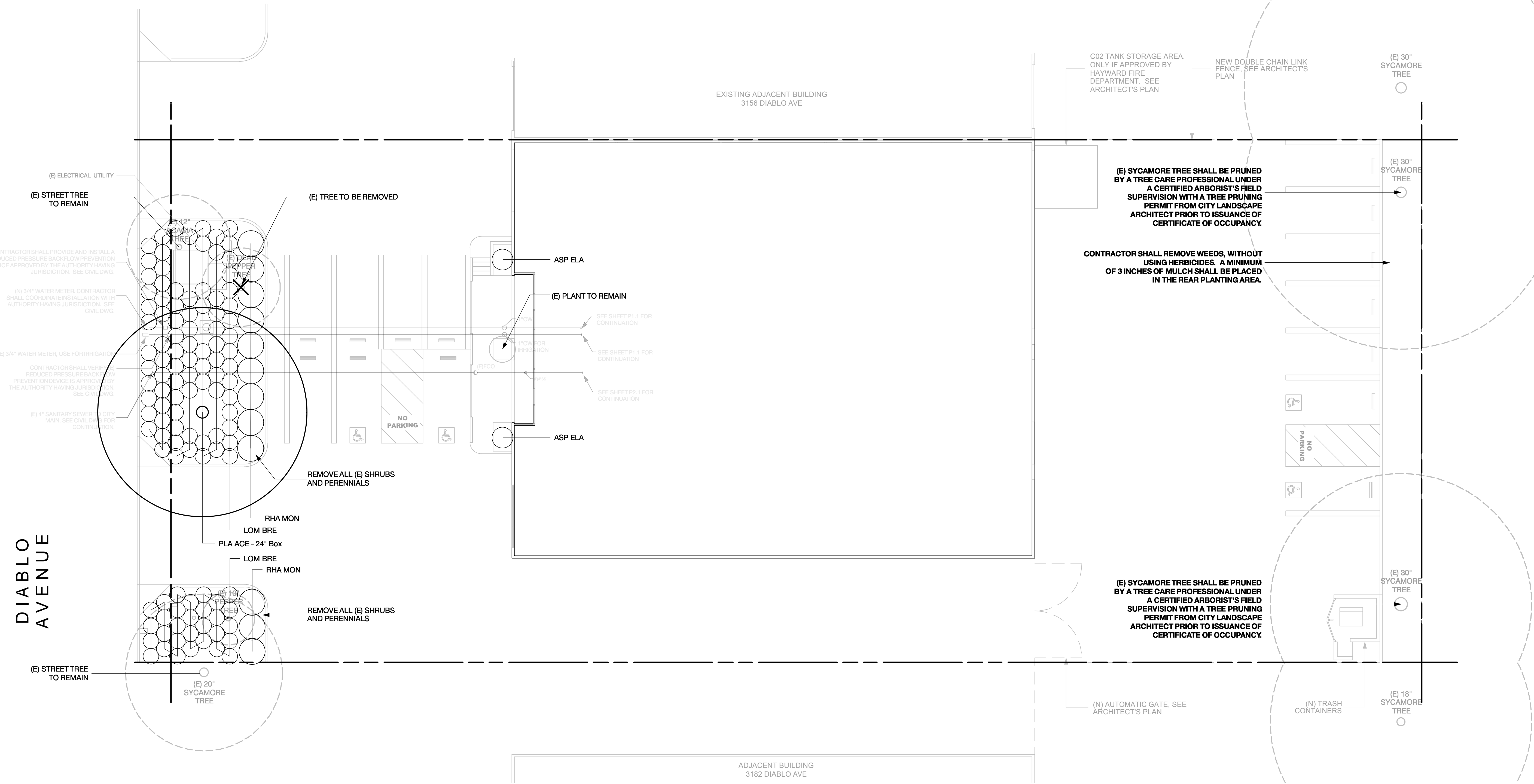
3166 DIABLO AVENUE HAYWARD CA 94545

CUP

NO	REVISION	DATE

PRODUCTION DATE
SEP. 2018

A-1.3
ELEVATIONS / SECTION



PLANTING NOTES

PLANT SYMBOLS REPRESENT A 3-5 YEAR GROWTH PROJECTION.

PLANTING SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED FOREMAN. THE PLANT COUNT IS FOR THE CONVENIENCE OF THE CONTRACTOR. IN THE EVENT OF A DISCREPANCY, THE PLAN WILL GOVERN.

CONTRACTOR SHALL COORDINATE ALL PLANTING WITH UTILITY LOCATIONS NOT SHOWN ON THE PLANS. ANY CONFLICTS BETWEEN LOCATIONS OF PROPOSED SITE UTILITIES OR LIGHTING SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

ALL EXISTING TREES SHALL REMAIN AND PROTECTED IN PLACE, UNLESS DESIGNATED TO BE REMOVED OR TRANSPLANTED

REMOVE ALL EXISTING WEEDS, BROOM AND BRAMBLE BY THE ROOTS, AND DISPOSE OF AWAY FROM THE SITE.

PLANTING AREAS SHALL BE FREE OF ALL DELETERIOUS MATERIALS AND WEEDS PRIOR TO PLANTING. PLANTING AREAS TO BE TILLED SO THAT THE SOIL IS LOOSE AND NOT COMPACTED TO A MINIMUM DEPTH OF 8"

A SOIL TEST SHALL BE PERFORMED ON THE EXISTING SOIL AND IMPORT SOIL TO DETERMINE THE FINAL AMENDMENT AND FERTILIZER FORMULA. THE SOILS REPORT SHALL CONTAIN THE FOLLOWING INFORMATION:

SOIL PERMEABILITY RATE IN INCHES PER HOUR
SOIL TEXTURE TEST
CATION EXCHANGE CAPACITY
SOIL FERTILITY (including tests for nitrogen, potassium, phosphorous, pH, organic matter and electrical conductivity)
RECOMMENDATIONS TO THE PLANTING AREA SOIL

PLANTING AREAS; AMEND PER THE RECOMMENDATIONS OF THE SOILS REPORT.

TOPSOIL TO BE 'GENERAL LANDSCAPE' AS PRODUCED BY AMERICAN SOIL & STONE PRODUCTS (PH# 415-456-1381). COMPOST TO BE FROM SONOMA COMPOST. GENERAL PURPOSE BACKFILL MIX FOR SHRUBS AND TREES TO BE 15% TOPSOIL, 75% NATIVE SOIL. 10% COMPOST. EXCESSIVELY ROCKY AND HEAVY CLAY SOILS ARE TO BE REMOVED FROM SITE.

SPREAD 2" OF COMPOST OVER PREPARED SOIL AREA AT A RATE OF 6 CU YDS PER 1000 SQ FT, PRIOR TO MULCHING. MULCH WITH A 3" LAYER OF ORGANIC RECYCLED CHIPPED WOOD (DARK BROWN COLOR). HOLD 6" AWAY FROM STEM OR TRUNK.

STAKE OR GUY TREES PER DETAIL.

THE CONTRACTOR SHALL GUARANTEE TREES FOR A PERIOD OF 1 YEAR.

THE CONTRACTOR SHALL GUARANTEE PLANTED STOCK FOR A 90-DAY MAINTENANCE PERIOD AFTER FINAL ACCEPTANCE BY THE OWNER.

PROVIDE JUTE NETTING ON ALL SLOPES THAT ARE EQUAL TO OR STEEPER THAN 3:1.

AFTER INITIAL INSTALLATION, ALL PLANTINGS SHALL BE MAINTAINED IN A REASONABLY WEED-FREE AND LITTER-FREE CONDITION, INCLUDING REPLACEMENT WHERE NECESSARY AS DETERMINED BY THE PLANNING DIRECTOR. REQUIRED STREET, PARKING LOT, AND BUFFER TREES SHALL NOT BE SEVERELY PRUNED, TOPPED, OR POLLARDED (CUT BACK TO THE TRUNK).

TREE PROTECTION NOTES

1: TREE BRANCHES THAT WILL INTERFERE WITH CONSTRUCTION EQUIPMENT SHALL BE PROPERLY PRUNED PRIOR TO BEGINNING CONSTRUCTION. PRUNING SHALL BE AS APPROVED BY THE CITY AND SHALL COMPLY WITH CITY APPROVED PRACTICES.

2: A PROTECTIVE FENCE SHALL BE PLACED AT THE DRIPLINE OF THE EXISTING TREES DURING THE ENTIRE CONSTRUCTION PERIOD. NO WORK SHALL OCCUR WITHIN THE DRIPLINE EXCEPT UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST APPROVED BY THE CITY.

3: SOIL COMPACTION AND GRADING SHALL BE AVOIDED UNDER THE DRIPLINE OF THE TREES. MAINTAIN A POSITIVE DRAINAGE AWAY FROM TREE TRUNK. IRRIGATION SHALL BE AVOIDED UNDER NATIVE OAK TREES.

4: NO STORAGE OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN 25 FEET OF THE DRIPLINE OF THE TREES.

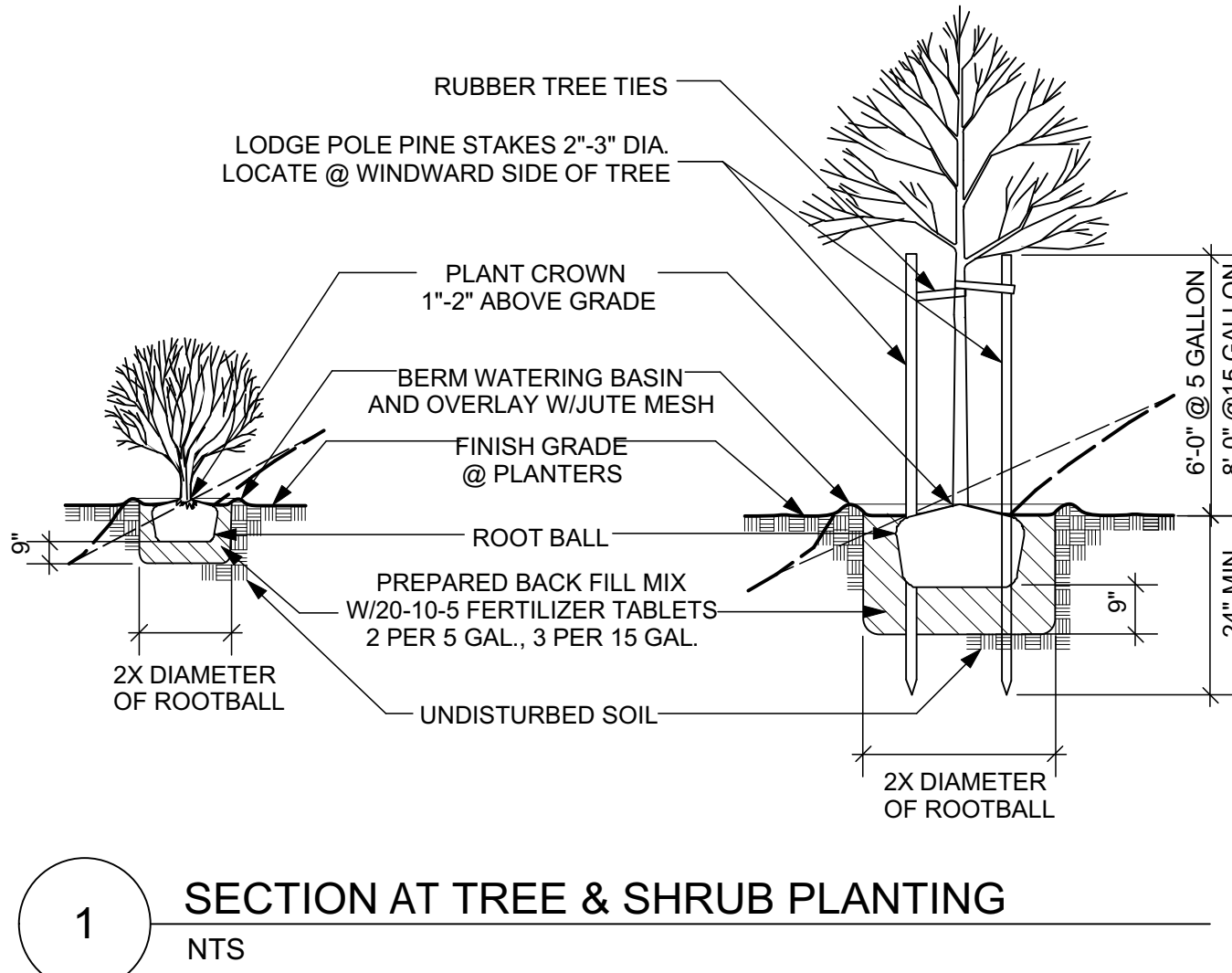
5: ALL ROOTS 1" OR LARGER THAT MUST BE SEVERED SHALL BE CUT MANUALLY TO PRODUCE A CLEAN CUT AND TREATED WITH A TREE SEALANT. BORING, RATHER THAN TRENCHING SHALL BE REQUIRED WHERE IT IS UNAVOIDABLE FOR PIPING TO CROSS THROUGH THE DRIPLINE OF A TREE.

6: CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING COMPARABLE REPLACEMENT TREES FOR ANY EXISTING TREES THAT ARE FOUND BY THE CITY TO BE IRREPARABLY DAMAGED DUE TO CONSTRUCTION ACTIVITY.

PLANTING LEGEND

Symbol	Latin Name	Common Name	Quantity	Size	Mature Size	Spacing	Water Use Rating	Native Plant
Trees								
PLA ACE - 24" Box	Platanus acerifolia 'Columbia'	Columbia London Plane Tree	1	24" Box	80' x 40'	As Shown on Plan	M	Yes(Y) or No(N)
Shrubs								
RHA MON	Rhaphiolepis indica 'Monto'	Indian Princess® Indian Hawthorn	12	5 gal.	3' x 5'	5'-0" O.C.	L	N
Perennials								
ASP ELA	Aspidistra elatior	Cast Iron Plant	2	5 Gal.	3' x 4'	4'-0" O.C.	L	N
LOM BRE	Lomandra longifolia 'Breeze'	'Breeze' Dwarf Mat Rush	115	1 Gal.	3' x 3'	3'-0" O.C.	L	N

PLANT MATURE SIZE IS BASED ON 'LANDSCAPE PLANTS FOR CALIFORNIA GARDENS' BY ROBERT PERRY. PLANT SPACING SHALL NOT BE LESS THAN THE MINIMUM SPREAD AT MATURITY



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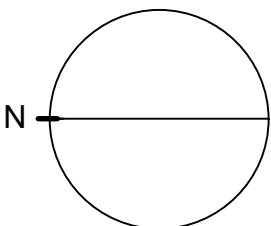


"I have complied with the criteria of City of Hayward Bay-Friendly Water Efficient Landscape Ordinance and applied them for the efficient use of water in the landscape and irrigation design plan."

PROJECT# 1912 DRAWN BY: JM

ORIGINAL DRAWING SIZE: 24" X 36"

SCALE: 1" = 10' - 0"



PLANTING PLAN

SHEET #

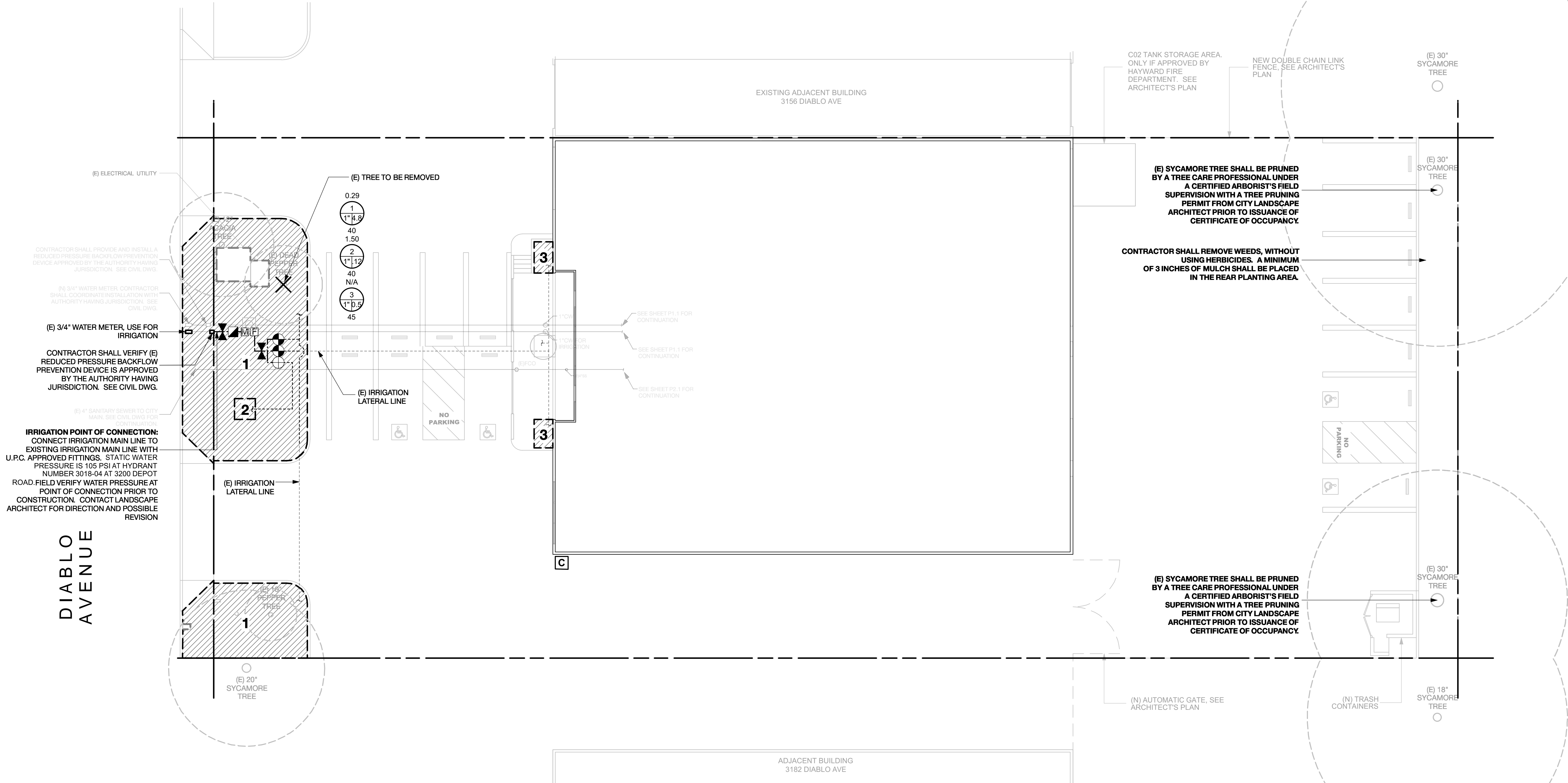
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TECHLINE CV QUICK INSTALL GUIDE

Estimating How Much Techline CV to Use

Multiply the square footage of the area x 12, divide that number by the minimum recommended row spacing from the General Guidelines Chart. (See back of sheet for more information.)

Fittings

- Techline CV fittings are recommended. They are the fastest to install, most economical and do not require clamps at pressures less than 50 psi.
- 1/2" Poly Insert fittings with clamps can be used.
- 700 Series compression fittings can also be used.

Low Volume Control Zone Kit

Pre-assembled valve, filter and pressure regulator is more convenient to use than separate valve, filter and pressure regulator.

Two Models Available:

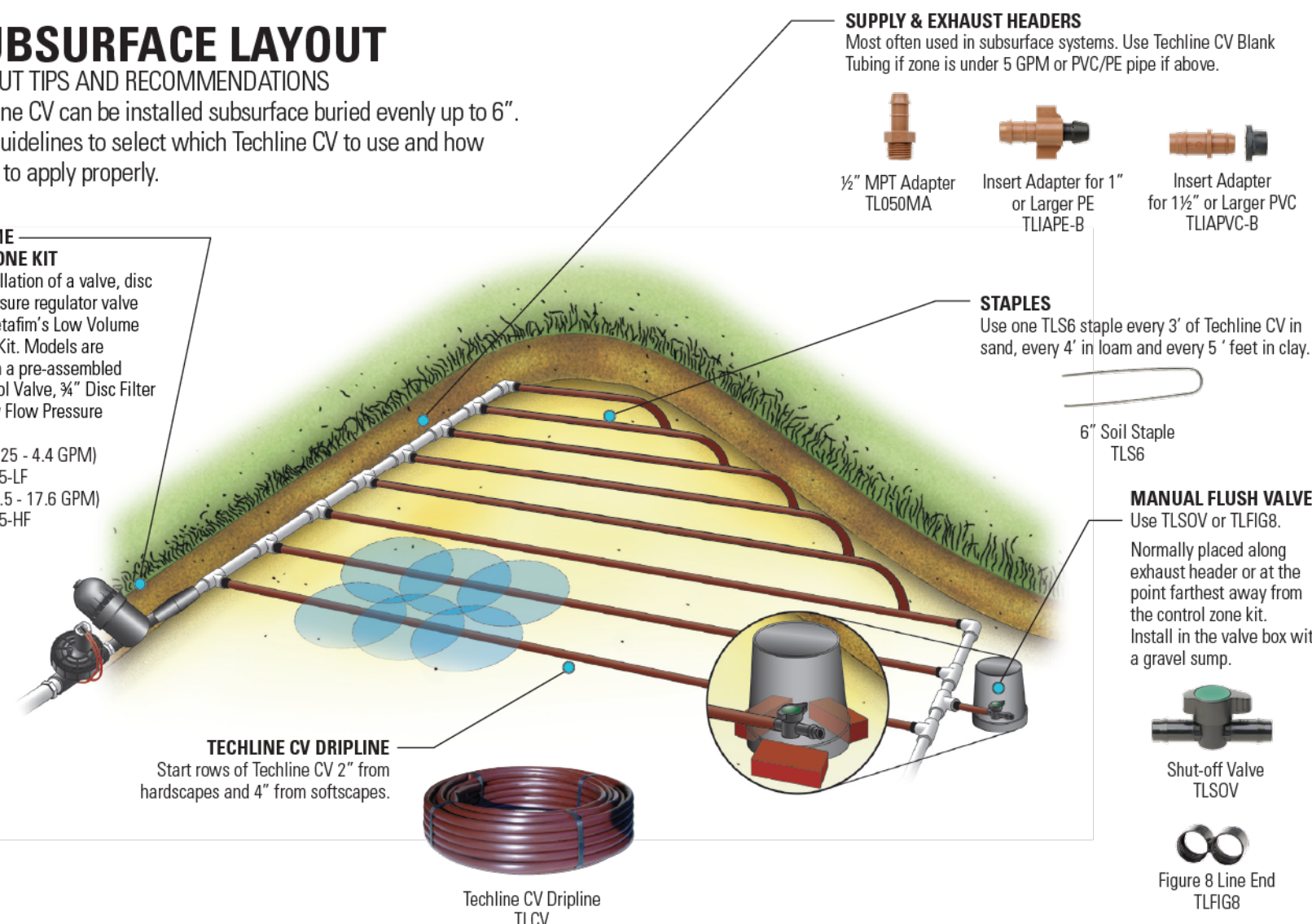
- Model # LVCZS8010075-LF (0.25 - 4.4 GPM)
- Model # LVCZS8010075-HF (4.5 - 17.6 GPM)

SUBSURFACE LAYOUT

LAYOUT TIPS AND RECOMMENDATIONS

Techline CV can be installed subsurface buried evenly up to 6". Use guidelines to select which Techline CV to use and how much to apply properly.

LOW VOLUME-CONTROL ZONE KIT
For easy installation of a valve, disc filter and pressure regulator valve (PRV) use Netafim's Low Volume Control Zone Kit. Models are available with a pre-assembled with 1" Control Valve, 3/4" Disc Filter and High/Low Flow Pressure Regulator.
Low Flow (0.25 - 4.4 GPM)
LVCZS8010075-LF
High Flow (4.5 - 17.6 GPM)
LVCZS8010075-HF



SUPPLY & EXHAUST HEADERS
Most often used in subsurface systems. Use Techline CV Blank Tubing if zone is under 5 GPM or PVC/PE pipe if above.

1/2" MPT Adapter TL050MA
Insert Adapter for 1" or Larger PE TLUAPE-B
Insert Adapter for 1/2" or Larger PVC TLUPVC-B

STAPLES
Use one TLS6 staple every 3' of Techline CV in sand, every 4' in loam and every 5' feet in clay.

6" Soil Staple TLS6

MANUAL FLUSH VALVE
Use TLS0V or TLSF6. Normally placed along exhaust header or at the point farthest away from the control zone kit. Install in the valve box with a gravel sump.

Shut-off Valve TLS0V

Figure 8 Line End TURF8

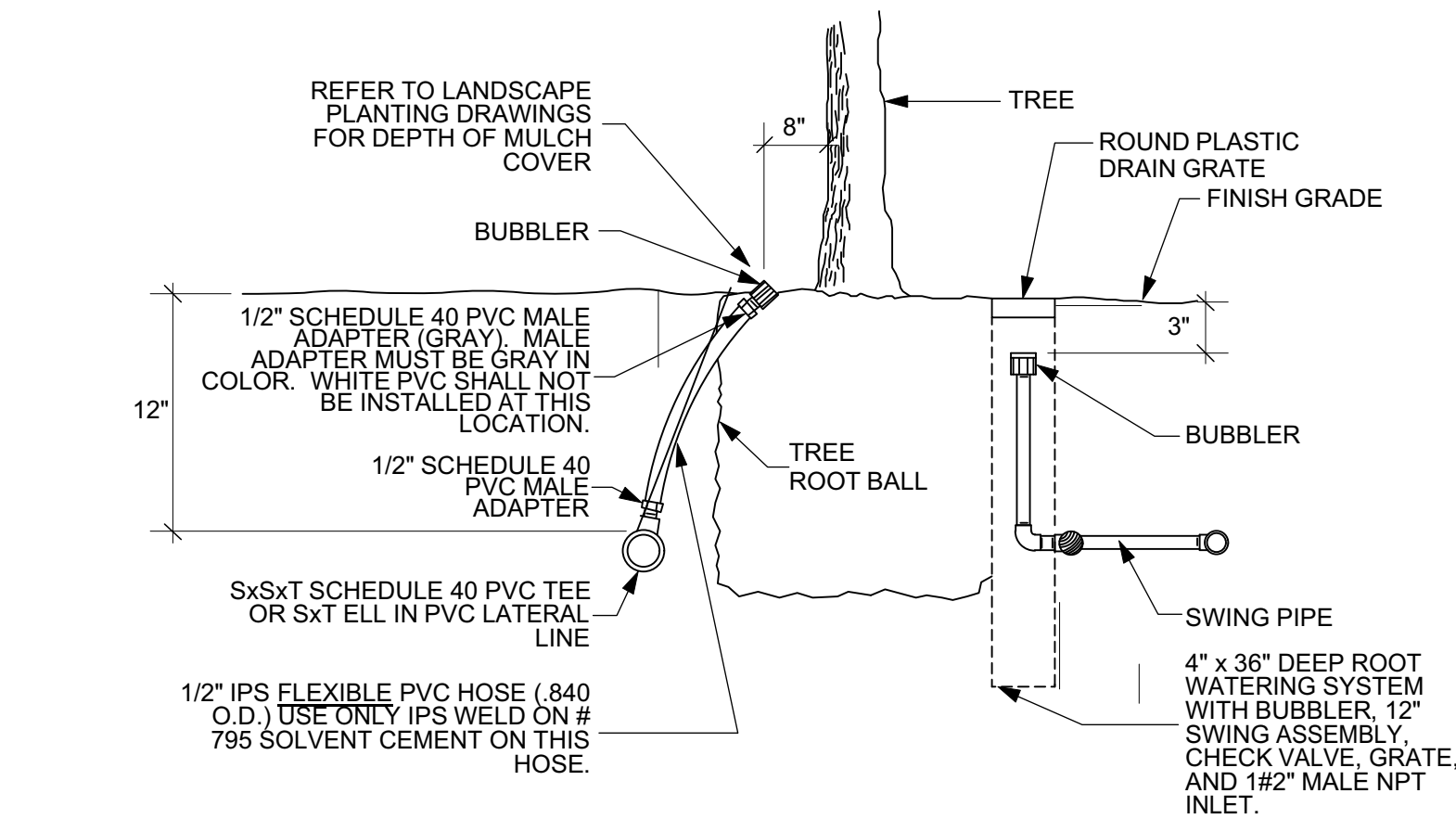
TECHLINE CV DRIPLINE
Start rows of Techline CV 2" from hardscapes and 4" from softscapes.

Techline CV Dripline TL CV

1

SUB-SURFACE DRIP IRRIGATION DIAGRAM

NOT TO SCALE



2

TREE BUBBLER DETAIL @ NEW TREE PLANTINGS

NOT TO SCALE



STEPS FOR CHOOSING AND APPLYING TECHLINE® CV

To determine the proper Techline CV to use on your project, you will need to know the following:

1. What are you irrigating - shrubs and ground cover or turf areas?
2. What type of soil do you have - clay, loam or sand?
3. How many square feet are going to be irrigated?

Use this simple formula for calculating approximately how much

Techline CV to use in the area.

- Multiply the square footage of the area x 12
- Divide that number by the minimum number of inches apart the rows should be (also called Lateral (Row) spacing)

This number is found in the General Guidelines chart. While this quick formula is not meant to replace an actual design and take-off, you will have a fairly accurate idea of how many feet of dripline you will need.

Refer to the General Guidelines Chart

For example, when irrigating shrubs in loam soil, choose Techline CV with 0.4 GPH (gallons per hour) emitters and 18" emitter spaces (emitters are spaced 18" apart inside the tubing). Note: the box in the General Guidelines chart highlighting the 0.4/18" column. This chart gives you important information including:

- How many inches apart the rows will go (18" - 24")
- To what depth you can bury the Techline CV (a maximum of 6")
- What the application rate is (0.29 in/hour with rows 18" apart and 0.21 in/hour with rows 24" apart)
- How long to run the zone to apply 1/4" of water (52 minutes for rows spaced 18" apart and 71 minutes for rows spaced 24" apart)

Refer to the Maximum Length of a Single Lateral Chart

Based on the Techline CV you choose (for our continuing example we will use 0.4/18" Techline CV), this chart will tell you how far you can run a length of Techline CV. Note: The maximum length of each lateral is dependent on the pressure at the beginning of the lateral. If the pressure is 45 psi, you can safely run a 0.4/18" Techline CV lateral up to 664'. If the pressure is 25 psi, the maximum length of the run of 459'.

The Flow per 100 Feet Chart tells you how many GPM (gallons per minute) and GPH (gallons per hour) the Techline CV will use.

Note: 0.4/18" example - every 100' will use 26.67 GPH or 0.44 GPM.

PRODUCT SELECTION GUIDELINE CHARTS

GENERAL GUIDELINES	TURF				SHRUB & GROUND COVER			
	CLAY SOIL	LOAM SOIL	SANDY SOIL	COARSE SOIL	CLAY SOIL	LOAM SOIL	SANDY SOIL	COARSE SOIL
EMITTER FLOW	0.26 GPH	0.4 GPH	0.6 GPH	0.9 GPH	0.26 GPH	0.4 GPH	0.6 GPH	0.9 GPH
EMITTER SPACING	18"	12"	12"	12"	18"	18"	12"	12"
LATERAL (ROW) SPACING	18"	20"	22"	18"	20"	22"	12"	14"
BURIAL DEPTH	Bury evenly throughout the zone from 4" to 6"				On-surface or bury evenly throughout the zone to a maximum of 6"			
APPLICATION RATE (INCHES/HOUR)	0.19	0.17	0.15	0.45	0.41	0.37	0.96	0.83
TIME TO APPLY 1/4" OF WATER (MINUTES)	81	90	99	33	37	41	16	18

Following these maximum spacing guidelines, emitter flow selection can be increased if desired by the designer. 0.9 GPH flow rate available for areas requiring higher infiltration rates, such as coarse sandy soils.

Note: 0.4, 0.6 and 0.9 GPH are nominal flow rates. Actual flow rates used in the calculations are 0.42, 0.61 and 0.92 GPH.

MAXIMUM LENGTH OF A SINGLE LATERAL (FEET)

EMITTER SPACING	12"	12"	12"	12"	18"	18"	24"
EMITTER FLOW (GPH)	0.26	0.4	0.6	0.9	0.26	0.4	0.6
20 psi	320	235	185	135	455	330	260
25 psi	405	295	235	175	575	420	330
35 psi	515	375	295	225	730	535	420
45 psi	590	435	340	260	840	615	485

FLOW PER 100 FEET

EMITTER SPACING	0.26 EMITTER	0.4 EMITTER	0.6 EMITTER	0.9 EMITTER
12"	26.67	0.44	0.70	1.00
18"	17.58	0.29	0.47	0.67
24"	Not Standard	Not Standard	30.50	0.51

NETAFIM COIL LABEL CODE KEY

FLOW RATE / SPACING	12"	18"	24"
0.26	▼	■	■
0.4	▼	■	■
0.6	▼	■	■
0.9	▼	■	■

Netafim Coil Label Code Key
Each coil has a label that is coded with color and graphic shapes for easy flow rate and emitter spacing identification. The Flip Side of the label includes a quick Station Run Time Guide.



NETAFIM USA
5470 E. HOME AVE.
FRESNO, CA 93727
CS 888.638.2346
www.netafimusa.com

TL050V 6/13

IRRIGATION CALCULATION

Appendix B – Water Efficient Landscape Worksheet.

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

City of Hayward Reference Evapotranspiration (ETo) 44.2

Hydrozone # /Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
1	0.30	DRIP	0.81	0.37	1,346.00	498.02	13,645.75
2	0.30	DRIP	0.81	0.37	22.00	8.14	223.04
3	0.50	BUBBLER	0.81	0.62	16.00	9.92	271.81
Totals					1,384.00	516.08	14,140.60
Special Landscape Areas							
Totals					0.00	0.00	0.00
ETWU Total							14,140.60
Maximum Allowed Water Allowance (MAWA) ^e							17,064.72

^aHydrozone #/Planting Description
E.g.
1.) front lawn
2.) low water use plantings
3.) medium water use planting

^bIrrigation Method
overhead spray or drip
or drip

^cIrrigation Efficiency
0.75 for spray head
0.81 for drip

^dETWU (Annual Gallons Required) =
Eto x 0.62 x ETAF x Area
Where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

^eMAWA (Annual Gallons Allowed) =
(Eto) (0.62) (ETAF x LA) + ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

All Landscape Areas

Total ETAF x Area	516.08
Total Area	1,384.00
Sitewide ETAF	0.37

Regular Landscape Area

Total ETAF x Area	516.08
Total Area	1,384.00
Sitewide ETAF	0.37

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas and 0.45 or below for non-residential areas.

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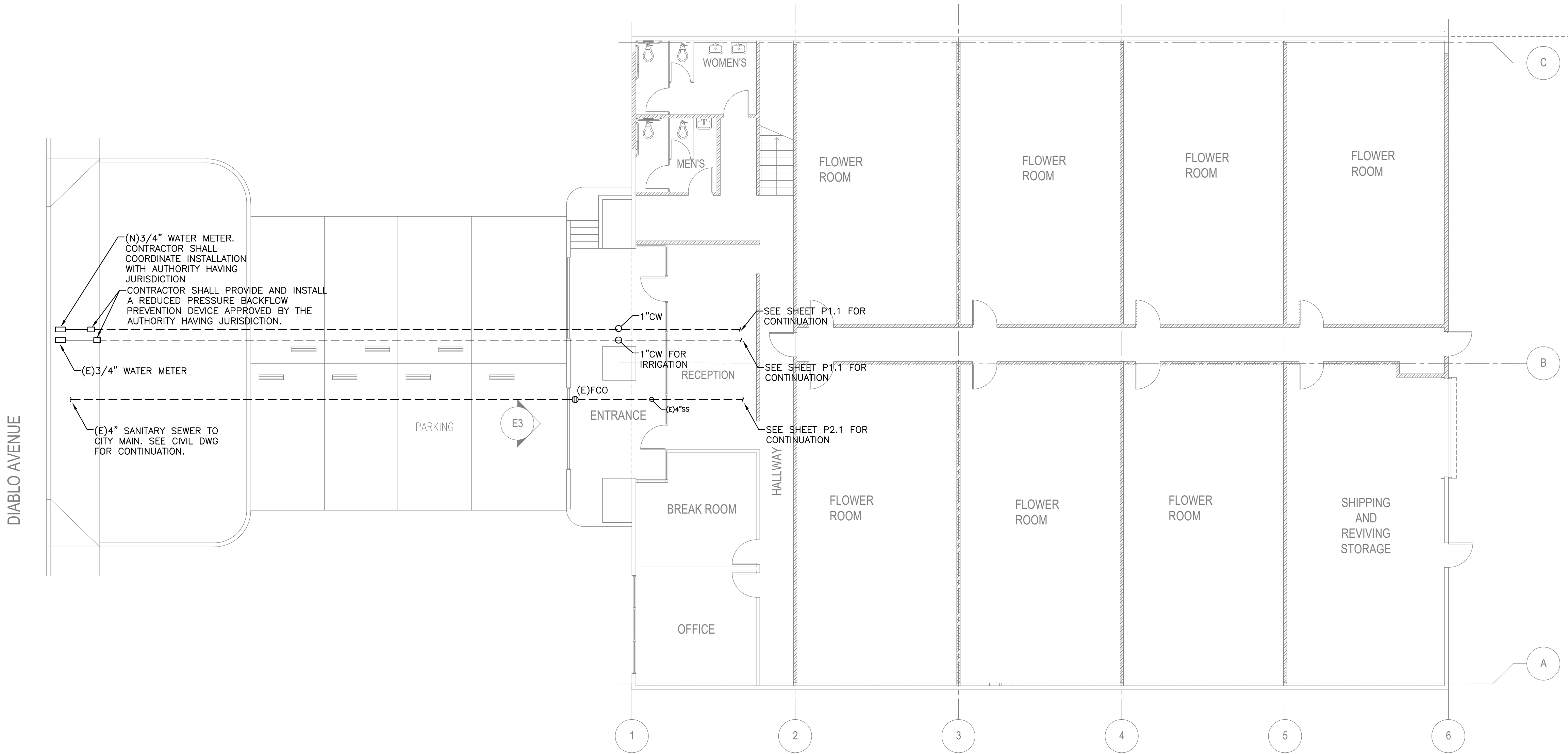
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SCALE: AS SHOWN

IRRIGATION CALCULATION

SHEET #

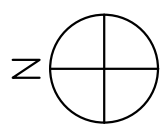
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PLUMBING SITE PLAN

3/16"=1'-0"

1



ISSUED	DATE
PERMIT SET	10.01.18

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HAYWARD, CA 94545

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DATE	--.--
DRWN BY	M.L.H.
CHK'D BY	M.H.
SCALE	AS NOTED

SHEET DESCRIPTION
PLUMBING

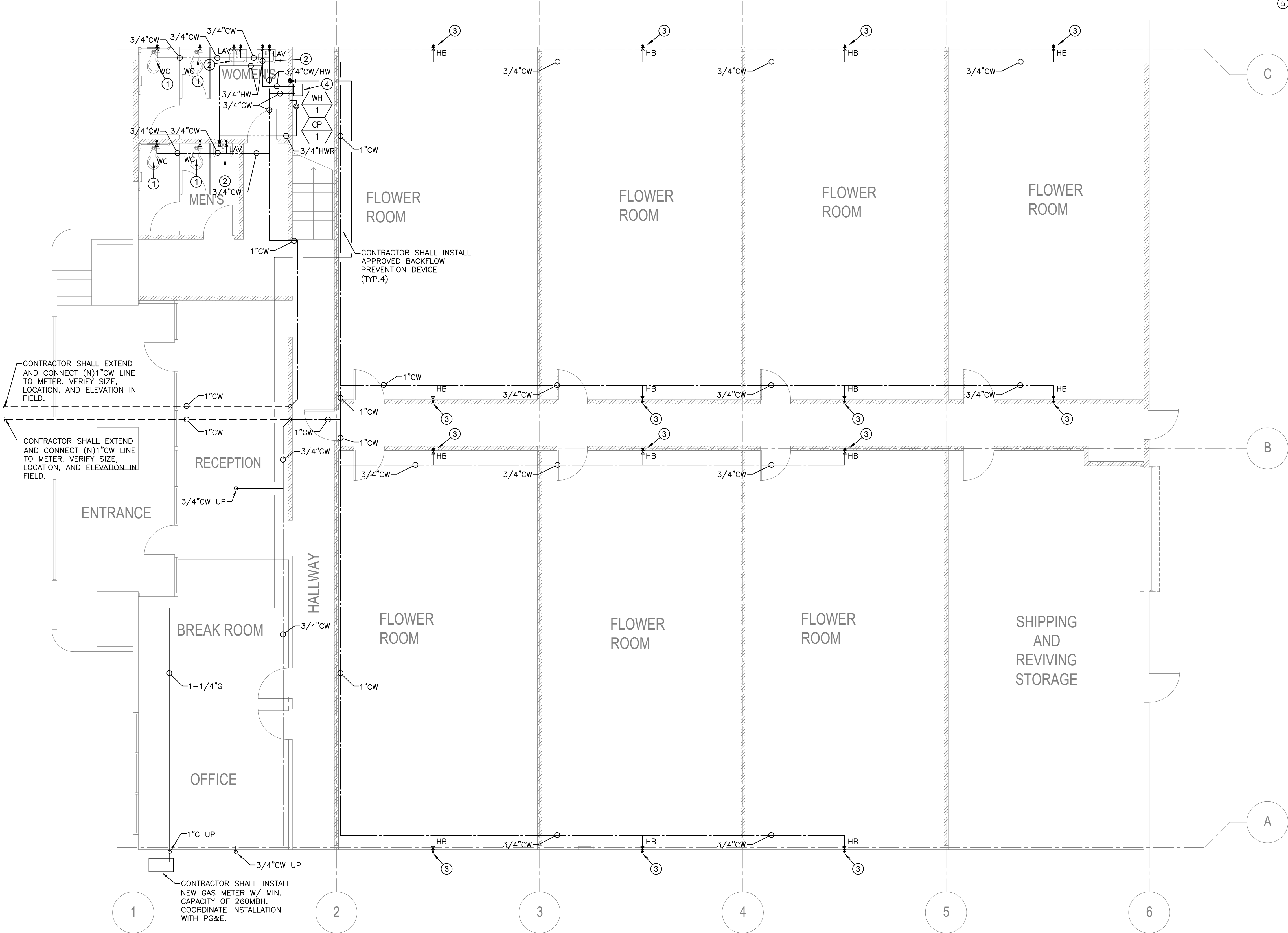
SITE PLAN

SHEET NO.

P1.0

SHEET NOTES :

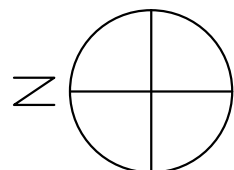
- ① PROVIDE & CONNECT 1/2"CW, 4"S, AND 2"V TO WATER CLOSET
- ② PROVIDE & CONNECT 1/2"CW/HW, 2"S, AND 1-1/2"V TO LAVATORY
- ③ PROVIDE & CONNECT 1/2"CW TO HOSE BIBB
- ④ PROVIDE & CONNECT 3/4"CW/HW, 1-1/4"G WITH SHUT-OFF VALVE TO WATER HEATER
- ⑤ POINT OF CONNECTION. VERIFY LOCATION, SIZE & ELEVATION IN FIELD.



PLUMBING CW/HW/GAS 1ST FLOOR PLAN

3/16"=1'-0"

1



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PERMIT SET

DATE

10.01.18

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3166 DIABLO AVENUE
HAYWARD, CA 94545

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DATE
DRWN BY
CHK'D BY
SCALE

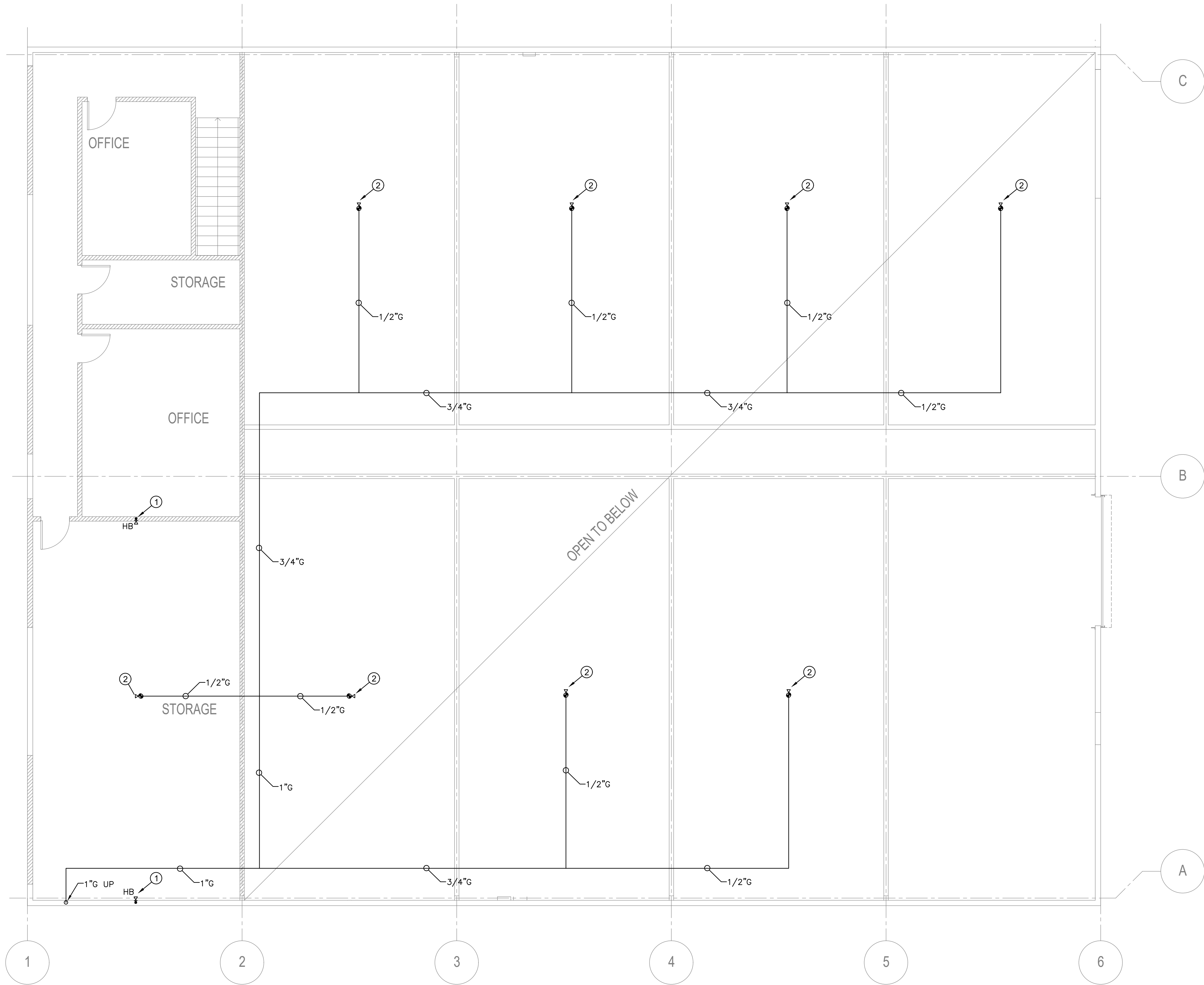
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PLUMBING

CW/HW/GAS 1ST FLOOR
PLAN

SHEET NO.

P1.1

- SHEET NOTES :
- ① PROVIDE & CONNECT 1/2"CW TO HOSE BIBB
 - ② PROVIDE & CONNECT 1/2"G WITH SHUT-OFF VALVE FOR FUTURE USE



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DATE	--/--
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SCALE	AS NOTED

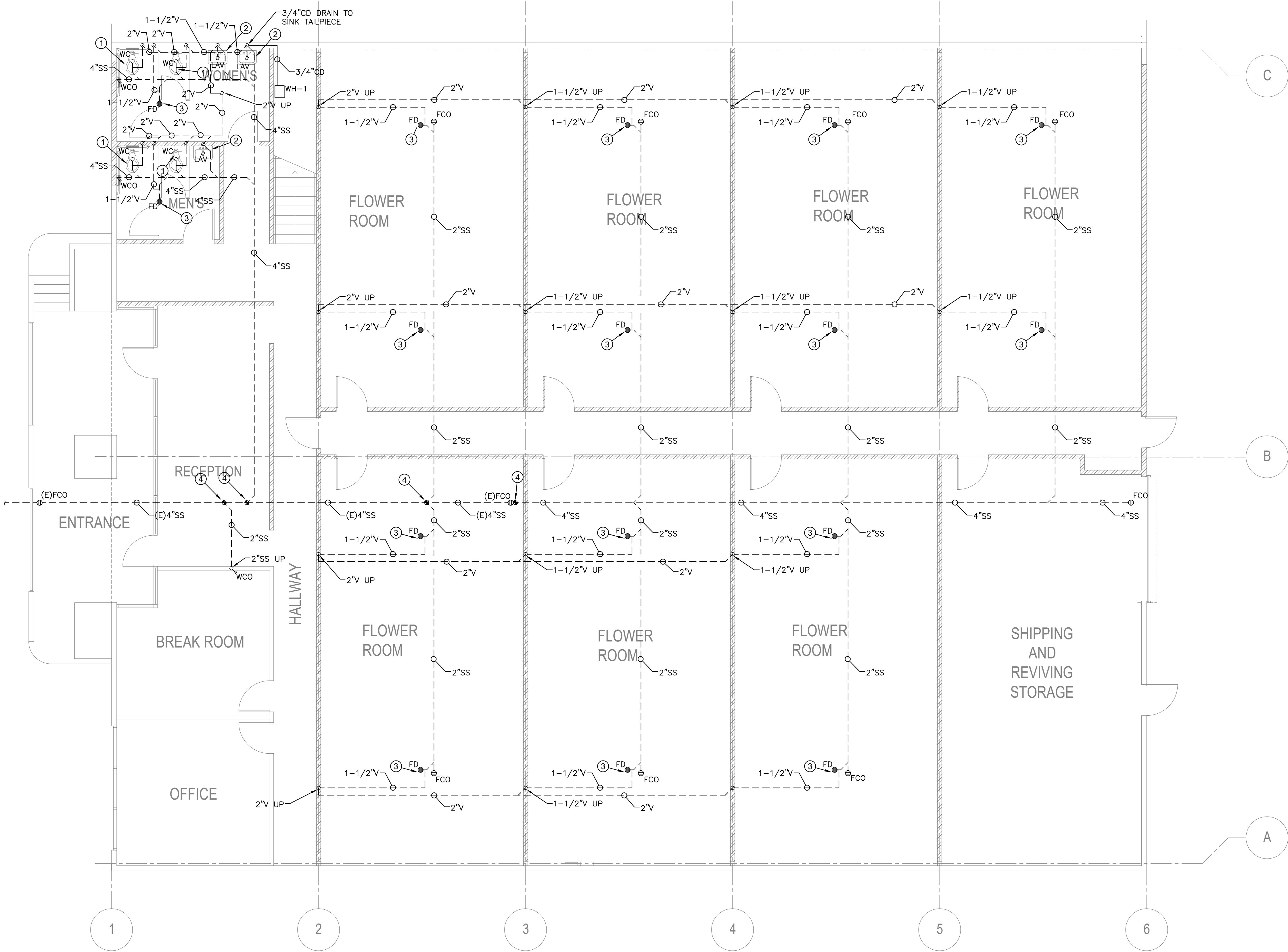
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CW/HW/GAS 2ND FLOOR
PLAN

SHEET NO.
P1.2

SHEET NOTES :

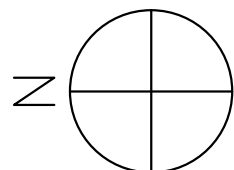
- 1 PROVIDE & CONNECT 1/2"CW, 4"S, AND 2"V TO WATER CLOSET
- 2 PROVIDE & CONNECT 1/2"CW/HW, 2"S, AND 1-1/2"V TO LAVATORY
- 3 PROVIDE & CONNECT 2"S, 1-1/2"V TO FLOOR DRAIN, 1/2"CW TO TRAP PRIMER
- 4 POINT OF CONNECTION. VERIFY LOCATION, SIZE & ELEVATION IN FIELD.



PLUMBING SEWER/WASTE/VENT 1ST FLOOR PLAN

3/16"=1'-0"

1



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PERMIT SET 10.01.18

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CHK'D BY M.H.
SCALE AS NOTED

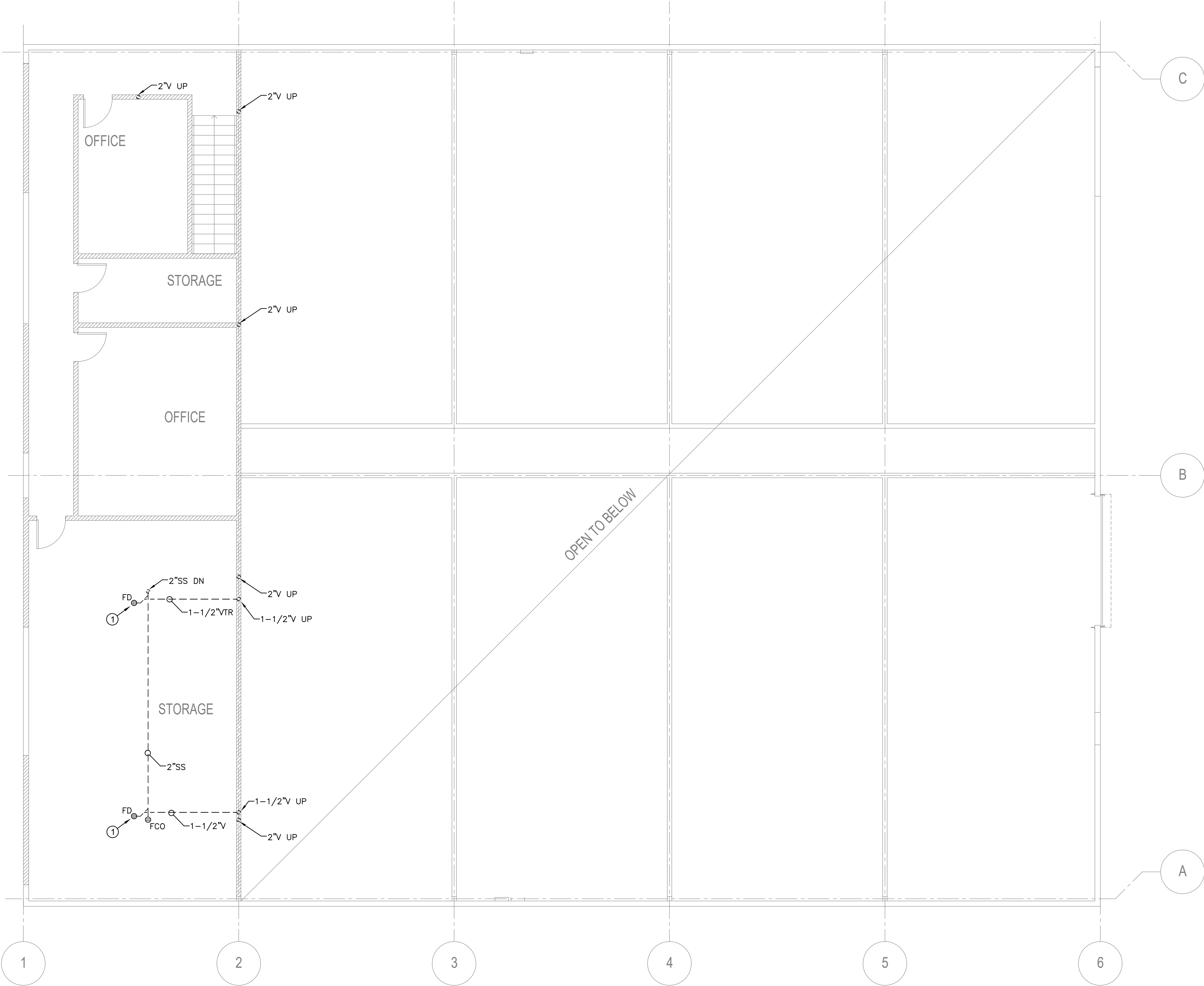
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PLUMBING

SEWER/WASTE/VENT 1ST
FLOOR PLAN

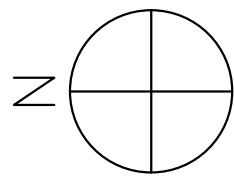
SHEET NO.

P2.1

SHEET NOTES :
① PROVIDE & CONNECT 2"S, 1-1/2"V TO FLOOR DRAIN, 1/2"CW TO TRAP PRIMER



PLUMBING SEWER/WASTE/VENT 2ND FLOOR PLAN 3/16"=1'-0" 1



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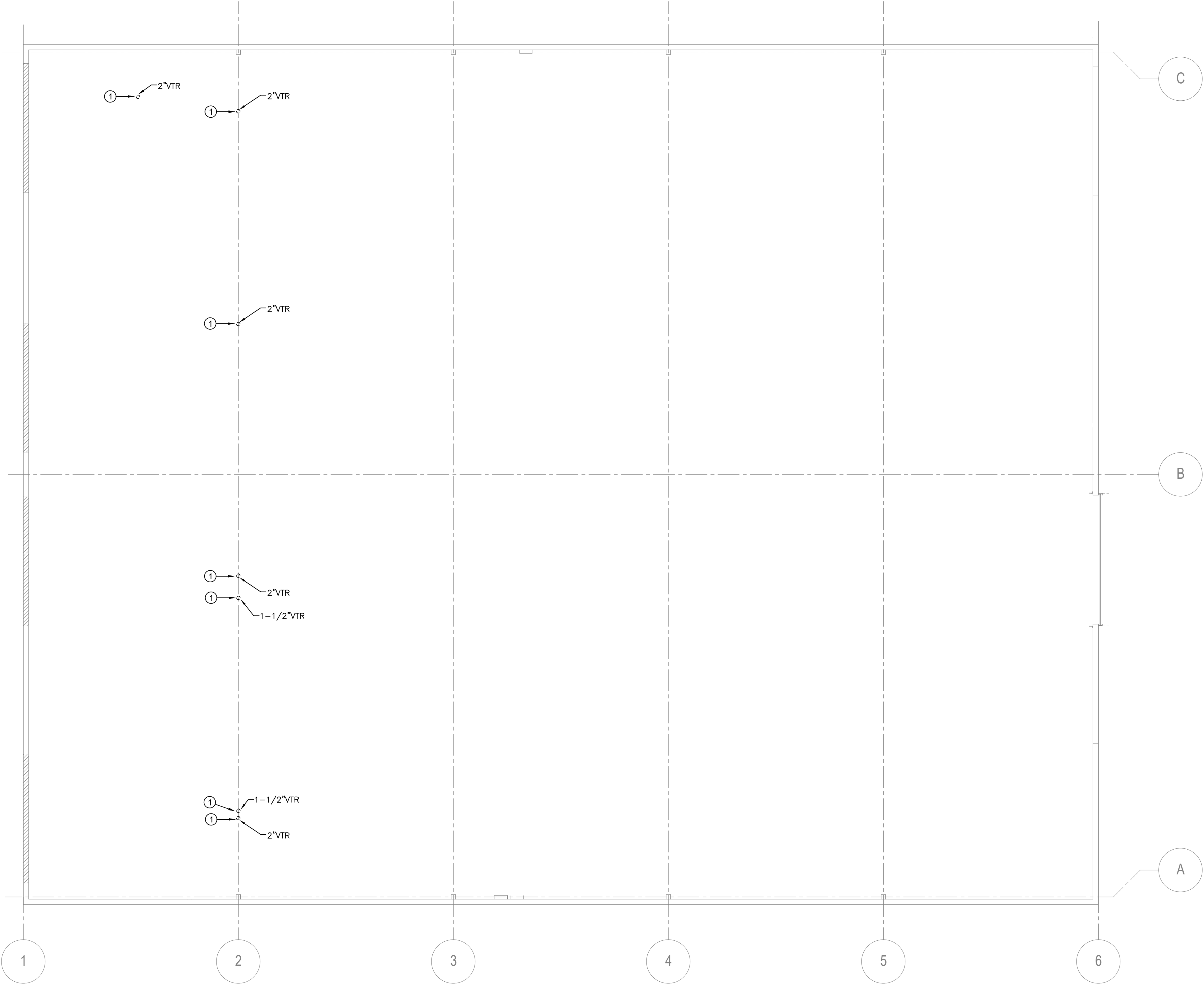
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DRWN BY	M.L.H.
CHK'D BY	M.H.
SCALE	AS NOTED

SHEET DESCRIPTION
PLUMBING

SEWER/WASTE/VENT 2ND
FLOOR PLAN

SHEET NO.

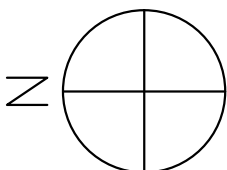
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SHEET NOTES :

- ① PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 10 FEET FROM, OR NOT LESS THAN 3 FEET ABOVE, AN OPERABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT, OR NOT LESS THAN 3 FEET FROM A LOT LINE.

PLUMBING SEWER/WASTE/VENT ROOF PLAN	3/16"=1'-0"	1
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DATE	--.--
DRWN BY	M.L.H.
CHK'D BY	M.H.
SCALE	AS NOTED

SHEET DESCRIPTION
PLUMBING

SEWER/WASTE/VENT
ROOF PLAN

SHEET NO.
P2.3

Hidden Farms Cultivation

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Hayward Supplemental CUP Questions

a. The proposed use is desirable for the public convenience or welfare;

As detailed in our business plan we will sell our products to Hayward and other nearby retailers and distributors. This will ensure local residents receive quality product at affordable prices as transportation costs will be significantly decreased.

We will also seek to improve the welfare of Hayward residents by opening a Project Wreckless program in Hayward. Project Wreckless is a capacity development program targeting youth in our community that are more likely to drop out of school, abuse substances, and/or engage in criminal activity. Project Wreckless provides tools for life through an immersive curriculum centered toward the restoration of one-of-kind show cars. We don't just provide tools and support. We expect more of our youth so they gain the confidence to expect more of themselves.

Each of the Project Wreckless programs provides the at-risk youth with tools for life. One program allows 12 at-risk youth and one car the opportunity to rebuild it from start to finish by cycling through seven job functions, each with a unique set of responsibilities. Each of the 12 members have the opportunity to collaborate with each other learn hands-on practical skills of rebuilding a car as well as fiscal responsibility to adhere to the project's budget. Each of the seven job functions challenges are of 12 team members to expand their own capabilities.

By implanting a Project Wreckless program in Hayward, we will increase safety in the neighborhood by providing at-risk youths with hope, opportunity, and life skills.

b. The proposed use will not impair the character and integrity of the zoning district and surrounding area;

The zoning district of our proposed location is the Industrial zoning district under the Industrial Corridor district of the General Plan. Typical building types include warehouses, office buildings, research and development facilities, manufacturing plants, business parks, and corporate campus buildings. The corridor is expected to grow as an economic and employment center. Our proposed use fits squarely into the type of building uses allowed in that Corridor and, as demonstrated by our submitted business plan, we will help the area grow economically and become an employment center. Furthermore, under Hayward municipal code, industrial zoning district uses include the use and storage of hazardous materials much more harmful than cannabis.

c. The proposed use will not be detrimental to the public health, safety, or general welfare; and

As detailed by our Community Benefits Plan, Operations Plan, and Security Plan, our operation will be an improvement to the community rather than a detriment. We will create a program for disadvantaged youth, which will improve the safety of the public. As detailed in our operations plan, we will strictly enforce procedures to ensure compliance with all local and state regulations. We will ensure all products pass state required testing prior to reaching any consumer. We also have implemented a quick recall procedure if any products are found to have been contaminated. Lastly, our detailed safety procedures are above and beyond that required by the state. Safety is our number one priority, which includes safety of our facility and products. We take pride in offering the community a beneficial relationship with a cannabis business and will seek to increase the public health, safety, and general welfare with our operation and products.

d. The proposed use is in harmony with applicable City policies and the intent and purpose of the zoning district involved.

As indicated above, our use of the proposed property is in line with the Industrial Zoning District, in which it sits. Additionally, the use will further the express intent of the Industrial Corridor by helping the Corridor grow into an employment center and grow economically. Our proposed commercial cultivation use expressly aligns with the intent and purpose of the property's zoning district.

1. The proposed cannabis use will not be detrimental to the public health, safety, or general welfare in that the cannabis operation is situated in an appropriate location where sensitive land uses will not be adversely impacted;

The closest school, Eden Gardens Elementary School, is 4,202 feet from the proposed location. The closest park, Mt. Eden Park, is approximately 1.26 miles from the proposed location. Eden Landing Ecological Reserve is the closest open space to our location at approximately 4,384 feet away. The closest library to the proposed location is Brand Library, which is the Chabot College library, and that is approximately 4,686 feet away. These distances have been measured from the closest boundary line of our proposed property to the closest boundary line of each aforementioned sensitive use location.

Given our proposed location's significant distance from all sensitive uses, a commercial cannabis use at that location will not be detrimental to the public health, safety, or general welfare.

2. Appropriate measures have been taken to address nuisances related to odor, noise, exhaust, and waste related to the cannabis operation;

Our operation will create little waste. Most of the plant by-products will be utilized and sold to licensed distributors and/or licensed producers. The remaining waste will be used to create our own composting material on site and reintroduce to the production. Also, any remaining waste that cannot be used as composting material will be stored on-site until our third-party hauler can pick up the waste. Other than the limited cannabis waste our operation will produce little other waste. Our HVAC system will be equipped with UV air purifiers and tube charcoal filters to ensure no cannabis odor is emitted through the exhaust.

Additionally, all entry-ways to our grow room will remain closed except when necessary. All grow room must be self-contained and enclosed within the property to ensure no light or inadvertent heat leaves the room. This will also prevent odor from escaping those areas. The cultivation areas will also have continuously running fans, but those too will be enclosed in the cultivation area to prevent noise escaping the property. From the outside of the property a passerby will have no knowledge that the property contains a commercial cannabis operation inside the walls.

3. The cannabis operation is designed to be safe, secure and aesthetically compatible with the surrounding area; and

The proposed location is centered in an industrial zoning district and the surrounding buildings have a uniform industrial/office exterior, including our proposed building. As detailed in the submitted plans, we are not proposing any major changes to the aesthetics of the building's exterior. Our proposed changes to the exterior consist of changing two roll-up gates into stucco walls that will match the existing exterior walls.

In addition to keeping the surrounding area aesthetics, we will also ensure our location is safe and secure. As further detailed in our Security Plan, we have gone over and above the state requirements. Our security systems will provide as a deterrent for the area and will prevent any potential intruder from breaking into our facility. Our plan also includes a quick response by a security personnel if our system is triggered.

4. The cannabis operation will not place a burden on the provision of public services disproportionate to other industrial or commercial uses.

As further detailed in our Security Plan, we have gone above and beyond what is required by the state in terms of security. In addition to ensure no intruders enter into our facility, such security measures act as a deterrent for any potential intruder. By deterring any potential criminal actions, we will not require any additional emergency services than other industrial or commercial uses.

Our proposed operation will be energy sufficient, sustainable, and generate little waste. After the first few months of operations, so we can determine our baseline energy needs, we will install solar panels and a custom grid. This will allow us to maximize our energy efficiency and lower our energy consumption from the public lines. We anticipate to have the solar system installed and running within nine months of operation. In addition to the solar panels, we will create energy sufficient grow rooms with insulation and high rated stud walls and ceiling joists. The energy efficient construction will allow us to keep our energy consumption low while maintaining the necessary growing conditions. The equipment we will utilize to maintain those growing conditions will also be energy efficient and consume little energy. We will install a LG Gen V Multi-V Ductless system. The system will utilize heat recovery that transfers excess heat byproducts from our grow rooms to heat other rooms in the building. This system uses less material, less energy, and makes less noise than other systems. Therefore, our operation plans to take a proactive role in cutting our energy consumption and becoming more energy efficient. With those proactive steps, our operation will not carry a disproportionate strain on the City's energy grid as compared to other or similar industrial uses.

In completing our proposed build-out we will install a drip irrigation system made by Dosatron. The drip system will be run by an automated timing system to eliminate any potential human error. Those systems will allow our operation to have little to no runoff. We will also install a collection system for all water condensation produced by our air conditioning systems and dehumidifiers. That collection system will collect approximately 97% of the water byproduct to be utilized in our grow operation. By limiting our water usage through our drip system and collecting byproducts from our other systems we will limit our water usage to an amount that would not be disproportionate to other industrial uses.

As mentioned above, our operation will create little waste. Most of the plant by-products will be utilized and sold to licensed distributors and/or licensed producers. The remaining waste will be used to create our own composting material on site and reintroduce to the production. Also, any remaining waste that cannot be used as composting material will be stored on-site until our third-party hauler can pick up the waste. Other than the limited cannabis waste our operation will produce little other waste that would not exceed the amount of waste produced by other industrial uses. Our operation will actually produce less waste than similar uses.

Odor Mitigation Strategies

Charcoal Carbon Filters and Exhaust/Intake

In the cultivation, productions rooms and Cannabis storage room fresh air will be brought in through HEPA filters from roof mounted fans. When the fresh air intake fans are not in use, they will have automatic shut off damper that will close at the same time the fan turns off. Each cultivation room will exhaust into the common hallway which will have the building exhaust fan and will have two exhaust outlets each with a three-stage carbon filters. Another important way of controlling odor from leaving the facility is to create a negative pressure environment so a suction is created using the mechanical system and air is sucked into the rooms rather than pushed out which greatly helps reduce odors from escaping. So, when doors are opened into either the cultivation room, the storage rooms or the hallways air will be sucked into them rather than smells being pushed out.

Filtration Units

Each cultivation, production room & Cannabis storage will have two (2) CLEANLEAF CFP dual charcoal filters installed on the ceilings circulating and filtering air. Four (4) CLEANLEAF CFP units will also be installed in the common space hallway as well as two in the shipping/receiving area. As the air passes through each carbon filter the odor will be cleaned and deodorized. Active charcoal carbon filters are the most effective at removing chlorine, sediment, volatile organic compounds (VOCs), taste and odor. Typical particle sizes that can be removed by carbon filters range from 0.5 to 50 micrometers. The HVAC Fan coil units will also have UV Filters installed in the ducting to help kill any organic microbes and eliminate some organic odor causing VOC's. These filters will be strictly changed and maintained based on manufacture recommended intervals.

Room Construction

All interior walls and ceilings will be framed out to create self-contained envelope within the building envelope. These 2x4 walls and 2x6 ceilings will have Medium and High-Density Spray Polyurethane. The Spray Polyurethane is a closed cell foam that will prevent any air or odor to move through walls. All penetrations will be sealed and caulked to prevent any air leaks.

Perimeter Seals & Gaskets

All interior cultivation & production room doors will be exterior rated with air seals on the perimeter and bottom sills similarly like you would find on a front door of a modern home. Each Door will also have a commercial rated self-closing door closer that will prevent people from leaving the doors open for any longer then is needed to enter and leave the room.

Air Circulation

It is essential to have movement of air inside the production areas of the facility not only is it important for the plants to get CO₂ but it helps to prevent hot spots and lingering odors. Each Cultivation room will have fifteen (15) industrial 20" circulation fans installed on the walls for good circulation of air so the charcoal filters get constant supply of new air so they can remove any VOC from the rooms.

Environmental Controls

To prevent destructive environment conditions that can increase plant odor, an LG AC SMART II environmental control system will be installed to regulate temperature and humidity, as well as control air circulation inside all cultivation rooms. The AC SMART II is LG's most advanced central controller. The

AC Smart II delivers unparalleled options for Multi V system management and administration from a central location & and online.

Odor Controlled Product Storage

Cannabis will be stored in a locked, odor-proof locker that will be constructed to meet Drug Enforcement Administration (DEA) security requirements on the second-floor storage room. The interior will be lined with charcoal filter screen by Resinta. Interior drawers will be built into the vault to store MMJ products and will also be lined with charcoal filter screens. Resinta screens are an Eco-friendly material: made of high-quality activated carbon, with good absorbent and filterable effect.

Odor Proof Containers and Distribution Packs

All cannabis products on site will be stored in air tight Rubber Maid plastic containers and glass containers. All products leaving to distribution operators be handed a full packaged product in an air sealed odor proof packaging. The product will be in Poly Utility Bags, .68 Mil Gauge that are approved by the FDA for sanitary food storage.

CO2 Monitoring

The building will have integrated CO2, Carbon Monoxide Monitor life safety systems with audible and visual alarms by Ax60+ Carbon Dioxide Monitoring Systems. The systems are engineered for a simple 16 channel gas monitoring system with warning devices and sensors controlled from one main control panel through to a fully zoned up to 48 sensors with connection to the BMS and an interactive mimic diagram with LED indication in each room and outside of each room, green LED's and flashing red flashing LED's. On the occasion when the gas levels reach the main red warning pre-set alarm level, the Red LED's will illuminate and the system will activate the room warning devices. The warning devices have an integral sounder and this can be muted from the main panel, an external reset button allows the user to reset the system. The system connects directly to the ventilation control system.

Security Plan

General security policies and protocols to be implemented, including: 720P HD Security surveillance IP cameras with 30 frames per second and infrared night vision outside monitoring 24-hour of all work rooms, loading, receiving and outdoor spaces (all spaces other than private offices, break rooms and bathrooms), on site security during business hours Monday-Saturday 9am to 6pm, third-party security/patrolling company after hours from 6pm to 9am Monday-Saturday and all day Sunday- this company will also be reviewing our security camera footage, product security and delivery security. This includes electronic ingress and egress access: perimeter security; internal security measures to restrict and/or control area specific.

Secure Storage

Finished product will be stored in room 13 on the second floor that will have a high security door (see page A-1.1 of the plan set). All product will be labeled and tracked through a barcode tracking that uses METRC software from planting to harvesting until the product leaves our warehouse. California has selected Metrc as the state's track-and-trace system used to track commercial cannabis activity and movement across the distribution chain ("seed-to-sale"). Each plant will be labeled with a barcode to track the amount of flower cultivated off each plant. Once the flower is trimmed, it will be packaged and a new label created showing the weight, type and other relevant information. Any flower ready for consumption will immediately be placed in packaging and tracked by the system. Any product that is packaged but still in the warehouse will be placed in a storage room on the second floor which will be under 24-hour camera view until a distributor picks it up. The distributor will sign off on the quantity and type of product they receive which will then be logged in our system.

As the product gets transferred from room to room through the growing and cultivation process, it's barcode will be scanned always showing the current location.

Each room will be under 24-hour camera view and each room will be under electronic key only giving access to those employees who have the clearance to be working in the appropriate location at that particular time.

Delivery Security/ Ingress and Egress

At all operating hours at least two employees will be in the building. All staff will have their own electronic RFID keys that they will have to be used to get in/ out of the building as well as through the various controlled access rooms. The S2 Security system will allow us the ability to control which employees are given access to which parts of the building and also to log who enters and leave controlled rooms.

All staff are required to enter/exit the property through the front door which will be enforced through the electronic key system. All deliveries and pickups (of cannabis or other) will be done by appointment only and through the back-loading dock. The vehicle will call through the video intercom to get access through the gate into the backyard. The delivery personnel will then ring the doorbell to the loading dock where they can be seen on video before the loading dock door will be opened by the staff inside. The loading dock will never be opened at the same time as the gate leading to the backyard.

Each ingress/egress point on the property will be under 24-hour security camera watch. When someone, such as a delivery person, needs access into the building, they will ring a doorbell which will bring up that particular camera on the security monitors. Before the door can be opened, the person will be verified by the staff as someone expected.

Perimeter Security & Structural Modifications

- The back fence will be reinforced with double chain link to increase the difficulty of cutting into the fence line. Opaque mesh will be installed over the fence to limit visibility.
- All but one loading dock on the back and front of the warehouse will be closed up.
- The one existing front-loading dock is raised from street level to prevent vehicles from ramming the gates.
- Metal pedestrian doors will be placed for staff access into the production & storage areas of the warehouse. Each door will automatically close through the electronic magnetic lock system.
- The storefront on the right side of the building will have decorative metal grills installed on the inside to prevent break ins. The glass entry will be protected by Steel Security Roll Up Door shown on Plans A-1.1.
- The overall look of the warehouse will be the same to the neighboring buildings.
- Our protocol is to call the Hayward Police Department immediately after an attempted break in or break in. The police will also be called if there is someone caught in the act of vandalism. It will be our company policy to not attempt to confront or stop active break ins or vandalism in order to keep our staff safe. We will desire full prosecution as we want to deter future criminal acts against our property or our neighbors.

Electronic Security

- Dynamic Security Technologies has been contracted to install a S2 Net VR Camera System with Security Access control integration.
- All cameras will be in HD. We are using S2 Net VR Camera System 720p. The system will have 720 Pixel Resolution. The video and security system will be integrated so that it even creates a log of when people use their key cards to enter a room. Hayward Police Department will be provided viewer access to the video system.
- All electronic systems (video and access control) will be on an independent uninterrupted power source to prevent system resets and errors in case of power outage before the secondary generators turn on back up battery will be located in the shipping receiving area next to the new switch gear.
- Cameras will be placed on every entry point into the building along with all access points through the building. Cameras will also be placed in each room from multiple angles to ensure every person inside the warehouse can be seen at all times. Anyone traveling from one area of the warehouse to another can also be tracked. All cameras will be equipped with infrared capabilities for night and off-hour viewing as well as 720P resolution and 90-day storage.
- Exterior cameras will be mounted on the building giving a view around the entire perimeter including the backyard, side yard, front yard, and onto the street to see direction of travel of vehicles. All exterior cameras will utilize multi-lens systems providing a 180 degree or wider view eliminating the need for pan-tilt-zoom cameras.
- All cameras can be pulled up live and for review by remote access on any device (computer, cell phone, pad) by Management or Hayward Police Department. 24-hour monitoring will also be done by a third-party security company Dynamic Security Technologies out of Hayward
- All landscaping on property will be cut back to ensure camera views are not obstructed.
- Each entry location will be set to a master alarm system that will be monitored by the same third-party security company that does the camera monitoring. Motion alarms will be set up through all rooms and hallways. The system will be activated by zone as needed depending on the operations

for the day. All alarms will send notifications to the cell phones of specific Managers and Owners for immediate resolution.

- Electronic key access will be set on each interior and exterior door allowing each employee to enter with their own individually coded fob. This will help limit access to certain parts of the warehouse based on need and will help track employee motion.
- The S2 Security access control system will be integrated with the S2 Net VR Camera video management system to automatically "call up" cameras when a programmed event occurs such as the opening of a door either by proper access or forced including access log.
- All electronic security systems' hardware will be housed internally inside a locked closet in the Down Stairs Private Office. The systems will all be remotely accessible via the Internet by Management/Ownership & Hayward Police Department. All alarms will go out to the On-Call Manager's cell phone from which cameras can be pulled up. The cameras will also be remotely monitored by a third-party security company 24-hours.
- Dedicated temperature control sensors will be installed in the IT room/closet which will alarm if the system starts to overheat.
- In case of power outage exterior access-controlled doors will be programmed to fail secure; this means they'll be locked from the outside, but available for egress in case of emergency.

All prepared product will be stored in room 13 on the second floor that will have a high security door (see page A-1.1 in the plan set) to which only Management and Ownership have access. Any large movement of cultivated product within the warehouse or for transport out of the warehouse will require a Manager's presence. All products will be weighed and logged by the Manager for tracking purposes.

Access

- No customers or guests are permitted on property. Only designated staff scheduled for work will be onsite. All meetings with non-staff members will be held off site.
- No one is permitted to loiter or hang out on the exterior of the property. Anyone leaving the warehouse must go straight to their vehicle and exit the lot. Anyone coming to the warehouse must park their vehicle and walk straight into the warehouse without deviating.
- Management or Security will escort all unknown individuals off the property.
- All unknown vehicles will be towed from the property if not claimed by any party.
- All staff must park in a designated lot with camera coverage, in both the front and rear of the building.
- Management and Ownership will have their own electronic fobs for access. All other staff will have to enter through the front entrance. Each designated entrance location will have a call button that connects to the security system. All individuals ring for access will be verified via cameras and will be permitted to enter accompanied by an escort.
- All staff will be escorted out of the building to ensure their safety on the exterior.
- The locking system for the front and rear doors will utilize top and bottom latches that comply with fire exiting. They will also be electronically controlled and have a fail secure feature. The front will also get a roll up security grate that would be locked after business hours.
- The only usable delivery rollup door will be located in the rear parking lot of the building. There will be an upgraded security gate that will need to be unlocked in order to drive to the rear of the building. The delivery vehicles will then pull into the shipping and receiving area at which point the rollup door will be closed so product can be loaded securely into the vehicles.

Employee Training

- All protocols and directives are created by Management/Ownership and disseminated to the staff through direct face-to-face instructional interaction. Supervisors are required to sign-off all staff for any task before they are permitted to complete said task on their own.
- We estimate approximately 12-14 people will be hired.
- For any emergencies or anything out of the ordinary, staff is required to immediately contact their supervisor for direction.
- A Reference, Operations, and Safety Manual will be created and left onsite for reference. Each staff member will read through, get hands on training on each relevant topic, and will be signed off for receipt and completion of each manual.
- A supervisor emergency response team will be created to guide staff to appropriate exits, search all spaces to be sure no one is left behind, and conduct a roll call at the designated evacuation rally point to account for all staff in the event of an emergency. Designated team members will also provide access to and direct emergency responders as needed.
- All new employees are required to attend and participate in general orientation training, then through a specialized job/task training led by a Manager.
- Each employee will go through an emergency evacuation procedure as outlined in the Injury and Illness Prevention Program.
- All employees will be trained on fire safety and the use of fire extinguishers.
- Supervisory staff will be first aid certified and required to keep first aid equipment stocked on premises.
- Regular refresher training will be conducted and logged.
- All employees will be required to participate in training related to armed robberies/active shooter.
- All new employees are required to attend and participate in general orientation training, then through a specialized job/task training led by a Manager.
- Each employee will go through an emergency evacuation procedure as outlined in the Injury and Illness Prevention Program.
- All employees will be trained on fire safety and the use of fire extinguishers.

NOTE: All applicants that pass the interview process will then also have to pass background and drug tests. We will consider hiring employees with felonies on their record depending on the type of offence and the amount of time that has passed from the date of conviction. We believe in second chances but, at the same time, we will not be open to hiring anyone with a conviction of a misdemeanor for violence, rape, gun related offence, or reported history of mental illness

Cash Handling Procedure

Any transaction where cash is exchanged will require the attention of the manager on duty. The manger will count the cash first and then feed the money into a cash counter and compare numbers. When the numbers match with the customer invoice the manager will fill out a cash count sheet which documents:

1. Who paid with cash and the amount.
2. The date and time of the cash transaction.
3. The cash breakdown of bills and coins, if any.

The manager will only accept cash payments of the exact amount. Since we do not keep cash onsite, we will not/cannot make change. The manager will then sign the cash count sheet and provide a receipt/copy to the customer. Once the customer leaves the manager will immediately go to the bank and deposit the cash in a safety deposit box. The manager will get a deposit receipt and bring it back to the warehouse. The deposit receipt is then scanned and uploaded to our accounting software (most likely QuickBooks) and saved.

In addition, employees will never be paid in cash. Employees will receive weekly or bi-weekly checks and have the option to sign up for direct deposit. All employees will receive a W-2 and must sign a I-9 before beginning work once hired.

NOTE: There will be no cash stored on-site.

Onsite Security

A licensed security company will be contracted to provide onsite security officers during business hours for employee safety. Though the purpose of their presence would be as a visual deterrent, post orders will be provided that outline security staff latitude to defend themselves or others when faced with the risk of serious injury or death. Officers will patrol the interior and exterior of the premises reporting any suspicious activity.

Off hour drive-by security patrols will be conducted by a licensed security company with specific instructions to call the police department if any criminal/trespass activity is witnessed. Dynamic Security Technologies out of Hayward will be contracted as an alarm response service should the police department require confirmation of a break-in before their response.

They will be stationed in our front parking lot and will patrol up and down Diablo Ave. and around the perimeter of our property. We want their presence to be known. We have spoken to many of our neighbors and they say that crime/break-ins in this area is very common. We're hoping that by adding our after-hours patrol we can help deter the neighborhood break-ins. We have also offered to provide the number to our security company to our neighbors so they can benefit from their services as well in case they see anything suspicious. We do not think it's a good idea for our security patrols be armed, instead they are encouraged to contact the Hayward Police Department.

Flower Rooms

There will be staggered lighting schedules between all 7 flower rooms with some overlap between rooms so employees can tend to the plants during business hours. We have included a more in-depth cultivation and grow process in the business plan.

We have a total of 7 Flower Rooms totaling 5,017.1 SF and will be using each room according to the stage in the life cycle for the plants.

The drying/packing room is located on the second floor above the main entrance labeled room 12.

NOTE: If the application process opens up to the public again, we would like to file for a whole new application for distribution permit. We will not participate in any activity outside of what our existing permit will allow. If the city allows for our current CUP to be amended in order to get approved for distribution then we will make the necessary changes otherwise we will submit a new CUP for the distribution license.

Sustainability Plan

Solar Power

Going solar will reduce our dependence on the power grid which is a major contributor to global warming. With this process, we not only reduce our carbon footprint we will also be able reduce our electricity consumption and lower margins when it comes to operating cost. We've researched many companies in the bay area and have found AVATAR Energy Solutions to have the highest standards as well as great pricing. We will be contracting with AVATAR to install solar panels on our roof within the first few months of operation. We will be running the first few months of the operation solely on PG&E energy to determine our baseline energy consumption. This will allow us to build a custom grid for our solar system to maximize our power needs. Based off of our current numbers we have already estimated the following equipment to be installed. Modules: (199) 57,71kW Jinko 290 Watt Modules + Inverter: (2) SMA 24000 TL (1) SMA 10000 TL

Electricity

Annually cannabis cultivation consumes one percent of the United States' total electrical output, which roughly equates to \$6 billion or 1.7 million homes. Most of this energy is used to supply high-intensity lamps used for indoor growing operations. These types of lamps consume copious amounts of power and generate a lot of heat. To minimize some of these numbers it is our business strategy to operate 80% of the cultivation room during off-peak energy hours. All non-production equipment and light fixtures will be low energy LED fixtures. We will also use LED fixtures in the Veg Room, Mother Room and Baby Rooms. LED fixtures allow us to condense the footprint as well as use a lower power output vs conventional HPS fixtures.

Insulation

Another important factor is insulation. The more insulated the facility is the greater we can control our environment with less power and input. Spray foam insulation is one of the best options for increasing energy efficiency. It's air-tight and closed-cell and remains the only FEMA approved flood resistant insulation. We also intend on using 4" stud walls for the interior with this spray which will equate to an R28 rating instead of R14 and 6" ceiling joists which would equate to an R42 rating instead of the regular R28. With zero air exchange, this structural barrier will help control the environment while using less power.

Low Energy Equipment

The equipment that we will be using is an LG Gen V Multi-V ductless system that has one of the lowest energy systems on the market today. This technology was introduced as a system to minimize efficiency losses found in conventional HVAC systems and provide sustainable energy benefits. An air source LG system is engineered to minimize or use no ductwork and offers a savings on cost of large distribution fans, multiple pumps operation and water piping. The LG Equipment uses less material, less energy and makes less noise than other systems on the market.

Our company has already trained our employees and certified them by LG to install and maintain these units. This HVAC system will also have heat recovery. So, excess heat by-products from cooling rooms during day light cycle will be used to heat other rooms during winter months as well as office space. We will also be combining UV air purifiers and a tube charcoal filter system integrated into the HVAC system. UV air purifier filters will breakdown Volatile Organic Compounds (VOC's), as well as any

airborne mold or fungal spores and bacteria. By combining these systems, we not only condense space but also piggyback on the power supply which will use less power than running these units individually.

Water use

All the watering will be done by using drip irrigation using a system made by Dosatron and distributed through Octa Bubblers all on electronic scheduled timers. Leaving us with about 15% runoff. We are expecting to use about 811 gallons of water per day for cultivation activities and we estimate about 15% of that would be wastewater. That is a total 121 Gallon of water that is going to enter the sewer on a daily basis. At any one time there is only about 7.5 MIL per gallon of nutrients mixed with water. So, if we are discharging 121 gallons of water per day that means we are discharging only 30 FL OZ of nutrients into the sewer per day on average. With the timed Octa Bubblers system implemented this means we will leave less room for human error which means less wasted water. All the air conditioning systems as well as the dehumidifiers produce lots of water condensation that is typically ran into the sewer system in all typical applications. The water that is produced is actually very pure so in our system we will be capturing the run off into water storage tanks that will use for the drip irrigation system. This system reclaims roughly 97% of the water that is byproduct from the HVAC/Dehumidification system and allows us to recycle water that is typically wasted. This increases water-use efficiency, with water recovery rates of up to 97%, compared to the typical 0%. A New Site Plan was added to the plan set on P1.0 with Existing and New Water Serves Lines, Meters, Sewer Lateral.

Waste

As a cannabis cultivator, we are creating our own composting material on site and reintroducing the plant waste to the production. All mulched waste will be processed on site and reused for growing medium. All waste not reused on site will be hauled out by Gaiaca company who is the leading company in California for cannabis waste management. Gaiaca is California's first properly licensed cannabis waste management company. They help manage all forms of cannabis byproduct created by cultivators, manufacturers, retailers, testing labs, and distributors. They also handle all cannabis waste per State Regulations, ensuring that we can focus on our internal operations. Any and all extra trimmings or leaves will be sold to extraction companies through licensed distributors. This process will promote the full use of our plants with little to no waste.

Cannabis Waste Management

Hidden Farms Inc anticipates generating non-hazardous streams of waste consisting of cannabis plant material/biomass from pruning, trimming, and harvest (flower, leaf, stalk, root ball, failed plant, etc.). Quantities of waste generation are undetermined at this time.

We will implement a waste management plan for disposing our cannabis waste and by-products to a fully permitted solid waste landfill or transformation facility. Currently, we are meeting with Gaiaca, California's first properly licensed cannabis waste management company that is established in Hayward. Hidden Farms manages all forms of cannabis by-products created by cultivators and manufacturers. They are fully licensed and ensure that MMJ/Cannabis companies are fully "State and City Compliant" managing their cannabis waste. They will assist us to prevent any cannabis waste that will mix with non-cannabis waster. They will pick up and dispose of cannabis waste such that it will be rendered unusable and/or unrecognizable.

Gaiaca will provide us with cannabis waste receptacles to be picked up for processing. Prior to their pickup of the cannabis, Hidden Farms documents in their trace and track system accounting for plants

and plant material which usually includes extra vegetative plants, failed clones and harvest waste that is being discarded. The plant and plant material will be identified, weighed, time stamped and a photo taken prior to placing inside the receptacles. All this information is documented in the trace and track system to avert employee theft and prevent the cannabis waste to be placed into the public waste system.

Hidden Farms Inc will also generate normal office waste as well as waste from printing and packaging but since we are not doing any manufacturing or extracting we will not generate any hazardous waste.

See Gaiaca Management Plan for Non-Hazardous Cannabis Waste and signed contract added to the end of this business plan.

Non-Cannabis Waste Management

Hidden Farms will also produce non-cannabis waste from packaging, labelling, printing and day to day office activities including, but not limited to, food waste from the employee break room, empty containers from products used on plants- organic and household products, etc... We will contract with Alameda County Waste Management to properly recycle and/or dispose of these waste products.

Based on our service request, Waste Management recommends a 2 cubic yard recycling dumpster, a 2 cubic yard waste container for all of our non-recyclable waste and an odor minimizing Organics Container to compost our food waste from the break room. All 3 containers will be scheduled on a regular pick up and we will do our best to organize our waste accordingly, in an effort to minimize our carbon footprint. In addition to this regular pick up we will also be requesting Hazardous Waste collection via At Your Door Special Collection program for all of our garden chemicals: Fertilizers, herbicides, pesticides, and insecticides as well as household chemicals, such as bleach.

Cloning

One way we will reduce overhead is to create our own cloning regimen within our grow. We will be producing all our own clones using typical mother techniques as well as tissue cloning. Tissue cloning is very important to keep the integrity of the plant intact without introducing it to harmful bacteria, fungus or bugs. The more we can do to preserve the plant's health the less risk we take of contamination. Having a breach in our system due to contamination will lead to more problems resulting in waste. So, by doing everything inhouse we not only help to limit risk but we also save on resources such as travel and fuel that would be used picking up new plans each time from nurseries as well as any potential waste produced by ruined crops. Getting started with cloning is an easy process that can be done with a small amount of LED lights, cloning trays with a dome in order to retain proper relative humidity for the clones to root out, and a small room.

Organic Grow Medium

Our product will be guaranteed pesticide-free, grown by a career cultivator who specializes in certified organic and sustainable agriculture. We specially blend all of our own organic nutrient recipes with coco coir to yield a clean product that is 100% sustainable. With the use of coco coir, we ensure a sustainable and responsible practice that can be reused over and over. Coco coir is the recycled and processed natural fiber from the husk of coconuts. What was once regarded as waste material, in contrast, today constitutes a magnificent growing medium for cannabis plants. Coco coir is 100% eco-friendly, reusable recycled product. Coco coir is also less vulnerable to insects and plagues. Root rot and nasty root

invading fungi and insects are far less likely to plague the coco coir grows. Coco coir is sterile and so well aerated that the roots develop almost as quickly as in advanced hydroponic setups. The less time we use to grow a mature healthy plant, the less energy and waste we are left with. Each step of our operation is connected to the next creating a synergy and efficiency to bring to the market a true sustainable product.

Hidden Farms Inc Business Plan and Operations

Hidden Farms Inc., secured \$1.65M investment from its key founders in the following amounts:

- a. **David Tsuei:** \$500,000.00
- b. **Ryan Melchiano:** \$300,000.00
- c. **Jessica Hunt:** \$300,000.00
- d. **Marco Stark Falcone:** \$350,000.00 (Equipment)
- e. **Sergey Gorokhovsky:** \$200,000.00

Partial funds were released on 2/1/2018 and at this time \$650,000 has been expended on securing our building at 3166 Diablo Ave, setting up operations and securing equipment and design. The remaining \$1M will be expended over the next one year on overall construction & operation demonstrated in our attached budget.

Building Core and Shell Improvements		
Mobilization	\$	2,500.00
Interior Demolition	\$	5,650.00
Exterior Demolition	\$	1,350.00
Concrete & Asphalt Patching	\$	4,000.00
Interior Framing	\$	27,250.00
Rough Electrical & Distribution	\$	122,400.00
Rough Plumbing for Interior Drainage	\$	18,990.00
Finished Plumbing & Fixture Installation	\$	7,800.00
Building Insulation	\$	21,000.00
Drywall Installation LVL 3	\$	24,600.00
Lighting & Energy Control	\$	21,980.00
HVAC Design Built	\$	225,000.00
Exterior Lighting	\$	2,180.00
Finished Carpentry & Casework	\$	9,500.00
Interior Painting	\$	15,500.00
Finished Flooring	\$	12,550.00
Bathroom and Lobby Tile	\$	13,300.00
Epoxy Dura Coat Floor Coatings	\$	20,000.00
Architectural Plans & Designs	\$	22,000.00
City of Hayward Building Permits	\$	12,000.00
Insurance	\$	4,300.00
Total	\$	593,850.00
Operations & Start Ups		
Production Equipment (Lighting, Tables, Irrigation)	\$	200,000.00
City of Hayward Business Permit	\$	15,000.00
CUP Application Fee	\$	6,000.00
Furniture & Office Suppliers	\$	10,000.00
Production Materials (grow medium, vitamins, etc)	\$	15,000.00
Start Up Capital	\$	130,000.00
Insurance	\$	25,000.00
Total	\$	401,000.00

Hidden Farms Plan to Conform to Attorney General Guidelines

Hidden Farms will adhere to all California State MMJ/cannabis regulations, as set forth by State's Attorney General Office and the Office of Cannabis Control. Given the turbulent nature of this business sector that has conflicting factors from the federal level to California State, as recently demonstrated by USA Attorney General, Jeff Session. His memo, released this past Spring, cleared the way for a federal crackdown on the MMJ/Cannabis sector by rescinding an Obama-era directive that allowed a fairly "hands- off" enforcement of federal marijuana in states that have legalized cannabis. This includes California as well as other recreational states. Sessions' directive allows federal prosecutors to decide whether to enforce laws prohibiting marijuana use, sales and cultivation.

Given MMJ/Cannabis' turbulent political climate, Hidden Farms will increase its advocacy work and become more involved with public policy organization such as California NORM, National Cannabis Industry Association (NCIA), Marijuana Policy Project. We will support California Federal Attorneys and the State Attorney General, Xavier Becerra in addition to the Bureau of Cannabis Control's Chief Executive, Lori Ajax. These leaders are strongly committed to defending Proposition 64, the 2016 initiative that led to the opening of the State's first retail cannabis stores. We are committed to

supporting their present and future “pro-Cannabis” legal initiatives by participating on several advocacy boards and promoting new campaigns through our extensive network. We have a staff of 5 people who can make a significant impact throughout the community and within boardrooms to city hall meetings.

In adherence to the Proposition 64 - The Adult Use of Marijuana Act, a law that approves a similar licensing structure as that proposed under MCRSA, Hidden Farms will be following all City of Hayward and the State of California MMJ/Cannabis cultivation regulations as center on the Medical and Adult Use of Cannabis Regulation and Safety Act (MAUCRSA) – approved, June 2017, by California legislators and the governor.

We will keep a “steady eye” on The U.S. Controlled Substances Act (CSA) –which remains in effect for the foreseeable future, as the federal government continues to grapple with the debate over rescheduling marijuana. While cannabis is both recreational and medically legal in half of the U.S., federal prosecution remains a concern. In addition to our increase public policy work we will continue to retain a leading MMJ/Cannabis law firm with more than 10 years’ experience navigating the complex laws of the cannabis sectors. Hidden Farms will also increase its local networking in the City of Hayward. We are already looking to meet with key Hayward MMJ/Cannabis business leaders and advocates including United Food and Commercial Workers Local 5 and Teamsters Local 70

Adhering to Legal Steps to Secure License

1. **City of Hayward Approval:** Hidden Farms is now in the secondary phase of securing our City of Hayward Cannabis Cultivation License - Application #: C-1055 submitted January 31, 2018. We met with City Officials when our application was approved for this Permit Application, pending the outcome with the City’s Zoning Department.
2. **Meeting with Zoning Department:** We had a meeting with the City of Hayward Zoning Department to get information and clarification of requirements to secure our Entitlement/Land Use Permit.
3. **Hayward Department of Water:** We will set a meeting with the City of Hayward’s Water Department Management to discuss our water needs and to ensure water supply access by our projected date of 5/1/2019.
4. **State License:** When Hidden Farms receives its commercial permit from the City of Hayward, we will begin our State Application. We will abide by all application procedures as set forth by the Bureau of Cannabis Control and apply for a license from the Department of Food and Agriculture. Later we will apply to the Bureau of Cannabis Control for our distribution permits. Working under the regulation of the California Department of Food and Agriculture (Department) that regulates the cultivation of commercial cannabis, pursuant to Senate Bill 94 (Committee on Budget and Fiscal Review, Chapter 27), which was enacted by the California State Legislature on June 27, 2017. Hidden Farms is committed to implement business operations and systems to be 100% compliant. These include the adhering to the following actions:

Hidden Farms Actions to Ensure Legal Compliance

1. **Track-and-Trace System:** We will implement the product-tracing program that tracks the seed-to-sale journey. We will use the latest barcode labels to “Track and Trace” our cannabis into the market, thereby preventing diversion of regulated product to the unregulated market or inversion of unregulated product into the regulated market.

2. **Benefits to the Public:**

a. **Urban Youth Development:** We will implement a unique, interactive learning program using automobiles called Project Wreckless. This program is designed to partner with schools, local police, and nonprofits to provide students ages of 7 to 16 who have had a challenging life with substance abuse, or a criminal background to gain life skills, encouragement to complete their education and give them transferrable skills for employment.

b. **Environmental Safety Plan:** We will implement an environment safety plan by using daily and industry-standard environmental protection measures.

3. **Worker’s Safety:** We will strengthen worker’s safety through enforcement our Employee Safety Plan that meets the California Occupational Safety and Health Act of 1973 and Title 8 of the California Code of Regulations. Hidden Farms will adhere to these keys regulations as summarized below:

a. Establish, implement and maintain an Injury and Illness Prevention Program and update it periodically to keep employees safe.

b. Carry out routine Work Place Inspection(s) to identify and correct unsafe and hazardous conditions.

c. Make sure employees have and use safe tools and equipment and properly maintain this equipment.

d. Provide and pay for personal protective equipment as per the Division of Occupational Safety and Health (1979), 25 Cal. 3d 465, that mandate an employer is required to pay for personal protective equipment (PPE).

e. Use color codes, posters, labels or signs to warn employees of potential hazards.

f. Establish or update operating procedures and communicate them so employees follow safety and health requirements. This will occur in weekly staff meetings.

g. Provide medical examinations and training when required by Cal/OSHA standards.

h. Immediately report any work-related death or serious injury or accident, as required by section 342(a), Title 8, California Code of Regulations (T8CCR

i. Keep records of work-related injuries and illnesses on our personnel files,

j. Post, at a prominent location within our workplace, the Cal/OSHA poster informing employees of their rights and responsibilities.

k. Cooperate with Cal/OSHA and the Bureaus of Cannabis Control and Department of Agriculture enforcement personnel should an inspection be required or respond accordingly to all inquiries by these government agencies.

4. **Non-Discrimination:** We will not discriminate against any employee based on any protected classes as outlined by the State of California.
5. **Cultivation Standards:** We will follow State regulations for the maximum threshold production and for mixed-light cultivation as required by BPC Section 26061.
6. **Waste Management Plan:** We will implement a waste management plan for disposing with our cannabis waste and by-products to a fully-permitted solid waste landfill or transformation facility. Currently, we are meeting with Gaiaca, California's first properly licensed cannabis waste management company that is established in Hayward. Gaiaca manages all forms of cannabis byproducts created by cultivators and manufacturers. They are a licensed full-service waste management solution that will help us meet state requirements for cannabis waste.
7. **License Total Canopy Size:** We will adhere to the total allowable canopy size for our Cultivation License. The entire ceiling of the warehouse will have two layers of 5/8" type X drywall achieving 1-hour rating. The entire building already has sprinklers installed and we will adjust and add heads to accommodate the new layout. Each door to the grow rooms, as well as hallways, will have a self-closing device as well as air & smoke seals to help prevent escape of odor. Lighting will be High Pressure Sodium Type light fixtures suspended from the ceiling using airplane cables that will not obstruct any sprinkler heads. We have a total of 7 Flower Rooms totaling 5,017.1 SF and will be using each room according to the stage in the life cycle for the plants.
8. **License Adherence:** We will NOT transfer nor assign our licenses to another cultivation company or group of growers.
9. **Non-Manufactured Cannabis Products:** We will not engage in any unregulated or non-approved cannabis manufacturing processes.
10. **Licensed Distributor:** We will only engage California State Cannabis Distributors to transport our products to testing and to the retail market. The section below details distribution companies we are currently meeting with to determine costs, procedures and timelines
11. **License and Workers Rights Displays:** We will prominently display all business licenses and permits as well as employment rights and safety posters in central areas, such as our employee lounge. We have also budgeted funds for a HR consultant to set up employee handbooks as well as detail hiring and termination procedures. We are working to shape our benefits program, inclusive of health insurance, vacation pay and eventually a retirement fund program.
12. **Pest Control:** We will adhere to all MCRSA and the California's Department of Pesticide Regulation (DPR), in consultation with the Department of Food and Agriculture (DFA), to implement a comprehensive Pest Control Plan. We will adhere to all pest control standards for cannabis cultivation and "the maximum tolerances for pesticides and other foreign object residue in harvested cannabis." We will also meet the State Water Resources Control Board and the Food and Agricultural Code pest control Standards as well as California Fire Code Chapter

26. We will implement routine inspections and screening for microbiological screenings, foreign matter inspection, residual solvent tests, and pesticide and other chemical residue and metals screening. By this we mean that we will collect samples on a regular basis from a variety of locations and send to a licensed laboratory for testing. Upon receiving the results, they will be reviewed and if any one of the above screenings does not meet standards, an investigation and improvements will be implemented to resolve the issue. In addition, the management in their investigation will determine if product has been compromised and if so will decide if the product meets standards. If not, the product will be quarantined. Once implementation is in place, Hidden Farms will test again to determine if the test meets standards.

13. Processing Activities:

- a. **Updating Oversight Agencies:** Should we consider making any changes to our facility or licensing status or have received any inspections defaults or labor charges, we are committed to ensuring that both the City and State offices are informed. This includes reporting any employee injuries and/or accidents.
- b. **Cannabis Plants:** We will not accept any failed-tested clones or take to market any cannabis that has not been approved by a licensed testing laboratory through the oversight of Hidden Farms contracted distributor.
- c. **Labeling:** The distributor we contract will adhere to all labeling requirements and we will adhere to all bulk cannabis labeling requirements.
- d. **Back-Up Systems:** We will maintain working battery banks in case of electrical failures.
- e. **Book Keeping Systems:** We will maintain detailed sales records capturing invoices and accounts payables. These records are available for oversight agencies' audits.
- f. **Track and Trace:** Any irregularities to this tracking system will be reported to oversight agencies and we will be vigilant in adhering to all track and trace protocols and compliance regulations
- g. **Weighing:** We will use highly precise scales and measurement equipment that are approved, tested and sealed pursuant to State Code.
- h. **Space Allocation:** Hidden Farms cultivation and processing rooms will meet State and City Code and we will not change our inspected space configuration without meeting with and securing approval from oversight agencies.

Grow Process

The grow process typically takes 13 weeks from clone to finished flower and has 6 major phases. Below is a basic outline of our process and materials used. After the outline we will go into further detail for each of the 6 grow phases.

See the grow process outlined below along with the grow medium used, pot information and the foliar sprays used for IPM/IFM (integrated pest management/integrated fungal management):

Grow Process Phases:

1. Mother plants
2. Propagation and Clones
3. Transplantation
4. Vegetation (4 weeks)
 - a. Transplantation
 - b. Second transplant at 2 weeks
5. Flowering (8-9 weeks)
6. Harvest
 - a. Drying (7-10 days)
 - b. End product

Grow Medium:

1. Base
 - a. Coco Fiber, 75% ratio
 - b. #4 Chunky Perlite, 25% ratio
2. Nutrients from Cutting Edge Solutions:
 - a. Grow
 - b. Bloom
 - c. Mag-Amped
 - d. Plant Amp
 - e. Micro
3. Pots
 - a. Mother plants: 16"x16" white square
 - b. Clones: 6"x6" white square
 - c. Flowering plants: white square

IPM/IFM (integrated pest management/integrated fungal management):

1. Foliar spray
 - a. Green Cleaner
 - b. Plant therapy
 - c. Regalia Biofungicide
 - d. Venerate Bioinsecticide

Below is a detailed breakdown of our grow process and its 6 phases:

1. Mother plants are grown in coco fiber and perlite, in 16"x16" square white pots. The room temperature is maintained between 75-80 degrees Fahrenheit. The humidity of the room should be ~60%. The mother plants are watered as needed, about every 2-4 days. The nutrient solutions used in the watering process are: Cutting Edge Solutions (1-2 ml per gallon), Silica (5 ml per gallon), and Plant Amp (5 ml per gallon). The mother plants are flushed with compost tea, water and/or Regalia/Venerate (extract of *Reynoutria sachalinensis*/Buurholderia ssp. strain A396 cells) every 10 days. In addition, the mother plants are sprayed with potassium salts and fatty acids, peppermint oil, rosemary oil, citric acid and isopropyl alcohol every 7 days. This

process is followed by a beneficial compost tea spray or Regalia foliar spray the following day. The mother plants are trained to create more cuttings for propagation by bending the branches horizontally and tying them down.

2. In the propagation phase the clones are cut every 7 days to keep up with the demand of the flowering rooms. Appropriate branches are cut from the mother plant and set aside in a cup of water. Using a clean razor, cuttings are cut below the node, with 2"-3" of stem remaining. They are then placed into a rooting compound. Next, the cuttings are set into 1.5" rockwool cubes that have been soaked in water (pH 5.0) for at least 1 hour. Clone trays have dome vents, which are kept closed. The trays are put onto a metal rack with T-5 florescent bulbs. Each bulb is held about 5" above the tray's dome vent/ Every 24 hours the dome vents must be replaced with dry dome vents. At day 5 the dome vents are opened. However, each tray must remain enclosed by the dome vent and continue to be replaced with dry dome vents every 24 hours. After 7-8 days it's time to check for roots and separate the well rooted clones. Well rooted clones are placed back under the florescent bulbs, without dome vents. If a well rooted clone begins to wilt, without a dome vent, place it back into a dome vented tray. Well rooted clones that do not show signs of wilting and are showing roots are left under the florescent bulbs for 1-3 days. At this time the bottom of the rockwool cube will be heavily rooted and the clones should be hardened to withstand low wattage HID lighting. Unless the clone's specific strain takes longer than most, a clone will typically not be successful if it has not rooted after ~14 days.
3. The transplantation phase happens after the clones have rooted and hardened off. This is when they will be transplanted and moved into the vegetation room. The first pots are square 6"x6" pots. The clones are planted in the coco-perlite grow medium (similar to dirt-like soil). The coco and perlite are mixed at ratio: 75% coco to 25% perlite. Before transplantation, dechlorinated water is mixed with powdered Mycorrhizae and create a slurry-like solution. The clone roots are dipped into the Mycorrhizae solution and then transplanted into the pots. The pots are filled with the coco/perlite grow medium, leaving space for the clones. Then the clones are planted up to the top of the rockwool cube and the rockwool cube is left visible. The coco should not cover the stem of the clone plant.
4. The vegetation phase is when the plants are in a vegetative state. The plants will grow larger; however, they will not produce any flowers during this phase. This takes around 4 weeks and is located in the vegetation room. New plants are placed under lights (LEC 315 watt) and are watered immediately with Silica (1-2 ml per gallon), Micro (2.5 ml per gallon), Grow (2.5 ml per gallon), Bloom (2.5 ml per gallon), Mag Amp (2.5 ml per gallon), Plant Amp (2.5 ml per gallon), and water (pH 5.8). During the next watering process, if the plants are responding well, the nutrient solution should be raised to the same level as the mother plant nutrient solution. After 4-7 days in the vegetation room, if the plants show new growth and have at least 6 nodes below the uppermost shoot, the top node will be cut off or "topped". Topping promotes side branching and allows multiple branches to reach the top. In contrast, if the topping process is excluded the plant will look similar to a Christmas tree with only one branch at the top. Topping can be repeated depending on the strain, however topping should not be repeated more than once within a 2-week vegetation phase. The vegetative plants receive the same flush and spray

as the mother plants. As the roots begin to protrude through the bottom of the pots (~14 days) the roots mingle and become heavily rooted. At this point, the roots will easily hold the coco grow medium together. Next, the plants are ready to be transplanted into a second pot. The plants will be transplanted from the first 6"x6" pots into the second 12"x12" pots. This transplantation process is the same as the first. Each plant is watered immediately after the transplantation with full mother plant nutrient solution. After another 2 weeks in the vegetation room, the 12"x12" potted plants should be ready for the flowering phase based on the strain and height (~12"-24").

5. The flowering phase is the flowering process in which the plants create flowers and eventually end their life cycle. This takes place in multiple designated flower rooms. The plants generally take 9 weeks to fully mature. Plants are moved into the specified flowering rooms and will immediately go through the pruning process. The pruning process consists of removing the lower branches that will not yield many flowers, due to the location of the branch on the plant. The number of branches pruned is dependent on the strain, grow style and level of canopy support. When using a two-tier trellis plants will be placed on the tables and the first trellis will be placed over them. The trellis will be about 4" shorter than the plants and the tops of the plants will be slightly bent under the trellis and spread out over the footprint of the trellis. This should create an even flat canopy that allows the shoots to grow through the first trellis and into the second trellis. The second trellis should be placed about 8"-18" above the first trellis. This is dependent on the strain and the level of growth during the first 4 weeks. The plants will then be supported by stakes. Staked plants should slowly be spread out over the tables during the first 2 weeks of the flowering phase. Each plant should not touch until there is no more space between them. Near the end of week 3 the plants will fill the tables and the canopies will look full. All the main branches that will produce large flowers will be staked and tied with a green garden tie. The number of branches that need to be staked varies and is dependent on the strain and the strength of the stems/branches. The spray schedule should be the same as the mother and the vegetation plants, with the exception of the Regalia after 3 weeks in the flowering room. The Regalia will only be used every 7 days (15 ml per gallon) now. The new feed schedule for the flowering plants is: Silica (1-2 ml per gallon), Micro (2.5 ml per gallon), Grow (2.5 ml per gallon), Bloom (2.5 ml per gallon), Mag Amp (2.5 ml per gallon), Plant Amp (2.5 ml per gallon) and water (pH5.8). Around 7-10 weeks the plant flowers should be mature and ready for harvest, but again this depends on the strain.
6. During the harvest phase the plants are cut down and hung upside down, in the drying room, and all the fan leaves are removed and set aside for compost. Removing the fan leaves helps ensure a quicker and more even drying process. Plants are then broken down into large branches and hung in the dry room spread out evenly. The drying room is kept at 65 degrees Fahrenheit and 50-55% humidity and the drying process, overall, should take around 7-10 days. After the flowers are dried each bud is cut from the branch and stored in an air tight container and the flowers are now ready to be trimmed. The trimming process is simple; leaves that grow on and close to the flowers are removed with scissors or fingers without damaging the flower calyxes. Larger buds are also broken down into consumer sizes and buds should not be larger than 2 grams. After the dried flowers are trimmed, they are ready for the curing process. Curing

cannabis allows leftover minerals, sugars and starches to breakdown before being trapped inside. This process allows the product to be stored for longer periods of time as well as produce a smoother more flavorful product. Trimmed and dried flowers are placed into air tight containers and burped (to open the container for a few minutes) twice daily for the first week and once daily for the second. Further curing is optional, however, after two weeks the finished product is ready for consumption.

7. We will continually engage the services of testing laboratories at fundamentally significant steps in the cultivation process to insure our product will pass testing guidelines set by Bureau of Cannabis Control (BCC)

Note: We will be using CO₂ Gas. We are not sure yet if we will use CO₂ Generators that burn natural gas or we will use piped in CO₂ from tanks that are standing outside. Whether we are using a CO₂ generator or piping in the CO₂, the systems only turn on automatically when the plants use up the CO₂ in the room. We have dual sensors in the room that constantly take CO₂ readings and turn the system on as needed. We are also planning to use a CO₂ monitoring/alarm system by <http://www.ox-an.com/> for safety independent from the system used by the CO₂ generators. Staff will be instructed and trained in necessary procedures if they see or hear audible alarms from the life safety systems in the building.

Also, Humidity is an unwanted byproduct of having so many plants in such a small indoor space. Our ideal target range of humidity is 40% and if humidity rises above 60% it can lead to molds, mildews, and other unwanted biological growth. Furthermore, high humidity prevents plants from properly taking in CO₂ and prevents efficient photosynthesis. Each of our rooms will have two Quest 215 ceiling mounted units and two CLEANLEAF CFP filtering fans that have a two-stage charcoal filter and a HEPA filter. On top of that, the fan coil units in each room will have UV Filters installed in the ducting to help kill any organic microbes and spores. Each room will be hydroponics-based system and we will not have any standing water like a flood system thus keeping humidity lower. Also, all the walls ceiling and floors will be painted with high gloss epoxy paint for easy cleaning as well as visibility to spot any kind of potential growth.

Track and Trace

Using the Metrc software for our cultivation process requires us to obtain an annual license and create a business profile for each employee and product (strain, item, etc.). All plants are entered as “product intake” whereby the inventory of those items increases in the inventory system as Seeds, Clones, Immature Plants or Flowering. Clone trays of 99 plants or less will be tagged with one tag using a tamper evident strap at the base of the main stem and will be grouped into an Immature Plant Lot. Once Clones have rooted and are ready for transfer into individual pots, a tag will be applied to each plant’s stem labelling them with an Immature Plant tag and its own Unique Identification Number (UID). This UID will remain through the vegetation phase and will stay with the plant as it moves through the rooms in the facility until harvest. Once matured (begins to flower), each plant will be moved to a canopy keeping their UID now labeled as Flowering. When the plants are ready to harvest, each plant’s flower and waste will be weighed and packaged receiving its own Package UID. Whenever an UID moves within our facility or transferred to a 3rd party distributor, the UID will be scanned into our database and tracked under our Metrc license. Inventory will be monitored daily and adjustments will be made accordingly when plants die or are killed off and as they move throughout our facility.

Product Packaging and Labeling

1. Once Product is ready for consumption, we will implement our Cannabis Cultivation Labeling system in compliance with CDFA cannabis regulations. We will remove the portioned amount of product from the air tight containers and place in our packaging. Our packaging containers will be tamper-proof and tamper-evident and each will have a unique identifier for the purposes of identifying and tracking cannabis and cannabis products.
2. Our packages will be labelled with the required warning focusing on “Government Warning: This Package Contains Cannabis, A Schedule I Controlled Substance. Keep Out of Reach of Children and Animals.”
3. The net weight of cannabis in each container will specified.
4. Identification of the source and date of cultivation, the type of cannabis, and the date of packaging.
5. The appellation of origin, if any.
6. Our contracted Distribution Company will be responsible for listing the pharmacologically active ingredients, including, but not limited to THC, CBD, and other cannabinoid content, the THC and other cannabinoid amount in milligrams per serving, servings per package, and the THC and other cannabinoid amount in milligrams for the package total.
7. We will be compliant with the unique identifier issued by the state Department of Food and Agriculture including plant tagging and lot identification.
8. Our labels will specify Alameda as the county of origin.
9. Our packaged products, per our contracted Distributor, will be labeled with the product identity, the name of the party responsible for packaging the product, and an accurate quantity statement.
10. Our contracted Distribution Company will be responsible for having our product tested by a state licensed lab and issuing a Certificate of Analysis (CoA) before its distributed to manufactures or retail locations. Certificate of Analysis will have:
 - The testing laboratory’s name, address, license number
 - The Distributor’s name, address, license number
 - The Cultivator’s, Manufacturer’s, or micro-business’s name
 - Batch information that corresponds to compliance batch the sample was obtained
 - Unique ID
 - Sample type
 - Batch size
 - Sample Information including:
 - Date of collection by testing lab
 - Date received by testing lab
 - Date of analysis for each test required
 - Size of sample
 - Analytical method used in the analysis required

Although we will be packaging bulk volume of cannabis flower, our packaging products and designs will not resemble traditionally available food packages and will be tamper-evident.

Shipping and Receiving Process

1. All deliveries and pickups (of cannabis or other) will be done by appointment only and through the back-loading dock.
2. Each ingress/egress point on the property will be under 24-hour security camera watch. When someone, such as a delivery person, needs access into the building, they will ring a doorbell which will bring up that particular camera on the security monitors in the office. The vehicle will call through the video intercom to get access through the gate into the backyard. Before the door can be opened, the person will be verified by the staff as someone expected.
3. The delivery personnel will then ring the doorbell to the loading dock where they can be seen on video before the loading dock door will be opened by the staff inside.
4. The loading dock will never be opened at the same time as the gate leading to the backyard.
5. The manager on duty will meet the delivery person in the shipping/receiving and storage room to complete the transaction.
6. The manager on duty will complete the cash count sheet and produce a receipt to the delivery person.
7. The delivery person will then proceed to load their truck with the packaged product located on the metal 5' high storage shelves (once the truck is loaded there will no longer be any cannabis product in this room).
8. Upon exiting the roll up door will be closed and then the gate will be opened for the driver to exit the premises.

Note: We will unlikely receive deliveries, as our labelling is produced onsite, and our packaging will be purchase online, but if/when we do the process will be completed just as described above; except we will be receiving instead of shipping.

Cash Handling Procedure

Any transaction where cash is exchanged will require the attention of the manager on duty. The manger will count the cash first and then feed the money into a cash counter and compare numbers. When the numbers match with the customer invoice the manager will fill out a cash count sheet which documents:

1. Who paid with cash and the amount.
2. The date and time of the cash transaction.

3. The cash breakdown of bills and coins, if any.

The manager will only accept cash payments of the exact amount. Since we do not keep cash onsite, we will not/cannot make change. The manager will then sign the cash count sheet and provide a receipt/copy to the customer. Once the customer leaves the manager will immediately go to the bank and deposit the cash in a safety deposit box. The manager will get a deposit receipt and bring it back to the warehouse. The deposit receipt is then scanned and uploaded to our accounting software (most likely QuickBooks) and saved.

In addition, employees will never be paid in cash. Employees will receive weekly or bi-weekly checks and have the option to sign up for direct deposit. All employees will receive a W-2 and must sign a I-9 before beginning work once hired.

NOTE: There will be no cash stored on-site.

Room by Room Process Breakdown

Room 1 will primarily be used for storage of materials necessary for production. As well as, all deliveries of supplies and shipping of finished product. There will not be any personnel in this area unless they are getting supplies or receiving packages and material. We expect to take and receive deliveries from small light commercial vans and trucks so we will not have any large deliveries that requires a fork lift, pallet jacks or any pallets. No finished product is ever left in this room the finished product is only transported and loaded into a waiting transport vehicle.

Rooms 2,3,4,5,6,7,8 are grow rooms with occupancy F1. Each room will have sixteen 4'x 8' tables and each table will have approximately 16 plants. Each room will have approximately twenty-four lights that are 16"x16" and will be hanging from the ceiling at about a 10' height off the floor. Maturing plants will be transplanted to these rooms after four weeks of vegetation in room 15. The plants will spend 8-9 weeks in these room until they are cut down and placed into plastic bins for drying and brought to room 14. During the 8-9 weeks while the plant grows and flowers, two workers will spend a couple of hours a day in each room to trim excess leaves, check for mold and pests as well make sure the plants are healthy. Each of the 7 grow rooms gets 12 hours of light a day so that rooms will rotate lighting based on employee hours. Half the rooms will work from 12pm to 12am other will start at 12am and work to 12pm so employees will be able to get all the rooms in the overlap during the work day.

Room 13 is where the finished product will be stored. We are planning to only keep very small amounts of inventory at any given time in this room. The room should remain largely empty, even though it's a pretty good size. The product will be stored in sealed air tight plastic bags that are placed in cardboard boxes and stored on metal 5' high shelving.

Room 14 will be used for storage of product that has been cut down and is drying. Product that has not been processed product will be stored on 5' high metal shelving in reusable plastic bins, there will also be some hanging on open shelving while its drying.

Room 15 is the Veg room and will have a similar configuration as the other grow rooms, with the exception that the ceiling will be shorter. Because the ceiling is shorter in this room the LED light fixtures will be hung approximately 2 feet from the top of the plants. We will have mother plants as well as young plants and just like the other 7 grow rooms two workers will spend about two hours per day in this room. About once a month plants will be transplanted from this room into one of the other 7 grow

rooms so the worker hours will be increased to a full day to move plants from room 15 to one of the 7 grow rooms. The lighting schedule in room 15 will be 8-10 hours per day.

Room 9 is office space for the operation staff.

Room 10 is a break room for the employees. This will provide a place for workers to take breaks and have lunch as well as provide lockers for personal belongings.

Room 11 is reception. We will have just one desk set up away from the wall with one person answering phones and replying to general inquiries at this desk. They will also be looking at invoices and bills. The doors will be locked at all times and there will not be any kind of retail sales or open-door policy. People will need to make appointments to come in. The reception area will be the central location for the life safety monitoring panel.

Room 12 is office space for managers and will be the location of security monitoring equipment & controls.

NOTE: Including production staff, office staff and security staff, on a typical day, will be 15 or less people in the building at any one time. In addition, each grow room, as well as the entire warehouse, will have battery operated emergency lighting on dedicated circuits. We will use tritium exit signs above and on ground level of each door leading out of the grow rooms. The rest of the warehouse will have regular exit signage with battery backup. Also, please note the grow rooms run on 12-hour light cycles. While the grow lights are off, no one is allowed to be in the room for plant health because even low-level lighting can be damaging to the plants during their “night time” cycle.

On-Site Storage

Room 1- S1 is storage, shipping & receiving- storage will consist of storing packaging materials, plant mediums, plant nutrients, regular house hold cleaners, tools and supplies. The materials will be stored on 6' high metro racks along the perimeter of the room with some of the small items being stored in boxes. Nothing will be plastic wrapped. Things like nutrients and grow mediums as well as additives will be stored in the same packaging it was purchased in. There will be no storage of raw material, any flammable material or storage on any type of pallets.

Room 13- S1 is storage of the finished cannabis product stored in plastic air tight packaging on metro rack shelving in boxes ready for distribution with a maximum height of 6 feet. There will be no storage of raw material, any flammable material, any chemicals or storage on any type of pallets.

Room 14- S1 is storage of unfinished cannabis product that has been chopped down. The product will be stored in plastic air tight containers stacked on top of each other to a maximum height of 4 feet. Some product will also be suspended from open shelving while its finishing the drying process. There will be no storage of raw material, any flammable material, any chemicals or storage on any type of pallets.

The rear yard will have storage for waste. Both, standard office waste, as well as cultivation waste, will be in secure lockable containers and will possibly have of CO2 storage tanks. The determination has not been made if we will use CO2 generators or CO2 piped in system. In the event that CO2 storage tanks are used there will be a secure tank storage cage/barricade to prevent any dropping, tampering, vehicle damage or movement of the CO2 tanks in case of an event of an earthquake.

NOTE: Total Building Interior Ceiling Height is 16'5" for Rooms 1-8. The Office/storage and bathroom, Rooms 9-15 will split the building height so the intended height should be 7'4" ceiling heights for these rooms.

Product Testing and Safety:

Quality Assurance Testing

We will implement numerous "Quality Assurance" strategies to ensure our cultivation processes meet industry and government standards and that we have outstanding business operations. Within this complex business paradigm there will be a range of Quality Assurance plans and action steps that include employee training, equipment preventative maintenance procedures, building operation procedures, and daily quality control testing, among other things.

Below is a summary of our Key Quality Control Strategies to ensure our cultivation and business operations are running at a 100% level.

Quality Assurance Control Strategies

Flowers Quality-Control: We will assess our seedlings, clones, and growing plants on a daily basis to check for mold, pesticide damage, or irregularities in the roots, stems, and leaves.

Personnel Training and Responsibilities: To ensure we have the most talented, skilled and committed staff, we will contract a professional MMJ/Cannabis HR consultant to ensure our recruitment, hiring, and training program provides a very happy and productive staff.

Equipment Preventative Maintenance: Our cultivation staff are charged with conducting daily inspections of our core equipment including our lighting and fans. There is a log book and a specific "check off" list that must be approved by our Cultivation Director.

Pesticide Control: The Cultivation Director will oversee our daily Pesticide Control program that includes root, leaf and stem testing. A daily log book will be updated of all pesticide's prevention actions and liquids or chemicals used that are state, city and county compliant.

Security: Our Security Director will oversee daily site and perimeter inspection ensuring our video surveillance is working and there are no signs of any criminal activity.

Data Security: Our contracted Network Administrator will ensure our computers and data have the most secure firewalls and there is no data breach.

Inventory and Storage: COO will make daily inspections of our stored inventory including planting supplies, soil and harvesting equipment.

Waste Disposal: We intend to contract with Gaiaca, a licensed Cannabis Waste Management Company. We will dispose of waste in a manner that meets State Standards in sealed, smell-proof containers for production waste. See Gaiaca Management Plan for Non-Hazardous Cannabis Waste on page 38.

Office Records Disposal: We will contract a licensed shredding company to shred any and all printed documents we disposed of.

Cannabis Waste Management

Hidden Farms Inc anticipates generating non-hazardous streams of waste consisting of cannabis plant material/biomass from pruning, trimming, and harvest (flower, leaf, stalk, root ball, failed plant, etc.). Quantities of waste generation are undetermined at this time.

We will implement a waste management plan for disposing our cannabis waste and by-products to a fully permitted solid waste landfill or transformation facility. Currently, we are meeting with Gaiaca, California's first properly licensed cannabis waste management company that is established in Hayward. Gaiaca manages all forms of cannabis by-products created by cultivators and manufacturers. They are fully licensed and ensure that MMJ/Cannabis companies are fully "State and City Compliant" managing their cannabis waste. They will assist us to prevent any cannabis waste that will mix with non-cannabis waste. They will pick up and dispose of cannabis waste such that it will be rendered unusable and/or unrecognizable.

A trash enclosure that meets the design criteria set forth by Nicole Grucky with the City of Hayward has been added to Page A-0.0 & Detail on A-1.1 to the plan set. The location of the trash enclosure allows for the waste management truck to pull straight back down the driveway for pick up. The cannabis waste storage will be located in the shipping receiving area in a bin corral made out of chain link fence with a lockable gate shown on page A-1.1. All of the bins will be provided by Gaiaca. The bins are lockable with a level lock ring. Prior to Gaiaca's pickup of the cannabis waste, Hidden Farms documents in their trace and track system accounting for plants and plant material which usually includes extra vegetative plants, failed clones and harvest waste that is being discarded. The plant and plant material will be identified, weighed, time stamped and a photo taken prior to placing inside the receptacles. All this information is documented in the trace and track system to avert employee theft and prevent the cannabis waste to be placed into the public waste system.

All cannabis waste by product will be kept in locked trash containers in shipping receiving area (room 1) with proper track and trace labeling

See Gaiaca Management Plan for Non-Hazardous Cannabis Waste and signed contract added to the end of this business plan.

Non-Cannabis Waste Management

Hidden Farms will also produce non-cannabis waste from packaging, labelling, printing and day to day office activities including, but not limited to, food waste from the employee break room, empty containers from products used on plants- organic and household products, etc... We will contract with Alameda County Waste Management to properly recycle and/or dispose of these waste products.

Based on our service request, Waste Management recommends a 2 cubic yard recycling dumpster, a 2 cubic yard waste container for all of our non-recyclable waste and an odor minimizing Organics Container to compost our food waste from the break room. All 3 containers will be scheduled on a regular pick up and we will do our best to organize our waste accordingly, in an effort to minimize our carbon footprint. In addition to this regular pick up we will also be requesting Hazardous Waste collection via At Your Door Special Collection program for all of our garden chemicals: Fertilizers, herbicides, pesticides, and insecticides as well as household chemicals, such as bleach.

Water Management

We are going to have three toilets that will have 1.1gpf, one urinal with .5gfp, three handwashing sinks with 1.5gpm, and one kitchen faucet with 1.5gpm. The exterior landscaping uses one 3/4" hose at 4gpm going to a landscape timer that runs for 15 minutes.

We are going to have eight rooms that will have drip irrigation system. Each room will have one (1) 3/4" house bib to which we will have one Dosatron drip irrigation vitamin mixer. We will use a rain bird simple 4 zone irrigation timer. Each zone will feed one row of five tables and each table will have two Octa-bubbler BLUE to feed the sixteen plants on each table. Each BLUE Octa-bubble output 2GPH from each of the eight ports. 2GPH/60 Minuets = 0.033GPM. Feedings for each zone occur four times a day for three minutes, for a total of twelve minutes (please note this is an average and young plants need considerably less watering and some species of plants need different amounts of watering). 0.033GPM x 12 minutes x 16 pots per table x 16 tables in each room x 8 rooms for a total 811 Gallons of use per day.

Using the growth medium of 75% coco fiber and 25% perlite we expect to have about 15% water runoff into the sewer system. So, 811 Gallons x 15% equals to 121 Gallons of water drained into the sewer line from the hydroponic related activities; see nutrient mixtures chart below:

Nutrient	Water Mixture Ratio
Silica	2ML/Gal
Micro	2.5ML/Gal
Grow	2.5ML/Gal
Bloom	2.5ML/Gal
Mag Amp	2.5ML/Gal
Plant Amp	2.5ML/Gal

We will also use water that is reclaimed from the air conditioner condensation lines, as well as, the dehumidifiers and the 300 Gallons water storage tank that will be located in the shipping and receiving area. Each room will have two Quests 215 dehumidifiers that are able to take up to 215 pints of moisture from the air per day. The dehumidifiers typically only operate during 12 hours during a 24-hour cycle so the amount of water reclaimed is reduced to 107 pints. During the 12-hour day cycles the lights and air conditioners keep the humidity low and in turn the dehumidifiers usually don't turn on. During the 12-hour night cycle the dehumidifiers are working 100%. In total, we expect to reclaim approximately 1,700 pints per day which equals to 212 Gallons. There will also be some additional water from the air conditioners but we are unable to estimate the exact amount reclaimed.

NOTE: We use about ¼ of nutrients recommended by the manufactures because they overstate larger amounts than needed in an attempt to sell you more of the product.

We will also have three toilets, one urinal, three handwashing sinks, one kitchen sink, and two exterior hose bibs. Based on EBMUDs water use charts and occupancy of eight people in the building working during an average business day we expect to use 674 gal of water per day. Toilets: 8 people x 1.6 Gal/Plush x 2.6 Flusher Per Day Equals 33 Gallons. Urinals: 8 people x 1.0 Gal/Plush x 1.25 Flusher Per Day Equals 12 Gallons. Handwashing is .11 per flush so 45-gallon total x .11 equal to 5 gallons per day. another 5 gallons would be added from the kitchen faucet. We also expect to use about 20 gallons of water for exterior irrigation for the front lawn.

Source	Gal Per Day
Indoor Hydroponics	811
Toilets	33
Urinals	12
Handwashing Sinks	5
Kitchen Sink	5
Landscaping	20
Reclaimed Water	-212
Total	674

Types of Cannabis Strains

Hidden Farms executives will decide on specific strains at a future date when our cultivation center is up and running. Our selection of strains will be based on a market survey of local dispensaries menus and discussions with aligned dispensary executives, cultivators, MMJ advocates, and medicinal experts. As Hidden Farms is very connected to the MMJ/Cannabis industry with its staff sitting on several MMJ boards and organizations such as California Cannabis Industry Association, California Growers Association, and California MMJ Collectives/Dispensaries we have a well-established network to tap into for updated information. As new cultivation advances are constantly being discovered through numerous products and grow techniques, such as new pesticide free nutrients to air circulation and temperature control systems, we want to ensure that our first and future harvests are award-winning strains that yield high market success.

MMJ/Market Survey to Identify Best Strains

Interviews: Projected that 30 interviews will be held with the following businesses:

1. **Dispensaries:** 10 Executives will be interviewed including mid-management staff and bud tenders to assess customer's likes and dislikes. These include dispensaries in the East Bay as well

as San Francisco. Dispensaries will be selected that reflect Hayward’s socio-economic and ethnic status.

2. **Cultivators:** 10 established cultivators will be interviewed to evaluate their opinions on best cannabis strains to grow. These will include growers to administrators.

3. **MMJ Advocates:** Representatives from MMJ/Cannabis public policy and advocates groups will be interviewed pertaining their understanding of MMJ consumers’ needs and the latest cannabis strains that are entering the market.

4. **MMJ Medicinal Experts:** MMJ/Cannabis Medicinal Experts will be interviewed to assess their knowledge of new and “in-development” cannabis strains that are effective in treating a range of health problems.

We will rank these interviews on a 1 to 5 score, compiling critical data for Hidden Farms to select the very best stains to cultivate. Below is an example of our ranking system to determining the best MMJ/Cannabis Strains to cultivate:

	Not at all important 0	1	2	3	4	Very Important 5	No Opinion
Dispensaries	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Cultivators	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Advocates	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Physicians/Medicinal	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Experts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

KEY INTERVIEW QUESTIONS/CONCERNS:

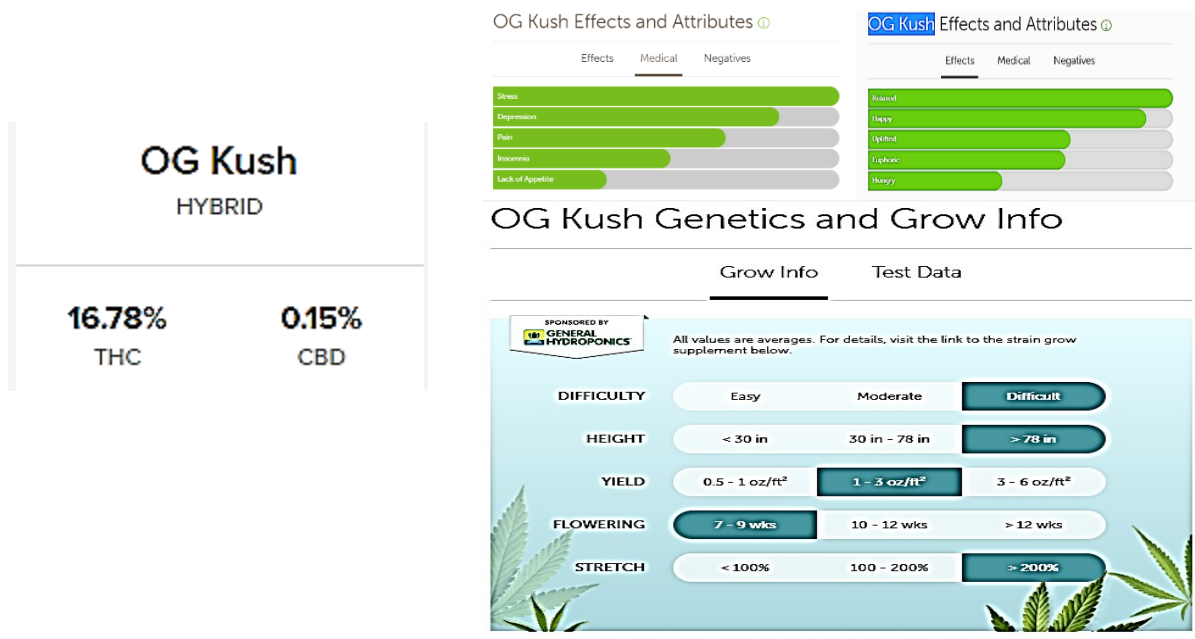
- Defining the Most Effective Strains for Treating Specific Diseases.
- Evaluation of new Stains in Development.
- Defining New Cultivation Strategies to Produce Award-Winning Strains.
- Evaluating Input on Patients Needs and Buying Trends.
- Assessing Retail and Wholesale Price Points to Forecast Gross Revenues.

Hidden Farms Established Strain Types

Below are charts of our fundamental strains and data for each strain, including the THC count and other pertinent information.

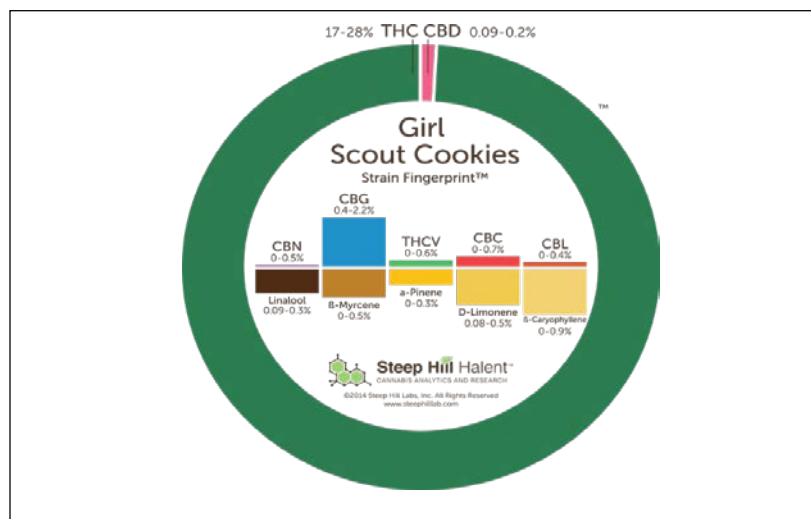
OG KUSH:

A cross between staple Chemdawg and hardy Hindu Kush landrace, OG Kush stand for: “original gangster,” connotin status as an old-school building block strain; “ocean grown,” in reference to its origin along the California coast which is known for OG Kush’s THC potency between 20% and 25%.



GIRL SCOUT COOKIES:

Girl Scout Cookies “GSC” delivers a super euphoric and provides a full body high. This strain has extremely high THC content, originally grown in California, this award-winning strain has spread all over, becoming one of the most popular cannabis strains. GSC provides a level of neuro- productivity, by delivering an energetic an uplifting experience.

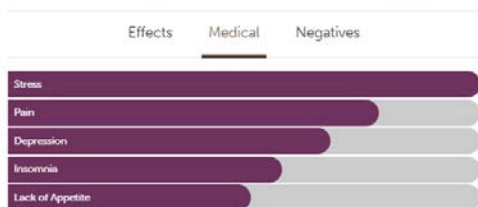


Hidden Farms Other Strains Under Consideration

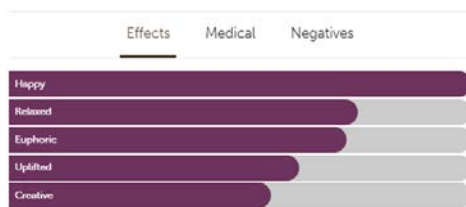
BLUE ZKITTLEZ:

This is an indica-dominant cross of Blue Diamond and Zkittlez, an odoriferous flower delivering a rich flavor of tart citrus, sweet earth, and wildflowers taste. The physical effects of this strain are mellow and moderately sedating, igniting appetite while weighing on the limbs. Its strong physical effects and uplifting mental high.

Blue Zkittlez Effects and Attributes ⓘ



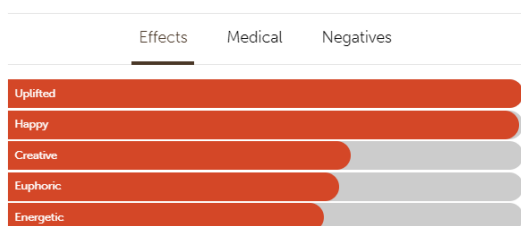
Blue Zkittlez Effects and Attributes ⓘ



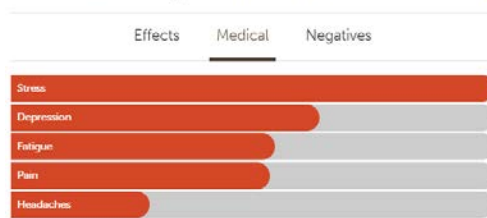
LEMON MERINGUE:

This exotic strain is a sweet, zestful cross of Lemon Skunk and Cookies and Cream. This pungent combo emits a variety of aromas including citrus, diesel, and nuttiness, but at the center of this bouquet is a tart slice of lemon meringue pie with a fat dollop of whipped cream on top. Lemon Meringue offers uplifting mental effects and sativa-driven energy that encourages physical activity.

Lemon Meringue Effects and Attributes ⓘ



Lemon Meringue Effects and Attributes ⓘ

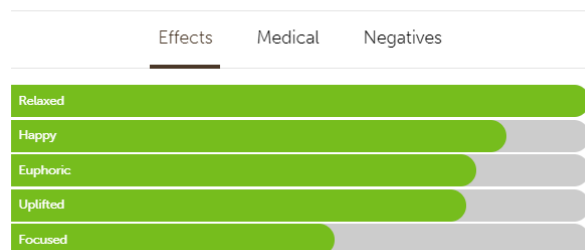


SAN FERNANDO VALLEY (SFV):

This is a sativa-dominant hybrid that is great for patients who need strong pain relief but don't want to be stuck on the couch. As the name indicates, this OG Kush relative originates from California's San Fernando Valley. The flowers stay fairly small with a pine and lemon flavor. this strain is one to save for

the vaporizer if consuming directly. Its indica body effects take longer to feel than the initial head haziness.

SFV OG Effects and Attributes ⓘ



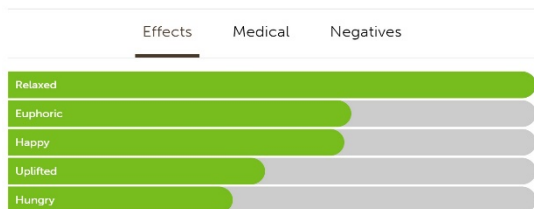
SFV OG Effects and Attributes ⓘ



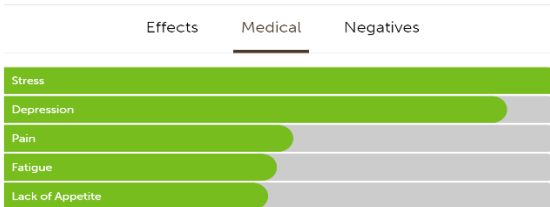
SFV CROSSED WITH FIRE OG:

Known for being one of the strongest of the OG strains, Fire OG has a strong scent similar to Lemon Pledge and an effect that can last up to 3 hours. With parents of OG Kush and San Fernando Valley OG Kush F3, the THC can be up to 20% with a CBD of 0.36%. The plant has frost covered nuggets with red hairs.

Fire OG Effects and Attributes ⓘ



Fire OG Effects and Attributes ⓘ



Distribution Providers that Serve the Facility

Hidden Farms will adhere to MAUCRSA framework for how businesses within the legal cannabis industry should operate and interact with each other. Given the new requirements of cultivating cannabis that must be transferred to a licensed distributor or a licensed concentrate product manufacturer, Hidden Farms has identified California licensed distributors, as detailed below. These licensed distributors conduct quality assurance/control processes as well as facilitating testing with an independent licensed cannabis laboratory prior to transporting retail-packaged products to licensed cannabis retailers.

Until Hidden Farms applies for a Distribution License, Hidden Farms will use a licensed Transporter to deliver our product to a licensed Distributor that will test and package our products. This Distributor will use their licensed transport company to deliver our product only to licensed dispensaries and delivery companies. However, Hidden Farms expects by 2020 we will have secured a license that will allow us to sell cannabis directly to the licensed retail businesses in bulk. We will adhere to the State's 2018 cannabis regulations that require products to be tested and packaged before they are transported to a retail store or delivery service via a licensed Distributor (Licensed C).

Pending approval of our State Temporary license we understand and adhere to not having access to the CCTT system. We will hardcopy documents at all transfers of cannabis and cannabis products and will make this documentation available to any state or local law enforcement officer upon request. We will also maintain a shipping manifest documenting every transport of our cannabis goods.

Currently we are scheduling interviews with 3 California Distribution Transport Companies as defined below:

Cannabis Distribution Transport Companies

39	A13-18-0000036-TEMP	Adult-Use	ARMCO II, LLC	Chronic Creek	Active	12/12/2018	Limited Liability Company	Oakland	7074076949
40	A13-18-0000014-TEMP	Adult-Use	ASES Inc	Potter Valley Farm	Active	12/11/2018	Corporation	OAKLAND	7077434224
41	C13-18-0000011-TEMP	Adult-Use	Malama The Roots LLC	malama the roots	Active	12/11/2018		Oakland	8085575066

Distribution Companies

We have identified the following Distribution Companies that will be responsible for our lab testing and packaging. All are licensed and we are currently setting meetings. We are considering engaging 2 to 3 licensed distribution companies.

237	M11-18-0000070-TEMP	Adult-Use Medicinal	CANN DISTRIBUTORS, INC.		Active	1/30/2019	Corporation	OAKLAND	5104099543
238	A11-17-0000018-TEMP	Adult-Use Medicinal	Black Oak Gallery		Active	1/26/2019	Corporation	OAKLAND	7074776790
239	A11-17-0000013-TEMP	Adult-Use Medicinal	COMMUNITY GARDENS, INC.		Active	1/26/2019	General Partnership	OAKLAND	5103382250
240	C11-18-0000117-TEMP	Adult-Use	MARKVISION BIOTECH INC.		Active	1/25/2019	Corporation	OAKLAND	5104681183
241	C11-18-0000119-TEMP	Adult-Use Medicinal	California Positive Distribution LLC	California Positive	Active	1/25/2019	Limited Liability Company	Oakland	9167400509
242	C11-18-0000121-TEMP	Adult-Use Medicinal	Purity Analytics, LLC		Active	1/25/2019	Limited Liability Company	OAKLAND	5108152512
243	C11-18-0000116-TEMP	Adult-Use Medicinal	5 STAR MEDICAL PARTNERS, INC.	5 Star Distribution	Active	1/19/2019	Corporation	Oakland	9257853716

Projected Distribution Delivery Schedules

Below is a chart of our anticipated Delivery Schedules:

DISTRIBUTION PROJECTED DELIVERY SCHEDULES

DISTRIBUTION TRANSPORT OUTBOUND	Weekly	15 days	30 Days/Monthly	Quarterly/3 Months
Harvest Cannabis Flower in Bulk			X	
Shake for Oil in Bulk				X
Keif in Bulk (After First Harvest)			X	
Waste Management Transport	X			
DISTRIBUTION LAB TESTING				
Afer First Harvest Cycle is Complete				
Product Testing	X			
Product Weight Verification	X			
Product Break down	X			
Product Packaging		X		
TRANSPORT DISTRIBUTOR TO RETAIL OUTLETS		X		

Management Experience

Our key executive overseeing Hidden Farms management structure and operations and personnel include two veteran professionals with 35 years combined experience in this type of industry. As well as one key executive who has 16 years in MMJ/Cannabis production, operation and equipment.

Ryan Melchiano will utilize his vast experience of business development to establish Hidden Farms, Inc.'s MMJ cultivation and distribution business. He has an in-depth understanding of the MMJ cultivation and distribution including the required facility requirements and state-of-the-art manufacturing equipment and automation technologies specific to large-scale cannabis cultivation. He, in addition, has a working knowledge of the various state, county and city regulations and requirements related to cannabis manufacturing and cultivation including strategic leadership and business development, superior project management, operational knowledge, and various other skills such as staffing, contract negotiation, and client relationships. Ryan has also worked, owned and operated numerous successful and prestigious alcohol related business in the bay area.

David Tsuei will be utilizing his wealth of operational experience toward developing and implementing various processes in the cannabis manufacturing and cultivation business. He has vast understanding of the manufacturing and as it relates to the various operations required to operate a successful business. He specifically has a great deal of experience in security operations as they relate to logistics, distribution, shipping, and other operations that are critical to the cannabis business including strategic leadership and business development, superior project management, operational knowledge and various other skills such as staffing, contract negotiation and client relationships.

Marco Stark-Falcone is a seasoned cannabis cultivator with 16 plus years' experience. He is highly skilled in all areas of cultivation from seedling/clone to dried plant. Marco has managed and staff members to raise an exceptional crop and seamlessly produce a sellable product. He has an excellent reputation in the cannabis community for quality, potency, taste, appearance, performance and component balance.

Below is a summary of these 3 executive's management skills:

- **Strong Budget Management:** Ability to control multi-million-dollar budgets implementing cash-control, account payable, and quarterly to annual reporting software.
- **Personnel Recruitment and Supervision:** responsible for hiring and supervising large scale staff from 5 to 25 employees including knowledge of California hiring laws, employment training, benefits and taxation.
- **Long Range Planning:** experience in strategic planning setting benchmarks and meeting short and long-term goals.
- **Accounting:** Experience in fund accounting controlling multi-tier budgets with restricted and un-restricted funds. Ability to control overhead and indirect expenses and meet quarterly net goals. Extensive financial tracking and management background.
- **Computer Networking:** Experience setting up businesses networks ensuring sound firewalls and data security systems.
- **Leadership:** Aptitude and experience coordinating board of directors and providing executive leadership.

- **Networking, Advocacy and Community Relations:** Sound experience as a community liaison and implementing public relations campaigns on a local and state level.

Management experience in Hayward

Although, the key management individuals do not have “direct” business experience in the Hayward area, they do have similar experience in many adjacent cities to Hayward and in the State of California. They will be utilizing their management and leadership skills including business development, superior project management, operational knowledge, and various other skills such as staffing, contract negotiation, and client relationships in this Hayward location. To foster Hidden Farms key executive’s contacts with Hayward’s business community, several will become involved with Hayward’s Chamber of Commerce and other business and community groups accepting of MMJ/Cannabis businesses.

Photo of the existing landscaping



Additional communication with Jay Lee, the previous Planner assigned to our CUP, and Michelle Koo, the City Landscaping Architect, provided us with further clarification on 4/12/2019. Based on their comments we hired a landscape architect firm. Pedersen Associates then drew up landscaping plans that have been reviewed by Michelle Koo on 5/1/2019 Via email communication. Plans L-1.0, L-2.0, L-2.1 have been created and attached to the CUP resubmission plan set.

Aerial Photo of Building



Community Benefits Proposal

Hidden Farms, Inc. has designated Sergey Gorokhovskiy, Director of Operations as the executive responsible for overseeing Community Benefits. He will act as the community liaison until a permanent and backup liaison is recruited, trained, and in position.

Our Community Benefit goals, once our business is operational, is to open a new Project Wreckless program in Hayward. In summary, this is an interactive program with underserved youth using a car that they will rebuild as a team. In order to be successful, we intend to partner with local schools and police, community residents, and interested nonprofit organizations to gather support and organizational assistance to create the Project Wreckless program.

Our plan is to create a peer review team comprised of a handful (4-6 team members) of the organizers to evaluate the program to determine best practices, opportunities for improvement, and metrics that can be viewed and evaluated regularly. Initially, the metrics that will be processed are the following:

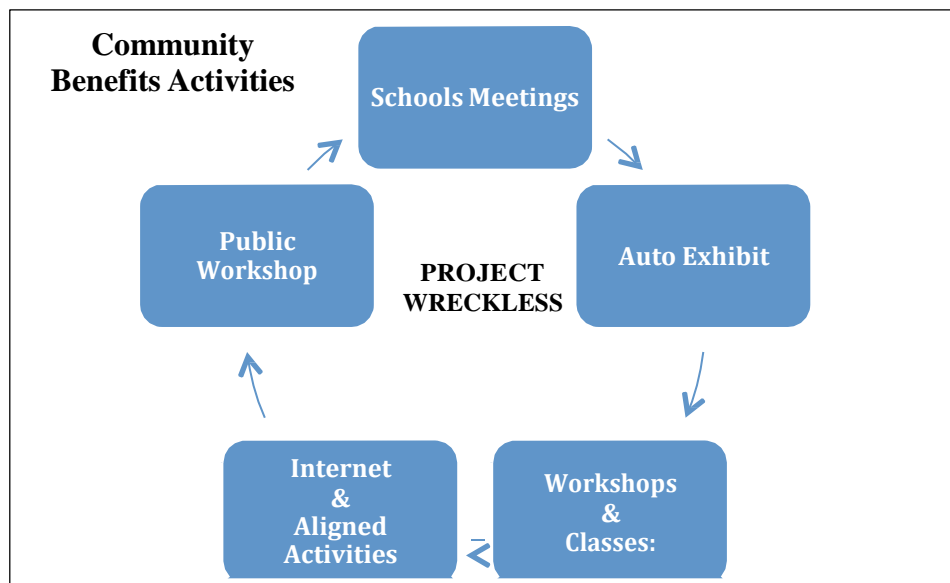
- % of participants who complete their GED or obtain a high school diploma
- % of participants who started the program actually completed the program
- % of participants who become mentors
- Evaluations from mentors, teachers for each participant and recommendations.

Following examination and discussion by the peer review team, the metrics may be adjusted to provide a clearer picture of the success and possible improvements of the program.

Project Wreckless Community Benefits Activities

We are planning the following community benefit activities for first year of operation:

1. **Community Schools Meetings:** We plan to meet with staff from schools who serve predominately “under-served” youth. These students, ages 12 to 17 may have a substance abuse problem or a criminal background. Targeted schools are Brenkwitz Continuation High School, Mt. Eden High School, Tennyson High School, as well as Hayward High School.
2. **First Public Workshop:** To generate support and interest of Project Wreckless, we will hold a demonstration in up to 3 Hayward Malls and Community Agencies. The workshop will demonstrate a fun-oriented approach to working on a car.
3. **Ongoing Workshops/Classes:** We plan to hold 5 workshops and ongoing classes that will involve close to 40 under-served youth who will learn valuable auto mechanic skills and team work strategies that foster peer collaboration and cooperation.
4. **Auto Exhibit:** We will hold the final exhibition of student’s cars at a central location to draw community support in helping Hayward’s under-served youth.
5. **Internet and Aligned Activities:** We are planning to create a Project Wreckless Hayward website that will have an interactive learning platform. Students can log in and have their own portfolio/pages for storing drawings and links to educational videos.



In addition, we have reached out to all of our immediate surrounding neighbors and have introduced ourselves in person. We went around and answered any questions and addressed any concerns that came up. The most common concerns were related to security and odor. We have been successful in calming these concerns with all neighbors, except one who we cannot get a hold of. We want to be proactive in our community and show our neighbors that we understand their concerns and we are

invested in this community as much as they are. We also left an informational flyer (now included in our CUP) with all neighbors with more detailed information about our operation and contact information should they need anything else. Overall, we feel that the meet and greet was fairly successful and we look forward to building relationships with our neighbors.

Noise Reduction

Hidden Farms will be evaluating all their processes to determine whether the noise created from our business needs to be reduced. As we are a cultivation business, our work is fairly quiet and there will be no public storefront or public access. On a regular basis the maintenance staff will be replacing or adjusting worn or loose parts, balancing unbalanced equipment, lubricating moving parts and making sure all equipment is operating as specified to ensure this noise level is at its lowest decimal.

Through evaluation of maintaining the entire manufacturing process and equipment, the maintenance department will determine whether noise control is an issue with materials, equipment, equipment parts, or possibly a change in work methods. As noise reduction issues are identified, the maintenance department must communicate to management their recommendations to reduce noise. Management is then responsible for acting appropriately to reduce noise in their facility and processes such that it will not affect nearby entities and internally as well.

When we commence with building the interior of our cultivation complex we will schedule contractors (carpenters, plumbers, and electricians etc.) at normal work-day hours, Monday- Friday from 9am to 5pm. This will minimize long-term noise impacts on existing residents.

We will continue to require a review and analysis of noise-related impacts as part of our forthcoming move-in and our required build-out plans. We will be sensitive to a careful layout of noise-sensitive spaces in our interior layout such as keeping the bathroom a far distance from our board room. We will also use noise barrier walls to reduce noise levels from ground transportation noise sources and between our cultivation rooms and offices. All our activities associated with the cultivation of medical cannabis shall not exceed the noise level standards as set forth by both the City and State.

Traffic Mitigation

Hidden Farms, Inc. will be partnering with Hayward and the State of California to mitigate traffic issues related to their site located at 3166 Diablo Ave. Hayward, CA 94545. Hidden Farms will minimize their material deliveries and delivery of product from our facility. We will coordinate our deliveries of product and deliveries of materials to produce the product in a manner that reduces the time to market. We attempt to reduce the traffic via a controlled schedule of deliveries and shipments of product such that it minimizes the amount of traffic associated with deliveries and shipments.

We, in addition, will be implementing a program internally whereby our employees will be utilizing alternative transportation to get to work and even to complete the necessary evaluations required by the State of California. This includes car sharing, BART and bicycle. In our employee training sessions and meetings, we will update or employees about new and upcoming transportation opportunities. For our administrative staff we encourage telecommute options for select personnel. Unfortunately, we cannot extend this to our cultivating staff.

Labor and Employment Practices

Hidden Farms, Inc. has plans to utilize a variety of modes of identifying potential candidates for various positions in Hidden Farms. The modes of identifying potential employees are as follows:

- 1. Hayward employment agencies that specialize in identifying and hiring MMJ employees.**

Most likely the Hayward employment agencies will be the major source of identifying employees for our company. We will closely work with them to provide job descriptions, information about our company, and the many benefits we will provide employees to enhance a seamless process between our company and the employment agency.

- 2. Job Fairs**

Although Hidden Farms will be using Hayward employment agencies almost exclusively, if job fairs are being held in Hayward we certainly will be participating in them in order to provide more visibility for prospective employees to observe our company, operations and various benefits.

- 3. Employee Referrals**

Hidden Farms will, in addition, accept employee referrals since we realize that good employees may know someone who would be a good fit for our company and assist us to become a success like they have.

- 4. Use of Various Job Boards**

We will be using various job boards, such as Indeed, as an alternative to employment agencies. We will only use this mode sparingly depending on the success of the employment agencies to identify qualified employees for our company.

- 5. MMJ/Cannabis Job Boards and Referral Agencies**

We will utilize cannabis job employment firms that recruit MMJ/Cannabis staffing (Growers to administrators) to fit the employment needs of this industry. This includes Ganjapreneur, THC Staffing and Hemp Staff MMJ/Cannabis staffing agencies.

Our target is to identify and employee individuals exclusively from the Hayward area. Our goal is 100% such that we can provide some impact to increase employment in the Hayward area. We plan to utilize as much of the talent located in the Hayward area, however, if we have a highly specialized position that has no qualified employees in the Hayward area, we will certainly utilize the Hayward employment agencies to identify a qualified employee as close to Hayward as possible.

Living Wage

Hidden Farms, Inc. will be utilizing the Living Wage Calculator as documented in the “Counties and Metropolitan Statistical Areas in California as shown on the website [Living Wage Calculator](#). Specifically, Hidden Farms will comply with the living wage concept as it is documented for San Francisco-Oakland-Hayward, CA.

The living wage model as shown in the documented wages for San Francisco-Oakland-Hayward displays hourly wages for living wage, poverty wage, and minimum wage. Each category is divided into several

different individual/family scenarios with a wage for each one. For example, the hourly wage for one (1) adult and one (1) adult and one (1) child is the following:

	One (1) Adult	One (1) Adult/One (1) Child
Living Wage	\$17.76	\$35.64
Poverty Wage	\$5.00	\$7.00
Minimum Wage	\$11.00	\$11.00

Note: The hourly wages as shown above including additional categories can be obtained by clicking on the website as shown above.

The typical wage levels for all levels of employment are follows:

Work Level	Typical Annual Salary
Management	\$100,000
Business & Financial Operations	\$89,667
Protective Service	\$45,896
Sales	\$59,924
Office & Administrative Support	\$48,339
Installation, Maintenance, & Repair	\$50,055
Production	\$40,212
Transportation & Material Moving	\$39,474

HR Policies, including provision of Workers Compensation insurance and equal benefits for domestic partners.

Hidden Farm, Inc.'s HR policies are in essence a practical collection of laws, regulations and requirements. Essentially, the HR policies can be itemized into three basic requirements:

1. Creation and maintenance of three specific employee files
2. Publication of an employee handbook with certain policies
3. Posting of required stated and federal notices

Employee Files

There will be three separate employee files that need to be a part of our HR program. They are I-9 file, Employee File, and Employee Medical File.

1. Form I-9 Employment Eligibility Verification

Each employee will have the required I-9 Form completed in their Employment File.

2. Employee File

All employees will have a separate file created and maintained for them. The file will have an array of information in it such as:

- a. Resumes and employment applications
- b. Offer letters, employment agreements and/or contracts
- c. Payroll information
- d. Basic employment data including W-4's
- e. Information about participation in benefit programs
- f. Awards, recognition, or disciplinary documents
- g. Performance evaluations
- h. Termination documentation and exit interview information

3. Employee Medical File

All employees will have a medical file created and maintained for them included in their employee file. The file will have an array of information in it such as, if applicable:

- a. Applications for insurance
- b. Notes from doctors excusing an employee from work
- c. Medical examination information
- d. Information related disability

Employee Handbook with Company Policies

Our employee handbook will be the centerpiece of our HR program. The employee handbook will explain Hidden Farms policies and procedures and communicate expectations to employees. The following policies will be included in the employee handbook:

A. Employment in General

- a. Introductory Statement and Purpose of the Handbook
- b. Equal Opportunity Policy
- c. New Hire Policy
- d. Policy Against Harassment and Discrimination
- e. Open Door Policy
- f. Confidential Information Policy
- g. Computer Use Policy
- h. Social Media Policy
- i. Employment at Will
- j. Immigration Law Compliance
- k. Employment Categories
- l. Work Hours
- m. Alcohol and Drug Policy
- n. Personal Appearance Policy
- o. Return of Property Policy
- p. Solicitation Policy

B. Timekeeping and Payroll

- a. Timekeeping Procedures
- b. Paydays
- c. Pay Deductions

C. Work Conditions

- a. Violence in the Workplace
- b. Workplace Safety
- c. Drug Free Workplace Policy
- d. Employment Conduct and Disciplinary Action

D. Benefits

- a. Sick Leave
- b. Personal Leave
- c. Vacation
- d. Holidays
- e. Bereavement Leave
- f. Jury Duty Leave
- g. Military Leave
- h. Maternity/Paternity Leave
- i. Insurance
- j. Worker's Compensation Insurance
- k. Healthcare Continuation
- l. 401k
- m. Business Expense Reimbursement
- n. Equal Benefits for Domestic Partners

Posting of Required Notices

Hidden Farms, Inc. will post all required notices from both the State of California and the Federal Government. The HR department is responsible for maintaining these postings as they are updated and/or changed.



CITY OF HAYWARD

Hayward City Hall
777 B Street
Hayward, CA 94541
www.Hayward-CA.gov

File #: MIN 20-011

DATE: January 23, 2020

TO: Planning Commission

FROM: Director of Development Services

SUBJECT

Minutes of the Planning Commission Meeting of January 9, 2020

RECOMMENDATION

That the Planning Commission approve the minutes of the Planning Commission meeting of January 9, 2020

SUMMARY

The Planning Commission held a meeting on January 9, 2020

ATTACHMENTS

Attachment I Draft Minutes of January 9, 2020



**MINUTES OF THE REGULAR MEETING OF THE
CITY OF HAYWARD PLANNING COMMISSION
Council Chambers
Thursday, January 9, 2020, 7:00 p.m.
777 B Street, Hayward, CA 94541**

MEETING

A regular meeting of the Hayward Planning Commission was called to order at 7:00 p.m. by Chair Bonilla.

Commissioner Goldstein arrived at 7:05 p.m.

CALL TO ORDER Pledge of Allegiance

Commissioner Faria led in the Pledge of Allegiance.

ROLL CALL

Present: COMMISSIONERS: Stevens, Andrews, Faria, Patton, Roche, Goldstein
CHAIRPERSON: Bonilla
Absent: COMMISSIONER:

Staff Members Present: Brick, Buizer, Chan

General Public Present: 12

PUBLIC COMMENT:

There were none.

PUBLIC HEARINGS: For agenda item No. 1, the Planning Commission may make a recommendation to the City Council.

1. Proposed Residential Development Consisting of Nine Detached Single-Family Homes with Six Accessory Dwelling Units on a Single Parcel Located at 25036-25096 Carlos Bee Boulevard (Assessor Parcel Number 445-0170-039-013) Requiring Approval of Zone Change and Tentative Tract map (8473) and adoption of a Mitigated Negative Declaration with Mitigation Monitoring and Report Program Application No. 201802159

Planner Manager Buizer provided a synopsis of the staff report and PowerPoint presentation.

Ms. Zohreh Gharaati, owner applicant, spoke about the proposed project and how it will add to the community. Ms. Gharaati said that they listened to the Planning Commission's suggestions and have made changes to the project. Ms. Gharaati said currently this is an



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empty lot, homeless people have camped there, there is rubbish and rodents and that she has cleaned up the area several times.

Ms. Joanne Wong, project architect, spoke about moving the project forward and how they have done several redesigns. Ms. Wong said they are willing to continue working with City staff on this project.

Commissioner Goldstein commented about a letter that has concerns that the proposed project would block their view. Mr. Goldstein said in viewing different iterations, there will be minimal impact to existing residents' views. Mr. Goldstein noted that there is not an ordinance that protects residents' views.

Planning Manager Buizer stated that there should not be traffic impacts as there has not been a lot of development in that area as the land was previously owned by Caltrans.

Commission Roche asked about the neighbor's concerns about slope stability and how the retaining walls would impact the area. Senior Civil Engineer Baquilar said that once all the plans have been submitted for building and grading permits, staff will be conduct a thorough review to ensure that all requirements for design, building, grading, construction and safety are met. Mr. Baquilar said there are earthquake setbacks and staff will make sure that the setback requirements are met. Planning Manager Buizer said the trees to be removed are part of the development footprint and the meandering path will be a usable pedestrian path that will offer access to the park that will be built at the western end of the property.

Commissioner Faria thanked the community for offering their concerns and thanked the developer and architect to listening to the community. Planning Manager Buizer said the California Energy Code requires the developer to prewire the units for vehicle charging stations. Ms. Faria would like parking accommodations in the Covenants, Conditions and Restrictions (CC&Rs) for the accessory dwelling (ADU) units.

Planning Manager Buizer responded to Commissioner Patton that this project was deemed complete prior to the effective date of the new State legislation that became effective on January 1, 2020. Ms. Wong responded to Mr. Patton regarding the placement of the front doors that the developer was encouraged to have a design element along Carlos Bee Boulevard which includes the placement of the front door away from Carlos Bee. Ms. Wong said the design intent was to make sure the placement of front doors, windows and garage doors were all cohesive.

In response to Commissioner Andrews's questions about neighborhood outreach, Ms. Gharaati said that she attempted to meet with the neighbors but did not receive a response.



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Ms. Andrews expressed continued concerned about the traffic impacts from Overlook Avenue. Planning Manager Buizer said the appropriate time to look at the potential traffic impacts for the area will be during the environmental analysis for future projects as development in Parcel Group 6 will incorporate this proposed project as part of a collective analysis.

Ms. Wong responded to Commissioner Stevens that pathways can be added for the ADUs that orient towards the Carlos Bee Boulevard sidewalk for access to the university. Ms. Wong said the developer was also thinking about the ADUs being utilized for aging in place residents.

Planning Manager Buizer responded to Chair Bonilla that staff will continue to work with AC Transit and the university to have shuttle service and bus stops. Ms. Buizer said as the development of Parcel 6 moves along, there will be more residents that equates to mass for the public transit agency to consider providing more public transit access for residents. Chair Bonilla echoed traffic impact concerns.

Chair Bonilla opened the public hearing at 7:36 p.m.

Mr. Paul Hancock, Hayward resident, has concerns that the construction will impact the neighborhood below and can jeopardize the stability of the slope. Mr. Hancock said that existing residents have made improvements to their properties to avoid impact from the slope. Planning Manager Buizer said that all plans are public record and Mr. Hancock is welcome to review the plans in the Planning Department. Ms. Buizer noted that the proposed development is on the flattest part of the property as the developer is not building on the steepest part of the project site.

Mr. Tuan Nguyen, Hayward resident, has the same concerns as Mr. Hancock about how the project will impact their homes and would like the developer to build retaining walls to protect the existing neighborhood. Mr. Nguyen said there are existing traffic impacts and parking issues. He spoke about an existing apartment development whose residents are already are parking in their area.

Ms. Sara Hancock, Hayward resident, echoed the frustration of Mr. Nguyen and spoke against the project. Ms. Hancock is pleased about the reduction in the number units and spoke about existing parking impacts from both existing apartment residents and college students.

Chair Bonilla closed the public hearing at 7:47 p.m.

Commissioner Faria said that the eighteen parking spaces is significant and goes towards



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meeting the needs of the residents and asked about the view impact to the existing residents. Planning Manager Buizer provided visuals of the plan for the Commission that shows that the proposed development poses minimal view impact as there is grade differential between the proposed project and existing homes above. Ms. Buizer said the developer did their best to not impact existing residents.

Commissioner Patton thanked the applicant for listening to the Commission and commended them for the positive design changes to reduce density and developing a design compatible with the surrounding neighborhood. Mr. Patton noted that the City does not have a view protection ordinance and from the project plans the view impact will be minimal. He said infill process is challenging and difficult and that even with the ADUs the parking is adequate and is more than has been seen in other projects. Mr. Patton supports the project.

Commissioner Andrews thanked the developer for having a work session which provided the opportunity for the community to come out and share their concerns. Ms. Andrews has concerns about potential traffic impacts as more developments are built in this area and trusts that staff will be reviewing all future projects and will look at the overall traffic impacts to the area. Ms. Andrews said the City is in desperate need for housing and agrees with her fellow Commissioners that the parking is more than adequate. Ms. Andrews said the applicant listened to the Commission's recommendations and encouraged the applicant to continue outreach to the neighborhood and educate them on the safety of the design.

Commissioner Stevens said this is a great project and a successful design of a geographically constrained site. The applicant confirmed that there was a geotechnical study conducted. Mr. Stevens encouraged the applicant to work with and educate the neighbors on the project's details on the design and safety factors specifically for the slope and retaining wall and the overall project.

Commissioner Roche appreciated the work of staff and the applicant for reducing the density and encouraged the applicant to continue her community outreach efforts to educate them on the design and regarding the stability of the slope. Ms. Roche likes the amount of parking and suggested residents contact staff about a residential parking permit program for Overlook Avenue since their parking is being impacted by Cal State students parking there all day. Ms. Roche agreed with Commissioner Stevens suggestion for a pathway to Carlos Bee Boulevard from the ADUs.

Commissioner Goldstein thanked staff and the applicant for the collaborative effort on the proposed project. Mr. Goldstein hopes that the fact that a geotechnical study has been conducted and a geologist will be continuing to survey the project during the grading and development phases will ease the neighbors' concerns. Mr. Goldstein said the grade difference between existing homes and the proposed project will result in minimal view



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impact. Mr. Goldstein encouraged residents to work with their employers to be able to work from home.

Chair Bonilla appreciates the collaborative effort between staff and the developer which has resulted in the reduction in units, inclusion of ADUs and a nice design that fits in with the surrounding neighborhood. Mr. Bonilla said as Caltrans properties are developed that there be a continued effort to look at the developments as a whole in order to mitigate potential traffic impacts.

Commissioner Patton made a motion, seconded by Commissioner Goldstein, to approve the staff recommendation. The motion passed with the following vote:

AYES:	Commissioners Stevens, Andrews, Faria, Patton, Roche, Goldstein Chair Bonilla
NOES:	None
ABSENT:	None
ABSTAIN:	None

APPROVAL OF MINUTES

2. Minutes of the Planning Commission Meeting of December 12, 2019.

Commissioner Roche made a motion, seconded by Commissioner Andrews, to approve the Planning Commission Meeting Minutes of December 12, 2019. The motion passed with the following votes:

The motion passed with the following vote:

AYES:	Commissioners, Andrews, Faria, Patton, Roche, Goldstein Chair Bonilla
NOES:	None
ABSENT:	None
ABSTAIN:	Stevens

COMMISSION REPORTS

Oral Report on Planning and Zoning Matters:

Planning Manager Buizer requested the Commission provide responses to attend future trainings.



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Commissioners' Announcements, Referrals:

Commissioner Patton requested staff provide new legislative updates to the Commission.

Commissioner Andrews announced an item regarding incentivizing housing is on the City Council Work Session agenda for next Tuesday, January 14, 2020.

ADJOURNMENT

Chair Bonilla adjourned the meeting at 8:10 p.m.

APPROVED:

Julie Roche, Secretary
Planning Commission

ATTEST:

Denise Chan, Senior Secretary
Office of the City Clerk