

# **CITY OF HAYWARD**

Hayward City Hall  
777 B Street  
Hayward, CA 94541  
[www.Hayward-CA.gov](http://www.Hayward-CA.gov)



CITY OF  
**HAYWARD**  
HEART OF THE BAY

## **Agenda**

**Tuesday, July 7, 2020**

**7:00 PM**

**Remote Participation**

**City Council**

**CITY COUNCIL MEETING**

This meeting is being conducted utilizing teleconferencing and electronic means consistent with State of California Executive Order No. 29-20 dated March 17, 2020, and Alameda County Health Officer Order No. 20-10 dated April 29, 2020, regarding the COVID-19 pandemic.

*How to observe the Meeting:*

1. Comcast Channel 15
2. Live stream <https://hayward.legistar.com/Calendar.aspx>

*How to submit written Public Comment:*

1. Use eComment on the City's Meeting & Agenda Center webpage at <https://hayward.legistar.com/Calendar.aspx>. eComments are directly sent to the iLegislate application used by City Council and City staff. Comments received before 3:00 p.m. the day of the meeting will be exported into a report, distributed to the City Council and staff, and published on the City's Meeting & Agenda Center under Documents Received After Published Agenda. eComments received after 3:00 p.m. through the adjournment of the meeting will be included as a part of the meeting record and published the following day.

2. Send an email to [List-Mayor-Council@hayward-ca.gov](mailto:List-Mayor-Council@hayward-ca.gov) by 3:00 p.m. the day of the meeting. Please identify the Agenda Item Number in the subject line of your email. Emails will be compiled into one file, distributed to the City Council and staff, and published on the City's Meeting & Agenda Center under Documents Received After Published Agenda.

*How to provide spoken Public Comment during the City Council Meeting:*

Call the City Clerk at (510) 583-4400 prior to the close of public comment on an item as indicated by the Mayor.

**CALL TO ORDER Pledge of Allegiance: Mayor Halliday**

**ROLL CALL**

**CLOSED SESSION ANNOUNCEMENT**

**PUBLIC COMMENTS**

*The Public Comment section provides an opportunity to address the City Council on items not listed on the agenda or Information Items. The Council welcomes your comments and requests that speakers present their remarks in a respectful manner, within established time limits, and focus on issues which directly affect the City or are within the jurisdiction of the City. As the Council is prohibited by State law from discussing items not listed on the agenda, your item will be taken under consideration and may be referred to staff.*

**ACTION ITEMS**

*The Council will permit comment as each item is called for the Consent Calendar, Public Hearings, and Legislative Business. In the case of the Consent Calendar, a specific item will need to be pulled by a Council Member in order for the Council to discuss the item or to permit public comment on the item. Please notify the City Clerk any time before the Consent Calendar is voted on by Council if you wish to speak on a Consent Item.*

**CONSENT**

1.     [MIN 20-072](#)     Approve the Minutes of the Special Joint City Council/Hayward Redevelopment Successor Agency Board/Hayward Housing Authority Board Meeting on June 23, 2020

**Attachments:**     [Attachment I Draft Minutes of 6/23/2020](#)

2.     [CONS 20-252](#)     Adopt a Resolution Approving the Report and Nuisance Abatement/Municipal Code Liens with the County Recorder's Office for Non-Abatable Code Violations

**Attachments:**     [Attachment I Staff Report](#)  
                              [Attachment II Resolution](#)

3.     [CONS 20-264](#)     Adopt a Resolution Approving Report and Assessment for Community Preservation Fees Past Due

**Attachments:**     [Attachment II Resolution](#)  
                              [Attachment III Community Preservation Assessments](#)

4.     [CONS 20-274](#)     Adopt a Resolution Approving Reports and Special Assessments for Residential Rental Inspection Program Fees Past Due

**Attachments:**     [Attachment I Staff Report](#)  
                              [Attachment II Resolution](#)  
                              [Attachment III Rental Assessments](#)

5.      [CONS 20-336](#)      Adopt a Resolution Authorizing the City Manager to: (1) Apply for and Enter into a Standard Agreement with the California State Department of Housing and Community Development Local Housing Trust Fund Program for an Amount Not-to-Exceed \$5 Million to Support EAH's Mission Paradise and Pimentel Place Affordable Housing Projects; and (2) Accept and Appropriate Any Awarded Funds in the Amount Not-to-Exceed \$5 Million

**Attachments:**      [Attachment I Staff Report](#)  
                                 [Attachment II Resolution](#)

6.      [CONS 20-337](#)      Adopt Resolutions: (1) Authorizing the City Manager to Execute a Cooperation Agreement to Enable the City of Hayward to Continue Participation in the Alameda County HOME Consortium for 2021-2023; and (2) Appropriating \$388,000 in HOME Investment Partnership Program (HOME) Funds to Provide Rental Assistance to Low-Income Tenants Experiencing Hardship Related to the COVID-19 Pandemic, as well as Authorizing the City Manager to Amend the Existing Agreement with Bay Area Community Services (BACS) to Add HOME Funds in an Amount Not-To-Exceed \$388,000 to Administer the Additional Rent Relief Program Funds

**Attachments:**      [Attachment I Staff Report](#)  
                                 [Attachment II Resolution HOME Cooperative Agreement](#)  
                                 [Attachment III Resolution HOME Funds for Rent Relief](#)

7.      [CONS 20-343](#)      Adopt a Resolution Confirming the Report and Assessment for Delinquent Garbage Bills Incurred by Property Owners of Single-Family Residences and Authorizing the Delinquent Charges to Become a Special Assessment Against the Properties on or Before July 24, 2020

**Attachments:**      [Attachment I Staff Report](#)  
                                 [Attachment II Resolution](#)  
                                 [Attachment III Special Assessment Parcel List](#)



8.        [CONS 20-358](#)      Adopt a Resolution Authorizing the City Manager to Negotiate and Execute an Agreement with La Familia for Staffing Services at the COVID-19 Testing Center in an Amount Not to Exceed \$749,999

**Attachments:**    [Attachment I Staff Report](#)  
                              [Attachment II Resolution](#)

#### **PUBLIC HEARING**

9.        [PH 20-057](#)      Adopt a Resolution Approving Addenda Nos. 1 through 6, Authorizing the Substitution of Subcontractors, Waiving Errors Related to Subcontractor's DIR/Contractor's Numbers and Awarding a Contract to S. J. Amoroso Construction for the Fire Station 6 and Fire Training Center Project, Project Nos. 07481 and 07482 in the Amount of \$52,397,000 (Report from Public Works Director Ameri)

**Attachments:**    [Attachment I Staff Report](#)  
                              [Attachment II Resolution](#)  
                              [Attachment III Bid Results](#)  
                              [Attachment IV Declarations](#)

10.       [PH 20-054](#)      Zoning Text Amendment for Tobacco Retail Sales Establishments: Introduction of an Ordinance and Adoption of a Resolution for a Zoning Text Amendment to Chapter 10, Article 1, Section 10-1.2780, Tobacco Retail Sales Establishments, of the Hayward Municipal Code Relating to Tobacco Retail Sales Establishments (Report from Development Services Director Simpson)

**Attachments:**    [Attachment I Staff Report](#)  
                              [Attachment II Ordinance](#)  
                              [Attachment III Resolution](#)  
                              [Attachment IV Council Matrix](#)  
                              [Attachment V Public Comments](#)  
                              [Attachment VI 05/28/20 Planning Commission Minutes](#)

11. [PH 20-055](#) Mission Boulevard Form Based Code: Introduce an Ordinance Amending Chapter 10, Article 24 (South Hayward BART/Mission Boulevard Form Based Code), Article 25 (Hayward Mission Boulevard Corridor Form Based Code), Article 1 (Zoning Ordinance), and Article 7 (Sign Ordinance) of the Hayward Municipal Code Related to the Adoption of a Consolidated Mission Boulevard Code (Report from Development Services Director Simpson)

**Attachments:**

[Attachment I Staff Report](#)

[Attachment II Resolution Mission FBC](#)

[Attachment III Ordinance Mission FBC](#)

[Attachment IV Exhibit A Proposed Zoning Map Amendments](#)

[Attachment V Exhibit B Proposed Zoning Text Amendments](#)

[Attachment VI Mission Boulevard Code](#)

[Attachment VII 05/28/20 Planning Commission Minutes](#)

### **CITY MANAGER'S COMMENTS**

An oral report from the City Manager on upcoming activities, events, or other items of general interest to Council and the Public.

### **COUNCIL REPORTS AND ANNOUNCEMENTS**

Council Members can provide oral reports on attendance at intergovernmental agency meetings, conferences, seminars, or other Council events to comply with AB 1234 requirements (reimbursable expenses for official activities).

### **COUNCIL REFERRALS**

Council Members may bring forward a Council Referral Memorandum (Memo) on any topic to be considered by the entire Council. The intent of this Council Referrals section of the agenda is to provide an orderly means through which an individual Council Member can raise an issue for discussion and possible direction by the Council to the appropriate Council Appointed Officers for action by the applicable City staff.

### **ADJOURNMENT**

**NEXT SPECIAL MEETING, July 14, 2020, 7:00 PM**

**PUBLIC COMMENT RULES**

*Any member of the public desiring to address the Council shall limit her/his address to three (3) minutes unless less or further time has been granted by the Presiding Officer or in accordance with the section under Public Hearings. The Presiding Officer has the discretion to shorten or lengthen the maximum time members may speak. Speakers will be asked for their name before speaking and are expected to honor the allotted time. Speaker Cards are available from the City Clerk at the meeting.*

**PLEASE TAKE NOTICE**

*That if you file a lawsuit challenging any final decision on any public hearing or legislative business item listed in this agenda, the issues in the lawsuit may be limited to the issues that were raised at the City's public hearing or presented in writing to the City Clerk at or before the public hearing.*

**PLEASE TAKE FURTHER NOTICE**

*That the City Council adopted Resolution No. 87-181 C.S., which imposes the 90-day deadline set forth in Code of Civil Procedure section 1094.6 for filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure section 1094.5.*

*\*\*\*Materials related to an item on the agenda submitted to the Council after distribution of the agenda packet are available for public inspection in the City Clerk's Office, City Hall, 777 B Street, 4th Floor, Hayward, during normal business hours. An online version of this agenda and staff reports are available on the City's website. Written comments submitted to the Council in connection with agenda items will be posted on the City's website. All Council Meetings are broadcast simultaneously on the website and on Cable Channel 15, KHRT. \*\*\**

*Assistance will be provided to those requiring accommodations for disabilities in compliance with the Americans with Disabilities Act of 1990. Interested persons must request the accommodation at least 48 hours in advance of the meeting by contacting the City Clerk at (510) 583-4400 or TDD (510) 247-3340.*

*Assistance will be provided to those requiring language assistance. To ensure that interpreters are available at the meeting, interested persons must request the accommodation at least 48 hours in advance of the meeting by contacting the City Clerk at (510) 583-4400.*

*CHILDCARE WILL NOT BE PROVIDED UNTIL FURTHER NOTICE DUE TO COUNTYWIDE SHELTER-IN-PLACE ORDER.*



# CITY OF HAYWARD

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**File #:** MIN 20-072

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**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** City Clerk

**SUBJECT**

Approve the Minutes of the Special Joint City Council/Hayward Redevelopment Successor Agency Board/Hayward Housing Authority Board Meeting on June 23, 2020

**RECOMMENDATION**

That the City Council approves the special joint City Council/Hayward Redevelopment Successor Agency Board/Hayward Housing Authority Board meeting minutes of June 23, 2020.

**SUMMARY**

The City Council/Hayward Redevelopment Successor Agency Board/Hayward Housing Authority Board held a meeting on June 23, 2020.

**ATTACHMENTS**

Attachment I Draft Minutes of 6/23/2020



## **SPECIAL JOINT MEETING OF THE HAYWARD CITY COUNCIL/HAYWARD REDEVELOPMENT SUCCESSOR AGENCY BOARD/HAYWARD HOUSING AUTHORITY BOARD**

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The Special Joint Meeting of the Hayward City Council/Hayward Redevelopment Successor Agency Board/Hayward Housing Authority Board was called to order by Mayor/Chair Halliday at 7:00 p.m. The special meeting was conducted utilizing teleconferencing and electronic means consistent with State of California Executive Order No 29-20 dated March 17, 2020, and the Alameda County Health Officer Order No. 20-10 dated April 29, 2020 regarding the COVID-19 pandemic.

**CALL TO ORDER Pledge of Allegiance:** Mayor/Chair Halliday

### **ROLL CALL**

Present: COUNCIL/HRSAB/HHAB MEMBERS Lamnin, Márquez, Mendall, Salinas, Wahab, Zermelo  
MAYOR/CHAIR Halliday  
Absent: None

### **CLOSED SESSION ANNOUNCEMENT**

The City Council convened in closed session on June 23, 2020, at 5:00 p.m., regarding two items: 1) conference with property negotiators pursuant to Government Code 54956.8 regarding Levy Affiliated Holdings; 22695 Foothill Blvd, 22631 Foothill Blvd, 1099 B St, 1093 B St, 1061 B St, 1071 B St, 1075 B St, 1081 B St, 1055 B St, 1057 B St, 1087 B St, 1061 B St, 1099 B St, 1075 B St, 1069 B St, 1057 B St, 1071 B St, 1063 B St, 1093 B St, 1081 B St, 1087 B St, 1063 B St; APNs: 428-0066-086-00, 428-0066-085-00; and 2) conference with legal counsel pursuant to Government Code 54956.9(d)(4) regarding one anticipated case. City Attorney Lawson added there was no reportable action related to the items.

### **PUBLIC COMMENTS**

There were none.

### **CONSENT**

1. Approve City Council Minutes of the Special City Council Meeting on June 9, 2020 **MIN 20-067**

It was moved by Council Member Mendall, seconded by Council Member Wahab, and carried unanimously, to approve the minutes of the Special City Council meeting on June 9, 2020.

2. Adopt a Resolution Calling for the City of Hayward General Municipal Election to be Consolidated with the Presidential General Election to Be Held on November 3, 2020, for the Purpose of Electing Four Council Members for Full Terms of Four Years; and Adopt a Resolution Setting Regulations for Candidates Pertaining to Candidate Statements **CONS 20-318**

Staff report submitted by City Clerk Lens, dated June 23, 2020, was filed.

It was moved by Council Member Mendall, seconded by Council Member Wahab, and carried by the following roll call vote, to approve the resolutions:

AYES:	COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas, Wahab, Zermeño MAYOR Halliday
NOES:	None
ABSENT:	None
ABSTAIN:	None

Resolution 20-085, “Resolution of the City Council of the City of Hayward Calling for a General Municipal Election to be Held on November 3, 2020, for the Purpose of Electing Four Members of the City Council for Terms of Four Years; and Requesting the Alameda County Board of Supervisors to Provide for the Consolidation of a General Municipal Election of the City of Hayward with the Presidential General Election”

Resolution 20-086, “Resolution of the City Council of the City of Hayward, California, Adopting Regulations for Candidates for Elective Office Pertaining to Candidate Statements Submitted to the Voters at an Election to be Held on Tuesday, November 3, 2020”

3. Adopt an Ordinance Amending the Hayward 2040 General Plan Establishing New Vehicle Miles Traveled (VMT) California Environmental Quality Act (CEQA) Thresholds and Updated Greenhouse Gas (GHG) Emission Reduction Goals **CONS 20-316**

Staff report submitted by City Clerk Lens, dated June 23, 2020, was filed.

It was moved by Council Member Mendall, seconded by Council Member Wahab, and carried by the following roll call vote, to approve the ordinance:



**SPECIAL JOINT MEETING OF THE HAYWARD CITY COUNCIL/HAYWARD  
REDEVELOPMENT SUCCESSOR AGENCY BOARD/HAYWARD HOUSING  
AUTHORITY BOARD**

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AYES: COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas  
Wahab, Zermelo  
MAYOR Halliday  
NOES: None  
ABSENT: None  
ABSTAIN: None

Ordinance 20-09, "An Ordinance Amending the Hayward 2040 General Plan Establishing New Vehicle Miles Traveled (VMT) California Environmental Quality Act (CEQA) Thresholds and Updated Greenhouse Gas (GHG) Emission Reduction Goals"

4. Adopt a Resolution Authorizing the City Manager to Execute a Professional Services Agreement with Safir & Associates for Diversity, Equity, and Inclusion Trainings **CONS 20-182**

Staff report submitted by City Manager McAdoo June 23, 2020, was filed.

It was moved by Council Member Mendall, seconded by Council Member Wahab, and carried by the following roll call vote, to approve the resolution:

AYES: COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas,  
Wahab, Zermelo  
MAYOR Halliday  
NOES: None  
ABSENT: None  
ABSTAIN: None

Resolution 20-087, "Resolution Authorizing the City Manager to Negotiate and Execute a Professional Services Agreement with Safir and Associates for Equity Leadership Training in an Amount Not to Exceed \$125,000; and an Appropriation of \$62,500 from the General Fund (Fund 100)"

5. Adopt a Resolution Authorizing the City Manager to Enter into Exclusive Negotiations with Waste Management of Alameda County to Extend the Solid Waste and Recycling Franchise Agreement **CONS 20-301**

Staff report submitted by Director of Public Works Ameri, dated June 23, 2020, was filed.

It was moved by Council Member Mendall, seconded by Council Member Wahab, and carried by the following roll call vote, to approve the resolution:

AYES: COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas,  
Wahab, Zermeño  
MAYOR Halliday  
NOES: None  
ABSENT: None  
ABSTAIN: None

Resolution 20-088, "Resolution Authorizing the City Manager to Enter into Exclusive Negotiations with Waste Management of Alameda County to Extend the Solid Waste and Recycling Franchise Agreement"

6. Adopt a Resolution Authorizing the City Manager to Execute a Professional Services Agreement with SurfaceDesign, Inc., for Design of the Mission Boulevard Linear Park Landscape Project, Project No. 05288, in an Amount Not-to-Exceed \$310,000 **CONS 20-300**

Staff report submitted by Director of Public Works Ameri, dated June 23, 2020, was filed.

It was moved by Council Member Mendall, seconded by Council Member Wahab, and carried by the following roll call vote, to approve the resolution:

AYES: COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas,  
Wahab, Zermeño  
MAYOR Halliday  
NOES: None  
ABSENT: None  
ABSTAIN: None

Resolution 20-089, "Resolution Authorizing the City Manager to Execute a Professional Services Agreement with SurfaceDesign, Inc., For Design Services Associated with the Mission Boulevard Linear Park Project"

7. Adopt a Resolution Authorizing the City Manager to Execute an Agreement with Project Sentinel for Fiscal Year 2021 in an Amount Not-to-Exceed \$150,000 to Provide Mediation Services Related to Rent Stabilization and Repayment Agreements at the Same Level as Fiscal Year 2020 and Adopt a Resolution Appropriating \$75,000 to the Rental Housing Program Fund from Additional Fee Revenue **CONS 20-310**





**SPECIAL JOINT MEETING OF THE HAYWARD CITY COUNCIL/HAYWARD  
REDEVELOPMENT SUCCESSOR AGENCY BOARD/HAYWARD HOUSING  
AUTHORITY BOARD**

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Staff report submitted by Deputy City Manager Ott, dated June 23, 2020, was filed.

It was moved by Council Member Mendall, seconded by Council Member Wahab, and carried by the following roll call vote, to approve the resolutions:

AYES: COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas,  
Wahab, Zermeno  
MAYOR Halliday  
NOES: None  
ABSENT: None  
ABSTAIN: None

Resolution 20-090, "Resolution Authorizing the City Manager to Execute an Agreement with Project Sentinel in an Amount Not-to-Exceed \$150,000 to Provide Administrative Support, Educational Services, and Mediation Services Related to Rent Stabilization and Repayment Agreements"

Resolution 20-091, "Resolution Authorizing the Amendment to Resolution 20--, the Budget Resolution for the City of Hayward Operating Budget for Fiscal Year 2021, Appropriating Seventy-Five Thousand Dollars (\$75,000) to the Rental Housing Program Fund from Additional Rent Stabilization Fee Revenue to Cover the Cost of Administering the Residential Rent Stabilization and Tenant Protection Ordinance and the Mobile home Space Rent Stabilization Ordinance"

8. Adopt a Resolution Approving Addendum No.1 and Addendum No.2 and Awarding a Contract to GSE Construction Company, Inc., for the Water Pollution Control Facility (WPCF) Headworks Bar Screens Project, Project No. 07567, in an Amount Not-to-Exceed \$7,886,200, and Appropriating Additional Funds from the Sewer Replacement Fund in the Amount of \$4,598,300 **CONS 20-314**

Staff report submitted by Director of Public Works Ameri, dated June 23, 2020, was filed.

It was moved by Council Member Mendall, seconded by Council Member Wahab, and carried by the following roll call vote, to approve the resolutions:

AYES: COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas,  
Wahab, Zermeño  
MAYOR Halliday  
NOES: None  
ABSENT: None  
ABSTAIN: None

Resolution 20-092, “Resolution Approving Addendum No. 1 and Addendum No. 2 and Awarding a Contract to GSE Construction Company, Inc. for the Water Pollution Control Facility (WPCF) Headworks Bar Screens Project, Project No. 07567, in an Amount Not-to-Exceed \$7,886,200”

Resolution 20-093, “Resolution Appropriating \$4,598,300 from the Sewer Replacement Fund for the Headworks Bar Screens Project, Project No. 07567”

9. Approve the City of Hayward’s Five-Year Permanent Local Housing Allocation Plan and Authorization for the City Manager and Assigned Staff to Submit an Application to the State of California Department of Housing Community Development for Permanent Local Housing Allocation Funds for the Hayward Navigation Center **CONS 20-319**

Staff report submitted by Deputy City Manager Ott, dated June 23, 2020, was filed.

It was moved by Council Member Mendall, seconded by Council Member Wahab, and carried by the following roll call vote, to approve the resolutions:

AYES: COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas,  
Wahab, Zermeño  
MAYOR Halliday  
NOES: None  
ABSENT: None  
ABSTAIN: None

Resolution 20-094, “Resolution Approving the City of Hayward’s Five-Year Permanent Local Housing Allocation”

Resolution 20-095, “Resolution Approving the City of Hayward’s Five-Year Permanent Local Housing Allocation Plan and Authorizing the City Manager and Assigned Staff to Submit an Application to the State of California Department of Housing and Community Development”



**SPECIAL JOINT MEETING OF THE HAYWARD CITY COUNCIL/HAYWARD REDEVELOPMENT SUCCESSOR AGENCY BOARD/HAYWARD HOUSING AUTHORITY BOARD**

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10. Adopt a Resolution Approving a Side Letter of Agreement between the City of Hayward and the International Federation of Professional and Technical Engineers, Local 21 for Implementation of an Unpaid Furlough in Fiscal Year 2021, and Authorizing the City Manager to Execute the Agreement **CONS 20-317**

Staff report submitted by Assistant City Manager/ Interim Director of Human Resources Hurtado, dated June 23, 2020, was filed.

It was moved by Council Member Mendall, seconded by Council Member Wahab, and carried by the following roll call vote, to approve the resolution:

AYES: COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas,  
Wahab, Zermeño  
MAYOR Halliday  
NOES: None  
ABSENT: None  
ABSTAIN: None

Resolution 20-096, "Resolution Approving a Side Letter of Agreement with the International Federation of Professional and Technical Engineers, Local 21 for Implementation of an Unpaid Furlough in Fiscal Year 2021"

11. Adopt a Resolution Approving an Amendment to the City of Hayward Salary Plan for Fiscal Year 2020 **CONS 20-327**

Staff report submitted by Assistant City Manager/ Interim Director of Human Resources Hurtado, dated June 23, 2020, was filed.

It was moved by Council Member Mendall, seconded by Council Member Wahab, and carried by the following roll call vote, to approve the resolution:

AYES: COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas,  
Wahab, Zermeño  
MAYOR Halliday  
NOES: None  
ABSENT: None  
ABSTAIN: None

Resolution 20-097, "Resolution Approving the Amended Fiscal Year 2020 Salary Plan Designating Positions of Employment in the City of Hayward and Salary Range; and Superseding Resolution No. 20-040 and all Amendments Thereto"

## **PUBLIC HEARING**

### **12. Community Development Block Grant (CDBG): Approval of FY 2021 Community Agency Funding Recommendations and FY 2021-2025 Community Development Block Grant Consolidated Plan and FY 2021 Action Plan PH 20-045**

Staff report submitted by Deputy City Manager Ott, dated June 23, 2020, was filed.

Council Member Márquez disclosed she had to recuse herself from participating on discussion and vote related to FY 2021 Arts and Music funding recommendations which included the Love Never Fails agency where she was a former advisory member.

Community Services Manager Davis provided a synopsis of the CDBG COVID-19 CARES Act funding update and FY 2021 Social Services funding recommendations.

In response to Council Member Wahab's inquiry related to the City's requirements for switching in-person to online programs, Community Services Manager Davis noted agencies are expected to meet contractual obligations and, if issues arise, staff works with them to enable them to perform alternative service delivery or propose a process for funds to be redistributed.

Community Services Manager Davis continued her presentation on FY 2021 CDBG funding recommendations, FY 2021 Arts and Music funding recommendations, and 2021-2025 CDBG Consolidated Plan and 2021 Annual Action Plan.

There being no requests to speak, Mayor Halliday opened and closed the public hearing at 7:21 p.m.

Council Member Wahab offered a motion, seconded by Council Member Márquez, to approve the resolution appropriating Community Agency funding recommendations for FY 2021 in the Social Services funding category.

It was moved by Council Member Wahab, seconded by Council Member Márquez, and carried by the following roll call vote, to approve the resolution:



**SPECIAL JOINT MEETING OF THE HAYWARD CITY COUNCIL/HAYWARD  
REDEVELOPMENT SUCCESSOR AGENCY BOARD/HAYWARD HOUSING  
AUTHORITY BOARD**

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AYES: COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas,  
Wahab, Zermeño  
MAYOR Halliday  
NOES: None  
ABSENT: None  
ABSTAIN: None

Resolution 20-098, "Resolution Approving and Appropriating  
the Community Agency Funding Recommendations for Fiscal  
Year 2021 in the Social Services Funding Category"

Council Member Márquez disconnected from Microsoft Teams at 7:29 p.m.

Council Member Salinas thanked the Community Services Commission and City staff for the  
work with FY 2021 funding recommendations.

It was moved by Council Member Zermeño, seconded by Council Member Salinas, and carried  
by the following roll call vote, to approve the resolutions:

AYES: COUNCIL MEMBERS Lamnin, Mendall, Salinas,  
Wahab, Zermeño  
MAYOR Halliday  
NOES: None  
ABSENT: COUNCIL MEMBERS Márquez  
ABSTAIN: None

Resolution 20-099, "Resolution Approving and Appropriating  
the Community Agency Funding Recommendations for Fiscal  
Year 2021 in the Community Development Block Grant (CDBG)  
Category and Authorizing the City Manager to Apply for  
Federal Assistance under the Community Development Block  
Grant Program"

Resolution 20-100, "Resolution Approving and Appropriating  
the Community Agency Funding Recommendations for Fiscal  
Year 2021 in the Arts and Music Funding Category"

Council Member Márquez rejoined the Microsoft Teams meeting at 7:31 p.m.

13. FY 2021 Budget: Public Hearing for the Proposed FY 2021 Operating Budgets for the City of Hayward, Hayward Redevelopment Successor Agency, and Hayward Housing Authority; FY 2021 Capital Improvement Program Budget; Approval of the FY 2021 Operating Budgets and Appropriations for FY 2021; Approval of the FY 2021 Capital Improvement Program Budget and Appropriations for FY 2021; Approval of the Hayward Redevelopment Successor Agency Budget, and Approval of the Hayward Housing Authority Budget **PH 20-052**

Staff report submitted by Director of Finance Claussen, dated June 23, 2020, was filed.

Finance Director Claussen provided a synopsis of the report.

Discussion ensued among members of the City Council/Board and City staff regarding: the additional \$1 million in one-time funds from the General Fund reserve towards Social Services funding for FY 2021 and the Community Services Commission holding a special meeting to develop recommendations to Council/Board for its approval; reimbursement of reserve funds under COVID-19 crisis; commitment to continue discussion with the community regarding the “seven demands” and service provision by the police department; potential layoffs should there be a second shelter in place order later in the year; \$1 million of the expected \$4.6 million for Other Post-Employment Benefits (OPEB) payment and plans for future payments; plans for a second wave of COVID-19 and quarterly reports to Council/Board on revenue generation; comprehensive community engagement plan to be presented to Council and the public within one month and setting October as a target for bringing recommendation and policy options for Council/Board consideration; community engagement related to the seven demands; the correction to the Fire Department budget to reflect last year’s staffing level; measures placed on the ballot and community commitments; and proposed FY 2021 Police Department budget reduction (approximately 4.9 percent reduction).

Mayor/Chair Halliday opened public hearing at 8:21 p.m.

Public speakers participated by calling the City Clerk’s office at (510) 583-4400.

Mr. Minesh Patel, Hayward resident, shared his research on police funding from cities’ General Funds in comparison to Hayward and supported reallocating 10 percent of Hayward’s police budget to community-based services.

Mr. George Syrop, Hayward resident, expressed support for the seven demands and formation of a panel that will address community issues that have been voiced during the past month.

Ms. Alicia Lawrence, The Hayward Collective member, expressed disappointment that the proposal only included a 4.9 percent police budget reduction and did not address the seven community demands.



## **SPECIAL JOINT MEETING OF THE HAYWARD CITY COUNCIL/HAYWARD REDEVELOPMENT SUCCESSOR AGENCY BOARD/HAYWARD HOUSING AUTHORITY BOARD**

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Ms. Debbie Frederick, Hayward resident, expressed Hayward needed to raise the quality of City services and not reduce Police Department staffing levels nor defund its budget.

Mr. Jesse Gunn, Hayward resident, supported actionable plans noting the 4.9 percent reduction was only a half measure and indicated the community was asking for a smaller police footprint and shared his negative experience with the Police Department.

Ms. Katie Alvarez, Hayward resident, expressed support for redistributing 10 percent of the police department budget to community-based services, noted other cities were already taking related actions and looked forward to the community engagement.

Mr. Jordan Leopold, Hayward resident, expressed support for the seven demands and emphasized the importance of having community engagement and ensuring the police department provides a service to the community.

Ms. Linda Cardott, expressed concern about the shortfall of the OPEB payment and a second wave of the pandemic which could drive the economy into a deeper recession and supported the Police Department, noting there is an opportunity for improvement but not divide the community.

Ms. Vanessa Sadsad, noted there was a need to defund the police department by 10 percent, but the Council had not offered proposals to address the demands and urged the Council to delay approving the proposed City budget.

Ms. Elizabeth Blancas, Hayward resident, expressed support for the seven demands, disagreed with the proposed 4.9 percent police department budget reduction, and urged Council to not approve the City's budget.

Ms. Navi Kaur, Punjabi Sikh community member, supported redirecting funds from the Police Department to the community, and noted it was failing to protect people of color and were not equipped to handle cases of domestic violence and mental illness, and asked Council to work with The Hayward Collective.

Mr. Isaac Harris spoke in support of the seven demands and reallocating 10 percent of the police department budget to community-based services and noted the importance of knowing the history of homeownership to understand the connection between policing, race, and property.

Ms. Erica Richards, Hayward resident, expressed support for the seven demands, particularly to redistribute 10 percent of the police budget to education and mental health resources and demilitarize and ban military equipment.

Mr. Jose Hernandez, Hayward resident, noted funding for community services was 2 percent, supported the seven demands, noted that Measure C comments were misleading, and added that public safety increases when there is funding for community-based services.

Ms. Maryann Higgs, Hayward resident, noted that taking funding away from the Police Department did not address police brutality and the other issues driving protests across the nation but through policy changes and behavioral training, and looked forward to community engagement and hearing from a broader section of the community.

Ms. Arieana Castellanos, Hayward resident, shared research from police departments, noted that crime decreased when Oakland laid off officers, favored using police funds toward education and urged support for the seven demands.

Ms. Araceli Orozco, Hayward resident, noted the proposed budget reduction did not address the seven demands and requested the Council to not approve the budget.

Ms. Angela Andrews, Planning Commissioner, was glad about additional funding for community services but was concerned with the timeline to make allocations, noted the Police Department was not trained to handle mental health calls and wanted to learn what community services were delivered via the police department.

Ms. Amelia Harmon, Hayward resident, referred to a 2016 report by Donald Frazier of Building Opportunities for Self-Sufficiency entitled, "A need for Alternatives to Incarceration for Mentally Ill in Alameda County".

Mr. Kevin Dowling, former Council Member, noted there were many excellent police officers, mental health counseling was challenging work, SRO officers were those who like to work with school children, and requested community engagement with a broader range of the community.

Ms. Toni West, Hayward resident, noted the City cannot move forward if its residents are still in pain and do not feel their concerns are being addressed.

Mr. Ian Valencia, Hayward resident, supported the seven demands and noted the 10 percent police budget reduction was modest and showed action.

Ms. Arianne Riley, Hayward resident, supported the updated demands, noted there were police officers but not nurses in schools and noted the need to fund community-based services to keep the community engaged.

Ms. Kimberly Wiley, Hayward resident, spoke how the community has been overrun with crime in recent years due to lack of police presence and was interested in learning how Police and City staffs will be reformed to make sure the City does not use reserves.

Mayor Halliday closed the public hearing at 9:28 p.m.





## **SPECIAL JOINT MEETING OF THE HAYWARD CITY COUNCIL/HAYWARD REDEVELOPMENT SUCCESSOR AGENCY BOARD/HAYWARD HOUSING AUTHORITY BOARD**

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Further discussion ensued among members of the City Council/Board and City staff regarding: a potential 10 percent reduction in the police department budget would involve layoffs; reallocation and reorganization of services within the police department would make sense within the overall context of service provision within the City organization planned to occur during the next couple of months, the City was looking at a budget that was not balanced without the use of reserves; the military police purchases under the CIP budget consisting mostly of replacement equipment and there was no purchase of military equipment or tear gas; and codifying in the resolution Council's commitment to reallocating funds in the Police Department.

Members of the City Council/Board acknowledged the speakers and all correspondence received and the participation of labor groups.

Council/Board Member Mendall noted it was highly unlikely the Council/Board would be able to make informed decisions unless it heard from all sectors of the community, did not want to miss the June 30 deadline which could jeopardize the City's rating during a time when the City's reserves were being depleted, acknowledged the Council would not be able to make major changes in how policing and community services are funded in the next seven days but could express its commitment to considering them, was open to considering the seven demands and evaluating them, stated that certain demands were budget related and Council could revisit the budget at any time to make changes, noted the importance to conduct community engagement and provide staff the time to analyze proposals, offered support for approving the budget and having a follow up conversation about a possible reorganization of the police department and its services, was open to having early conversations on whether Animal Services belongs in the police department, was open to demilitarizing the police department, and did not agree with eliminating technology.

Council/Board Member Zermeño was in favor of a community engagement plan and did not mind having a member of the police department involved, did not favor making a partial OPEB payment, favored allocating \$1 million for community-based services, did not support a 10 percent police budget reduction as this would cause layoffs, supported quarterly budget reports, encouraged everyone to shop locally to help Hayward's economy rebound, supported the seven demands and the Community Advisory Panel for Chief of Police. Council/Board Member Zermeño offered a motion per staff's recommendation.

Council/Board Member Márquez seconded the motion and offered a friendly amendment for language to be included in the resolution stating the City's commitment to having community dialogue related to services provided by the Hayward Police Department including but not limited to the seven demands. Council/Board Member Márquez noted there were other options that needed to be explored and the demands were actionable items that were going to take time and stressed the importance for Council to hear individual truths and experiences.

Council Member/Board Zermeño accepted the friendly amendment.

Council/Board Member Lamnin offered a friendly amendment to authorize \$1 million in one-time funds from the General Fund reserve towards Social Services funding for FY 2021 but not allocate it until budget review during the first quarter of the fiscal year in October.

Council/Board Members Zermeño and Márquez accepted the friendly amendment.

Council Member Lamnin noted the Council would review the OPEB payment obligation again in October and January with hopes of being able to make additional payments, noted five demands were in the current budget proposal in some form and there were funds allocated to both state and federal lobbyists who would be working on these issues as well as staff who would be engaged in county and state discussions, and noted other cities had made promises without concrete plans behind them.

Council/Board Member Salinas corrected a statement made by a speaker earlier in the meeting regarding his campaign committee.

Council/Board Member Salinas noted the City has been fiscally responsible in approving balanced budgets, expressed optimism that the Community Advisory Panel would be utilized to have community engagement, noted his commitment to investing in issues both related and nonrelated to the seven demands, and was in full support and commitment to seeing the process through, and agreed about committing \$1 million for community-based services and it would take robust community discussion for allocations.

Council/Board Member Wahab expressed significant concern at not making the full OPEB payment, did not agree with taking \$1 million from reserves as there was a downturn in the economy and a potential second wave pandemic, spoke about her referral which had a plan to look at the job scope of police officers and any services unrelated to crime would be transferred into a social services/social justice department with focus on investing more on mental health, housing, jobs, and crime, expressed her advocacy for more police training, noted community panelists should be made up of community members and not include police officers, did not support militarizing police but acknowledged the needed to have certain equipment, expressed concern about data retention policies and best practices, spoke about rethinking public safety and community needs and services when referring to removing some services from the police department, did not support reducing Hayward services primarily, and noted her priorities included investing in housing, economic development, education, and mental health.

Mayor/Chair Halliday was in favor of authorizing \$1 million for social services funding as this was the way to reduce the need for police services, suggested making additional OPEB contributions as the City receives one-time monies to balance the replenishment of the reserves, noted that mental health services need to be discussed and this was a good starting point and was looking forward to the community engagement, and noted the City needs to partner with Alameda County and inform the needs of the community so that funds for health



## **SPECIAL JOINT MEETING OF THE HAYWARD CITY COUNCIL/HAYWARD REDEVELOPMENT SUCCESSOR AGENCY BOARD/HAYWARD HOUSING AUTHORITY BOARD**

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and mental services can be directed to those in need.

It was moved by Council/Board Member Zermeno, seconded by Council/Board Member Márquez, and carried by the following roll call vote, to approve the resolutions with two friendly amendments: 1) include language in appropriate resolution stating the City's commitment to having community dialogue related to services provided by the Hayward Police Department including but not limited to the seven demands; and 2) authorize \$1 million for Social Services funding but do not allocate until budget review during the first quarter of the fiscal year in October.

AYES: COUNCIL/HRSAB/HHAB MEMBERS Lamnin, Márquez,  
Mendall, Salinas,  
Zermeno  
MAYOR/CHAIR Halliday  
NOES: COUNCIL/HRSAB/HHAB MEMBER Wahab  
ABSENT: None  
ABSTAIN: None

Resolution 20-101, "Resolution Approving the Operating Budget of the City of Hayward for Fiscal Year 2021; Adopting Appropriations for Fiscal Year 2021, Except for General Fund Community Agency Funding"

Redevelopment Successor Agency Resolution 20-02, "Resolution of the City Council of the City of Hayward, Acting as the Governing Board of the Successor Agency for the redevelopment Agency of the City of Hayward, Approving the Budget of the Redevelopment Successor Agency of the City of Hayward and Adopting Appropriations for Fiscal Year 2021"

Housing Authority Resolution 20-01, "Resolution Approving and Appropriating the Community Agency Funding Recommendations for Fiscal Year 2021 in the Social Services Funding Category"

Resolution 20-100, "Resolution Approving Capital Improvement Projects for Fiscal Year 2021"

14. Engineer's Report LLD No. 96-1: Adopt a Resolution to Approve the Final Engineer's Report, Reconfirm Maximum Base Assessment Amounts, Confirm the Assessment Diagrams and Fiscal Assessments, Order the Levy and Collection of Fiscal Assessments; and Adopt a Resolution to Approve Funding Recommendations and Appropriate Special Revenue Funds for Consolidated Landscaping and Lighting Assessment District No. 96-1, Zones 1 through 18, for Fiscal Year 2021 **PH 20-049**

Staff report submitted by Maintenance Services Director Rullman, dated June 23, 2020, was filed.

Management Analyst II Blohm provided a synopsis of LLD No. 96-1, Maintenance District No. 1, and Maintenance District No. 2 reports; and addressed questions related to the Consolidated Landscaping and Lighting Assessment District No. 96-1, Zone 3 (LLD 3) percent cap, how it is applied to all districts, inflation factor and calculations for the assessments.

Mayor Halliday opened the public hearing at 10:52 p.m.

Public speakers participated by calling the City Clerk's office at (510) 583-4400.

Mr. Steve Oiwa, Hayward resident, spoke about the notice for LLD Zone 3 for the Prominence area, noted his assessment was over \$900 and could not afford it and inquired who had made such decision. Mr. Oiwa also recommended implementation of a speaking time limit for members of the City Council.

Management Analyst III Blohm responded that in the Prominence area there is a Prominence Landscape Committee and it was requested that the Consumer Price Index (CPI) be applied to the rate and again this year the Committee requested that the 3 percent be applied to the assessment rate. Ms. Blohm encouraged Mr. Oiwa to work with the Prominence Landscape Committee to understand what landscaping is performed in the Prominence area. Mr. Oiwa was also advised to contact his homeowner's association (HOA).

Mayor Halliday closed the public hearing at 10:58 p.m.

Council Member Mendall disclosed he resides in Zone 7; however, he did not need to recuse himself from voting on the item. Council Member Mendall noted that Council Members should limit themselves to ten minutes and be self-monitored. Council Member Mendall noted while it is Council's decision to increase the assessments, for the most part, the increases are driven by requests from the communities living in the LLDs for landscaping work done.

Council Member Mendall offered a motion per staff's recommendation.

Council Member Márquez seconded the motion.



## SPECIAL JOINT MEETING OF THE HAYWARD CITY COUNCIL/HAYWARD REDEVELOPMENT SUCCESSOR AGENCY BOARD/HAYWARD HOUSING AUTHORITY BOARD

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Council Member Lamnin commented that when Council addresses the referral process, the Council's allotted speaking time can also be added to the agenda for discussion.

Council Member Lamnin supported the motion and added that when new LLDs are added, that Council consider how reserve amounts are maintained as she was concerned about large increases when districts are coming online with the City. City Manager McAdoo said there could be an option to phase in assessment fees over the first couple of years and that staff would have to look into it.

Mayor Halliday was concerned about the amount of the assessment on top of the property tax and that it is often when a community is being developed and that is when there is the initial need for services and it helps these areas look better.

It was moved by Council Member Mendall, seconded by Council Member Márquez, and carried by the following roll call vote, to approve the resolutions:

AYES:	COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas, Wahab, Zermeno MAYOR Halliday
NOES:	None
ABSENT:	None
ABSTAIN:	None

Resolution 20-103, "Resolution Approving the Final Engineer's Report, Reconfirming Maximum Base Assessments, Confirming the Assessment Diagrams and Fiscal Assessments, and Ordering Levy and Collection of Fiscal Assessments for Fiscal Year 2021 for the Landscaping and Lighting Assessment District No. 96-1, Zones 1-18"

Resolution 20-104, "Resolution Approving Funding Recommendations and Appropriating Special Revenue Funds for Consolidated Landscaping and Lighting Assessment District No. 96-1, Zones 1 through 18 for Fiscal Year 2021"

15. Engineer's Report MD No. 1: Adopt a Resolution to Approve the Final Engineer's Report, Confirm the Maximum Base Assessment Rate, Confirm the Fiscal Assessment Rate, Confirm the Assessment Diagram, Order the Levy and Collection of Fiscal Assessment; and Adopt a Resolution to Approve Funding Recommendations and Appropriate Revenue and Expenditure Budgets for Maintenance District No. 1 (MD-1) – Storm Drainage Pumping Station and Storm Drain Conduit – Pacheco Way, Stratford Road and Ruus Lane, for Fiscal Year 2021 **PH 20-050**

Staff report submitted by Maintenance Services Director Rullman, dated June 23, 2020, was filed.

Management Analyst II Blohm provided a synopsis of LLD No. 96-1, Maintenance District No. 1, and Maintenance District No. 2 reports.

The public hearing for this item was held concurrent with item 14.

It was moved by Council Member Mendall, seconded by Council Member Márquez, and carried by the following roll call vote, to approve the resolutions:

AYES:	COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas, Wahab, Zermeño MAYOR Halliday
NOES:	None
ABSENT:	None
ABSTAIN:	None

Resolution 20-105, "Resolution Approving the Final Engineer's Report, confirming Maximum Base Assessment amount, Confirming the Fiscal Assessment Rate, Confirming the Assessment Diagram, and Ordering the Levy and Collection of the Fiscal Assessment for Fiscal Year 2021 for Maintenance District No. 1: Storm Drainage Pumping Station and Storm Drain - Pacheco Way, Stratford Road, and Ruus Lane"

Resolution 20-106, "Resolution Approving Funding Recommendations and Appropriating the Special Revenue Funds for Maintenance District No.1 for Fiscal Year 2021"

16. Engineer's Report MD No. 2: Adopt a Resolution to Approve the Final Engineer's Report, Confirm the Maximum Base Assessment Rate, Confirm the Fiscal Assessment Rate, Confirm the Assessment Diagram, Order the Levy and Collection of Fiscal Assessment; and Adopt a Resolution to Approve Funding Recommendations and Appropriate Revenue and Expenditure Budgets for Maintenance District No. 2 - Eden Shores Storm Water Buffer and Facilities, for Fiscal Year 2021 **PH 20-051**

Staff report submitted by Maintenance Services Director Rullman, dated June 23, 2020, was filed.

Management Analyst II Blohm provided a synopsis of LLD No. 96-1, Maintenance District No. 1, and Maintenance District No. 2 reports.

The public hearing for this item was held concurrent with item 14.



**SPECIAL JOINT MEETING OF THE HAYWARD CITY COUNCIL/HAYWARD  
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AUTHORITY BOARD**

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It was moved by Council Member Mendall, seconded by Council Member Márquez, and carried by the following roll call vote, to approve the resolutions:

AYES: COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas,  
Wahab, Zermeno  
MAYOR Halliday  
NOES: None  
ABSENT: None  
ABSTAIN: None

Resolution 20-107, "Resolution Approving the Final Engineer's Report, Confirming Maximum Base Assessment Amount, Confirming the Fiscal Assessment Rate, Confirming the Assessment Diagram, and Ordering the Levy and Collection of the Fiscal Assessment for Fiscal Year 2021 for Maintenance District No. 2: Eden Shores Water Buffer Zone and Pre-Treatment Pond"

Resolution 20-108, "Resolution Approving Funding Recommendations and Appropriating the Special Revenue Funds for Maintenance District No. 2 for Fiscal Year 2021"

**LEGISLATIVE BUSINESS**

17. Hayward Municipal Code: Adopt an Ordinance Amending Chapter 10, Article 1 (Zoning Ordinance) of the Hayward Municipal Code Rezoning Certain Property to General Commercial in Connection with Zone Change Application No. 202000605 to Accommodate the Future Development of Parcel Group 9 **LB 20-031**

Staff report submitted by City Clerk Lens, dated June 23, 2020, was filed.

City Clerk Lens announced the staff report appeared under Legislative Business because the introduction of the ordinance did not warrant unanimous vote.

Mayor Halliday opened the public hearing at 11:07 p.m.

Public speakers participated by calling the City Clerk's office at (510) 583-4400.

Ms. Daylen Perkins, Hayward resident, registered her opposition for consideration of a hotel for Parcel Group 9 and favored something for children and urged the Council to vote against the item.

Dr. Ann Maris, Hayward resident, noted the community did not have an opportunity to weigh in on the item as there was a meeting with multiple sites on the agenda, expressed the need to have further community outreach, and urged Council to vote against changing the zoning designation.

Ms. Brandi Gomes, lives on Norway, said this was a bad planning idea.

Mayor Halliday closed the public hearing at 11:11 p.m.

Council Member Mendall clarified that Council was not making any decision on what development would be built on the site and noted the rezoning would create flexibility. Council Member Mendall offered a motion per staff's recommendation.

Mayor Halliday seconded the motion and echoed Council Member Mendall's comments, noted that, as done with other Caltrans properties, the City would be putting out a Request for Proposals (RFP), and favored holding a community meeting specific for Parcel Group 9.

Council Member Salinas commented that he had listened to community comments opposing a hotel and that he was aware of the hotels along Foothill Boulevard. Council Member Salinas noted he would not vote for another hotel that would attract the same element to existing hotels and the project for the site would need to include community benefit.

It was moved by Council Member Mendall, seconded by Mayor Halliday, and carried by the following roll call vote, to approve the ordinance:

AYES:	COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas, MAYOR Halliday
NOES:	COUNCIL MEMBERS Wahab, Zermeño
ABSENT:	None
ABSTAIN:	None

Ordinance 20-10, "An Ordinance Amending Chapter 10, Article 1 (Zoning Ordinance) of the Hayward Municipal Code Rezoning Certain Property to General Commercial in Connection with Zone Change Application No. 202000605 to Accommodate the Future Development of Parcel Group 9"

18. Hayward City Charter Amendment: Consider Proposed City Charter Amendment to Eliminate Qualified Elector/Citizenship Requirement for Service on Boards, Commissions, Committees, Task Forces, and Advisory Bodies **LB 20-033**

Staff report submitted by City Manager McAdoo, City Attorney Lawson, and City Clerk Lens, dated June 23, 2020, was filed.

Mayor Halliday provided background for the staff report.





## **SPECIAL JOINT MEETING OF THE HAYWARD CITY COUNCIL/HAYWARD REDEVELOPMENT SUCCESSOR AGENCY BOARD/HAYWARD HOUSING AUTHORITY BOARD**

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Discussion ensued among members of the City Council and City staff about the following: flexibility extending the City Commissions and Keep Hayward Clean and Green Task Force (KHCGTF) recruitment/appointment process; public notification; the use of the word “citizen” in City communications to try to be more inclusive by using alternative words such as “resident” or “community member”; Charter amendment process; background information for bringing the proposal before Council; the cost of placing the Charter amendment on the November ballot and data comparable to the Presidential Election in 2016.

Council Member Mendall noted that if the item were to return to Council for a decision to place the item on the 2020 November ballot, he expected staff to have clear answers related to the cost of adding the Charter amendment to the November ballot.

There being no public comments, Mayor Halliday opened and closed the public hearing at 11:40 p.m.

Council Member Márquez offered a motion to move the item per staff’s recommendation.

Council Member Salinas seconded the motion.

Council Member Zermeño was glad the three Council’s appointees had taken the initiative to bring forward such an important topic for the City to be inclusive and added he had heard from a former DACA student who is a longtime Hayward resident, for being turned down as an applicant for a City commission because she was found ineligible due to her voter status.

Council Member Lamnin thanked the three Council’s appointees for taking the initiative and to Council Member Márquez who had been talking about the issue for a number of years, was not concerned with the additional cost to a scheduled election, was concerned about delaying the City Commissions and KHCGTF annual recruitment/appointment process, noted the guidelines for Commissions would also need to be reviewed as stated in the staff report, noted the word “citizen” was used four times in the Charter and would defer to staff if that could be an additional grammatical change.

Council Member Mendall thanked Council Member Márquez for championing the item for a number of years, agreed with Council Member Lamnin in not delaying the City Commissions and KHCGTF annual recruitment/appointment process on the presumption that the Charter amendment would pass noting that if the Charter amendment passes in November there would be time to implement the change for next year’s recruitment and also change the community outreach.

Council Member Wahab noted that while she understood the spirit of the item and was generally happy to have the voters decide, she was concerned with staff’s capacity when there

were priority matters related to housing, economic development, and public safety, wanted clear cost estimates, and wanted further community input.

It was moved by Council Member Márquez, seconded by Council Member Salinas, and carried by the following roll call vote, to approve the staff recommendation:

AYES:	COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas, Wahab, Zermelo MAYOR Halliday
NOES:	None
ABSENT:	None
ABSTAIN:	None

19. Adopt a Resolution Approving an Amendment to the City of Hayward Salary Plan for Fiscal Year 2021 **LB 20-029**

Staff report submitted by Assistant City Manager/Interim Human Resources Director Hurtado, dated June 23, 2020, was filed.

Assistant City Manager Hurtado provided a synopsis of the report.

There being no public comments, Mayor Halliday opened and closed the public hearing at 11:54 p.m.

Members of the City Council expressed appreciation for members of various labor groups, and City staff for their participation and partnership during a difficult time.

It was moved by Council Member Salinas, seconded by Council Member Wahab, and carried by the following roll call vote, to approve the resolution:

AYES:	COUNCIL MEMBERS Lamnin, Márquez, Mendall, Salinas, Wahab, Zermelo MAYOR Halliday
NOES:	None
ABSENT:	None
ABSTAIN:	None

Resolution 20-109, "Resolution Approving the Amended Fiscal Year 2021 Salary Plan Designating Positions of Employment in the City of Hayward and Salary Range; and Superseding Resolution No. 20--and all Amendments Thereto"



**SPECIAL JOINT MEETING OF THE HAYWARD CITY COUNCIL/HAYWARD  
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**CITY MANAGER'S COMMENTS**

There were none.

**COUNCIL REPORTS AND ANNOUNCEMENTS**

Council Member Salinas reminded everyone that fireworks were not permitted in the City of Hayward, noted there are people with medical and mental conditions and folks need to be mindful of their neighbors.

Mayor Halliday echoed Council Member Salinas' comments as the last couple of weeks there have been loud, bomb-like noises from fireworks. Mayor Halliday noted it was time to exercise kindness and asked residents to keep that in mind as the Fourth of July holiday approaches.

**ADJOURNMENT**

Mayor Halliday adjourned the meeting on June 24, 2020 at 12:03 a.m.

**APPROVED**

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Barbara Halliday  
Mayor, City of Hayward

**ATTEST:**

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Miriam Lens  
City Clerk, City of Hayward



# CITY OF HAYWARD

Hayward City Hall  
777 B Street  
Hayward, CA 94541  
[www.Hayward-CA.gov](http://www.Hayward-CA.gov)

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**File #:** CONS 20-252

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**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Director of Development Services

**SUBJECT**

Adopt a Resolution Approving the Report and Nuisance Abatement/Municipal Code Liens with the County Recorder's Office for Non-Abatable Code Violations

**RECOMMENDATION**

That Council adopts a resolution (Attachment II) confirming the report of non-abatable code violations, and penalty liens associated with the Code Enforcement Division and Community Preservation/Rental Housing Programs.

**SUMMARY**

The purpose of this Nuisance Abatement/Municipal Code confirmation is to consider the proposed report and filings of liens with the County Recorder's Office as a third collection tool for the Community Preservation and Rental Housing Programs. The Resolution will officially confirm the properties in violation of City ordinances and will be filed with the County for recordation on property titles.

**ATTACHMENTS**

Attachment I	Staff Report
Attachment II	Resolution



**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Development Services Director

**SUBJECT** Adopt a Resolution Approving the Report and Nuisance Abatement/Municipal Code Liens with the County Recorder's Office for Non-Abatable Code Violations

### **RECOMMENDATION**

That Council adopts a resolution (Attachment II) confirming the report of non-abatable code violations, and penalty liens associated with the Code Enforcement Division and Community Preservation/Rental Housing Programs.

### **SUMMARY**

The purpose of this Nuisance Abatement/Municipal Code confirmation is to consider the proposed report and filings of liens with the County Recorder's Office as a third collection tool for the Community Preservation and Rental Housing Programs. The Resolution will officially confirm the properties in violation of City ordinances and will be filed with the County for recordation on property titles.

### **BACKGROUND**

Hayward's Community Preservation and Improvement Ordinance (Article 7, Chapter 5 of the Hayward Municipal Code (HMC)), otherwise known as the Community Preservation and Improvement Ordinance, makes it unlawful for Hayward property owners to allow the condition of their property to deteriorate to the point that it becomes detrimental to the public health, safety, or general welfare of the community. This includes both inhabited properties and vacant properties, whether residential or commercial. Typical violations include debris, trash, overgrown vegetation, graffiti, signs, zoning issues, abandoned and/or inoperable vehicles, and the like.

Hayward's Residential Rental Inspection Ordinance (Article 5, Chapter 9 of the Hayward Municipal Code (HMC)), otherwise known as the Residential Rental Inspection Ordinance (RRIO), creates an inspection program for residential rental units in the City. The purpose of the RRIO is to safeguard the stock of safe and sanitary rental housing by inspecting units for violations of housing and building codes. This includes all rental housing units and hotels and motels. Typical violations include housing violations such as inadequate maintenance, and unpermitted building, plumbing, electrical and mechanical work.

Hayward's Public Nuisance Ordinance (Article 1, Chapter 4 of the Hayward Municipal Code (HMC)), otherwise known as the Public Nuisance Ordinance, defines a public nuisance as anything that is injurious to health, or is indecent, offensive to the senses, or an obstruction to the free use of property that interferes with the comfortable or safe enjoyment of life or property in the community.

These ordinances provide staff an alternative method of enforcement and collections for non-abatable violations of the HMC. A condition on property is considered non-abatable when City staff cannot perform the abatement and the property owner fails to comply with the City's requirement to perform abatement. Examples of non-abatable conditions include fence height(s) and/or structures that do not meet setback requirements, illegal structures, businesses operating without an approved use permit (if applicable) or failing to comply with Conditions of Approval of an approved use permit, parking violations, rental housing violations, and illegal units. Adoption of the resolution will authorize staff to file a lien against properties in violation with the County Recorder's Office.

This additional enforcement process does not affect or change the Administrative Hearing request process, nor the Special Assessment Process. However, this Nuisance Abatement/Municipal Code Violations lien process is an additional means of enforcement when dealing with non-abatable code violations. Staff utilizes the lien and special assessment processes independently or in conjunction to enhance compliance efforts. The lien process differs from that used for special assessments in that a violation and fees are recorded on a property's title to alert potential buyers or those with a fiduciary interest in the property, such as a lending institution, of the property violation and the need to pay a fee. The primary function of special assessments, related to action taken by Council, is to allow the City to collect past due fees via annual tax bills. Authority for this process is granted under the Community Preservation and Improvement Ordinance, Residential Rental Inspection Ordinance and Government Code Section 38773.1.

## **DISCUSSION**

As of the date of this report, there are fourteen (14) properties being submitted to Council for the filing of a Nuisance Abatement/Municipal Code Violations lien, as listed in Exhibit "A" in the attached resolution (Attachment II). The unpaid charges, which total \$114,782.00 plus any administrative costs of the County, will become liens on the property titles. When the properties are sold or refinanced, the liens will be paid.

Staff sends a minimum of three notices to the property owner in question and, if applicable, to the tenants. The first notice informs the recipient of the violation and the right to an Administrative Hearing to dispute the factual findings. The notices are sent by first class mail with proof of service. The final notice is also delivered by way of process server. The final notice details all related costs and/or fees and informs the affected parties of the opportunity to request an Administrative Hearing. The notice also encourages them to make the needed corrections(s) to bring their properties into compliance. To date, no Administrative Hearings have been requested to be heard by the City's hearing officer. A confirmed copy of the

Nuisance Abatement/Municipal Code Violations form will be sent to the owner, tenant and lender once received from the County Recorder's Office.

### **ECONOMIC IMPACT**

The filing of liens with the County Recorder's Office supports the community preservation/ rental inspection programs in ensuring funding is available to keep well maintained, safe and sanitary neighborhoods and properties.

### **FISCAL IMPACT**

There is no negative fiscal impact to the City of Hayward resulting from this action. There will be 100% cost recovery reimbursement through the lien process. To change ownership of a property, a lien must be satisfied. If the property is sold or the owner refinances, the City will receive reimbursement. All reimbursed funds are allocated to the General Fund and support the Code Enforcement Division's on-going compliance efforts.

### **STRATEGIC ROADMAP**

This agenda item is a routine operational item and does not directly relate to any of the projects outlined in the Council's Strategic Roadmap.

### **SUSTAINABILITY FEATURES**

The recommended action for this report will not directly result in physical development; the purchase of a product or service; new policy or legislation related to sustainability.

### **PUBLIC CONTACT**

Notice of City Council's confirmation of this report was published in *The Daily Review* on June 26 and July 3, 2020.

### **NEXT STEPS**

A copy of the lien list will be forwarded to the Alameda County Assessor's Office. Upon receipt, the Assessor's Office will attach the City of Hayward's fees past due and violations as a lien against each parcel. That lien will then appear on the property title until the fees have been paid and violation(s) are abated.

*Prepared by:* Phillip Nichols, Code Enforcement Manager

*Recommended by:* Laura Simpson, Development Services Director

Approved by:

A handwritten signature in black ink, appearing to read 'K. McAdoo', written in a cursive style.

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Kelly McAdoo, City Manager



HAYWARD CITY COUNCIL

RESOLUTION NO. 20-\_\_\_\_\_

Introduced by Council Member \_\_\_\_\_

RESOLUTION CONFIRMING THE REPORT AND NON-ABATABLE CODE VIOLATIONS AND PENALTIES LIENS LIST ASSOCIATED WITH THE CODE ENFORCEMENT DIVISION AND COMMUNITY PRESERVATION/RENTAL HOUSING PROGRAMS

WHEREAS, in connection with the Code Enforcement Division, Community Preservation/Rental Housing Programs, the Code Enforcement Manager has rendered an itemized report ("the Report", attached as Exhibit "A") in writing to the City Council showing the Community Preservation/Residential Rental Inspections and Zoning Ordinance non-abatable code violations and related fines, fees, penalties and lien costs for certain properties in the City of Hayward described in the Report; and

WHEREAS, the hour of 7:00 p.m. on Tuesday, July 7, 2020, in Hayward, California, was fixed as the time and place for the City Council to confirm the Report, as published and noticed in the manner required by Section 5-7.110 of the Municipal Code; and

WHEREAS, the Report was presented at the time and place fixed, and the City Council has considered the report and all comments with respect thereto.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Hayward confirms, except as may be amended by Council, the Report of the Code Enforcement Manager of the City of Hayward Code Enforcement Division, Community Preservation/Rental Housing Programs on costs and non-abatable ordinance violations associated with the properties described in the Report.

BE IT FURTHER RESOLVED that payments of all fines, fees, penalties and lien costs confirmed hereby may be received by the City of Hayward Finance Director within ten days from the date of this resolution and thereafter such official shall transmit the unpaid charges to the County Recorder's Office for a Nuisance Abatement lien on said property(s) listed in Report.

IN COUNCIL, HAYWARD, CALIFORNIA JULY 7, 2020.

ADOPTED BY THE FOLLOWING VOTE:

AYES:            COUNCIL MEMBERS:  
                     MAYOR:

NOES:           COUNCIL MEMBERS:

ABSTAIN:       COUNCIL MEMBERS:

ABSENT:        COUNCIL MEMBERS:

ATTEST: \_\_\_\_\_  
                 City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward

**EXHIBIT A:****CITY OF HAYWARD – PROPERTY LIEN REPORT FY 2019/2020**

LINE	CASE	ADDRESS	PARCEL NUMBER	ZONING	VIOLATION	LIEN AMOUNT
1	CE-18-0318	671 Meek Ave	431-0048-072-00	Neighborhood Commercial	Un-Permitted Construction	\$6,489.00
2	CE-17-3094	2783 Breaker Cir	461-0103-037-00	Single Family Residential	Un-Permitted Construction	\$6,489.00
3	CE-18-1983	27434 Capri Ave	456-0063-039-00	Single Family Residential	Un-Permitted Construction	\$6,489.00
4	CE-18-2652	28075 Mission Blvd	452-0080-043-02	Urban Center Zone	Vacant Property Standards	\$6,489.00
5	CE-18-2829	913 B St	428-0066-002-00	Central City Commercial	Un-Permitted Construction	\$6,489.00
6	CE-18-2958	1001 Highland Blvd	445-0140-026-00	Single Family Residential	Un-Permitted Construction	\$6,489.00
7	CE-19-1988	27405 Manon Ave	453-0060-017-10	Medium Density Residential	Public Nuisance	\$6,489.00
8	CE-17-0325	1220 W Tennyson Rd	464-0020-015-00	Neighborhood Commercial	Public Nuisance	\$6,489.00
9	CE-17-0294	2662 Sleepy Hollow Ave	456-0008-095-00	Single Family Residential	Un-Permitted Construction	\$7,081.00
10	CE-18-1102	25251 Campus Dr	445-0090-023-00	Single Family Residential	Un-Permitted Construction	\$8,032.00
11	CE-16-0125	27986 Ormond Ave	464-0030-048-00	Single Family Residential	Un-Permitted Construction	\$8,629.00
12	CE-17-0051	29225 Sims Ct	464-0100-015-03	Industrial	Un-Permitted Construction	\$10,641.00
13	CE-17-1548	141 Jackson St	444-0018-001-00	General Commercial	Land Use Permit Violation	\$13,167.00
14	CE-18-2424	30569 Midlothian Way	078G-2710-007-00	Single Family Residential	Public Nuisance	\$15,320.00
<b>TOTAL</b>						<b>\$114,782.00</b>



# CITY OF HAYWARD

Hayward City Hall  
777 B Street  
Hayward, CA 94541  
[www.Hayward-CA.gov](http://www.Hayward-CA.gov)

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**File #:** CONS 20-264

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**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Director of Development Services

**SUBJECT**

Adopt a Resolution Approving Report and Assessment for Community Preservation Fees Past Due

**RECOMMENDATION**

That Council adopts a resolution (Attachment II) confirming the report and assessment for overdue community preservation charges (Attachment III) for the period from January 1, 2019 through May 4, 2020 and authorizing the assessments to become a special assessment against the properties if not paid on or before August 1, 2020.

**SUMMARY**

The purpose of the Special Assessment confirmation is to consider the proposed report and assessment list for unpaid Community Preservation fees and to determine whether a special assessment should be placed on these properties.

Due to COVID-19, staff has been made aware that some processes have been deferred as a result of the pandemic. This has delayed the City's ability to identify all completed payments associated with listed assessments. Staff will be conducting an additional review of all payments prior to the official assessment date, to assure any payments received prior to this date are recorded and that property is removed from the assessment list, if appropriate.

**ATTACHMENTS**

Attachment I	Staff Report
Attachment II	Resolution
Attachment III	Overdue Community Preservation Fees List



**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Director of Development Services

**SUBJECT:** Adopt a Resolution Approving Report and Assessment for Community Preservation Fees Past Due

### **RECOMMENDATION**

That Council adopts a resolution (Attachment II) confirming the report and assessment for overdue community preservation charges (Attachment III) for the period from January 1, 2019 through May 4, 2020 and authorizing the assessments to become a special assessment against the properties if not paid on or before August 1, 2020.

### **SUMMARY**

The purpose of the Special Assessment confirmation is to consider the proposed report and assessment list for unpaid Community Preservation fees and to determine whether a special assessment should be placed on these properties.

Due to COVID-19, staff has been made aware that some processes have been deferred as a result of the pandemic. This has delayed the City's ability to identify all completed payments associated with listed assessments. Staff will be conducting an additional review of all payments prior to the official assessment date, to assure any payments received prior to this date are recorded and that property is removed from the assessment list, if appropriate.

### **BACKGROUND**

Article 7, Chapter 5 of the Hayward Municipal Code (HMC), otherwise known as the Community Preservation Ordinance, currently makes it unlawful for Hayward property owners to allow the condition of their property to deteriorate to the point that it becomes detrimental to the public health, safety, or general welfare of the community. This includes both inhabited properties and vacant properties, whether residential or commercial. Typical violations include debris, trash, vegetation, graffiti, signs, zoning issues, and abandoned and/or inoperable vehicles.

"Public nuisance" is defined in the Ordinance, as are the procedures for enforcing the Ordinance. The Ordinance provides due process protections that guarantee the property owners who are cited for violations of the Ordinance, notice, and the opportunity to be heard.

Once a violation of the Ordinance has been established at a particular property and all appropriate notifications have been made, fines, fees, penalties and/or abatement of the violation can and will be imposed. Consequently, once the property owner has exhausted his or her administrative remedies, the property owner must then pay any and all costs related to his/her property violations in the appropriate timeframe set forth in the Ordinance. If those costs are not paid in full prior to the July deadline each year, the unpaid charges are then scheduled for special assessment against the property once confirmed and authorized by Council resolution.

## **DISCUSSION**

The costs that make up the special assessment charges were calculated pursuant to the City's Master Fee Schedule. Fines and fees include: failed re-inspection(s) fees; abatement related costs; contractor fees; subsequent violation(s); liens; and past due fees.

As of the date of this writing, there are overdue bills (including contractor costs) affecting 64 properties amounting to \$368,196.54. The accounts receivable list is attached as Attachment III.

The unpaid charges, plus any administrative costs of the City and County, will become a special assessment against the property and will appear on the property owners' November tax bills. Notices sent by mail, with proof of service, were mailed to each property owner, and tenant if applicable, in accordance with the Ordinance. Property owners were given an opportunity for an Administrative Hearing to dispute the factual findings and/or assessment of fees. Two Administrative and/or Special Assessment Hearings were requested and conducted for the period from January 1, 2019 through May 4, 2020. As of the writing of this report, no requests have been recently filed. Additionally, after three past due invoices were mailed to the property owners, a Final Notice was sent by certified mail on May 22, 2020 advising the property owners of the impending assessment against their property pursuant to Government Code Section 38773.5.

## **ECONOMIC IMPACT**

The collection of un-paid fees supports the community preservation program in ensuring well maintained, safe and sanitary neighborhoods and properties.

## **STRATEGIC ROADMAP**

This agenda item supports the Strategic Priority of Support Quality of Life Initiative. Specifically, this item relates to the implementation of the following project(s):

*Project 10: Implement a strategy to compel Union Pacific to Clean up their unsafe and blighted properties, mitigate public safety risk, and reduce ineffective use of staff resources.*

## **FISCAL IMPACT**

There is no fiscal impact to the City of Hayward associated with processing such overdue bills, as City costs are reimbursed through special assessment or other collection processes. All special assessment costs are collected along with lien amounts on individual tax bills. Collection of these fees also helps minimize the General Fund subsidy to this program and reduces unrecoverable costs of conducting inspections associated with the City's Community Preservation Program because they represent fees assessed for staff time related to enforcement actions. The City of Hayward annually receives two special assessment payments from the County, one in December and one in April.

## **SUSTAINABILITY FEATURES**

The recommended action for this report will not directly result in physical development; the purchase of a product or service; new policy or legislation related to sustainability.

## **PUBLIC CONTACT**

Notice of City Council's confirmation of this report was published in the Daily Review on June 26 , & July 3 , 2020. In addition, all first invoices include specific language giving the property owner an opportunity for a Special Assessment Hearing to contest the fees and/or penalties and encouraging them to pay their bills to minimize additional fees and to avoid being placed on the proposed assessment list. As mentioned above, staff conducted thirteen administrative hearings regarding community preservation assessments. Property owners have until August 1, 2020 to pay all outstanding fees.

## **NEXT STEPS**

A copy of the Special Assessment List will be forwarded by the City of Hayward's Revenue Division to the Alameda County Assessor's Office. Upon receipt, the Assessor's Office will attach the City of Hayward's fees past due as a special assessment against each parcel. That assessment will then appear on the property owners' November 2020 property tax bill for collection. When the County Assessor receives the tax payment, the City of Hayward will be reimbursed by the Assessor's Office typically after payment of the second installment in April of the following year.

*Prepared by:* Phillip Nichols, Code Enforcement Manager

*Recommended by:* Laura Simpson, Director of Development Services

*Approved by:*



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Kelly McAadoo, City Manager

HAYWARD CITY COUNCIL

RESOLUTION NO. 20-

RESOLUTION CONFIRMING THE REPORT AND SPECIAL ASSESSMENT LIST  
AND AUTHORIZING TRANSMITTAL OF ASSESSMENTS TO THE COUNTY  
AUDITOR FOR COLLECTION ASSOCIATED WITH OVERDUE COMMUNITY  
PRESERVATION CHARGES FOR CALENDAR YEAR JANUARY 1, 2019  
THROUGH MAY 4, 2020

WHEREAS, in connection with the City of Hayward Community Preservation Program, the Code Enforcement Manager has rendered an itemized report herein referred to as an assessment list, specifying the date and nature of inspections performed, the amount of unpaid program and other fees and penalty charges imposed in calendar year 2019 and through May 4, 2020, and the names and addresses of owners of inspected rental units, including hotel and motel units, all as required by section 9-5.503 of the Municipal Code of the City of Hayward; and

WHEREAS, the hour of 7:00 p.m. on Tuesday, July 7, 2020, in Hayward, California, was fixed as the time and place for this Council to receive and consider the report, and a copy of the report has been posted and published in the manner required by section 9-5.504 of the Municipal Code; and

WHEREAS, the hearing was held at the time and place fixed, and the City Council has considered the report and assessment list and all comments with respect thereto.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Hayward that, except as amended by Council, the report of the Code Enforcement Manager of the Code Enforcement Division on the cost of causing the correction, repair, or abatement of violations on the properties therein described, a copy of which is attached hereto, is hereby confirmed.

BE IT FURTHER RESOLVED that payments of assessments confirmed hereby may be received by the City of Hayward Finance Director up to the hour of 5:00 p.m. on August 1, 2020, and thereafter, the Finance Director shall transmit the unpaid assessments to the County Auditor for collection on the property tax roll.



IN COUNCIL, HAYWARD, CALIFORNIA, JULY 7, 2020.

ADOPTED BY THE FOLLOWING VOTE:

AYES:           COUNCIL MEMBERS:  
                  MAYOR:

NOES:           COUNCIL MEMBERS:

ABSTAIN:       COUNCIL MEMBERS:

ABSENT:        COUNCIL MEMBERS:

ATTEST: \_\_\_\_\_  
          City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward

**CITY OF HAYWARD SPECIAL ASSESSMENT INVOICE PARCEL INFORMATION  
2020 COMMUNITY PRESERVATION**

Attachment III

Invoice #	Property Owner Name	Parcel ID	Property Address	Invoice Description	Due Amount
1- 344966	1968 ALPINE LLC	439-0004-032-02	1970 ALPINE WAY	Code Enforcement Case: 18-2316 ZONING - COMMERICAL CONSTRUCTION	\$ 2,599.74
2- 345130	24951 HUNTWOOD AVENUE LLC	443-0080-026-08	24951 HUNTWOOD AVE	Code Enforcement Case: 19-2853 ZONING - CANNABIS	\$ 5,000.00
3- 344611	29300 PACIFIC LLC	083-0455-003-04	29300 PACIFIC ST	Code Enforcement Case: 15-3627 ZONING - ADMIN USE PERMIT	\$ 1,344.00
4- 343590	ABREAU KELLY J	426-0180-016-00	24524 2ND ST	Code Enforcement Case: 19-0895 COMMUNITY PRESERVATION	\$ 2,660.04
5- 344564	ARROYO ANA M	464-0035-027-00	1528 FOLSOM AVE	Code Enforcement Case: 18-0321 ZONING	\$ 1,072.08
6- 345286	AUTO MISSION LTD	444-0057-005-09	24915 ONEIL AVE	Code Enforcement Case: 20-0070 GRAFFITI	\$ 1,575.00
7- 343098	AZZOLINO, JOSEPH F	456-0066-001-01	26950 INDUSTRIAL BLVD	Code Enforcement Case: 17-0205 ZONING	\$ 43,241.80
8- 344858	BANDA ANA G	452-0052-068-00	27060 WHITMAN ST	Code Enforcement Case: 19-1981 COMMUNITY PRESERVATION	\$ 1,563.48
9- 344191	BAY AREA EXECUTIVE RE & DEVELOPMENT GROU	444-0048-121-00	24979 PLEASANT WAY	Code Enforcement Case: 19-0838 WEED ABATEMENT	\$ 2,818.85
10- 344086	BAY AREA PROPERTY DEVELOPERS LLC	428-0061-061-04	22491 MAPLE CT	Code Enforcement Case: 18-1224 COMMUNITY PRESERVATION	\$ 2,184.15
11- 344087	BAY AREA PROPERTY DEVELOPERS LLC	428-0061-061-04	22330 MAIN ST	Code Enforcement Case: 18-1962 COMMUNITY PRESERVATION	\$ 138,196.89
12- 344848	BAY AREA PROPERTY DEVELOPERS LLC	428-0061-061-04	22330 MAIN ST	Code Enforcement Case: 18-1962 COMMUNITY PRESERVATION	\$ 11,651.61
13- 345278	BAYAN, WAHIDA R	081D-1665-047-01	3066 CHRONICLE AVE	Code Enforcement Case: 18-3105 ZONING - CONSTRUCTION	\$ 2,452.00
14- 343395	BOUDAMES, TONY	427-0001-046-01	22872 MAIN ST	Code Enforcement Case: 18-1745 COMMUNITY PRESERVATION	\$ 10,815.43
15- 344434	CABOT CABOT & FORBES HAWARD PROP INC 872	439-0058-047-01	21063 CABOT BLVD	Code Enforcement Case: 19-0184 COMMUNITY PRESERVATION	\$ 4,339.24
16- 345402	CABOT CABOT & FORBES HAWARD PROP INC 872	439-0058-047-01	21063 CABOT BLVD	Code Enforcement Case: 19-2782 COMMUNITY PRESERVATION	\$ 11,051.49
17- 344077	CHANG, MARIO	078C-0461-006-04	28824 MISSION BLVD	Code Enforcement Case: 19-0588 WEED ABATEMENT	\$ 3,349.95
18- 345282	CHURCH, DIANE E	456-0051-002-00	2956 BAUMBERG AVE	Code Enforcement Case: 17-1344 ZONING - ADMIN USE PERMIT	\$ 5,000.00
19- 345209	COCHRAN, NICHOLAS D & HELEN	452-0052-002-00	350 RAYMOND DR	Code Enforcement Case: 19-2762 COMMUNITY PRESERVATION	\$ 1,026.00
20- 344437	COMMON AREA OF TRACT 3929	453-0065-051-00	27414 SUSAN PL	Code Enforcement Case: 19-0934 COMMUNITY PRESERVATION	\$ 1,072.08

**CITY OF HAYWARD SPECIAL ASSESSMENT INVOICE PARCEL INFORMATION  
2020 COMMUNITY PRESERVATION**

Attachment III

21-	345283	COMMON AREA OF TRACT 5703 68 THRU 72	427-0026-073-00	C ST	Code Enforcement Case: 19-2588 COMMUNITY PRESERVATION	\$ 1,026.00
22-	345292	FIRST, MADISON BANK	427-0016-018-00	22542 2ND ST	Code Enforcement Case: 20-0091 GRAFFITI	\$ 1,575.00
23-	345192	GARCIA OLDEMIRO M & MARIA G TRS & GARCIA	445-0290-005-07	26775 HAYWARD BLVD	Code Enforcement Case: 19-2428 GRAFFITI	\$ 1,026.00
24-	344562	GONZALEZ, EFRAIN	427-0031-018-00	1382 B ST	Code Enforcement Case: 16-4105 ZONING - CONSTRUCTION	\$ 4,524.64
25-	344561	GRIGGS, JEAN ETAL	445-0220-019-00	25486 MISSION BLVD	Code Enforcement Case: 16-3478 ZONING - COMMERCIAL CONSTRUCTION	\$ 2,338.99
26-	343399	GUIZAR, DORALIZ	425-0390-005-02	25469 UNIVERSITY CT	Code Enforcement Case: 18-2594 COMMUNITY PRESERVATION	\$ 614.22
27-	344394	GUTIERRES JOSEPH JR TR & GUTIERRES LILLI	431-0008-044-00	440 A ST	Code Enforcement Case: 19-2354 GRAFFITI	\$ 1,087.54
28-	344963	HAYWARD POINT EDEN I LIMITED PARTNERSHIP	461-0085-048-01	3967 TRUST WAY	Code Enforcement Case: 19-0206 BUILDING	\$ 2,253.31
29-	344252	HUANG LUIS M	432-0060-035-00	994 CHENAULT WAY	Code Enforcement Case: 19-1975 COMMUNITY PRESERVATION	\$ 1,087.54
30-	345188	HUNTWOOD LLC	475-0174-041-00	30680 HUNTWOOD AVE	Code Enforcement Case: 19-2067 COMMUNITY PRESERVATION	\$ 1,026.00
31-	343592	JAFARI MARY E	453-0095-016-01	71 W TENNYSON RD	Code Enforcement Case: 19-1032 GRAFFITI	\$ 3,183.37
32-	344861	KHAZI PARWIZ	445-0170-017-19	1108 PALISADE ST	Code Enforcement Case: 18-2550 COMMUNITY PRESERVATION	\$ 11,115.05
33-	344199	KZ INVESTMENT FUNDS LLC	428-0081-011-02	22810 ATHERTON ST	Code Enforcement Case: 19-0768 WEED ABATEMENT	\$ 3,742.67
34-	344197	KZ INVESTMENT FUNDS LLC	428-0081-012-02	22809 WATKINS ST	Code Enforcement Case: 19-0882 WEED ABATEMENT	\$ 1,176.80
35-	344198	KZ INVESTMENT FUNDS LLC	428-0081-013-00	WATKINS ST	Code Enforcement Case: 19-1996 WEED ABATEMENT	\$ 1,176.80
36-	344082	LAI, HOK C	431-0028-004-00	22738 FILBERT ST	Code Enforcement Case: 19-0301 COMMUNITY PRESERVATION	\$ 2,600.35
37-	344612	LANGI, ALIPATE F & ILIASAANE	432-0040-047-00	22764 HAPPYLAND AVE	Code Enforcement Case: 15-3775 BUILDING	\$ 3,799.52
38-	343586	LLC, HOPEWEALTH	428-0081-061-01	22836 WATKINS ST	Code Enforcement Case: 19-0240 COMMUNITY PRESERVATION	\$ 2,660.04
39-	344391	MALKANI, SHANKARLAL & INDRA S	078G-2761-015-00	30 LAFAYETTE AVE	Code Enforcement Case: 19-1934 ZONING	\$ 384.50
40-	345189	ONEWEST BANK FSB	427-0031-010-04	22525 4TH ST	Code Enforcement Case: 19-2191 COMMUNITY PRESERVATION	\$ 5,543.60
41-	344615	ONO YUKA	445-0130-020-00	24543 MARIE DR	Code Enforcement Case: 18-1170 ZONING	\$ 4,833.64

**CITY OF HAYWARD SPECIAL ASSESSMENT INVOICE PARCEL INFORMATION  
2020 COMMUNITY PRESERVATION**

Attachment III

42-	345125	PINE COUNTRY LLC	445-0250-024-14	1183 CENTRAL BLVD	Code Enforcement Case: 19-1691 COMMUNITY PRESERVATION	\$ 1,026.00
43-	343641	PREMIER, INTERNATIONAL PROPERTIES LLC	445-0001-013-00	24100 MISSION BLVD	Code Enforcement Case: 19-0331 COMMUNITY PRESERVATION	\$ 1,134.22
44-	344884	QURAIISHI ELIZABETH & GAYAS	431-0076-030-00	22851 SANTA CLARA ST	Code Enforcement Case: 19-1140 COMMUNITY PRESERVATION	\$ 2,016.97
45-	345290	RLW LLC	428-0061-032-00	22487 FOOTHILL BLVD	Code Enforcement Case: 19-2256 GRAFFITI	\$ 1,575.00
46-	345284	RLW LLC	428-0026-008-09	22401 FOOTHILL BLVD	Code Enforcement Case: 19-2599 GRAFFITI	\$ 1,775.00
47-	344849	S & A INVESTMENT HOLDINGS LLC	439-0070-013-01	3890 DEPOT RD	Code Enforcement Case: 18-2028 ZONING	\$ 1,041.31
48-	344856	S P CO 872-1-119M-36	461-0015-012-01	W JACKSON ST	Code Enforcement Case: 19-2584 COMMUNITY PRESERVATION	\$ 3,217.19
49-	344855	S P CO 872-1-119R-43	439-0080-006-02	W JACKSON ST	Code Enforcement Case: 19-2582 COMMUNITY PRESERVATION	\$ 7,557.71
50-	344623	S P CO 872-1-92C-POR 12	452-0040-006-00	HUNTWOOD AVE	Code Enforcement Case: 19-2569 COMMUNITY PRESERVATION	\$ 3,195.18
51-	344967	S P CO 872-1-92C-POR 12	453-0065-033-00	HUNTWOOD AVE	Code Enforcement Case: 19-2570 COMMUNITY PRESERVATION	\$ 3,743.41
52-	345144	S P CO 872-1-92C-POR 12	453-0095-030-00	LEIDIG CT	Code Enforcement Case: 19-2621 COMMUNITY PRESERVATION	\$ 3,460.23
53-	344238	SANDHU, SUKHDEV S	078G-2775-013-00	32885 PULASKI DR	Code Enforcement Case: 19-0782 WEED ABATEMENT	\$ 1,087.54
54-	342988	SINGH BIKRAMJIT	416-0140-044-00	22782 7TH ST	Code Enforcement Case: 18-2780 COMMUNITY PRESERVATION	\$ 4,030.54
55-	344964	SMITH LEROY & JANNIE R	426-0180-021-00	24590 2ND ST	Code Enforcement Case: 19-1492 ZONING	\$ 1,041.31
56-	342985	SPLASH SPRING LLC	445-0250-024-11	1105 CENTRAL BLVD	Code Enforcement Case: 18-1856 COMMUNITY PRESERVATION	\$ 2,689.96
57-	344965	SUH, JUNG K & YUNG C	432-0036-015-02	22348 S GARDEN AVE	Code Enforcement Case: 17-1613 BUILDING	\$ 1,041.31
58-	344968	UNION PACIFIC RAILROAD (W P CO)	452-0068-110-00	E 10TH ST	Code Enforcement Case: 19-1306 COMMUNITY PRESERVATION	\$ 7,252.15
59-	344260	UNION PACIFIC RAILROAD (W P CO)	475-0030-013-00	ZEPHYR AVE	Code Enforcement Case: 19-2483 COMMUNITY PRESERVATION	\$ 1,580.50
60-	345164	UNION PACIFIC RAILROAD (W P CO)	431-0044-039-04	D ST	Code Enforcement Case: 19-2709 COMMUNITY PRESERVATION	\$ 3,460.23
61-	345281	VIAM CAPITAL LLC	444-0036-063-00	24538 ONEIL AVE	Code Enforcement Case: 19-1426 ZONING - CONSTRUCTION	\$ 1,026.00
62-	343688	VNS, HOTELS INC	445-0220-016-00	25656 MISSION BLVD	Code Enforcement Case: 18-3091 COMMUNITY PRESERVATION	\$ 1,118.61

**CITY OF HAYWARD SPECIAL ASSESSMENT INVOICE PARCEL INFORMATION  
2020 COMMUNITY PRESERVATION**

Attachment III

63-	345145	WP, CO 843-1-15G POR 24	431-0048-090-02	DEAN ST	Code Enforcement Case: 19-2708 COMMUNITY PRESERVATION	\$ 3,701.35
64-	344194	WU, MIN	445-0170-039-08	1138 OVERLOOK AVE	Code Enforcement Case: 19-0203 COMMUNITY PRESERVATION	\$ 635.41
<b>TOTAL COMMUNITY PRESERVATION INVOICES:</b>						<b>\$ 368,196.54</b>



# CITY OF HAYWARD

Hayward City Hall  
777 B Street  
Hayward, CA 94541  
[www.Hayward-CA.gov](http://www.Hayward-CA.gov)

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**File #:** CONS 20-274

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**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Director of Development Services

**SUBJECT**

Adopt a Resolution Approving Reports and Special Assessments for Residential Rental Inspection Program Fees Past Due

**RECOMMENDATION**

That Council adopts a resolution (Attachment II) confirming the report and assessments for overdue Residential Rental Inspection Program fees for the period from January 1, 2019 through May 4, 2020 (Attachment III) and authorizing the assessments to become a special assessment against the properties if not paid on or before August 1, 2020.

**SUMMARY**

The purpose of the Special Assessment confirmation is to consider the proposed report and assessment list for unpaid residential rental inspection program fees and to determine whether a special assessment should be placed on these properties.

**ATTACHMENTS**

Attachment I	Staff Report
Attachment II	Resolution
Attachment III	Rental Assessments List



**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Director of Development Services

**SUBJECT:** Adopt a Resolution Approving Reports and Special Assessments for Residential Rental Inspection Program Fees Past Due

### **RECOMMENDATION**

That Council adopts a resolution (Attachment II) confirming the report and assessments for overdue Residential Rental Inspection Program fees for the period from January 1, 2019 through May 4, 2020 (Attachment III) and authorizing the assessments to become a special assessment against the properties if not paid on or before August 1, 2020.

### **SUMMARY**

The purpose of the Special Assessment confirmation is to consider the proposed report and assessment list for unpaid residential rental inspection program fees and to determine whether a special assessment should be placed on these properties.

### **BACKGROUND**

The Residential Rental Inspection Ordinance ("Ordinance"), codified in Article 5, Chapter 9 of the Hayward Municipal Code ("HMC"), creates an inspection program for residential rental units in the City. The purpose of the Ordinance is to safeguard the stock of safe and sanitary rental housing by inspecting units for violations of housing and building codes.

The Ordinance provides a process for the inspection of units, notification to property owners, and the imposition of fees/penalties and charges. When a violation has been identified at a property, the City provides a correction notice to the owner identifying the violation(s). If the violation is not corrected by the owner, the Ordinance authorizes fee and penalty charges for any inspection or re-inspection performed. Once the owner has exhausted his or her administrative hearing rights, the owner must pay any fees and penalty charges. If those costs are not paid in full prior to the August deadline each year, the unpaid fees and/or charges are scheduled for special assessment against the property once confirmed and authorized by Council resolution.

## **DISCUSSION**

The costs comprising the special assessment charges were calculated pursuant to the City's Master Fee Schedule. The costs that make up the special assessment charges were calculated pursuant to the City's Master Fee Schedule. Fines and fees include: annual fees; failed re-inspection(s) fees; abatement related costs; contractor fees; subsequent violation(s); liens; and past due fees.

As of the date of this writing, there are 1,032 properties with overdue rental inspection bills that total \$165,674.67. The accounts receivable list is attached as Attachment III.

The unpaid charges, plus any administrative costs of the City and County, will become a special assessment against the property and will appear on the property owners' November tax bills. Notices sent by mail with proof of service, were mailed to each property owner, in accordance with the Ordinance. Property owners were given an opportunity for an Administrative Hearing to dispute the factual findings and/or assessment of fees. Three Administrative and/or Special Assessment Hearings were requested and conducted for the period from January 1, 2019 through May 4, 2020. As of the writing of this report, no requests have been recently filed. Additionally, after three past due invoices were mailed to the property owners, a Final Notice was sent by certified mail on May 20, 2020 advising the property owners of the impending assessment against their property pursuant to Government Code Section 38773.5.

## **ECONOMIC IMPACT**

The collection of un-paid fees supports the residential rental inspection program in ensuring well maintained, safe and sanitary neighborhoods and properties.

## **FISCAL IMPACT**

There is no fiscal impact to the City of Hayward associated with processing such overdue bills, as City costs are reimbursed through special assessment or other collection processes; all special assessment costs are collected along with lien amounts on individual tax bills. Collection of these fees also helps minimize the General Fund subsidy to this program and reduces unrecoverable costs of conducting inspections associated with the City's Rental Housing Inspection Program because they represent fees assessed for staff time related to enforcement actions. The City of Hayward annually receives two special assessment allocations from the county, one in December and one in April.

## **STRATEGIC ROADMAP**

This agenda item supports the Strategic Priority of Preserve, Protect & Produce Housing. This item is not specifically related to a project identified in the Strategic Roadmap. Staff is bringing forth this new item due to its primary purpose of assuring compliance with State of California Housing regulations as identified under Section 17920.3 of the California Health



and Safety Code, as well as the City of Hayward's established Rental Housing Ordinance. The aforementioned regulations provide minimum protection and preservation of community housing through the establishment of minimum standards for safe and habitable housing. Staff will include this item in the next bi-annual update to council on the Strategic Roadmap.

## **SUSTAINABILITY FEATURES**

The recommended action for this report will not directly result in physical development; the purchase of a product or service; new policy or legislation related to sustainability.

## **PUBLIC CONTACT**

Notice of City Council's confirmation of this report was published in the Daily Review on June 26, and July 3, 2020. In addition, all first invoices include specific language giving the property owner an opportunity for a Special Assessment Hearing to contest the fees and/or penalties and encouraging them to pay their bills to minimize additional fees and to avoid being placed on the proposed assessment list. As mentioned above, staff conducted three administrative hearings regarding rental inspection assessments. Property owners have until August 1, 2020 to pay all outstanding fees.

## **NEXT STEPS**

A copy of the Special Assessment List will be forwarded by the City of Hayward's Revenue Division to the Alameda County Assessor's Office. Upon receipt, the Assessor's Office will attach the City of Hayward's fees past due as a special assessment against each parcel. That assessment will then appear on the property owners' November 2020 property tax bill for collection. When the County Assessor receives the tax payment, the City of Hayward will be reimbursed by the Assessor's Office typically after payment of the second installment in April of the following year.

*Prepared by:* Phillip Nichols, Code Enforcement Manager

*Recommended by:* Laura Simpson, Development Services Director

*Approved by:*



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Kelly McAdoo, City Manager

HAYWARD CITY COUNCIL

RESOLUTION NO. 20-

Introduced by Council Member \_\_\_\_\_

RESOLUTION CONFIRMING THE REPORT AND SPECIAL ASSESSMENT LIST AND AUTHORIZING TRANSMITTAL OF ASSESSMENTS TO THE COUNTY AUDITOR FOR COLLECTION ASSOCIATED WITH OVERDUE RESIDENTIAL RENTAL INSPECTION AND PROGRAM FEES FOR CALENDAR YEAR JANUARY 1, 2019 THROUGH MAY 4, 2020

WHEREAS, in connection with the City of Hayward Residential Rental Inspection Program, the Code Enforcement Manager has rendered an itemized report herein referred to as an assessment list, specifying the date and nature of inspections performed, the amount of unpaid program and other fees and penalty charges imposed in calendar year 2019 and through May 4, 2020, and the names and addresses of owners of inspected rental units, including hotel and motel units, all as required by section 9-5.503 of the Municipal Code of the City of Hayward; and

WHEREAS, the hour of 7:00 p.m. on Tuesday, July 7, 2020, in Hayward, California, was fixed as the time and place for this Council to receive and consider the report, and a copy of the report has been posted and published in the manner required by section 9-5.504 of the Municipal Code; and

WHEREAS, the hearing was held at the time and place fixed, and the City Council has considered the report and assessment list and all comments with respect thereto.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Hayward that, except as amended by Council, the report of the Code Enforcement Manager of the Code Enforcement Division on the cost of causing the correction, repair, or abatement of violations on the properties therein described, a copy of which is attached hereto, is hereby confirmed.

BE IT FURTHER RESOLVED that payments of assessments confirmed hereby may be received by the City of Hayward Finance Director up to the hour of 5:00 p.m. on August 1, 2020, and thereafter, the Finance Director shall transmit the unpaid assessments to the County Auditor for collection on the property tax roll.

IN COUNCIL, HAYWARD, CALIFORNIA JULY 7, 2020.

ADOPTED BY THE FOLLOWING VOTE:

AYES:           COUNCIL MEMBERS:  
                  MAYOR:

NOES:           COUNCIL MEMBERS:

ABSTAIN:       COUNCIL MEMBERS:

ABSENT:        COUNCIL MEMBERS:

ATTEST: \_\_\_\_\_  
          City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward

**CITY OF HAYWARD SPECIAL ASSESSMENT INVOICE PARCEL INFORMATION**  
**RENTAL HOUSING & ANNUAL FEE - RESIDENTIAL RENTAL INSPECTION PROGRAM**

Attachment III

	Invoice #	Property Owner Name	Parcel ID	Property Address	Invoice Description	Balance Due
1-	345312	145 LUND LLC	444-0069-075-04	145 LUND AVE	Code Enforcement Case:19-2598 RENTAL HOUSING	\$ 350.00
2-	343559	BRYANT JANET L	452-0036-035-02	26883 LUVENA DR	Code Enforcement Case:18-3122 RENTAL HOUSING	\$ 410.90
3-	344229	CANO LIBRADO F & NILDA R	445-0140-038-00	24445 LEONA DR	Code Enforcement Case:18-2834 RENTAL HOUSING	\$ 921.14
4-	344751	CANO LIBRADO F & NILDA R	445-0140-038-00	24445 LEONA DR	Code Enforcement Case:18-2834 RENTAL HOUSING	\$ 367.15
5-	345035	CANO LIBRADO F & NILDA R	445-0140-038-00	24445 LEONA DR	Code Enforcement Case:18-2834 RENTAL HOUSING	\$ 762.55
6-	345277	CANO LIBRADO F & NILDA R	445-0140-038-00	24445 LEONA DR	Code Enforcement Case:18-2834 RENTAL HOUSING	\$ 916.00
7-	343094	CEREMELLO MICHAEL J JR	427-0006-039-00	22863 2ND ST	Code Enforcement Case:18-2801 RENTAL HOUSING	\$ 419.80
8-	343864	CORRALES ERIC A & JOWANDA	428-0041-079-00	697 SUNSET BLVD	Code Enforcement Case:18-2781 RENTAL HOUSING	\$ 402.05
9-	344766	DAHUD HISHAM	081D-1630-015-00	3200 CONTRERAS PL	Code Enforcement Case:19-2289 RENTAL HOUSING	\$ 367.15
10-	345403	DALCINO CAROLYN H TR	431-0048-017-00	22984 SUTRO ST	Code Enforcement Case:19-1788 RENTAL HOUSING	\$ 700.00
11-	343583	DIAZ NOE & ESMERALDA	431-0052-070-00	24054 DOTSON CT	Code Enforcement Case:18-3164 RENTAL HOUSING	\$ 785.40
12-	344247	GHEZAVAT MAHMOUD & WANG CHRISTINE TRS	453-0045-046-00	27100 MANON AVE	Code Enforcement Case:19-1141 RENTAL HOUSING	\$ 557.14
13-	344758	GHEZAVAT MAHMOUD & WANG CHRISTINE TRS	453-0045-046-00	27100 MANON AVE	Code Enforcement Case:19-1141 RENTAL HOUSING	\$ 367.15
14-	345124	GHEZAVAT MAHMOUD & WANG CHRISTINE TRS	453-0045-046-00	27100 MANON AVE	Code Enforcement Case:19-1141 RENTAL HOUSING	\$ 750.00
15-	344887	HUANG WEIGUANG & YANG YUAN Y	081D-1903-022-00	3425 BIG OAK CT	Code Enforcement Case:19-2463 RENTAL HOUSING	\$ 358.55
16-	344080	LOPEZ JESUS M & MARTHA S	454-0015-035-00	25887 STANWOOD AVE	Code Enforcement Case:18-1414 RENTAL HOUSING	\$ 1180.75
17-	344377	LOPEZ JESUS M & MARTHA S	454-0015-035-00	25887 STANWOOD AVE	Code Enforcement Case:18-1414 RENTAL HOUSING	\$ 384.50
18-	345129	PARAISO APARTMENTS LLC	453-0080-009-02	963 W TENNYSON RD #61	Code Enforcement Case:19-2852 RENTAL HOUSING	\$ 350.00

**CITY OF HAYWARD SPECIAL ASSESSMENT INVOICE PARCEL INFORMATION**  
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19-	343406	SANTA CLARA ASSOCIATES LLC	443-0065-007-07	25200 SANTA CLARA ST	Code Enforcement Case:18-2911 RENTAL HOUSING	\$ 410.90
20-	343637	TURNER LEE A TR	428-0056-042-00	22444 MISSION BLVD	Code Enforcement Case:18-0329 RENTAL HOUSING	\$ 2247.02
21-	344227	VARGAS MARTA R & RODERICK J	444-0024-051-00	24375 SILVA AVE	Code Enforcement Case:18-0433 RENTAL HOUSING	\$ 489.55
22-	344752	VARGAS MARTA R & RODERICK J	444-0024-051-00	24375 SILVA AVE	Code Enforcement Case:18-0433 RENTAL HOUSING	\$ 350.00
23-	344425	YOUNG DAVID K & MARGARITA M TRS	453-0045-045-00	27086 MANON AVE #5-	Code Enforcement Case:18-1927 RENTAL HOUSING	\$ 2555.28
24-	344376	YOUNG DAVID K & MARGARITA M TRS & DAVID	444-0036-018-00	795 SYCAMORE AVE	Code Enforcement Case:17-0333 RENTAL HOUSING	\$ 1337.14
25-	345033	ZHAO CHARLES & WANG HUIBING	453-0065-024-09	27468 MANON AVE	Code Enforcement Case:19-2531 RENTAL HOUSING	\$ 358.55
26-	345404	ZHENG WEIWEI	453-0045-066-00	26897 HUNTWOOD AVE #11	Code Enforcement Case:18-3071 RENTAL HOUSING	\$ 3850.00
<b>TOTAL RENTAL HOUSING INSPECTION INVOICES:</b>						<b>\$ 21,948.67</b>
27-	122001	1526 HIGHLAND HOLDING LLC	445-0110-023-00	1526 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
28-	122013	26531-26543 GADING ROAD LLC	454-0025-127-02	26531 GADING RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 132.00
29-	122024	AARON ALCANTAR ETAL	428-0031-002-00	925 SUNSET BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
30-	122036	ABBOUD FAYEZ & RIMA	431-0040-038-00	22844 ALICE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
31-	122042	ABELEEE JANE A	415-0250-046-00	22103 VISTA DEL PLAZA LN 20	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
32-	122046	ABREAU KELLY J	426-0180-016-00	24524 2ND ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
33-	122050	ACOB ERNESTO U JR & EDITHA B	443-0055-106-00	512 TEASDALE PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
34-	122051	ACOB ERNESTO U JR & EDITHA B	456-0046-148-00	2453 CABRILLO DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
35-	122061	ADEEB IHSANULLAH	456-0037-071-00	27718 DEL NORTE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
36-	122073	AGOOT MARIO A HEIRS OF EST & AGOOT SIXTA	464-0060-075-00	1187 HAT CREEK WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
37-	122074	AGREDANO ENHILBERTO	453-0085-034-00	27851 HALDANE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
38-	122076	AGUAYO CARLOS & IGNACIO JR	425-0400-069-00	2123 BRANDYWINE PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
39-	122079	AGUIB REMON	427-0061-077-00	22730 6TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
40-	122081	AGUILAR MIGUEL	445-0150-040-00	24540 MARGARET DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
41-	122085	AGUPUSI CHIMEZIE D	442-0060-007-00	951 MALCOLM LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
42-	122091	AKBARY SORAIA	456-0039-070-00	27355 MARIGOLD CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00

**CITY OF HAYWARD SPECIAL ASSESSMENT INVOICE PARCEL INFORMATION**  
**RENTAL HOUSING & ANNUAL FEE - RESIDENTIAL RENTAL INSPECTION PROGRAM**

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43-	122094	ALAMEDA KIMBERLY	431-0052-042-01	22928 ALICE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
44-	122108	ALBINO ELIZABETH & ROBERT	444-0039-107-01	24723 WHITMAN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
45-	122115	ALEMAN CARLOS	427-0021-042-00	1259 TERRACE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
46-	122119	ALEXANDER REALTY LLC	427-0016-030-00	1245 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 110.00
47-	122122	ALFARO JANET M TR	452-0076-017-00	338 WHITE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
48-	122130	ALICIA GUZMAN	428-0006-098-00	740 SUNSET BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
49-	122132	ALINEA EDMUND K. & MARIA L.	461-0102-017-00	2539 SPINDRIFT CIR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
50-	122133	ALKOBI SHAY	445-0170-017-13	1138 PALISADE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
51-	122151	ALLEN CLINTON O & LACERCAALLEN M F TRS	445-0001-048-00	945 FLETCHER LN D335	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
52-	122152	ALLEN URIAH J	445-0050-007-00	24315 2ND ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
53-	122155	ALLEN STEPHANIE L TR	427-0021-032-00	1223 D ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
54-	122157	ALLICOCK ELVIS O	442-0071-330-00	1234 STANHOPE LN 361	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
55-	122166	ALONZO JOSE G & GLORIA S	455-0052-131-00	27542 BARCELONA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
56-	122167	ALRIASHI FAWAZ N	444-0024-018-00	494 RAMOS AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
57-	122168	ALSAEDI ABDOALMQEED Z	442-0071-148-00	1280 STANHOPE LN 144	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
58-	122178	ALVAREZ JUAN & NORMA	431-0036-004-00	427 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
59-	122179	ALVARO LLC	455-0026-011-08	2037 ALDENGATE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
60-	122180	ALVARO LLC	427-0051-021-00	22814 KINGS CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
61-	122192	AMBRIZ GONZALO & MARIA	444-0072-061-02	25792 FRANKLIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
62-	128910	AMFP IV JACKSON FLATS LLC	443-0040-088-04	24900 SANTA CLARA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 1760.00
63-	128911	AMFP IV JACKSON FLATS LLC	432-0024-001-11	816 W A ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 2552.00
64-	122198	AMIRARAGHI KAVEH & POUR MANDANA I TRS	426-0200-012-00	23946 2ND ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
65-	122205	AN LE TR	444-0049-017-00	25042 SILVERTHORNE PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
66-	122215	ANDAZOLA ROD	427-0061-045-00	22757 7TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
67-	122216	ANDAZOLA ROD	415-0240-029-00	1263 RUSSELL WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
68-	122217	ANDAZOLA RODNEY	416-0140-022-00	22694 ZABALLOS CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
69-	122221	ANDERSON ERIC J & CYNTHIA	464-0025-059-00	27834 TAMPA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
70-	122222	ANDO TOSHINORI & MAY	078C-0451-109-00	29629 MOUNTAIN OAK CT 47	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
71-	122241	ANTHONY DAVIN LLC	441-0035-018-00	2169 THAYER AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
72-	122243	ANWARI SHAFI H & NARGIN	463-0003-062-00	1863 TULIP AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
73-	122246	AP-USA HOLDINGS LLC	454-0015-043-00	25973 REGAL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00

**CITY OF HAYWARD SPECIAL ASSESSMENT INVOICE PARCEL INFORMATION**  
**RENTAL HOUSING & ANNUAL FEE - RESIDENTIAL RENTAL INSPECTION PROGRAM**

Attachment III

74-	122253	ARAN INVESTMENTS INC	431-0104-033-00	22872 CHARING ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
75-	122257	ARAUJO CAROL & GLEN	431-0112-034-00	131 BURBANK ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
76-	122261	ARETTA SOPHIE & SOPHIE	431-0088-029-01	22865 MONO ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
77-	122262	AREVALO AIDA	078G-2728-008-00	31142 OAKHILL WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
78-	122278	ASHLEY JEREMY W & VAUGHAN MIS	428-0021-010-02	22001 RIO VISTA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
79-	122280	ASHOUR JAMIL	425-0390-036-00	25700 UNIVERSITY CT 327	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
80-	122284	ASSI KAMALJIT S & JASLEEN K	432-0048-010-00	586 MARIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
81-	122285	ASTHANA ASHISH & ARCHANA TRS	431-0080-123-00	284 REDBUD LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
82-	122288	ATIENZA ALESSANDRA I	442-0071-282-00	1256 STANHOPE LN 249	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
83-	122292	ATTARWALA IDRIS & SHEERIN	456-0037-041-00	2412 OLIVER DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
84-	122293	ATWELL DAVINDER S & VARINDER K	081D-1905-024-00	3579 SKYLINE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
85-	122301	AVADHUTA BHAGYADEVI & SAIRY SRIDHAR	464-0122-164-00	1641 WELFORD CIR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
86-	122302	AVILA JOSE A & JOSEFINA M TRS	456-0026-081-00	27440 BAHAMA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
87-	122303	AWWAD KHALDEYAH A & AISHEH	083-0473-010-00	29583 VANDERBILT ST 310	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
88-	122304	AYAGH MAHZAD	431-0080-130-00	23575 RONALD LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
89-	122311	AZARMEHR SHAHIN & NANAZARMEHR LIXIN	078C-0411-002-00	28344 COLE PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
90-	122326	BAI BO	431-0108-200-00	576 STALEY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
91-	122354	BAO ZHENHONG & LI MING	431-0080-099-00	339 ANNETTE LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
92-	122356	BAPTISTE ROBERT A TR	416-0130-033-00	1798 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	110.00
93-	122358	BARABAD JONATHAN & ROCHELLE	431-0118-199-00	643 MOSS WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
94-	122377	BARRERA OLGA TR	444-0042-050-00	24878 ARVILLA LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
95-	122378	BARRERA MOISES & GRISELDA L	428-0026-024-00	22240 MAIN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
96-	122379	BARRERA OLGA TR	445-0150-012-00	24562 SYBIL ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
97-	122384	BASHAM JACQUELINE M TR	455-0080-088-00	27826 MELBOURNE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
98-	122393	BASTO CARMINA A	432-0024-010-00	953 SUEIRRO ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
99-	122402	BAUTISTA GERTRUDE	453-0005-062-12	25960 GADING RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
100-	122409	BEAR DONALD R & MARIAN J TRS	078C-0418-013-00	28333 ROCHELLE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
101-	122411	BECK MARION J TR	083-0220-109-00	30121 VANDERBILT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
102-	122421	BENASSI SANDRO D	445-0130-053-00	1148 TIEGEN DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
103-	122422	BENAVIDEZ ALEX & AMY	078G-2721-026-00	431 RIVERCREST LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
104-	122423	BENEDICT HAROLD A TR	455-0016-031-00	1657 EASTORI PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
105-	122426	BERA KIMBERLY TR	078C-0411-026-00	103 MAY CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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106-	122430	BERMUDEZ JUAN & IVETTE	456-0039-104-00	27324 MARIGOLD CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
107-	122446	BESHARATPOUR JOHNNY J	427-0031-023-01	1344 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
108-	122457	BHAKRI HARDEEP & BHAKHRI ASHWANI K	078C-0418-018-00	28435 ROCHELLE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
109-	122460	BHARDWAJ SUNIL & SHARMA SHWETA	078C-0437-003-07	29686 DIXON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
110-	122467	BHATIA RAJESH & SATPUTE SHEEL	428-0083-045-00	606 ARTISTIC PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
111-	122519	BONNIT GARY & GASCON SHIELA	464-0075-032-00	969 FOLSOM AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
112-	122523	BORJIGIN ALEXANDER T & CHRISTINA Q TRS	442-0051-046-00	25001 COPA DEL ORO DR 104	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
113-	122527	BORRERO MARGARET D & WILSON RUTH M	431-0104-002-00	22884 SUTRO ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
114-	122530	BOUNTIS LOYOLA ENTERPRISES LP	455-0072-004-00	27765 LOYOLA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
115-	122534	BOYD HANSON Z	455-0026-011-03	2123 ALDENGATE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
116-	122538	BOYKINS SHERYL L	442-0051-119-00	25000 COPA DEL ORO DR 204	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
117-	122545	BRATHWAITE KENYA L. TR	456-0036-005-00	2517 OLIVER DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
118-	122561	BRESCHINI CAREN L	081D-1906-030-00	3600 SKYLINE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
119-	122564	BRIANT ROBERT & LILLIE	456-0046-039-00	2462 COBBLESTONE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
120-	122567	BRISENO TOMAS G JR & GREGORIO E	452-0084-102-00	28457 E 13TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
121-	122590	BUENROSTRO SERVANDO & PAULA	444-0024-085-00	475 RAMOS AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
122-	122591	BUENROSTRO SERVANDO Z & PAULA	431-0008-027-00	393 SMALLEY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
123-	122615	BUTWILL CANDACE L TR	442-0071-280-00	1256 STANHOPE LN 159	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
124-	122618	BYLARD JOHN R & JALEYBYLARD KATHERINE P	441-0074-071-00	24866 YOSHIDA DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
125-	122621	C & R PARTNERS ETAL & CHRISTIANSEN ELINO	428-0036-086-01	22284 MONTGOMERY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	132.00
126-	122623	CABRAL DAVID TR	428-0036-021-00	22156 PERALTA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
127-	122627	CABRERA JR ROMULO	442-0071-153-00	1280 STANHOPE LN 237	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
128-	122635	CAI YONG G & HUANG WO Q	464-0055-111-00	27906 THORNTON CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
129-	122636	CAI YONG G & HUANG WO Q	452-0084-113-00	570 TENNYSON RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
130-	122646	CAL GLENEAGLE DEVELOPMENT LLC	083-0215-004-04	30975 BELLO RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
131-	122650	CALHOUN SHIRLEY E TR	442-0065-142-00	25759 BELHAVEN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00



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132-	122660	CAMACHO SONIA R TR	444-0075-120-04	25801 WHITMAN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
133-	122667	CAMPUSANO ALBA & WILLIAM	456-0046-012-00	27917 CAPETOWN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
134-	122678	CAO THERESA & THERESA	456-0046-116-00	2583 TAHOE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
135-	122679	CAO THERESA T & TRAN HANH H	456-0038-077-00	27741 HUMMINGBIRD CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
136-	122682	CAPPICILLE RUSSELL & DIANE L	441-0071-099-00	25089 DANIA LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
137-	122687	CARDOZE MICHAEL D TR	444-0066-007-00	363 BERRY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
138-	122688	CARILLO JOSUE B & TERESA	416-0110-042-00	1936 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	154.00
139-	122689	CARILLO JOSUE B & TERESA	416-0110-043-00	1928 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	154.00
140-	122694	CARPO ARNEDO P & MARIVIC B	078G-2962-001-01	30813 FAIRCLIFF ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
141-	122699	CARRANZA SEELIGMANN I & ZELAYA JAQUELINE	078C-0411-005-00	28416 COLE PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
142-	122701	CARRANZA SEELIGMANN I & ZELAYA JAQUELINE	078G-2751-022-00	49 HERMITAGE LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
143-	122702	CARRANZA SEELIGMANN I & ZELAYA JAQUELINE	078G-2763-007-00	31959 ALBANY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
144-	122727	CAWIT LEONARDO	431-0052-031-02	562 MEEK AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
145-	122728	CAWIT LEONARDO E & BIRDIE ETA	431-0040-039-00	22838 ALICE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
146-	122731	CEDAR JOSHUA C & ALVART S TRS	085A-6423-019-00	28827 BAY HEIGHTS RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
147-	122737	CEREMELLO MICHAEL J JR	427-0006-039-00	22863 2ND ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	220.00
148-	122745	CHADHA ARVINDER	081D-1630-027-00	3222 GUILLERMO PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
149-	122749	CHAI LING Y & HTWE ZIN M	464-0020-028-00	27642 SEMINOLE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
150-	122750	CHALHOUB MICHAEL	432-0028-133-00	772 MEMORIAL WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
151-	122756	CHAN CHRISTOPHER C & WU LINDA W	083-0473-001-00	29588 VANDERBILT ST 313	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
152-	122762	CHAN PATRICIA TR	464-0060-019-03	1223 FOLSOM AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
153-	122766	CHAN WAI S & CHEUNG KWAI H	426-0080-098-00	1775 PANDA WAY 101	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
154-	122773	CHAN KAM O TR	441-0077-085-00	2207 MOODY WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
155-	122787	CHAND SHELVIN A & VANAELST NICOLE D ETAL	464-0001-077-00	27661 SEMINOLE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
156-	122788	CHAND SURAS	427-0061-037-00	22669 7TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
157-	122790	CHANDRA PRABHA W & CHAND NALINI J PERS R	455-0016-110-00	26772 PETERMAN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
158-	122794	CHANDRA JAGDISH & LATA PREM	461-0103-015-00	2841 SEADRIFT CIR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
159-	122816	CHANTLER RENEE G	428-0081-024-00	22834 ATHERTON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
160-	122819	CHARAN PRAVEEN & ASHA ETAL	461-0101-164-00	2683 SPINDRIFT CIR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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161-	122824	CHAU AIMEE S TR	461-0101-134-00	29201 EDEN SHORES DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
162-	122825	CHAVES ARLENE	439-0016-011-00	23925 CLAWITER RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
163-	122826	CHAVES ARLENE	439-0016-012-00	23929 CLAWITER RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
164-	122827	CHAVEZ CARLOS J & BUITRAGO ANASTASIA	454-0005-059-00	25816 ELDRIDGE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
165-	122843	CHEN FENG Y TR	078C-0451-122-00	29612 MOUNTAIN OAK CT 62	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
166-	122850	CHEN KYLE D	453-0085-062-00	27787 VASONA CT 9	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
167-	122852	CHEN MARKUS K	453-0025-021-00	26596 CHISHOLM CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
168-	122872	CHEN ZI J & ANGIE	445-0100-048-00	1749 MODOC AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
169-	122874	CHEN ALAN	445-0060-047-04	1358 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
170-	122878	CHEN FEI	443-0020-026-00	40 CRYSTAL GATE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
171-	122880	CHEN JIAN & QIAN HEATHER H	428-0021-026-00	1136 OAKVIEW AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
172-	122890	CHEN SIMON & LI CHRISTY X	426-0080-101-00	1775 PANDA WAY 104	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
173-	122905	CHENG RUI	431-0107-032-00	800 OLD OAK LN 3	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
174-	122911	CHENG CHUNQING & HUA	444-0063-057-00	25231 WHITMAN ST 101	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
175-	122923	CHENG YIHUR I & LIN FATIEN F	444-0021-071-00	424 GLADE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
176-	122925	CHERESA WRIGHT	445-0010-026-00	1140 WALPERT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
177-	122948	CHEUNG CHUN Y & KAM HOK F ETA	456-0038-029-00	2613 ARF AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
178-	122952	CHEUNG HOEY WINI	078G-2732-031-00	31011 EVERETT CT 11	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
179-	122966	CHHABRA MANINDER & CIPA	442-0071-308-00	1234 STANHOPE LN 163	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
180-	122967	CHHADDVA HANSA V & GOGRI MAHESH	428-0066-022-00	22642 MISSION BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
181-	122979	CHIANG JENNY	456-0038-120-00	27422 LEMON TREE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
182-	122982	CHIEN ESTHER & CHENG WEI K ETAL	081D-2086-021-02	27466 DOBBEL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
183-	122983	CHILDERS MARK S & LAUREL K TR	415-0252-324-00	21117 GARY DR 216	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
184-	122989	CHIN LEI M & ZHANG HONGMEI ETAL	417-0030-018-00	2160 KELLY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
185-	122990	CHIN ANPIN & CHUEH LIJIN	428-0083-033-00	611 ARTISTIC PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
186-	122995	CHIN JENERFER	415-0252-301-00	21117 GARY DR 115	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
187-	123003	CHITIMALLA SWETHA	078G-2765-001-00	216 LEXINGTON AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
188-	123020	CHO YU K & AMY A & MUN C	444-0039-002-00	527 SYCAMORE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
189-	123021	CHOCHA ANTONIO O & MARY F	432-0040-007-00	630 TEHAMA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
190-	123050	CHOY WAI Y & CHENG CHONG N	455-0020-103-00	26700 WAUCHULA WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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191-	123059	CHRISTIENSEN MARC A	078C-0800-028-00	1410 CALHOUN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
192-	123060	CHRISTIENSEN MARC A	081D-2082-039-00	28023 DOBBEL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
193-	123071	CHUAN LINDA	453-0025-014-00	26540 CHISHOLM CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
194-	123078	CHUNG LAWRENCE T	455-0060-001-00	27552 ORLANDO AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
195-	123107	COCROFT ANGELA	443-0050-110-00	24685 DIAMOND RIDGE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
196-	123113	COLLIER DERRICK L	441-0098-084-00	1986 BARTON WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
197-	123120	COMMUNITY ENRICHMENT SERVICES LLC & EAST	078G-2764-009-00	31973 OLEAN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
198-	123130	COMMUNITY FUND LLC	427-0031-017-00	1394 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
199-	123133	CONCHAS SALVADOR	431-0084-007-00	23694 AMADOR ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
200-	123137	CONNOLLY CHRISTOPHER & THOMAS	453-0065-008-08	27347 HUNTWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	242.00
201-	123138	CONTRERAS RAMON & SANDOVAL ADELAIDA C ET	428-0036-089-00	22256 MONTGOMERY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
202-	123161	CORRAL ESPERANZA & BALGAS DIANA M	444-0048-016-00	25016 LUCIEN WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
203-	123166	CORREA ISRAEL	445-0100-053-00	25360 MORSE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
204-	123170	CORTES ALBERTO & ROMERO MARIA D	431-0040-051-00	567 CLAIRE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
205-	123172	COSTA MARIE J TR	464-0030-044-00	27938 ORMOND AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
206-	123173	COSTA SANDRA L	078G-2941-018-00	643 TINA WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
207-	123177	COSTA PRISCILLA J	465-0010-014-00	28464 BRIGHTON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
208-	123181	COVARRUBIAS MARIA D & COVARRU	453-0090-011-02	27767 MANON AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	80.00
209-	123188	CRAWFORD JOANN L TR	431-0012-100-00	369 SMALLEY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
210-	123197	CRUZ JAIME & ZENAIDA M	441-0096-057-00	24123 CLINTON CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
211-	123203	CUEVAS TERESITA	464-0055-137-00	918 W TENNYSON RD 108	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
212-	123204	CUI LIFU & WU XIAOMIN	428-0083-021-00	22837 PASEO PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
213-	123207	CUMMING ANDREW G TR	415-0252-394-00	21228 GARY DR 416	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
214-	123213	CURIEL DANIEL M	441-0074-024-00	24549 LONG CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
215-	123223	DAI LINDA R	461-0100-112-00	2752 PLOVER CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
216-	123240	DANG LINH & VU KIM	452-0008-055-00	26171 MOCINE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
217-	123244	DANG TRAM O	455-0020-009-00	26790 WAUCHULA WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
218-	123248	DANIELS MARLENE R TR	452-0036-073-00	26673 COLETTE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
219-	123249	DANIELS MARLENE R TR	455-0076-041-00	27853 CORONADO WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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220-	123250	DANIELS DWIGHT	078C-0434-006-04	249 VALLE VISTA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
221-	123251	DANNEIL KENDRA TR	415-0250-054-00	22135 SEVILLA RD 28	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
222-	123257	DATT SUNIL & KAMLESH	465-0015-057-02	28830 LOGAN WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
223-	123270	DAWN E HOWARD TR	078G-2770-031-00	352 LAFAYETTE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
224-	123273	DEA DANNY & MARGARET	444-0021-057-00	24684 DALE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
225-	123281	DEASY DANIEL & GONZALES LISA L	427-0061-047-00	22773 7TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
226-	123282	DEATO EDMYR U	465-0060-036-00	29202 LONE TREE PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
227-	123293	DEFLOIRIN LAURA N	464-0060-062-00	1115 GASSETT CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
228-	123311	DELATORRE SALVADOR C & RAQUEL	456-0042-001-00	28299 CAPITOLA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
229-	123312	DELATORRE BENJAMIN E HEIRS OF EST	078G-2776-011-00	32546 DEARBORN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
230-	123315	DELEON MIGUELA	453-0040-009-06	462 SCHAFER RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
231-	123316	DELEON VICTOR & IMELDA	078G-2784-017-00	32295 ITHACA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
232-	123318	DELGADILLO IRLANDA	083-0220-055-00	637 CHEVY CHASE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
233-	123321	DELMASSO DIANA	415-0252-343-00	21228 GARY DR 102	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
234-	123331	DENG LILY L	453-0040-074-00	655 FOSTER CT 2	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
235-	123333	DENG JACKIE L	432-0048-042-00	23508 NEVADA RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
236-	123337	DENG LILY	453-0040-078-00	630 FOSTER CT 4	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
237-	123338	DENG YU HUA & LAU KWAN YEE	078C-0436-157-00	260 INDUSTRIAL PKWY 48	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
238-	123340	DEO REENA & SUSHIL	428-0011-060-00	21799 RIO VISTA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
239-	123341	DEOL JASPAL S & CHEEMA DILPREET K	454-0055-095-00	1232 HENDERSON LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
240-	123354	DEUTSCHE BANK TRUST CO AMERIC	456-0036-087-00	2459 OLIVER DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
241-	123357	DEVENO SHIRLEY A	443-0050-073-00	46 TRESTLE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
242-	123358	DEVNANI MANOJ	453-0035-018-00	708 PARDEE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
243-	123359	DEVNANI MANOJ	453-0045-041-00	203 SHEPHERD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
244-	123363	DHA ONKAR & DOSANJH NARI	431-0052-067-00	320 WINTON AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
245-	123368	DHILLON GURMIT S & JASMALE B	416-0230-027-00	1817 HILL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
246-	123376	DHUGGA GURWANT & RAZ KAVI ETAL	453-0045-020-02	353 SHEPHERD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
247-	123391	DIAZ MAXIMIANO JR & CASTILLO MARCELA	441-0077-020-02	24610 EDEN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
248-	123392	DIAZ NOE & ESMERALDA	431-0052-070-00	24056 DOTSON CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
249-	123397	DIEP LI	078G-2737-034-00	31313 BURNHAM WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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250-	123399	DIJAMCO JAIME T & GLORIA	464-0050-011-00	27867 DICKENS AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
251-	123402	DILLARD RAY & SYBIL	431-0072-064-00	23665 FULLER AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
252-	123403	DILLING ELAINE A	432-0064-160-00	22760 CORKWOOD ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
253-	123408	DIMIC KEVIN	445-0020-016-00	24072 CARMELITA DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
254-	123425	DIXON LANE TOWNHOUSE LP	078C-0433-002-10	29163 DIXON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	550.00
255-	123426	DIXON TOWN HOMES LLC	078C-0435-004-02	29529 DIXON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	132.00
256-	123427	DIYAL BIJESH & MAHARAJ REKHA TRS	464-0025-038-00	27813 BISCAYNE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
257-	123433	DOCHTERMAN CETA	454-0055-050-00	1312 INGLEWOOD ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
258-	123434	DOCHTERMAN CETA	464-0075-016-00	940 COLLINS CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
259-	123435	DOCHTERMAN CETA	083-0221-054-00	30393 VANDERBILT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
260-	123436	DODEJA PRAKASH & NAMRATA	464-0005-042-00	27756 SEMINOLE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
261-	123443	DOMINQUEZ SUSAN	445-0010-034-00	24020 JANSSEN CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
262-	123448	DONG XINZE	431-0080-151-00	23455 AMADOR ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
263-	123456	DORHAN INVESTMENTS INC	416-0160-006-01	22758 VERMONT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	308.00
264-	123462	DOUGLASS JR ROBERT A	078G-2754-006-00	272 REVERE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
265-	123464	DOWDY LILA	427-0021-010-00	1281 C ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
266-	123465	DRAGONI SUSAN A & MCCLENDON JOHN TRS	431-0076-023-00	454 ELMWOOD LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
267-	123491	DUMITRESCU ALEXANDRU & ELENA TRS	442-0065-138-00	25611 BELHAVEN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
268-	123492	DUMITRESCU ALEXANDRU & ELENA TRS	442-0060-107-00	1162 MERRITT LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
269-	123493	DUMITRESCU ALEXANDRU & ELENA TRS	442-0071-027-00	1240 RADCLIFF LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
270-	123496	DUNCAN WANDA	445-0140-031-00	24507 LEONA DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
271-	123497	DUNCAN WANDA	445-0140-032-00	24497 LEONA DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
272-	123505	DURAZO ARTHUR V & REBECCA M T	452-0076-049-00	27924 INGRAM PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
273-	123514	DUTTA RAHUL & SHAILAJA TRS & SUKHIJA SAN	081D-1615-090-00	26953 HAYWARD BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
274-	123515	DUTTA RAHUL & SHAILAJA TRS & SUKHIJA SAN	426-0080-134-00	1775 PANDA WAY 337	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
275-	123531	EDWARDS GENISE & MARK ETAL	427-0036-071-00	1514 C ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	132.00
276-	123542	ELDRIDGE LORI J	445-0060-053-00	1462 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
277-	123543	ELDRIDGE ROBERT A JR	427-0061-036-00	1697 C ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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278-	123547	ELENES JULIETA L TR	416-0230-006-02	1821 HILL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 242.00
279-	123554	ELLSWORTH LISA A TR	454-0015-113-00	26169 HICKORY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
280-	123568	EPPERSON LODEMA	081D-1660-003-00	2750 HILLCREST AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
281-	123571	ERTOZ LEVENT & GWENN TRS	432-0028-149-00	21824 THELMA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
282-	123572	ERTOZ LEVENT & GWENN TRS	432-0028-150-00	21812 THELMA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
283-	123573	ERTOZ LEVENT & GWENN TRS	432-0028-151-00	21800 THELMA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
284-	123574	ERTOZ LEVENT & GWENN TRS	432-0028-152-00	21788 THELMA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 110.00
285-	123583	ESPINOZA FRANCISCO G	416-0170-033-00	22808 UPLAND WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
286-	123587	ESTABROOK GAYLE L	444-0039-049-00	24704 THOMAS AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
287-	123593	ESTRADA SANDRA C	464-0085-017-00	1349 THIEL RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
288-	123598	EVANS JUANITA	083-0220-097-00	29983 VANDERBILT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
289-	123600	EWIGLEBEN JON J	445-0220-120-00	25739 SPRING DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
290-	123605	FABIONAR JOSELITO C & JOCELYN V	083-0223-003-00	730 GLENEAGLE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
291-	123608	FAETH JAMES J & CAROL A TRS	464-0080-001-02	1010 FOLSOM AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
292-	123611	FAJARDO CYNTHIA A & EMIL T	442-0051-105-00	25090 COPA DEL ORO DR 204	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
293-	123634	FELIX FRANCISCO V & REMEDIOS V	456-0099-037-00	28555 STARBOARD LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
294-	123635	FENG CHANGYI & XIE YU	441-0031-003-00	26151 FOUNT WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
295-	123651	FERNANDEZ DANILO C HEIRS OF EST	456-0042-005-00	2525 TAHOE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
296-	123662	FERREIRA NICANDRA ETAL	453-0060-036-02	27410 TYRRELL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
297-	123668	FIELDS KIM	431-0052-030-00	568 MEEK AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
298-	123669	FIERRO CLAUDIO & MEMBRILA GUILLERMO F ET	453-0030-021-18	26875 TYRRELL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
299-	123677	FIGUEROA SONIA E & WILMER J	464-0122-109-00	1511 WELFORD CIR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
300-	128913	FITE RODNEY	427-0051-062-00	1510 E ST 26	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
301-	123696	FITZPATRICK PAUL N HEIRS OF EST	444-0072-011-00	25531 FRANKLIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
302-	123702	FLORES NELSON A	428-0031-079-00	22221 MAIN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 132.00
303-	123727	FOHL LESLIE W & MARQUITA K TRS	444-0021-028-03	405 SYCAMORE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
304-	123732	FONG HSIAOYUAN & SHIH CHUNGCHI	444-0030-032-00	778 PINEDALE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
305-	123755	FORTE FRANK & MCNEAL GAYNELL	416-0150-020-00	22770 TEMPLETON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
306-	123756	FORTNER NOLEN JR & ANGELITA	078G-2757-005-00	472 MEDINAH CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
307-	123762	FOUST CECILIA & FOUST CECILIA TR	083-0251-099-00	596 GARIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 132.00
308-	123771	FRANK DE MIGUEL	428-0051-087-00	722 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 396.00

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309-	123782	FREMONT BANK TR	441-0035-034-00	25843 MADELINE LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
310-	123785	FRG TIMBERS LLC & TC TIMBERS LLC	443-0065-007-07	25200 SANTA CLARA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 2904.00
312-	123810	FURMANOV YURY	445-0040-013-00	1164 TIEGEN DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
313-	123824	GAFOOR SOFIA N & MOHAMMED G N	455-0026-027-00	2044 ALDENGATE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
314-	123825	GAHAGAN GREGORY G	452-0084-030-01	28376 E 10TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
315-	123831	GALBREATH JAMES R TR	454-0060-155-00	26884 LAKEWOOD WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
316-	123838	GALZOTE EVANGELINA R & JESSIE C	465-0071-021-00	513 SPALDING ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
317-	123849	GANGWANI NANDLAL	083-0472-021-00	680 DARTMOOR LN 261	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
318-	123852	GANGWANI NANDLAL	083-0467-008-00	661 ROYSTON LN 139	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
319-	123855	GAO DONGWEI & FAN XIAOQING	428-0082-075-00	22650 TOWN DR 3	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
320-	123856	GAO YUPENG	431-0108-106-00	3179 MADSEN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
321-	123862	GARCIA MARCELINA I & ROSARIO ETAL	453-0065-001-05	354 SHEPHERD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
322-	123867	GARCIA RAFAEL C TR	432-0135-059-00	1008 SAHARA CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
323-	123868	GARCIA TRINIDAD C	415-0190-043-05	21942 ROCKFORD RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
324-	123869	GARCIA WILFREDO E & RIOS ERICKA M	441-0031-051-00	2623 CRYER ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
325-	123880	GARCIA LILY S	455-0052-075-00	2075 BOLERO AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
326-	123891	GARCIA ROBERT A	454-0030-067-00	26409 CASCADE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
327-	123893	GARCIA RODRIGO & ANA I	454-0035-057-00	26256 REGAL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
328-	123899	GARIBAY MOSES M & AIMEE A	445-0001-034-00	945 FLETCHER LN A311	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
329-	123902	GARVIN DENISE	464-0025-070-00	27793 TAMPA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
330-	123904	GASSOUMIS KYRIATIA D & GUTIERRES LILLIAN	431-0008-033-01	SMALLEY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
331-	123905	GAUBA DINESH & DOBEE SHEILA	453-0050-134-00	27162 TAMPA AVE 76	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
332-	123907	GAVILANEZ AURELIO E & ESPINOZA MARCIA L	431-0036-001-00	405 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
333-	123916	GEIMAN GREGORY	454-0025-038-00	26210 STANWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
334-	123917	GEIMAN GREGORY	454-0015-101-00	25997 HICKORY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
335-	123919	GENEREUX BRIAN	444-0039-045-00	24838 THOMAS AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
336-	123931	GHEZAVAT MAHMOUD & WANG CHRISTINE TRS	453-0045-046-00	27100 MANON AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 132.00
337-	123932	GHEZAVAT MAHMOUD & WANG CHRISTINE TRS	432-0028-099-00	810 BARKER AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00

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338-	123934	GHUMMAN TEJPAUL & GHUMMAN TEJPAUL S ETAL	464-0080-044-01	976 FOLSOM AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
339-	123947	GILL NAVDEEP & BEDI GUNIDER S & GILL SHA	443-0090-023-00	25595 COMPTON CT 107	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
340-	123956	GILVIN NANCY & MCGARY JEFFREY	081D-1901-090-00	27781 PLEASANT HILL CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
341-	123966	GLEN OAKS LLC	456-0035-010-41	27475 HESPERIAN BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	7260.00
342-	123973	GOLDEN CAROL J TR	416-0160-026-00	22759 WOODRIDGE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
343-	123993	GONZALEZ GLENN S & TERRY TRS	443-0055-079-00	24905 WILLIMET WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
344-	123997	GONZALEZ PEDRO & MARISOL	431-0092-006-00	22503 SONOMA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
345-	124004	GONZALEZ GARY P & MARY E	463-0001-010-00	2309 CATALPA WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	78.50
346-	124055	GOYAL ANEESH & ROOPRAIL YACHIKA	083-0220-085-00	30102 VANDERBILT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
347-	124061	GRAND C LP	431-0040-067-00	22645 GRAND ST 2	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	1320.00
348-	124077	GREGORY SUSAN L	432-0135-086-00	1032 CLUBHOUSE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
349-	124089	GROSJEAN CAROL	454-0005-068-00	25630 ELDRIDGE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
350-	124094	GU GUOXIANG & LEE LISA	432-0068-094-00	986 LESTER AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
351-	124098	GUAN ZHEN	427-0056-037-00	1717 D ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
352-	124102	GUESS BRENDA L	415-0250-089-00	22139 CASTILLE LN 54	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
353-	124105	GUIDO MARIA G & RENTERIA IVAN M ETAL	455-0024-078-00	1791 SOUTHGATE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
354-	124106	GUIER HOLLY A	425-0420-002-00	26144 PARKSIDE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
355-	124117	GUPTA ARVIND & RISHU	456-0039-099-00	27344 MARIGOLD CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
356-	124120	GUPTA NITIN K & GAZALA TRS	441-0040-006-00	26039 GETTYSBURG AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
357-	124126	GURTOVOY OLEG & ISABELLA	432-0028-129-01	771 MEMORIAL WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	176.00
358-	124142	GUZZETTI MARIE TRUST	453-0030-020-18	26775 TYRRELL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
359-	124154	HABIB ASEF M & GULNAR TRS	465-0060-002-00	29265 VAGABOND LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
360-	124175	HAKIMI HOSS R	445-0110-025-00	1548 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
361-	124180	HAMPTON KEVIN	428-0021-046-01	1118 REX RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
362-	124211	HARPALANI SANDEEP & ROMA	078G-2782-030-00	146 GENEVA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
363-	124212	HARRIS ASA F & PATRICIA M	454-0010-049-00	25724 CASCADE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
364-	124224	HASSAN SHAHIDA P	441-0097-070-00	24453 CALAVERAS RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
365-	124234	HAYWARD HOLDINGS INC	445-0060-047-06	1372 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
366-	124236	HAYWARD SENIOR HOUSING I PROPCO LLC	415-0240-008-11	1200 RUSSELL WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	5258.00



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367-	124238	HAYWARD VILLA	453-0075-001-04	27300 CREEK RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 726.00
368-	124239	HAYWARD VILLA	453-0075-004-06	27463 CREEK RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 990.00
369-	124258	HENDRIX GEORGE & LYNDA	443-0055-041-00	662 DENSLOWE LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
370-	124260	HENN MICHAEL T & NANCY E TRS	456-0037-197-00	2473 ARF AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
371-	124261	HENRICHSEN RICHARD L & LIBERTY T	452-0036-076-00	656 COLETTE PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
372-	124268	HERINGER RICHARD L & JENNIE TRS	428-0084-001-00	22756 ATHERTON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
373-	124271	HERNANDEZ ALONZO TR	464-0020-025-00	27660 SEMINOLE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
374-	124276	HERNANDEZ RIGOBERTO V & TERESA C TRS	454-0015-011-00	666 BISHOP AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
375-	124279	HERNANDEZ ALFREDO & SAMUEL	431-0008-026-00	387 SMALLEY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
376-	124281	HERNANDEZ AURORA & JAIME	427-0046-004-00	1439 D ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
377-	124282	HERNANDEZ ELIASER B & LAURA	443-0055-078-00	24901 WILLIMET WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
378-	124311	HILLCREST HOLDINGS LLC	081D-1640-010-03	26970 HAYWARD BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 3036.00
379-	124333	HO THANH V & PHAM AN T	441-0029-111-00	2262 CRYER ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
380-	124334	HO VAY I	428-0082-030-00	706 CITY WALK PL 2	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
381-	124336	HOANG LAP & LE TAM B ETAL	428-0016-046-00	1295 COTTER WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
382-	124346	HODTWALKER ANNETTE L	078C-0438-058-00	29300 DIXON ST 113	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
383-	124356	HOLYOAKE FRANK INCORPORATED	431-0040-049-00	557 CLAIRE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
384-	124360	HOM MA INC	081D-1902-032-00	3280 ROUND HILL DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
385-	124366	HOME SOHO LLC	444-0045-026-00	24770 SOTO RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
386-	124379	HOSSAIN QUAZI L & NASIMA	445-0150-025-00	24567 MARGARET DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 80.00
387-	124385	HOUSTON MARY L TR	445-0290-040-00	2485 SAINT HELENA DR 3	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
388-	124386	HOVER RANDALL	427-0036-016-00	22588 CHESTNUT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
389-	124387	HOWARD JOHN F	416-0140-047-00	22758 7TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
390-	124393	HSIAO YAOTSU J	453-0050-080-00	926 CHERYL ANN CIR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
391-	124402	HSUEH ANGELA TR	431-0088-010-00	263 ELMWOOD LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
392-	124403	HSUEH ICHIN E	078C-0432-006-06	29061 DIXON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
393-	124420	HUANG CONGHUA	432-0028-026-00	22273 VICTORY DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
394-	124421	HUANG CONGHUA	081D-2089-009-00	26981 HAYWARD BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
395-	124424	HUANG JOHNNY & MAI TIFFANY A	453-0055-025-00	718 HARRIS CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
396-	124448	HUANG LI	083-0469-018-00	29573 HIGH GATE DR 222	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
397-	124449	HUANG LI	078C-0436-149-00	260 INDUSTRIAL PKWY 40	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
398-	124458	HUEY KENNETH & WONG YOLANDA	456-0023-045-00	2653 BAL HARBOR LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00

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399-	124459	HUFF TERRANCE D	456-0017-006-00	2369 BERMUDA LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
400-	124484	HURTADO ARTURO TR	454-0020-002-00	25926 HICKORY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
401-	124490	HUSAINI SYED & ANIS	456-0046-089-00	2542 KIRKWOOD DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
402-	124500	HUTCHINS JEANNE D	427-0061-061-00	22776 6TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	132.00
403-	124502	HUYNH HONG T TR	453-0020-090-00	149 ORCHARD PARK PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
404-	124503	HUYNH TANH & HUNG ETAL	463-0004-021-00	1728 EUGENIA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
405-	124522	ICASIANO JOSEPH A & YANNA H E	427-0026-034-01	1321 D ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
406-	124523	ICASIANO YANNA H & JOSEPH	455-0026-017-00	2090 ALDENGATE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
407-	124539	INFINITE ASSETS LLC	456-0037-150-00	27578 STROMBERG CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
408-	124549	IQBAL & ASSOCIATES LLC	444-0048-056-02	25157 SOTO RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	110.00
409-	124552	IRA SERVICES TRUST CO	083-0467-007-00	661 ROYSTON LN 138	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
410-	124553	IRA SERVICES TRUST CO	428-0077-020-00	608 ATHERTON PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
411-	124560	IVANKOVIC JOZO & ANDJA	083-0220-096-00	29975 VANDERBILT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
412-	124561	IVANOVIC SLAVOIJUB & SVETLANA	456-0042-049-00	2536 TAHOE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
413-	124573	JACKS CORNEL JR & CLARK KHAIERSTA TRS	456-0039-062-00	2682 OLIVER DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
414-	124576	JACKSON EDNA M	456-0038-076-00	27761 HUMMINGBIRD CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
415-	124577	JACKSON EDNA M	431-0080-093-00	23243 JORGENSEN LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
416-	124581	JACOLI INVESTMENTS LLC	444-0039-044-00	512 ORCHARD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
417-	124592	JAM NAVID & GLORIA TRS	445-0220-067-00	992 TORRANO AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
418-	124621	JAYARAMAN ASWIN & BALASUBRAMANIAN PRIYA	078G-2937-007-00	534 ERICA PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
419-	124623	JBA ENTERPRISES LLC	427-0031-135-00	1318 B ST 212	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
420-	124632	JENNIFER Y NHO	442-0055-024-00	25307 BELHAVEN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
421-	124636	JEUNG ERNEST K & BERNICE M ETAL	416-0150-018-00	22762 TEMPLETON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
422-	124649	JIANG MIKE	427-0041-010-00	1593 C ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
423-	124651	JIANG ZUDI & YE YUN	431-0112-078-00	153 BURBANK ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
424-	124652	JIANG ZUDI & YE YUN	431-0113-023-00	312 WILLIAMS WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
425-	124656	JIMENEZ PATRICIA TR & MENDEZ ALEJANDRO G	456-0054-034-00	2886 ARF AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
426-	124661	JIN CHENGSHU & JIN WEN D TRS	442-0065-161-00	25866 SCRIPPS ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
427-	124662	JIN CHENGSHU & JIN WEN D TRS	452-0085-002-00	287 EDWIN WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
428-	124663	JIN JESSIE & BENJAMIN ETAL	428-0011-062-00	21759 RIO VISTA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
429-	124684	JOHNSON JAMONT	428-0082-013-00	758 CITY WALK PL 1	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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430-	124695	JONES LORNA G TR & JONES DON L HEIRS OF	454-0070-085-00	26966 JENNINGS WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
431-	124701	JORDAN RICHARD T	081D-2082-031-00	28082 DOBBEL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
432-	124705	JOSEN DILRAJ S & DALJEET K	083-0435-017-00	28867 ROCHELLE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
433-	124706	JOSEPH AND HOPKINS LLC	432-0032-023-02	22429 S GARDEN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	110.00
434-	124707	JOSEPHINE LUM LODGE LP	456-0035-010-36	2747 OLIVER DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	3300.00
435-	124709	JOZINOVIC JOZO & RUZA	428-0026-027-01	22224 MAIN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
436-	124710	JPMORGAN CHASE BANK N A	453-0065-045-00	27418 SUSAN PL 2	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
437-	124712	JUAREZ JOAQUIN	444-0030-028-00	812 PINEDALE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
438-	124764	KARIM SOHAIL	444-0057-033-00	692 BERRY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	110.00
439-	124765	KARIM AMEER	453-0045-055-00	27104 BELVEDERE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
440-	124769	KARTYCHAK AMY L TR	463-0006-064-00	1861 OSAGE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
441-	124770	KARWASH MOHAMAD H	453-0045-015-02	117 SHEPHERD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	308.00
442-	124773	KASH SIM	078C-0451-119-00	29630 MOUNTAIN OAK CT 57	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
443-	124774	KASH SIM	442-0005-090-00	938 POPE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
444-	124776	KASHIKAR AL	425-0140-024-00	25083 OAKRIDGE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
445-	124777	KASHIKAR ALI	078C-0451-110-00	29629 MOUNTAIN OAK CT 50	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
446-	124778	KASHIKAR ALI	431-0056-057-02	24098 MYRTLE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
447-	124779	KASHYAP SHUKLA	455-0076-042-00	27865 CORONADO WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
448-	124784	KAUR HARMANJIT	465-0060-015-06	740 FOLSOM AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
449-	124785	KAUR KIRAN J & KULAR GURDEEPAK S	431-0080-104-03	23338 IDA LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
450-	124792	KAWABATA RICKO HEIRS OF EST	454-0020-068-00	25965 GADING RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
451-	124793	KAWAKAMI ELAINE F	454-0065-042-00	1378 THAIS LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
452-	124797	KB HOME SOUTHBAY INC	443-0093-021-00	249 SPRING HARVEST RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
453-	124798	KB HOME SOUTHBAY INC	443-0093-021-00	251 SPRING HARVEST RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
454-	124801	KEATING MERLE P	444-0057-072-00	834 VOYAGER WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
455-	124835	KERLEGAN JEFFREY A	425-0470-021-02	27590 VISTA BAHIA WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
456-	124847	KHALSA MANJEET & MUNJEET K ETAL	078C-0626-015-00	815 HANCOCK ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
457-	124851	KHAN MOHAMMED & KHUSEED B TRS	085A-6423-001-00	28830 BAY HEIGHTS RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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458-	124852	KHAN MOHAMMED & KHUSEED B TRS	453-0035-020-02	27133 TYRRELL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
459-	124853	KHAN MOHAMMED & KHUSEED B TRS	453-0035-021-03	27151 TYRRELL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
460-	124857	KHAN WAQAR & NAYYAR S	428-0031-014-00	22195 PROSPECT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
461-	124865	KHAN ZULQARNAIN	453-0095-007-06	27673 LEIDIG CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	308.00
462-	124875	KHATUA KUNAL	427-0006-045-00	22860 1ST ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
463-	124876	KHERA HARINDER K	078G-2760-016-00	32236 PULASKI DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
464-	124883	KIM JIMMY P TR	428-0081-044-00	765 WILLIS AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
465-	124899	KINOSHITA H & SHARON A TRS	454-0070-062-00	26967 UNDERWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
466-	124907	KITCHEN LEWIS L & DOROTHY G	432-0028-020-00	22175 VICTORY DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
467-	124922	KODE USHASREE & KONERU NARENDRA	453-0060-008-03	486 SHEPHERD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
468-	124924	KOHZAD FRAIDUN	456-0037-211-00	2441 ARF AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
469-	124926	KOLLI SUDHIR & SREELAKSHMI	431-0080-108-00	23034 IDA LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	220.00
470-	124937	KOON YIN CHAN	431-0105-104-00	778 DEAN PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
471-	124949	KRALJ ANTHONY J & JAKO ETAL	078G-2930-009-00	32293 BERNICE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
472-	124955	KRAMBULE GARY L & POON ALLEN W	455-0056-074-00	27537 LA PORTE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
473-	124962	KSQUARE INVESTMENT LLC	465-0025-083-00	26 RAINTREE CT 26	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
474-	124966	KUAN MAN W	431-0052-020-00	22903 GRAND ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
475-	124970	KULAR GURDEEPAK S & KAUR KIRANJIT	431-0080-104-04	23360 IDA LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
476-	124971	KULDIP KAIRA & POONAMARORA	078C-0434-006-06	29213 DIXON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
477-	124978	KUMAR ANIL & MONICA	445-0210-020-00	918 CENTRAL BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
478-	124991	KUMAR ARBIN C	081D-2081-077-00	3390 OTTER CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
479-	124995	KUMAR JOYTI & DEO M TRS	452-0036-021-00	26664 COLETTE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
480-	125000	KUMAR SHIV D & SARLA R TRS	428-0041-013-00	713 SUNSET BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
481-	125001	KUMAR USHA L & DIVENDRA	443-0070-024-00	25118 TARMAN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
482-	125008	KUTTYJONES NILIMA ETAL	426-0080-136-00	1775 PANDA WAY 339	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
483-	125022	KYLE SVARDAL	445-0160-012-00	1130 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
484-	125027	LADDHA PIYUSH K & BIRLA ARCHANA	453-0035-027-00	743 SHEPHERD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
485-	125030	LAI HOK M & WONG LEI	427-0061-039-00	22685 7TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	110.00
486-	125035	LAI HOK C	417-0040-037-02	22729 BAYVIEW AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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487-	125036	LAI HOK C	431-0028-004-00	22738 FILBERT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
488-	125037	LAI HOK M	453-0045-035-00	27133 BELVEDERE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
489-	125045	LAIN ADAM & DIANE ETAL	456-0005-013-00	2793 COOK PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
491-	125053	LAL BOB & ANITA	431-0004-069-02	537 A ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
492-	125054	LAL DINESHWAR & SUSAN	444-0075-060-00	25766 DONALD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
493-	125071	LAM DAVID T & JUDY C	444-0036-042-03	808 ORCHARD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 132.00
494-	125080	LAMAS ARMANDO	416-0150-088-00	22636 MADRONE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
495-	125084	LANA LAU TR	456-0047-064-00	2383 CABRILLO DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
496-	125085	LANDAVERDE WILFREDO & LISSETTE	453-0040-044-00	402 RANKER PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
497-	125089	LANZER AARON & DANIEL ETAL	443-0005-056-00	525 ELMHURST ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
498-	125091	LARA GERALDINE T & MERCEDITA	456-0014-006-00	26768 LAUDERDALE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
499-	125092	LARIMER LEWIS L	461-0045-015-00	3454 BAUMBERG AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
500-	125096	LARSON CLAY H & GARY O	415-0250-053-00	22135 SEVILLA RD 27	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
501-	125100	LASAT STEVENSON & MAYA RACHEL	456-0038-131-00	27486 LEMON TREE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
502-	125117	LAVATAI NYREE K & MARJORIE K	445-0001-051-00	945 FLETCHER LN D336	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
503-	125125	LE HIEU H & LAM DUONG	454-0055-085-00	1322 HENDERSON LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
504-	125155	LEDEZMA FRANCISCO & HERMELIND	428-0036-103-00	22229 MONTGOMERY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
505-	125162	LEE ANYU TR	453-0025-054-00	711 SCHAFER RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
506-	125163	LEE ANYU TR	452-0084-115-00	578 TENNYSON RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
507-	125167	LEE DENISE K & GORDON M	453-0015-036-00	26360 TAFT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
508-	125168	LEE DEREK W & HOANG TUYETMINH N	461-0037-006-00	2863 DUNE CIR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
509-	125169	LEE DONG W	445-0220-063-00	960 TORRANO AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
510-	125173	LEE IRENE O	415-0230-041-01	1317 RUSSELL WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 198.00
511-	125179	LEE KYUNG	416-0160-014-00	2141 KELLY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 110.00
512-	125183	LEE MONICA	415-0250-011-04	22036 ROCKFORD RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
513-	125185	LEE NORMAN L & LIN MICHELLE	442-0071-301-00	1256 STANHOPE LN 356	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
514-	125190	LEE RICH W & PHAM PHUONG M	078G-2652-045-00	336 ARROWHEAD WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
515-	125192	LEE SAM D & KIM JINSOOK	428-0021-035-00	1175 OAKVIEW AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
516-	125212	LEE LYZETTE A	465-0060-061-00	29173 LONE TREE PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
517-	125216	LEE MICHELLE & MICHELLE	431-0104-026-00	661 CHASE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
518-	125220	LEE PAUL T & FAYE K	085A-6430-071-00	58 CARRICK DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
519-	125225	LEE RYAN J	432-0028-131-00	797 MEMORIAL WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00

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520-	125244	LEMON DONALD JR TR	428-0041-014-00	721 SUNSET BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
521-	125265	LESTER GUY K & VICKI L TRS & LOUBE RIVER	416-0130-036-00	1754 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 1166.00
522-	125267	LEUNG BILL S & WINNIE S TRS	078G-2743-026-00	31485 WHEELON AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
523-	125293	LEWIS MARISELA	083-0473-023-00	29581 HIGH GATE DR 319	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
524-	125301	LI PIN L	442-0051-085-00	25091 COPA DEL ORO DR 203	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
525-	125307	LI ZHEN & YE WEIJIE	431-0108-266-00	1214 M L KING DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
526-	125308	LI ZHIDE & TAN JINXIAN	453-0010-053-00	318 DUMONT AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 132.00
527-	125335	LIANG GUANG JI & YANHUA ETAL	428-0011-067-00	21863 MAIN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
528-	125340	LIANG YAN TR	456-0037-015-00	27522 STROMBERG CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
529-	125345	LIANG THOMAS O & TAN WAI W	444-0015-023-00	24987 AVOCADO CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
530-	125347	LIAO KAI & ZHOU LIJUAN	078C-0417-018-00	28386 ROCHELLE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
531-	125350	LIAO ZHOU H	444-0021-061-00	24636 DALE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
532-	125361	LIM MILTON W & SUEN SALINA TR	454-0020-061-06	25905 GADING RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 176.00
533-	125383	LIN CALVIN	427-0041-047-04	1434 D ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
534-	125394	LIN XIAO	453-0040-049-00	451 RANKER PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
535-	125402	LINNEY TATYANA & STEVEN	425-0430-007-00	26490 PARKSIDE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
536-	125406	LISCESKE CARL R TR	427-0006-017-02	1128 D ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
537-	125410	LIU ANNA & PAUL	441-0068-006-02	24941 MONTE VISTA DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
538-	125412	LIU BAOJING & GONG LIPING	432-0135-006-00	962 CASTLEWOOD WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
539-	125413	LIU CHRISTOPHER C TR	432-0032-018-02	22347 S GARDEN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
540-	125414	LIU CHRISTOPHER C TR	432-0032-019-02	22349 S GARDEN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
541-	125423	LIU GEORGE TR	428-0036-095-00	22218 MONTGOMERY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
542-	125446	LIU SEN	431-0056-042-02	401 MEEK AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
543-	125451	LIU ZONG Y & HUANG CONGHUA	428-0031-032-00	22125 MAIN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
544-	125453	LIZAOLA JOSE L & AIDA A	452-0064-040-00	364 SPARLING DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
545-	125462	LO ANDREW H & HUANG LILLIAN L	456-0038-010-00	2757 ARF AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
546-	125463	LO ANDREW H & HUANG LILLIAN L	456-0038-126-00	27446 LEMON TREE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
547-	125464	LO ANDREW H & HUANG LILLIAN L	431-0040-056-00	22807 GRAND ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
548-	125486	LOPEZ EVA	442-0005-066-00	907 POPE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
549-	125497	LOPEZ JOSE D & PICOS OFELIA G	454-0065-039-00	1387 THAIS LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
550-	125507	LORETTE DENNIS L	081D-1665-018-00	3062 CHRONICLE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
551-	125536	LOYA MIGUEL A & JULISSA	441-0012-036-00	1311 SANGAMORE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00

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552-	125548	LU MELISSA L & WU CHRISTINE Y	453-0015-011-00	233 NEWHALL ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
553-	125549	LU MELISSA L & WU JENNIFER Y	078G-2696-006-00	420 SAINT ANDREWS ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
554-	125556	LUGO ATILANO & ISABEL	453-0090-010-02	27727 MANON AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
555-	125557	LUGO ATILANO & ISABEL	453-0090-010-01	27719 MANON AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
556-	125558	LUGO ATILANO & ISABEL	453-0090-011-01	27741 MANON AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
557-	125559	LUGO ATILANO & ISABEL	464-0001-070-00	27514 SEBASTIAN WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
558-	125560	LUGO ATILANO & ISABEL	464-0080-018-00	1091 THIEL RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
559-	125561	LUGO ROBERTSON & ROSADO	464-0001-057-00	27668 SEBASTIAN WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
560-	125562	LUGO ROBERTSON & ROSADO	453-0060-031-02	615 HARRIS RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
561-	125563	LUGO ROBERTSON & ROSADO	453-0060-031-03	611 HARRIS RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
562-	125593	LUO LI F	456-0036-014-00	27467 PONDEROSA CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
563-	125617	MA XIAOQING	445-0060-047-08	1390 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
564-	125618	MA XIAOQING	445-0060-041-09	1347 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
565-	125619	MA XIAOQING	445-0050-001-10	24261 SECOND ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
566-	125633	MACATANGAY PAQUITO G & PAZ G TRS	465-0060-028-00	29112 LONE TREE PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
567-	125634	MACDONNELL PAUL J	428-0031-031-00	22123 MAIN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
568-	125636	MACHADO JOHN & ELIZABETH	428-0046-028-00	22347 MONTGOMERY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
569-	125639	MACIEL CARL & AIDA	427-0056-002-00	1627 D ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	330.00
570-	125641	MACY PAUL A TR	453-0090-113-00	27746 ANDREA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
571-	125645	MADANAT NABEEL & EMAN	416-0120-015-00	22596 NORWOOD DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
572-	125647	MADDI GOVARDHAN	427-0031-043-00	22645 4TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
573-	125663	MAGNESIUM 1031 LLC	431-0040-040-00	22814 ALICE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	220.00
574-	125664	MAHAJAN GEETANJALI	426-0080-119-00	1775 PANDA WAY 222	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
575-	125672	MAHARAJ DHURUP C & SADESH K T	455-0008-028-00	1453 THORNWALL LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
576-	125684	MALDONADO BENJAMIN	431-0092-050-02	22464 FULLER AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
577-	125725	MANUEL VONCEIL TR	415-0252-081-00	21095 GARY DR 109	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
578-	125734	MAQDOOR FARIAH	081D-1904-044-00	3597 DEER PARK CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
579-	125744	MARCELLI EDWIN	463-0006-055-00	28289 HESSE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
580-	125745	MARCELLI EDWIN	463-0004-070-00	1723 TULIP AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
581-	125759	MARIN ABELINA	443-0005-072-00	24424 BROADMORE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
582-	125764	MARINO SALVATORE J TR	428-0056-065-00	22564 MISSION BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
583-	125769	MARQUEZ JOSEPH M & RAYLIN TRS & MARQUEZ	453-0045-031-07	26932 MANON AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	132.00

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584-	125770	MARQUEZ JOSEPH M & RAYLIN TRS & MARQUEZ	432-0032-020-02	22357 S GARDEN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
585-	125771	MARQUEZ ROSE TR ETAL	078G-2925-002-00	31912 CHICOINE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
586-	125772	MARQUEZ ANASTACIO & ROSE	083-0220-080-00	662 AUDUBON CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
587-	125782	MARTIN EFRAIN & MARIA D ETAL	428-0021-055-00	1162 HAZEL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
588-	125786	MARTINEZ JUAN M & CINTHIA J	461-0045-025-00	3435 BRIDGE RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
589-	125790	MARTINEZ DULCE M & MURILLO JO	431-0052-092-00	24024 PARK ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
590-	125812	MATOVIC ENTERPRISE INC	415-0240-031-00	1283 RUSSELL WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
591-	125814	MATTHEWS JAN L	442-0071-061-00	25865 KAY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
592-	125823	MAY LEWIS P JR & SUSAN H	415-0252-099-00	21095 GARY DR 213	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
593-	125824	MAYAR ANISA	465-0035-120-00	29348 CHANCE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
594-	125826	MAYNARD DONALD G & BETTY J TRS	454-0020-031-00	25742 UNDERWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
595-	125832	MCCLELLAN RONALD E & GERALDIN	431-0084-005-00	23806 AMADOR ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
596-	125838	MCENTIRE ROBERT L & WREATHA A TRS	432-0040-039-00	22642 NEVADA RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
597-	125842	MCKENZIE PATRICK & MARTINA	078G-2761-013-00	54 LAFAYETTE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
598-	125850	MCPEAK DAVID & LINA	432-0044-029-01	708 MARIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
599-	125851	MCPEAK DAVID & LINA	432-0044-029-03	712 MARIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
600-	125852	MCPEAK DAVID & LINA	432-0044-029-04	714 MARIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
601-	125853	MCPEAK DAVID & LINA	432-0044-030-03	718 MARIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
602-	125854	MCPEAK DAVID & LINA	432-0044-030-05	722 MARIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
603-	125855	MCPEAK DAVID & LINA	432-0044-030-06	710 MARIN AVE A-D	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	176.00
604-	125857	MCQUIGG TONY & EMELITA G	455-0084-127-00	1852 FLORIDA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
605-	125880	MENDES A M & GONSALVES E M & LOPES B M	432-0044-060-00	22420 THELMA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
606-	125881	MENDES ROBERT L	431-0092-015-00	22695 SONOMA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
607-	125882	MENDEZ ALEJANDRO G & EULALIA J TRS & JIM	456-0048-008-04	2854 BAUMBERG AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
608-	125905	MERWIN ARDIS D TR	445-0110-022-00	1516 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
609-	125907	MESMA LLC	431-0008-018-00	448 SMALLEY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	110.00
610-	125927	MILLER MESA LLC	427-0041-046-08	22736 FOURTH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
611-	125931	MILLER MARK P & REBECA M	455-0016-100-00	26718 PETERMAN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
612-	125935	MILLS PHYLLIS K	078C-0638-009-00	727 BROADWAY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
613-	125936	MILLS PHYLLIS K	078G-2949-001-01	31175 FAIRCLIFF ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00



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614-	125937	MILLS PRIL Q & EDNA H TRS	455-0076-022-00	27718 CORONADO WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
615-	125942	MIRANDA EUGENE & MARIA	431-0008-071-00	454 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
616-	125945	MIRANDA MARIA A TR	444-0024-089-00	513 RAMOS AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
617-	125948	MIRBAGHERI ALIREZA	443-0091-037-00	25526 HUNTWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
618-	125949	MISHRA HARISH C & SUJLA	427-0006-049-00	1126 ARMSTRONG ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
619-	125951	MITCHAM MONICA L	431-0008-066-00	22531 ALICE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
620-	125952	MITCHELL KEITH	432-0028-027-00	22291 VICTORY DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
621-	125953	MITRA MAYURRANJAN & BHATT RIDDHI D	415-0252-439-00	21314 GARY DR 310	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
622-	125958	MOBLEY JOANNE & GRAHAM MARY J	443-0075-021-00	25496 TARMAN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
623-	125967	MOGRI YUSUF K & RASHIDA	456-0036-096-00	2537 OLIVER DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
624-	125969	MOHAMMAD MAYAR	445-0120-004-00	1240 TIEGEN DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
625-	125977	MOKTAN PRABIN R & LAMA MALA B	083-0471-008-00	661 ROYSTON LN 240	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
626-	125990	MONZAVI JALAL F & RADAN SORAYA	453-0050-126-00	1029 CHERYL ANN CIR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
627-	125994	MOORE SHERMAN	427-0031-006-00	1345 A ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
628-	126005	MOREY MARIA & MOREY HIGH COUN	081D-1904-068-00	27953 HIGH COUNTRY DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
629-	126021	MOSLEH MOHAMED	425-0280-026-00	4099 OAK MANOR CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
630-	126032	MR HOMES LLC	427-0041-047-09	22758 4TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
631-	126033	MT EDEN HOLDINGS LLC	461-0045-012-00	3590 BAUMBERG AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
632-	126036	MUHLEMAN TRACY	445-0001-017-00	945 FLETCHER LN C110	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
633-	126045	MUNOZ BLANCA F	428-0036-006-00	22115 MONTGOMERY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
634-	126046	MUNOZ BLANCA F	078G-2721-024-00	407 RIVERCREST LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
635-	126054	MURGA LUIS E & S L TRS & MASSONE DAVID &	431-0040-041-00	22782 ALICE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	220.00
636-	126071	NACOR TIMOTEO JR	456-0037-069-00	27710 DEL NORTE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
637-	126073	NAICKER PARVATI	445-0210-025-09	25111 DELMAR AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
638-	126077	NAKAHARA DANIEL N & MARY M	428-0011-031-00	21669 PROSPECT CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
639-	126083	NANDABALAN BHUVANALAKSHMI K	431-0108-260-00	1202 M L KING DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
640-	126085	NARANG AMARJIT S & KAMAL	431-0080-158-00	23686 RONALD LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
641-	126086	NARANG HARMEET S & AMARJIT S ETAL	464-0015-013-00	27735 HAVANA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
642-	126087	NARANG HARMEET S & AMARJIT S ETAL	464-0015-060-00	27810 POMPARNO AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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643-	126088	NARANG KAMAL	453-0090-032-00	27624 BALDWIN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
644-	126089	NARAYAN JITESH & RATTANNARAYAN RAJESHNI	453-0070-057-00	27505 TAMPA AVE 20	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
645-	126104	NAZAR HASNAIN S & HUSAIN KISAE	431-0072-012-00	23765 LYNN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
646-	126118	NEKAIEN ELMER	427-0026-070-00	1389 C ST 3	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
647-	126123	NELSON NORMA TR	442-0051-087-00	25091 COPA DEL ORO DR 204	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
648-	126125	NELSON ADELINE F	416-0160-025-00	22735 WOODRIDGE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
649-	126127	NEPAL YAGYA	083-0251-098-00	29931 VANDERBILT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
650-	126131	NEWBERRY NELSON R & MOHTASHAM SHIVA	083-0265-002-15	29338 BODEGA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
651-	126132	NEWBERRY ROBERT A & SUSAN A	454-0055-122-00	1284 MCBRIDE LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
652-	126139	NG JAMESON C & LIU PAMELA TRS	456-0026-068-00	27502 VERONA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
653-	126144	NG WAICHEONG & CHEUNG YIN TRS	456-0036-009-00	27555 PONDEROSA CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
654-	126145	NG WAICHEONG & CHEUNG YIN TRS	455-0056-135-00	27637 DECATUR WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
655-	126176	NGUYEN CUONG V	456-0014-032-00	2298 SLEEPY HOLLOW AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
656-	126185	NGUYEN JIM & THANH T	456-0026-013-00	27453 VERONA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
657-	126189	NGUYEN KHOA	441-0031-005-00	2488 BRADFORD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
658-	126195	NGUYEN LOI T TR	456-0020-014-00	2583 OCALA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
659-	126209	NGUYEN QUAN	083-0462-023-00	1151 SILVER MAPLE LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
660-	126228	NGUYEN TUYET T & LIEN CHI Q	441-0097-037-00	1157 BUCHANAN WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
661-	126244	NIEXIAO HUI & XIAO CONG	445-0303-004-00	2437 CREEKSIDE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
662-	126245	NIJJAR BOBBY I & MANPREET ETAL	461-0103-043-00	29238 ALBION CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
663-	126246	NIJJAR DAULAT S & SURRENDAR K	453-0065-019-05	257 HARRIS RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	176.00
664-	126271	NOORUDDIN FAKIR S & ZAFAR HINA	078G-2759-002-00	374 REVERE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
665-	126272	NORDMAN DEBORAH A TR	078G-2711-002-00	30545 HOYLAKES ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
666-	126276	NORTHERN CALIFORNIA COMMUNITY DEVELOPMEN	453-0080-003-04	27719 TYRRELL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
667-	126277	NORTHERN CALIFORNIA COMMUNITY DEVELOPMEN	453-0080-003-06	27721 TYRRELL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
668-	126281	NOWBAKHT FARIBORZ (FRANK)	442-0071-076-00	25930 KAY AVE 109	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
669-	126283	NUNES DENNIS A	431-0028-059-00	22817 OPTIMIST ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
670-	126284	NUNES AARON C TR	452-0052-077-00	26834 WHITMAN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
671-	126296	OEI ALEXANDER & LEE MARGARET	415-0252-084-00	21095 GARY DR 112	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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672-	126298	OHM SHREE LAXMI LLC	432-0032-003-02	450 W A ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 682.00
673-	126301	OKAMURA LILYAN S TR	428-0051-002-00	709 GRACE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
674-	126302	OKAMURA LILYAN S TR	427-0016-044-00	1246 C ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
675-	126304	OKWUEGBE KENNETH	432-0068-105-00	856 LESTER AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
676-	126305	OKWUEGBE KENNETH	444-0051-128-02	25198 MUIR ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 154.00
677-	126310	OLIVAN ANGELINA L & GOMEZ SALVADOR L	445-0210-060-00	25253 DELMAR AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
678-	126322	OMER MARYAM A TR	427-0026-020-00	22747 4TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
679-	126323	OMER MARYAM A TR	427-0026-019-00	22737 4TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
680-	126324	OMER MARYAM	445-0170-038-04	1155 PALISADE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
681-	126325	ONEILL SUSAN L TR	427-0065-123-00	1528 STAFFORD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
682-	126354	OROZCO GONZALO & EDUARDO &	453-0045-003-15	202 SCHAFER RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
683-	126356	ORTEGA MILTON A & JOSELLE	431-0008-012-00	22327 FLAGG ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
684-	126360	ORTIZ SERGIO & ORTIZ FLORENTINO & IMELD	445-0120-003-00	1232 TIEGEN DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
685-	126377	OVERTON CHRISTOPHER	081D-1595-028-00	27475 DOBBEL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
686-	126381	PAAR HOSPITALITY INC	432-0032-002-04	500 W A ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 1518.00
687-	126382	PABINGWIT IAN & JARDIN LADYKR	442-0071-141-00	1280 STANHOPE LN 137	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
688-	126406	PAN XINMIAN	442-0071-304-00	1256 STANHOPE LN 359	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
689-	126408	PANESCU RAZVAN & DORINA ETAL	427-0051-024-00	1617 D ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
690-	126415	PANNU AMANDEEP K	464-0122-007-00	1788 RUUS LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
691-	126420	PARAISO APARTMENTS LLC	453-0080-009-02	963 W TENNYSON RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 1408.00
692-	126423	PARK MANOR APARTMENTS LP	444-0027-007-05	24200 SILVA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 1782.00
693-	126449	PATEL PURVAL B & JOELINE P	078C-0451-072-00	29621 RED OAK CT 12	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
694-	126451	PATEL TUSHAR R & PANCHAL MITA H	453-0095-027-02	27712 MANON AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
695-	126452	PATEL TUSHAR R & PANCHAL MITA H	453-0040-048-00	459 RANKER PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
696-	126467	PAZ MARTA A TR	428-0011-003-00	1123 COTTER WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
697-	126488	PEREDA JESUS & IRMA	452-0036-008-00	26586 COLETTE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
698-	126489	PEREIRA JOSE HEIRS OF EST	431-0028-065-00	22853 OPTIMIST ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
699-	126490	PEREIRA ANNA K HEIRS OF EST E	452-0068-007-01	574 JEFFERSON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
700-	126493	PEREIRA EDUARDO	452-0084-099-02	28406 E 13TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
701-	126497	PEREZ JULIA TR	453-0085-017-00	27744 HALDANE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00

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702-	126498	PEREZ RUBEN S & GARCIA CARMEN	454-0065-048-00	1348 SHERIDAN LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
703-	126500	PEREZ ERIKA B	416-0150-012-00	22602 TEMPLETON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
704-	126502	PEREZ JOSE A & SALGADO ANGELI	432-0064-020-00	897 LONGWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
705-	126509	PERUMAL PETHURAJ & PETHURAJ DEEPAVENI	083-0251-020-00	634 GARIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
706-	126529	PHAM CATHLEEN & WILLIAMS DANIEL	445-0220-118-00	25685 SPRING DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
707-	126531	PHAM HUNG M	444-0024-047-00	24219 SILVA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
708-	126573	PICAZO ABEL & MARIA C	441-0029-027-00	2239 BENNINGTON LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
709-	126580	PINE COUNTRY LLC	445-0120-022-29	1256 TIEGEN DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
710-	126585	PINNEY CHRISTOPHER A	445-0130-057-00	1137 TIEGEN DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
711-	126587	PINTO HORTENCIA I TR	443-0025-064-00	24693 BROADMORE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
712-	126601	POLICARPIO PACITA N & ELPIDIO	452-0085-098-00	289 STANISLAUS WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
713-	126602	POLICARPIO PACITA N & ELPIDIO	452-0085-088-00	274 STANISLAUS WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
714-	126614	PORTER CAROL A & WILLIAM M TRS	445-0001-006-00	920 FLETCHER LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	440.00
715-	126615	POTTS GREGORY & POTTS WILLIE L HEIRS OF	085A-6423-029-00	28818 BAILEY RANCH RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
716-	126616	POTTURU MANOJ K & VEMULA JYOTSNA	452-0087-053-00	590 COTTAGE PARK DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
717-	126617	PRABAKARAN BALAMURUGAN & RAVINDRAN SHALI	445-0060-041-03	1395 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
718-	126620	PRAKASH ANAND & TIWARI MAMTA TRS & SUKHI	431-0108-160-00	3091 MADSEN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
719-	126621	PRAKASH ANAND & TIWARI MAMTA TRS & SUKHI	441-0074-058-00	24882 MOHR DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
720-	126622	PRAKASH ANAND & TIWARI MAMTA TRS & SUKHI	415-0252-513-00	21103 GARY DR 114A	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
721-	126623	PRAKASH ANAND & TIWARI MAMTA TRS & SUKHI	427-0031-075-00	1315 A ST 206	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
722-	126627	PRASAD ARUNESH & PRATAP ANESHNI	427-0036-055-28	B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
723-	126628	PRASAD GOMTA TR ETAL	453-0045-040-00	211 SHEPHERD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
724-	126653	PRATER ROBERT E & WILLA J	455-0060-020-00	27560 LA PORTE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
725-	126658	PRINCIPLE CAPITAL LLC	078C-0451-087-00	29627 DESERT OAK CT 25	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
726-	126665	PULAKHANDAM MANJULA & BANDAY VENKATA R	464-0080-031-00	1016 THIEL RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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727-	126676	QIAN XIAOMANG & ZHAO PING	444-0069-089-00	106 LUND AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
728-	126683	QUACH HOA M & TRAN TRINH L	452-0004-066-00	25828 GUSHUE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
729-	126692	QUIBAN TEODORO D & ESTELITA C TRS	452-0052-063-00	27037 DUFFEL PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
730-	126694	QUON DIAMOND K & RUDDAN SHIRLEY Q ETAL	432-0028-041-00	22052 THELMA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
731-	126698	RADDIE CHRISTOPHER M & JILLIAN T	083-0220-086-00	30110 VANDERBILT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
732-	126702	RAFICK MOHAMMAD & KHAIRUL N & BUKSH ARIF	464-0015-044-00	27837 ORMOND AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
733-	126709	RAHIM AREZOO & SHAGHEL NASIR A	461-0103-076-00	29237 ALBATROSS RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
734-	126712	RAIHMAN ANGELA M & CHRISNEIL	081D-1906-031-00	3596 SKYLINE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
735-	126713	RAIMONDO PAUL & YUKARI	081D-1665-049-01	3070 CHRONICLE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
736-	126724	RAJESHWAR CHAND & SARITADEVI	464-0001-043-00	27654 MANDARIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
737-	126731	RAMANATHAN KANNAN M & KANNAN SUDHA	426-0080-109-00	1775 PANDA WAY 112	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
738-	126733	RAMASAMY VENKAT	428-0041-051-00	22221 PERALTA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
739-	126734	RAMIREZ FERNANDO M	455-0068-096-00	27617 GAINESVILLE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
740-	126735	RAMIREZ GEORGE A & CAMPOS ADELA C	431-0036-059-00	465 C ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
741-	126738	RAMIREZ MARIELA & ARECHIGA ALEXANDRA ETA	444-0015-015-00	170 ORCHARD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
742-	126741	RAMIREZ ADALBERTO & LETICIA	427-0031-122-00	1318 B ST 108	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
743-	126744	RAMIREZ MARY & VARGAS MANUEL R HEIRS OF	428-0041-012-00	707 SUNSET BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
744-	126754	RANGEL JAVIER R & RAFAEL K ETAL	431-0056-014-00	22967 ALICE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
745-	126757	RAPP MELANIE A	431-0004-042-00	565 SMALLEY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
746-	126773	REALTRAK LLC	432-0135-071-00	18002 INCLINE RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
747-	126779	REDDY ANGELA	455-0060-040-00	27683 MIAMI AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
748-	126781	REDFIRE LLC	428-0021-043-00	1142 REX RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
749-	126794	RELIANT EAST BAY LP	427-0056-028-00	1638 E ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	1474.00
750-	126799	RENDON EDISON A & NERISSA	442-0051-146-00	25210 COPA DEL ORO DR 103	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
751-	126811	RETHINAKALEESWARAN MUTHUKUMAR & SUNDARAM	431-0115-023-00	508 STALEY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
752-	126820	REYES RAMIRO T	453-0090-001-02	642 HARRIS RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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753-	126847	RINKER ERICK B & ELVIRA E	078G-2726-014-00	31151 BIRKDALE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
754-	126856	RIVERA JOHNNY & SUAREZ GRACIELA VILLA	444-0024-101-00	510 SYCAMORE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
755-	126857	RIVERA ROSE M	431-0052-116-00	24052 ALICE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
756-	126865	ROBERT & ROBERTA PRATT LIV TRUST	441-0087-003-02	24019 EDEN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
757-	126866	ROBERT & ROBERTA PRATT LIV TRUST	441-0087-004-02	24021 EDEN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
758-	126867	ROBERT & ROBERTA PRATT LIV TRUST	441-0071-011-00	25278 MOHR DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
759-	126868	ROBERT & ROBERTA PRATT LIV TRUST	441-0074-009-00	24764 MOHR DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
760-	126871	ROBILLO RONILO U & NELLY U	452-0076-124-00	366 TENNYSON RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
761-	126873	ROBINSON ANA M & MAX A	454-0070-071-00	27039 UNDERWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
762-	126879	ROC III CA CREEKWOOD LLC	415-0250-015-07	22280 CITY CENTER DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	2970.00
763-	126880	ROC III CA CREEKWOOD LLC	415-0250-018-11	22320 CITY CENTER DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	3828.00
764-	126887	ROCKAWAY 22400 LLC	415-0230-075-00	22400 ROCKAWAY LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	660.00
765-	126888	RODEZNO RENE & ANGELA D	445-0100-021-00	1858 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
766-	126889	RODEZNO RENE & CARMEN	445-0220-030-00	25445 DELMAR AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
767-	126909	RODRIGUEZ JORGE	443-0090-085-00	25445 SOUTHWICK DR 105	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
768-	126915	ROGERS MARLENE R TR	415-0230-045-00	1351 RUSSELL WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
769-	126922	ROMANOVA ANASTASSIA	445-0240-058-00	983 MAJOR AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
770-	126923	ROMERO JUAN & RECHELLE TRS	078G-2939-003-00	31337 HUGH WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
771-	126924	ROMERO JUAN & RECHELLE TRS	464-0085-009-02	1044 FOLSOM AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
772-	126925	ROMERO GABRIEL & CELIA O	431-0052-082-02	24080 PARK ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
773-	126931	ROMERO LEOPOLDO	431-0092-123-01	22560 SANTA CLARA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
774-	126932	ROMEY CESAR & LUVISMINDA Y	464-0055-028-00	1150 LOVELOCK WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
775-	126952	ROSE TERRENCE A & SALLY A TRS & HARRYMAN	428-0001-031-00	21778 WESTERN BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
776-	126956	ROSS CYNTHIA M & YATES CARL	454-0050-067-00	1342 INGLEWOOD ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
777-	126964	RPT PROPERTIES L P	431-0052-071-02	24043 DOTSON CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
778-	126965	RPT PROPERTIES L P	417-0060-063-00	22792 BAYVIEW AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
779-	126974	RUDDAN GABRIEL B & SHIRLEY Q	441-0097-117-00	1284 XAVIER AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
780-	126975	RUEDA EVELYN	078C-0438-060-00	325 VALLE VISTA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
781-	126979	RUGGERI FRANCESCO N	453-0025-007-00	26571 CHISHOLM CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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782-	126995	SA LARRY K & ROSALINE H	456-0038-090-00	27803 HUMMINGBIRD CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
783-	127001	SABEH NATALIE & AVELINO ANTONIO III	427-0031-126-00	1318 B ST 210	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
784-	127003	SABIN DON	464-0001-018-00	27625 MANDARIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
785-	127018	SAINI KAMAL & KAUR SARVJEET	453-0065-005-02	194 SHEPHERD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
786-	127019	SAINI KAMAL & KAUR SARVJEET	431-0088-021-03	22727 AMADOR ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
787-	127020	SAINI KAMAL & KAUR SARVJEET	431-0088-026-05	22787 AMADOR ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
788-	127022	SAKURAI RONALD A & WANG YAN	428-0031-033-02	22143 MAIN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
789-	127025	SALAZAR HECTOR & XOCHITL	416-0140-007-02	1741 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
790-	127026	SALAZAR ROSE R TR	442-0005-052-00	937 NEIL WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
791-	127032	SALEM ENRIQUE	444-0033-082-00	765 ELLEN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
792-	127033	SALGADO RENE S	445-0220-015-00	25507 BELMONT AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
793-	127035	SALINAS FERNANDO JR	081D-2082-029-00	28066 DOBBEL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
794-	127036	SALINASROSARIO MARTHA H & ROSARIO JOSE A	078G-2934-016-00	565 MILDRED PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
795-	127037	SALLY FRANKLIN G TR & SALLY JAMES F TR E	427-0031-056-00	1306 C ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	110.00
796-	127039	SALVADOR ERNESTO P & FEDILIDAD	455-0032-040-00	1616 TROWVILLE LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
797-	127040	SALVADOR ERNESTO P & FEDILIDAD	455-0056-038-00	27481 ORLANDO AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
798-	127114	SAMA MURTHY S & GAYATHRI TRS & ANCHA KOT	445-0001-012-00	921 FLETCHER LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	308.00
799-	127115	SAMADY ATIQULLAH	465-0030-044-00	29029 SUNRISE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
800-	127118	SAMRA JASDEEP K	464-0055-086-00	803 ISLAND PINE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
801-	127121	SANCHEZ SEBASTIAN & PINA ZENaida	431-0012-064-00	394 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
802-	127133	SANDHU SUKHDEV	444-0024-065-00	476 SYCAMORE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
803-	127134	SANDHU KARANVIR	078G-2699-009-00	30395 SAINT ANNES PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
804-	127137	SANDOVAL JOSE A & MARIA G	078C-0637-014-00	737 DOUGLAS ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
805-	127147	SANGHA GURJANT S & KAUR NARINDER P TRS	455-0068-046-00	27715 CLIFFWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
806-	127149	SANJUAN ERIC A	444-0066-011-00	399 BERRY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
807-	127172	SANTOS TONY TR	427-0031-060-00	1381 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
808-	127179	SANZ ROBERT E & RAQUEL R	444-0075-026-00	534 CODY RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
809-	127187	SARUP SURESH C & GILL INDERJIT K	445-0120-022-23	1307 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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810-	127189	SARWARY PARWIN W & MOHAMMED T	455-0026-011-09	2019 ALDENGATE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
811-	127190	SARWARY PARWIN W & MOHAMMED T	455-0026-011-10	2001 ALDENGATE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
812-	127196	SAYNE MELANIE L TR	428-0016-029-00	1170 COTTER WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
813-	127203	SCHAFER MF PARTNERS	453-0020-065-02	399 SCHAFER RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	660.00
814-	127220	SCHRECKENGOST RAYMOND	453-0050-071-00	957 CHERYL ANN CIR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
815-	127224	SCHROER MAX ENTERPRISES INC	441-0040-013-00	26179 GETTYSBURG AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
816-	127232	SCHWIESOW THOMAS E & SUSAN E	445-0303-012-00	2497 CREEKSIDE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
817-	127241	SEA WEST SERVICES LLC	416-0170-066-00	22756 LORAND WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
818-	127266	SEO FHI W & LEE HELEN	416-0120-039-00	1817 DAHILL LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
819-	127269	SERGI KAREN L	464-0055-123-00	27982 LANCELOT CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
820-	127275	SERVILLON SHERWIN R & LUDEL	456-0066-053-00	27324 CAPRI AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
821-	127280	SF BAY PARTNERS LLC	443-0070-034-02	250 W JACKSON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	1540.00
822-	127286	SHAH PURVI C & NIRAV	456-0098-127-00	2753 LONGSHORES DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
823-	127289	SHAHBAZ DANIAL	445-0220-048-00	25396 DELMAR AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
824-	127290	SHAHBAZ MOHAMMAD & NASIRA	445-0220-051-00	25466 DELMAR AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
825-	127322	SHAUGHNESSY JOHN J	465-0025-064-00	47 RAIN TREE CT 7	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
826-	127323	SHAW DAVID & JOANNE TRS	456-0005-064-00	26760 PORTSMOUTH AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
827-	127325	SHAW SEN & YANG LUCIA	081D-1615-088-00	26953 HAYWARD BLVD 305	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
828-	127326	SHAWGO GRACE L & MILLER LINDA	441-0012-022-00	1268 WEST ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
829-	127341	SHENG LEIMING	081D-1595-050-00	2253 PAPPAS PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
830-	127346	SHEYMAN IGOR	454-0040-008-00	26097 ELDRIDGE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
831-	127347	SHI HONGNIAN	453-0040-077-00	630 FOSTER CT 2	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
832-	127348	SHI HONGNIAN	078C-0451-089-00	29627 DESERT OAK CT 27	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
833-	127361	SHIM AUN T & LEE MI R	428-0056-013-00	992 WARREN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	110.00
834-	127362	SHIMOGA VINAY J	445-0070-054-00	1875 MARCUS CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
835-	127369	SHOKAR MANJIT S	078G-2931-022-00	31954 TREVOR AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
836-	127371	SHORT PETER E & SCHMIT PETER	427-0026-026-00	1352 D ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
837-	127373	SHRESTHA SRIJITA & BIMAL	078G-2942-011-00	612 TINA WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
838-	127376	SHUPP DONALD R	453-0020-032-00	7 NEWHALL ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
839-	127378	SI XVI LLC	431-0064-007-00	24050 AMADOR VILLAGE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
				25			
840-	127407	SIJBRANT COREY & REMY	431-0028-013-00	375 C ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00



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841-	127411	SILVA AMY M & ANDREW A	078C-0418-029-00	28745 ROCHELLE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
842-	127433	SILVERMAN MICHAEL D	428-0082-027-00	740 CITY WALK PL 2	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
843-	127436	SIMKONIS POVILAS	461-0103-005-00	2850 SEA HAVEN CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
844-	127449	SINGH BIKRAMJIT	416-0140-044-00	22782 7TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
845-	127460	SINGH MANJEET & KUMARI ANITA TRS & SUKHI	428-0077-051-00	665 ATHERTON PL 606	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
846-	127467	SINGH ROBERT & DAVINA	465-0015-045-00	28831 LOGAN WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
847-	127472	SINGH SUNDEEP & KAUR HARDEEP	078G-2724-008-00	392 ROUSSEAU ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
848-	127482	SINGH ANMOL	427-0026-013-00	1312 VALLEY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
849-	127484	SINGH AUGUSTINE & LEELA ETAL	427-0021-039-00	22849 HIGH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
850-	127486	SINGH BIKRAMJIT & BAKHTARI ZA	427-0041-020-00	22777 6TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
851-	127518	SINGH SHAVILA	444-0057-060-00	823 CHALLENGER WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
852-	127541	SIVAN OR	456-0023-061-00	2786 BAL HARBOR LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
853-	127542	SKANDARI HAFIZ H & RAFFIULLAH	415-0190-054-00	21938 FOOTHILL BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
854-	127543	SKERBA JENNIFER & RONALD M	452-0068-091-00	27518 E 10TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
855-	127546	SLIMICK DARRELL B	453-0020-015-00	26490 MONTANA WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
856-	127550	SMATHERS KEVIN & SHAW ALISON	445-0100-068-00	1771 MODOC AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
857-	127566	SMITH PAUL & CAROL HINSHAW	428-0036-065-00	22240 PEARCE ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
858-	127569	SNIFFEN PAUL & SALAS SUSAN	427-0006-006-00	1153 C ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
859-	127571	SNYDER VANCE D & MICHELLE G TRS	432-0135-109-00	17988 SUNOL RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
860-	127581	SOBRATO INTERESTS II	431-0064-008-00	24050 AMADOR VILLAGE CT 35	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
861-	127583	SOBRATO INTERESTS II	431-0064-104-00	55 AMADOR VILLAGE CIR 16	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
862-	127584	SODHI JAGTEJ TR	445-0070-058-00	24735 GARWOOD GLEN DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
863-	127600	SONG BING & LU YILI	456-0037-156-00	27589 STROMBERG CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
864-	127616	SOUTO AIRES G & ISABEL C	444-0075-038-00	440 CUSTER RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
865-	127623	SPIELVOGEL GAIL	415-0252-226-00	21100 GARY DR 308	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
866-	127629	SQ TRAVEL LLC	453-0090-017-02	27938 BALDWIN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
867-	127634	SRPS LP	445-0060-025-00	1457 HIGHLAND BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
868-	127637	STAFFORD MIKEESHA	453-0050-105-00	1002 CHERYL ANN CIR 47	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
869-	127670	SUBIDA EVELYN D & MARCIANO R	455-0084-101-00	27786 ORLANDO AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
870-	127675	SUKHIJA SANDEEP & VANDANA TRS	432-0135-101-00	1052 FIRESTONE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
871-	127676	SUKHIJA SANDEEP & VANDANA TRS	081D-1615-062-00	26953 HAYWARD BLVD 101	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
872-	127677	SUKHIJA SANDEEP & VANDANA TRS	083-0467-001-00	673 ROYSTON LN 133	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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873-	127678	SUKHIJA SANDEEP & VANDANA TRS	427-0031-165-00	22530 3RD ST 304	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
874-	127679	SUKHIJA SANDEEP & VANDANA TRS	083-0465-026-00	29581 HIGH GATE DR 117	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
875-	127680	SUKHIJA SANDEEP & VANDANA TRS	415-0252-396-00	21228 GARY DR 418	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
876-	127681	SUKHIJA SANDEEP & VANDANA TRS	425-0390-050-00	25700 UNIVERSITY CT 213	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
877-	127682	SUKHIJA SANDEEP & VANDANA TRS & DEVITTCA	428-0083-044-00	612 ARTISTIC PL	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
878-	127683	SUKHIJA SANDEEP & VANDANA TRS & DEVITTCA	443-0050-020-00	57 FERNRIDGE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
879-	127684	SUKHIJA SANDEEP & VANDANA	427-0031-169-00	22530 3RD ST 108	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
880-	127685	SUKHIJA SANDEEP & VANDANA	427-0031-157-00	22530 3RD ST 101	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
881-	127691	SUN GANG K & LIU JIHONG	444-0018-050-00	24614 TRAYNOR CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
882-	127693	SUN YANG M TR	454-0060-117-00	26849 LAKEWOOD WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
883-	127702	SUNG JAY T	444-0036-070-00	738 KINO CT 2	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
884-	127703	SUNOR INVESTMENT CO	078C-0638-012-02	775 BROADWAY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
885-	127704	SURDEZ STEVEN P & CATHY L TRS	454-0060-018-01	26655 GADING RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	726.00
886-	127705	SUREHOME LLC	441-0071-030-00	25369 IRONWOOD CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
887-	127708	SWARR JOHN & BARBARA HERINGER	427-0065-016-00	22585 7TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
888-	127710	SWH 2017 1 BORROWER LP	444-0027-026-00	636 SYCAMORE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
889-	127712	SY DIANA J & EDUARDO C ETAL	452-0061-068-00	27740 PISTACHIO CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
890-	127713	SYCAMORE SQUARE HOUSING CORPORATION	431-0040-016-00	502 C ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	308.00
891-	127714	SYCAMORE SQUARE HOUSING CORPORATION	078C-0438-004-02	363 VALLE VISTA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	264.00
892-	127734	TAKEUCHI MARK T & APRIL J TRS & ANDERSON	426-0200-013-00	23972 2ND ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	902.00
893-	127736	TALAMANTES RICHARD A	432-0036-023-00	609 TEHAMA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
894-	127741	TALINIKAR ANIL & DASS PREM S	445-0220-064-00	968 TORRANO AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
895-	127762	TAN NELSON L & XIAO YANG	456-0036-051-00	27456 PONDEROSA CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	113.00
896-	127796	TANG XIULI & ZENG KECAL	455-0068-056-00	27582 DREXEL WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
897-	127799	TANGSOMBATVISIT BOONCHAI	452-0028-075-00	278 GOODWIN ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
898-	127804	TAS CONNECTIONS LLC	444-0030-014-02	24045 MISSION BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	110.00
899-	127812	TAYLOR NANGNIT	431-0101-017-00	676 GRAND TER	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
900-	127813	TAYLOR NANGNIT	453-0085-073-00	27779 VASONA CT 20	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
901-	127819	TECHNICON CONSTRUCTION CO INC	461-0045-031-01	3452 BRIDGE RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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902-	127832	TEMPLO DE LA CRUZ INC	444-0024-097-00	24491 SILVA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
903-	127833	TENG ENHUNG & VALERIE ETAL	455-0026-037-00	2062 ALDENGATE WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
904-	127843	TERMA LLC	427-0026-051-01	1319 TERRACE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	198.00
905-	127845	TERRA FILBERT & SANDRA TRS & REPOSA TER	452-0008-015-00	128 NEWTON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
906-	127848	TERRY SCOTT M TR	431-0008-091-00	390 SMALLEY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
907-	127849	TERZICH RALPH D & MARIBEN B	464-0025-093-00	27676 POMPAÑO AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
908-	127850	TES INVESTMENTS LLC	432-0068-053-00	808 ALONDA CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
909-	127851	TES INVESTMENTS LLC	083-0215-002-21	1127 GARIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
910-	127866	THIES RODNEY J & CHERYL S	427-0006-051-00	22828 1ST ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
911-	127871	THOMAS TAMIKA L	456-0038-054-00	27808 HUMMINGBIRD CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
912-	127873	THOMPSON JAMES G & VIVIAN R TRS	455-0032-070-00	26807 CALAROGA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
913-	127878	THORNBERRY CAROL M	415-0250-040-00	22103 VISTA DEL PLAZA LN 14	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
914-	127879	THORNBERRY CAROL M & ABELEE JANE A	415-0250-043-00	22103 VISTA DEL PLAZA LN 17	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
915-	127883	TIAN JUN	456-0038-059-00	27788 HUMMINGBIRD CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
916-	127892	TING CHAO W & KEH C TRS	432-0036-006-02	22222 S GARDEN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
917-	127898	TJRVJM REAL ESTATE LLC	081D-2088-020-01	3480 SKYLINE DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
918-	127907	TOM VINCENT	441-0071-078-00	2074 LAGUNA DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
919-	127931	TOWN SQUARE ASSOCIATES	453-0045-004-04	26801 HUNTWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	352.00
920-	127932	TOWN SQUARE ASSOCIATES	453-0045-006-02	26893 HUNTWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	352.00
921-	127949	TRAN PAUL	416-0140-066-01	22616 7TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
922-	127952	TRAN TERRY H	431-0120-152-00	4015 LAMBERT WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
923-	127960	TRANG PHONG H & NGUYEN PHUONG A TRS	442-0065-015-00	25455 BARNARD ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
924-	127969	TRIAS SHENELL K	453-0005-073-00	25873 HUNTWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	176.00
925-	127972	TRIMBAKE AJIT & NITI	416-0170-002-00	2241 KELLY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
926-	127982	TRONCO CESAR	453-0060-001-06	27208 TYRRELL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
927-	127996	TSAI PEI-JEI & SHA-LIN	432-0040-041-00	22580 NEVADA RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
928-	127997	TSAI PHILBERT S & CRISTINE D	432-0040-042-00	22548 NEVADA RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
929-	128000	TSANG CHI W	443-0025-079-00	24612 WOODACRE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
930-	128001	TSANG CHI W	445-0220-122-00	1075 DEVON DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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931-	128006	TSAWYER 9 LP	431-0040-058-02	22815 GRAND ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 462.00
932-	128007	TSE LORRAINE K TR	431-0004-054-00	558 A ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
933-	128015	TSUKERMAN ALEXANDER & ZHOU SH	465-0030-077-00	29042 HILLVIEW ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
934-	128016	TSUKERMAN ALEXANDER & ZHOU SH	454-0075-005-00	1450 ROOSEVELT AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
935-	128017	TSUKERMAN ALEXANDER & ZHOU SH	452-0085-065-00	271 EBONY WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
936-	128020	TUAVAO FAKATOUMAFI	442-0051-018-00	1535 SEAVER CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
937-	128024	TUCKER JAMES	453-0085-003-04	27572 TYRRELL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
938-	128030	TUPOU ANA	428-0041-026-00	554 SIMON ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 110.00
939-	128046	UMALI KATHRYN & BRENDA	431-0113-066-00	408 PALMER AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
940-	128048	UNIVERSITY VILLAGE INVTRS LLC	445-0190-002-00	25400 CARLOS BEE BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 1452.00
941-	128069	VALENCIA EDUARDO & KATHERINE A	432-0060-052-00	23623 ODOM DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
942-	128070	VALENCIA ROMEO C & VIRGINIA M	441-0074-078-00	24928 YOSHIDA DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
943-	128075	VALLE OSCAR A	455-0004-049-00	1343 LINFIELD LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
944-	128076	VALLE VISTA PARTNERS LLC	078C-0438-003-02	349 VALLE VISTA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
945-	128081	VALVERDE OSCAR H TR	453-0055-006-02	27353 TYRRELL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 110.00
946-	128098	VASQUEZ JOSE M	444-0057-049-00	846 CHALLENGER WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
947-	128114	VELEZ MARIO I JR & LEACH CODY ETAL	431-0016-093-00	166 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
948-	128120	VERGARA EDUARDO A	444-0066-010-02	393 BERRY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 264.00
949-	128123	VIADA ANTHONY W & KATHRYN M	455-0032-052-00	1647 TROWVILLE LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
950-	128140	VILLA SPRINGS APARTMENTS LP	432-0036-012-02	22328 S GARDEN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 528.00
951-	128143	VILLA SPRINGS APARTMENTS LP	432-0036-014-03	22330 S GARDEN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 924.00
952-	128160	VILLIADOS LENNIE & GORDEAN W	454-0005-012-00	25767 BOOKER WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
953-	128171	VO TUYEN	083-0215-002-06	30689 BELLO RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
954-	128184	VUONG JOHN	452-0085-151-00	294 EDWIN WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
955-	128195	WALIA PARMINDER K	455-0056-036-00	27469 ORLANDO AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
956-	128198	WALLACE CHARI & SADEGHI MARY L ETAL	428-0041-060-00	22267 PERALTA ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
957-	128199	WALLACE ROBERT D	415-0230-067-00	22307 ROCKAWAY LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
958-	128204	WAMBLEKING SHARON	081D-1615-084-00	26953 HAYWARD BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
959-	128232	WANG HUAGANG	431-0118-121-00	2333 GIBBONS ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00

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960-	128240	WANG SIMON	453-0040-075-00	630 FOSTER CT 1	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
961-	128247	WANG ZHI C & HUANG YA L	427-0026-032-00	1305 D ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
962-	128256	WARREN KEVIN J	432-0048-023-00	23046 KLAMATH RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
963-	128258	WASHINGTON DEBBIE M TR	456-0047-001-00	28003 SANDLEWOOD DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
964-	128262	WEATHERLY ALONZO & STEVENS MARCUS	428-0031-056-00	22229 PROSPECT ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
965-	128274	WEICKER ANDREA A	415-0252-018-00	21071 GARY DR 202	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
966-	128278	WEIR BRIAN & AGNES	427-0036-033-13	1436 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
967-	128285	WENDIMAGEGNEHU LEMMA & KETEMA	426-0080-124-00	1775 PANDA WAY 227	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
968-	128305	WHEELER MICHELLE JONATHAN & JASON TRS	444-0009-036-00	24279 MAGNA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
969-	128306	WHEELER MICHELLE JONATHAN & JASON TRS	427-0031-039-00	1365 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
970-	128307	WHEELER MICHELLE JONATHAN & JASON TRS	444-0072-030-00	25672 SOTO RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	132.00
971-	128309	WHEELER CHAD	081D-1905-051-00	3468 PINEWOOD DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
972-	128312	WHITE CHRISTINE A	453-0050-107-00	1002 CHERYL ANN CIR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
973-	128319	WHYTE PAVLA & DEAN S	443-0091-043-00	25502 HUNTWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
974-	128330	WILLIAMS EDNA I & LEE JANICE L TRS	455-0076-019-00	27707 CORONADO WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
975-	128335	WILLIAMS PAUL C	455-0004-037-00	26144 PETERMAN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
976-	128340	WILLIAMSJOHNSON GLORIA	464-0030-037-00	27913 TAMPA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
977-	128370	WONG CHING Y	456-0037-175-00	27505 STROMBERG CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
978-	128379	WONG JONATHAN S & LINDA S ETAL	441-0074-076-00	24906 YOSHIDA DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
979-	128411	WONG LAI S	081D-1615-055-00	26937 HAYWARD BLVD 339	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
980-	128412	WONG LANGO H & ALICE S	465-0045-032-00	29754 VENTNOR CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
981-	128416	WONG PARKSON & WU YIWEN	431-0008-030-00	407 SMALLEY AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
982-	128417	WONG PAUL	426-0180-019-02	24560 2ND ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
983-	128427	WONG YAT H & HU DI Y	464-0050-070-00	1079 KEATS LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
984-	128428	WOO CHICHEONG & CHAN KATHERINE P ETAL	464-0065-080-00	795 ROCK ROSE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
985-	128434	WRIGHT BETTY S TR	464-0122-073-00	29299 BOWHILL RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
986-	128447	WU GUAN H & WONG LAI S	441-0103-084-00	23524 SAKLAN RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
987-	128448	WU HAIYAN	427-0031-099-00	1315 A ST 212	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

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Attachment III

988-	128468	WU BEI	456-0098-066-00	2645 NORTHERN CROSS RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
989-	128485	WU XIAOMIN	078C-0436-142-00	260 INDUSTRIAL PKWY 33	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
990-	128486	WU XIMING	464-0010-051-00	27995 POMPAO AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
991-	128487	WU XIMING	464-0015-008-00	27760 PENSACOLA WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
992-	128490	WU XIMING	453-0045-058-00	26897 HUNTWOOD AVE 3	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
993-	128502	XIE YANG & YANG QIWEI	453-0035-011-02	27061 TYRRELL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
994-	128509	XU DIDI & FANG F	444-0045-019-00	326 ORCHARD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
995-	128515	XU GUANNAN & CHU SIN Y	464-0005-057-00	27886 MANDARIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
996-	128527	YAGJIAN ALLEN	428-0001-073-00	604 SUNSET BLVD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
997-	128531	YAN Q R TR	452-0084-016-02	28111 E 11TH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
998-	128544	YANG PAUL B & HE JANET	431-0088-016-01	22856 INYO ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
999-	128556	YANG JUDITH C	452-0008-042-00	124 GOODRICH ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1000-	128562	YANG YE	083-0474-003-00	695 BRISTOL DR 380	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1001-	128566	YAO FRANK	444-0024-011-00	564 RAMOS AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1002-	128571	YATES CARL & ROSS CYNTHIA M	078C-0438-071-00	325 VALLE VISTA AVE 217	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1003-	128578	YBOA CARLOS & ISELA	444-0009-027-00	24145 MAGNA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1004-	128584	YEE JEFFREY S & JOYCE R	441-0097-071-00	24445 CALAVERAS RD	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1005-	128585	YEE JIMMIE M & LYDIA B ETAL	444-0072-064-00	25684 FRANKLIN AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1006-	128611	YIP KENNY & GUAN YUN J	431-0107-060-00	22958 AMADOR ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1007-	128621	YONGJUN ZHAO	432-0068-104-00	864 LESTER AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1008-	128622	YOON KA E & KIM SOON B	078G-2730-026-00	31290 MEADOWBROOK AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1009-	128662	YU JINGWEN & WEIWEN	081D-1660-016-00	2892 HILLCREST AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1010-	128676	YUAN JIAN & HONG	456-0036-081-00	2439 OLIVER DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1011-	128677	YUCHEN YEH	442-0071-291-00	1256 STANHOPE LN 258	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1012-	128679	YUEN KWOK P & FONG RENEE C	442-0060-043-00	950 MALCOLM LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1013-	128685	YUNG OLIVIA W & GARY L	455-0008-038-00	1306 THORNWALL LN	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1014-	128692	ZAKRZEWSKI ZOFIA	416-0170-080-00	22793 MOURA CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1015-	128698	ZAMORA SANTOS	456-0026-060-00	27654 PORTSMOUTH AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1016-	128702	ZARATE MARIA E	456-0038-121-00	27426 LEMON TREE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1017-	128703	ZARGOZAYOUNG CONSUELO	456-0023-081-00	2625 LEEWARD ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1018-	128704	ZARIFIS EVGENIA TR	432-0028-126-01	735 MEMORIAL WAY	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	176.00
1019-	128723	ZHANG DEVIN	445-0301-012-00	2477 CREEKSIDE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00
1020-	128734	ZHANG WEIXING	465-0025-089-00	48 RAINTREE CT 32	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$	88.00

**CITY OF HAYWARD SPECIAL ASSESSMENT INVOICE PARCEL INFORMATION**  
**RENTAL HOUSING & ANNUAL FEE - RESIDENTIAL RENTAL INSPECTION PROGRAM**

1021-	128741	ZHANG ZHI J & LOK FION L	428-0066-003-00	921 B ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 113.00
1022-	128752	ZHANG WEIXING	453-0050-059-00	921 CHERYL ANN CIR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
1023-	128775	ZHENG XIAOWEI	085A-6431-045-00	70 ARUNDEL DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
1024-	128779	ZHENG SHENKUAN & WANG LIN	431-0118-066-00	1311 M L KING DR	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
1025-	128783	ZHONG ZEHUI & MA LEQUN	444-0036-064-00	24524 ONEIL AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
1026-	128786	ZHONG WEI Q	454-0020-035-00	25830 UNDERWOOD AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
1027-	128795	ZHOU TODD T & YANG XINLI J	464-0065-076-00	790 ROCK ROSE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
1028-	128800	ZHU ZHENYU & WANG MI	445-0303-009-00	2491 CREEKSIDE CT	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
1029-	128804	ZHU JIE & HE YAN	078G-2719-001-00	366 FAIRWAY ST	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
1030-	128805	ZHU JIE & HE YAN	454-0010-057-00	775 BISHOP AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
1031-	128820	ZUNIGA DAVID & ZUNIGA HECTOR TR	456-0008-001-00	2671 HAWTHORNE AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
1032-	128821	ZUNIGA DAVID L. & RAUL G.	442-0055-046-00	25279 CALAROGA AVE	ANNUAL FEE-RRIP FOR 1/1/19-12/31/19	\$ 88.00
<b>TOTAL RESIDENTIAL RENTAL INSPECTION PROGRAM FEES:</b>						<b>\$ 143,726.00</b>
<b>RENTAL GRAND TOTAL:</b>				<b>\$ 165,674.67</b>		



# CITY OF HAYWARD

Hayward City Hall  
777 B Street  
Hayward, CA 94541  
www.Hayward-CA.gov

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**File #:** CONS 20-336

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**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Deputy City Manager

**SUBJECT**

Adopt a Resolution Authorizing the City Manager to: (1) Apply for and Enter into a Standard Agreement with the California State Department of Housing and Community Development Local Housing Trust Fund Program for an Amount Not-to-Exceed \$5 Million to Support EAH's Mission Paradise and Pimentel Place Affordable Housing Projects; and (2) Accept and Appropriate Any Awarded Funds in the Amount Not-to-Exceed \$5 Million

**RECOMMENDATION**

That the Council adopts a resolution (Attachment II) authorizing the City Manager to:

1. Apply for the California State Department of Housing and Community Development (HCD) Local Housing Trust Fund (LHTF) Program in an amount not-to-exceed \$5 million to support Mission Paradise and Pimentel Place; and if the grant funds are awarded,
2. Enter into and execute a Standard Agreement with the California State Department of Housing and Community Development Local Housing Trust Fund Program; and
3. Accept and appropriate any awarded funds in an amount not-to-exceed \$5 million.

**SUMMARY**

On April 30, 2020, HCD released the LHTF Program Notice of Funding Availability (NOFA), which made available approximately \$57 million in funding for qualifying affordable housing projects in jurisdictions with new or existing Local Housing Trust Funds (LHTF). City staff has determined that EAH's currently proposed Mission Paradise and Pimentel Place affordable housing projects that were awarded City funds in 2018 for a total of 133 units meet the eligibility requirements for the LHTF Program and could receive up to \$3.3 million in grant money, collectively, to cover eligible project costs. As required by the LHTF Program, the City's already \$3.3 million in awarded local trust funds will provide eligible matching funds for EAH's LHTF Program grant applications for these projects. Staff recommends that the City apply to HCD's LHTF Program for the maximum amount of \$5 million to provide flexibility for these and other potential projects. A successful application for the EAH projects will provide additional funding in the



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**File #:** CONS 20-336

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amount of \$1.3 million for Mission Paradise and \$2 million for Pimental Place needed to develop both projects.

**ATTACHMENTS**

Attachment I	Staff Report
Attachment II	Resolution



**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Deputy City Manager

**SUBJECT:** Adopt a Resolution Authorizing the City Manager to: (1) Apply for and Enter into a Standard Agreement with the California State Department of Housing and Community Development Local Housing Trust Fund Program for an Amount Not to Exceed \$5 Million to Support EAH's Mission Paradise and Pimentel Place Affordable Housing Projects; (2) Accept and Appropriate Any Awarded Funds in the Amount Not-to-Exceed \$5 Million

## **RECOMMENDATION**

That the Council adopts a resolution (Attachment II) authorizing the City Manager to:

1. Apply for the California State Department of Housing and Community Development (HCD) Local Housing Trust Fund (LHTF) Program in an amount not-to-exceed \$5 million to support Mission Paradise and Pimentel Place; and if the grant funds are awarded,
2. Enter into and execute a Standard Agreement with the California State Department of Housing and Community Development Local Housing Trust Fund Program; and
3. Accept and appropriate any awarded funds in an amount not-to-exceed \$5 million.

## **SUMMARY**

On April 30, 2020, HCD released the LHTF Program Notice of Funding Availability (NOFA), which made available approximately \$57 million in funding for qualifying affordable housing projects in jurisdictions with new or existing Local Housing Trust Funds (LHTF). City staff has determined that EAH's currently proposed Mission Paradise and Pimentel Place affordable housing projects that were awarded City funds in 2018 for a total of 133 units meet the eligibility requirements for the LHTF Program and could receive up to \$3.3 million in grant money, collectively, to cover eligible project costs. As required by the LHTF Program, the City's already \$3.3 million in awarded local trust funds will provide eligible matching funds for EAH's LHTF Program grant applications for these projects. Staff recommends that the City apply to HCD's LHTF Program for the maximum amount of \$5 million to provide flexibility for these and other potential projects. A successful application for the EAH projects will provide additional

funding in the amount of \$1.3 million for Mission Paradise and \$2 million for Pimental Place needed to develop both projects.

## **BACKGROUND**

On April 30, 2018, the City issued a Notice of Funding Availability (NOFA) for affordable housing development projects. EAH, Inc. submitted proposals for two projects including: 1) Mission Paradise, formerly known as Mission Senior Paradise; and, 2) Pimentel Place, formerly known as Matsya Villas. Both projects were awarded funds under the City's NOFA and have continued to apply for funds from other available sources.

### ***Mission Paradise***

On October 2, 2018, the City Council approved a \$2.5 million loan to EAH, Inc., consisting of \$1.3 million from the Inclusionary Housing Trust Fund and \$1.2 million from CDBG and HOME, for the development of Mission Paradise, which will provide 76 units of affordable senior housing. Subsequently, the project has been awarded almost \$4.6 million from Alameda County under the Measure A1 Bond Regional Pool.

Currently, EAH, Inc. is in the process of applying for additional federal and state funding sources such as the Low-Income Housing Tax Credit Program (LIHTC), and HCD's Multi-Family Housing Program (MHP) for the Mission Paradise project. Provided that the remaining funding applications are successful, including the LHTF application, construction is anticipated to commence in early 2021 with an estimated completion date in 2022. Only the \$1.3 million in Inclusionary Housing Trust Funds awarded by the City to EAH in 2018 is eligible for matching funds for the State's LHTF grant program.

### ***Pimentel Place***

On October 2, 2018, the City Council approved a \$2 million loan from the Inclusionary Housing Trust Fund to EAH, Inc. for the development of Pimentel Place, which will provide 57 units of affordable housing to very low- and low-income households. Subsequently, the project has been awarded over \$5.3 million from Alameda County under the Measure A1 Bond Regional Pool and over \$4 million from HCD's Infill Infrastructure Grant Program.

EAH, Inc. is currently in the process of applying to several state and federal funding sources including HCD's MHP, Housing for a Healthy California (HHC), and 4% LIHTC for the Pimentel Place project. Provided that the remaining funding applications are successful, including the LHTF application, construction is anticipated to commence in early 2021 with an estimated completion date in 2022. The entire \$2 million in Inclusionary Housing Trust Funds awarded by the City to EAH in 2018 is eligible for matching funds for the State's LHTF grant program.

### ***Local Housing Trust Fund Program NOFA***

On April 30, 2020, the LHTF Program NOFA was released and it made available approximately \$57 million in LHTF Program funding for the 2020 program year for qualifying affordable

housing projects in jurisdictions with new or existing Local Housing Trust Funds (LHTF). The LHTF Program serves to promote and support affordable housing projects by providing dollar-for-dollar, matching grant funds to eligible LHTFs for construction loans or permanent financing loans to aid in new construction and/or rehabilitation of projects that serve extremely low- to moderate-income households. LHTFs must provide eligible matching funds for every dollar of LHTF Program grant funds (“Program Funds”). Additionally, an equal amount of matching funds and Program Funds must be utilized for the same qualifying project. The maximum grant award for eligible LHTFs is \$5 million. Applications are due on August 3, 2020 and funding awards are anticipated to be announced in October 2020.

## DISCUSSION

In response to the 2020 LHTF Program NOFA, EAH, Inc. and staff have determined that the affordable rental housing developments, Mission Paradise and Pimentel Place, meet the eligibility requirements for the LHTF Program and could receive up to \$3.3 million in grant money, collectively, to cover eligible project costs (i.e., \$1.3 million for Mission Paradise and \$2 million for Pimental Place based on the City’s awarded Inclusionary Housing Trust Funds). Staff also recommends that the City apply to HCD’s LHTF Program for the maximum amount of \$5 million to provide flexibility for these and other potential projects. A successful application to HCD’s LHTF Program would provide EAH with additional needed project funding. A description of the LHTF Program and the eligible projects are further described in the following sections.

### *LHTF Program Eligibility Criteria*

The LHTF Program is available to new LHTFs organized, funded, and operated no more than 12 months prior to the April 30, 2020 NOFA release date, or an existing LHTF organized, funded and operated more than 12 months prior to the April 30, 2020 NOFA release date. Under the LHTF Program, grant funds can be used to provide construction or permanent loans for costs related to predevelopment, acquisition, construction, and rehabilitation of eligible projects. Cities must provide eligible matching funds for every dollar of Program Funds requested. Matching funds must also be utilized on a dollar-for-dollar basis for the same eligible project for which Program Funds are used. At least 30 percent of Program Funds and matching funds must be used on eligible projects that are affordable to, and restricted for, Extremely Low-Income Households with household income of no more than 30% of Area Median Income (AMI). No more than 20 percent of Program Funds and matching funds can be expended on eligible projects that are affordable to, and restricted for, Moderate-Income Households with household income of no more than 120% AMI. The remaining Program Funds and matching funds must be used for eligible projects that are affordable to, and restricted for, Low-Income Households with household income of no more than 80% AMI. **Table 1** provides the income limits associated with each income category for Alameda County.

**Table 1.** 2020 California Department of Housing and Community Development Income Limits

Household Size	1	2	3	4	5
Extremely Low Income 30% AMI	27,450	31,350	35,250	39,150	42,300
Very Low Income	45,700	52,200	58,750	65,250	70,500

50% AMI					
Low Income 80% AMI	73,100	83,550	94,000	104,400	112,800
Median Income 100% AMI	83,450	95,350	107,300	119,200	128,750
Moderate Income 120% AMI	100,150	114,450	128,750	143,050	154,500

### ***Project Descriptions***

Mission Paradise. Mission Paradise is a proposed 76-unit residential apartment building located at Mission Boulevard and Webster and Hancock Streets. Currently, the site is a vacant lot. The project will provide approximately 76 units of affordable housing to low-income seniors, age 62 and older.

All units, excluding the manager's unit, will serve income eligible households from 20% to 80% AMI levels. The project's unit mix includes: 65 one-bedrooms; 10 two-bedroom apartments; and one on-site manager's unit. Additionally, the project amenities will include on-site laundry facilities, community room, computer learning center, an outdoor roof deck, and exercise area and an on-site resource coordinator to provide coordination of services related to health, nutrition, education, employment, transit, and other services for residents.

The City has committed nearly \$1.3 million to Mission Paradise from the Inclusionary Housing Trust Fund, which can be used as 100% matching funds for LHTF Program funds.

Pimentel Place. Pimentel Place is located at 2<sup>nd</sup> and C Streets. The site is currently a vacant lot following the demolition of a vacant commercial building in 2019. The project will consist of 57 units of residential apartments with two non-residential spaces, 800 sq. ft. and 1600 sq. ft. in size. The project amenities include on-site laundry facilities, community room, computer learning center, indoor kids' play area, and an outdoor roof deck, and an on-site resource coordinator to provide coordination of services related to health, nutrition, education, employment, transit, and other services for residents.

All units, excluding the manager's unit, will serve income eligible households in the 20% to 60% AMI levels. The project's unit mix includes: 11 one-bedroom apartments; 27 two-bedroom apartments; 18 three-bedroom apartments; and one on-site manager's unit.

The City has committed \$2 million to Pimentel Place from the Inclusionary Housing Trust Fund, which can be used as 100% matching fund for LHTF Program funds.

### ***Application Evaluation***

The City's Inclusionary Housing Trust fund qualifies the City as a Local Housing Trust Fund. Providing funding for the construction of Mission Senior and Pimentel places is an eligible use for the LHTF Program funds. The City has already committed the required matching funds for these projects to be eligible for LHTF Program funds. Collectively, the proposed projects meet

the income targeting requirements established by the LHTF Program. **Table 2** summarizes the total funding request and demonstrates compliance with the income targeting requirements. The projects exceed the funding requirements for extremely low-income units by almost 10% and do not exceed the maximum targeting for moderate income units as there are no moderate-income units in the projects. Staff has determined that the City and these two projects meet the requirements to be eligible for LHTF Program funds.

**Table 2.** Funding Requests and Income Levels Served by Project

Project	Matching Funds	Program Funds <sup>1</sup>	Total Funds	≤ 30% AMI	≤ 50% AMI	≤ 60% AMI	≤ 80% AMI	Manager Unit	Total Affordable Units
Mission Paradise	\$1,284,720	\$1,284,720	\$2,569,440	36	20	5	14	1	75
Pimentel Place	\$2,000,000	\$2,000,000	\$4,000,000	16	20	20	0	1	56
<b>Total</b>	<b>\$3,284,720</b>	<b>\$3,284,720</b>	<b>\$6,569,440</b>	<b>52</b>	<b>40</b>	<b>25</b>	<b>14</b>	<b>2</b>	<b>131</b>
<b>% of Total</b>	<b>50%</b>	<b>50%</b>	<b>100%</b>	<b>39.7%</b>	<b>30.5%</b>	<b>19.1%</b>	<b>10.7%</b>	<b>N/A</b>	<b>100%</b>

<sup>1</sup>City will utilize 5% of Program Funds for administrative costs

### ***Housing Element and Regional Housing Needs Allocation Compliance***

Local jurisdictions report progress annually on meeting their RHNA goals. **Table 3** demonstrates progress made toward meeting Hayward's RHNA goals for the period between 2015-2023 as of the last report year (2019) and estimates potential for compliance by including approved projects and projects pending approval. Permits to construct the units must be issued in order to count toward the City's RHNA goals.

Mission Paradise and Pimentel Place will add a total of 131 affordable housing units to the City's housing stock, which would help the City to meet over 10% of its RHNA goals for very low-income households and over 8% of its RHNA goal for low-income households. Additionally, both projects help the City meet the following goals established in the City's Housing Element:

- Assist in the development of housing affordable to low- and moderate-income households;
- Promote equal housing opportunities for all persons; and
- Provide for the special housing needs of seniors, persons with disabilities, large families with children, single female-headed households, and persons who are homeless.

**Table 3.** 2023 RHNA Goal Progress in the City of Hayward

Income Category	Unit Goal	Reported 2019		Approved		Pending Approval		Estimated Compliance		Estimated Deficiency	
		Units	% of Goal	Units	% of Goal	Units	% of Goal	Units	% of Goal	Units	% of Goal
<b>Very low</b>	851	40	5%	351	41%	61	7%	452	53%	399	47%
<b>Low</b>	480	39	8%	216	45%	122	25%	377	79%	103	21%

<b>Moderate</b>	608	27	4%	61	10%	0	0.0%	88	14%	520	86%
<b>Above Moderate</b>	1981	1902	96%	1,755	89%	74	4%	3,731	188%	0	N/A

Prior to seeking approval from City Council on July 7, 2020, staff will submit a Grant Review Application to the City's Grant Administrative Committee for approval as per Section 3.6, "Grant Management Policy of the City Administrative Rules". Departments seeking grant funding opportunities are required to submit a grant application for review and recommendation of approval.

## **ECONOMIC IMPACT**

The proposed affordable units support housing stability and will reduce the cost burden for very low- and low-income Hayward residents.

## **FISCAL IMPACT**

The \$3.3 million LHTF grant application for the EAH projects requires a 100% match of \$3.3 million from the City's Inclusionary Housing Trust Fund, which was already awarded by Council on October 2, 2018. Acceptance and appropriation of the LHTF grant will be used to support EAH's Mission Paradise and Pimentel Place affordable housing projects. The funds will be allocated to the City by the State and then the City will allocate the funds to EAH. As a result, there will be no net fiscal impact associated with this agenda item.

Should the City receive the LHTF grant, the City will establish a new special revenue fund, to accept, appropriate, and administer the funds consistent with the grant requirements. Staff recommends that the City apply to HCD's LHTF Program for the maximum amount of \$5 million to provide flexibility for these and other potential projects. If the City is awarded the full \$5 million grant, staff will return to Council if additional appropriation authority is needed for the additional grant funds.

## **STRATEGIC ROADMAP**

This agenda item supports the Strategic Priority of Preserve, Protect & Produce Housing. Specifically, this item supports the following projects:

- Project 8, Part 8b: Apply for state housing funding to support strategic partnerships and Council Priorities.

## **PUBLIC CONTACT**

In accordance with entitlement requirements, notices of both projects were sent out to all property owners within a 300-foot radius of the project site. Additionally, as a requirement of the 2018 NOFA, EAH, Inc. held public outreach meetings to introduce the organization and the proposed project to the community, and to solicit input from the community.

## **NEXT STEPS**

If authorized, staff will work with EAH, Inc. to prepare and submit the LHTF Program applications before the August 3, 2020 deadline. If grant funds are awarded, the City will enter into a standard agreement and other necessary documents with the Department.

*Prepared by:* Doris Tang, Management Analyst  
Christina Morales, Housing Manager

*Recommended by:* Jennifer Ott, Deputy City Manager

*Approved by:*

A handwritten signature in black ink, appearing to read 'K. McAdoo', is written over a horizontal line.

Kelly McAdoo, City Manager



HAYWARD CITY COUNCIL

RESOLUTION NO. 20-

Introduced by Council Member \_\_\_\_\_

RESOLUTION AUTHORIZING THE CITY MANAGER TO: 1) APPLY FOR AN AWARD FROM THE CALIFORNIA STATE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT (HCD) LOCAL HOUSING TRUST FUND (LHTF) PROGRAM; 2) ENTER INTO A STANDARD AGREEMENT WITH THE CALIFORNIA STATE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT LOCAL HOUSING TRUST FUND PROGRAM; AND 3) ACCEPT AND APPROPRIATE AN AMOUNT NOT TO EXCEED \$5 MILLION TO SUPPORT EAH'S MISSION PARADISE AND PIMENTEL PLACE AFFORDABLE HOUSING PROJECTS

WHEREAS, the City of Hayward (the "City"), a municipal corporation, is authorized to do business in the State of California (the "State"); and

WHEREAS, the State of California Department of Housing and Community Development (the "Department") is authorized to provide up to \$57 million under the Local Housing Trust Fund Program from the Veterans and Affordable Housing Bond Act of 2018 (Proposition 1) (as described in Health and Safety Code ("HSC") Section 50842.2 et seq. (Chapter 365, Statutes of 2017 (SB 3)) (the "Program"); and

WHEREAS, the Department issued a Notice of Funding Availability ("NOFA") dated Thursday, April 30, 2020 under the Local Housing Trust Fund ("LHTF") Program; and

WHEREAS, City of Hayward established the Affordable Housing Trust Fund under Chapter 10, Article 17 of the Hayward Municipal Code for the purpose of increasing the supply of housing affordable to Moderate-, Low-, Very Low-, or Extremely Low-Income households; and

WHEREAS, City of Hayward is an eligible Local Housing Trust Fund; and

WHEREAS, the City wishes to apply for and receive an allocation of funds through the LHTF Program to support the development of Mission Paradise, and Pimentel Place ("Eligible Projects"); and

WHEREAS, matching funds required by the LHTF program were awarded to Mission Paradise and Pimentel Place by City Council on October 2, 2018 from the Inclusionary Housing Trust fund in the amounts of \$1.3 million and \$2 million respectively; and

WHEREAS, the Department may approve funding allocations for the LHTF Program, subject to the terms and conditions of HSC Section 50842.2, the LHTF Program Guidelines, NOFA Program requirements, the Standard Agreement and other related contracts between the Department and the City; and

NOW, THEREFORE, BE IT RESOLVED, that if the City receives an award of LHTF funds from the Department pursuant to the above referenced NOFA, it represents and certifies that the City will use all such funds on Eligible Projects, as outlined in **Attachment A**, in a manner consistent and in compliance with all applicable state and federal statutes, rules, regulations, and laws, including, without limitation, all rules and laws regarding the LHTF Program, as well as any and all contracts the City may have with the Department.

BE IT FURTHER RESOLVED that the City is hereby authorized to act as the trustee in connection with the Department's funds to Eligible Projects pursuant to the above described NOFA in an amount not-to-exceed \$5 million (the "LHTF Award").

BE IT FURTHER RESOLVED that the City is hereby authorized to create a special revenue fund for the purpose of receiving and appropriating any LHTF Award.

BE IT FURTHER RESOLVED that the City hereby agrees to match the LHTF Award on a dollar for dollar basis pursuant to the LHTF Program Guidelines Section 104 and agrees to utilize matching funds on a dollar for dollar basis for the same Eligible Projects for which the LHTF Award is used as required by HSC Section 50843.5(c).

BE IT FURTHER RESOLVED that the City Manager is authorized to accept and appropriate the LHTF Award in an amount not to exceed \$5 million and pursuant to **Attachment A** and the City's certification in this resolution, the LHTF Award will be expended only for Eligible Projects and consistent with all program requirements.

BE IT FURTHER RESOLVED that the City is subject to the terms and conditions as specified in the Standard Agreement, HSC Section 50842.2 and LHTF Program Guidelines.

BE IT FURTHER RESOLVED that the City Manager is hereby authorized to execute the LHTF Award Documents, and any amendment or modifications thereto, on behalf of the City in a form approved by the City Attorney.

BE IT FURTHER RESOLVED that this resolution shall take effect immediately upon its passage.

IN COUNCIL, HAYWARD, CALIFORNIA July 7, 2020.

ADOPTED BY THE FOLLOWING VOTE:

AYES: COUNCIL MEMBERS:  
MAYOR:

NOES: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

ATTEST: \_\_\_\_\_  
City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward

**Attachment A**  
**Local Housing Trust Fund Program**  
Summary of Commitment for Program and Matching Funds

**1. Identification of Total Funds Requested**

			A						
Project	Matching Funds	Program Funds <sup>1</sup>	Total Funds	≤ 30% AMI	≤ 50% AMI	≤ 60% AMI	≤ 80% AMI	Manager Unit	Total Affordable Units
Mission Paradise	\$1,284,720	\$1,284,720	\$2,569,440	36	20	5	14	1	75
Pimentel Place	\$2,000,000	\$2,000,000	\$4,000,000	16	20	20	0	1	56
<b>Total</b>	<b>\$3,284,720</b>	<b>\$3,284,720</b>	<b>\$6,569,440</b>	<b>52</b>	<b>40</b>	<b>25</b>	<b>14</b>	<b>2</b>	<b>131</b>
<b>% of Total</b>	<b>50%</b>	<b>50%</b>	<b>100%</b>	<b>39.7%</b>	<b>30.5%</b>	<b>19.1%</b>	<b>10.7%</b>	<b>N/A</b>	<b>100%</b>

<sup>1</sup>City will utilize 5% of Program Funds for administrative costs

		B	C = A * B
Income Level	Number of Units	% of Total Affordable Units	Distribution of Total Funds by Income Level <sup>2</sup>
≤ 30% AMI	52	39.7%	\$2,542,866
≤ 50% AMI	40	30.5%	\$1,953,587
≤ 60% AMI	25	19.1%	\$1,223,394
≤ 80% AMI	14	10.7%	\$685,357
<b>Total</b>	<b>131</b>	<b>100%</b>	<b>\$6,405,204</b>

<sup>2</sup> Total funds less 5% of Program Funds for administrative costs

**2. List of jurisdictions where activities/projects will be delivered**

- i. City of Hayward



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**File #:** CONS 20-337

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**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Deputy City Manager

**SUBJECT**

Adopt Resolutions: (1) Authorizing the City Manager to Execute a Cooperation Agreement to Enable the City of Hayward to Continue Participation in the Alameda County HOME Consortium for 2021-2023; and (2) Appropriating \$388,000 in HOME Investment Partnership Program (HOME) Funds to Provide Rental Assistance to Low-Income Tenants Experiencing Hardship Related to the COVID-19 Pandemic, as well as Authorizing the City Manager to Amend the Existing Agreement with Bay Area Community Services (BACS) to Add HOME Funds in an Amount Not-To-Exceed \$388,000 to Administer the Additional Rent Relief Program Funds.

**RECOMMENDATION**

That Council adopts:

1. A resolution (Attachment II) authorizing the City Manager to execute the Cooperation Agreement (the Agreement) and all other implementing documents to enable the City of Hayward to participate in the Alameda County HOME Consortium for the next three years; and
2. A resolution (Attachment III) appropriating the use of existing HOME Investment Partnership (HOME) funds for rental assistance to low-income tenants experiencing hardship due to the COVID-19 pandemic and authorizing the City Manager to amend the existing agreement with Bay Area Community Services (BACS) to add HOME funds in an amount not-to-exceed \$388,000 to administer the additional rent relief program funds.

**SUMMARY**

This item recommends that Council adopt two resolutions related to the acceptance and allocation of federal HOME Funds.

**Alameda County HOME Consortium Cooperation Agreement**

Every three years, the City of Hayward must reaffirm its membership in the Alameda County HOME Consortium by entering into a Cooperation Agreement with the HOME Consortium. The administrative agreement between the City and Alameda County enables the City to continue participating in the Consortium, of which it has been a member since 1992.

Through membership in the Consortium, the City has received over \$12.5 million in funds for HOME-eligible housing assistance activities benefitting households at or below 80% of the area median income (AMI), including acquiring, rehabilitating, and constructing affordable housing developments, and providing homebuyer and tenant-based rental assistance. Staff recommends that Council adopts the Resolution in Attachment II, to authorize the City's participation in the Consortium and receive federal HOME funds for federal FY 2020-2021 through FY 2022-2023. Approval of this resolution does not commit the City to funding any specific project at this time. Specific funding allocations would require subsequent Council approval.

### **Tenant-Based Rental Assistance & COVID-19**

Staff recommends augmenting the City's Rental Housing Relief Program by allocating an additional \$388,000 of existing HOME funds to the program. The City entered into an agreement with BACS in May for \$600,000 to administer the City's Rental Housing Relief Program, which provides one-time payments of up to \$2,500 to eligible Hayward residents. In April, the U.S. Department of Housing and Urban Development (HUD) issued several waivers and suspensions of federal regulations pertaining to the HOME Program, which will enable the City to provide additional rental assistance to low-income residents who need help the most during the COVID-19 pandemic. Based on feedback from BACS and communications from community members through the City's hotline and Housing Division inquiries, staff recommends that the City amend the existing agreement with BACS to include the additional \$388,000 in available HOME funds to augment the program.

### **ATTACHMENTS**

Attachment I	Staff Report
Attachment II	Resolution Authorizing HOME Cooperation Agreement
Attachment III	Resolution Authorizing HOME Funds for Rent Relief



**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Deputy City Manager

**SUBJECT:** Adopt Resolutions: (1) Authorizing the City Manager to Execute a Cooperation Agreement to Enable the City of Hayward to Continue Participation in the Alameda County HOME Consortium for 2021-2023; and (2) Appropriating \$388,000 in HOME Investment Partnership Program (HOME) Funds to Provide Rental Assistance to Low-Income Tenants Experiencing Hardship Related to the COVID-19 Pandemic, as well as Authorizing the City Manager to Amend the Existing Agreement with Bay Area Community Services (BACS) to Add HOME Funds in an Amount Not-To-Exceed \$388,000 to Administer the Additional Rent Relief Program Funds.

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## **BACKGROUND**

### **Alameda County HOME Consortium Cooperation Agreement**

Since 1991, the City of Hayward has been part of the Alameda County HOME Consortium, which includes unincorporated Alameda County and the cities of Alameda, Fremont, Livermore, Pleasanton, San Leandro, and Union City. Hayward's participation in the Consortium has assured the City a total allocation of approximately \$12.5 million of federal HOME Investment Partnership Funds since FY 1991-1992. Funds must be used for HOME-eligible housing assistance activities, such as:

- Affordable housing development through acquisition, rehabilitation, or construction activities
- Homebuyer assistance
- Tenant-based rental assistance (TBRA)

HOME program regulations require that 100% of HOME funds be used to assist households with incomes at or below 80% of the area median income (AMI) adjusted for household size. Currently, the Alameda County 80% of AMI income limit for a family of four is \$104,400.



## **Tenant-Based Rental Assistance & COVID-19**

On April 28, 2020, City Council approved the allocation of \$1.47 million in emergency Community Development Block Grant (CDBG) funding from the CARES Act for COVID-19 response. Included in that allocation was \$600,000 for rental assistance for low-income renters experiencing financial hardship due to COVID-19. The City entered into an agreement with Bay Area Community Services (BACS) and launched the Rental Housing Relief Program on May 13, 2020.

City Council first authorized the use of HOME funds for tenant-based rental assistance in FY 2007-2008, directing staff to allocate funds for Abode Services' Project Independence Program, which provides rental assistance and case management services to emancipated and former foster care youth. In April, HUD released two memoranda detailing various suspensions and waivers to facilitate the use of HOME funds for emergency and short-term TBRA in response to the COVID-19 pandemic, which has significant economic distress for many of Hayward's renters and property owners.<sup>1</sup> Some key suspensions and waivers for households facing financial hardship due to COVID-19 include:

- Permitting the use of self-certification of income to determine eligibility for HOME assistance
- Waiving Housing Quality Standard Inspections
- Permitting jurisdictions to provide up to 100% subsidy for rent, security deposits, and utility expenses
- Waiving the requirement that rental assistance contracts begin on the first day of the lease term and allowing assistance for tenants already housed with an executed lease in place

Through these suspensions and waivers, the City of Hayward can amend the existing agreement with BACS to administer the program and contribute \$388,000 in HOME funds for TBRA to augment the City's existing Tenant Rental Housing Relief Program, while continuing to fund existing HOME-assisted projects as planned.

## **DISCUSSION**

### **Alameda County HOME Consortium Cooperation Agreement**

The City's participation in the Consortium assures the City an annual allocation of HOME funds and alleviates the administrative burden of the funds. As the representative of the Consortium, Alameda County acts as the lead member for administrative and federal

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<sup>1</sup> Copies of the HUD memoranda are available at the following two links: 1) [https://www.hudexchange.info/resource/6016/cpd-memo-availability-waivers-suspensions-home-requirements-covid-19/?utm\\_source=HUD+Exchange+Mailing+List&utm\\_campaign=6ba2fbaea2-4.14.20-HOME-Program-COVID-19-Response&utm\\_medium=email&utm\\_term=0\\_f32b935a5f-6ba2fbaea2-19544745](https://www.hudexchange.info/resource/6016/cpd-memo-availability-waivers-suspensions-home-requirements-covid-19/?utm_source=HUD+Exchange+Mailing+List&utm_campaign=6ba2fbaea2-4.14.20-HOME-Program-COVID-19-Response&utm_medium=email&utm_term=0_f32b935a5f-6ba2fbaea2-19544745) and 2) [https://www.hudexchange.info/resource/6017/cpd-memo-suspensions-waivers-home-tbra-covid-19/?utm\\_source=HUD+Exchange+Mailing+List&utm\\_campaign=6ba2fbaea2-4.14.20-HOME-Program-COVID-19-Response&utm\\_medium=email&utm\\_term=0\\_f32b935a5f-6ba2fbaea2-19544745](https://www.hudexchange.info/resource/6017/cpd-memo-suspensions-waivers-home-tbra-covid-19/?utm_source=HUD+Exchange+Mailing+List&utm_campaign=6ba2fbaea2-4.14.20-HOME-Program-COVID-19-Response&utm_medium=email&utm_term=0_f32b935a5f-6ba2fbaea2-19544745)

reporting purposes and coordinates the production of the Consolidated Annual Performance and Evaluation Report (CAPER) required by HUD. Several other reporting activities are also carried out in a joint effort by the participating jurisdictions.

The overall objective of the program is to provide high-quality, sustainable affordable housing. In previous years, HOME funds were used to help finance the construction of the Glenn Berry and Sara Conner Court Apartments, the rehabilitation of Huntwood Commons and Tennyson Gardens Apartments, the acquisition and rehabilitation of Leidig Court Apartments, the acquisition of Cypress Glen Apartments, a loan for the Weinreb Place (aka Hayward Senior Housing II) affordable senior complex, and a loan for the Alta Mira Affordable Family and Senior Apartments (aka the South Hayward BART affordable housing project) which opened in the fall of 2016. Most recently, funds were allocated for the acquisition and development of Mission Paradise, a 76-unit affordable complex for adults age 62 and older. Additionally, since 2008, funds have been set aside to pay for rental subsidies for participants of Project Independence, a program that provides services and rental subsidies to emancipated youth (youth age 18 to 24 who have aged out of the foster care system).

Staff recommends that the City Council approve the continued participation in the Alameda County HOME Consortium for the next three Federal fiscal years – October 1, 2020 through September 30, 2023. Individual project funding commitments during this time will come to the Council for approval.

## **Tenant-Based Rental Assistance & COVID-19**

### *Existing Need for Assistance*

On March 4, 2020, the Governor proclaimed a State of Emergency in California as a result of the COVID-19 pandemic. On March 17, 2020, Alameda County implemented a Shelter-In-Place Order limiting activity, travel, and business functions to only essential needs and services, which was followed shortly by a state-wide order on March 19, 2020. Such substantial decrease in economic activity had a stark impact on Californians' ability to work and collect enough income to pay their rent. By April 2020, the state unemployment rate went from a record low 3.9% in February<sup>2</sup> to a record high 15.5% in April.<sup>3</sup> Hayward's unemployment rate was 17.1%.<sup>4</sup> The statewide rate continued to climb in May to 16.3%, which was four times the rate in May 2019. Unemployment in Alameda County in May 2020 sits at 13.5%, just below the state rate.<sup>5</sup>

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<sup>2</sup> State of California Employment Development Department. *California unemployment rate maintained record low 3.9 percent in February*. Retrieved from: <https://www.edd.ca.gov/Newsroom/unemployment-february-2020.htm>

<sup>3</sup> State of California Employment Development Department. *California unemployment rate rose to record 15.5 percent in April*. Retrieved from: <https://www.edd.ca.gov/newsroom/unemployment-may-2020.htm>

<sup>4</sup> Bureau of Labor and Statistics. Retrieved from <https://data.bls.gov/PDQWeb/la>

<sup>5</sup> State of California Employment Development Department. *California unemployment lowers slightly to 16.3 percent in May*. Retrieved from <https://www.edd.ca.gov/newsroom/unemployment-june-2020.htm>

Nationally, only 69% of tenants paid any rent in the first five days of April, a drop of twelve percentage points from payments made in the first five days of March.<sup>6</sup> As renters accessed unemployment benefits and other financial assistance, the percentage of households that paid rent during the first five days of May increased to 80%.<sup>7</sup> As of June 22, 2020, Alameda County has begun re-opening, including provisions for opening indoor and outdoor retail, outdoor dining, and religious and cultural gatherings.<sup>8</sup> While the re-opening begins, inquiries to the City's COVID-19 hotline and Housing Division indicate that Hayward residents continue to face economic hardship resulting from COVID-19 and that continued rental assistance would help alleviate the financial burden the City's most vulnerable residents are still experiencing.

### *Rental Housing Relief Program Description*

The Rental Housing Relief Program supports residents who are at greatest risk of displacement due to non-payment of rent related to the COVID-19 pandemic and offsets corresponding lost revenue that landlords need to provide housing services. The program provides a one-time rent relief grant directly to landlords on behalf of low-income tenants to reduce the burden on tenants and ensure landlords receive the revenue needed to maintain housing services. Funds are awarded on a first-come-first served basis upon receipt of a complete application form from the eligible tenant. To preserve housing stability for as many people as possible, rental assistance is limited to the amount necessary to bridge the gap between what the tenant can pay and the actual rent payment not to exceed \$2,500. Eligible applicants must be Hayward residents, income eligible (either very low income with up to 50% of AMI or low income with up to 80% of AMI and a rent burden of 30% or higher), and have been unable to pay full rent because they experienced and can demonstrate hardship resulting from COVID-19.

After opening on May 13, 2020, the program received over 500 online applications<sup>9</sup> and closed submissions on May 19, 2020. Of those submitted, the majority were either not eligible, duplicate applications, or denied due to lack of follow-up contact or provision of proof (including self-certification) of economic impact. While those that were eligible are still being processed, initial data for those that have been processed (n=85) indicate that those receiving funds are those who need support the most. The majority (86%) were experiencing economic hardship due to job loss or reduction in work hours. Half (50%) of recipients were from a household of four or more individuals.

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<sup>6</sup> National Multifamily Housing Coalition. *NMHC Rent Payment Tracker finds 12 percentage point decrease in share of apartment households that paid rent by April 5*. Retrieved from: <https://www.nmhc.org/news/press-release/2020/nmhc-rent-payment-tracker-finds-12-percentage-point-decrease-in-share-of-apartment-households-that-paid-rent-by-april-5/>

<sup>7</sup> National Multifamily Housing Coalition. *NMHC Rent Payment Tracker finds 80.2 percent of apartment households paid rent as of May 6*. Retrieved from: <https://www.nmhc.org/news/press-release/2020/nmhc-rent-payment-tracker-finds-80.2-percent-of-apartment-households-paid-rent-as-of-may-6/>

<sup>8</sup> Alameda County Public Health Department. *Sheltering in place for COVID-19*. Retrieved from: <http://www.acphd.org/2019-ncov/shelter-in-place.aspx>

<sup>9</sup> Individuals who are unable to apply online are encouraged to call the Housing Division, where staff can complete the initial application for them and make a plan with the applicant for submission of paperwork for final processing.

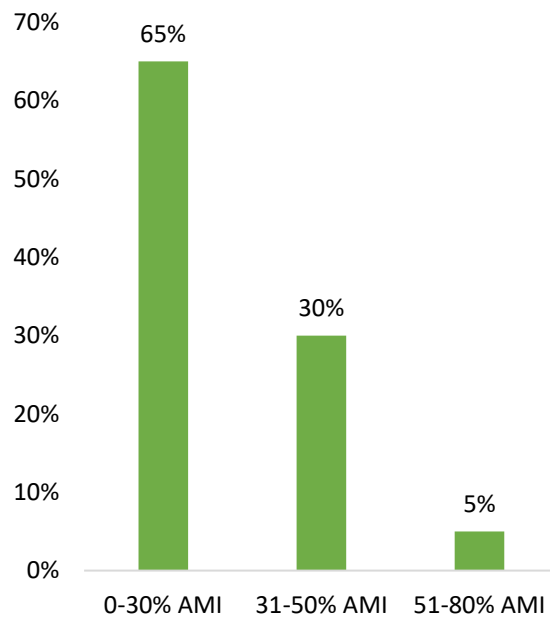
As shown in Figure 1, almost two-thirds of recipients make 30% or less of the area median income (AMI) for their household size. Together, 95% of those who received assistance make below 50% of AMI, suggesting that funds are going to individuals experiencing significant financial hardship.

In Hayward, 44% of residents are renters. According to 2010 Census data, approximately 37% of all renters were Hispanic or Latino and 22% of all renters were Black or African American.

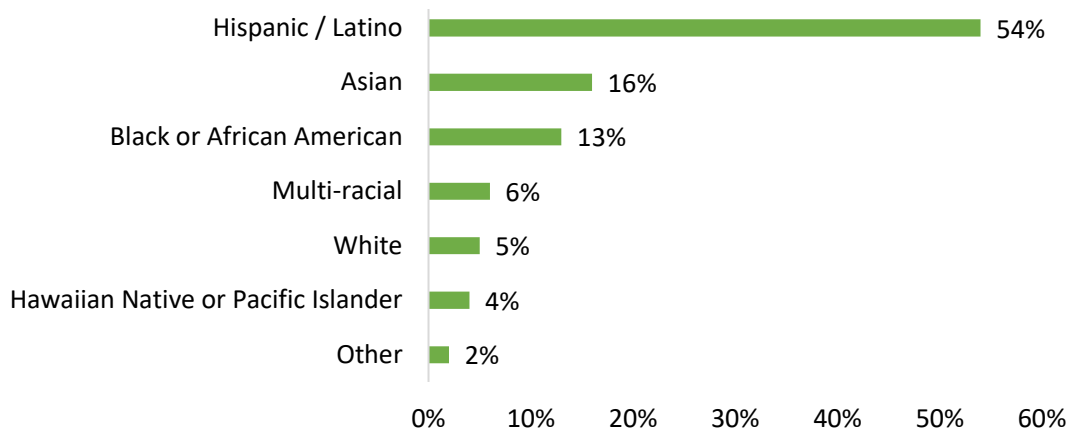
Among Hayward's renters, over half (56%) are rent burdened, spending at least 30% or more of their income on rent. Census data show that rent burden is highest among Black/African American and Hispanic renters in the San Francisco-Oakland-Hayward metro area.<sup>10</sup> Given these trends, it is likely

that Hayward's Hispanic and Black/African American renters are most likely to need assistance. As shown in Figure 2, among the 85 individuals who have received assistance so far, just over half are Hispanic or Latino, 16% are Asian, and 13% are Black or African American.

**Figure 1. Area Median Income (AMI) of Assistance Recipients**



**Figure 2. Race and Ethnicity of Assistance Recipients**



### *Consistency with Housing Goals*

The Rental Housing Relief Program is consistent with the strategies, priorities, and programs in the FY 2014-2019 and FY 2020-2025 Consolidated Plans of the HOME Consortium. The HUD-required plans outline needs, strategies, priorities, and programs for the expenditure of

<sup>10</sup> Joint Center for Housing Studies of Harvard University. *Renter cost burdens by race and ethnicity*. Retrieved from: [https://www.jchs.harvard.edu/ARH\\_2017\\_cost\\_burdens\\_by\\_race](https://www.jchs.harvard.edu/ARH_2017_cost_burdens_by_race)

federal funds for housing and community development activities. Specifically, this program aligns with the priority of preventing homelessness.

Given the success demonstrated by initial program data, the demonstrated need from residents, and the availability of waivers and suspensions in federal regulations to more quickly access and distribute HOME funds to the community, staff recommends Council approve the \$388,000 allocation of HOME funds to augment the Rental Housing Relief Program.

## **ECONOMIC IMPACT**

The physical and economic impacts of COVID-19 exacerbate the already severe housing crisis in the Bay Area. Continuing to take part in the Alameda County HOME Consortium ensures that the City receives an annual allocation of funds ranging from \$250,000 to \$425,000 to continue to address this housing crisis. Using a portion of this annual allocation to provide emergency rent relief is an important and vital step in preventing more Hayward residents from being displaced during this economic crisis.

## **FISCAL IMPACT**

Hayward's participation in the HOME Consortium allows the City to receive an annual allocation of HOME program funds from HUD. Between federal FY 2019 and FY 2021, the City received an average allocation of \$402,636. Each year, 10% of funds may be used for administrative costs, and of those, 50% are retained by the County for administration, leaving the City with 5% of the total allocation for administration of ongoing and new HOME activities.

There are sufficient funds budgeted in the FY 2021 operating budget to cover the cost associated with this professional services agreement with BACS for the Rental Housing Relief Program. The total fiscal impact is less than the amount budgeted, and there is no additional impact to the HOME fund. Implementation and administration costs for the Rental Housing Relief Program will be covered by a combination of CDBG and HOME funds, so there will be no impact of the program on the City's General Fund.

## **STRATEGIC ROADMAP**

This item supports the Strategic Priority of Preserve, Produce, Protect, & Produce Housing. This item is not specifically related to a project identified in the Strategic Roadmap. Staff is bringing forth this item because: a) it is a necessary administrative step for remaining in the HOME consortium and b) it responds to a clear emergent need to protect and preserve housing by ensuring Hayward's lowest income renters are able to remain housed.

## **SUSTAINABILITY FEATURES**

As HOME funds can be used for affordable housing development projects, it is important to note the sustainability features of those projects. To be competitive for the major sources of funding, affordable housing development proposals must be located near transit and include energy-efficient and sustainable features that exceed the applicable standards. The requirement to include energy-efficient and sustainable features is intended to guarantee that affordable developments are financially viable for the long term. Energy-related savings are essential to achieve that long-term viability – besides guaranteeing that the housing expenses of tenants are low or minimal.

Additionally, as housing becomes increasingly unaffordable, many households are forced to move out of their communities and, as they move farther away, they have to spend a larger part of their incomes on transportation while adding further pressure to the already congested system of roads and freeways. Thus, the requirement to be located near transit helps reduce traffic congestion and frees up income of very low and extremely low-income households to pay for other expenses such as education, childcare, and food. Therefore, to the extent that HOME and other local funds will help Hayward affordable housing projects or program proposals compete for and/or leverage other sources of funding, this would help in reducing area traffic impacts and achieving other local sustainability goals.

## **PUBLIC CONTACT**

Neither the authorization to remain in the HOME Consortium nor the authorization to allocate the HOME funds to the rent relief program require public contact. However, the FY 2015-2019 Consolidated Plan that governs the allocation of HUD funding (including both HOME and CDBG) did receive public comment when it was written. The draft FY 2020-2024 Consolidated Plan and FY20 Action Plan has been distributed county-wide for public review and comments over a 5-day period ending on June 19, 2020. Comments received will be addressed and revisions, if necessary, will be made to the final Consolidated Plan and Action Plan. The Alameda County Board of Supervisors will consider submitting the Consolidated Plan and Action Plan on June 30, 2020. The final versions of the Consolidated Plan and Annual Plan will be sent to HUD on July 2, 2020.

## **NEXT STEPS**

All HOME-eligible housing assistance activities (such as the allocation of funds for emergency rent relief presented in this report) require Council approval. Therefore, if Council authorizes that the City remain in the HOME Consortium, all subsequent HOME-funded projects will come to Council for approval.

If Council approves the use of HOME funds to provide emergency rental assistance to eligible low-income Hayward residents, the City Manager will execute an amendment to the agreement with BACS to supplement the existing agreement with the additional HOME funds, bringing the total contract amount from \$600,000 to \$988,000 for emergency rental assistance.

*Prepared by:* Amy Cole-Bloom, Management Analyst

*Recommended by:* Christina Morales, Housing Division Manager  
Jennifer Ott, Deputy City Manager

*Approved by:*

A handwritten signature in black ink, appearing to read 'K. McAdoo', written over a horizontal line.

---

Kelly McAdoo, City Manager

HAYWARD CITY COUNCIL

RESOLUTION NO. 20-

Introduced by Council Member \_\_\_\_\_

RESOLUTION AUTHORIZING THE CONTINUED PARTICIPATION OF THE CITY OF HAYWARD IN THE ALAMEDA COUNTY HOME CONSORTIUM FOR HOME FUNDS AND AUTHORIZING EXECUTION OF THE NECESSARY DOCUMENTS TO MAINTAIN THE ELIGIBILITY OF THE CONSORTIUM FOR HOME PROGRAM FUNDS IN ACCORDANCE WITH THE NATIONAL AFFORDABLE HOUSING ACT OF 1990

WHEREAS, the Congress of the United States has enacted the Cranston-Gonzalez National Affordable Housing Act of 1990 and Federal regulations have been adopted pursuant thereto, hereinafter called the "Act"; and

WHEREAS, Title II of the Act creates the HOME Investment Partnership Program hereinafter called "HOME," that provides funds to participating jurisdictions for acquisition, rehabilitation, new construction of affordable housing, homebuyer and tenant-based rental assistance; and

WHEREAS, the Act allows local governments to form consortia for the purpose of receiving and administering HOME funds and carrying out purposes of the Act; and

WHEREAS, the cities of Alameda, Fremont, Hayward, Livermore, Pleasanton, San Leandro and Union City have expressed their interest in joining with the Alameda County Urban County (consisting of the cities of Albany, Dublin, Emeryville, Newark, Piedmont, and the unincorporated County) to continue in the Alameda County HOME Consortium for federal fiscal years 2021, 2022 and 2023.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Hayward does hereby resolve, declare, determine and order as follows:

1. The City Council of the City of Hayward hereby authorizes the continued participation of the Alameda County Urban County in the Alameda County HOME Consortium.
2. The City Council of the City of Hayward hereby authorizes the City Manager to execute the necessary documents to maintain the eligibility of the Consortium for HOME program funds in accordance with the National Affordable Housing Act of 1990.



3. This resolution shall take effect immediately upon its adoption.

IN COUNCIL, HAYWARD, CALIFORNIA \_\_\_\_\_, 2020

ADOPTED BY THE FOLLOWING VOTE:

AYES: COUNCIL MEMBERS:  
MAYOR:

NOES: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

ATTEST: \_\_\_\_\_  
City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward

HAYWARD CITY COUNCIL

RESOLUTION NO. 20-\_\_

Introduced by Council Member \_\_\_\_\_

RESOLUTION AUTHORIZING THE USE OF HOME INVESTMENT PARTNERSHIP FUNDS FOR RENTAL ASSISTANCE FOR LOW-INCOME TENANTS EXPERIENCING HARDSHIP DUE TO THE COVID-19 PANDEMIC THROUGH THE CITY'S RENTAL HOUSING RELIEF PROGRAM AND AUTHORIZING THE CITY MANAGER TO NEGOTIATE AND EXECUTE AN AMENDMENT TO THE COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) AGREEMENT WITH BAY AREA COMMUNITY SERVICES (BACS) TO ADMINISTER THE PROGRAM

WHEREAS, the City of Hayward participates in a consortium of cities in Alameda County that share federal HOME Investment Partnership Program (HOME) funds, and which helps provide funding for affordable housing programs; and

WHEREAS, the City receives an allocation of federal HOME Investment Partnership funds each year, through the consortium; and

WHEREAS, the U.S. Department of Housing and Urban Development (HUD) released several waivers and suspensions of federal regulations to enable cities to expend HOME funds to reduce the risk of displacement and homelessness due to the COVID-19 pandemic; and

WHEREAS, City Council authorized the allocation of HUD Community Development Block Grant (CDBG) funds for emergency rent relief in April, creating a program administered by BACS to allocate one-time payments of up to \$2,500 to eligible low-income Hayward residents facing hardship due to COVID-19; and

WHEREAS, the rental subsidies will be administered by BACS directly to landlords on behalf of tenants to bridge the gap between what tenants can pay and their actual rent to preserve housing stability for as many people as possible; and

WHEREAS, the Rental Housing Relief Program has already provided funding to almost 100 residents, ninety-five percent of whom make at or below fifty percent of the area median income, and continued need for funding still exists; and

WHEREAS, staff proposes to utilize \$388,000 of HOME program funds that were allocated to the City to help pay for rental subsidies and can be expended on emergency tenant-based rental assistance (TBRA); and

ATTACHMENT III

WHEREAS, staff anticipates that said funds would subsidize rents for a minimum of 150 eligible individuals.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Hayward hereby authorizes utilizing \$388,000 of the City's HOME program funds to help pay for emergency rental assistance for eligible low-income Hayward residents experiencing financial hardship due to COVID-19 through the City's Rental Housing Relief Program administered by BACS.

BE IT FURTHER RESOLVED that the City Manager is hereby authorized and directed to take such actions as may be necessary to provide and implement the rent relief payments contemplated by this resolution and to negotiate, have prepared, and execute any and all documents necessary to complete the activities contemplated by this resolution, subject to approval by the City Attorney.

IN COUNCIL, HAYWARD, CALIFORNIA \_\_\_\_\_, 2020

ADOPTED BY THE FOLLOWING VOTE:

AYES: COUNCIL MEMBERS:  
MAYOR:

NOES: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

ATTEST: \_\_\_\_\_  
City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward



# CITY OF HAYWARD

Hayward City Hall  
777 B Street  
Hayward, CA 94541  
[www.Hayward-CA.gov](http://www.Hayward-CA.gov)

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**File #:** CONS 20-343

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**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Director of Public Works

**SUBJECT**

Adopt a Resolution Confirming the Report and Assessment for Delinquent Garbage Bills Incurred by Property Owners of Single-Family Residences and Authorizing the Delinquent Charges to Become a Special Assessment Against the Properties on or Before July 24, 2020

**RECOMMENDATION**

That Council adopts a resolution (Attachment II) confirming the report and assessment for delinquent single-family residential garbage bills and authorizing the delinquent charges to become a special assessment against the properties if not paid on or before July 24, 2020.

**SUMMARY**

This report presents delinquent single-family residential garbage bills for the 2019-2020 service year and the amounts that are to be placed as a special assessment on the property tax rolls.

As of June 23, 2020, 1,137 property owners owe \$511,274.22 or a total of \$577,782.33, with both administrative fees included (see Attachment III). The unpaid charges and the administrative fees assessed by the City and County will become a special assessment against the property and will appear on each property owner's tax bill later this year.

**ATTACHMENTS**

Attachment I	Staff Report
Attachment II	Resolution
Attachment III	Special Assessment Parcel List



**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Director of Public Works

**SUBJECT:** Adopt a Resolution Confirming the Report and Assessment for Delinquent Garbage Bills Incurred by Property Owners of Single-Family Residences and Authorize the Delinquent Charges to Become a Special Assessment Against the Properties Before July 24, 2020

## **RECOMMENDATION**

That Council adopts a resolution (Attachment II) confirming the report and assessment for delinquent single-family residential garbage bills and authorizing the delinquent charges to become a special assessment against the properties if not paid on or before July 24, 2020.

## **SUMMARY**

This report presents delinquent single-family residential garbage bills for the 2019-2020 service year and the amounts that are to be placed as a special assessment on the property tax rolls.

As of June 23, 2020, 1,137 property owners owe \$511,274.22, or a total of \$577,782.33, with both administrative fees included (see Attachment III). The unpaid charges and the administrative fees assessed by the City and County will become a special assessment against the property and will appear on each property owner's tax bill later this year.

## **BACKGROUND**

On April 6, 2010, Council approved collection of delinquent garbage bills from single family residential property owners with cart service via special assessments on property tax rolls. Under the City's solid waste ordinance (Section 5-1.17), the property owner is ultimately responsible for the payment of the garbage bill, whether or not the owner occupies the property.

Beginning in 2010 and annually thereafter, Waste Management of Alameda County (WMAC) mails three separate notices in January, March, and April to delinquent residential property owners. The notices typically result in full payments by about half of all delinquent accounts, thereby avoiding placement of a special assessment on those owners' property tax bills. The outstanding amounts are then placed as a special assessment on the property tax rolls.

## **DISCUSSION**

The 2020 assessments include the total amount due from each delinquent account owed WMAC for the period from March 2019 through February 2020. Other charges that will be included in the assessment are a fifty-dollar administrative fee charged by the City and a 1.7% administrative fee charged by the Alameda County Tax Assessor's Office. These fees and this request for Council's confirmation of the list are made pursuant to Hayward Municipal Code Sections 5-1.28 through 5-1.32.

At this writing, 1,137 property owners owe \$511,274.22, or a total of \$577,782.33, with both administrative fees included (see Attachment III). For comparison purposes, on June 19, 2019, 1,245 property owners owed a total of \$568,010.22 with both administrative fees included. If not paid on or before July 24, 2020, the unpaid charges and the administrative fees assessed by the City and County will become a special assessment against the property and will appear on each property owner's tax bill later this year.

## **ECONOMIC IMPACT**

A breakdown of the 1,137 total number of delinquent accounts and the range of amounts owed are as follows:

<u>Profile of Accounts</u>	<u>Amount Owed</u>
48% (549 accounts)	Less than \$500
48% (547 accounts)	\$500 to \$1,000
4% (41 accounts)	\$1,000 to \$2,523.21

Payment of these fees should not have an undue adverse impact on property owners or tenants as they will be required to pay charges that the overwhelming majority of property owners and tenants pay on a regular basis. The only difference is that property owners of the delinquent accounts must also pay the small administrative fees mentioned above. In addition, WMAC has been offering payment flexibility to those residents financially impacted by the COVID-19 pandemic, and those accounts are not included in this special assessment.

## **FISCAL IMPACT**

There is no negative fiscal impact to the City as administrative fees will cover staff costs. Upon receipt of delinquent fees remitted by the County Tax Assessor's Office, the City will retain the administrative and franchise fees and remit the balance to WMAC.

## **STRATEGIC ROADMAP**

This agenda item does not directly relate to any of the projects outlined in the Council's Strategic Roadmap.

## **SUSTAINABILITY FEATURES**

Solid waste management involves the safe and responsible management of discarded material from generation through processing to disposal. Reducing waste landfilled by maximizing the reuse, recycling, and composting of materials increases diversion, conserves natural resources, and plays an important role in making a community sustainable.

## **PUBLIC CONTACT**

WMAC mailed letters in January, March, and April to each residential property owner and tenant with a delinquent garbage bill. Each letter stated that the City's ordinance holds property owners responsible for garbage service fees, provided the past due amount, and included a phone number and email address to resolve questions regarding amounts owed. The March and April letters indicated that the City Council had authorized, at its April 6, 2010, meeting, collection of delinquent garbage bills through placement of assessments on the Alameda County tax rolls. The April letter identified a due date of June 1, 2020 for payment of delinquent amounts, though WMAC will continue to accept payments until 5:00 p.m., July 24, 2020. The April letter also indicated that the City Council's confirmation of the report and list of delinquent charges would be scheduled for July 7, 2020. All letters were approved by City staff. Property owners were given an opportunity for an administrative hearing to dispute the delinquent amount, but no hearings were scheduled.

The Notice of City Council's scheduled confirmation of this report was published in The Daily Review on June 26, 2020.

## **NEXT STEPS**

WMAC will continue to accept payments until July 24, 2020. Staff will provide the final list to the Alameda County Tax Assessor's Office by August 10, 2020.

*Prepared by:* Jeff Krump, Solid Waste Program Manager

*Recommended by:* Alex Ameri, Director of Public Works

*Approved by:*

A handwritten signature in dark ink, appearing to read 'K. McAdoo', is written over a horizontal line.

Kelly McAdoo, City Manager

HAYWARD CITY COUNCIL

RESOLUTION NO. 20-

Introduced by Council Member \_\_\_\_

RESOLUTION CONFIRMING THE REPORT AND SPECIAL ASSESSMENT LIST  
ASSOCIATED WITH DELINQUENT GARBAGE BILLS INCURRED BY  
RESIDENTIAL PROPERTY OWNERS WITH CART SERVICE

WHEREAS, the Director of Public Works has rendered an itemized report in writing to this Council indicating residential property owners with cart service in the City of Hayward who have incurred delinquent garbage bills, as required by Section 5-1.30 of the Municipal Code of the City of Hayward; and

WHEREAS, the hour of 7 p.m. on Tuesday, July 7, 2020, in Hayward, California, was fixed as the time and place for this Council to receive and consider the report, and a copy of the report has been posted and published in the manner required by Section 5-1.31 of the Municipal Code; and

WHEREAS, the report was presented at the time and place fixed, and the City Council has considered the report and all comments with respect thereto; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Hayward that, except as may be amended by Council, the report from the Public Works Director of the City of Hayward listing each residential property owner with cart service who has incurred a delinquent garbage bill, a copy of which is attached hereto, is hereby confirmed.

BE IT FURTHER RESOLVED that payments of assessments confirmed hereby may be received by Waste Management of Alameda County up to the hour of 5 p.m. on July 24, 2020, and thereafter such official shall transmit the unpaid assessments to the County Auditor for collection on the property tax roll.



IN COUNCIL, HAYWARD, CALIFORNIA \_\_\_\_\_, 2020

ADOPTED BY THE FOLLOWING VOTE:

AYES:           COUNCIL MEMBERS:  
                  MAYOR:

NOES:           COUNCIL MEMBERS:

ABSTAIN:       COUNCIL MEMBERS:

ABSENT:        COUNCIL MEMBERS:

ATTEST: \_\_\_\_\_  
          City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward

RESIDENTIAL PROPERTY OWNERS WITH CART SERVICE WHO HAVE INCURRED DELINQUENT GARBAGE BILLS OWED WASTE MANAGEMENT												
PROPERTY OWNER NAME AND ADDRESS						SERVICE ADDRESS			DELINQUENT AMOUNTS, AGENCY FEES AND TOTAL DUE			
NAME	HOUSE NO.	STREET	CITY	STATE	ZIP CODE	HOUSE NO.	STREET	TOTAL DELINQ. AMOUNT	CITY FEE	TOTAL DELINQ. PLUS CITY FEE	COUNTY FEE 1.7% OF TOTAL DELINQ. AMOUNT	TOTAL DUE
1	ABEN, ELLEN	28362	BEATRON WAY	HAYWARD	CA 94544	28362	BEATRON WAY	\$468.53	\$50.00	\$518.53	\$8.82	\$527.35
2	ABOBACKER ARIF & ZAINUDH	39624	POTRERO DR	NEWARK	CA 94560	30368	VANDERBILT ST	\$228.07	\$50.00	\$278.07	\$4.73	\$282.80
3	ACOB ERNESTO JR & EDITHA	426	MACKENZIE PL	HAYWARD	CA 94544	426	MACKENZIE PL	\$554.01	\$50.00	\$604.01	\$10.27	\$614.28
4	ADHIKARI ROGER & SADHANA	4180	STAR RIDGE RD	HAYWARD	CA 94542	29194	DIXON ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
5	ADIL ANWAR	670	KINGSFORD WAY	HAYWARD	CA 94541	670	KINGSFORD WAY	\$339.44	\$50.00	\$389.44	\$6.62	\$396.06
6	AGUILA JUAN E & BERTHA A	23796	LYNN ST	HAYWARD	CA 94541	23796	LYNN ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
7	AGUILAR CLAUDIA L	24594	THOMAS AVE	HAYWARD	CA 94544	24594	THOMAS AVE	\$252.79	\$50.00	\$302.79	\$5.15	\$307.94
8	AGUILAR JACOBO A	27401	WHITMAN ST	HAYWARD	CA 94544	27401	WHITMAN ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
9	AGUILAR JAIME E & ELIA G	25915	GUSHUE ST	HAYWARD	CA 94544	25915	GUSHUE ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
10	AGUILAR JOSE J	24386	THOMAS AVE	HAYWARD	CA 94544	24386	THOMAS AVE	\$414.00	\$50.00	\$464.00	\$7.89	\$471.89
11	AGUILUS MARIA E	1100	HOLMES WAY	HAYWARD	CA 94541	1100	HOLMES WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
12	AHMED WAHEED	27769	E 12TH ST	HAYWARD	CA 94544	27769	E 12TH ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
13	ALAN ADOLFO & OLIVIA TRS	1272	FOLSOM AVE	HAYWARD	CA 94544	1270	FOLSOM AVE	\$475.28	\$50.00	\$525.28	\$8.93	\$534.21
14	ALCANTAR AARON ETAL	925	SUNSET BLVD	HAYWARD	CA 94541	925	SUNSET BLVD	\$296.88	\$50.00	\$346.88	\$5.90	\$352.78
15	ALDEPULLA GASIL	24812	DIADON DR	HAYWARD	CA 94544	24812	DIADON DR	\$731.20	\$50.00	\$781.20	\$13.28	\$794.48
16	ALDRIDGE LEONARD LIVING TRI	142	CASSIA DR	HAYWARD	CA 94544	142	CASSIA DR	\$260.30	\$50.00	\$310.30	\$5.28	\$315.58
17	ALEMAN SONIA A & GRANDE N	26715	WAUCHULA WAY	HAYWARD	CA 94545	26715	WAUCHULA WAY	\$185.81	\$50.00	\$235.81	\$4.01	\$239.82
18	ALEXANDER KEN T	23163	KLAMATH RD	HAYWARD	CA 94541	23163	KLAMATH RD	\$210.27	\$50.00	\$260.27	\$4.42	\$264.69
19	ALI SYED W	28974	RUUS RD	HAYWARD	CA 94544	28974	RUUS RD	\$694.50	\$50.00	\$744.50	\$12.66	\$757.16
20	ALICIA CARRILLO	647	BLAINE WAY	HAYWARD	CA 94544	647	BLAINE WAY	\$324.55	\$50.00	\$374.55	\$6.37	\$380.92
21	ALLEN MARY A & MICHAEL & R	21822	WESTERN BLVD	HAYWARD	CA 94541	21822	WESTERN BLVD	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
22	ALONSO JORGE L & LOPEZ MAI	1160	D ST	HAYWARD	CA 94541	1161	D ST	\$40.01	\$50.00	\$90.01	\$1.53	\$91.54
23	ALONSO JOSE	488	SYCAMORE AVE	HAYWARD	CA 94544	488	SYCAMORE AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
24	ALTURA AT GARIN HEIGHTS OW	3840	BLACKHAWK RD #	DANVILLE	CA 94506	3011	WOODTHRUSH PL	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
25	ALVARADO GERARDO & CASTEL	30492	PRESTWICK AVE	HAYWARD	CA 94544	30492	PRESTWICK AVE	\$159.92	\$50.00	\$209.92	\$3.57	\$213.49
26	ALVAREZ IRMA V	2174	FLORIDA ST	HAYWARD	CA 94545	2174	FLORIDA ST	\$557.11	\$50.00	\$607.11	\$10.32	\$617.43
27	ALVAREZ JUAN M & MARIA	490	MILLSTREAM DR	SAN LEAN	CA 94578	32203	SENECA ST	\$275.21	\$50.00	\$325.21	\$5.53	\$330.74
28	ALVAREZ SATURNINO 3RD	27410	MITCHELL PL	HAYWARD	CA 94544	27410	MITCHELL PL	\$71.17	\$50.00	\$121.17	\$2.06	\$123.23
29	ALVAREZ VICENTE V & ROSARIC	1964	SOUTHGATE ST	HAYWARD	CA 94545	1964	SOUTHGATE ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
30	AMAYAENVBO, CHARITY	27574	E 12ST	HAYWARD	CA 94544	27574	E 12TH ST	\$274.33	\$50.00	\$324.33	\$5.51	\$329.84
31	AMISON ALODIA R TRUST &/AF	3608	SISKIYOU CT	HAYWARD	CA 94542	22782	4TH ST	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
32	AMUZIE IKE T & VIVIAN U	304	ARROWHEAD WA	HAYWARD	CA 94544	304	ARROWHEAD WA	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
33	ANCELL RICHARD L & MARIA	51	TRESTLE DR	HAYWARD	CA 94544	51	TRESTLE DR	\$311.07	\$50.00	\$361.07	\$6.14	\$367.21
34	ANDEMARIAM LYDIA	3406	AUGUSTA CT	HAYWARD	CA 94542	3406	AUGUSTA CT	\$485.81	\$50.00	\$535.81	\$9.11	\$544.92
35	ANDERSON JAMES R & MARYAI	27642	CLIFFWOOD AVE	HAYWARD	CA 94545	27642	CLIFFWOOD AVE	\$324.53	\$50.00	\$374.53	\$6.37	\$380.90
36	ANDRADEQUAN ANITA	24486	PARK ST	HAYWARD	CA 94544	24486	PARK ST	\$187.68	\$50.00	\$237.68	\$4.04	\$241.72
37	ANDRE STEPHEN M & KATHLEEN	4571	MEYER PARK CIR	FREMONT	CA 94536	494	ORCHARD AVE	\$82.27	\$50.00	\$132.27	\$2.25	\$134.52
38	ANDREWS JEANNE	2795	BREAKER CIR	HAYWARD	CA 94545	2795	BREAKER CIR	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
39	ANGUIANO TOMAS V & TINA	579	BLUE JAY DR	HAYWARD	CA 94544	579	BLUE JAY DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
40	ANORA ROMEO & JOHN P	2512	MISTLETOE DR	HAYWARD	CA 94545	2512	MISTLETOE DR	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
41	ANWAR YASIR	3568	MADISON CMN	FREMONT	CA 94538	22664	7TH ST	\$34.02	\$50.00	\$84.02	\$1.43	\$85.45
42	APELE SOAKAI	26045	COLEMAN AVE	HAYWARD	CA 94544	26045	COLEMAN AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56

43	ARAGON, VICTOR	25490	FRANKLIN AVE	HAYWARD CA	94544	25490	FRANKLIN AVE	\$560.21	\$50.00	\$610.21	\$10.37	\$620.58
44	ARAIZA ERNESTO N	27964	MANDARIN AVE	HAYWARD CA	94544	27964	MANDARIN AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
45	ARAUJO RONALD S & SANDRA	1847	HIGHLAND BLVD	HAYWARD CA	94542	1847	HIGHLAND BLVD	\$81.42	\$50.00	\$131.42	\$2.23	\$133.65
46	ARELLANO VERONICA	28088	E 11TH ST	HAYWARD CA	94544	28088	E 11TH ST	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
47	ARGUETA CECILIA	23961	IDA LN	HAYWARD CA	94541	23853	IDA LN	\$336.40	\$50.00	\$386.40	\$6.57	\$392.97
48	ARGUETA CHRISTIAN & NAVARI	27072	DUFFEL PL	HAYWARD CA	94544	27072	DUFFEL PL	\$807.27	\$50.00	\$857.27	\$14.57	\$871.84
49	ARMIJO BETHANY	1387	SHERIDAN LN	HAYWARD CA	94544	1387	SHERIDAN LN	\$106.56	\$50.00	\$156.56	\$2.66	\$159.22
50	ARMIJO ERNESTO & DANIEL	982	BROADWAY ST	HAYWARD CA	94544	982	BROADWAY ST	\$150.06	\$50.00	\$200.06	\$3.40	\$203.46
51	ARMSTRONG ROGER R		PO BOX 872	SAN LEAN CA	94577	391	OCIE WAY	\$2,006.51	\$50.00	\$2,056.51	\$34.96	\$2,091.47
52	ARREOLA VERONICA	28863	BAILEY RANCH RD	HAYWARD CA	94542	28863	BAILEY RANCH RD	\$902.31	\$50.00	\$952.31	\$16.19	\$968.50
53	ARRESCURRENAGA VICTOR M &	614	LEBANON ST	HAYWARD CA	94541	614	LEBANON ST	\$217.71	\$50.00	\$267.71	\$4.55	\$272.26
54	ARROYO ANA M	1528	FOLSOM AVE	HAYWARD CA	94544	1528	FOLSOM AVE	\$537.64	\$50.00	\$587.64	\$9.99	\$597.63
55	ARROYO HECTOR	26183	ELDRIDGE AVE	HAYWARD CA	94544	26183	ELDRIDGE AVE	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
56	ARROYO SHEILA A	31329	CARROLL AVE	HAYWARD CA	94544	31329	CARROLL AVE	\$74.04	\$50.00	\$124.04	\$2.11	\$126.15
57	ATWELL CYNTHIA L	1885	CHANTILLY LN	HAYWARD CA	94541	1885	CHANTILLY LN	\$191.03	\$50.00	\$241.03	\$4.10	\$245.13
58	AULAKH JASBIR K & SINGH RAJ	27516	GRANDVIEW AVE	HAYWARD CA	94542	27516	GRANDVIEW AVE	\$491.73	\$50.00	\$541.73	\$9.21	\$550.94
59	AULT GARY & EDIE ETAL		PO BOX 6658	CONCORD CA	94524	321	C ST	\$150.26	\$50.00	\$200.26	\$3.40	\$203.66
60	AVALOS ALEJANDRA	26678	JOSHUA ST	HAYWARD CA	94544	26678	JOSHUA ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
61	AVILA YOLANDA G & JOSE G ET	25226	BELMONT AVE	HAYWARD CA	94542	25226	BELMONT AVE	\$576.43	\$50.00	\$626.43	\$10.65	\$637.08
62	AWAMBU IHEANYI & ANNA	30278	BROOKFIELD RD	HAYWARD CA	94544	30278	BROOKFIELD RD	\$96.49	\$50.00	\$146.49	\$2.49	\$148.98
63	AYALA ADAM W JR & LEATRICE	142	FAIRWAY ST	HAYWARD CA	94544	142	FAIRWAY ST	\$801.87	\$50.00	\$851.87	\$14.48	\$866.35
64	AYESH ASNED	1395	XAVIER AVE	HAYWARD CA	94545	1395	XAVIER AVE	\$300.00	\$50.00	\$350.00	\$5.95	\$355.95
65	AYUPAN GUILLERMO P & NORI	24619	SOTO RD	HAYWARD CA	94544	145	TRAYNOR ST	\$52.76	\$50.00	\$102.76	\$1.75	\$104.51
66	AZIMI ABDUL ETAL	4177	MYSTIC VIEW CT	HAYWARD CA	94542	4177	MYSTIC VIEW CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
67	BADA MOISES & TROLAN ROSE	439	B ST	HAYWARD CA	94541	439	B ST	\$252.33	\$50.00	\$302.33	\$5.14	\$307.47
68	BAHARUDIN JOHN & JOSEF K E	2234	SLEEPY HOLLOW /	HAYWARD CA	94545	2234	SLEEPY HOLLOW /	\$106.56	\$50.00	\$156.56	\$2.66	\$159.22
69	BAKER-BARRERA SUSANNA	22575	PEARL AVE	HAYWARD CA	94541	22575	PEARL AVE	\$215.23	\$50.00	\$265.23	\$4.51	\$269.74
70	BALLARD ALEXANDRIA A	25886	WESTVIEW WAY	HAYWARD CA	94542	25886	WESTVIEW WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
71	BALLESTEROS GRACE & DOMIN	706	CITY WALK PL	HAYWARD CA	94541	706	CITY WALK PL	\$453.80	\$50.00	\$503.80	\$8.56	\$512.36
72	BALTAZAR LEONARDO & RUBY	22751	4TH ST	HAYWARD CA	94541	22751	4TH ST	\$125.02	\$50.00	\$175.02	\$2.98	\$178.00
73	BALTAZAR REMY JR & MORA M	2561	OLIVER DR	HAYWARD SC	94545	2561	OLIVER DR	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
74	BAPTISTE ROBERT & KATHY L L/	209	HARRINGTON CT	ALAMO CA	94507	761	SHEPHERD AVE	\$348.29	\$50.00	\$398.29	\$6.77	\$405.06
75	BARAJAS M E EST & ARMANDO	27702	ORLANDO AVE	HAYWARD CA	94545	27702	ORLANDO AVE	\$600.00	\$50.00	\$650.00	\$11.05	\$661.05
76	BARAJAS MARIA A	27508	PONDEROSA CT	HAYWARD CA	94545	27508	PONDEROSA CT	\$232.54	\$50.00	\$282.54	\$4.80	\$287.34
77	BARAJAS NORMA J & URBINA	27745	ANDREA ST	HAYWARD CA	94544	27745	ANDREA ST	\$452.59	\$50.00	\$502.59	\$8.54	\$511.13
78	BARKER RAHSAAN C	1425	HIGHLAND BLVD	HAYWARD CA	94542	1425	HIGHLAND BLVD	\$230.16	\$50.00	\$280.16	\$4.76	\$284.92
79	BARRAZA FELIX/BARRAZA IRMA	3455	BAUMBERG AVE	HAYWARD CA	94545	3455	BAUMBERG AVE	\$161.48	\$50.00	\$211.48	\$3.60	\$215.08
80	BARRAZA, JESUS	8401	BARETTA CT	SACRAMEN CA	95828	24525	THOMAS AVE	\$61.86	\$50.00	\$111.86	\$1.90	\$113.76
81	BARTOM PROPERTIES LLC & LC	3131	BARNEY AVE	MENLO PA CA	94025	1150	W WINTON AVE	\$79.43	\$50.00	\$129.43	\$2.20	\$131.63
82	BATREZ ABEL & ABEL E	24825	MANGO ST	HAYWARD CA	94545	24825	MANGO ST	\$477.99	\$50.00	\$527.99	\$8.98	\$536.97
83	BAUL ELAINE	2745	MARKHAM CT	HAYWARD CA	94542	2745	MARKHAM CT	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
84	BAWANI NADEEM & FORZIA	100	BOARDWALK WA	HAYWARD CA	94544	100	BOARDWALK WA	\$764.19	\$50.00	\$814.19	\$13.84	\$828.03
85	BEAN MACDONALD J & CHERYL	884	WESTWOOD ST	HAYWARD CA	94544	884	WESTWOOD ST	\$177.90	\$50.00	\$227.90	\$3.87	\$231.77
86	BEASLEY GARY M	3248	GUILLERMO PL	HAYWARD CA	94542	3248	GUILLERMO PL	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
87	BECK MARION J TR	30121	VANDERBILT ST	HAYWARD CA	94544	30121	VANDERBILT ST	\$103.56	\$50.00	\$153.56	\$2.61	\$156.17
88	BEDFORD TYRONE	2380	CABRILLO DR	HAYWARD CA	94545	2380	CABRILLO DR	\$265.93	\$50.00	\$315.93	\$5.37	\$321.30
89	BEDOYA RUDOLPH & CONCEPC	83	LAFAYETTE AVE	HAYWARD CA	94544	83	LAFAYETTE AVE	\$342.48	\$50.00	\$392.48	\$6.67	\$399.15
90	BELL LEOPOLDINA & BARRAZA	24644	HEATHER CT	HAYWARD CA	94545	24644	HEATHER CT	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56

91	BELLOW LEONARD & LATANYA	27892	ADOBE CT	HAYWARD CA	94542	27892	ADOBE CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
92	BENNETT JOSEPH M & JOANNE	23639	ODOM DR	HAYWARD CA	94541	23639	ODOM DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
93	BENNETT SON JI B	27493	ORLANDO AVE	HAYWARD CA	94545	27493	ORLANDO AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
94	BERNARDINI JOSEPH/BERNARD	7414	MANCINI CT	DUBLIN CA	94568	1225	BELLINA ST	\$28.54	\$50.00	\$78.54	\$1.34	\$79.88
95	BHAKHRI ASHWANI	261	TAYLOR DR	SOUTH SAN CA	94080	27553	BAHAMA AVE	\$1,527.41	\$50.00	\$1,577.41	\$26.82	\$1,604.23
96	BHAKHRI ASHWANI K	1290	BAYSHORE HWY #	BURLINGAI CA	94010	27778	MIAMI AVE	\$780.27	\$50.00	\$830.27	\$14.11	\$844.38
97	BHAKHRI HARDEEP & ASHWANI	28435	ROCHELLE AVE	HAYWARD CA	94102	28435	ROCHELLE AVE	\$1,305.81	\$50.00	\$1,355.81	\$23.05	\$1,378.86
98	BHAKHRI SAI V	261	TAYLOR DR	S SAN FRAI CA	94080	27671	PENSACOLA WAY	\$70.45	\$50.00	\$120.45	\$2.05	\$122.50
99	BHAKHRI SAI V	6	HUNTWOOD WAY	HAYWARD CA	94544	6	HUNTWOOD WAY	\$394.97	\$50.00	\$444.97	\$7.56	\$452.53
100	BIRCO ALBERTO G & VIRGINIA	23759	STONEWALL AVE	HAYWARD CA	94541	23759	STONEWALL AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
101	BIRDELL PATRICIA & STEVE ET/	26061	UNDERWOOD AVI	HAYWARD CA	94544	26077	UNDERWOOD AV	\$54.10	\$50.00	\$104.10	\$1.77	\$105.87
102	BLACK APRIL D	24323	WILLIMET WAY	HAYWARD CA	94544	24323	WILLIMET WAY	\$485.81	\$50.00	\$535.81	\$9.11	\$544.92
103	BLOUNT JASON C & PRISCILLA	2725	BAL HARBOR LN	HAYWARD CA	94545	2725	BAL HARBOR LN	\$843.24	\$50.00	\$893.24	\$15.19	\$908.43
104	BOGGESE, JEFFERY	25454	HUNTWOOD AVE	HAYWARD CA	94544	25454	HUNTWOOD AVE	\$324.55	\$50.00	\$374.55	\$6.37	\$380.92
105	BONETE JOSE A	26888	BOCA RATON CT	HAYWARD CA	94545	26318	PETERMAN AVE	\$1,003.33	\$50.00	\$1,053.33	\$17.91	\$1,071.24
106	BONNER MARCUS P & GONZAL	2241	OCCIDENTAL RD	HAYWARD CA	94545	2241	OCCIDENTAL RD	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
107	BORRERO MARGARET D & WILL	22882	SUTRO ST	HAYWARD CA	94541	22884	SUTRO ST	\$970.63	\$50.00	\$1,020.63	\$17.35	\$1,037.98
108	BORROMEO, CHERYL	2808	OLIVER DR	HAYWARD CA	94545	2808	OLIVER DR	\$221.47	\$50.00	\$271.47	\$4.61	\$276.08
109	BOXTON CAMYLLE C & TWIGGS	194	CATERINA WAY	HAYWARD CA	94545	194	CATERINA WAY	\$210.22	\$50.00	\$260.22	\$4.42	\$264.64
110	BRABHAM MATTHEW L	444	SCHAFER RD	HAYWARD CA	94544	444	SCHAFER RD	\$305.42	\$50.00	\$355.42	\$6.04	\$361.46
111	BRASS RUBY L TR	27606	CLIFFWOOD AVE	HAYWARD CA	94545	27606	CLIFFWOOD AVE	\$255.39	\$50.00	\$305.39	\$5.19	\$310.58
112	BRIGHTON ASSOCIATES	451	JACKSON ST	SAN FRANCISCO CA	94111	25922	KAY AVE	\$217.74	\$50.00	\$267.74	\$4.55	\$272.29
113	BRIONES BERNABE D	996	PHILLIPS WAY	HAYWARD CA	94541	996	PHILLIPS WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
114	BRISENO ANTONIO & RAFAEL	27958	POMPANO AVE	HAYWARD CA	94544	27958	POMPANO AVE	\$1,286.89	\$50.00	\$1,336.89	\$22.73	\$1,359.62
115	BROWN WILLIAM J JR	18018	CASTLEWOOD CT	HAYWARD CA	94541	18018	CASTLEWOOD CT	\$308.07	\$50.00	\$358.07	\$6.09	\$364.16
116	BUENOSTRO SERVANDO Z & F	886	CALHOUN ST	HAYWARD CA	94544	393	SMALLEY AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
117	BULLOCK LETICIA M	582	CULP AVE	HAYWARD CA	94544	582	CULP AVE	\$369.72	\$50.00	\$419.72	\$7.14	\$426.86
118	BUSCHOW TROY & VALERIE	147	GOODWIN ST	HAYWARD CA	94544	147	GOODWIN ST	\$152.84	\$50.00	\$202.84	\$3.45	\$206.29
119	BUSO ROBERT A	504	SIMON ST	HAYWARD CA	94541	504	SIMON ST	\$136.24	\$50.00	\$186.24	\$3.17	\$189.41
120	BUSTAMANTE NORAI DA L	27481	WHITMAN ST	HAYWARD CA	94544	27481	WHITMAN ST	\$108.13	\$50.00	\$158.13	\$2.69	\$160.82
121	BUTLER CONSTANCE & BONNIE	932	HOTEL AVE	HAYWARD CA	94541	932	HOTEL AVE	\$363.62	\$50.00	\$413.62	\$7.03	\$420.65
122	CABALLERO MARY S	2020	DUVAL LN	HAYWARD CA	94545	2020	DUVAL LN	\$419.61	\$50.00	\$469.61	\$7.98	\$477.59
123	CABONCE ANN M & JERRY JR	321	DUTCHESS LN	HAYWARD CA	94544	321	DUTCHESS LN	\$401.43	\$50.00	\$451.43	\$7.67	\$459.10
124	CABUHAT MAILA B & DARWIN	889	LONGWOOD AVE	HAYWARD CA	94541	889	LONGWOOD AVE	\$259.63	\$50.00	\$309.63	\$5.26	\$314.89
125	CACHOLA CHANNELLE P	27643	CLIFFWOOD AVE	HAYWARD CA	94545	27643	CLIFFWOOD AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
126	CADIZ CARLOS L & WOODSCAD	27945	EDGECLIFF WAY	HAYWARD CA	94542	27945	EDGECLIFF WAY	\$1,286.89	\$50.00	\$1,336.89	\$22.73	\$1,359.62
127	CAHIGAS LEOGRACE	1287	WEST ST	HAYWARD CA	94545	1287	WEST ST	\$541.80	\$50.00	\$591.80	\$10.06	\$601.86
128	CAL GLENEAGLE DEVELOPMENT	33055	TRANSIT AVE	UNION CITY CA	94587	30975	BELLO RD	\$375.40	\$50.00	\$425.40	\$7.23	\$432.63
129	CALDERON DENNIS H & LEOPO	1633	EASTORI PL	HAYWARD CA	94545	1633	EASTORI PL	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
130	CALDERON ELEANOR	1144	TIEGEN DR	HAYWARD CA	94542	1144	TIEGEN DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
131	CALLEROS VERA L	24324	EDITH ST	HAYWARD CA	94544	24324	EDITH ST	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
132	CAMACHO JOSE & GEMA S	2233	KELLY ST	HAYWARD CA	94541	2233	KELLY ST	\$635.28	\$50.00	\$685.28	\$11.65	\$696.93
133	CAMACHO NOE H	27788	E 12TH ST	HAYWARD CA	94544	27788	E 12TH ST	\$452.59	\$50.00	\$502.59	\$8.54	\$511.13
134	CANADA RICHARD G & LEZLIE A	24843	WOODACRE AVE	HAYWARD CA	94544	24843	WOODACRE AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
135	CANO KIMBERLEE S & RAFAEL I	169	GOODWIN ST	HAYWARD CA	94544	169	GOODWIN ST	\$103.56	\$50.00	\$153.56	\$2.61	\$156.17
136	CANO MARIA L & CANOROJAS	175	OSWOSSE PL	HAYWARD CA	94544	175	OSWOSSE PL	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
137	CAO THERESA T & THERESA T	34804	BLACKSTONE WAY	FREMONT CA	94555	28283	TAHOE CT	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
138	CARBONELL ARACELI	28339	CABRINI DR	HAYWARD CA	94545	28339	CABRINI DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80

139	CARDENAS RONALD R	2874	TRIBUNE AVE	HAYWARD CA	94542	2874	TRIBUNE AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
140	CARDENAS RONALD R	400	COUNTRYWIDE W	SIMI VALLE CA	93065	2858	TRIBUNE AVE	\$508.80	\$50.00	\$558.80	\$9.50	\$568.30
141	CARDERA LINDARAE	449	DOWNEN PL	HAYWARD CA	94544	449	DOWNEN PL	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
142	CARDONA ARMANDO	1248	TIEGEN DR	HAYWARD CA	94542	1270	TIEGEN DR	\$89.13	\$50.00	\$139.13	\$2.37	\$141.50
143	CARINO ANALYN B	912	SNOWBERRY CT	HAYWARD CA	94544	912	SNOWBERRY CT	\$275.16	\$50.00	\$325.16	\$5.53	\$330.69
144	CARPIO MARIA C	984	MAJOR AVE	HAYWARD CA	94542	984	MAJOR AVE	\$338.12	\$50.00	\$388.12	\$6.60	\$394.72
145	CARRILLO FRANCISCO	27680	LA PORTE AVE	HAYWARD CA	94545	27680	LA PORTE AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
146	CARRILLO PASCUAL	26584	CHIPLAY AVE	HAYWARD CA	94545	26584	CHIPLAY AVE	\$485.81	\$50.00	\$535.81	\$9.11	\$544.92
147	CARSON TRACY	151	REVERE AVE	HAYWARD CA	94544	151	REVERE AVE	\$953.94	\$50.00	\$1,003.94	\$17.07	\$1,021.01
148	CARTER JANIS T	31564	BURNHAM WAY	HAYWARD CA	94544	31564	BURNHAM WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
149	CARTER RONNIE R	150	A ST	HAYWARD CA	94541	150	A ST	\$277.49	\$50.00	\$327.49	\$5.57	\$333.06
150	CASCO JOSELITO/CASCO MARI	23134	SAKLAN RD	HAYWARD CA	94545	23132	SAKLAN RD	\$45.50	\$50.00	\$95.50	\$1.62	\$97.12
151	CASTANEDA SIRIA ETAL	27884	HAVANA AVE	HAYWARD CA	94544	27884	HAVANA AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
152	CASTANETO ALVIN	430	DUTCHESS LN	HAYWARD CA	94544	430	DUTCHESS LN	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
153	CASTELLANOS ALMA & ALMA	22223	MONTGOMERY ST	HAYWARD CA	94541	22223	MONTGOMERY S	\$71.43	\$50.00	\$121.43	\$2.06	\$123.49
154	CASTELLANOS VICTOR D & NOI	27842	ORMOND AVE	HAYWARD CA	94544	27842	ORMOND AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
155	CASTILLO ENRIQUE & PATRICIA	25947	CASCADE ST	HAYWARD CA	94544	25947	CASCADE ST	\$77.48	\$50.00	\$127.48	\$2.17	\$129.65
156	CASTILLO LINDA & YESICA	199	OSWOSSO PL	HAYWARD CA	94544	199	OSWOSSO PL	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
157	CASTILLO PABLO & ALMA	36353	CYPRESS POINT D	NEWARK CA	94560	22259	MONTGOMERY S	\$147.72	\$50.00	\$197.72	\$3.36	\$201.08
158	CASTRO DAVID R & GLORIA D	598	MINERVA ST	HAYWARD CA	94544	598	MINERVA ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
159	CASTRO ISMAEL	1129	TIEGEN DR	HAYWARD CA	94542	1129	TIEGEN DR	\$469.20	\$50.00	\$519.20	\$8.83	\$528.03
160	CASTRO, JOSE & YESSICA	1180	WESTWOOD ST	HAYWARD CA	94544	1180	WESTWOOD ST	\$485.81	\$50.00	\$535.81	\$9.11	\$544.92
161	CELANI ROBERT A & HOBSON I	22814	KIWANIS ST	HAYWARD CA	94541	22814	KIWANIS ST	\$118.81	\$50.00	\$168.81	\$2.87	\$171.68
162	CELESTE EDGAR D & AGNES M	2615	SLEEPY HOLLOW /	HAYWARD CA	94545	2615	SLEEPY HOLLOW ,	\$442.02	\$50.00	\$492.02	\$8.36	\$500.38
163	CELLO RODERICK V	511	CARRICK CT	HAYWARD CA	94542	511	CARRICK CT	\$210.02	\$50.00	\$260.02	\$4.42	\$264.44
164	CERDA RAUL	31104	HERSHEY WAY	HAYWARD CA	94544	31104	HERSHEY WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
165	CERNIGLIA PETER J & CATHY M	1177	HURON LN	HAYWARD CA	94545	1177	HURON LN	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
166	CF PROPERTY INVESTMENTS LLC		PO BOX 225324	SAN FRANCISCO	94122	29397	DIXON ST	\$505.25	\$50.00	\$555.25	\$9.44	\$564.69
167	CHAIR, ABDELHAMID & HOURI/	26985	HAYWARD BLVD	HAYWARD CA	94542	26985	HAYWARD BLVD	\$103.56	\$50.00	\$153.56	\$2.61	\$156.17
168	CHAN, JEROME	31283	MEADOWBROOK	HAYWARD CA	94544	31283	MEADOWBROOK	\$112.86	\$50.00	\$162.86	\$2.77	\$165.63
169	CHAND DIREN & LALITA ETAL	27412	PORTSMOUTH AV	HAYWARD CA	94545	27412	PORTSMOUTH AV	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
170	CHAND KIRAN & RAMES	26692	LUVENA DR	HAYWARD CA	94544	26692	LUVENA DR	\$45.70	\$50.00	\$95.70	\$1.63	\$97.33
171	CHAND PRAVINESH/CHAND AN	29223	MARSHBROOK DR	HAYWARD CA	94545	29223	MARSHBROOK DR	\$355.15	\$50.00	\$405.15	\$6.89	\$412.04
172	CHAND RAKESH;SINGH BIR & V	27134	MANON AVE	HAYWARD CA	94544	27134	MANON AVE	\$573.43	\$50.00	\$623.43	\$10.60	\$634.03
173	CHAND SURAS	24651	SOTO RD	HAYWARD CA	94544	22667	7TH ST	\$554.01	\$50.00	\$604.01	\$10.27	\$614.28
174	CHANAY MICHAEL D TR	23805	SANTA CLARA ST	HAYWARD CA	94541	514	KIM PL	\$103.56	\$50.00	\$153.56	\$2.61	\$156.17
175	CHAO CHANTRA & TRUONG KII	29467	TAYLOR AVE	HAYWARD CA	94544	29467	TAYLOR AVE	\$285.94	\$50.00	\$335.94	\$5.71	\$341.65
176	CHAPMAN JAHMES D & JACQUI	2904	HILLCREST AVE	HAYWARD CA	94542	2904	HILLCREST AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
177	CHAPMAN JANICE L	31142	MEADOWBROOK	HAYWARD CA	94544	31142	MEADOWBROOK	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
178	CHAPPEL GLENDA C	1404	E ST	HAYWARD CA	94541	1404	E ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
179	CHARAN URMILA W & URMILA	777	POINCIANA ST	HAYWARD CA	94545	777	POINCIANA ST	\$94.53	\$50.00	\$144.53	\$2.46	\$146.99
180	CHAVEZ ANDREZ & NHUNG N	1067	SILVER MAPLE LN	HAYWARD CA	94544	1067	SILVER MAPLE LN	\$1,286.89	\$50.00	\$1,336.89	\$22.73	\$1,359.62
181	CHAVEZ HUMBERTO M	660	JANICE AVE	HAYWARD CA	94544	660	JANICE AVE	\$571.28	\$50.00	\$621.28	\$10.56	\$631.84
182	CHAVEZ LUIS E & ROSA V	4359	BUCKSKIN DR	ANTIOCH CA	94531	26660	CHIPLAY AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
183	CHAVEZ MARIA J	1210	MCBRIDE LN	HAYWARD CA	94544	1210	MCBRIDE LN	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
184	CHAVEZ RICHARD	22128	MONTGOMERY ST	HAYWARD CA	94541	22128	MONTGOMERY S	\$103.56	\$50.00	\$153.56	\$2.61	\$156.17
185	CHAVEZBAEZ BRENDA V	3058	CROMWELL PL	HAYWARD CA	94542	1166	LOVELOCK WAY	\$371.86	\$50.00	\$421.86	\$7.17	\$429.03
186	CHEN TOM Z & HUANG YAN P	4008	ALAMEDA DE LAS	SAN MATEO CA	94403	23687	RONALD LN	\$42.56	\$50.00	\$92.56	\$1.57	\$94.13

187	CHEN TOM Z & HUANG YAN P	4008	ALAMEDA DE LAS	SAN MATEO	CA	94403	24797 JOYCE ST	\$809.51	\$50.00	\$859.51	\$14.61	\$874.12
188	CHENG JOHN & CHU JOSEPHINI	24645	DIAMOND RIDGE	HAYWARD	CA	94544	24645 DIAMOND RIDGE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
189	CHENOWETH TIFFANY R	2644	NORTHERN CROS	HAYWARD	CA	94545	2644 NORTHERN CROS	\$407.73	\$50.00	\$457.73	\$7.78	\$465.51
190	CHEW CAROLYN & DONALD E	531	ERICA PL	HAYWARD	CA	94544	531 ERICA PL	\$830.32	\$50.00	\$880.32	\$14.97	\$895.29
191	CHIN HENRY S & PAULINE P	26854	GRANDVIEW AVE	HAYWARD	CA	94542	1364 C ST APT 1	\$207.12	\$50.00	\$257.12	\$4.37	\$261.49
192	CHIPRES ESMERALDA	31153	OAKHILL WAY	HAYWARD	CA	94544	31153 OAKHILL WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
193	CHO YU KYONG & AMY AWLWI	527	SYCAMORE AVE	HAYWARD	CA	94544	527 SYCAMORE AVE	\$495.02	\$50.00	\$545.02	\$9.27	\$554.29
194	CHOGA ANTONIO O & MARY	21150	NUNES AVE	CASTRO VAL	CA	94546	620 SHEPHERD AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
195	CHRISTIENSEN FAMILY TRUST 1	1534	GLENN ST	HAYWARD	CA	94544	1534 GLENN ST	\$345.74	\$50.00	\$395.74	\$6.73	\$402.47
196	CHUA ABRAHAM D	2349	CABRILLO DR	HAYWARD	CA	94545	2349 CABRILLO DR	\$227.27	\$50.00	\$277.27	\$4.71	\$281.98
197	CHUKWU EMEKA & RAHEL TRS	3243	GUILLERMO PL	HAYWARD	CA	94542	3243 GUILLERMO PL	\$41.39	\$50.00	\$91.39	\$1.55	\$92.94
198	CHUKWU EMEKA N & RAHEL TR	27656	KLAUS CT	HAYWARD	CA	94542	27656 KLAUS CT	\$113.31	\$50.00	\$163.31	\$2.78	\$166.09
199	CHUNG DAE-HO & SERENA M	24916	LUCIEN WAY	HAYWARD	CA	94546	24916 LUCIEN WAY	\$442.50	\$50.00	\$492.50	\$8.37	\$500.87
200	CHUNG KAM T & CHAN MIU YI	924	SNOWBERRY CT	HAYWARD	CA	94544	924 SNOWBERRY CT	\$85.71	\$50.00	\$135.71	\$2.31	\$138.02
201	CHUNGA JUAN C	22864	AMADOR ST	HAYWARD	CA	94541	22864 AMADOR ST	\$554.01	\$50.00	\$604.01	\$10.27	\$614.28
202	CISNEROS LUIS A	371	BURKE DR	HAYWARD	CA	94544	371 BURKE DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
203	CISNEROS MARIO	22104	PERALTA ST	HAYWARD	CA	94541	22104 PERALTA ST	\$382.32	\$50.00	\$432.32	\$7.35	\$439.67
204	CLINE IRENE E & CHARLES A JR	343	ROTARY ST	HAYWARD	CA	94541	343 ROTARY ST	\$351.43	\$50.00	\$401.43	\$6.82	\$408.25
205	COBB KAREN & GALLARDO PRI	298	JERILYNN LN	HAYWARD	CA	94541	298 JERILYNN LN	\$303.27	\$50.00	\$353.27	\$6.01	\$359.28
206	COGLEY GARY J & CLAREVA L TF	3668	OAKES DR	HAYWARD	CA	94542	3668 OAKES DR	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
207	COLE JANEVETTE	26936	ABERDEEN PL	HAYWARD	CA	94542	26936 ABERDEEN PL	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
208	COLUMBRES LOUIS P & TERESIT	27666	CALAROGA AVE	HAYWARD	CA	94545	27666 CALAROGA AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
209	COMMUNITY ENRICHMENT SER	1051	MACARTHUR BLVD	SAN LEANDRO	CA	94577	31973 OLEAN ST	\$534.11	\$50.00	\$584.11	\$9.93	\$594.04
210	CONANAN LAARNI & ESMERAL	976	CHENAULT WAY	HAYWARD	CA	94541	976 CHENAULT WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
211	CONTI THOMAS A & TERESA A	25525	DEL MAR AVE	HAYWARD	CA	94542	25525 DELMAR AVE	\$679.92	\$50.00	\$729.92	\$12.41	\$742.33
212	CONTRERAS JOSE J	699	CORRINE ST	HAYWARD	CA	94544	699 CORRINE ST	\$84.64	\$50.00	\$134.64	\$2.29	\$136.93
213	CONTRERAS JOSE L/CONTRERA	23948	SAKLAN RD	HAYWARD	CA	94545	23942 SAKLAN RD	\$554.01	\$50.00	\$604.01	\$10.27	\$614.28
214	CONTRERAS RAMON & MARIO	22256	MONTGOMERY ST	HAYWARD	CA	94541	22254 MONTGOMERY ST	\$554.01	\$50.00	\$604.01	\$10.27	\$614.28
215	COOK CLARA K TR	31423	MEADOWBROOK	HAYWARD	CA	94544	31423 MEADOWBROOK	\$90.84	\$50.00	\$140.84	\$2.39	\$143.23
216	CORBIN DONALD G & SHARON	109	MRACK RD	DANVILLE	CA	94506	2576 ERSKINE LN	\$442.02	\$50.00	\$492.02	\$8.36	\$500.38
217	CORBINS BERNARD P & RUSSEI	30074	WOODTHRUSH PL	HAYWARD	CA	94544	30074 WOODTHRUSH PL	\$578.83	\$50.00	\$628.83	\$10.69	\$639.52
218	CORIA AIDA	1091	CITRON WAY	HAYWARD	CA	94545	1091 CITRON WAY	\$241.49	\$50.00	\$291.49	\$4.96	\$296.45
219	CORTEZ LEONARDO JR & ALMA	27691	ORLANDO AVE	HAYWARD	CA	94545	27691 ORLANDO AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
220	CORTEZ RICHARD G	28463	THACKERAY AVE	HAYWARD	CA	94544	28463 THACKERAY AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
221	COSCI GENE & JOAN G	554	VAN CT	HAYWARD	CA	94544	554 VAN CT	\$332.65	\$50.00	\$382.65	\$6.51	\$389.16
222	COVARRUBIAS CARLOS	24625	THOMAS AVE	HAYWARD	CA	94544	24625 THOMAS AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
223	CRADDICK DEBORA	22629	ZABALLOS CT	HAYWARD	CA	94541	22629 ZABALLOS CT	\$841.15	\$50.00	\$891.15	\$15.15	\$906.30
224	CRAWFORD JOANN L TR		PO BOX 2915	CASTRO VAL	CA	94546	364 SMALLEY AVE	\$283.66	\$50.00	\$333.66	\$5.67	\$339.33
225	CRUSER TIMOTHY O & DEBRA L	26641	LUVENA DR	HAYWARD	CA	94544	26641 LUVENA DR	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
226	CRUZ CARLOS A	190	GOODRICH ST	HAYWARD	CA	94544	190 GOODRICH ST	\$268.20	\$50.00	\$318.20	\$5.41	\$323.61
227	CRUZ GLORIA A & HERBERT GLC	235	VALLE VISTA AVE	HAYWARD	CA	94544	235 VALLE VISTA AVE	\$1,002.86	\$50.00	\$1,052.86	\$17.90	\$1,070.76
228	CRUZ JAIME M & ZENAIDA M	17089	VIA DEL REY	SAN LORENZO	CA	94580	24123 CLINTON CT	\$103.56	\$50.00	\$153.56	\$2.61	\$156.17
229	CUEVAS HECTOR C & VILLANUE	30587	MIDLOTHIAN WA	HAYWARD	CA	94544	30587 MIDLOTHIAN WA	\$206.06	\$50.00	\$256.06	\$4.35	\$260.41
230	CURA CRESENCIO E & CHRISTO	1868	CATALPA WAY	HAYWARD	CA	94545	1868 CATALPA WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
231	CUTLER STEVEN M	473	SCHAFER RD	HAYWARD	CA	94544	473 SCHAFER RD	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
232	CZARNECKI THEODORE S HEIRS	27538	MIAMI AVE	HAYWARD	CA	94545	27538 MIAMI AVE	\$93.83	\$50.00	\$143.83	\$2.45	\$146.28
233	DAGNOLO VICTOR	2025	14TH AVE	SAN FRANCISCO	CA	94116	343 LAUREL AVE	\$437.49	\$50.00	\$487.49	\$8.29	\$495.78
234	DALLABETTA PETER J & THACHD	22202	PROSPECT ST	HAYWARD	CA	94541	22202 PROSPECT ST	\$103.56	\$50.00	\$153.56	\$2.61	\$156.17

235	DANIELS MARLENE R	10143	N YORKSHIRE CT	HIGHLAND UT	84003	27853	CORONADO WAY	\$131.76	\$50.00	\$181.76	\$3.09	\$184.85
236	DATT SUNIL & KAMLESH	1833	N 685 W	WEST BOUI UT	84087	28830	LOGAN WAY	\$81.64	\$50.00	\$131.64	\$2.24	\$133.88
237	DAVALOS JESSE J	2518	LANCASTER CT	HAYWARD CA	94542	2518	LANCASTER CT	\$452.59	\$50.00	\$502.59	\$8.54	\$511.13
238	DAVID WILFRIDO R & ELIZABETI	29782	CHANCE ST	HAYWARD CA	94544	29782	CHANCE ST	\$210.22	\$50.00	\$260.22	\$4.42	\$264.64
239	DAVIS ELSA C	328	WILLIAMS WAY	HAYWARD CA	94541	328	WILLIAMS WAY	\$131.33	\$50.00	\$181.33	\$3.08	\$184.41
240	DAVIS JIM J & RONA B	25809	BRYN MAWR AVE	HAYWARD CA	94542	25809	BRYN MAWR AVE	\$445.86	\$50.00	\$495.86	\$8.43	\$504.29
241	DE LEON AQUINO MICHELLE N	25235	DEL MAR AVE	HAYWARD CA	94542	25235	DEL MAR AVE	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
242	DEAN SALITA L & SHAREEZA L	2410	HIBISCUS DR	HAYWARD CA	94545	2410	HIBISCUS DR	\$30.53	\$50.00	\$80.53	\$1.37	\$81.90
243	DEANDA ANITA H & AUGUSTIN	389	MEEK AVE	HAYWARD CA	94541	389	MEEK AVE	\$764.19	\$50.00	\$814.19	\$13.84	\$828.03
244	DEAVILA JOHN	25583	SPRING DR	HAYWARD CA	94542	25583	SPRING DR	\$71.68	\$50.00	\$121.68	\$2.07	\$123.75
245	DEGUZMAN EDWARD & GLADYS	25651	LEWIS DR	HAYWARD CA	94544	25651	LEWIS DR	\$60.84	\$50.00	\$110.84	\$1.88	\$112.72
246	DEITRICK RICHARD S TR		PO BOX 2248	CASTRO V/ CA	94546	853	LONGWOOD AVE	\$48.76	\$50.00	\$98.76	\$1.68	\$100.44
247	DEKIDOS DENNIS P & HELEN C	22637	6TH ST	HAYWARD CA	94541	22637	6TH ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
248	DEL RIO PAULINA J	27750	FALLEN LEAF CT	HAYWARD CA	94542	27750	FALLEN LEAF CT	\$417.61	\$50.00	\$467.61	\$7.95	\$475.56
249	DELACRUZ ERLINDA & JOSELITO	28237	CAPITOLA ST	HAYWARD CA	94545	28237	CAPITOLA ST	\$570.69	\$50.00	\$620.69	\$10.55	\$631.24
250	DELACRUZ JUVENTINO M & GU	461	URBANO AVE	HAYWARD CA	94544	461	URBANO AVE	\$769.97	\$50.00	\$819.97	\$13.94	\$833.91
251	DELACRUZ ROY	2494	OLIVER DR	HAYWARD CA	94545	2494	OLIVER DR	\$85.24	\$50.00	\$135.24	\$2.30	\$137.54
252	DELCASTILLO ALBERT B & EUFRI	27677	POMPANO AVE	HAYWARD CA	94544	27677	POMPANO AVE	\$72.84	\$50.00	\$122.84	\$2.09	\$124.93
253	DELCASTILLO ANTONIA B HEIRS	27721	POMPANO AVE	HAYWARD CA	94544	27721	POMPANO AVE	\$274.33	\$50.00	\$324.33	\$5.51	\$329.84
254	DELEON MARIA V	27524	PONDEROSA CT	HAYWARD CA	94545	27524	PONDEROSA CT	\$351.43	\$50.00	\$401.43	\$6.82	\$408.25
255	DELGADILLO JOSEFINA & RUIZ J	28297	CARDINAL ST	HAYWARD CA	94545	28297	CARDINAL ST	\$507.27	\$50.00	\$557.27	\$9.47	\$566.74
256	DELROSARIO MA N & NEMESIC	26642	JOSHUA ST	HAYWARD CA	94544	26642	JOSHUA ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
257	DELUZ JAMES V & MARIA D	4270	N LIVERMORE AV	LIVERMOR CA	94551	1043	DEVON DR	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
258	DEMAR JOAN & DOROTHY & HI	32159	MISSION BLVD	HAYWARD CA	94544	32159	MISSION BLVD	\$57.54	\$50.00	\$107.54	\$1.83	\$109.37
259	DEMARTY CARLOS JR	157	NEWTON ST	HAYWARD CA	94544	157	NEWTON ST	\$240.49	\$50.00	\$290.49	\$4.94	\$295.43
260	DEMIGUEL MIKE	15508	E 14TH ST	SAN LEANI CA	94578	226	B ST	\$1,004.73	\$50.00	\$1,054.73	\$17.93	\$1,072.66
261	DERE JOSEPH W & DERE WINNI	34637	WINSLOW TER	FREMONT CA	94555	1134	LOVELOCK WAY	\$213.28	\$50.00	\$263.28	\$4.48	\$267.76
262	DESATURINO MARIA L	562	SIMON ST	HAYWARD CA	94541	562	SIMON ST	\$36.54	\$50.00	\$86.54	\$1.47	\$88.01
263	DESILVA JAMES E	18049	COLUMBIA DR	CASTRO V/ CA	94552	2527	W WINTON AVE	\$252.97	\$50.00	\$302.97	\$5.15	\$308.12
264	DEVI MONIKA & ALI ZAHEED	793	CINNAMON CT	HAYWARD CA	94544	793	CINNAMON CT	\$334.98	\$50.00	\$384.98	\$6.54	\$391.52
265	DHA ONKAR & DOSANJH NARII	320	WINTON AVE	HAYWARD CA	94544	320	WINTON AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
266	DHAM, VIKRAM & SAPRA, SHEF	25066	DANIA LN	HAYWARD CA	94545	25066	DANIA LN	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
267	DHILLON SARBJIT	2404	CIVIC AVE	HAYWARD CA	94542	2404	CIVIC AVE	\$485.81	\$50.00	\$535.81	\$9.11	\$544.92
268	DIAZ ARTURO M	28133	E 11TH ST	HAYWARD CA	94544	28133	E 11TH ST	\$397.04	\$50.00	\$447.04	\$7.60	\$454.64
269	DILLARD RAY & SYBIL	25240	MONTE VISTA DR	HAYWARD CA	94545	23665	FULLER AVE	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
270	DILLEY JASON & HARA	2450	HIBISCUS DR	HAYWARD CA	94545	2450	HIBISCUS DR	\$896.70	\$50.00	\$946.70	\$16.09	\$962.79
271	DIMALANTA MARLON & ZURIT	28315	MUSTANG DR	HAYWARD CA	94545	28315	MUSTANG DR	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
272	DING YUAN	30279	BROOKFIELD RD	HAYWARD CA	94544	30279	BROOKFIELD RD	\$106.56	\$50.00	\$156.56	\$2.66	\$159.22
273	DIXIT ANOOP K & VINITA	39819	SAN MORENO CT	FREMONT CA	94539	26210	PARKSIDE DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
274	DIXIT ANOOP K & VINITA TRS	39819	SAN MORENO CT	FREMONT CA	94539	27504	ORLANDO AVE	\$466.19	\$50.00	\$516.19	\$8.78	\$524.97
275	DIXIT SANJEEV & SOWJANYA	2238	WESTON DR	SAN JOSE CA	95130	25279	IRONWOOD CT	\$449.57	\$50.00	\$499.57	\$8.49	\$508.06
276	DIXIT SANJEEV & SOWJANYA TR	2238	WESTON DR	SAN JOSE CA	95130	28074	E 10TH ST	\$880.32	\$50.00	\$930.32	\$15.82	\$946.14
277	DIZON SENEN B	24782	PAPAYA ST	HAYWARD CA	94545	24782	PAPAYA ST	\$1,177.54	\$50.00	\$1,227.54	\$20.87	\$1,248.41
278	DODD D I	350	CARSON DR	HAYWARD CA	94544	350	CARSON DR	\$1,156.43	\$50.00	\$1,206.43	\$20.51	\$1,226.94
279	DODGE LUCY	921	SNOWBERRY CT	HAYWARD CA	94544	921	SNOWBERRY CT	\$50.00	\$50.00	\$100.00	\$1.70	\$101.70
280	DOMINGUEZ SUSAN D & CHRIS	2503	E 21ST ST #204	SIGNAL HIL CA	90755	24020	JANSSEN CT	\$479.21	\$50.00	\$529.21	\$9.00	\$538.21
281	DRAMMEH ISSA & FALL LALLA	2473	CABRILLO DR	HAYWARD CA	94545	2473	CABRILLO DR	\$269.30	\$50.00	\$319.30	\$5.43	\$324.73
282	DUARTE FRANCISCO A & BANY	27810	ORLANDO AVE	HAYWARD CA	94545	27810	ORLANDO AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80

283	DUPES EMILIA & WILLIAM	26849	CALAROGA AVE	HAYWARD CA	94545	26849	CALAROGA AVE	\$290.33	\$50.00	\$340.33	\$5.79	\$346.12
284	ECHEVERRIA JOSE A & MARIA A	26105	REGAL AVE	HAYWARD CA	94544	26105	REGAL AVE	\$982.38	\$50.00	\$1,032.38	\$17.55	\$1,049.93
285	EDMONSON KARL K	2974	SANDPOINT CT	SAN JOSE CA	95148	24679	ONEIL AVE	\$1,003.33	\$50.00	\$1,053.33	\$17.91	\$1,071.24
286	EDWARDS REGINALD E	22706	ATHERTON ST	HAYWARD CA	94541	22706	ATHERTON ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
287	EKEJIUBA UZOMA		PO BOX 3863	HAYWARD CA	94540	461	LARCHMONT ST	\$773.90	\$50.00	\$823.90	\$14.01	\$837.91
288	ELDRIDGE LORI J	1462	HIGHLAND BLVD	HAYWARD CA	94542	1462	HIGHLAND BLVD	\$477.31	\$50.00	\$527.31	\$8.96	\$536.27
289	ELLIS GARY & KAREN	916	COLLINS CT	HAYWARD CA	94544	916	COLLINS CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
290	ELONE SIUA P	27922	POMPANO AVE	HAYWARD CA	94544	27922	POMPANO AVE	\$125.51	\$50.00	\$175.51	\$2.98	\$178.49
291	ELONE SIUA P & TUPOU TAKIV	28686	ROANOKE ST	HAYWARD CA	94544	28686	ROANOKE ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
292	EMRAN SAYED N	3309	ROUND HILL DR	HAYWARD CA	94542	3309	ROUND HILL DR	\$469.20	\$50.00	\$519.20	\$8.83	\$528.03
293	ENCINAS JOHN A	91	LANCE WAY	HAYWARD CA	94544	91	LANCE WAY	\$315.89	\$50.00	\$365.89	\$6.22	\$372.11
294	ENDERLIN AUGUST IV & LINDA	104	LAFAYETTE AVE	HAYWARD CA	94544	104	LAFAYETTE AVE	\$177.00	\$50.00	\$227.00	\$3.86	\$230.86
295	ENRIQUEZ JOSEPH M	29895	CHANCE ST	HAYWARD CA	94544	29895	CHANCE ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
296	ERBEN EBERHARD O TR	5072	ROYAL PALM DR	FREMONT CA	94538	32361	UTICA ST	\$300.00	\$50.00	\$350.00	\$5.95	\$355.95
297	ESCARREOLA ISIDRO & ANA	1857	FLORIDA ST	HAYWARD CA	94545	1857	FLORIDA ST	\$149.84	\$50.00	\$199.84	\$3.40	\$203.24
298	ESCOBAR MANOLO E	1076	SUMATRA ST	HAYWARD CA	94544	1076	SUMATRA ST	\$299.06	\$50.00	\$349.06	\$5.93	\$354.99
299	ESGUERRA EVAN & MELISSA	541	CALEB PL	HAYWARD CA	94544	541	CALEB PL	\$144.02	\$50.00	\$194.02	\$3.30	\$197.32
300	ESPINOLA WILLIAM A	459	OLIVE ST	SAN LEAN CA	94578	24931	CARLOS BEE BLVD	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
301	ESPINOSA JOSE J & BLANDINA	864	SAINT BEDE LN	HAYWARD CA	94544	864	ST BEDE LN	\$602.55	\$50.00	\$652.55	\$11.09	\$663.64
302	ESPINOZA FRANCISCO & VALE	28293	CAPITOLA ST	HAYWARD CA	94545	28293	CAPITOLA ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
303	ESPINOZA GILBERT A 3RD & SH	714	BERYL PL	HAYWARD CA	94544	714	BERYL PL	\$764.19	\$50.00	\$814.19	\$13.84	\$828.03
304	ESPINOZA MARIA E	744	DOUGLAS ST	HAYWARD CA	94544	744	DOUGLAS ST	\$143.19	\$50.00	\$193.19	\$3.28	\$196.47
305	ESPINOZA NANCY	22337	PERALTA ST	HAYWARD CA	94541	22337	PERALTA ST	\$111.54	\$50.00	\$161.54	\$2.75	\$164.29
306	ESTRELLA LEO B & BECERRA GU	25161	SOTO RD	HAYWARD CA	94544	25161	SOTO RD	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
307	EVANS JUANITA	29983	VANDERBILT ST	HAYWARD CA	94544	29983	VANDERBILT ST	\$686.41	\$50.00	\$736.41	\$12.52	\$748.93
308	FACUNDO LEWIS	25085	SILVERTHORNE PL	HAYWARD CA	94544	25085	SILVERTHORNE PI	\$261.65	\$50.00	\$311.65	\$5.30	\$316.95
309	FADDEN CHRISTOPHER & CARO	727	WIDGEON ST	FOSTER CIT CA	94404	1247	RIEGER AVE	\$111.31	\$50.00	\$161.31	\$2.74	\$164.05
310	FAGGIOLLY JUDAS JR & EDITH &	23951	CLAWITER RD	HAYWARD CA	94545	23951	CLAWITER RD	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
311	FAJARDO NELSON	23212	SAKLAN RD	HAYWARD CA	94545	23212	SAKLAN RD	\$310.66	\$50.00	\$360.66	\$6.13	\$366.79
312	FALLA SAMANTHA M	579	MARDIE ST	HAYWARD CA	94544	579	MARDIE ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
313	FARIAS CAROLINA & RALPH R	25499	BELMONT AVE	HAYWARD CA	94542	25499	BELMONT AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
314	FARRIS JOANNA	911	HELLYER AVE	SAN JOSE CA	95111	30077	VANDERBILT ST	\$47.72	\$50.00	\$97.72	\$1.66	\$99.38
315	FEDERMAN ELIEZER & RACHEL	24261	MONUMENT BLVD	HAYWARD CA	94545	24261	MONUMENT BLVD	\$76.16	\$50.00	\$126.16	\$2.14	\$128.30
316	FELDER OMAR X & TERESA R	69	FERNRIDGE CT	HAYWARD CA	94544	69	FERNRIDGE CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
317	FELDMAN CINDY	85	MIDDLETON PL	HAYWARD CA	94544	85	MIDDLETON PL	\$836.97	\$50.00	\$886.97	\$15.08	\$902.05
318	FENG CHANGYI & XIE YUST	987	WESTGARD ST	UNION CIT CA	94587	26151	FOUNT WAY	\$452.59	\$50.00	\$502.59	\$8.54	\$511.13
319	FENG XIUPING	26720	PATRICK AVE	HAYWARD CA	94544	26720	PATRICK AVE	\$554.01	\$50.00	\$604.01	\$10.27	\$614.28
320	FERNANDEZ CARLOS	25950	ELDRIDGE AVE	HAYWARD CA	94544	25950	ELDRIDGE AVE	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
321	FERREIRA NICANDRA ETAL	27410	TYRRELL AVE	HAYWARD CA	94544	27410	TYRRELL AVE	\$1,259.86	\$50.00	\$1,309.86	\$22.27	\$1,332.13
322	FIANDOR MIKE	25129	PLEASANT WALK	HAYWARD CA	94544	25129	PLEASANT WAY	\$128.88	\$50.00	\$178.88	\$3.04	\$181.92
323	FIGUEROALopez JORGE & FIGUI	31332	BURNHAM WAY	HAYWARD CA	94544	31332	BURNHAM WAY	\$1,003.33	\$50.00	\$1,053.33	\$17.91	\$1,071.24
324	FIHAKI EFALAME L & MOHUTAL	27376	CAPRI AVE	HAYWARD CA	94545	27376	CAPRI AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
325	FINAU MOLI & TAKAPU LOISI	24742	BROADMORE AVE	HAYWARD CA	94544	24742	BROADMORE AVI	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
326	FITCH VIRGINIA F	2643	OCALA ST	HAYWARD CA	94545	2643	OCALA ST	\$324.53	\$50.00	\$374.53	\$6.37	\$380.90
327	FITZPATRICK LAWRENCE M	25767	FRANKLIN AVE	HAYWARD CA	94544	25767	FRANKLIN AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
328	FITZPATRICK NATALIA J TRUST	25767	FRANKLIN AVE	HAYWARD CA	94544	25645	FRANKLIN AVE	\$213.32	\$50.00	\$263.32	\$4.48	\$267.80
329	FITZPATRICK PAUL N	25531	FRANKLIN AVE	HAYWARD CA	94544	25531	FRANKLIN AVE	\$410.97	\$50.00	\$460.97	\$7.84	\$468.81
330	FLITTER ROSA L TR	834	WESTWOOD ST	HAYWARD CA	94544	834	WESTWOOD ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56



331	FLORES WILFREDO E	32164	CARROLL AVE	HAYWARD CA	94544	32164	CARROLL AVE	\$200.00	\$50.00	\$250.00	\$4.25	\$254.25
332	FLYTE MARILYN J	28016	WHITESTONE CT	HAYWARD CA	94542	28016	WHITESTONE CT	\$413.78	\$50.00	\$463.78	\$7.88	\$471.66
333	FONTANAGARCIA MICHELLE	32023	KENNET ST	HAYWARD CA	94544	32023	KENNET ST	\$166.09	\$50.00	\$216.09	\$3.67	\$219.76
334	FORNI ALFREDO	27665	PENSACOLA WAY	HAYWARD CA	94544	27665	PENSACOLA WAY	\$135.08	\$50.00	\$185.08	\$3.15	\$188.23
335	FRANCK PAUL J	22303	PERALTA ST	HAYWARD CA	94541	22303	PERALTA ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
336	FRANCO RICHARD M & JACKLY	2009	JUBILEE DR	HAYWARD CA	94541	2009	JUBILEE DR	\$108.54	\$50.00	\$158.54	\$2.70	\$161.24
337	FREEBERG MELANIE & GARCIA	31539	BURNHAM WAY	HAYWARD CA	94544	31539	BURNHAM WAY	\$247.36	\$50.00	\$297.36	\$5.06	\$302.42
338	FUENTES ARTURO L & JOSEFINA	24237	ALICE ST	HAYWARD CA	94544	24237	ALICE ST	\$190.49	\$50.00	\$240.49	\$4.09	\$244.58
339	FUMAR YOLANDA C	26369	REGAL AVE	HAYWARD CA	94544	26369	REGAL AVE	\$23.05	\$50.00	\$73.05	\$1.24	\$74.29
340	FURMANOV YURY	28049	THORUP LN	HAYWARD CA	94542	28049	THORUP LN	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
341	FURMANOV YURY	1164	TIEGEN DR	HAYWARD CA	94542	1168	TIEGEN DR	\$1,558.82	\$50.00	\$1,608.82	\$27.35	\$1,636.17
342	GAGNET RONALD W	2709	OCALA ST	HAYWARD CA	94545	2709	OCALA ST	\$514.19	\$50.00	\$564.19	\$9.59	\$573.78
343	GALLEGOS CHRISTOPHER D	221	VIRGINIA ST	HAYWARD CA	94544	221	VIRGINIA ST	\$1,146.86	\$50.00	\$1,196.86	\$20.35	\$1,217.21
344	GALLEGOS SALLY & SANDOVAL	26477	MOCKINGBIRD LN	HAYWARD CA	94544	26477	MOCKINGBIRD LN	\$508.80	\$50.00	\$558.80	\$9.50	\$568.30
345	GALVAN JUAN J & MARIA L	323	COPPERFIELD AVE	HAYWARD CA	94544	323	COPPERFIELD AVE	\$468.76	\$50.00	\$518.76	\$8.82	\$527.58
346	GALVAN, JUAN	2528	21ST AVE	OAKLAND CA	94606	26528	HICKORY AVE	\$838.51	\$50.00	\$888.51	\$15.10	\$903.61
347	GANAL PRISCILIO R & JOSIE	318	BROOKVIEW WAY	HAYWARD CA	94544	318	BROOKVIEW WAY	\$100.00	\$50.00	\$150.00	\$2.55	\$152.55
348	GARCIA RICEL D & DOTIMAS EL	25445	HUNTWOOD AVE	HAYWARD CA	94544	25445	HUNTWOOD AVE	\$217.97	\$50.00	\$267.97	\$4.56	\$272.53
349	GARCIA VERONIA M & GUERRE	176	ISABELLA ST	HAYWARD CA	94544	176	ISABELLA ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
350	GARCIA VICTOR M & VANESSA	2566	BRADFORD AVE	HAYWARD CA	94545	2566	BRADFORD AVE	\$200.00	\$50.00	\$250.00	\$4.25	\$254.25
351	GARIETZ WALLACE R JR	945	BROADWAY ST	HAYWARD CA	94544	945	BROADWAY ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
352	GARIETZ WALLACE R SR & VICTI	921	BROADWAY ST	HAYWARD CA	94544	921	BROADWAY ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
353	GARINGAN CESAR C & FELICIDA	32084	CHICOINE AVE	HAYWARD CA	94544	32084	CHICOINE AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
354	GARRETT SHAWN SR & ELECIA	26217	MOCINE AVE	HAYWARD CA	94544	26217	MOCINE AVE	\$878.75	\$50.00	\$928.75	\$15.79	\$944.54
355	GATAN ROSALIA C & JEAN C	24483	PLUMMER CT	HAYWARD CA	94545	24483	PLUMMER CT	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
356	GATCHALLAN EDWARD L & LISA	2613	BAL HARBOR LN	HAYWARD CA	94545	2613	BAL HARBOR LN	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
357	GAUTHIER NORA & PAUL	2133	BOCA RATON ST	HAYWARD CA	94545	2133	BOCA RATON ST	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
358	GAYLE FAMILY TRUST	2443	LANCASTER CT	HAYWARD CA	94542	2443	LANCASTER CT	\$565.12	\$50.00	\$615.12	\$10.46	\$625.58
359	GE GEORGE X	5577	MAGNOLIA TER	FREMONT CA	94541	22742	7TH ST	\$573.43	\$50.00	\$623.43	\$10.60	\$634.03
360	GEORGE REGINALD	3629	SEABREEZE CT	HAYWARD CA	94542	3629	SEABREEZE CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
361	GERDTS ANISSA	226	GOODRICH ST	HAYWARD CA	94544	226	GOODRICH ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
362	GHATALA, ZEHRA & AMIN, AHM	26149	ADRIAN AVE	HAYWARD CA	94545	26149	ADRIAN AVE	\$55.26	\$50.00	\$105.26	\$1.79	\$107.05
363	GHOTRA AMANPREET S	2113	ELDERBERRY DR	SAN RAMO CA	94582	29249	LASSEN ST	\$190.05	\$50.00	\$240.05	\$4.08	\$244.13
364	GILL INDERJIT & SARUP SURESH	3610	SONIA VIEW CT	HAYWARD CA	94542	1307	HIGHLAND BLVD	\$479.06	\$50.00	\$529.06	\$8.99	\$538.05
365	GILMORE RICHARD A	22738	SOUZA CT	HAYWARD CA	94541	22738	SOUZA CT	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
366	GIPSON KYLE M & TITA A	31148	OAKHILL WAY	HAYWARD CA	94544	31148	OAKHILL WAY	\$453.83	\$50.00	\$503.83	\$8.57	\$512.40
367	GIRON FRANCISCO ETAL	267	EDWIN WAY	HAYWARD CA	94544	267	EDWIN WAY	\$563.91	\$50.00	\$613.91	\$10.44	\$624.35
368	GITAHY MARY M	22893	KINGSFORD WAY	HAYWARD CA	94541	22893	KINGSFORD WAY	\$86.24	\$50.00	\$136.24	\$2.32	\$138.56
369	GLORIA ANDREI F & ELA C	279	EBONY WAY	HAYWARD CA	94544	279	EBONY WAY	\$478.26	\$50.00	\$528.26	\$8.98	\$537.24
370	GO MARIE E	1435	ROOSEVELT AVE	HAYWARD CA	94544	1435	ROOSEVELT AVE	\$517.82	\$50.00	\$567.82	\$9.65	\$577.47
371	GOCE BERNADETTE	321	ARROWHEAD WAY	HAYWARD CA	94544	321	ARROWHEAD WAY	\$308.54	\$50.00	\$358.54	\$6.10	\$364.64
372	GOCO CYNTHIA M & NAKAR C	27935	MIAMI AVE	HAYWARD CA	94545	27935	MIAMI AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
373	GOGRI MAHESH	46297	RAINDANCE RD	FREMONT CA	94539	22646	MISSION BLVD	\$554.01	\$50.00	\$604.01	\$10.27	\$614.28
374	GOMEZ ALMA & LOMELI JESUS	26885	PATRICK AVE	HAYWARD CA	94544	26885	PATRICK AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
375	GOMEZ DENISE D & VINCENT E	2535	OAKES DR	HAYWARD CA	94542	2535	OAKES DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
376	GONSALVES TINA T & JOSEPH J	27494	LA PORTE AVE	HAYWARD CA	94545	27494	LA PORTE AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
377	GONZALES ALBERT & ROBERTA	24516	SYBIL AVE	HAYWARD CA	94542	24516	SYBIL AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
378	GONZALEZ ALBERTO R & RAMC	27770	MANDARIN AVE	HAYWARD CA	94544	27770	MANDARIN AVE	\$880.53	\$50.00	\$930.53	\$15.82	\$946.35

379	GONZALEZ CAMILO	26423	HUNTWOOD AVE	HAYWARD CA	94544	26423	HUNTWOOD AVE	\$84.60	\$50.00	\$134.60	\$2.29	\$136.89
380	GONZALEZ DELMI P & MARTIN	27822	ORLANDO AVE	HAYWARD CA	94545	27822	ORLANDO AVE	\$200.91	\$50.00	\$250.91	\$4.27	\$255.18
381	GONZALEZ EFRAIN & RAFAELA	218	GOODWIN ST	HAYWARD CA	94544	218	GOODWIN ST	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
382	GONZALEZ ERNESTINE	26085	ELDRIDGE AVE	HAYWARD CA	94544	26085	ELDRIDGE AVE	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
383	GONZALEZ ERNESTO	234	VIRGINIA ST	HAYWARD CA	94544	234	VIRGINIA ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
384	GONZALEZ FELIX & TERESA C	823	GREEN AVE	SAN BRUN CA	94066	26741	CLARKFORD ST	\$201.10	\$50.00	\$251.10	\$4.27	\$255.37
385	GONZALEZ JOE D & GUADALUPE	31953	POTSDAM ST	HAYWARD CA	94544	31953	POTSDAM ST	\$53.70	\$50.00	\$103.70	\$1.76	\$105.46
386	GONZALEZ JOSE A & GONZLAEZ	22232	WESTERN BLVD	HAYWARD CA	94541	22232	WESTERN BLVD	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
387	GONZALEZ ROBERTO	236	RIDGEWAY RD	HILLSBORC CA	94010	26092	DODGE AVE	\$65.28	\$50.00	\$115.28	\$1.96	\$117.24
388	GORDON LURDYS M	1980	BAMBOO CT	HAYWARD CA	94545	1980	BAMBOO CT	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
389	GOUTAMA BUDIMAN D & MEG	7465	INVERNESS ST	SAN RAMC CA	94583	988	JOLEEN CT	\$106.66	\$50.00	\$156.66	\$2.66	\$159.32
390	GOWER JOAN/GOWER ROYAL	21678	MONTGOMERY ST	HAYWARD CA	94541	21678	MONTGOMERY S	\$496.51	\$50.00	\$546.51	\$9.29	\$555.80
391	GRAFTON LEWIS E	1959	SWIFT CT	HAYWARD CA	94545	1959	SWIFT CT	\$587.07	\$50.00	\$637.07	\$10.83	\$647.90
392	GRANGER MERCEDES & MIER S	1116	HOLMES WAY	HAYWARD CA	94541	1116	HOLMES WAY	\$1,286.89	\$50.00	\$1,336.89	\$22.73	\$1,359.62
393	GRAVES JOHN H JR & JOHN H JI	27828	E 15TH ST	HAYWARD CA	94544	27828	E 15TH ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
394	GREGORIO SHEILA V	27750	DEL NORTE CT	HAYWARD CA	94545	27750	DEL NORTE CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
395	GRISHAM SHANNON & BEVERL	27022	GRANDVIEW AVE	HAYWARD CA	94542	27022	GRANDVIEW AVE	\$764.19	\$50.00	\$814.19	\$13.84	\$828.03
396	GU, SHUO	181	BRIARWOOD DR	HAYWARD CA	94544	181	BRIARWOOD DR	\$135.38	\$50.00	\$185.38	\$3.15	\$188.53
397	GUADALUPE RODERICK W	582	MINERVA ST	HAYWARD CA	94544	582	MINERVA ST	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
398	GUERRERO JESUS E & HURTADO	26514	FLAMINGO AVE	HAYWARD CA	94544	26514	FLAMINGO AVE	\$207.12	\$50.00	\$257.12	\$4.37	\$261.49
399	GUEVARA, JOSE & MARIA	22279	MONTGOMERY ST	HAYWARD CA	94541	22279	MONTGOMERY S	\$118.89	\$50.00	\$168.89	\$2.87	\$171.76
400	GUIJARRO HUGO ETAL	27537	DECATUR WAY	HAYWARD CA	94545	27537	DECATUR WAY	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
401	GUTIERREZ GUADALUPE/ORTIZ Y	657	CARMAR ST	HAYWARD CA	94544	657	CARMAR ST	\$905.28	\$50.00	\$955.28	\$16.24	\$971.52
402	GUTIERREZ KATHIE A & JUAN C	26585	FLAMINGO AVE	HAYWARD CA	94544	26585	FLAMINGO AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
403	GUTIERREZ MANUEL & ESPERAN	32208	SENECA ST	HAYWARD CA	94544	32208	SENECA ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
404	GUZMAN JOSE T & ROMELIA S	675	FIESTA PL	HAYWARD CA	94544	675	FIESTA PL	\$592.30	\$50.00	\$642.30	\$10.92	\$653.22
405	GUZMAN LEOPOLDO A	27737	MIAMI AVE	HAYWARD CA	94545	27737	MIAMI AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
406	HADI HAIDAR	31023	OAKHILL WAY	HAYWARD CA	94544	617	QUINCY WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
407	HAHN CRAIG R & DARLA J		PO BOX 526	SAN LOREI CA	95223	26043	EASTMAN CT	\$214.22	\$50.00	\$264.22	\$4.49	\$268.71
408	HAILE ERIN R	30675	VANDERBILT ST	HAYWARD CA	94544	30675	VANDERBILT ST	\$447.88	\$50.00	\$497.88	\$8.46	\$506.34
409	HALLISEY SEAN	25970	CASCADE ST	HAYWARD CA	94544	25970	CASCADE ST	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
410	HAMID HEDAYAT U	28200	CAPITOLA ST	HAYWARD CA	94545	28200	CAPITOLA ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
411	HAMPTON RICHARD TR	31855	VERIL WAY	HAYWARD CA	94544	31855	VERIL WAY	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
412	HANSEN CHARLES D & MITCHEL	27713	PENSACOLA WAY	HAYWARD CA	94544	27713	PENSACOLA WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
413	HANSEN LAWRENCE D & DIANE	1486	ROOSEVELT AVE	HAYWARD CA	94544	1486	ROOSEVELT AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
414	HANSON ODELL	1442	LYTELLE ST	HAYWARD CA	94544	1442	LYTELLE ST	\$64.09	\$50.00	\$114.09	\$1.94	\$116.03
415	HAQUE, SIED	3220	CONTRERAS PL	HAYWARD CA	94542	3220	CONTRERAS PL	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
416	HARDEE WILBERT JR & CHARLE	1140	TANGLEWOOD W	SAN MATEI CA	94403	54	DONADA PL	\$210.22	\$50.00	\$260.22	\$4.42	\$264.64
417	HARDIN JOHN R	1525	HIGHLAND BLVD	HAYWARD CA	94542	1525	HIGHLAND BLVD	\$318.46	\$50.00	\$368.46	\$6.26	\$374.72
418	HART ANNASTASIA L	113	CASSIA DR	HAYWARD CA	94544	113	CASSIA DR	\$764.19	\$50.00	\$814.19	\$13.84	\$828.03
419	HASSON CHERI TR	31341	CARROLL AVE	HAYWARD CA	94544	31341	CARROLL AVE	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
420	HAUER FAMILY TRUST	26787	AMAPALA ST	HAYWARD CA	94545	26764	AMAPALA ST	\$783.27	\$50.00	\$833.27	\$14.17	\$847.44
421	HAYES JESSE L	27679	ORLANDO AVE	HAYWARD CA	94545	27679	ORLANDO AVE	\$147.18	\$50.00	\$197.18	\$3.35	\$200.53
422	HAYWARD HOLDINGS INC	23679	CALABASAS RD #7	CALABASA CA	91302	1376	HIGHLAND BLVD	\$1,491.34	\$50.00	\$1,541.34	\$26.20	\$1,567.54
423	HE JIAN H	327	HURLEY DR	HAYWARD CA	94544	327	HURLEY DR	\$854.68	\$50.00	\$904.68	\$15.38	\$920.06
424	HEALD GEORGE ETAL	160	REVERE AVE	HAYWARD CA	94544	160	REVERE AVE	\$111.31	\$50.00	\$161.31	\$2.74	\$164.05
425	HEDRICK ROBERT W & SANDRA	27807	BARCELONA AVE	HAYWARD CA	94545	27807	BARCELONA AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
426	HENDERSON KIMBERLY	25684	SUBLETT DR	HAYWARD CA	94544	25684	SUBLETT DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80

427	HENRY DARRYL	1330	MC FARLANE LN	HAYWARD CA	94544	1330	MC FARLANE LN	\$315.65	\$50.00	\$365.65	\$6.22	\$371.87
428	HENRY RACHEL L & RACHEL L	23171	STONEWALL AVE	HAYWARD CA	94541	23171	STONEWALL AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
429	HENTEMANN HENRY A & KAREI	1345	VALLEY ST	HAYWARD CA	94541	1345	VALLEY ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
430	HERBERT GEORGE W	24652	SANTA CLARA ST	HAYWARD CA	94544	24652	SANTA CLARA ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
431	HERBERT STEPHANI J	96	CROSSING CT	HAYWARD CA	94544	96	CROSSING CT	\$406.01	\$50.00	\$456.01	\$7.75	\$463.76
432	HERCE REGINA M	22778	ATHERTON ST	HAYWARD CA	94541	22778	ATHERTON ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
433	HEREIRA DONALD S & JULIE E	35236	FARADAY CT	FREMONT CA	94536	1884	BOCA RATON ST	\$324.63	\$50.00	\$374.63	\$6.37	\$381.00
434	HERNANDEZ ALFREDO & SAMUI	566	CHERRY WAY	HAYWARD CA	94541	389	SMALLEY AVE	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
435	HERNANDEZ ARTURO H & PAUL	22711	6TH ST	HAYWARD CA	94541	22711	6TH ST	\$1,003.33	\$50.00	\$1,053.33	\$17.91	\$1,071.24
436	HERNANDEZ CARLOS & RICARDO	22162	WESTERN BLVD	HAYWARD CA	94541	22162	WESTERN BLVD	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
437	HERNANDEZ CARLOS H & TOMI	28432	BRIGHTON ST	HAYWARD CA	94544	28432	BRIGHTON ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
438	HERNANDEZ DAISY	1628	D ST	HAYWARD CA	94541	1628	D ST	\$198.53	\$50.00	\$248.53	\$4.23	\$252.76
439	HERNANDEZ ELISEO	1285	MC FARLANE LN	HAYWARD CA	94544	1285	MC FARLANE LN	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
440	HERNANDEZ JANET R	31308	BIRKDALE WAY	HAYWARD CA	94544	31308	BIRKDALE WAY	\$834.99	\$50.00	\$884.99	\$15.04	\$900.03
441	HERNANDEZ JANET R & DANIEL	22669	LINDEN ST	HAYWARD CA	94541	22669	LINDEN ST	\$78.24	\$50.00	\$128.24	\$2.18	\$130.42
442	HERNANDEZ JOSE L JR & ANNA	1117	MARTIN LUTHER KING JR	HAYWARD CA	94541	1117	MARTIN LUTHER KING JR	\$34.09	\$50.00	\$84.09	\$1.43	\$85.52
443	HERNANDEZ JUAN	27375	MARIGOLD CT	HAYWARD CA	94545	27375	MARIGOLD CT	\$449.57	\$50.00	\$499.57	\$8.49	\$508.06
444	HERNANDEZ REFUGIO M & MONICA	22144	MONTGOMERY ST	HAYWARD CA	94541	22144	MONTGOMERY ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
445	HERNANDEZ ROBERTO	27518	WHITMAN ST	HAYWARD CA	94544	27518	WHITMAN ST	\$390.65	\$50.00	\$440.65	\$7.49	\$448.14
446	HERNANDEZ VICTOR E & CARMEN	23047	IDA LN	HAYWARD CA	94541	23047	IDA LN	\$27.20	\$50.00	\$77.20	\$1.31	\$78.51
447	HERRERA EURIEL & MARIA	2773	HAWTHORNE CT	HAYWARD CA	94545	2773	HAWTHORNE CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
448	HERRERA JULIO C & ANNA G	416	WESTCHESTER ST	HAYWARD CA	94544	416	WESTCHESTER ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
449	HILL LOUISE	24644	DIAMOND RIDGE	HAYWARD CA	94544	24644	DIAMOND RIDGE	\$296.39	\$50.00	\$346.39	\$5.89	\$352.28
450	HINDENBURG HANSON & DARL	22525	6TH ST	HAYWARD CA	94541	22525	6TH ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
451	HO ANTHONY K	1376	LYTELLE ST	HAYWARD CA	94544	1376	LYTELLE ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
452	HO JEFFREY K & JENNIFER L TRS	176	ELDER AVE	MILLBRAE CA	94030	24621	SOTO RD	\$661.08	\$50.00	\$711.08	\$12.09	\$723.17
453	HOLLAND ALLYSIA D	22873	UPLAND WAY	HAYWARD CA	94541	22873	UPLAND WAY	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
454	HOLYOAKE FRANK INCORPORATED	2013	EAST AVE	HAYWARD CA	94541	1356	VALLEY ST	\$825.98	\$50.00	\$875.98	\$14.89	\$890.87
455	HOLYOAKE ROSE M TR	2013	EAST AVE	HAYWARD CA	94541	25080	VISTA GREENS CT	\$496.93	\$50.00	\$546.93	\$9.30	\$556.23
456	HOM HENRY H & M F 1999 TRS	1972	DEPOT RD	HAYWARD CA	94545	1972	DEPOT RD	\$238.98	\$50.00	\$288.98	\$4.91	\$293.89
457	HOOKS HILARY N & DHAWN S	112	DRUMMOND DR	HAYWARD CA	94542	112	DRUMMOND DR	\$127.86	\$50.00	\$177.86	\$3.02	\$180.88
458	HOOMALU MARK C JR	22289	PERALTA ST	HAYWARD CA	94541	22289	PERALTA ST	\$378.97	\$50.00	\$428.97	\$7.29	\$436.26
459	HOU HONGLIANG	9	COUNTRY CLUB DR	HAYWARD CA	94542	9	COUNTRY CLUB DR	\$554.01	\$50.00	\$604.01	\$10.27	\$614.28
460	HOUSEAL LYRONGALA T	1014	MARTIN LUTHER KING JR	HAYWARD CA	94541	1014	MARTIN LUTHER KING JR	\$64.18	\$50.00	\$114.18	\$1.94	\$116.12
461	HU ANDREW Z/HAN JOAN C	22873	LONGDOWN RD	CUPERTINO CA	95014	277	SULLIVAN WAY	\$387.99	\$50.00	\$437.99	\$7.45	\$445.44
462	HU HENRY W & ANNIE T	2558	32ND AVE	SAN FRANCISCO CA	94116	22763	7TH ST	\$315.94	\$50.00	\$365.94	\$6.22	\$372.16
463	HUANG LUIS M	994	CHENAULT WAY	HAYWARD CA	94541	994	CHENAULT WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
464	HUANG TONY H	32447	MOHICAN ST	HAYWARD CA	94544	32447	MOHICAN ST	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
465	HUANG WEIGUANG & YANG YU	3425	BIG OAK CT	HAYWARD CA	94542	3425	BIG OAK CT	\$94.62	\$50.00	\$144.62	\$2.46	\$147.08
466	HUNDLEY BRUCE & JO A	90	BROOKSTONE WAY	HAYWARD CA	94544	90	BROOKSTONE WAY	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
467	HURTADO ARMANDO JR & ELIA	292	REVERE AVE	HAYWARD CA	94544	292	REVERE AVE	\$74.74	\$50.00	\$124.74	\$2.12	\$126.86
468	HUSSAIN MOHAMMED	27585	LOYOLA AVE	HAYWARD CA	94545	27524	LOYOLA AVE	\$473.08	\$50.00	\$523.08	\$8.89	\$531.97
469	HUSTON SHIRLEY J	25277	IRONWOOD CT	HAYWARD CA	94545	25277	IRONWOOD CT	\$37.41	\$50.00	\$87.41	\$1.49	\$88.90
470	HUTCHINSON JOHN E & MONICA	315	FIG TREE CT	HAYWARD CA	94544	315	FIG TREE CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
471	IBHAWO CHRIS & GRACE	1166	DENTON AVE	HAYWARD CA	94545	1166	DENTON AVE	\$562.93	\$50.00	\$612.93	\$10.42	\$623.35
472	IGNACIO JOSEFINA C	28357	KARN DR	HAYWARD CA	94544	28357	KARN DR	\$261.86	\$50.00	\$311.86	\$5.30	\$317.16
473	ILUNGA JEREMIE K	28057	MIAMI AVE	HAYWARD CA	94545	28057	MIAMI AVE	\$407.73	\$50.00	\$457.73	\$7.78	\$465.51
474	IN DORANTE SAMANTHA & THOMAS	23510	WRIGHT DR	HAYWARD CA	94541	23510	WRIGHT DR	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28

475	INFALD PAUL & GINA L TRS	2740	SPOTORNO CT	PLEASANT CA	94566	63	DONADA PL	\$328.85	\$50.00	\$378.85	\$6.44	\$385.29
476	IRWIN CHARLOTTE M & STEVEN	22589	CHESTNUT ST	HAYWARD CA	94541	22589	CHESTNUT ST	\$79.62	\$50.00	\$129.62	\$2.20	\$131.82
477	JACKSON DEGARTRIA G III	2764	GAMBLE CT	HAYWARD CA	94542	2764	GAMBLE CT	\$106.56	\$50.00	\$156.56	\$2.66	\$159.22
478	JACUTIN MARIA S	1791	EGRET CT	HAYWARD CA	94545	1791	EGRET CT	\$467.50	\$50.00	\$517.50	\$8.80	\$526.30
479	JAHANGHIR MUSA & YASMIN K	1620	HIGHLAND BLVD	HAYWARD CA	94301	1620	HIGHLAND BLVD	\$780.27	\$50.00	\$830.27	\$14.11	\$844.38
480	JAIMAHUGHES ALICE Y	27494	LEMON TREE CT	HAYWARD CA	94545	27494	LEMON TREE CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
481	JAMES LEROY E	27692	E. 16TH ST	HAYWARD CA	94544	27692	E 16TH ST	\$194.66	\$50.00	\$244.66	\$4.16	\$248.82
482	JAMES LYNN S ETAL	22676	BEECH ST	HAYWARD CA	94541	22676	BEECH ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
483	JASPER BRAD F & MICHELLE	26558	VOLTAIRE ST	HAYWARD CA	94544	26558	VOLTAIRE ST	\$844.57	\$50.00	\$894.57	\$15.21	\$909.78
484	JAYME JULITA H TR	2477	KIRKWOOD DR	HAYWARD CA	94545	2477	KIRKWOOD DR	\$145.58	\$50.00	\$195.58	\$3.32	\$198.90
485	JEE RICHARD T & SALLY	26458	MOCINE AVE	HAYWARD CA	94544	26458	MOCINE AVE	\$137.58	\$50.00	\$187.58	\$3.19	\$190.77
486	JEFFREY DENISE	682	ATHERTON PL	HAYWARD CA	94541	682	ATHERTON PL	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
487	JIANG RAYMOND & WEI JING X	215	GIRARD ST	SAN FRANCISCO CA	94134	24873	YOSHIDA DR	\$424.63	\$50.00	\$474.63	\$8.07	\$482.70
488	JIMENEZ MICKEY/NUNES LISA A	8306	BLACKNEY RD	SEASTOPOL CA	95472	1123	ARMSTRONG ST	\$767.65	\$50.00	\$817.65	\$13.90	\$831.55
489	JIMENEZA FREDY B	191	ORCHARD AVE	HAYWARD CA	94544	191	ORCHARD AVE	\$1,788.64	\$50.00	\$1,838.64	\$31.26	\$1,869.90
490	JIN CHENGSHU & WEN D TRUST	26137	CLOVER RD	HAYWARD CA	94542	287	EDWIN WAY	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
491	JOHN VICTOR & EDNA E	4121	MOUNTAIN VIEW	TURLOCK CA	95382	2042	SARASOTA LN	\$1,185.81	\$50.00	\$1,235.81	\$21.01	\$1,256.82
492	JOHNSON DEETTA V TR	25076	CALAROGA AVE	HAYWARD CA	94545	25076	CALAROGA AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
493	JOHNSON LISA A	27615	MADARIN AVE	HAYWARD CA	94544	27615	MANDARIN AVE	\$330.85	\$50.00	\$380.85	\$6.47	\$387.32
494	JORDAN ODELL JR & LUCRETIA	29217	EDEN SHORES DR	HAYWARD CA	94545	29217	EDEN SHORES DR	\$640.63	\$50.00	\$690.63	\$11.74	\$702.37
495	JOSEPH HISAKO/JOSEPH JOSHU	774	BISHOP AVE	HAYWARD CA	94544	774	BISHOP AVE	\$452.63	\$50.00	\$502.63	\$8.54	\$511.17
496	JOSEPH JOY	1305	RUUS LN	HAYWARD CA	94544	1305	RUUS LN	\$223.88	\$50.00	\$273.88	\$4.66	\$278.54
497	JOZINOVIC JOZO & RUZA	2801	SAN ARDO WAY	BELMONT CA	94002	22224	MAIN ST	\$150.54	\$50.00	\$200.54	\$3.41	\$203.95
498	KAAR SYLVESTER S & LINDA S	27527	PONDEROSA CT	HAYWARD CA	94545	27527	PONDEROSA CT	\$35.20	\$50.00	\$85.20	\$1.45	\$86.65
499	KABA ABOUBACAR	30678	TREEVIEW ST	HAYWARD CA	94544	30678	TREEVIEW ST	\$573.43	\$50.00	\$623.43	\$10.60	\$634.03
500	KAFOA KOLOPANO H & TANIA	2558	BRADFORD AVE	HAYWARD CA	94545	2558	BRADFORD AVE	\$107.27	\$50.00	\$157.27	\$2.67	\$159.94
501	KAM CHUN T & ANNIE N	695	FIESTA PL	HAYWARD CA	94544	695	FIESTA PL	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
502	KANE BRETT R & JOCELYN L TR	31055	HERSHEY WAY	HAYWARD CA	94544	31055	HERSHEY WAY	\$301.43	\$50.00	\$351.43	\$5.97	\$357.40
503	KAPOOR SUMAN L	32329	UTICA ST	HAYWARD CA	94544	32329	UTICA ST	\$873.30	\$50.00	\$923.30	\$15.70	\$939.00
504	KAUR KIRANJIT;KULAR GURDEE	4408	QUEENSBORO WAY	UNION CITY CA	94587	23384	IDA LN	\$490.10	\$50.00	\$540.10	\$9.18	\$549.28
505	KAUR RAJWINDER/VIRK MANJE	27212	DOBDEL AVE	HAYWARD CA	94542	346	WHITE DR	\$59.83	\$50.00	\$109.83	\$1.87	\$111.70
506	KEENAN PAMELA C	24781	JOYCE ST	HAYWARD CA	94544	24781	JOYCE ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
507	KELLER ADDIE K & ASHLEY SHEILA		PO BOX 1149	SAN LEANITO CA	94577	595	HARRIS RD	\$149.79	\$50.00	\$199.79	\$3.40	\$203.19
508	KELSEY MARY	1479	HIGHLAND BLVD	HAYWARD CA	94542	1479	HIGHLAND BLVD	\$919.30	\$50.00	\$969.30	\$16.48	\$985.78
509	KEMP, JOSEPHINE P	27791	DEL NORTE CT	HAYWARD CA	94545	27791	DEL NORTE CT	\$494.43	\$50.00	\$544.43	\$9.26	\$553.69
510	KEWAL SEJAY K & BASANT K	922	ROCK CANYON C	SAN JOSE CA	95127	727	HARRIS CT	\$191.70	\$50.00	\$241.70	\$4.11	\$245.81
511	KEYS VICTOR R SR & JULIE A	29738	CHANCE ST	HAYWARD CA	94544	29738	CHANCE ST	\$196.53	\$50.00	\$246.53	\$4.19	\$250.72
512	KHAN REZWANA	26047	WHITMAN ST	HAYWARD CA	94544	26047	WHITMAN ST	\$1,107.41	\$50.00	\$1,157.41	\$19.68	\$1,177.09
513	KHAN ZAIN & ARIF	1484	CHRISTINA CT	HAYWARD CA	94545	1484	CHRISTINA CT	\$606.32	\$50.00	\$656.32	\$11.16	\$667.48
514	KHANO ELIE S & CYNTHIA	3157	MIDDLEFIELD RD	REDWOOD CA	94063	505	JACKSON ST	\$601.01	\$50.00	\$651.01	\$11.07	\$662.08
515	KHOKHAR KHALID M	3059	CHRONICLE AVE	HAYWARD CA	94542	3059	CHRONICLE AVE	\$469.10	\$50.00	\$519.10	\$8.82	\$527.92
516	KIM MAN S (TE) & ALICE Y (TE)	26624	DURHAM WAY	HAYWARD CA	94542	192	A ST	\$1,286.89	\$50.00	\$1,336.89	\$22.73	\$1,359.62
517	KLEMZ, GEORGE(TE)KLEMZ,CATH	744	LAUREL AVE	BURLINGAME CA	94010	24947	KAY AVE	\$326.74	\$50.00	\$376.74	\$6.40	\$383.14
518	KOO ANNA TR	4473	CALYPSO TER	FREMONT CA	94555	232	SHEPHERD AVE	\$224.97	\$50.00	\$274.97	\$4.67	\$279.64
519	KRAMBULE GARY L & POON AL	35571	ROCA DR	FREMONT CA	94536	27722	DEL NORTE CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
520	KU O N & IN N TRS	224	N RANCHO PL	EL SOBRANTE CA	94803	424	RAMOS AVE	\$256.64	\$50.00	\$306.64	\$5.21	\$311.85
521	KULICK ELIZABETH M TR	26966	ABERDEEN PL	HAYWARD CA	94542	23335	REED WAY	\$109.76	\$50.00	\$159.76	\$2.72	\$162.48
522	KULKARNI MANDAR A & LOSKI	895	QUINCE AVE 16	SANTA CLAY CA	95051	26539	CHISHOLM CT	\$165.03	\$50.00	\$215.03	\$3.66	\$218.69

523	KULKARNI MANDER	895	QUINCE AVE	SANTA CLA CA	95051	26724	LAUDERDALE AVE	\$907.66	\$50.00	\$957.66	\$16.28	\$973.94
524	KUMAR DEO & SIRANGAM	26711	CALAROGA AVE	HAYWARD CA	94545	26711	CALAROGA AVE	\$239.47	\$50.00	\$289.47	\$4.92	\$294.39
525	KUMAR JITENDRA & ASHLEY S	24199	MONUMENT BLV	HAYWARD CA	94545	24199	MONUMENT BLV	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
526	KUMAR MADHU L & RANJAN	24060	CARMELITA DR	HAYWARD CA	94541	24060	CARMELITA DR	\$96.48	\$50.00	\$146.48	\$2.49	\$148.97
527	KUMAR PRADEEP & URMILA	27738	ORLANDO AVE	HAYWARD CA	94545	27738	ORLANDO AVE	\$532.39	\$50.00	\$582.39	\$9.90	\$592.29
528	KUMAR RESHMI D	842	CHALLENGER WAY	HAYWARD CA	94544	842	CHALLENGER WA	\$163.32	\$50.00	\$213.32	\$3.63	\$216.95
529	KUMAR SHIV & KANCHAN B	24607	KARINA CT	HAYWARD CA	94542	27526	VERONA AVE	\$646.04	\$50.00	\$696.04	\$11.83	\$707.87
530	KUNISAKI JOEY M & EMIKO TR	4415	QUICKSILVER CT	HAYWARD CA	94542	4415	QUICKSILVER CT	\$220.88	\$50.00	\$270.88	\$4.60	\$275.48
531	KWONG JIMMY B & CINDY Y	29238	CHUTNEY RD	HAYWARD CA	94544	29238	CHUTNEY RD	\$94.38	\$50.00	\$144.38	\$2.45	\$146.83
532	LA HAMY & PHUNG SUONG L	411	OXFORD WAY	BELMONT CA	94002	369	SPARLING DR	\$66.96	\$50.00	\$116.96	\$1.99	\$118.95
533	LABOY SAMMY & SHIRLEY	3432	LA MESA DR	HAYWARD CA	94542	3432	LA MESA DR	\$171.08	\$50.00	\$221.08	\$3.76	\$224.84
534	LABRADOR NANETTE T & JOSE J	1743	SOUTHGATE ST	HAYWARD CA	94545	1743	SOUTHGATE ST	\$106.66	\$50.00	\$156.66	\$2.66	\$159.32
535	LACHAN PRAMOD C & SANJESH	25785	EVERGREEN DR	HAYWARD CA	94544	25785	EVERGREEN DR	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
536	LAGUIO JERRICO & MIYOKO	171	BURBANK ST	HAYWARD CA	94541	171	BURBANK ST	\$24.63	\$50.00	\$74.63	\$1.27	\$75.90
537	LAJOIE NORA V & DAVID M ET/	91	GENEVA AVE	HAYWARD CA	94544	91	GENEVA AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
538	LAL BOB A & ANITA D	27425	CAPRI AVE	HAYWARD CA	94545	27425	CAPRI AVE	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
539	LANE MARLON D & CATHERINE	26545	SUNVALE CT	HAYWARD CA	94544	26545	SUNVALE CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
540	LANGI ALANI	24336	GROOM ST	HAYWARD CA	94544	24336	GROOM ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
541	LANGI ANA S & MALIETAU	542	BISHOP AVE	HAYWARD CA	94544	542	BISHOP AVE	\$1,286.89	\$50.00	\$1,336.89	\$22.73	\$1,359.62
542	LAO RAUL L & NINFA I	31837	POTSDAM ST	HAYWARD CA	94544	31837	POTSDAM ST	\$401.43	\$50.00	\$451.43	\$7.67	\$459.10
543	LAPLACE PIER A	31810	MEDINAH ST	HAYWARD CA	94544	31810	MEDINAH ST	\$439.23	\$50.00	\$489.23	\$8.32	\$497.55
544	LARA MARIA D & GONZALEZ D/	524	RAMOS AVE	HAYWARD CA	94544	524	RAMOS AVE	\$904.30	\$50.00	\$954.30	\$16.22	\$970.52
545	LARA MARIA G	26466	MOCKINGBIRD LN	HAYWARD CA	94544	26466	MOCKINGBIRD LI	\$79.34	\$50.00	\$129.34	\$2.20	\$131.54
546	LARSEN VERONICA	408	DOWNEN PL	HAYWARD CA	94544	408	DOWNEN PL	\$1,034.28	\$50.00	\$1,084.28	\$18.43	\$1,102.71
547	LARSON AARON & ASANTE DEN	24099	MALIBU RD	HAYWARD CA	94545	24099	MALIBU RD	\$579.03	\$50.00	\$629.03	\$10.69	\$639.72
548	LASSALLE GERALD & MARIE	25832	SCRIPPS ST	HAYWARD CA	94545	25832	SCRIPPS ST	\$142.92	\$50.00	\$192.92	\$3.28	\$196.20
549	LAVITORIA ROCELLE & EDWIN	29230	EDEN SHORES CT	HAYWARD CA	94545	29230	EDEN SHORES CT	\$384.11	\$50.00	\$434.11	\$7.38	\$441.49
550	LEAL JESSE & DOLORES	24574	SYBIL AVE	HAYWARD CA	94542	24574	SYBIL AVE	\$475.24	\$50.00	\$525.24	\$8.93	\$534.17
551	LEBLANC RACHELLE R	684	ATHERTON PL	HAYWARD CA	94541	684	ATHERTON PL	\$281.93	\$50.00	\$331.93	\$5.64	\$337.57
552	LEBON RICHARD L & DORIS C	675	BLUEFIELD LN	HAYWARD CA	94541	675	BLUEFIELD LN	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
553	LEGARDA NOLBERTO JR & HOR	29841	VENTNOR CT	HAYWARD CA	94544	29841	VENTNOR CT	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
554	LEHAULI TAU	26592	COLETTE ST	HAYWARD CA	94544	26592	COLETTE ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
555	LEI GEORGE W & AMY L ETAL	610	GARIN AVE	HAYWARD CA	94544	610	GARIN AVE	\$223.09	\$50.00	\$273.09	\$4.64	\$277.73
556	LEI SANDY Q	26415	FLAMINGO AVE	HAYWARD CA	94544	26453	UNDERWOOD AV	\$71.21	\$50.00	\$121.21	\$2.06	\$123.27
557	LEMI MARILOU C	24771	MULBERRY ST	HAYWARD CA	94545	24771	MULBERRY ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
558	LEUNG DANIEL & ANNIE ETAL	29864	BALTIC CT	HAYWARD CA	94544	29864	BALTIC CT	\$109.88	\$50.00	\$159.88	\$2.72	\$162.60
559	LEUNG TRACEY W	34295	BARNFIELD PL	FREMONT CA	94555	25522	HUNTWOOD AVE	\$592.40	\$50.00	\$642.40	\$10.92	\$653.32
560	LEWIS THERESA & DARREN F	26681	HUNTWOOD AVE	HAYWARD CA	94544	26681	HUNTWOOD AVE	\$418.64	\$50.00	\$468.64	\$7.97	\$476.61
561	LEWMYER GWENDOLYN	27641	GAINESVILLE AVE	HAYWARD CA	94545	27641	GAINESVILLE AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
562	LI QIRAN	28002	HESSE DR	HAYWARD CA	94545	28002	HESSE DR	\$106.67	\$50.00	\$156.67	\$2.66	\$159.33
563	LI XIN Y	2354	KELLY ST	HAYWARD CA	94541	2354	KELLY ST	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
564	LIBIAN KATHLEEN P & SULOG A	24801	MANGO ST	HAYWARD CA	94545	24801	MANGO ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
565	LIGGINS SHARON	24028	SAN BLAS RD # 41	HAYWARD CA	94541	24028	SAN BLAS RD	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
566	LIGHTFOOT CHARLETON D SR	105	COUNTRY CLUB D	HAYWARD CA	94542	105	COUNTRY CLUB C	\$615.72	\$50.00	\$665.72	\$11.32	\$677.04
567	LIGUTOM LAUNFUL P & EVELYN	27574	BAHAMA AVE	HAYWARD CA	94545	27574	BAHAMA AVE	\$41.79	\$50.00	\$91.79	\$1.56	\$93.35
568	LIM DAE J & JI J ETAL	3476	PICKENS LN	PLEASANT CA	94588	22785	GRAND ST	\$690.46	\$50.00	\$740.46	\$12.59	\$753.05
569	LIMACO ISIDRO & CARMELITA	1680	MONTEREY DR	SAN BRUN CA	94066	421	SMALLEY AVE	\$836.97	\$50.00	\$886.97	\$15.08	\$902.05
570	LIMON, FANCISCO A	26637	JOSHUA ST	HAYWARD CA	94544	26637	JOSHUA ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80

571	LIN YALING	3449	AUGUSTA CT	HAYWARD CA	94542	3449	AUGUSTA CT	\$55.27	\$50.00	\$105.27	\$1.79	\$107.06
572	LIN ZHENG	4795	QUADRES CT	FREMONT CA	94538	23667	NEVADA RD	\$22.03	\$50.00	\$72.03	\$1.22	\$73.25
573	LINDSLEY ROBERT L & LINDA M	126	VIRGINIA ST	HAYWARD CA	94544	126	VIRGINIA ST	\$452.59	\$50.00	\$502.59	\$8.54	\$511.13
574	LIRIO JUANITO G & ADRINELA I	224	LOVERIN CT	HAYWARD CA	94544	224	LOVERIN CT	\$511.66	\$50.00	\$561.66	\$9.55	\$571.21
575	LIU CAN MING & LISHAN ETAL	1111	RED WING DR	HAYWARD CA	94541	1111	RED WING DR	\$321.18	\$50.00	\$371.18	\$6.31	\$377.49
576	LIU SAI W	2123	VINCENZO WALK	SAN JOSE CA	95133	24889	MUIR ST	\$855.51	\$50.00	\$905.51	\$15.39	\$920.90
577	LIU SEN	2364	ST AUGUSTINE DR	BRENTWOOD CA	94513	407	MEEK AVE	\$643.13	\$50.00	\$693.13	\$11.78	\$704.91
578	LOGAN HELEN ETAL	24645	MISSION BLVD	HAYWARD CA	94544	24645	MISSION BLVD	\$1,286.89	\$50.00	\$1,336.89	\$22.73	\$1,359.62
579	LOLOHEA SIONE F & FOLOLENI	25769	DONALD AVE	HAYWARD CA	94544	25769	DONALD AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
580	LOMAS JESSE & BERNICE	1218	HIGHLAND BLVD	HAYWARD CA	94542	1218	HIGHLAND BLVD	\$391.50	\$50.00	\$441.50	\$7.51	\$449.01
581	LOMELI MARTIN J & GONZALEZ	27604	GAINESVILLE AVE	HAYWARD CA	94545	27604	GAINESVILLE AVE	\$461.44	\$50.00	\$511.44	\$8.69	\$520.13
582	LOPES ROBERT L		PO BOX 1604	DANVILLE CA	94526	27007	PARKSIDE DR	\$176.28	\$50.00	\$226.28	\$3.85	\$230.13
583	LOPEZ ELMER	32019	CARROLL AVE	HAYWARD CA	94544	32019	CARROLL AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
584	LOPEZ NESTOR A & ESTRELLA A	27682	POMPANO AVE	HAYWARD CA	94544	27682	POMPANO AVE	\$81.61	\$50.00	\$131.61	\$2.24	\$133.85
585	LOPEZ RAFAEL A & LILIAN	23321	AMADOR ST	HAYWARD CA	94541	23321	AMADOR ST	\$921.10	\$50.00	\$971.10	\$16.51	\$987.61
586	LOPEZ VICENTE P JR & ERIKA G	46	CAMELOT CT	DALY CITY CA	94015	27706	DEL NORTE CT	\$106.66	\$50.00	\$156.66	\$2.66	\$159.32
587	LOPEZ, GERARDO	3505	SONOMA BLVD, F	VALLEJO CA	94590	339	COPPERFIELD AVE	\$76.09	\$50.00	\$126.09	\$2.14	\$128.23
588	LOWE EDWARD A TR	24017	EDLOE DR	HAYWARD CA	94541	24017	EDLOE DR	\$348.35	\$50.00	\$398.35	\$6.77	\$405.12
589	LOY, DANIEL & RODE, SARA	653	BARRON WAY	HAYWARD CA	94544	653	BARRON WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
590	LOYA VERONICA & MIGUEL	1005	CURRENT WAY	HAYWARD CA	94545	1005	CURRENT WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
591	LUCAS MARIA M & MAIA MAN	1787	EAST AVE	HAYWARD CA	94541	1167	C ST	\$154.57	\$50.00	\$204.57	\$3.48	\$208.05
592	LUER NICHOLAS S & DRABEK K	756	PINEDALE CT	HAYWARD CA	94544	756	PINEDALE CT	\$286.61	\$50.00	\$336.61	\$5.72	\$342.33
593	LUGO ROBERTSON & ROSADO	1859	ELDER CT	HAYWARD CA	94545	1859	ELDER CT	\$80.32	\$50.00	\$130.32	\$2.22	\$132.54
594	LUNA JOSE & ANNA M	5339	CASTLEFORD CT	NEWARK CA	94560	26280	UNDERWOOD AV	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
595	LUNA JOSE M & ROSA B	1828	FLORIDA ST	HAYWARD CA	94545	1828	FLORIDA ST	\$334.98	\$50.00	\$384.98	\$6.54	\$391.52
596	LUNA WAYNE K	25009	WILLIMET WAY	HAYWARD CA	94544	25009	WILLIMET WAY	\$452.59	\$50.00	\$502.59	\$8.54	\$511.13
597	LUNADAMIAN ANA M	26700	PETERMAN AVE	HAYWARD CA	94545	26700	PETERMAN AVE	\$277.95	\$50.00	\$327.95	\$5.58	\$333.53
598	LYONS RICHARD A	2517	CARISBROOK CT	HAYWARD CA	94542	2517	CARISBROOK CT	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
599	LYONS WILLIAM P	25511	HUNTWOOD AVE	HAYWARD CA	94544	25511	HUNTWOOD AVE	\$106.56	\$50.00	\$156.56	\$2.66	\$159.22
600	MA AIXIA TR	328	ELMWOOD LN	HAYWARD CA	94541	328	ELMWOOD LN	\$35.93	\$50.00	\$85.93	\$1.46	\$87.39
601	MACASPAC ARNEL G & MARIA	2700	SEADRIFT LN	HAYWARD CA	94545	2700	SEADRIFT LN	\$111.31	\$50.00	\$161.31	\$2.74	\$164.05
602	MACDONALD LINDA K	211	NEWTON ST	HAYWARD CA	94544	211	NEWTON ST	\$617.85	\$50.00	\$667.85	\$11.35	\$679.20
603	MACFIGGEN SCOTT	703	VERANDA CIR	HAYWARD CA	94541	703	VERANDA CIR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
604	MACHADO CARL D & TRUDIE L	22317	CYNTHIA CT	HAYWARD CA	94541	1322	E ST	\$55.88	\$50.00	\$105.88	\$1.80	\$107.68
605	MACIAS URIEL	26591	JANE AVE	HAYWARD CA	94544	26591	JANE AVE	\$111.31	\$50.00	\$161.31	\$2.74	\$164.05
606	MACIEL ALEX J	22831	FIRST ST	HAYWARD CA	94541	22831	1ST ST	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
607	MACIEL CARL & AIDA	2906	E BROOKWOOD C	PHOENIX AZ	85048	1627	D ST	\$607.12	\$50.00	\$657.12	\$11.17	\$668.29
608	MACINTIRE JAMES C JR	24838	BROADMORE AVE	HAYWARD CA	94544	24838	BROADMORE AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
609	MADERA FILBERTO & SYLVIA	25968	TARRAGON ST	HAYWARD CA	94544	25968	TARRAGON ST	\$186.87	\$50.00	\$236.87	\$4.03	\$240.90
610	MADINA VERONICA	474	OCIE WAY	HAYWARD CA	94541	474	OCIE WAY	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
611	MADISON CONNIE R & TURNER	3507	SKYLINE DR	HAYWARD CA	94542	3507	SKYLINE DR	\$583.66	\$50.00	\$633.66	\$10.77	\$644.43
612	MADISON DEVALON L	27832	HUMMINGBIRD C	HAYWARD CA	94545	27832	HUMMINGBIRD C	\$874.26	\$50.00	\$924.26	\$15.71	\$939.97
613	MAGALLANES ENRIQUE & BLAN	913	HIGHLAND BLVD	HAYWARD CA	94542	913	HIGHLAND BLVD	\$34.17	\$50.00	\$84.17	\$1.43	\$85.60
614	MAGANA JOSE A & LETICIA	24863	ARVILLA LN	HAYWARD CA	94544	24863	ARVILLA LN	\$308.01	\$50.00	\$358.01	\$6.09	\$364.10
615	MAGANA SOCORRO	27574	SEBASTIAN WAY	HAYWARD CA	94544	27574	SEBASTIAN WAY	\$576.43	\$50.00	\$626.43	\$10.65	\$637.08
616	MAHARAY, LATIKA & ABINENDI	24378	CALAVERAS RD	HAYWARD CA	94545	2012	SARASOTA LN	\$109.18	\$50.00	\$159.18	\$2.71	\$161.89
617	MAHE SIONE L HEIRS OF EST	24690	WILLIMET WAY	HAYWARD CA	94544	24690	WILLIMET WAY	\$508.80	\$50.00	\$558.80	\$9.50	\$568.30
618	MAHONEY R J JR & LOUISE	151	ROUSSEAU ST	HAYWARD CA	94544	151	ROUSSEAU ST	\$93.84	\$50.00	\$143.84	\$2.45	\$146.29

619	MAJANO ELIZABETH	608	SEQUOIA RD	HAYWARD CA	94541	608 SEQUOIA RD	\$485.81	\$50.00	\$535.81	\$9.11	\$544.92
620	MAJOR VANN & PEGGY J TRS	604	BLAINE WAY	HAYWARD CA	94544	604 BLAINE WAY	\$210.22	\$50.00	\$260.22	\$4.42	\$264.64
621	MALDONADO TOMAS P & GLO	324	COPPERFIELD AVE	HAYWARD CA	94544	324 COPPERFIELD AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
622	MAMTOUM MARIE	25960	GUSHUE ST	HAYWARD CA	94544	25960 GUSHUE ST	\$42.13	\$50.00	\$92.13	\$1.57	\$93.70
623	MANANSALA ELIZA C & ESTELA	24541	PONTIAC ST	HAYWARD CA	94544	24541 PONTIAC ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
624	MANCHESTER HOTELS INC	30073	SKYLARK CT	HAYWARD CA	94544	782 COCHEA DR	\$401.48	\$50.00	\$451.48	\$7.68	\$459.16
625	MANGAT AMANDEEP S & HARP	26019	TARRAGON ST	HAYWARD CA	94544	26019 TARRAGON ST	\$469.55	\$50.00	\$519.55	\$8.83	\$528.38
626	MANGAT PARAMJEET & AMRIT	28060	ZIELE CREEK DR	HAYWARD CA	94542	28060 ZIELE CREEK DR	\$321.12	\$50.00	\$371.12	\$6.31	\$377.43
627	MANZANAREZ RODOLFO & VAI	26230	STANWOOD AVE	HAYWARD CA	94544	26230 STANWOOD AVE	\$299.23	\$50.00	\$349.23	\$5.94	\$355.17
628	MANZO MARIA H TR	26605	JOSHUA ST	HAYWARD CA	94544	3401 BRIDGE RD	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
629	MAPALO KRYSTLE & VAN T	1352	THAIS LN	HAYWARD CA	94544	1352 THAIS LN	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
630	MARAMBA CRYSTAL & BIBAT C	25515	HUNTWOOD AVE	HAYWARD CA	94544	25515 HUNTWOOD AVE	\$176.09	\$50.00	\$226.09	\$3.84	\$229.93
631	MARCOS GASPAS & MARIA E	27652	CORONADO WAY	HAYWARD CA	94545	27652 CORONADO WAY	\$1,003.33	\$50.00	\$1,053.33	\$17.91	\$1,071.24
632	MARINAI JEFFREY & DANIELLE	3643	OAKES DR	HAYWARD CA	94542	3643 OAKES DR	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
633	MARINDA REBECCA F & REBECC	31537	HUGH WAY	HAYWARD CA	94544	31537 HUGH WAY	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
634	MARQUETTE DAVID	22825	KINGS CT	HAYWARD CA	94541	22825 KINGS CT	\$484.60	\$50.00	\$534.60	\$9.09	\$543.69
635	MARQUEZ ARTEMIO Q & MARY	27692	LA PORTE AVE	HAYWARD CA	94545	27692 LA PORTE AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
636	MARQUEZ JOSEPH M & RAYLIN	28318	CAPITOLA ST	HAYWARD CA	94545	26940 MANON AVE	\$2,431.03	\$50.00	\$2,481.03	\$42.18	\$2,523.21
637	MARQUEZ RAUL C & CRUZ NAL	170	NEWTON ST	HAYWARD CA	94544	170 NEWTON ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
638	MARQUEZ ROSE TR ETAL	31901	CHICOINE AVE	HAYWARD CA	94544	31901 CHICOINE AVE	\$138.48	\$50.00	\$188.48	\$3.20	\$191.68
639	MARQUEZ ROSE TR ETAL	31901	CHICOINE AVE	HAYWARD CA	94544	31912 CHICOINE AVE	\$171.42	\$50.00	\$221.42	\$3.76	\$225.18
640	MARQUIS MARK A	508	PALMER AVE	HAYWARD CA	94541	508 PALMER AVE	\$72.02	\$50.00	\$122.02	\$2.07	\$124.09
641	MARTIN, ABEL	715	PINEDALE CT	HAYWARD CA	94544	715 PINEDALE CT	\$263.84	\$50.00	\$313.84	\$5.34	\$319.18
642	MARTINEZ EMA	32224	PAYNE ST	HAYWARD CA	94544	32224 PAYNE ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
643	MARTINEZ ISIDRO ETAL	24306	MAGNA AVE	HAYWARD CA	94544	24308 MAGNA AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
644	MARTINEZ JOHNNY C & ELAINE	28041	TAMPA AVE	HAYWARD CA	94544	28041 TAMPA AVE	\$686.34	\$50.00	\$736.34	\$12.52	\$748.86
645	MARTINEZ JORGE M	27895	BISCAYNE AVE	HAYWARD CA	94544	27895 BISCAYNE AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
646	MARTINEZ JUAN & MARIA & R	24834	JOYCE ST	HAYWARD CA	94544	24834 JOYCE ST	\$437.49	\$50.00	\$487.49	\$8.29	\$495.78
647	MARTINEZ JUANA & TREJO BRE	1124	BISHOP AVE	HAYWARD CA	94544	1124 BISHOP AVE	\$836.97	\$50.00	\$886.97	\$15.08	\$902.05
648	MARTINEZ PETER G JR & FRANC	2627	SLEEPY HOLLOW /	HAYWARD CA	94545	2627 SLEEPY HOLLOW /	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
649	MARTINEZ PHILIP C & PATRICI	2415	OLIVER DR	HAYWARD CA	94545	2415 OLIVER DR	\$342.96	\$50.00	\$392.96	\$6.68	\$399.64
650	MARTINEZ ROBERT & JANET A	27769	E 11TH ST	HAYWARD CA	94544	27769 E 11TH ST	\$231.23	\$50.00	\$281.23	\$4.78	\$286.01
651	MARTINEZ ROBERTO A & JEAN I	2227	OCCIDENTAL RD	HAYWARD CA	94545	2227 OCCIDENTAL RD	\$140.25	\$50.00	\$190.25	\$3.23	\$193.48
652	MARTINEZ RODOLFO & EMILY	23489	IDA LN	HAYWARD CA	94541	23489 IDA LN	\$79.62	\$50.00	\$129.62	\$2.20	\$131.82
653	MASHAW BIJAN (TE)/MASHAW	26652	COLETTE ST	HAYWARD CA	94544	26652 COLETTE ST	\$70.59	\$50.00	\$120.59	\$2.05	\$122.64
654	MASHRIQUE DAVID M	28851	TUCKER ST	HAYWARD CA	94544	28851 TUCKER ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
655	MASHRIQUE NAJIA	3244	OAKES DR	HAYWARD CA	94542	3244 OAKES DR	\$212.66	\$50.00	\$262.66	\$4.47	\$267.13
656	MATHEWS TANNA R	65	GRESEL ST	HAYWARD CA	94544	65 GRESEL ST	\$469.20	\$50.00	\$519.20	\$8.83	\$528.03
657	MATTEO JENNIFER ETAL	2069	BOLERO AVE	HAYWARD CA	94545	2069 BOLERO AVE	\$860.78	\$50.00	\$910.78	\$15.48	\$926.26
658	MATTIE JERRY & JO A TRS	25835	SPRING DR	HAYWARD CA	94542	25835 SPRING DR	\$142.02	\$50.00	\$192.02	\$3.26	\$195.28
659	MAULDIN OLAF J & KATIE A TR	3805	SUNSET HEIGHT RD	MURPHYS CA	95247	1812 OSAGE AVE	\$111.11	\$50.00	\$161.11	\$2.74	\$163.85
660	MAURICIO ROBERTO & ROBER	687	FIESTA PL	HAYWARD CA	94544	687 FIESTA PL	\$180.29	\$50.00	\$230.29	\$3.91	\$234.20
661	MAW THIDAR	31953	TREVOR AVE	HAYWARD CA	94544	31953 TREVOR AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
662	MAYAR MOHAMMAD W	769	W A ST	HAYWARD CA	94541	1240 TIEGEN DR	\$452.59	\$50.00	\$502.59	\$8.54	\$511.13
663	MAYORQUIN CERVANDO R & I	2027	FLORIDA ST	HAYWARD CA	94545	2027 FLORIDA ST	\$290.43	\$50.00	\$340.43	\$5.79	\$346.22
664	MCDANIEL HOPE	1299	HOMESTEAD LN	HAYWARD CA	94545	1299 HOMESTEAD LN	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
665	MCKENZIE PATRICK & MARTIN	6580	W FRAIRMONT AVE	FRESNO CA	93723	54 LAFAYETTE AVE	\$316.25	\$50.00	\$366.25	\$6.23	\$372.48
666	MCWHORTER IAN A	22833	UPLAND WAY	HAYWARD CA	94541	22833 UPLAND WAY	\$121.99	\$50.00	\$171.99	\$2.92	\$174.91

667	MEDINA BENJAMIN S JR & CHE	2109	CRYER PL	HAYWARD CA	94545	2109 CRYER PL	\$845.32	\$50.00	\$895.32	\$15.22	\$910.54
668	MEHRIZI HOSSIEEN		PO BOX 2062	SAN LEAN CA	94577	24073 SILVA AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
669	MEHRIZI HOSSIEEN		PO BOX 2062	SAN LEAN CA	94577	24103 SILVA AVE	\$773.86	\$50.00	\$823.86	\$14.01	\$837.87
670	MEHRIZI HOSSIEEN A		PO BOX 2062	SAN LEAN CA	94577	682 MEEK AVE	\$233.97	\$50.00	\$283.97	\$4.83	\$288.80
671	MEHRIZI HOSSIEEN A		PO BOX 2062	SAN LEAN CA	94577	668 MEEK AVE	\$485.81	\$50.00	\$535.81	\$9.11	\$544.92
672	MEHRIZI HOSSIEEN A		PO BOX 2062	SAN LEAN CA	94577	660 MEEK AVE	\$485.81	\$50.00	\$535.81	\$9.11	\$544.92
673	MEHTA, VINNIE	27704	CALAROGA AVE	HAYWARD CA	94545	27704 CALAROGA AVE	\$40.62	\$50.00	\$90.62	\$1.54	\$92.16
674	MEHTA, VINNIE	27704	CALAROGA AVE	HAYWARD CA	94545	27704 CALAROGA AVE	\$267.04	\$50.00	\$317.04	\$5.39	\$322.43
675	MEHTAB SHAFIO A	2026	BOCA RATON ST	HAYWARD CA	94545	2026 BOCA RATON ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
676	MELLENDEZ MICHAEL A & CRISTI	32186	CARROLL AVE	HAYWARD CA	94544	32186 CARROLL AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
677	MENDOZA FRANCISCO & TERES	441	SCHAFER RD	HAYWARD CA	94544	441 SCHAFER RD	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
678	MENDOZA SOSTENES & ROSALI	20309	CONCORD AVE	HAYWARD CA	94541	24630 SOTO RD	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
679	MERAZ GUADALUPE P & MARTI	255	STANISLAUS WAY	HAYWARD CA	94544	255 STANISLAUS WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
680	MERID GIZACHEW & MICHAEL I	28280	KARN DR	HAYWARD CA	94544	28280 KARN DR	\$485.81	\$50.00	\$535.81	\$9.11	\$544.92
681	MERWIN ARDIS D TR	909	E MOCKINGBIRD	PLEASANT CA	94566	1516 HIGHLAND BLVD	\$333.69	\$50.00	\$383.69	\$6.52	\$390.21
682	MESMA LLC	715	EL CAMINO REAL	SAN BRUN CA	94066	440 SMALLEY AVE	\$926.61	\$50.00	\$976.61	\$16.60	\$993.21
683	MICHEL MANUEL Q HEIRS OF E	2535	DENNING CT	CASTRO VAL CA	94546	24383 SILVA AVE	\$212.66	\$50.00	\$262.66	\$4.47	\$267.13
684	MILBURN LINDA L	7331	YORK LN	LINCOLN NE	68505	611 SIMON ST	\$797.70	\$50.00	\$847.70	\$14.41	\$862.11
685	MILES GREGORY T & MARY S	3390	PINEWOOD CT	HAYWARD CA	94542	3390 PINEWOOD CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
686	MILLAN MIGUEL & MILLAN VIC	23700	NEVADA RD	HAYWARD CA	94541	23700 NEVADA RD	\$249.57	\$50.00	\$299.57	\$5.09	\$304.66
687	MILLEMEN PETER M & CYNTHI	26521	FLAMINGO AVE	HAYWARD CA	94544	26521 FLAMINGO AVE	\$240.43	\$50.00	\$290.43	\$4.94	\$295.37
688	MINTER KIMBERLY A	27824	HUMMINGBIRD C	HAYWARD CA	94545	27824 HUMMINGBIRD C	\$491.49	\$50.00	\$541.49	\$9.21	\$550.70
689	MIRA ANGELA H	22237	PROSPECT ST	HAYWARD CA	94541	22237 PROSPECT ST	\$103.56	\$50.00	\$153.56	\$2.61	\$156.17
690	MIRANDA BRAULIO E/PERALES	2373	TALLAHASSEE ST	HAYWARD CA	94545	2373 TALLAHASSEE ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
691	MIRANDA MARIA A TR	515	RAMOS AVE	HAYWARD CA	94544	515 RAMOS AVE	\$606.44	\$50.00	\$656.44	\$11.16	\$667.60
692	MIRANDA RAFAEL	243	NUEVA AVE	SAN FRANCISCO	94134	652 SHEPHERD AVE	\$579.56	\$50.00	\$629.56	\$10.70	\$640.26
693	MISHRA ABINESH P & PRASAD	1580	RIEGER AVE	HAYWARD CA	94544	1580 RIEGER AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
694	MISKE PABLO A	24449	MARGARET DR	HAYWARD CA	94542	24449 MARGARET DR	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
695	MISKIC SLAVKO S ETAL	31251	CHICOINE AVE	HAYWARD CA	94544	31251 CHICOINE AVE	\$108.21	\$50.00	\$158.21	\$2.69	\$160.90
696	MITCHELL VERNON L	25658	ELDRIDGE AVE	HAYWARD CA	94544	25658 ELDRIDGE AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
697	MOHAJER MARIA A & KEYVAN	2783	BREAKER CIR	HAYWARD CA	94545	2783 BREAKER CIR	\$515.07	\$50.00	\$565.07	\$9.61	\$574.68
698	MOJADDIDI, FAWADA	25240	MONTE VISTA DR	HAYWARD CA	94545	25240 MONTE VISTA DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
699	MOLINA, ANTONIA		PO BOX 242	SAN LEAN CA	94577	1276 D ST	\$485.24	\$50.00	\$535.24	\$9.10	\$544.34
700	MOLINA, ROBERT E	2245	PANAMA ST	HAYWARD CA	94545	2245 PANAMA ST	\$25.39	\$50.00	\$75.39	\$1.28	\$76.67
701	MONTENEGRO ANAIS A & WYC	2756	BAL HARBOR LN	HAYWARD CA	94545	2756 BAL HARBOR LN	\$356.49	\$50.00	\$406.49	\$6.91	\$413.40
702	MONTES EDITH	2474	HIBISCUS DR	HAYWARD CA	94545	2474 HIBISCUS DR	\$764.19	\$50.00	\$814.19	\$13.84	\$828.03
703	MONTES RENE	27573	E 12TH ST	HAYWARD CA	94544	27573 E 12TH ST	\$227.27	\$50.00	\$277.27	\$4.71	\$281.98
704	MONTEZ BENJAMIN P & LUISIT	2739	OAK TREE CT	UNION CITY CA	94587	27569 GAINESVILLE AVE	\$341.52	\$50.00	\$391.52	\$6.66	\$398.18
705	MONTIEL MARIO & CLARA	27719	PENSACOLA WAY	HAYWARD CA	94544	27719 PENSACOLA WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
706	MOORE CHARLES W & LINDA K	27178	FIELDING DR	HAYWARD CA	94542	27178 FIELDING DR	\$648.75	\$50.00	\$698.75	\$11.88	\$710.63
707	MOORE GERALDINE T	24446	BROADMORE AVE	HAYWARD CA	94544	24446 BROADMORE AVE	\$1,005.06	\$50.00	\$1,055.06	\$17.94	\$1,073.00
708	MOORE JACKIE & JACKIE	24451	PLUMMER CT	HAYWARD CA	94545	24451 PLUMMER CT	\$508.80	\$50.00	\$558.80	\$9.50	\$568.30
709	MOORE PATRICIA A	366	BURKE DR	HAYWARD CA	94544	366 BURKE DR	\$359.57	\$50.00	\$409.57	\$6.96	\$416.53
710	MOORE SHERMAN	10906	MCINTYRE ST	OAKLAND CA	94605	1345 A ST	\$301.43	\$50.00	\$351.43	\$5.97	\$357.40
711	MORALES EDELMIRA	217	GOODWIN ST	HAYWARD CA	94544	217 GOODWIN ST	\$461.29	\$50.00	\$511.29	\$8.69	\$519.98
712	MORALES ELISA	28750	ROANOKE ST	HAYWARD CA	94544	28750 ROANOKE ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
713	MORALES IVETTE	2770	HIDDEN LN	HAYWARD CA	94541	24577 DIAMOND RIDGE	\$310.66	\$50.00	\$360.66	\$6.13	\$366.79
714	MORALES MARINA G	25010	SILVERTHORNE PL	HAYWARD CA	94544	25010 SILVERTHORNE PL	\$578.97	\$50.00	\$628.97	\$10.69	\$639.66



715	MORENO ELVARO	418	DUTCHESS LN	HAYWARD CA	94544	418	DUTCHESS LN	\$564.38	\$50.00	\$614.38	\$10.44	\$624.82
716	MORENO RAMON	24946	WILLIMET WAY	HAYWARD CA	94544	24946	WILLIMET WAY	\$83.45	\$50.00	\$133.45	\$2.27	\$135.72
717	MORRISON DENNIS JR & CORI	564	SMALLEY AVE	HAYWARD CA	94541	564	SMALLEY AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
718	MORROW DONALD D II & LEA	309	BROOKDALE WAY	HAYWARD CA	94544	309	BROOKDALE WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
719	MORSILLI STEVEN A & JULIE L T	420	SAN DIEGO PL	SAN RAMO CA	94583	24226	CLARENDALE ST	\$235.27	\$50.00	\$285.27	\$4.85	\$290.12
720	MOSLEMPHOOR SCHWALI	24136	MONUMENT BLVD	HAYWARD CA	94545	24136	MONUMENT BLVD	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
721	MOTA ARACELI	25057	MOHR DR	HAYWARD CA	94545	25057	MOHR DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
722	MOTEN, HARRY	26735	ELDRIDGE AVE	HAYWARD CA	94544	26735	ELDRIDGE AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
723	MOUDY KENNETH R 2ND & KAT	26313	VENTURA AVE	HAYWARD CA	94544	26313	VENTURA AVE	\$180.02	\$50.00	\$230.02	\$3.91	\$233.93
724	MUNAF MOHAMMED & NAZRE	2633	BAL HARBOR LN	HAYWARD CA	94545	2633	BAL HARBOR LN	\$238.61	\$50.00	\$288.61	\$4.91	\$293.52
725	MUNOZ ARMANDO P & ESMER	2081	BOLERO AVE	HAYWARD CA	94545	2081	BOLERO AVE	\$326.06	\$50.00	\$376.06	\$6.39	\$382.45
726	MUNOZ BLANCA F	11968	W VOMAC RD	DUBLIN CA	94568	407	RIVERCREST LN	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
727	MUNOZ BLANCA F	11968	WEST VOMAC RD	DUBLIN CA	94568	22115	MONTGOMERY ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
728	MUNOZ CARLOS A & CRUZ MARIA	27412	LYFORD ST	HAYWARD CA	94544	27412	LYFORD ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
729	MUNOZ JOSEPH A	26709	PETERMAN AVE	HAYWARD CA	94545	26709	PETERMAN AVE	\$420.16	\$50.00	\$470.16	\$7.99	\$478.15
730	NALAGAN FABIAN K & FABIAN	2784	SHELLGATE CIR	HAYWARD CA	94545	2784	SHELLGATE CIR	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
731	NAND ROHINI L	1579	HOPKINS DR	SAN JOSE CA	95122	25785	FRANKLIN AVE	\$854.67	\$50.00	\$904.67	\$15.38	\$920.05
732	NAPIER JOHN F & JACQUELINE	1248	HENDERSON LN	HAYWARD CA	94544	1248	HENDERSON LN	\$76.62	\$50.00	\$126.62	\$2.15	\$128.77
733	NARAIN SHIU/NARAIN CHANDI	146	N DELAWARE ST #	SAN MATEO CA	94401	321	BERRY AVE	\$618.94	\$50.00	\$668.94	\$11.37	\$680.31
734	NARANG AMARJIT S	34304	LARKSPUR CT	UNION CITY CA	94587	27735	HAVANA AVE	\$106.56	\$50.00	\$156.56	\$2.66	\$159.22
735	NARAYAN VINIT V & LAL PRIYA	1569	GLENN ST	HAYWARD CA	94545	1569	GLENN ST	\$82.97	\$50.00	\$132.97	\$2.26	\$135.23
736	NAVARRO MANUEL A	27685	DECATUR WAY	HAYWARD CA	94545	27685	DECATUR WAY	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
737	NAVARRO MIGUEL A & NAVARRO	26331	ADRIAN AVE	HAYWARD CA	94545	26331	ADRIAN AVE	\$71.30	\$50.00	\$121.30	\$2.06	\$123.36
738	NAVARRO SANDRA	31835	TREVOR AVE	HAYWARD CA	94544	31835	TREVOR AVE	\$451.08	\$50.00	\$501.08	\$8.52	\$509.60
739	NEWCOMB VALERIE R	24774	SOTO RD	HAYWARD CA	94544	24774	SOTO RD	\$679.19	\$50.00	\$729.19	\$12.40	\$741.59
740	NG HAK C & WU JING J	37078	DUSTERBERRY WAY	FREMONT CA	94536	24645	BROADMORE AVE	\$645.56	\$50.00	\$695.56	\$11.82	\$707.38
741	NGUYEN LIEN M	1669	B ST	HAYWARD CA	94541	1669	B ST	\$146.98	\$50.00	\$196.98	\$3.35	\$200.33
742	NGUYEN LOI T TRUST		PO BOX 477	SAN LORENZO CA	94580	2583	OCALA ST	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
743	NGUYEN PHU D	1211	BROADWAY	ALAMEDA CA	94501	27415	PONDEROSA CT	\$326.18	\$50.00	\$376.18	\$6.40	\$382.58
744	NGUYEN QUAN	33244	JAMIE CIR	FREMONT CA	94555	1151	SILVER MAPLE LN	\$911.69	\$50.00	\$961.69	\$16.35	\$978.04
745	NICHOLSON LYNNE A	1815	CEDAR ST	HAYWARD CA	94541	1815	CEDAR ST	\$397.35	\$50.00	\$447.35	\$7.60	\$454.95
746	NORDMAN DEBORAH A TR	4	ROUSSEAU ST	HAYWARD CA	94544	30545	HOYLAKES ST	\$106.56	\$50.00	\$156.56	\$2.66	\$159.22
747	NORTHROP EMIKO S TR	2452	CATALPA WAY	HAYWARD CA	94545	2452	CATALPA WAY	\$80.62	\$50.00	\$130.62	\$2.22	\$132.84
748	NUMBURI SATISH N N	363	WARNER AVE	HAYWARD CA	94544	363	WARNER AVE	\$343.73	\$50.00	\$393.73	\$6.69	\$400.42
749	NUNEZ CARLOS A	2680	WARWICK PL	HAYWARD CA	94542	2680	WARWICK PL	\$121.32	\$50.00	\$171.32	\$2.91	\$174.23
750	NUNO BENJAMIN	1002	THIEL RD	HAYWARD CA	94544	1002	THIEL RD	\$183.11	\$50.00	\$233.11	\$3.96	\$237.07
751	OATIS RONALD E III	25	STIRLING WAY	HAYWARD CA	94542	25	STIRLING WAY	\$673.83	\$50.00	\$723.83	\$12.31	\$736.14
752	OCARANZA DAVID	25682	LEWIS DR	HAYWARD CA	94544	25682	LEWIS DR	\$764.19	\$50.00	\$814.19	\$13.84	\$828.03
753	OJASCASTRO ARTURO & VIRGINIA	27897	DOLPHIN LN	HAYWARD CA	94545	27897	DOLPHIN LN	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
754	OLIVAS ELISA M & SCARBOROUGH	378	MACKENZIE PL	HAYWARD CA	94544	378	MACKENZIE PL	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
755	OLIVIER SNEH L	24378	WILLIMET WAY	HAYWARD CA	94544	24378	WILLIMET WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
756	ORCHARD WALK CORP/THE OLD	3020	OLD RANCH PKWY	SEAL BEACH CA	90740	24891	LIMETREE PL	\$61.26	\$50.00	\$111.26	\$1.89	\$113.15
757	ORECCHIA WILLIAM T & TERRY	24773	PEAR ST	HAYWARD CA	94545	24773	PEAR ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
758	OREJEL JESUS M	24486	EDEN AVE B	HAYWARD CA	94545	1689	WEST ST	\$250.75	\$50.00	\$300.75	\$5.11	\$305.86
759	OROZCO BERNARDO	26280	ADRIAN AVE	HAYWARD CA	94545	26280	ADRIAN AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
760	ORTEGA CHARLES I	26730	GADING RD	HAYWARD CA	94544	26730	GADING RD	\$554.01	\$50.00	\$604.01	\$10.27	\$614.28
761	ORTIZ ROMAN & MARISA	676	LEBANON ST	HAYWARD CA	94541	676	LEBANON ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
762	ORTIZ SUSANA TR	2018	DEPOT RD	HAYWARD CA	94545	2018	DEPOT RD	\$301.43	\$50.00	\$351.43	\$5.97	\$357.40

763	ORTIZ TONY J & MICHELLE D	32043	AMELIA AVE	HAYWARD CA	94544	32043	AMELIA AVE	\$57.53	\$50.00	\$107.53	\$1.83	\$109.36
764	ORTIZ TONY J & MICHELLE D	32043	AMELIA AVE	HAYWARD CA	94544	32043	AMELIA AVE	\$446.03	\$50.00	\$496.03	\$8.43	\$504.46
765	ORTIZ VICTOR & REYES REBECC	29010	HILLVIEW ST	HAYWARD CA	94544	29010	HILLVIEW ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
766	OSAYANDE ANGELA	23640	ODOM DR	HAYWARD CA	94541	23640	ODOM DR	\$479.32	\$50.00	\$529.32	\$9.00	\$538.32
767	OSBORN JOHN T TR		PO BOX 3591	SAN LEAN CA	94578	27739	ORLANDO AVE	\$29.16	\$50.00	\$79.16	\$1.35	\$80.51
768	OVERTON, CHRIS	16743	COLUMBIA DR	CASTRO VA CA	94552	27475	DOBBEL AVE	\$458.17	\$50.00	\$508.17	\$8.64	\$516.81
769	PADFIELD DANIELLE R & HEWIT	1264	HOMESTEAD LN	HAYWARD CA	94545	1264	HOMESTEAD LN	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
770	PADILLA VICTOR	24315	ALVES ST	HAYWARD CA	94544	24315	ALVES ST	\$76.09	\$50.00	\$126.09	\$2.14	\$128.23
771	PALACIOS ROBERTO R	159	SAINT ANDREWS ST	HAYWARD CA	94544	159	ST ANDREWS ST	\$289.51	\$50.00	\$339.51	\$5.77	\$345.28
772	PALAGANAS RONALD & URDUJ	21838	WESTERN BLVD	HAYWARD CA	94541	21838	WESTERN BLVD	\$301.43	\$50.00	\$351.43	\$5.97	\$357.40
773	PALI ERLINA S	1324	LINFIELD LN	HAYWARD CA	94545	1324	LINFIELD LN	\$485.81	\$50.00	\$535.81	\$9.11	\$544.92
774	PARKER CHARLES W SR & TIAN	27302	DOBBEL AVE	HAYWARD CA	94542	27302	DOBBEL AVE	\$292.28	\$50.00	\$342.28	\$5.82	\$348.10
775	PASRICHA AKASH & KANCHAN	3725	WARWICK RD	FREMONT CA	94555	22828	5TH ST	\$440.49	\$50.00	\$490.49	\$8.34	\$498.83
776	PAULEY BARBARA J	2647	NAPLES ST	HAYWARD CA	94545	2647	NAPLES ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
777	PAYLADO CORAZON J	24378	CHANDLER RD	HAYWARD CA	94545	24378	CHANDLER RD	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
778	PAYNESTRONG MONIQUE & JU	24647	PONTIAC ST	HAYWARD CA	94544	24647	PONTIAC ST	\$866.67	\$50.00	\$916.67	\$15.58	\$932.25
779	PEDROZA JUAN		PO BOX 1359	MILLBRAE CA	94030	959	FOLSOM AVE	\$230.45	\$50.00	\$280.45	\$4.77	\$285.22
780	PELAYO MARIO V	29857	TAYLOR AVE	HAYWARD CA	94544	29857	TAYLOR AVE	\$488.98	\$50.00	\$538.98	\$9.16	\$548.14
781	PENA JOSE & CAROZZI CARLO I	24738	WILLIMET WAY	HAYWARD CA	94544	24738	WILLIMET WAY	\$50.68	\$50.00	\$100.68	\$1.71	\$102.39
782	PEREZ CONNIE	27770	LA PORTE AVE	HAYWARD CA	94545	27770	LA PORTE AVE	\$73.28	\$50.00	\$123.28	\$2.10	\$125.38
783	PEREZ EDUARDO & VELAZQUEZ	182	NEWTON ST	HAYWARD CA	94544	182	NEWTON ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
784	PEREZ JOSE R & GRACIELA M TR	2929	SUGARHILL TER	DUBLIN CA	94568	977	LONGWOOD AVE	\$188.76	\$50.00	\$238.76	\$4.06	\$242.82
785	PEREZ MARIA C & EDUARDO N	474	CULP AVE	HAYWARD CA	94544	474	CULP AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
786	PERKINS LEE & GERALD L	21650	WESTERN BLVD	HAYWARD CA	94541	21650	WESTERN BLVD	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
787	PERSONA GUSTAVO A & YOLAN	27667	CLIFFWOOD AVE	HAYWARD CA	94545	27667	CLIFFWOOD AVE	\$28.68	\$50.00	\$78.68	\$1.34	\$80.02
788	PETROFF GEORGE M	459	DOWNEN PL	HAYWARD CA	94544	459	DOWNEN PL	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
789	PHAM TRI D & TRAN HEIDI	650	OLYMPIC AVE	HAYWARD CA	94544	399	LEXINGTON AVE	\$376.58	\$50.00	\$426.58	\$7.25	\$433.83
790	PHAN PHUOC V ETAL	501	TEASDALE PL	HAYWARD CA	94544	501	TEASDALE PL	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
791	PHILLIPS RONNIE & HINKSTON	842	WEBSTER ST	HAYWARD CA	94544	842	WEBSTER ST	\$106.56	\$50.00	\$156.56	\$2.66	\$159.22
792	PHIMDEE APHICHART	22643	ZABALLOS CT	HAYWARD CA	94541	22643	ZABALLOS CT	\$220.88	\$50.00	\$270.88	\$4.60	\$275.48
793	PHUNG PATRICK	3298	BRUNO DR	SAN JOSE CA	95136	829	CINNAMON CT	\$110.28	\$50.00	\$160.28	\$2.72	\$163.00
794	PIGETO RIGOBERTO JR	24035	EDLOE DR	HAYWARD CA	94541	24035	EDLOE DR	\$93.33	\$50.00	\$143.33	\$2.44	\$145.77
795	PIGMAN JOHN & AILSSA	1244	COTTER WAY	HAYWARD CA	94541	1244	COTTER WAY	\$87.29	\$50.00	\$137.29	\$2.33	\$139.62
796	PIMENTEL JOSEPH	2135	THAYER AVE	HAYWARD CA	94545	2135	THAYER AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
797	PINE COUNTRY LLC	26500	W ANGORA RD	CALABASAS CA	91302	1183	CENTRAL BLVD	\$452.32	\$50.00	\$502.32	\$8.54	\$510.86
798	PINEDA ULISES V	27760	E 11TH ST	HAYWARD CA	94544	27760	E 11TH ST	\$440.49	\$50.00	\$490.49	\$8.34	\$498.83
799	PLASCENCIA MARIA L & OLIVA	2663	SLEEPY HOLLOW /	HAYWARD CA	94545	2663	SLEEPY HOLLOW /	\$407.58	\$50.00	\$457.58	\$7.78	\$465.36
800	PLASCENCIA ROBERTO & ESPEF	1526	SILLIMAN ST	SAN FRANCISCO CA	94134	26615	GADING RD	\$129.16	\$50.00	\$179.16	\$3.05	\$182.21
801	POOVAIAH BIDDANDA P	2176	DEXTER CT	HAYWARD CA	94541	2245	ROMEY LN	\$75.79	\$50.00	\$125.79	\$2.14	\$127.93
802	POSADA SALOME & ALEXANDEI	20860	MACK ST	HAYWARD CA	94545	20860	MACK ST	\$452.33	\$50.00	\$502.33	\$8.54	\$510.87
803	POWELLLEE NYKEYA	22656	HESPERIAN BLVD	HAYWARD CA	94541	22656	HESPERIAN BLVD	\$110.61	\$50.00	\$160.61	\$2.73	\$163.34
804	POWERS FRANKLIN P/POWERS	31338	PEBBLE BEACH CT	HAYWARD CA	94544	31338	PEBBLE BEACH CT	\$578.97	\$50.00	\$628.97	\$10.69	\$639.66
805	PRADO JOSEPH A JR & ELIZABE	141	GENEVA AVE	HAYWARD CA	94544	141	GENEVA AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
806	PRAKASH SHASHI	336	C ST	HAYWARD CA	94541	336	C ST	\$242.70	\$50.00	\$292.70	\$4.98	\$297.68
807	PRASAD ARUNESH/PRATAP ANI	1428	C ST	HAYWARD CA	94541	1426	C ST	\$499.32	\$50.00	\$549.32	\$9.34	\$558.66
808	PRASAD MAHESH	2764	SLEEPY HOLLOW /	HAYWARD CA	94545	2764	SLEEPY HOLLOW /	\$93.29	\$50.00	\$143.29	\$2.44	\$145.73
809	PRASAD REYNOLD	23227	REED WAY	HAYWARD CA	94541	23227	REED WAY	\$508.80	\$50.00	\$558.80	\$9.50	\$568.30
810	PRASAD SUNJESH & SUNJESH	1461	FRY LN	HAYWARD CA	94545	1461	FRY LN	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56

811	PRASAD TARA M & DEVI ETAL	25861	SCRIPPS ST	HAYWARD CA	94545	25861	SCRIPPS ST	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
812	PRATAP RITESH & MAYA W	256	FUJI WAY	HAYWARD CA	94544	256	FUJI WAY	\$159.19	\$50.00	\$209.19	\$3.56	\$212.75
813	PULIDO MANUEL & CECILIA	25042	DANIA LN	HAYWARD CA	94545	25042	DANIA LN	\$324.53	\$50.00	\$374.53	\$6.37	\$380.90
814	QUAN ALAN & LISA TRS	19250	CLEMENT DR	CASTRO V/ CA	94552	1215	A ST	\$852.51	\$50.00	\$902.51	\$15.34	\$917.85
815	QUARRY CRAIG W	1181	ROXANNE AVE	HAYWARD CA	94542	1181	ROXANNE AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
816	QUEVEDO PETER L & MARY A TI	1157	HURON LN	HAYWARD CA	94545	1157	HURON LN	\$329.16	\$50.00	\$379.16	\$6.45	\$385.61
817	QUINTERO LUIS A & PATRICIA	3555	SKYLINE DR	HAYWARD CA	94542	3555	SKYLINE DR	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
818	RAFAEL ANNE M	29420	HOLYOKE AVE	HAYWARD CA	94544	29420	HOLYOKE AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
819	RAHIMI HOMA	320	WESTCHESTER ST	HAYWARD CA	94544	320	WESTCHESTER ST	\$104.96	\$50.00	\$154.96	\$2.63	\$157.59
820	RAMASAMY VENKAT	833	N SAN ANTONIO	LOS ALTOS CA	94022	22221	PERALTA ST	\$1,265.62	\$50.00	\$1,315.62	\$22.37	\$1,337.99
821	RAMILO RUSTY & MARIA S	25292	IRONWOOD CT	HAYWARD CA	94545	25292	IRONWOOD CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
822	RAMIREZ ALIWINA & DELFIN S	27904	MANDARIN AVE	HAYWARD CA	94544	27904	MANDARIN AVE	\$111.31	\$50.00	\$161.31	\$2.74	\$164.05
823	RAMIREZ ANTONIO E	2083	EVERGLADE ST	HAYWARD CA	94545	2083	EVERGLADE ST	\$115.96	\$50.00	\$165.96	\$2.82	\$168.78
824	RAMIREZ CARLOS JR	489	CARMAR ST	HAYWARD CA	94544	489	CARMAR ST	\$61.85	\$50.00	\$111.85	\$1.90	\$113.75
825	RAMIREZ CESAR	618	GARIN AVE	HAYWARD CA	94544	618	GARIN AVE	\$100.00	\$50.00	\$150.00	\$2.55	\$152.55
826	RAMIREZ SERGIO	338	REDBUD LN	HAYWARD CA	94541	338	REDBUD LN	\$801.19	\$50.00	\$851.19	\$14.47	\$865.66
827	RANGEL ELVA & LUIS M	27570	CLIFFWOOD AVE	HAYWARD CA	94545	27570	CLIFFWOOD AVE	\$570.69	\$50.00	\$620.69	\$10.55	\$631.24
828	RANGEL RAFAEL	26730	PETERMAN AVE	HAYWARD CA	94545	26730	PETERMAN AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
829	RAPP SHERRY	4814	PROCTOR RD	HAYWARD CA	94546	1252	HIGHLAND BLVD	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
830	RAVINDHRAN PRATHIMA & SAI	4656	MONTMARTRE P/	FREMONT CA	94538	26580	CHISHOLM CT	\$386.80	\$50.00	\$436.80	\$7.43	\$444.23
831	RECINOS EDGARD E & ANA E	26748	WAUCHULA WAY	HAYWARD CA	94545	26748	WAUCHULA WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
832	REED CASSAUNDRA D	332	THORNE DR	HAYWARD CA	94544	332	THORNE DR	\$337.50	\$50.00	\$387.50	\$6.59	\$394.09
833	REGINATO RICHARD B & MYRI/	24721	ECHO SPRINGS DR	HAYWARD CA	94541	24721	ECHO SPRINGS DR	\$223.88	\$50.00	\$273.88	\$4.66	\$278.54
834	REINIKKA RONALD E	22314	WESTERN BLVD	HAYWARD CA	94541	22314	WESTERN BLVD	\$68.69	\$50.00	\$118.69	\$2.02	\$120.71
835	RELIFORD JOEY & BEVERLY E	27474	SLEEPY HOLLOW /	HAYWARD CA	94545	27474	SLEEPY HOLLOW /	\$655.01	\$50.00	\$705.01	\$11.99	\$717.00
836	REYES MATTHEW	30264	CEDARBROOK RD	HAYWARD CA	94544	30264	CEDARBROOK RD	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
837	REYES RUDOLPH J	204	WINTON AVE	HAYWARD CA	94544	204	WINTON AVE	\$324.53	\$50.00	\$374.53	\$6.37	\$380.90
838	REYES VIVIEN C & EVELYN C	28200	THACKERAY AVE	HAYWARD CA	94544	28200	THACKERAY AVE	\$557.11	\$50.00	\$607.11	\$10.32	\$617.43
839	REYNOLDSMOORE LEORA & MI	22765	ATHERTON ST	HAYWARD CA	94541	22765	ATHERTON ST	\$152.59	\$50.00	\$202.59	\$3.44	\$206.03
840	RICE JEFFREY V & ROBIN L	24601	WILLIMET WAY	HAYWARD CA	94544	24601	WILLIMET WAY	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
841	RICH CHARLES J JR & BERNADIN	24667	WOODACRE AVE	HAYWARD CA	94544	24667	WOODACRE AVE	\$295.43	\$50.00	\$345.43	\$5.87	\$351.30
842	RICHARD JAMES A II & RANDI F	300	OLD OAK LN 1	HAYWARD CA	94541	300	OLD OAK LN	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
843	RICHMAN BRUCE E	315	INWOOD LN	HAYWARD CA	94544	315	INWOOD LN	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
844	RICKLE PATRICIA M & RAMIRE	22532	HESPERIAN BLVD	HAYWARD CA	94541	22532	HESPERIAN BLVD	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
845	RICOLCOL ANA	2455	CONSTELLATION I	HAYWARD CA	94545	2455	CONSTELLATION	\$48.77	\$50.00	\$98.77	\$1.68	\$100.45
846	RIOS RICHARD A & DERIOS CAF	27430	LEMON TREE CT	HAYWARD CA	94545	27430	LEMON TREE CT	\$324.53	\$50.00	\$374.53	\$6.37	\$380.90
847	RIVERA ALEJANDRO & RAMIRE	588	HANCOCK ST	HAYWARD CA	94544	588	HANCOCK ST	\$764.19	\$50.00	\$814.19	\$13.84	\$828.03
848	RIVERA JORGE A & EVELYN	570	FAIRWAY ST	HAYWARD CA	94544	570	FAIRWAY ST	\$501.03	\$50.00	\$551.03	\$9.37	\$560.40
849	RIVERA JOSE M & BELEN	345	CARSON DR	HAYWARD CA	94544	345	CARSON DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
850	RIVERA JUAN & CORINA	2732	OLIVER DR	HAYWARD CA	94545	2732	OLIVER DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
851	RIVERA ROSE M	24052	ALICE ST	HAYWARD CA	94541	24050	ALICE ST	\$130.26	\$50.00	\$180.26	\$3.06	\$183.32
852	RIVERA TIFFANY & OSVALDO	26433	STANWOOD AVE	HAYWARD CA	94544	26433	STANWOOD AVE	\$452.59	\$50.00	\$502.59	\$8.54	\$511.13
853	ROBERTSON CAROLYN	27660	E 15TH ST	HAYWARD CA	94544	27660	E 15TH ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
854	ROBINSON CATHERINA M	27543	BARCELONA AVE	HAYWARD CA	94545	27543	BARCELONA AVE	\$383.33	\$50.00	\$433.33	\$7.37	\$440.70
855	ROBLETO SANTIAGO A	1598	FOLSOM AVE	HAYWARD CA	94544	1598	FOLSOM AVE	\$309.20	\$50.00	\$359.20	\$6.11	\$365.31
856	ROCHA ANTONIO D & MARIA I	28265	HESSE DR	HAYWARD CA	94545	1859	DOVE WAY	\$452.37	\$50.00	\$502.37	\$8.54	\$510.91
857	ROCHESTER RAYBOURNE A & C	29027	COLONY CT	HAYWARD CA	94544	29027	COLONY CT	\$207.27	\$50.00	\$257.27	\$4.37	\$261.64
858	RODRIGUEZ ALEJANDRA & ROG	27722	HALDANE CT	HAYWARD CA	94544	27722	HALDANE CT	\$272.59	\$50.00	\$322.59	\$5.48	\$328.07

859	RODRIGUEZ ANASTACIO M & J	2282	LAGUNA DR	HAYWARD CA	94545	2282 LAGUNA DR	\$247.64	\$50.00	\$297.64	\$5.06	\$302.70
860	RODRIGUEZ DOMINGO & NYDI	256	GLORIA ST	HAYWARD CA	94544	373 BERRY AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
861	RODRIGUEZ MADELINE TR	27854	HAVANA AVE	HAYWARD CA	94544	27854 HAVANA AVE	\$555.49	\$50.00	\$605.49	\$10.29	\$615.78
862	RODRIGUEZ MONICA P ETAL	26585	UNDERWOOD AVI	HAYWARD CA	94544	26585 UNDERWOOD AV	\$214.06	\$50.00	\$264.06	\$4.49	\$268.55
863	RODRIGUEZ SAUL	28960	VAGABOND LN	HAYWARD CA	94544	28960 VAGABOND LN	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
864	RODRIGUEZ, JOSE	31765	CARROLL AVE	HAYWARD CA	94544	31765 CARROLL AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
865	RODRIGUEZ, RAMON & SANCH	25861	PETERMAN AVE	HAYWARD CA	94545	24326 ALVES ST	\$345.40	\$50.00	\$395.40	\$6.72	\$402.12
866	ROGERS MICHAEL R	22329	ROCKAWAY LN	HAYWARD CA	94541	22329 ROCKAWAY LN	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
867	ROJAS EUGENE L & ANNE M ET	28638	COLE PL	HAYWARD CA	94544	28638 COLE PL	\$738.16	\$50.00	\$788.16	\$13.40	\$801.56
868	ROMERO GABRIEL & CELIA TRS	24229	CLARENDALE ST	HAYWARD CA	94544	24080 PARK ST	\$319.68	\$50.00	\$369.68	\$6.28	\$375.96
869	ROMERO IGNACIO & JENNE	28029	COLONY CT	HAYWARD CA	94544	28029 COLONY CT	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
870	ROMERO JAVIER ETAL	31162	CARROLL AVE	HAYWARD CA	94544	31162 CARROLL AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
871	ROMERO JOSE L JR/ROMERO C	26143	FOUNT WAY	HAYWARD CA	94545	26143 FOUNT WAY	\$90.00	\$50.00	\$140.00	\$2.38	\$142.38
872	ROMERO LORI	27609	E 12TH ST	HAYWARD CA	94544	27609 E 12TH ST	\$100.67	\$50.00	\$150.67	\$2.56	\$153.23
873	ROMERO RIZA C & JOSE B	29089	STRATFORD RD	HAYWARD CA	94544	29089 STRATFORD RD	\$329.12	\$50.00	\$379.12	\$6.45	\$385.57
874	ROMERO VICTOR A	28471	ROCHELLE AVE	HAYWARD CA	94544	28471 ROCHELLE AVE	\$484.70	\$50.00	\$534.70	\$9.09	\$543.79
875	ROMO MIRIAM & JOSEPH	28108	COLE PL	HAYWARD CA	94544	28108 COLE PL	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
876	ROMO RONALD L	746	CINNAMON CT	HAYWARD CA	94580	746 CINNAMON CT	\$554.01	\$50.00	\$604.01	\$10.27	\$614.28
877	RONQUILLO RAUL T & LUCIA M	2681	HILLCREST AVE	HAYWARD CA	94542	22862 GRAND ST	\$210.22	\$50.00	\$260.22	\$4.42	\$264.64
878	ROSS WINDELL & CHRISTINE	27008	UNDERWOOD AVI	HAYWARD CA	94544	27008 UNDERWOOD AV	\$764.19	\$50.00	\$814.19	\$13.84	\$828.03
879	ROTHROCK EUGENE	25914	MADLINE LN	HAYWARD CA	94545	25914 MADLINE LN	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
880	RUBENAKER JIANG J	27030	PARKSIDE DR	HAYWARD CA	94542	27030 PARKSIDE DR	\$212.66	\$50.00	\$262.66	\$4.47	\$267.13
881	RUIZ ALFREDO & ROSA	29153	HILLVIEW ST	HAYWARD CA	94544	24223 MAGNA AVE	\$406.39	\$50.00	\$456.39	\$7.76	\$464.15
882	RUIZ JESUS & MARIA E	25561	SOTO RD	HAYWARD CA	94544	25561 SOTO RD	\$687.00	\$50.00	\$737.00	\$12.53	\$749.53
883	RUIZ MIGUEL A & MARISELA	27754	WHITMAN ST	HAYWARD CA	94544	27754 WHITMAN ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
884	RUPAN RONICA	27425	LYFORD ST	HAYWARD CA	94544	27425 LYFORD ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
885	S ROVERT & BORELLO JANET	1435	E MAIN AVE	MORGAN I CA	95037	2365 BRIDWELL WAY	\$509.97	\$50.00	\$559.97	\$9.52	\$569.49
886	SABOOWALA HUSENI	11113	WILKINSON AVE	CUPERTIN CA	95014	27666 DEL NORTE CT	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
887	SAIKI MICHAEL	160	GOODRICH ST	HAYWARD CA	94544	160 GOODRICH ST	\$374.90	\$50.00	\$424.90	\$7.22	\$432.12
888	SAINI KAMAL/KAUR SARVJEET	4101	CADIZ CT	FREMONT CA	94536	194 SHEPHERD AVE	\$39.98	\$50.00	\$89.98	\$1.53	\$91.51
889	SAKAL SUSEN Y & USHA K	27525	VERONA AVE	HAYWARD CA	94545	27525 VERONA AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
890	SALCEDO ROBERT A & ROBERT	25805	SEAVER ST	HAYWARD CA	94545	25805 SEAVER ST	\$111.31	\$50.00	\$161.31	\$2.74	\$164.05
891	SALEH TALIB A & SANOBER T	1160	BOULDER CREEK I	HAYWARD CA	94544	27787 ORLANDO AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
892	SALEM ENRIQUE	8	SYCAMORE RD	ORINDA CA	94563	765 ELLEN AVE	\$452.59	\$50.00	\$502.59	\$8.54	\$511.13
893	SALGADO ANGELA & JUAN C	132	SNAPDRAGON W	HAYWARD CA	94544	132 SNAPDRAGON W	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
894	SALGADO FRANK JR & WIENAN	22710	6TH ST	HAYWARD CA	94541	22710 6TH ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
895	SALGADO RENE S	25507	BELMONT AVE	HAYWARD CA	94542	25507 BELMONT AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
896	SALINAS FERNANDO JR	28590	BARN ROCK DR	HAYWARD CA	94542	28590 BARN ROCK DR	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
897	SALINAS FERNANDO JR	28590	BARN ROCK DR	HAYWARD CA	94542	28066 DOBBEL AVE	\$1,246.85	\$50.00	\$1,296.85	\$22.05	\$1,318.90
898	SALOMON JOHNUEL & ROBINS	24837	JOANNE ST	HAYWARD CA	94544	24837 JOANNE ST	\$33.22	\$50.00	\$83.22	\$1.41	\$84.63
899	SALVADOR KEN C ETAL	1332	YOSEMITE WAY	HAYWARD CA	94545	1332 YOSEMITE WAY	\$277.59	\$50.00	\$327.59	\$5.57	\$333.16
900	SALWAN RAJNEESH	37177	FREMONT BLVD #	FREMONT CA	94536	23000 AMADOR ST	\$227.27	\$50.00	\$277.27	\$4.71	\$281.98
901	SALWAN RAJNEESH TR	37177	FREMONT BLVD #	FREMONT CA	94536	1135 C ST	\$110.63	\$50.00	\$160.63	\$2.73	\$163.36
902	SALWAN RAJNEESH TR	37177	FREMONT BLVD #	FREMONT CA	94536	338 JERILYNN LN	\$262.65	\$50.00	\$312.65	\$5.32	\$317.97
903	SALWAN RAJNEESH TR	37177	FREMONT BLVD #	FREMONT CA	94536	1137 C ST	\$854.68	\$50.00	\$904.68	\$15.38	\$920.06
904	SANCHEZ AARON P & ELVERA	31168	CARROLL AVE	HAYWARD CA	94544	31168 CARROLL AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
905	SANCHEZ ANTHONY R & YVONI	165	REVERE AVE	HAYWARD CA	94544	165 REVERE AVE	\$693.31	\$50.00	\$743.31	\$12.64	\$755.95
906	SANCHEZ JOSE A & MARIA L	27717	LOYOLA AVE	HAYWARD CA	94545	27717 LOYOLA AVE	\$338.26	\$50.00	\$388.26	\$6.60	\$394.86

907	SANCHEZ JOSE D & RAMIREZ A	158	ISABELLA ST	HAYWARD CA	94544	158 ISABELLA ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
908	SANCHEZ JOSE M & CARMEN T	26816	ELDRIDGE AVE	HAYWARD CA	94544	26816 ELDRIDGE AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
909	SANDOVAL CONSUELO	26762	CAMPECHE ST	HAYWARD CA	94545	26762 CAMPECHE ST	\$182.05	\$50.00	\$232.05	\$3.94	\$235.99
910	SANDOVAL ESTUARDO	87	SAINT ANDREWS ST	HAYWARD CA	94544	87 ST ANDREWS ST	\$788.69	\$50.00	\$838.69	\$14.26	\$852.95
911	SANDOVAL JOSE E SR & ADRIAN	2299	BENNINGTON LN	HAYWARD CA	94545	2299 BENNINGTON LN	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
912	SANDOVAL MARIO G	27756	BISCAYNE AVE	HAYWARD CA	94544	27756 BISCAYNE AVE	\$437.49	\$50.00	\$487.49	\$8.29	\$495.78
913	SANJUAN ERIC A	24496	MARGARET DR	HAYWARD CA	94542	399 BERRY AVE	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
914	SANTANA SAUL	27664	PENSACOLA WAY	HAYWARD CA	94544	27664 PENSACOLA WAY	\$329.12	\$50.00	\$379.12	\$6.45	\$385.57
915	SANTORO ARMANDO J & ANN	1327	RADCLIFF LN	HAYWARD CA	94545	1327 RADCLIFF LN	\$70.86	\$50.00	\$120.86	\$2.05	\$122.91
916	SANTORY LLC	7020	KING SOLOMONS	LAS VEGAS NV	89117	324 WARNER AVE	\$166.92	\$50.00	\$216.92	\$3.69	\$220.61
917	SANTOS AMERICO & FLORINDA	26871	FREITAS DR	HAYWARD CA	94544	26871 FREITAS DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
918	SANTOS HECTOR & ESTELA	4387	GLEN CAYON CIR	PITTSBURG CA	94565	24187 PARK ST	\$564.63	\$50.00	\$614.63	\$10.45	\$625.08
919	SANTOS JOHN J & MARIA D	28837	BAY HEIGHTS RD	HAYWARD CA	94542	27505 MISSION BLVD	\$300.73	\$50.00	\$350.73	\$5.96	\$356.69
920	SANZO TERRY & PATRICIA A	3611	SEABREEZE CT	HAYWARD CA	94542	3611 SEABREEZE CT	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
921	SAWHNEY, PUNITA	2362	BENNINGTON LN	HAYWARD CA	94545	2362 BENNINGTON LN	\$340.90	\$50.00	\$390.90	\$6.65	\$397.55
922	SCHIMMELS DELWIN	1425	LEAH WAY	OAKDALE CA	95361	22645 3RD ST	\$320.58	\$50.00	\$370.58	\$6.30	\$376.88
923	SCHINDLER HOWARD	346	GRAND AVE 2ND	OAKLAND CA	94610	832 B ST	\$369.28	\$50.00	\$419.28	\$7.13	\$426.41
924	SCHLARB JEREMY	59	DONADA PL	HAYWARD CA	94544	59 DONADA PL	\$566.31	\$50.00	\$616.31	\$10.48	\$626.79
925	SCHMITT LYNN	1149	TIEGEN DR	HAYWARD CA	94542	1149 TIEGEN DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
926	SCHREIER LEO & RAESE M	26000	FAIRVIEW AVE	HAYWARD CA	94542	32148 TREVOR AVE	\$115.96	\$50.00	\$165.96	\$2.82	\$168.78
927	SCHWARTZ CINTHIA A	980	DEVON DR	HAYWARD CA	94542	980 DEVON DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
928	SCI LIMITED PARTNERSHIP I	1800	WAZEE ST	DENVER CO	80202	2311 LINCOLN AVE	\$1,249.34	\$50.00	\$1,299.34	\$22.09	\$1,321.43
929	SCOTT FRANKIE R	30095	BRIDGEVIEW WAY	HAYWARD CA	94544	30095 BRIDGEVIEW WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
930	SEGARRA LEVINO C & SALVADOR	2462	HIBISCUS DR	HAYWARD CA	94545	2462 HIBISCUS DR	\$912.14	\$50.00	\$962.14	\$16.36	\$978.50
931	SEGURA JOSE M & SALCEDO CO	22522	NEVADA RD	HAYWARD CA	94541	22522 NEVADA RD	\$324.61	\$50.00	\$374.61	\$6.37	\$380.98
932	SEKHAR, SINU	27534	STROMBERG CT	HAYWARD CA	94545	27534 STROMBERG CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
933	SELBY EIRWIN F INC	384	JACKSON ST # 16	HAYWARD CA	94544	391 WINTON AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
934	SELVA PETRONA	22664	MISSION BLVD	HAYWARD CA	94541	468 URBANO AVE	\$445.04	\$50.00	\$495.04	\$8.42	\$503.46
935	SEMANA JUDE D & MARIE D L	27607	E 11TH ST	HAYWARD CA	94544	27607 E 11TH ST	\$73.86	\$50.00	\$123.86	\$2.11	\$125.97
936	SERVIN JORGE M	24475	MARIE DR	HAYWARD CA	94542	24475 MARIE DR	\$67.97	\$50.00	\$117.97	\$2.01	\$119.98
937	SHAIQ MOHAMMAD	918	BOAR CIR	FREMONT CA	94539	275 JACKSON ST	\$460.80	\$50.00	\$510.80	\$8.68	\$519.48
938	SHAMIM MOHAMMED	2788	LEEWARD ST	HAYWARD CA	94545	2788 LEEWARD ST	\$243.29	\$50.00	\$293.29	\$4.99	\$298.28
939	SHARMA HEMANT	29035	HILLVIEW ST	HAYWARD CA	94544	29035 HILLVIEW ST	\$511.66	\$50.00	\$561.66	\$9.55	\$571.21
940	SHARMA JAI R & SATYA W	1131	LOVELOCK WAY	HAYWARD CA	94544	1131 LOVELOCK WAY	\$350.87	\$50.00	\$400.87	\$6.81	\$407.68
941	SHARMA SANDEEP R & DEVI AN	28469	ETTA AVE	HAYWARD CA	94544	28469 ETTA AVE	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
942	SHARMA SOM K & INDU	27613	DECATUR WAY	HAYWARD CA	94545	27613 DECATUR WAY	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
943	SHAW MARISSA A & DEAN	1879	WELFORD LN	HAYWARD CA	94544	1879 WELFORD LN	\$437.49	\$50.00	\$487.49	\$8.29	\$495.78
944	SHENG, LEIMING	398	FAWN CT	FREMONT CA	94539	2253 PAPPAS PL	\$646.78	\$50.00	\$696.78	\$11.85	\$708.63
945	SHEPARD JAMES C	789	EASTWOOD WAY	HAYWARD CA	94544	789 EASTWOOD WAY	\$590.75	\$50.00	\$640.75	\$10.89	\$651.64
946	SHERIDAN CAROLYN E	357	BEALE DR	HAYWARD CA	94544	357 BEALE DR	\$764.19	\$50.00	\$814.19	\$13.84	\$828.03
947	SHEYMAN IGOR	3811	COTTONWOOD D	DANVILLE CA	94506	26097 ELDRIDGE AVE	\$554.01	\$50.00	\$604.01	\$10.27	\$614.28
948	SHIM AUN T/LEE MI R	1472	OAK VISTA WAY	PLEASANT CA	94566	22285 MAIN ST	\$216.50	\$50.00	\$266.50	\$4.53	\$271.03
949	SHORT PETER E & SCHMIT PETE	17903	S HOBART BLVD	GARDENA CA	90248	1352 D ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
950	SHRECKENGOST JAMES D & ALI	1808	MODOC AVE	HAYWARD CA	94542	1808 MODOC AVE	\$1,156.43	\$50.00	\$1,206.43	\$20.51	\$1,226.94
951	SHURLAND BRAD	27479	BAHAMA AVE	HAYWARD CA	94545	27479 BAHAMA AVE	\$369.33	\$50.00	\$419.33	\$7.13	\$426.46
952	SIDHU NAVJIT K	2363	BERMUDA LN	HAYWARD CA	94545	2363 BERMUDA LN	\$313.91	\$50.00	\$363.91	\$6.19	\$370.10
953	SIDHU RAJWANT K & SINGH DH	2011	EVERGLADE ST	HAYWARD CA	94545	2011 EVERGLADE ST	\$111.31	\$50.00	\$161.31	\$2.74	\$164.05
954	SIKKA ANILKUMAR & PRONITA	120	ARUNDEL DR	HAYWARD CA	94542	120 ARUNDEL DR	\$449.57	\$50.00	\$499.57	\$8.49	\$508.06

955	SILVA DANIEL T/SILVA MICHAEL	2415	SAN CARLOS AVE	CASTRO V/	CA	94546	2515 DUNN RD	\$1,286.89	\$50.00	\$1,336.89	\$22.73	\$1,359.62
956	SILVA LORRAINE N	394	BERRY AVE	HAYWARD	CA	94544	394 BERRY AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
957	SILVA MA L ETAL	26394	UNDERWOOD AVI	HAYWARD	CA	94544	26394 UNDERWOOD AV	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
958	SILVA RICHARD M	26154	HICKORY AVE	HAYWARD	CA	94544	26154 HICKORY AVE	\$483.47	\$50.00	\$533.47	\$9.07	\$542.54
959	SIMAS THEODORE J & NANCY F	127	NEWTON ST	HAYWARD	CA	94544	127 NEWTON ST	\$106.56	\$50.00	\$156.56	\$2.66	\$159.22
960	SIMPSON KEVIN & BRANDI	1025	MCKEEVER AVE	HAYWARD	CA	94541	1025 MCKEEVER AVE	\$486.68	\$50.00	\$536.68	\$9.12	\$545.80
961	SIMS LARRY D	28681	HARVEY AVE	HAYWARD	CA	94544	28681 HARVEY AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
962	SINGH AKLESHNI	27591	LA PORTE AVE	HAYWARD	CA	94545	27591 LA PORTE AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
963	SINGH BALVINDER	2528	TAHOE AVE	HAYWARD	CA	94545	2528 TAHOE AVE	\$107.07	\$50.00	\$157.07	\$2.67	\$159.74
964	SINGH CAROL K	26263	GETTYSBURG AVE	HAYWARD	CA	94545	662 BANBURY ST	\$98.33	\$50.00	\$148.33	\$2.52	\$150.85
965	SINGH FAMEEZA F & RAJ K	24370	CHANDLER RD	HAYWARD	CA	94545	24370 CHANDLER RD	\$405.14	\$50.00	\$455.14	\$7.74	\$462.88
966	SINGH ISHMEET & JAPNEET K TF	38	STIRLING WAY	HAYWARD	CA	94542	38 STIRLING WAY	\$693.76	\$50.00	\$743.76	\$12.64	\$756.40
967	SINGH JATINDER	29483	TAYLOR AVE	HAYWARD	CA	94544	29483 TAYLOR AVE	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
968	SINGH KAMAL & SUMAN L ETAL	27731	LA PORTE AVE	HAYWARD	CA	94545	27731 LA PORTE AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
969	SINGH MALWINDER & GABBA S	23508	ODOM DR	HAYWARD	CA	94541	23508 ODOM DR	\$190.26	\$50.00	\$240.26	\$4.08	\$244.34
970	SINGH NAVTEJ	26424	FLAMINGO AVE	HAYWARD	CA	94544	26424 FLAMINGO AVE	\$463.59	\$50.00	\$513.59	\$8.73	\$522.32
971	SINGH NAZMA D ETAL	27929	MANDARIN AVE	HAYWARD	CA	94544	27929 MANDARIN AVE	\$174.43	\$50.00	\$224.43	\$3.82	\$228.25
972	SINGH PRANEEL	2668	SLEEPY HOLLOW /	HAYWARD	CA	94545	2668 SLEEPY HOLLOW /	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
973	SINGH SWARAN	28810	BAY HEIGHTS RD	HAYWARD	CA	94542	28810 BAY HEIGHTS RD	\$38.61	\$50.00	\$88.61	\$1.51	\$90.12
974	SIU JOHNNY & KAREN W	22869	KINGSFORD WAY	HAYWARD	CA	94541	22869 KINGSFORD WAY	\$554.01	\$50.00	\$604.01	\$10.27	\$614.28
975	SMITH CHARLENE	27841	BISCAYNE AVE	HAYWARD	CA	94544	27841 BISCAYNE AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
976	SMITH DEWAYNE E & ROBIN A	2627	NAPLES ST	HAYWARD	CA	94545	2627 NAPLES ST	\$414.52	\$50.00	\$464.52	\$7.90	\$472.42
977	SMITH JUDITH A	22575	AMADOR ST	HAYWARD	CA	94541	22575 AMADOR ST	\$329.12	\$50.00	\$379.12	\$6.45	\$385.57
978	SMITH KEVIN & SONIA	27566	E 12TH ST	HAYWARD	CA	94544	27566 E 12TH ST	\$139.21	\$50.00	\$189.21	\$3.22	\$192.43
979	SMITH KIMBERLY R	2	CRYSTAL GATE CM	HAYWARD	CA	94544	2 CRYSTAL GATE CT	\$94.94	\$50.00	\$144.94	\$2.46	\$147.40
980	SOARES ANTONIO C & CECILIA	842	HAMPTON RD	HAYWARD	CA	94541	24086 PARK ST	\$230.26	\$50.00	\$280.26	\$4.76	\$285.02
981	SOLEDAD LORENZO	31479	CARROLL AVE	HAYWARD	CA	94544	31479 CARROLL AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
982	SOTELO ABELARDO M JR & TAR	29145	MARSHBROOK DF	HAYWARD	CA	94545	29145 MARSHBROOK DI	\$198.53	\$50.00	\$248.53	\$4.23	\$252.76
983	STECKER LEOLA B TRUST	290	TRAYNOR ST	HAYWARD	CA	94544	290 TRAYNOR ST	\$76.62	\$50.00	\$126.62	\$2.15	\$128.77
984	STEELE ROBERT & MATTHEW ET	1640	WARD ST	HAYWARD	CA	94541	1640 WARD ST	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
985	STEVENS VIRGINIA	554	SIMON ST	HAYWARD	CA	94541	548 SIMON ST	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
986	STUMP DAVID E	507	TEASDALE PL	HAYWARD	CA	94544	507 TEASDALE PL	\$128.76	\$50.00	\$178.76	\$3.04	\$181.80
987	SU XIAN	22472	LINDEN ST	HAYWARD	CA	94541	22472 LINDEN ST	\$331.38	\$50.00	\$381.38	\$6.48	\$387.86
988	SUAREZ ANGELICA M	24948	CALAROGA AVE	HAYWARD	CA	94545	24948 CALAROGA AVE	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
989	SUAREZ MANUEL A & GLADIS N	1125	D ST	HAYWARD	CA	94541	1127 D ST	\$573.43	\$50.00	\$623.43	\$10.60	\$634.03
990	SUGUITAN EDSTANLEY & FELLE /	1621	EASTORI PL	HAYWARD	CA	94545	1621 EASTORI PL	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
991	SWIMMER LARRY L & SANDRA	24841	WILLIMET WAY	HAYWARD	CA	94544	24841 WILLIMET WAY	\$597.46	\$50.00	\$647.46	\$11.01	\$658.47
992	SWOPES DAVID R & GWEN B TF	2061	TRAFALGAR AVE	HAYWARD	CA	94545	2061 TRAFALGAR AVE	\$613.39	\$50.00	\$663.39	\$11.28	\$674.67
993	SYCAMORE SQUARE HOUSING C	409	JACKSON ST	HAYWARD	CA	94544	22616 ALICE ST	\$186.71	\$50.00	\$236.71	\$4.02	\$240.73
994	SZETO CLEMENT	2049	MEDALLION DR	UNION CIT	CA	94587	164 ORCHARD AVE	\$28.07	\$50.00	\$78.07	\$1.33	\$79.40
995	TAHA ALYA Q & QASED H	24348	ANNA ST	HAYWARD	CA	94545	24348 ANNA ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
996	TAIRA MAURICE E & KAREN S	25753	WHITMAN ST	HAYWARD	CA	94544	25753 WHITMAN ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
997	TAMONDONG NATIVIDAD C	29212	MARSHBROOK DF	HAYWARD	CA	94545	29212 MARSHBROOK DI	\$830.89	\$50.00	\$880.89	\$14.98	\$895.87
998	TAN JIAJUN	29125	LONE TREE PL	HAYWARD	CA	94544	29125 LONE TREE PL	\$144.72	\$50.00	\$194.72	\$3.31	\$198.03
999	TAN RALPH S	2664	HAWTHORNE AVE	HAYWARD	CA	94545	2664 HAWTHORNE AVE	\$228.46	\$50.00	\$278.46	\$4.73	\$283.19
1000	TAN RICHARD & HUANG LIYUN	24384	PARK ST	HAYWARD	CA	94544	24384 PARK ST	\$213.22	\$50.00	\$263.22	\$4.47	\$267.69
1001	TANG GEORGE H & YUETLING ET	19520	TWEED CT	SARATOGA	CA	95070	27811 DICKENS AVE	\$81.28	\$50.00	\$131.28	\$2.23	\$133.51
1002	TANG HON P	24660	WOODACRE AVE	HAYWARD	CA	94544	24660 WOODACRE AVE	\$459.20	\$50.00	\$509.20	\$8.66	\$517.86

1003	TANG LYDIA & SUK T	925	SNOWBERRY CT	HAYWARD CA	94544	925 SNOWBERRY CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1004	TAPIA JOSE S & BARRON ANGE	394	DUTCHESS LN	HAYWARD CA	94544	394 DUTCHESS LN	\$669.86	\$50.00	\$719.86	\$12.24	\$732.10
1005	TAPPIN ROBERT	28384	CHAMBERS ST	HAYWARD CA	94545	28384 CHAMBERS ST	\$457.09	\$50.00	\$507.09	\$8.62	\$515.71
1006	TATE, KIARRA	24986	YOSHIDA DR	HAYWARD CA	94545	24986 YOSHIDA DR	\$827.44	\$50.00	\$877.44	\$14.92	\$892.36
1007	TAUMOEPEAU MELE T TR	27678	SEMINOLE WAY	HAYWARD CA	94544	27678 SEMINOLE WAY	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1008	TAVAKE LOLO	26616	COLETTE ST	HAYWARD CA	94544	26616 COLETTE ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1009	TAYLOR CASSONERRIS & WRIGI	30174	BRIDGEVIEW WAY	HAYWARD CA	94544	30174 BRIDGEVIEW WAY	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1010	TEJANO FRANCES R & NORIEG/	24787	MULBERRY ST	HAYWARD CA	94545	24787 MULBERRY ST	\$41.08	\$50.00	\$91.08	\$1.55	\$92.63
1011	TEKESTE AKBERET	1030	JOLEEN CT	HAYWARD CA	94544	1030 JOLEEN CT	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1012	TEOPACO CATALINA D & ARM/	24911	TOWNSEND AVE	HAYWARD CA	94544	24911 TOWNSEND AVE	\$247.63	\$50.00	\$297.63	\$5.06	\$302.69
1013	THANDI KAMALJEET K & JASBIR	24499	GROOM ST	HAYWARD CA	94544	24499 GROOM ST	\$213.22	\$50.00	\$263.22	\$4.47	\$267.69
1014	THANT CLARISSA H & ADRIANN	4411	ASHWOOD CMN	FREMONT CA	94538	27731 PENSACOLA WAY	\$89.80	\$50.00	\$139.80	\$2.38	\$142.18
1015	THOMAS LADONNIS N	16	TRESTLE DR	HAYWARD CA	94544	16 TRESTLE DR	\$85.58	\$50.00	\$135.58	\$2.30	\$137.88
1016	THOMAS, NOEL	25093	VISTA GREENS CT	HAYWARD CA	94541	25093 VISTA GREENS CT	\$144.72	\$50.00	\$194.72	\$3.31	\$198.03
1017	THURMAN ALANNA S	1220	D ST	HAYWARD CA	94541	1220 D ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1018	TJRVJM REAL ESTATE LLC	575	EASTVIEW WAY	WOODSIDE CA	94062	3480 SKYLINE DR	\$111.31	\$50.00	\$161.31	\$2.74	\$164.05
1019	TOM VINCENT	2074	LAGUNA DR	HAYWARD CA	94116	2074 LAGUNA DR	\$579.80	\$50.00	\$629.80	\$10.71	\$640.51
1020	TON THANG T	1545	HAMRICK LN	HAYWARD CA	94544	1545 HAMRICK LN	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
1021	TOOR HARBANS S & SWARN K	27148	GADING RD	HAYWARD CA	94544	27148 GADING RD	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1022	TOOR SARABJIT S & RAJBIR K	3625	SONIA VIEW CT	HAYWARD CA	94542	2480 BRADFORD AVE	\$57.24	\$50.00	\$107.24	\$1.82	\$109.06
1023	TORRES GLORIA & NUGENT MA	28219	CAPITOLA ST	HAYWARD CA	94545	28219 CAPITOLA ST	\$26.93	\$50.00	\$76.93	\$1.31	\$78.24
1024	TORRES LAURA	27470	LEMON TREE CT	HAYWARD CA	94545	27470 LEMON TREE CT	\$850.39	\$50.00	\$900.39	\$15.31	\$915.70
1025	TORRES MARION & JERRY	1063	D ST	HAYWARD CA	94541	1063 D ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1026	TOWNSEND RICK & MARIA L	262	LANGLEY WAY	HAYWARD CA	94544	262 LANGLEY WAY	\$448.06	\$50.00	\$498.06	\$8.47	\$506.53
1027	TRAIL TONY	31586	GREENBRIER LN	HAYWARD CA	94544	31586 GREENBRIER LN	\$338.25	\$50.00	\$388.25	\$6.60	\$394.85
1028	TRAN PAUL	1168	W TENNYSON RD	HAYWARD CA	94544	22620 7TH ST	\$702.19	\$50.00	\$752.19	\$12.79	\$764.98
1029	TRAN RICK V	28998	JETTY WAY	HAYWARD CA	94545	28998 JETTY WAY	\$327.48	\$50.00	\$377.48	\$6.42	\$383.90
1030	TRAN THAI T	1071	LAKEBIRD DR	SUNNYVAL CA	94089	27874 MANDARIN AVE	\$150.01	\$50.00	\$200.01	\$3.40	\$203.41
1031	TRAUTNER MICHAEL E & MANI	1261	TIEGEN DR	HAYWARD CA	94542	1261 TIEGEN DR	\$320.44	\$50.00	\$370.44	\$6.30	\$376.74
1032	TRIMBAKE, AJIT	32445	LAKE BARLEE LN	FREMONT CA	94555	2241 KELLY ST	\$625.10	\$50.00	\$675.10	\$11.48	\$686.58
1033	TRINH GIANG V	1762	EUGENIA AVE	HAYWARD CA	94587	1762 EUGENIA AVE	\$883.05	\$50.00	\$933.05	\$15.86	\$948.91
1034	TRYTKO ALEX	2244	MORROW ST	HAYWARD CA	94541	2244 MORROW ST	\$310.66	\$50.00	\$360.66	\$6.13	\$366.79
1035	TSUKERMAN ALEXANDER & ZHC	30	PORT ROYAL	FOSTER CIT CA	94404	1450 ROOSEVELT AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1036	TUAVAO FAKATOUMAFI	526	PALM AVE # C	SEASIDE CA	93955	1535 SEAVER CT	\$716.76	\$50.00	\$766.76	\$13.03	\$779.79
1037	TUCKER JAMES	27572	TYRRELL AVE	HAYWARD CA	94544	27572 TYRRELL AVE	\$1,789.00	\$50.00	\$1,839.00	\$31.26	\$1,870.26
1038	TUGADI HERMAN P & ALANA N	27778	PISTACHIO CT	HAYWARD CA	94544	27778 PISTACHIO CT	\$255.60	\$50.00	\$305.60	\$5.20	\$310.80
1039	TUIPULOTU PENISIMANI C & F/	30526	PRESTWICK AVE	HAYWARD CA	94544	30526 PRESTWICK AVE	\$562.90	\$50.00	\$612.90	\$10.42	\$623.32
1040	TURNER TOMMIE	26164	CLOVER RD	HAYWARD CA	94542	380 B ST	\$210.23	\$50.00	\$260.23	\$4.42	\$264.65
1041	TYRRELL HOMES LLC	20600	REDWOOD RD	CASTRO VAL CA	94546	27392 TYRRELL AVE	\$623.41	\$50.00	\$673.41	\$11.45	\$684.86
1042	UDAVE GLORIA E & GLORIA E	24840	DIADON DR	HAYWARD CA	94544	24840 DIADON DR	\$700.70	\$50.00	\$750.70	\$12.76	\$763.46
1043	UNGA LUCIA ADMIN	25919	GETTYSBURG AVE	HAYWARD CA	94545	25919 GETTYSBURG AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1044	VAIDYANATHAN SATYA/VARSHA	3622	STONEHENGE WA'	SAN RAMC CA	94582	31070 MEADOWBROOK	\$704.36	\$50.00	\$754.36	\$12.82	\$767.18
1045	VALDEZ JOEL V	27740	LA PORTE AVE	HAYWARD CA	94545	27740 LA PORTE AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1046	VANDENBROEK DAVID	2230	LAGUNA DR	HAYWARD CA	94545	2230 LAGUNA DR	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
1047	VANMASTRIGT CARMA	32310	PULASKI DR	HAYWARD CA	94544	32310 PULASKI DR	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1048	VARGAS AURORA H & SERGIO S	27967	TAMPA AVE	HAYWARD CA	94544	27967 TAMPA AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1049	VARGAS IRENE ETAL	25699	LEWIS DR	HAYWARD CA	94544	25699 LEWIS DR	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1050	VARGAS MARISELA & JUAN	27462	VERONA AVE	HAYWARD CA	94545	27462 VERONA AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80

1051	VAUGHN RICHARD G	1617	C ST	HAYWARD CA	94541	1617	C ST	\$594.50	\$50.00	\$644.50	\$10.96	\$655.46
1052	VAZQUEZ ARTURO	23968	CARMELITA DR	HAYWARD CA	94541	23968	CARMELITA DR	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1053	VEGA RAFAEL	25577	BELHAVEN ST	HAYWARD CA	94546	25577	BELHAVEN ST	\$221.07	\$50.00	\$271.07	\$4.61	\$275.68
1054	VELASCO JAVIER H	27744	ORLANDO AVE	HAYWARD CA	94544	27744	ORLANDO AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1055	VELASCO RAUL G & MARY F	368	ROUSSEAU ST	HAYWARD CA	94544	368	ROUSSEAU ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1056	VELASQUEZ ALONZO	23344	RONALD LN	HAYWARD CA	94541	23344	RONALD LN	\$681.24	\$50.00	\$731.24	\$12.43	\$743.67
1057	VELASQUEZ JEFF	365	CHAMBOSSE DR	HAYWARD CA	94544	365	CHAMBOSSE DR	\$646.04	\$50.00	\$696.04	\$11.83	\$707.87
1058	VELAZQUEZ JUDITH A & MELVIN	27228	WHITMAN ST	HAYWARD CA	94544	27228	WHITMAN ST	\$485.73	\$50.00	\$535.73	\$9.11	\$544.84
1059	VELILLA WENDELL L & TIMOTHY	31389	WHEELON AVE	HAYWARD CA	94544	31389	WHEELON AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1060	VELOZ ISMAEL & MARTHA	28295	FOX HOLLOW DR	HAYWARD CA	94542	28295	FOX HOLLOW DR	\$395.75	\$50.00	\$445.75	\$7.58	\$453.33
1061	VERDUZCO ALFREDO A	24251	MAGNA AVE	HAYWARD CA	94544	24251	MAGNA AVE	\$73.86	\$50.00	\$123.86	\$2.11	\$125.97
1062	VEREAU AUGUSTO L & AUGUSTO	2206	THAYER AVE	HAYWARD CA	94545	2206	THAYER AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1063	VEST GRANT F JR & RUTH E & G	326	COOPER AVE	HAYWARD CA	94544	326	COOPER WAY	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
1064	VILLAFRANCO ANTONIO M & (	521	PARADISE BLVD	HAYWARD CA	94541	334	OHARRON DR	\$118.90	\$50.00	\$168.90	\$2.87	\$171.77
1065	VILLALOBOS JORGE R R	22637	3RD ST	HAYWARD CA	94541	22637	3RD ST	\$440.51	\$50.00	\$490.51	\$8.34	\$498.85
1066	VILLANUEVA RUPERTO & RUPEI	2046	FLORIDA ST	HAYWARD CA	94545	2046	FLORIDA ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1067	VINCENT JOEL ETAL	28722	ROANOKE ST	HAYWARD CA	94544	28722	ROANOKE ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1068	VIVEIROS FILOMENA P ETAL	27175	FIELDING DR	HAYWARD CA	94542	27175	FIELDING DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1069	VU SON & NGUYEN JENNY ETAL	1090	CENTRAL BLVD	HAYWARD CA	94542	1090	CENTRAL BLVD	\$907.66	\$50.00	\$957.66	\$16.28	\$973.94
1070	VUONG JOHN	675	MORAGA RD	MORAGA CA	94556	294	EDWIN WAY	\$162.27	\$50.00	\$212.27	\$3.61	\$215.88
1071	WAHAB ABDUL W & AHMADI N	719	VERANDA CIR	HAYWARD CA	94541	719	VERANDA CIR	\$212.66	\$50.00	\$262.66	\$4.47	\$267.13
1072	WALKER NORMA	107	LAFAYETTE AVE	HAYWARD CA	94544	107	LAFAYETTE AVE	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
1073	WALKER ROBERT L JR & KIRSTII	28006	NOB HILL CT	HAYWARD CA	94542	28006	NOB HILL CT	\$866.67	\$50.00	\$916.67	\$15.58	\$932.25
1074	WALKINSHAW RODNEY A & W/	619	STALEY AVE	HAYWARD CA	94541	619	STALEY AVE	\$370.00	\$50.00	\$420.00	\$7.14	\$427.14
1075	WALSH RONALD W	962	LEONARDO WAY	HAYWARD CA	94541	962	LEONARDO WAY	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
1076	WANG HONG Q & LI KIRK	1436	C ST	HAYWARD CA	94541	1436	C ST	\$213.09	\$50.00	\$263.09	\$4.47	\$267.56
1077	WANG JUAN	518	2ND AVE	REDWOOD CA	94063	26937	HUNTWOOD AVE	\$324.55	\$50.00	\$374.55	\$6.37	\$380.92
1078	WANG YAN & YAXIN	44224	IBERO WAY	FREMONT CA	94539	602	STALEY AVE	\$176.49	\$50.00	\$226.49	\$3.85	\$230.34
1079	WANG YUWEN & CAI SHUANG	2677	SPINDRIFT CIR	HAYWARD CA	94545	2677	SPINDRIFT CIR	\$106.56	\$50.00	\$156.56	\$2.66	\$159.22
1080	WANG ZHI C & HUANG YA L	80	LOREE LN	MILLBRAE CA	94030	1305	D ST	\$807.27	\$50.00	\$857.27	\$14.57	\$871.84
1081	WANG, QIAN	2005	PARKHURST ST	HAYWARD CA	94541	2005	PARKHURST ST	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1082	WARD WAYNE TR	22174	WESTERN BLVD	HAYWARD CA	94541	22174	WESTERN BLVD	\$220.88	\$50.00	\$270.88	\$4.60	\$275.48
1083	WARREN CURTIS M & WARREN	20947	EL BRG	CASTRO VALLEY CA	94552	23046	KLAMATH CT	\$147.69	\$50.00	\$197.69	\$3.36	\$201.05
1084	WASHINGTON EDNA L	30495	CARROLL AVE	HAYWARD CA	94544	30495	CARROLL AVE	\$271.12	\$50.00	\$321.12	\$5.46	\$326.58
1085	WASHINGTON MICKEALA	24461	WILLIMET WAY	HAYWARD CA	94544	24461	WILLIMET WAY	\$793.77	\$50.00	\$843.77	\$14.34	\$858.11
1086	WATI SUSILA	26263	GETTYSBURG AVE	HAYWARD CA	94545	26263	GETTYSBURG AVE	\$213.22	\$50.00	\$263.22	\$4.47	\$267.69
1087	WEAVER KATHERYN G	24741	CALAROGA AVE	HAYWARD CA	94545	24741	CALAROGA AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1088	WEI, NAN	24765	CALAROGA AVE	HAYWARD CA	94545	24765	CALAROGA AVE	\$91.51	\$50.00	\$141.51	\$2.41	\$143.92
1089	WESLEY JAMES H JR & BELOY AI	25573	SOTO RD	HAYWARD CA	94544	25573	SOTO RD	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1090	WHEELER CHARLES & YVONNE	2048	GOLDENEYE WAY	MANTECA CA	95337	1369	B ST	\$321.53	\$50.00	\$371.53	\$6.32	\$377.85
1091	WHITE CRANDELL R	28174	DOBBEL AVE	HAYWARD CA	94542	28174	DOBBEL AVE	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1092	WHITFIELD CLAUDE L & DERENC	1378	THORNWALL LN	HAYWARD CA	94545	1378	THORNWALL LN	\$386.43	\$50.00	\$436.43	\$7.42	\$443.85
1093	WILKINS DAVE E & WALKERWIL	473	PAMELA CT	HAYWARD CA	94541	473	PAMELA CT	\$580.27	\$50.00	\$630.27	\$10.71	\$640.98
1094	WILLIAMS JANAYA	173	BURBANK ST	HAYWARD CA	94541	173	BURBANK ST	\$526.71	\$50.00	\$576.71	\$9.80	\$586.51
1095	WILLIAMS KENNETH R	332	PEYTON DR	HAYWARD CA	94544	28950	RUUS RD	\$162.61	\$50.00	\$212.61	\$3.61	\$216.22
1096	WILLIAMS MARI Y	27703	PERSIMMON DR	HAYWARD CA	94544	27703	PERSIMMON DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1097	WILLIOUS ROBERT	24629	MISSION BLVD	HAYWARD CA	94544	24629	MISSION BLVD	\$1,286.89	\$50.00	\$1,336.89	\$22.73	\$1,359.62
1098	WINTON GROVE HOMES INC	455	CRAVEN CT	HAYWARD CA	94541	455	CRAVEN CT	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98



1099	WINTON GROVE HOMES INC	463	CRAVEN CT	HAYWARD CA	94541	463 CRAVEN CT	\$469.20	\$50.00	\$519.20	\$8.83	\$528.03
1100	WINTON GROVE HOMES INC/R	406	CRAVEN CT	HAYWARD CA	94541	406 CRAVEN CT	\$59.67	\$50.00	\$109.67	\$1.86	\$111.53
1101	WOFFORD TIMOTHY K	27420	PALMWOOD AVE	HAYWARD CA	94545	27420 PALMWOOD AVE	\$111.31	\$50.00	\$161.31	\$2.74	\$164.05
1102	WOLF SPENCER	24792	MANGO ST	HAYWARD CA	94545	24792 MANGO ST	\$235.48	\$50.00	\$285.48	\$4.85	\$290.33
1103	WONG KENNETH & WANDA C	3322	OAK BLUFF LN	DUBLIN CA	94568	1249 E ST	\$149.33	\$50.00	\$199.33	\$3.39	\$202.72
1104	WONG NORMAN ETAL	24232	PARK ST	HAYWARD CA	94544	24232 PARK ST	\$216.21	\$50.00	\$266.21	\$4.53	\$270.74
1105	WONG THOMAS F & MARIA H	5220	SUSSEX PL	NEWARK CA	94560	22628 6TH ST	\$52.95	\$50.00	\$102.95	\$1.75	\$104.70
1106	WONG YENI W/TONEL LOUIS C	706	CITY WALK PL #4	HAYWARD CA	94541	706 CITY WALK PL	\$413.53	\$50.00	\$463.53	\$7.88	\$471.41
1107	WU JICHUN	29851	CANTERA DR	HAYWARD CA	94544	29851 CANTERA DR	\$184.68	\$50.00	\$234.68	\$3.99	\$238.67
1108	WU KELLY	892	ELGIN ST	SAN LORENZO CA	94580	656 QUINCY WAY	\$437.49	\$50.00	\$487.49	\$8.29	\$495.78
1109	XU GUANNAN & CHU SIN Y	80	LOREE LN	MILLBRAE CA	94030	27886 MANDARIN AVE	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
1110	XUAN PING & HUANG XIAO J	3320	COOK LN	ALAMEDA CA	94502	512 SEQUOIA RD	\$970.59	\$50.00	\$1,020.59	\$17.35	\$1,037.94
1111	YAKIN FRANCIS T & KAMOLSOI	30119	BRIDGEVIEW WAY	HAYWARD CA	94544	30119 BRIDGEVIEW WAY	\$149.46	\$50.00	\$199.46	\$3.39	\$202.85
1112	YAMASHITA SAEKO	26960	CREOLE PL	HAYWARD CA	94545	26960 CREOLE PL	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1113	YAN NICHOLAS Y/MAK-YAN ELA	25721	CASCADE ST	HAYWARD CA	94544	25721 CASCADE ST	\$158.65	\$50.00	\$208.65	\$3.55	\$212.20
1114	YBARRA MARK A & YVETTE A	1589	GLENN ST	HAYWARD CA	94545	1589 GLENN ST	\$190.22	\$50.00	\$240.22	\$4.08	\$244.30
1115	YBOA CARLOS & ISELA	24147	MAGNA AVE	HAYWARD CA	94544	24145 MAGNA AVE	\$371.12	\$50.00	\$421.12	\$7.16	\$428.28
1116	YI SANG H & HEE S	30245	CEDARBROOK RD	HAYWARD CA	94544	30245 CEDARBROOK RD	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1117	YORK PHILLIP E & HAAYORK M	556	ELLERY PL	HAYWARD CA	94544	556 ELLERY PL	\$103.56	\$50.00	\$153.56	\$2.61	\$156.17
1118	YOSHIOKA SUSIE		PO BOX 55490	HAYWARD CA	94545	24001 LA PAZ WAY	\$343.29	\$50.00	\$393.29	\$6.69	\$399.98
1119	YOU MAXIMUS L	1221	GEORGE CIR	HAYWARD CA	94541	1221 GEORGE CIR	\$601.48	\$50.00	\$651.48	\$11.08	\$662.56
1120	YOUNG MICHAEL	22852	CHARING ST	HAYWARD CA	94541	22852 CHARING ST	\$894.50	\$50.00	\$944.50	\$16.06	\$960.56
1121	YU ADA & LIU ROBIN		PO BOX 531	SAN BRUNO CA	94066	26824 GADING RD	\$213.10	\$50.00	\$263.10	\$4.47	\$267.57
1122	YU BENNY E & LILIAN L	22494	WOODROE AVE	HAYWARD CA	94541	28011 SANDLEWOOD DR	\$463.59	\$50.00	\$513.59	\$8.73	\$522.32
1123	YU MICHAEL Y & ROSALYN Q	24944	JOYCE ST	HAYWARD CA	94560	24944 JOYCE ST	\$39.72	\$50.00	\$89.72	\$1.53	\$91.25
1124	YUEN IOSEFA T L	834	BLAINE WAY	HAYWARD CA	94544	834 BLAINE WAY	\$37.54	\$50.00	\$87.54	\$1.49	\$89.03
1125	ZALDANA JUAN I & SILVIA E ET/	51	TROY PL	HAYWARD CA	94544	51 TROY PL	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1126	ZANOTELLIDELGADO OSCAR & I	347	BURKE DR	HAYWARD CA	94544	347 BURKE DR	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1127	ZARATE CARLOS	1883	FLORIDA ST	HAYWARD CA	94545	1883 FLORIDA ST	\$452.70	\$50.00	\$502.70	\$8.55	\$511.25
1128	ZAVALZA ARTURO & NAVA RAN	24684	JOANNE ST	HAYWARD CA	94544	24684 JOANNE ST	\$555.36	\$50.00	\$605.36	\$10.29	\$615.65
1129	ZEMBIK HENRY & ANGELINE TR	26133	HUNTWOOD AVE	HAYWARD CA	94544	25998 UNDERWOOD AV	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1130	ZHANG FAN & WEI	87	SONAS DR	HAYWARD CA	94542	87 SONAS DR	\$329.16	\$50.00	\$379.16	\$6.45	\$385.61
1131	ZHANG YUN	28028	FARM HILL DR	HAYWARD CA	94542	28028 FARM HILL DR	\$1,286.89	\$50.00	\$1,336.89	\$22.73	\$1,359.62
1132	ZHE WEN HU	27605	DEL NORTE CT	HAYWARD CA	94545	27605 DEL NORTE CT	\$452.59	\$50.00	\$502.59	\$8.54	\$511.13
1133	ZHENG XIAO M ETAL	6145	SHADOW HILL DR	DUBLIN CA	94568	23014 KINGSFORD WAY	\$470.59	\$50.00	\$520.59	\$8.85	\$529.44
1134	ZOKAEI ARASH M	632	NEWLANDS AVE	SAN MATEO CA	94403	1842 HILL AVE	\$92.99	\$50.00	\$142.99	\$2.43	\$145.42
1135	ZOKAEI ARASH M	27472	MANON AVE	HAYWARD CA	94544	27472 MANON AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
1136	ZUNIGA DAVID L	20340	WATERFORD PL	CASTRO VALLEY CA	94552	25279 CALAROGA AVE	\$396.47	\$50.00	\$446.47	\$7.59	\$454.06
1137	ZUNIGA SEAN & ELIZABETH	27607	CLIFFWOOD AVE	HAYWARD CA	94545	27607 CLIFFWOOD AVE	\$501.43	\$50.00	\$551.43	\$9.37	\$560.80
							\$511,274.22	\$56,850.00	\$568,124.22	\$9,658.11	\$577,782.33



# CITY OF HAYWARD

Hayward City Hall  
777 B Street  
Hayward, CA 94541  
[www.Hayward-CA.gov](http://www.Hayward-CA.gov)

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**File #:** CONS 20-358

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**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Fire Chief

**SUBJECT**

Adopt a Resolution Authorizing the City Manager to Negotiate and Execute an Agreement with La Familia for Staffing Services at the COVID-19 Testing Center in an Amount Not to Exceed \$749,999

**RECOMMENDATION**

That Council adopts a resolution (Attachment II) authorizing the City Manager to execute an agreement with La Familia for staffing services at the COVID-19 Testing Center in an amount not to exceed \$749,999.

**SUMMARY**

On March 23, 2020, the Hayward Fire Department (HFD) established the nation's first free, city-mobilized COVID-19 drive-through testing site. Starting June 1, 2020, the City partnered with Eden Health District to provide nursing students to staff the Testing Center. As of the end of June, the nursing students must return to class and can no longer provide the same levels of staffing. To prepare for this transition, City staff has been working with La Familia on a proposal to continue the long-term operation of the Testing Center. Staff is requesting authorization from Council to negotiate and execute an agreement with La Familia to cover Testing Center operations for the next several months. During this time, staff will run a procurement process to allow the extension of operations for the next year.

**ATTACHMENTS**

Attachment I	Staff Report
Attachment II	Resolution



**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Fire Chief

**SUBJECT:** Adopt a Resolution Authorizing the City Manager to Negotiate and Execute an Agreement with La Familia for Staffing Services at the COVID-19 Testing Center in an Amount Not to Exceed \$749,999

### **RECOMMENDATION**

That Council adopts a resolution (Attachment II) authorizing the City Manager to execute an agreement with La Familia for staffing services at the COVID-19 Testing Center in an amount not to exceed \$749,999.

### **SUMMARY**

On March 23, 2020, the Hayward Fire Department (HFD) established the nation's first free, city-mobilized COVID-19 drive-through Testing Center. Starting June 1, 2020, the City partnered with Eden Health District to provide nursing students to staff the Testing Center. As of the end of June, the nursing students must return to class and can no longer provide the same levels of staffing. To prepare for this transition, City staff has been working with La Familia on a proposal to continue the long-term operation of the Testing Center. Staff is requesting authorization from Council to negotiate and execute an agreement with La Familia to cover Testing Center operations for the next several months. During this time, staff will run a procurement process to allow the extension of operations for the next year.

### **BACKGROUND**

On March 4, 2020, the Governor of California declared a State of Emergency due to the COVID-19 pandemic. On March 11, 2020, the City Manager declared a Local Emergency in the City of Hayward, which was affirmed by resolution of the Hayward City Council on March 17, 2020. As of June 29, 2020, City residents account for 16.5% of COVID-19 cases in Alameda County, and Hayward has the highest case rate in the County, with 613 cases for every 100,000 individuals.<sup>1</sup> Demand for testing continues to be high, particularly as individuals seek clearances to return to work.

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<sup>1</sup> Alameda County COVID-19 Dashboard. Retrieved on June 30, 2020 from <https://ac-hcsa.maps.arcgis.com/apps/opsdashboard/index.html#/1e0ac4385cbe4cc1bffe2cf7f8e7f0d9>

On March 23, 2020, the Hayward Fire Department (HFD) established the nation's first free, city-mobilized COVID-19 drive-through testing site. The site was first located at HFD Station 7 on Huntwood Avenue near Tennyson Road in South Hayward. On April 14, 2020, HFD moved the testing site from Station 7 to California State University, East Bay (CSUEB), to modify operations and accommodate the growing demand for COVID-19 testing. HFD worked diligently to partner with Hayward Police Department (HPD) and several community organizations, including United Ambulance, Chabot College, and the Global Support and Development nonprofit, to support the testing site operations.

Testing has been free and available to anyone regardless of place of residence, insurance/ability to pay, or immigration status, provided they met the health condition criteria in place at the time. No physician referral has ever been required. Additionally, mobile teams of specially trained Hayward firefighter-paramedics have provided mobile testing of residents and employees of nursing homes, at police departments, and community members who are experiencing homelessness.

As of June 26, 2020, the site has been in operation for fifteen weeks and has conducted 20,599 COVID-19 tests. To date, Hayward has accounted for over 50 percent of the County's testing and approximately 25 percent of the current daily testing. Since its inception, the Testing Center has served as a model for other local jurisdictions, with engagement from local cities and the County seeking guidance and lessons learned on operations of the center.

## **DISCUSSION**

The Alameda County Health Department has requested that Hayward's Testing Center remain in operation for the duration of the emergency because it provides a significant portion of Alameda County's COVID-19 testing. While the County has committed to providing funding for testing supplies, the County has not committed to reimbursing personnel costs.

As the summer fire season approached, the City sought community partnerships to keep the Testing Center operational while ensuring that HFD is staffed at full capacity during fire season. Starting June 1, 2020, the City partnered with Eden Health District to provide nursing students to staff the Testing Center. For the month of June, the volunteer nursing students have helped alleviate the operational burden from HFD. During this time, the need for the Testing Center has remained constant.

As of the end of June, the nursing students must return to class and can no longer provide the same levels of staffing. To prepare for this transition, City staff has been working with La Familia on a proposal to continue the long-term operation of the Testing Center. Staff is requesting authorization from Council to negotiate and execute an agreement with La Familia in an amount not to exceed \$749,999 for staffing services to administer the command, organization, and testing functions at the Testing Center. To provide continuity from July 1, 2020 to Council consideration of this report on July 7, the City and La Familia entered into a letter agreement in an amount not to exceed \$74,000, which amount is included within the maximum \$749,999 amount being requested in this report.

Current local, state, and federal emergency procurement requirements set limitations for expenditure reimbursement at \$750,000. Initial conversations with La Familia indicate that these funds will secure Testing Center operations for the next several months. During this time, staff will develop and execute a procurement process in alignment with all relevant reimbursement requirements, which will enable the City to further extend the operations of the COVID-19 Testing Center for the next year.

### **ECONOMIC IMPACT**

The COVID-19 pandemic has placed many of Hayward's residents into financial hardship through job loss or reduction in hours and increased medical expenses. Providing a resource for free testing, without the need for a doctor's referral, is one way in the City that can reduce the economic burden of COVID-19 on Hayward residents.

### **FISCAL IMPACT**

The \$749,999 in this agreement will be funded with General Fund reserves. Staff will aggressively pursue all local, state, and federal reimbursement opportunities for this expense.

### **STRATEGIC ROADMAP**

This agenda item is an operational item necessary for ensuring the operations of the City's COVID-19 Testing Center and does not directly relate to any of the projects outlined in the Council's Strategic Roadmap.

### **PUBLIC CONTACT**

There has been no public contact related to this item.

### **NEXT STEPS**

If this item is approved, staff will enter into an agreement with La Familia to provide staffing services at the COVID-19 Testing Center in an amount not-to-exceed \$749,999.

Staff will then execute a formal procurement process in alignment with applicable local, state, and federal guidelines to secure additional staffing services when the funds allocated in the agreement with La Familia proposed in this item are fully expended.

*Prepared by:* Shanalee Gallagher, Management Analyst II  
Jessica Lobedan, Management Analyst II  
Amy Cole-Bloom, Management Analyst II  
Mary Thomas, Management Analyst II

*Recommended by:* Garrett Contreras, Fire Chief

Approved by:

A handwritten signature in black ink, appearing to read 'K. McAdoo', written in a cursive style.

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Kelly McAdoo, City Manager

HAYWARD CITY COUNCIL

RESOLUTION NO. 20-

Introduced by Council Member \_\_\_\_\_

RESOLUTION AUTHORIZING THE CITY MANAGER TO NEGOTIATE AND EXECUTE A PROFESSIONAL SERVICES AGREEMENT WITH LA FAMILIA FOR STAFFING SERVICES AT THE HAYWARD COVID-19 TESTING CENTER, NOT TO EXCEED \$749,999

WHEREAS, on March 11, 2020, the City Manager declared a Local Emergency in the City of Hayward, which was affirmed by Resolution of the Hayward City Council on March 17, 2020; and

WHEREAS, on March 23, 2020, the Hayward Fire Department (HFD) established the nation's first free, city-mobilized COVID-19 drive-through testing site; and

WHEREAS, the City seeks to keep the Testing Site operational by partnering with community organizations through the duration of the COVID-19 pandemic; and

WHEREAS, La Familia is able and willing to provide staffing services to operate the Testing Center.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Hayward that the City Manager is authorized to negotiate and execute an agreement with La Familia staffing services at the Hayward COVID-19 Testing Center, not to exceed \$749,999.

IN COUNCIL, HAYWARD, CALIFORNIA \_\_\_\_\_, 2020

ADOPTED BY THE FOLLOWING VOTE:

AYES:           COUNCIL MEMBERS:  
                  MAYOR:

NOES:           COUNCIL MEMBERS:

ABSTAIN:       COUNCIL MEMBERS:

ABSENT:        COUNCIL MEMBERS:

ATTEST: \_\_\_\_\_  
          City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward





# CITY OF HAYWARD

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**File #:** PH 20-057

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**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Director of Public Works

**SUBJECT**

Adopt a Resolution Approving Addenda Nos. 1 through 6, Authorizing the Substitution of Subcontractors, Waiving Errors Related to Subcontractor's DIR/Contractor's Numbers and Awarding a Contract to S. J. Amoroso Construction for the Fire Station 6 and Fire Training Center Project, Project Nos. 07481 and 07482 in the Amount of \$52,397,000

**RECOMMENDATION**

That Council adopts a resolution (Attachment II) approving Addenda Nos. 1 through 6, providing revisions to the plans and specifications and responses to clarification for the Fire Station 6 and Fire Training Center Project, authorizing the substitution of subcontractors, waiving errors related to subcontractor Department of Industrial Relations (DIR) registration number and contractor's license number, awarding the contract to S. J. Amoroso Construction (Amoroso) in the amount of \$52,397,000, and authorizing the City Manager to spend up to \$70,901,700 for the total project cost.

**SUMMARY**

In 2014, the voters of the City of Hayward (City) approved Measure C, which authorized the City to increase the sales tax rate by one-half cent for, among other things, the restoration and maintenance of City services and facilities, including firefighting/emergency medical services. City staff and the design team have been working on completion of the design and various approvals of this project for several years. This project includes partnership with the Chabot-Las Positas Community College District (District) for the shared use of the Fire Training Center. With the completion of the construction documents and approvals by Division of the State Architect (DSA) and Federal Aviation Administration (FAA), the project was advertised on April 3, 2020.

On June 11, 2020, the project received two bids. Both bids were under the engineer's estimate of \$57,000,000. The apparent low bid, submitted by Amoroso, is \$52,397,000 or 8.1% below the engineer's estimate. The second low bid, submitted by Lathrop Construction Associates, Inc., (Lathrop) is \$53,455,600, which is 6.2% below the Engineer's Estimate.

After receiving the bids, Amoroso informed staff of errors in their subcontractors' listing. Staff recommends that Council authorize the substitution of subcontractors, waiving an error related to listing of a subcontractor's number, and awarding the contract to the responsible low bidder, Amoroso, in the amount of \$52,397,000 and authorizing the City Manager to spend up to \$70,901,700, for total project costs, including contingencies.

**ATTACHMENTS**

Attachment I	Staff Report
Attachment II	Resolution
Attachment III	Bid Results
Attachment IV	Declarations



**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Director of Public Works

**SUBJECT:** Adopt a Resolution Approving Addenda Nos. 1 through 6, Authorizing the Substitution of Subcontractors, Waiving Errors Related to Subcontractor's DIR/Contractor's Numbers and Awarding a Contract to S. J. Amoroso Construction for the Fire Station 6 and Fire Training Center Project, Project Nos. 07481 and 07482 in the Amount of \$52,397,000

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That Council adopts a resolution (Attachment II) approving Addenda Nos. 1 through 6, providing revisions to the plans and specifications and responses to clarification for the Fire Station 6 and Fire Training Center Project, authorizing the substitution of subcontractors, waiving errors related to subcontractor Department of Industrial Relations (DIR) registration number and contractor's license number, awarding the contract to S. J. Amoroso Construction (Amoroso) in the amount of \$52,397,000, and authorizing the City Manager to spend up to \$70,901,700 for the total project cost.

## **SUMMARY**

In 2014, the voters of the City of Hayward (City) approved Measure C, which authorized the City to increase the sales tax rate by one-half cent for, among other things, the restoration and maintenance of City services and facilities, including firefighting/emergency medical services. City staff and the design team have been working on completion of the design and various approvals of this project for several years. This project includes partnership with the Chabot-Las Positas Community College District (District) for the shared use of the Fire Training Center. With the completion of the construction documents and approvals by Division of the State Architect (DSA) and Federal Aviation Administration (FAA), the project was advertised on April 3, 2020.

On June 11, 2020, the project received two bids. Both bids were under the engineer's estimate of \$57,000,000. The apparent low bid, submitted by Amoroso, is \$52,397,000 or 8.1% below the engineer's estimate. The second low bid, submitted by Lathrop Construction Associates, Inc., (Lathrop) is \$53,455,600, which is 6.2% below the Engineer's Estimate.

After receiving the bids, Amoroso informed staff of errors in their subcontractors' listing. Staff recommends that Council authorize the substitution of subcontractors, waiving an error related to listing of a subcontractor's number, and awarding the contract to the responsible low bidder, Amoroso, in the amount of \$52,397,000 and authorizing the City Manager to spend up to \$70,901,700, for total project costs, including contingencies.

## **BACKGROUND**

Below is a list of major milestones for the Fire Station 6 and Fire Training Center project:

- June 3, 2014: Voters approved Measure C, which authorized the City to increase the sales tax rate by one-half cent for twenty years to restore and maintain City services and facilities, including firefighting/emergency medical services.
- October 10, 2014: The City's consultant, RossDrulisCusenbery (RDC), completed a facility needs assessment for Fire Stations 1-6 and the Fire Training Center, which determined that all facilities needed substantial upgrades.
- May 26, 2015: Council authorized the City Manager to negotiate and execute an agreement with RDC for design services for Fire Stations 1-6 and the Fire Training Center Improvement project.
- October 18, 2016: Staff provided Council an update on this project.
- October 24, 2017: The District's Board of Trustees passed a motion directing the Chancellor to create a Memorandum of Understanding (MOU) with the City.
- June 28, 2018: Staff submitted the request to the FAA for the release of the land at Hayward Executive Airport (HEA) on which Fire Station 6 and the Fire Training Center would be constructed for non-aeronautical purposes.
- July 24, 2018: Council authorized the City Manager to negotiate and execute an MOU with the District to establish the basis for a ground lease and to accept up to \$20 million dollars from the District for the design, construction, and furnishing of the District's Facilities at the Fire Training Center.
- September 24, 2018: The design team submitted the project plans to DSA for their review of District owned buildings.
- October 25, 2018: The Planning Commission adopted a Mitigated Negative Declaration with Mitigation Monitoring and Reporting Program for the project as it relates to California Environmental Quality Act (CEQA).
- March 5, 2019: Council approved the plans for the abatement and deconstruction of the existing Fire Station 6 and Training Center and call for bids.
- March 6, 2019: Staff provided a design update to the Council Infrastructure Committee (CIC).
- September 2019: Completed demolition of the old Fire Station 6 and the Fire Training Center.

- October 1, 2019: Authorize the City Manager to Negotiate and Execute a Ground Lease and Facilities Use Agreement with the Chabot-Las Positas Community College District for the Fire Training Center.
- November 19, 2019: Council approved the Plans and Specifications and Call for Bids after approval from DSA and FAA.
- January 15, 2020: DSA approval of plans.
- January 15, 2020: FAA determined this project is Categorically Excluded pursuant to FAA Order 1050.1F as it relates to the National Environmental Policy Act.
- March 4, 2020: FAA approval of Form 7460 - Notice of Proposed Construction or Alteration.
- March 25, 2020: FAA public comments closed for release of land for non-aeronautical purposes.
- April 3, 2020: Call for Bids.

## **DISCUSSION**

The call for bids was contingent of receipt of final approvals from DSA and FAA.

### Division of the State Architect (DSA)

The partnership with the District requires review of District owned buildings by DSA since DSA has jurisdiction over structural, fire/life safety, and access compliance requirements for school buildings that are publicly funded. Staff submitted the plans to DSA for their initial review on September 25, 2018. Since that time, there have been a number of review comments from DSA and those comments were addressed by the design team. On January 15, 2020, DSA approved the plans.

### Federal Aviation Administration (FAA)

Since the Fire Station 6 and Fire Training Center are located on HEA property, the project required FAA approval. Parts of the parcels of land where the Fire Station and Fire Training Center sit are for aeronautical purposes and require release of the land for non-aeronautical purposes. On June 28, 2018, staff submitted the request for the release of two parcels of land for non-aeronautical purposes. Additionally, the National Environmental Policy Act (NEPA) requirements applied to this project. Staff worked on obtaining a Categorical Exclusion since the action to change the Airport Layout Plan to build or expand airport fire and rescue buildings falls under categorically excluded actions. The Categorical Exclusion needed to receive determination from the FAA prior to FAA's review for the release of the land. On January 15, 2020, the project was determined by FAA to be Categorically Excluded. On February 11, 2020, the FAA approved the Notice of Request to Release Airport Land to be published in the Federal Register for a 30-day public comment period. FAA also required the submittal of FAA's Form 7460 - Notice of Proposed Construction or Alteration, which received FAA's approval on March 4, 2020. On

March 25, 2020, the 30-day public comment period closed for the Release without receiving any public comments.

With the approvals by DSA and FAA, the final construction documents were completed. On April 3, 2020, the project proceeded with call for bids.

#### Prequalification of General Contractors

Due to the complexity of the project and to have the most qualified contractors bid on the construction contract, advertising was solicited only to pre-qualified general contractors. The pre-qualification process looked at essential requirements like validity of contractor license, insurance limits, bonding capacity, on a qualify/not qualify basis and minimum scoring requirements on history/performance of the contractor, its compliance with safety and health laws, and experience with delivering similar type projects. The request for prequalification was issued to general contractors on September 23, 2019. On October 31, 2019, four general contractors, Balfour Beatty Construction, BCCI Construction Company, Lathrop, and Amoroso, submitted their prequalification package. BCCI did not qualify since they did not meet the criteria for having the experience with delivering similar type projects. The call for bids was sent to the three qualified general contractors - Balfour Beatty Construction, Lathrop, and Amoroso.

#### Addenda

On April 30, 2020, staff issued Addendum No. 1 which responded to bidder questions and included station alerting scope.

On May 13, 2020, staff issued Addendum No. 2 which extended the bid due date to May 28, 2020.

On May 15, 2020, staff issued Addendum No. 3 which responded to bidder questions and included COVID-19 requirements and bid breakdown upon request.

On May 22, 2020, staff issued Addendum No. 4 which further extended the bid due date to June 11, 2020, responded to bidder questions and included Airport safety and security requirements.

On May 28, 2020, staff issued Addendum No. 5 which responded to bidder questions.

On June 5, 2020, staff issued Addendum No. 6 which responded to bidder questions and included relocation of an FAA electrical line.

On June 11, 2020, two (2) bids were received (Attachment III). Amoroso, of Redwood City, submitted the lowest bid in the amount of \$52,397,000 which is 8.1% lower than the Engineer's Estimate of \$57,000,000. Lathrop submitted the second low bid in the amount of \$53,455,600, which is 6.2% below the Engineer's Estimate.

Within 24 hours of opening the bids, Amoroso informed Public Works staff of errors in its bid which it sought to correct. Amoroso erroneously specified the scope of work of two

subcontractors listed in the bid, IBS USA and DaSilva Concrete Construction. Amoroso advised that IBS USA was intended to be the steel subcontractor but was erroneously listed as performing work related to underground utilities. DaSilva was intended to be the earthwork and underground utilities subcontractor but was erroneously listed as performing only earthwork. Public Works staff advised Amoroso of the appropriate procedures for seeking relief for subcontractor listing errors pursuant to Public Contract Code sections 4107 and 4107.5. These sections allow substitutions in the event of clerical errors. Amoroso, IBS USA, and DaSilva Concrete have submitted sworn declarations in support of the request, as required by Public Contract Code section 4107.5. Staff recommends that City Council authorize the substitution of DaSilva Concrete Construction as the underground utilities subcontractor and the substitution of IBS USA as the steel subcontractor pursuant to Public Contract Code sections 4107 and 4107.5.

Additionally, Amoroso's subcontractor's listing of Fireblast Global included errors in listing their DIR registration number and contractor's license number. Staff recommends the City Council waive these errors as inconsequential deviations from the specifications pursuant to Hayward Municipal Code 2-8.06.

Staff recommends awarding the contract to the responsible low bidder, Amoroso, in the amount of \$52,397,000.

Since the engineer's estimate is over \$1,000,000, the Community Workforce Agreement is a requirement of the contract.

## **ECONOMIC IMPACT**

Completion this project will add classrooms and spaces for training and use by others which may result in positive economic benefits for businesses around the area. Additionally, the local economy and local workforce will be positively impacted during construction of the facilities.

## **FISCAL IMPACT**

The estimated project cost are as follows:

Construction Contract	\$52,397,000
Construction Contingency (ACO)	\$5,239,700
Consultant Design	\$5,000,000
Construction Management Administration	\$4,000,000
Inspector of Record Service & Special Testing	\$1,500,000
Demolition of old Fire Station and FTC	\$425,000
Temporary Housing	\$500,000
Permit & Utility Fees	\$940,000
Fixture, Furniture & Equipment	\$600,000
Staff Construction Administration	<u>\$300,000</u>
<b>Total</b>	<b>\$70,901,700</b>

Temporary housing, permit & utilities, fixture, furniture & equipment are estimated and may increase at which time, staff will seek approval from Council for additional funding.

There are multiple funding sources for this project. The City's district sales tax, known as Measure C sales tax, will provide the majority of the funding. The total current budget is \$60.4 million, which includes \$28.7 million outlined in the FY 2019 adopted Capital Improvement Program in Measure C, Fund 406, and \$26 million for FY 2020. Prior year project appropriations total \$5.7 million.

Included in the budgeted amounts and through a partnership with the Chabot-Las Positas Community College District is a \$20 million contribution towards the cost of the project to offset the total current budget.

This leaves an approximately \$10.5 million difference between what has been previously budgeted and the estimated cost (including construction contingency). Staff believes that because of the length of the project and reduced expenditures in future years related to completing or completed projects, future revenues in the Measure C fund will be sufficient to meet the additional previously unappropriated amount. Should there be a need to secure short-term financing for all or part of the \$10.5 million, staff will return to Council for approval.

## **STRATEGIC ROADMAP**

This agenda item supports the Strategic Priority of Improve Infrastructure. Specifically, this item relates to the implementation of the following project:

Project 12: Construct the Fire Station and Fire Training Center

## **SUSTAINABILITY FEATURES**

This project incorporates sustainability features as they relate to water, energy, and the environment. Additionally, the proposed buildings will be designed to meet Leadership in Energy and Environmental Design (LEED) Silver, or better, and zero net energy.

## **PUBLIC CONTACT**

As part of the CEQA requirements, the Initial Study and Mitigated Negative Declaration were posted for public review and a public hearing was brought before the Planning Commission on October 25, 2018. Additionally, as part of the FAA land release process, the request for the release was published in the Federal Register for a 30-day public comment period.

## **NEXT STEPS**

Begin Construction  
Complete Construction

July/August 2020  
Fall 2022



*Prepared by:* Dave Hung, Senior Civil Engineer  
Kathy Garcia, Deputy Director of Public Works

*Recommended by:* Alex Ameri, Director of Public Works  
Garrett Contreras, Fire Chief  
Dustin Claussen, Finance Director

Approved by:

A handwritten signature in black ink, appearing to read 'K. McAdoo', is positioned above a horizontal line.

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Kelly McAdoo, City Manager

HAYWARD CITY COUNCIL

RESOLUTION NO. 20-\_\_\_\_

Introduced by Council Member \_\_\_\_\_

RESOLUTION APPROVING ADDENDA NOS. 1 THROUGH 6, AUTHORIZING THE SUBSTITUTION OF SUBCONTRACTORS, WAIVING ERRORS RELATED TO SUBCONTRACTOR'S DIR/CONTRACTOR'S NUMBERS AND AWARDDING A CONTRACT TO S. J. AMOROSO CONSTRUCTION FOR THE FIRE STATION 6 AND FIRE TRAINING CENTER PROJECT, PROJECT NOS. 07481 AND 07482 IN THE AMOUNT OF \$52,397,000

WHEREAS, by resolution on November 19, 2019, the City Council approved the plans and specifications for the Fire Station 6 and Fire Training Center Project, Project Nos. 07481 and 07482, and called for bids to be received on February 11, 2020 contingent of receipt of approvals from Division of the State Architect and Federal Aviation Administration; and

WHEREAS, on April 30, 2020, Addendum No. 1 was provided to respond to bidder questions and included station alerting scope; and

WHEREAS, on May 13, 2020, Addendum No. 2 was provided to extend the bid due date to May 28, 2020; and

WHEREAS, on May 15, 2020, Addendum No. 3 was provided to respond to bidder questions and included COVID-19 requirements and bid breakdown upon request; and

WHEREAS, on May 22, 2020, Addendum No. 4 was provided to further extend the bid due date to June 11, 2020, respond to bidder questions and included Airport safety and security requirements; and

WHEREAS, on May 28, 2020, Addendum No. 5 was provided to respond to bidder questions; and

WHEREAS, on June 5, 2020, Addendum No. 6 was provided to respond to bidder questions and included relocation of an FAA electrical line; and

WHEREAS, on June 11, 2020, two bids were received, ranging from \$52,397,000 to \$53,455,600; S.J. Amoroso of Redwood City, California submitted the low bid in the amount of \$52,397,000, which is 8.1% below the Engineer's Estimate of \$57,000,000; and

WHEREAS, the Administrative Change Order (ACO) or contingency budget of \$5,239,700 was not disclosed; and

WHEREAS, after opening the bids, Amoroso inform staff of errors in their subcontractor's listing of IBS USA and DaSilva Concrete Construction. IBS USA was intended to be the steel subcontractor but was erroneously listed as performing work related to underground utilities. DaSilva Concrete Construction was intended to be the earthwork and underground utilities subcontractor but was erroneously listed as performing only earthwork; and

WHEREAS, staff has reviewed the sworn declarations provided by Amoroso, IBS USA and DaSilva Concrete Construction and recommends that pursuant to Public Contract Code 4107 and 4107.5, the City Council consents to substitution of DaSilva Concrete Construction as the underground utilities subcontractor and the substitution of IBS USA as the steel subcontractor; and

WHEREAS, Amoroso's subcontractor's listing of Fireblast Global included errors in listing their DIR registration number and contractor's license number; and

WHEREAS, staff has reviewed the information provided by Amoroso and determined that these errors in listing FireBlast Global's DIR registration number and contractor's license number are inconsequential deviations from the specifications which may be waived pursuant to Hayward Municipal Code section 2-8.06.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Hayward hereby consents to the substitution of DaSilva Concrete Construction as the underground utilities subcontractor and the substitution of IBS USA as the steel subcontractor pursuant to Public Contract Code sections 4107 and 4107.5.

BE IT FURTHER RESOLVED that the City Council of the City of Hayward hereby waives the errors listing Fireblast Global's DIR registration number and contractor's license number as inconsequential informalities or irregularities in the bid pursuant to Hayward Municipal Code section 2-8.06.

BE IT FURTHER RESOLVED by the City Council of the City of Hayward that S.J. Amoroso Construction. is hereby awarded the contract for the Fire Station 6 and Fire Training Center Project, Project Nos. 07481 and 07482, in an amount not to exceed \$52,397,000, in accordance with the plans and specifications adopted therefore and on file in the office of the City Clerk of the City of Hayward at and for the price named and stated in the bid of the hereinabove specified bidder, and all other bids are hereby rejected.

BE IT FURTHER RESOLVED by the City Council of the City of Hayward that the Director of Public Works is authorized to expend up to \$70,901,700 for project design, construction, construction contingency, construction administration, inspection, testing, temporary housing, fees, fixture, furniture and equipment to complete the project.

BE IT FURTHER RESOLVED that the City Manager is hereby authorized and directed to execute the contract with S.J. Amoroso Construction, in the name of and for and on behalf of the City of Hayward, in a form to be approved by the City Attorney.

IN COUNCIL, HAYWARD, CALIFORNIA \_\_\_\_\_, 2020

ADOPTED BY THE FOLLOWING VOTE:

AYES:           COUNCIL MEMBERS:  
                  MAYOR:

NOES:           COUNCIL MEMBERS:


ABSTAIN:       COUNCIL MEMBERS:

ABSENT:        COUNCIL MEMBERS:

ATTEST: \_\_\_\_\_  
          City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward

Fire Station #6 and Fire Training Center Project Proj Nos: 07481 and 07482										
Bid Opening: June 11, 2020					Engineer's Estimate		S.J. Amoroso Construction Co., LLC		Lathrop Construction Associates, Inc	
 Alex Ameri, Director of Pubic Works					6/26/20 Date		390 Bridge Parkway Redwood Shores, CA 94065 (650) 654-1900 (650) 654-9002		4001 Park Road Benicia, CA 94510 (707) 746-8000 (707) 746-8080	
Bid Table										
Item #	Item Code	Item Description	Quantity	Unit	Unit Price	Item Total	Unit Price	Item Total	Unit Price	Item Total
1		Fire Station #6 and Fire Training Center	1	LS	\$57,000,000.00	\$57,000,000.00	\$52,397,000.00	\$52,397,000.00	\$53,455,600.00	\$53,455,600.00
Total Bid Amount					\$57,000,000.00		\$52,397,000.00		\$53,455,600.00	

**S.J. Amoroso Construction Co., LLC.**  
390 Bridge Parkway  
Redwood Shores, CA 94065

T (650) 654-1900  
F (650) 654-9002

Contractor License #331024



Via email to: [FS6FTC@hayward-ca.gov](mailto:FS6FTC@hayward-ca.gov) and [Dave.Hung@hayward-ca.gov](mailto:Dave.Hung@hayward-ca.gov).

June 15, 2020

City of Hayward  
777 B Street  
Hayward, CA 94541  
Attn: Dave Hung

Re: Inadvertent Clerical Error in Subcontractor Listing

Dear Mr. Hung:

This letter is written notice pursuant to the City's bidding documents and Public Contract Code Section 4107.5 with regard an inadvertent clerical error in the listing of subcontractors. We are requesting relief with regard to the following clerical error.

1. DaSilva Concrete Construction was inadvertently listed for Earthwork; in fact, its bid was for Earthwork & Underground Utilities.
2. IBS USA, Inc. was listed for Underground Utilities but in fact was to be listed for Steel.

The clerical error in question arose from a last minute change in the bids received from the subcontractors listed above. Based on prior input from subcontractors, we originally had expected to receive separate bids for Earthwork and Underground Utilities. Like most general contractors, we prepared as much of the bid proposal as possible in advance to minimize the number of entries that the bid runner would have to make (this also reduces the possibilities for mistakes). Right before our bid was due, however, DaSilva Concrete submitted a bid for both the Earthwork and Underground Utilities. We contacted the bid runner to have her make this modification to the sublist and to list IBS USA, Inc on the form for Steel. During this last minute adjustment, she accidentally added IBS USA, Inc next to the Underground Utilities description instead of adding Utilities to the Earthwork description of work. This unfortunate clerical error resulted in IBS USA, Inc. being listed for Underground Utilities instead of Steel, which is IBS's specialty trade.



We respectfully request that this clerical error be corrected so the DaSilva Concrete Construction and IBS USA, Inc. can perform the work scope that they bid and upon which our price for the Project was based. Thank you for your consideration of this matter. Please feel free to contact me if you need further information. A copy of this letter has been sent to DaSilva Concrete Construction and IBS USA, Inc.

Sincerely,

S.J. AMOROSO CONSTRUCTION CO., LLC

A handwritten signature in blue ink, appearing to read "Jim Benson", with a long horizontal flourish extending to the right.

Jim Benson  
Chief Estimator

Enclosure

cc: DaSilva Concrete Construction  
IBS USA, Inc.



**DECLARATION IN SUPPORT OF S.J. AMOROSO CONSTRUCTION CO., INC.'S  
REQUEST FOR CORRECTION OF INADVERTENT CLERICAL ERROR**

I, Jim Benson, declare:

1. I am the Chief Estimator for S.J. Amoroso Construction Co., Inc. ("S.J. Amoroso"). I was involved in the preparation of the bid proposal for the Hayward Fire Station #6 & Fire Training Center (the "Project").

2. I make this declaration of my own knowledge. If called to do so, I could and would testify competently as to the matters set forth herein.

3. S.J. Amoroso is requesting relief with regard to the following clerical error.

- a. DaSilva Concrete Construction was inadvertently listed for Earthwork; in fact, its bid was for Earthwork & Underground Utilities.
- b. IBS USA, Inc. was listed for Underground Utilities but in fact was to be listed for Steel.

4. I am providing this declaration to explain how the inadvertent clerical error occurred.

5. The error arose from a last minute change in the bids received from the two subcontractors noted above.

6. Based on prior input from subcontractors, we originally had expected to receive separate bids for Earthwork and Underground Utilities. Like most general contractors, we prepared as much of the bid proposal as possible in advance to minimize the number of entries that the bid runner would have to make (this also reduces the possibilities for mistakes).

7. Right before our bid was due, however, DaSilva Concrete submitted a bid for both the Earthwork and Underground Utilities. We contacted the bid runner to have her make this modification to the sublist and to list IBS USA, Inc on the form for Steel. During this last minute adjustment, she accidentally added IBS USA, Inc next to the Underground Utilities description instead of adding Utilities to the Earthwork description of work. This unfortunate clerical error resulted in IBS USA, Inc. being listed for Underground Utilities instead of Steel, which is IBS's specialty trade.

8. We respectfully request that this clerical error be corrected so the DaSilva Concrete Construction and IBS USA, Inc. can perform the work scope that they bid and upon which our proposal was based.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

Dated: June 15, 2020

  
Jim Benson





# IBS USA Inc.

418 Ramsell Street, San Francisco, CA 94132  
Tel: 415-587-8729 Fax: 415-587-8732

Signatory to Local Union #377 & #378  
CA License No. 825156  
CA DIR Registration #1000010599

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Date: 06/16/2020

Dave Hung  
City of Hayward  
Department of Public Works  
777 B Street  
Hayward, CA 94541

RE: DECLARATION FROM IBS USA INC. IN SUPPORT OF S.J. AMOROSO CONSTRUCTION'S REQUEST  
FOR CORRECTION OF INADVERTENT CLERICAL ERROR

Dear Mr. Hung

I, Sunny Au, declare:

1. I am the Project Manager/Estimator for IBS USA, Inc. I was involved in the preparation of the bid proposal for the Hayward Fire Station #6 & Fire Training Center.
2. I make this declaration of my own knowledge. If called to do so, I could and would testify competently as to the matters set forth herein.
3. IBS USA Inc is a structural steel/metal fabrication specialty subcontractor. We were incorporated in 2001. We have not and do not bid earthwork or underground utilities.
4. IBS USA Inc finalized our scope of work and pricing shortly before bid closing and sent our proposal to Amoroso via fax. Additionally, I received a call from Amoroso, minutes before closing, to discuss my scope of work and final pricing. I was told that I would be listed for this scope of work.
5. IBS USA Inc fully supports Amoroso's request for relief of the inadvertent clerical error.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

Sincerely,



Sunny Au  
Project Manager/Estimator  
IBS USA, Inc.

cc : Jim Benson, Chief Estimator for S.J. Amoroso Construction Co., LLC.



P.O. Box 5177  
Santa Clara, CA 95056  
License # 1059164  
DIR# PW-LR-1000576084

**Date:** June 16, 2020

**To:** City of Hayward  
**Address:** 777 B Street  
Hayward, CA 94541

**Attention:** Dave Hung  
Dave.Hung@hayward-ca.gov

**RE:** Declaration from DaSilva Concrete in Support of SJ Amoroso Constructions'  
Request for Correction of Inadvertent Clerical Error

Dear Mr. Hung,

I, Spencer Harris, Director of Preconstruction for DaSilva Concrete, and the Estimator in Charge of the Hayward Fire Station #6 bid, do declare:

1. DaSilva Concrete is a General Engineering Contractor. We traditionally perform earthwork, underground utilities & site concrete.
2. On bid day, we submitted two separate prices. One for Site Concrete, and the second for, Earthwork and Underground Utilities.
3. We were informed that Amoroso intended to list us for the Earthwork and Utility scope only, and not for the Site Concrete scope.
4. Regarding Amoroso's letter articulating the clerical error on bid day, we agree. We are of the understanding that we were listed for Earthwork and Utilities.
5. As evidence of our scope of work, please see attached proposal which was revised and emailed to Amoroso at 1:53 pm on Thursday, June 11<sup>th</sup>.

Sincerely,

*Spencer M. Harris*

Spencer M. Harris

Director of Preconstruction  
DaSilva Concrete  
(831) 818-9023  
Spencer@DaSilvaConcrete.com



P.O. Box 5177  
Santa Clara, CA 95056  
License # 1059164  
DIR# PW-LR-1000576084

**Date:** June 29, 2020 – Revision 1

**To:** City of Hayward  
**Address:** 777 B Street  
Hayward, CA 94541

**Attention:** Dave Hung  
Dave.Hung@hayward-ca.gov

**RE:** Declaration from DaSilva Concrete in Support of SJ Amoroso Constructions'  
Request for Correction of Inadvertent Clerical Error

Dear Mr. Hung,

I, Spencer Harris, Director of Preconstruction for DaSilva Concrete, and the Estimator in Charge of the Hayward Fire Station #6 bid, do declare:

1. DaSilva Concrete is a General Engineering Contractor. We traditionally perform earthwork, underground utilities & site concrete.
2. On bid day, we submitted two separate prices. One for Site Concrete, and the second for, Earthwork and Underground Utilities.
3. We were informed that Amoroso intended to list us for the Earthwork and Utility scope only, and not for the Site Concrete scope.
4. Regarding Amoroso's letter articulating the clerical error on bid day, we agree. We are of the understanding that we were listed for Earthwork and Utilities.
5. As evidence of our scope of work, please see attached proposal which was revised and emailed to Amoroso at 1:53 pm on Thursday, June 11<sup>th</sup>.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct to the best of my knowledge.

Sincerely,

*Spencer M. Harris*

Spencer M. Harris

Director of Preconstruction  
DaSilva Concrete  
(831) 818-9023  
Spencer@DaSilvaConcrete.com



# CITY OF HAYWARD

Hayward City Hall  
777 B Street  
Hayward, CA 94541  
[www.Hayward-CA.gov](http://www.Hayward-CA.gov)

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**File #:** PH 20-054

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**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Development Services Director

**SUBJECT**

Zoning Text Amendment for Tobacco Retail Sales Establishments: Introduction of an Ordinance and Adoption of a Resolution for a Zoning Text Amendment to Chapter 10, Article 1, Section 10-1.2780, Tobacco Retail Sales Establishments, of the Hayward Municipal Code Relating to Tobacco Retail Sales Establishments

**RECOMMENDATION**

That Council adopts an ordinance (Attachment II) and a resolution (Attachment III) for the proposed Zoning Text Amendment to Chapter 10, Article 1 of the Hayward Municipal Code, Sections 10-1.2780 through 10-1.2797, Tobacco Retail Sales Establishments, to establish new and updated regulations relating to the sale of flavored tobacco products, electronic smoking devices, and vaping products.

**SUMMARY**

The City recognizes that attention and response to maintaining regulations beneficial and current to the health and safety needs of our community and youth are an important part of our responsibility to serve the interests of the public.

In response to City Council direction from a September 2019 Council Referral Memo and concerns pertaining to the negative health consequences of tobacco and the increased use of flavored tobacco, electronic smoking devices ("E-cigarettes") and vapor products among youth in Hayward, staff is recommending a Zoning Text Amendment to the Tobacco Retail Sales Establishment Ordinance that includes improved regulatory standards to mitigate the increased use of flavored tobacco products, E-cigarettes, and vapor products among Hayward youth, and the general accessibility of tobacco products. The proposed text amendments include stronger regulations in line with County, State, and Federal regulatory agencies to ensure uniform education and compliance related to tobacco and electronic smoking products.

**ATTACHMENTS**

Attachment I	Staff Report
Attachment II	Ordinance
Attachment III	Resolution
Attachment IV	Council Matrix
Attachment V	Public Comments
Attachment VI	PC Minutes 5/28/2020



**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Development Services Director

**SUBJECT:** Zoning Text Amendment for Tobacco Retail Sales Establishments: Introduction of an Ordinance and Adoption of a Resolution for a Zoning Text Amendment to Chapter 10, Article 1, Section 10-1.2780, Tobacco Retail Sales Establishments, of the Hayward Municipal Code Relating to Tobacco Retail Sales Establishments

## **RECOMMENDATION**

That Council adopts an ordinance (Attachment II) and a resolution (Attachment III) for the proposed Zoning Text Amendment to Chapter 10, Article 1 of the Hayward Municipal Code, Sections 10-1.2780 through 10-1.2797, Tobacco Retail Sales Establishments, to establish new and updated regulations relating to the sale of flavored tobacco products, electronic smoking devices, and vaping products.

## **SUMMARY**

The City recognizes that attention and response to maintaining regulations beneficial and current to the health and safety needs of our community and youth are an important part of our responsibility to serve the interests of the public.

In response to City Council direction from a September 2019 Council Referral Memo and concerns pertaining to the negative health consequences of tobacco and the increased use of flavored tobacco, electronic smoking devices ("E-cigarettes") and vapor products among youth in Hayward, staff is recommending a Zoning Text Amendment to the Tobacco Retail Sales Establishment Ordinance that includes improved regulatory standards to mitigate the increase use of flavored tobacco products, E-cigarettes, and vapor products among Hayward youth, and the general accessibility of tobacco products. The proposed text amendments include stronger regulations in line with County, State, and Federal regulatory agencies to ensure uniform education and compliance related to tobacco and electronic smoking products.

## **BACKGROUND**

On July 1, 2014, the City of Hayward adopted Chapter 10, Article 1 of the Hayward Municipal Code, Sections 10-1.2780 through 10-1.2797, Tobacco Retail Sales Establishments

Ordinance<sup>1</sup>. This ordinance established reasonable and uniform regulations to prevent the proximity of tobacco retail sales to youth within sensitive receptor areas and a means by which to regulate and monitor retail sales of tobacco to protect youth in our community.

In 2014, 144 tobacco retail establishments in Hayward were identified, including four vapor lounges. To date, there are 119 active tobacco retail establishments and zero active vapor lounges. According to the California Community Health Assessment Tool of the Stanford Prevention Research Center, there are approximately 13 tobacco establishments in Hayward that are within 500 feet of schools, while 37 are within 1,000 feet. Furthermore, an evaluation of City data shows there are 48 existing tobacco retailers located within the 500-foot buffer zone to youth sensitive areas (i.e. schools and parks), and 36 retailers are located within a 1,000-foot buffer zone to youth sensitive areas, for a total of 84 tobacco retailers within the 1,000-foot buffer zone.

For Fiscal Years 2014-2015 through 2019-2020, the Hayward Police Department conducted approximately 539 inspections and issued 78 administrative citations to local tobacco retailers for selling to minors. Of the 78 that sold tobacco products to minors, 17 retailers sold a vape product to a minor, while 61 retailers sold a traditional tobacco product. In addition, of the 78 retailers, 18 retailers were repeat offenders. During the same period, the Code Enforcement Division conducted approximately 339 inspections and issued approximately 100 regulatory violation notices to tobacco retailers who were in violation of local and State tobacco retail laws and standards, i.e. sale of single cigarettes, minimum size package requirement, not renewing their tobacco license, etc.

On September 24, 2019, the Council approved a referral memorandum<sup>2</sup>, submitted by Councilmembers Mendall, Márquez, and Zermeno, to review the City's Tobacco Retail License (TRL) ordinance and regulations to address concerns regarding the accessibility of tobacco and the availability of alternative vapor and electronic smoking products to youth. The points of discussion from Council included adding or enhancing restrictions or further regulations on: (1) the sale of tobacco and vaping products, flavored tobacco products, small or inexpensive tobacco; (2) location of tobacco retailers as it relates to youth sensitive areas; and (3) other changes that will help reduce teen use of tobacco and vaping products in Hayward.

On December 2019, a Tobacco Policy meeting with members of the Coalition for Health Against Tobacco, the Alameda County Public Health Department, and the City was held. Among the discussion points, substantial regional and national data regarding the growing trend of tobacco use by youth and the health consequences were presented together with "best practice" measures adopted by the State and local agencies in an effort to align local enforcement of flavored tobacco and electronic smoking devices in Alameda County, and eliminate the accessibility of tobacco products to youth to address the related health issues.

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<sup>1</sup> Hayward Municipal Code Section 10-1.2780, Tobacco Retail Sales Establishments Ordinance: [https://library.municode.com/ca/hayward/codes/municipal\\_code?nodeId=HAYWARD\\_MUNICIPAL\\_CODE\\_CH10PLZOSU\\_ART1ZOOR\\_S10-1.2780TORESAES](https://library.municode.com/ca/hayward/codes/municipal_code?nodeId=HAYWARD_MUNICIPAL_CODE_CH10PLZOSU_ART1ZOOR_S10-1.2780TORESAES)

<sup>2</sup> City Council Memorandum Referral (RPT 19-344), September 24, 2019: <https://hayward.legistar.com/View.ashx?M=F&ID=7723961&GUID=6EA8754E-EE71-4E2E-98C7-8271095BF23A>

On January 2, 2020, in response to evidence of increased youth use of Electronic Nicotine Delivery Systems (ENDS), the U.S. Food and Drug Administration (FDA) issued a formal guidance document<sup>3</sup> for enforcement priorities on ENDS products. Specifically, the FDA prioritized enforcement against tobacco products on the market that included: (1) flavored, cartridge based ENDS products (except for tobacco or menthol-flavored products); (2) all other ENDS products for which the manufacturer has failed to take adequate measures to prevent minors' access; and (3) any ENDS products targeted to, or whose marketing is likely to promote use by minors. In addition, the FDA intends to prioritize enforcement of any ENDS product that is offered for sale in the United States as of September 9, 2020.

According to information published by the Centers for Disease Control and Prevention (CDC)<sup>4</sup>, tobacco product use among U.S. youth is rapidly increasing. More than 1 in 4 high school students and about 1 in 10 middle school students, were found to have used tobacco in 2019. This notable increase from previous 2017 data<sup>5</sup> compiled by CDC was identified to have been driven predominately by an increase in E-cigarette use. E-cigarette use increased from 11.7% to 27.5% among high school students, and from 3.3% to 10.5% among middle school students from 2017 to 2019. A slight downward, 1-3%, change was found in the use of other tobacco products, including traditional cigarettes during this time for middle and high school students.

Information from the California Department of Public Health 2018 Survey of California Youth<sup>6</sup> identified a similar increase in E-cigarette and vaping, 27%, from 2016 to 2018. Additionally, data from the California Department of Education 2018-2019 Survey for Hayward Unified School District<sup>7</sup> revealed a significant number of 7th, 9th, and 11th graders (8%, 11%, and 13%, respectively) are currently using electronic cigarettes/vapor products, validating staff and community concerns of trending tobacco use activity by the youth.

Based on the data obtained identifying the increased health crisis and the trends in the use of flavored tobacco products and the accessibility by youth, staff reviewed several ordinances, including the County of Alameda and the cities of Fremont, Oakland, and San Leandro, as well as supportive language from Change Lab Solutions (tobacco policy expert), to craft text amendments suited for Hayward.

In addition, staff has been in discussion with the County of Alameda Public Health Department and City divisions in identifying various positive and effective regulations to manage this crisis given our available resources.

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<sup>3</sup> FDA Enforcement Priorities for Electronic Nicotine Delivery Systems (ENDS) and Other Deemed Products on the Market Without Premarket Authorization: <https://www.fda.gov/media/133880/download>

<sup>4</sup>Centers for Disease Control and Prevention, Youth and Tobacco Use, Estimates: [https://www.cdc.gov/tobacco/data\\_statistics/fact\\_sheets/youth\\_data/tobacco\\_use/index.htm#current-estimates](https://www.cdc.gov/tobacco/data_statistics/fact_sheets/youth_data/tobacco_use/index.htm#current-estimates)

<sup>5</sup>2019 National Youth Tobacco Survey Fact Sheet: <https://www.fda.gov/media/132299/download>

<sup>6</sup>California Department of Public Health, Tobacco Control Program, California Tobacco Facts and Figures 2019:: <https://www.cdph.ca.gov/Programs/CCDPHP/DCDIC/CTCB/CDPH%20Document%20Library/ResearchandEvaluation/FactsandFigures/CATobaccoFactsandFigures2019.pdf>

<sup>7</sup> California Department of Education 2018-2019 Survey, Hayward Unified School District, Middle and Secondary Students Survey Table: [https://public.tableau.com/shared/NK9FK6YPT?toolbar=n&:display\\_count=y&:origin=viz\\_share\\_link&:embed=y](https://public.tableau.com/shared/NK9FK6YPT?toolbar=n&:display_count=y&:origin=viz_share_link&:embed=y)



Council Economic Development Committee CEDC: On March 2, 2020<sup>8</sup>, staff presented a report to the CEDC and the general public to request direction on drafting revisions to the Tobacco Retail Sales Establishment Ordinance. Public speakers included students and staff from the Hayward Unified School District as well as staff from the Alameda County Public Health Department in support of additional regulations for the health and safety of youth, as well as measures necessary to reduce the accessibility of tobacco and electronic smoking devices to youth. Members of CEDC (the Mayor and two City Council members) expressed concerns about identifying measures to deal more effectively with this growing issue and the negative impacts to our youth and community. Staff received consensus to bring forward a Text Amendment of the Ordinance to the City Council.

Planning Commission Public Hearing: On May 28, 2020<sup>9</sup>, the Planning Commission held a public hearing to review staff's recommendations of the proposed revisions to the Tobacco Retail Sales Establishment Ordinance. Public speakers included several tobacco retail owners from the Hayward business community and from the general public against the proposed amendments, as well as many students and staff from the Hayward Unified School District, Alameda County Public Health Department, Alameda County Tobacco Control Coalition, and other local agencies in support of the proposed amendments.

The Planning Commission voted 6-0 (one absent) to recommend approval of the proposed amendments to the Tobacco Retail Sales Establishment Ordinance with the recommendation for staff to attach a matrix, "Planning Commission Comments and Recommendations for City Council" (Attachment IV), that includes a general evaluation and response by staff for consideration by the City Council as possible alternatives to the proposed ordinance changes.

## **DISCUSSION**

As adopted in 2014, the specific purpose of the regulations is "to provide for the orderly integration of tobacco-related uses in a manner that will prevent the sale of tobacco products and electronic smoking devices to youth by establishing reasonable and uniform regulations to prevent the close proximity of tobacco retail sales uses to youth and sensitive receptors, while permitting the location of tobacco retail sales in certain areas." As proposed, the updated Tobacco Retail Sales Establishment regulations will be codified in Section 10-1.2780 et seq. of the Zoning Ordinance.

The areas of consideration provided to staff by Council are the primary focal points of the proposed text amendments to the Tobacco Retail Sales Establishment Ordinance, which include: additional restrictions on the sale of tobacco and vaping products, flavored tobacco products, and small or inexpensive tobacco; the location of tobacco retailers as it relates to youth sensitive areas; additional monitoring of tobacco use and vaping products; and changes that will help reduce teen use of tobacco and vaping products in Hayward.

Staff recommends the proposed Text Amendment to Chapter 10, Article 1, Section 10-1.2780,

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<sup>8</sup> Council Economic Development Committee, March 2, 2020, Meeting, Item RPT 20-026:

<https://hayward.legistar.com/MeetingDetail.aspx?ID=752550&GUID=FFB56822-5B3E-4AAF-9E20-76A40801051&Options=info&Search=>

<sup>9</sup> Planning Commission Meeting, Public Hearing #PH 20-023, Item with Attachments:

<https://hayward.legistar.com/LegislationDetail.aspx?ID=4544481&GUID=C662AF9E-5966-40D6-BE89-BDA9F990018&Options=&Search=>

Tobacco Retail Sales Establishment Ordinance included in Attachment II, with deletions shown in ~~striketrough~~ and new text shown in underlined text. The most significant changes from the existing regulations are included in the following sections of the Ordinance.

SEC. 10-1.2780 - Findings and Purpose - This section previously identified as “Purpose” has been updated to include Findings related to Council and public concerns regarding the negative effects that tobacco and related products have on the health of the City’s youth and community. Recommended changes to this section also provide clarification of the purpose of the Ordinance and a level of regulatory protection sufficient to mitigate the dangers these substances present to Hayward residents.

SEC. 10-1.2782- Definitions - On January 2, 2020, the U.S. Food and Drug Administration (FDA), in response to evidence of increased youth use of Electronic cigarettes or what the FDA identified as Electronic Nicotine Delivery Systems (ENDS), issued a formal guidance document for enforcement priorities on ENDS products. As a result, staff has included amendments in the definition section to ensure consistency with County, State, and Federal terminology related to newly emerging tobacco, vapor, and electronic smoking devices or substance distribution products.

SEC. 10-1.2783 - Requirements and Operational Standards for Tobacco Retail Sales Establishments - Text amendments and re-organization of established standards where proposed throughout this section will provide additional clarity as well as align regulatory requirements consistent with best practices from the California Tobacco Control Program, the Alameda County Department of Public Health, and other surrounding jurisdictions. The more notable changes to this section address areas for consideration provided by the Council and include stronger standards to help mitigate the rising trends in the use of tobacco and vaping products in secondary schools.

The main text amendments to this Section include:

1. Changes in the minimum floor price to \$8, and packaging size of tobacco products (i.e. 20 cigarettes per package size) consistent with County and neighboring jurisdictions for enforcement.
2. The removal of the legal-nonconforming status of tobacco retailers that sell flavored or other unpermitted tobacco products currently banned throughout the City.
3. Consolidation of all regulations pertaining to banned substances and products to ensure clarity in product offering restrictions to the public.
4. Implementation of a six (6) month-grace period for all legal retailers to cease sales and remove all un-permitted or unlawful products, including:
  - (i) Flavored tobacco products and any related flavored tobacco paraphernalia.
  - (ii) Electronic smoking devices and electronic nicotine delivery systems; and
  - (iii) Vaping products and vaping paraphernalia; including devices, parts and components.
5. Additional text amendments for language clarity and details in the descriptions of

the products being regulated

SEC. 10-1.2784 – Large Format Tobacco Retailers - Language was added under Item “c.” of this Section to effectively prohibit the sales of tobacco products and tobacco paraphernalia sales in large format stores that primarily promote community health, such as pharmacies and drugstores, consistent with the intent of the County and other local jurisdictions regulations.

SEC. 10-1.2786 - Conditional Use Permit for new Tobacco Retail Sales Establishments – To further limit accessibility of tobacco products to youth and sensitive receptors, staff proposed an increase to the minimum distance of tobacco retailers to residential zones and any sensitive receptors from 500 feet to 1,000 feet, which is also consistent with the County of Alameda best practices standards. The Planning Commission voted (6-0) on the proposed land use change to increase the minimum distance from youth sensitive receptors to 1,000 feet.

Planning Commission Recommendations. Per the Planning Commission’s recommendation, staff created a matrix, “Planning Commission Comments and Recommendations for City Council” (Attachment IV) of comments provided by the Planning Commission and staff’s evaluation and action for review by the City Council. The comments included:

- Imposing community service for violators.
- Limiting the ban of flavored tobacco products to adult-only locations.
- Regulating tobacco retailers like cannabis dispensaries.
- Enforcing the buffer zones.
- Exploring other options prior to a full ban across all tobacco retailers.
- Including actions to mitigate the impact to the community, i.e. cessation assistance resources, etc.
- Not including vaping products in the proposed ban of flavored tobacco products.

Staff reviewed these items and provided responses and proposed actions in Attachment IV. No additional changes to the proposed text amendments are recommended by staff, with the exception of additional language related to the ban on vaping products for greater clarity.

## **ENVIRONMENTAL REVIEW**

Pursuant to the California Environmental Quality Act of 1970, Public Resources Code §21000, et seq., as amended and implementing State CEQA Guidelines, Title 14, Chapter 3 of the California Code of Regulations (collectively, “CEQA”), the proposed Amendments do not constitute a “project” within the meaning of Public Resources Code Section 21065, and CEQA Guidelines Sections 15061(b)(3) and 15378 because there is no potential that it will result in a direct or reasonably foreseeable indirect physical change in the environment and because it has no potential for either a direct physical change to the environment, or a reasonably foreseeable indirect physical change in the environment.

## **ECONOMIC IMPACT**

The adoption of the proposed tobacco retail sales regulation amendments will provide stronger enforcement authority for establishments that sell or continue to sell to minors, while providing the ability to keep new tobacco retail establishments away from youth sensitive receptors through the increase of the buffer zone from 500 feet to 1,000 feet.

Positive impacts on sensitive receptors and neighborhoods are expected with the increased distance from these locations by limiting accessibility of tobacco products to minors.

However, existing retail stores that rely on a large percent of their total sales of flavored tobacco and vaping products may be discouraged from locating in Hayward, which may result in a decrease in sales tax revenue from tobacco sales for the City.

According to the National Association of Convenience Stores (NACS)<sup>10</sup>, sales of tobacco products (cigarettes and other tobacco products in general) represent approximately 36% of in-store sales at U.S. convenience stores, including gas stations. Staff was not able to locate a collection of specific sales data for Hayward by tobacco product to determine the potential economic impact to existing tobacco retailers, as most tobacco retailers in Hayward sell other consumer products in addition to tobacco products.

Although not known, it could be reasonable to assume that a portion of the 36% in potential tobacco sales revenue for convenience stores and gas stations in Hayward will be reduced by the implementation of the proposed text amendments. The increase on the minimum floor prices and minimum package sizes of non-flavored tobacco products proposed could also potentially offset a portion of the loss in sales revenue resulting from the proposed full ban of flavored tobacco products and vaping products.

## **FISCAL IMPACT**

Staff has identified no additional fiscal impact at this time and anticipate any cost recovery for enforcement will be accomplished under the currently existing Tobacco Retailer License Inspection Program, jointly operated by the Code Enforcement Division and the Police Department. Staff will continue to monitor the program for impacts and report to Council for further direction if required. The existing annual Tobacco Retail Sales License fee for tobacco retailers is \$400. In addition, the City has adopted tobacco offense penalties (\$1,500, \$3,000, and \$5,000) for violations of the Tobacco Retail Sales Establishment Ordinance, including violations of local, State, and Federal regulations relating to the sales of tobacco products, in accordance with the Master Fee Schedule.

## **STRATEGIC ROADMAP**

This agenda item supports the Strategic Priority of Support Quality of Life Initiative. Specifically, this item relates to the implementation of the following project:

*Project 11: Implement a vaping ban*

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<sup>10</sup> National Association of Convenience Stores (NACS) weblink:  
<https://www.convenience.org/Advocacy/Issues/Tobacco/FDARegulationofTobacco>

## **SUSTAINABILITY FEATURES**

The proposed project involves the amendment of the Tobacco Retail Sales Establishment regulations, which will not result in a direct impact on the environment. However, with the implementation of these regulations, it will reduce the exposure of direct and secondhand smoke to individuals and youth within the City, which will result in healthier people within the community. In the midst of the COVID-19 global pandemic, an acute respiratory syndrome, health experts have found new evidence that using vaping and electronic devices increases the risk of contracting the virus and makes individuals susceptible to greater lung injury from any illness. Minimizing exposure to direct and secondhand smoke from all forms of nicotine vapors and similar devices promotes the health of individuals in Hayward.

## **PUBLIC CONTACT**

On February 14, 2020, staff presented a report for public input to the Chamber of Commerce Government Relations Council (GRC) to identify any local business concerns and receive public input. Overall, the GRC and its attendees expressed support for the establishment of strengthened standards.

Staff has worked closely with subject matter experts from the Alameda County Public Health Department and Change Lab Solutions (tobacco policy expert) in reviewing adopted local regulations and best practice measures to develop the proposed text amendments in line with the intent of these locally adopted standards for local consistency in the enforcement, while still maintaining them suited within the City's standards and enforcement practices.

On May 15, 2020, a legal ad was posted in the Daily Review newspaper of the proposed Ordinance. The ad provided information on the date the full draft document would be available on the City's website.

On May 18, 2020, a Code Enforcement notification was mailed to all existing tobacco retailers (119) that included an overview of the proposed Text Amendment to the Tobacco Retail Sales Establishment Ordinance, HMC Section 10-1.2780, and information on the scheduled Planning Commission Public Hearing Meeting of May 28, 2020.

Staff received numerous letters and other communications<sup>11</sup> from the public and community advocacy groups prior to the Planning Commission meeting in support of stronger regulations pertaining to the sale of flavored tobacco products and electronic smoking devices, the sale of tobacco near child-sensitive areas, raising the tobacco minimum price and package size requirements, and prohibiting the sale of tobacco products in pharmacies. Staff also received communication via email and phone from retailers and consumers opposing the ban of flavored tobacco and vaping products.

On June 23, 2020, Code Enforcement staff mailed an informational notification to all existing tobacco retailers that included an overview of the proposed Text Amendment changes, the scheduled upcoming City Council public hearing pertaining to the introduction of the Text

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<sup>11</sup> Public Comment Correspondence prior to Planning Commission Meeting of May 28,2020; Attachment IV Comments Received:  
<https://hayward.legistar.com/LegislationDetail.aspx?ID=4544481&GUID=C662AF9E-5966-40D6-BE89-BDA9F990018&Options=&Search=>

Amendment to the Tobacco Retail Sales Establishment Ordinance, and information pertaining to comments received to date from tobacco retailers and tobacco consumers in opposition of stronger regulations.

As of the date of this report, staff received additional letters and other communications (Attachment V) from the public and community groups in support of stronger regulations to restrict access of flavored tobacco and vaping products to the youth in our community. As of the date of this report was generated, no additional communication was received opposing the proposed Text Amendment to the Tobacco Retail Sales Establishment Ordinance.

On June 26, 2020, a legal ad was posted in the Daily Review newspaper of the proposed Ordinance. The ad provided information on date the full draft document would be available on the City's website.

## **NEXT STEPS**

If approved, the text amendments to Tobacco Retail Sales Establishment Ordinance will be reviewed by the City Council for a second reading for adoption and will become effective in Fiscal Year 2020-2021, 30 days after adoption. Code Enforcement, in collaboration with the Police Department, will complete an implementation plan for notification and enforcement to all existing establishments that will include: (1) the new adopted regulations; (2) timeframe to comply with the new regulations; (3) a list of examples of types of products prohibited for sale and inspection checklist; (4) the City's inspection and enforcement procedures; (5) appeal process to contest a violation; and (6) information of available resources for the community and the tobacco retailers to assist in the transition of the new regulations. Additionally, all program information will be updated and made available on the City's website.

*Prepared by:* Maggie Flores, Senior Code Enforcement Inspector

*Recommended by:* Laura Simpson, Director of Development Services

*Approved by:*

A handwritten signature in dark ink, appearing to read 'K. McAdoo', is written over a horizontal line.

Kelly McAdoo, City Manager

## ORDINANCE NO. 20-\_\_\_\_

ORDINANCE OF THE CITY OF HAYWARD, CALIFORNIA, AMENDING CHAPTER 10  
(PLANNING, ZONING, AND SUBDIVISIONS), ARTICLE 1 (ZONING ORDINANCE),  
SECTION 10-1.2780 THROUGH 10-1.2797, TOBACCO RETAIL SALES  
ESTABLISHMENTS, OF THE HAYWARD MUNICIPAL CODE

THE CITY COUNCIL OF THE CITY OF HAYWARD DOES ORDAIN AS FOLLOWS:

Section 1. Provisions. The City Council incorporates by reference the findings contained in Resolution No. 20-\_\_ approving the text changes to the Hayward Municipal Code, Sections 10-1.2780 through 10-1.2797, Tobacco Retail Sales Establishments Ordinance.

Section 2. Chapter 10, Planning, Zoning, and Subdivisions of the Hayward Municipal Code, which establishes development standards and regulations for all zoning districts within City boundaries, is hereby amended to add certain text (as indicated by underline) and delete certain provisions (as indicated by strikethrough) in the attached Exhibit "A", related to tobacco retail sales establishments, introduced herewith and as specifically shown in this Ordinance.

Section 3. Severance. Should any part of this Ordinance be declared by a final decision by a court or tribunal of competent jurisdiction to be unconstitutional, invalid, or beyond the authority of the City, such decision shall not affect the validity of the remainder of this Ordinance, which shall continue in full force and effect, provided that the remainder of the Ordinance, absent the unexcised portion, can be reasonably interpreted to give effect to the intentions of the City Council.

Section 4. Effective Date. In accordance with the provisions of Section 620 of the City Charter, the Ordinance shall become effective immediately upon adoption.

INTRODUCED at a regular meeting of the City Council of the City of Hayward,  
held the 7<sup>th</sup> day of July 2020, by Council Member \_\_\_\_\_.

ADOPTED at a regular meeting of the City Council of the City of Hayward,  
held the \_\_th day of \_\_\_\_\_ 2020, by the following votes of members of said City Council.

AYES: COUNCIL MEMBERS:

MAYOR:

NOES: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

APPROVED:

\_\_\_\_\_  
Mayor of the City of Hayward

DATE: \_\_\_\_\_

ATTEST:

\_\_\_\_\_  
City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward



**EXHIBIT A****CHAPTER 10, PLANNING, ZONING, AND SUBDIVISIONS  
ARTICLE 1, ZONING ORDINANCE****SECTION 10-1.2780. TOBACCO RETAIL SALES ESTABLISHMENTS****SEC. 10-1.2780– FINDINGS AND PURPOSE.**

~~In addition to the general purposes listed in Section 10-1.110, General Provisions, the specific purpose of the Tobacco Retail Sales Establishments regulations is to provide for the orderly integration of tobacco-related uses in a manner that will prevent the sale of tobacco products and electronic smoking devices to youth by establishing reasonable and uniform regulations to prevent the close proximity of tobacco retail sales uses to youth and sensitive receptors, while permitting the location of tobacco retail sales in certain areas.~~

**The City finds and declares as follows:**

- ~~a. According to the Centers for Disease Control and Prevention, each day about 1,600 U.S. youth under the age of 18 smoke their first cigarette. Each year, nearly half a million Americans die prematurely of smoking or exposure to secondhand smoke. Another 16 million live with a serious illness caused by smoking.~~
- ~~b. There is local and nation-wide evidence from the California Department of Public Health and the Centers for Disease Control and Prevention that youth consumption and use of flavored tobacco products and electronic smoking devices are on the rise. The use of these products has been identified by the United States Surgeon General to pose significant health and safety risks to community at-large and youth individuals under the age of 18.~~
- ~~c. The City of Hayward recognizes that the use of tobacco products and electronic smoking devices have devastating and have long-lasting effects on personal and public health. The City further recognizes in accordance with the Centers for Disease Control and Prevention, that tobacco use is the leading cause of preventable disease, disability, and death in the United States.~~

d. The purpose of the Tobacco Retail Sales Establishments Ordinance is to promote public health and provide regulatory protection for the City's youth from harmful tobacco and nicotine products. The Ordinance establishes a monitoring program that encourages responsible tobacco retailing and holds businesses accountable for selling and distributing harmful and addictive tobacco and nicotine products to underage individuals. It is intended to supplement relevant provisions of Federal and State law and is not intended nor shall it be interpreted to conflict, expand or reduce the degree to which the acts regulated by Federal or State law are criminally proscribed or alter the penalties provided therein.

#### SEC. 10-1.2781 - APPLICABILITY.

These regulations apply to all Tobacco Retail Sales Establishments, including the operation of existing businesses, new businesses, relocating businesses, and the conversion or expansion of an existing business to include the sale of tobacco, tobacco products, ~~electronic smoking devices~~ or tobacco paraphernalia, as defined herein. Tobacco Retailers legally existing prior to the adoption of these regulations may exist without the approval of a conditional use permit but must otherwise comply with all standards set forth in these regulations.

#### SEC. 10-1.2782 - DEFINITIONS.

For purposes of these regulations, certain words and terms have the following meaning:

- a. "Bidis" (also known as beedies) are defined as products containing tobacco wrapped in leaves of the temburni or tendu plants, or products marketed and sold as "bidis" or "beedies."
- b. "CBD" means cannabidiol, a cannabinoid or chemical compound found in cannabis plant and hemp.
- c. "Cannabis" shall mean as defined in Hayward Municipal Code Section 10-1.3500.
- d. "Cigar" means (i) any roll of tobacco wrapped entirely or in part in tobacco or in any substance containing tobacco; or (ii) any paper or wrapper that contains tobacco and is designed for smoking or ingestion of tobacco products. For the purposes of this subsection, "Cigar" includes, but is not limited to, Tobacco Products known or

labeled as "cigar," "cigarillo," "tiparillo," "little cigar," "blunt," "blunt wrap," or "cigar wrap."

- e. "Cigarette" means any roll of tobacco for smoking of any size or shape, made wholly or in part of tobacco and with a wrapper or cover made of paper or any other material. Tobacco wrapped in tobacco or with a cover made mostly of tobacco (for example, cigars) that weighs more than three pounds per thousand sticks are not cigarettes and are defined as Tobacco Products.
- bf. "Characterizing Flavor" means a ~~distinguishable~~ taste or aroma, other than the taste or aroma of tobacco, imparted by a tobacco product, either prior to or during ~~or consumption, or~~ any byproduct produced by the tobacco product, including, but not limited to, tastes or aromas relating to any fruit, chocolate, vanilla, honey, candy, cocoa, dessert, alcoholic beverage, menthol, mint, wintergreen, sweetener, sugar, herb, or spice; provided, however, that a tobacco product shall not be determined to have a characterizing flavor solely because of the use of additives or flavorings or the provision of ingredient information.
- g. "Drug Paraphernalia" is as defined in California Health ~~&and~~ Safety Code section 11014.5, as that section may be amended from time to time.
- eh. "Electronic Smoking Device" means:
  - 1. a~~Any~~ electronic ~~and/or battery-operated~~ device, ~~the use of which may resemble smoking, which can be used to that~~ delivers ~~an inhaled a~~ dose of nicotine or other substances to the person inhaling, including but not limited to, "Electronic Smoking Device" includes any such device, whether manufactured, distributed, marketed, or sold as an electronic nicotine delivery systems (ENDS) as defined under the United States Food and Drug Administration deeming rule, an electronic cigarette, ~~an~~ electronic cigar, ~~an~~ electronic cigarillo, ~~an~~ electronic pipe, ~~an~~ electronic hookah, vapor cigarette, vape pen, personal vaporizers, or any other product name or descriptor.
  - 2. Any component, part, or accessory intended or reasonably expected to be used with an electronic smoking device, whether sold separately, including but not limited to coils, batteries, tanks, cartridges, pods, wicks, atomizers,

nicotine concentrates, waxes, E-liquids, or other products and parts.  
~~"Electronic Smoking Device" does not include any product specifically approved by the United States Food and Drug Administration for use in the mitigation, treatment, or prevention of disease.~~

i. "Flavored Tobacco Product" means any tobacco product (including but not limited to other than cigarettes as defined by federal law) that contains a constituent that imparts a characterizing flavor, including but not limited to mint or menthol cigarettes, flavored little cigars, smokeless tobacco, e-cigarettes and vaping devices.  
~~. For purposes of this definition, "constituent" means any ingredient, substance, chemical, or compound, other than tobacco, water, or reconstituted tobacco sheet, which is added by the manufacturer to a tobacco product during the processing, manufacture, or packing of the tobacco product. Furthermore, there shall be a rebuttable presumption that a tobacco product is a flavored tobacco product if a manufacturer or any of the manufacturer's agents or employees has:~~

1. Made a public statement or claim that the tobacco product has, imparts, or produces a characterizing flavor, including, but not limited to, the explicit or implicit use of text and/or images on the product's labeling or packaging or other advertisement to communicate information about the flavor, taste, or aroma of a tobacco product; and/or
2. Taken actions directed to consumers that would be reasonably expected to result in consumers believing that the tobacco product imparts a characterizing flavor.

j. "Hemp Blunt Wraps" means a paper or cone-shape wrapper or cover made either in part or wholly from parts of a cannabis plant, also known as, but not limited, CBD blunt wraps.

~~g.k.~~ "Hookah bar" or "hookah lounge" means any facility, building, structure, or location, where customers share tobacco or a similar smoking product from a communal hookah placed throughout the establishment.

~~h.l.~~ "Imitation Tobacco Product" means any edible or non-edible, non-tobacco product designed to resemble a tobacco product or any non-edible non-tobacco product

~~designed to resemble a tobacco product~~ that is often -intended to be used by children as a toy. Examples of imitation tobacco products include, but are not limited to, candy or chocolate cigarettes, bubble gum cigars, shredded bubble gum resembling spit tobacco, and shredded beef jerky in containers resembling snuff tins. An electronic smoking device is not an imitation tobacco product.

~~im.~~ "Labeling" means written, printed, or graphic matter upon any tobacco product or any of its packaging, or accompanying such tobacco product.

~~jn.~~ "Licensee" means the holder of a valid, City-issued Tobacco Retailer License.

~~ko.~~ "Manufacturer" means any person, including any re~~p~~-packer or re~~l~~-labeler, who manufactures, fabricates, assembles, processes, ~~or~~-labels a tobacco product; or imports a finished tobacco product for sale or distribution into the United States.

~~lp.~~ "Packaging" means a pack, box, carton, or container of any kind or, if no other container, any wrapping (including cellophane) in which a tobacco product is sold or offered for sale to a consumer.

~~mq.~~ "Person" means any natural person, partnership, cooperative association, corporation, personal representative, receiver, trustee, assignee, or any other legal entity.

r. "Pharmacy" and "Drugstore" mean a retail establishment in which the profession of pharmacy is practiced by a pharmacist license by the State of California in accordance with the Business and Professions Code, and where prescription pharmaceuticals are offered for sale, regardless of whether the retail establishment sells other retail goods.

s. "Property Owner" means any person, persons, organization, or legal entity owning real property and as it appears on the last equalized assessment roll for the City.

~~nt.~~ "Proprietor" means a person with an ownership or managerial interest in a Tobacco Retail Sales Establishment. An ownership interest shall be deemed to exist when a person has a ten percent (10%) or greater interest in the stock, assets, or income of a Tobacco Retail Sales Establishment, other than the sole interest of security for debt. A managerial interest shall be deemed to exist when a person can or does

have or share ultimate control over the day-to-day operations of a Tobacco Retail Sales Establishment.

- ~~eu.~~ "Residential District" is any area within City limits that is designated in the City's zoning ordinance as one of the following districts: RS; RNP; RM; RH; RO; MH; SMU; any residential Planned Development; T3, T4, T4-1, T4-2 or T-5 (in the City's Form-Based Code zoning districts); or any subsequently created zoning district whose primary use is residential in character.
- ~~v.~~ "Retail Price" means the price listed for the tobacco product on its packaging or any related shelving, advertising, or display where sold or offered for sale, and includes all applicable taxes and fees.
- ~~pw.~~ "Self-Service Display" means the open display of tobacco products, electronic smoking devices or tobacco paraphernalia in a manner that is accessible to the general public without the assistance of the retailer or employee of the retailer. A vending machine is a form of self-service display.
- ~~qx.~~ "Sensitive Receptors" are people that have an increased sensitivity to air pollution or environmental contaminants. For the purpose of this Ordinance, sensitive receptor locations include schools, pre-schools, parks and playgrounds, libraries, and day care ~~centers~~ facilities.
- ~~ry.~~ "Tobacco Retail Sales Establishment" or "Tobacco Retailer" means any establishment that sells, offers for sale, or exchanges or offers to exchange for any form of consideration, tobacco, tobacco products, ~~electronic smoking devices~~, tobacco paraphernalia, or any combination thereof, including retail or wholesale sales.
- ~~sz.~~ "Tobacco Paraphernalia" means cigarette papers or wrappers, pipes, holders of smoking materials of all types, cigarette rolling machines, and any other items s or parts thereof designed or marketed for the smoking, ~~or ingestion, preparation, storing, or consumption~~ of tobacco products or other substances.
- ~~taa.~~ "Tobacco Product" means any product containing, made or derived from tobacco or ~~contains synthetically produced~~ nicotine that is intended for human consumption,

whether smoked, ~~heated~~, chewed, absorbed, dissolved, inhaled, snorted, sniffed, or ingested by any other means. "Tobacco product" includes, but is not limited to cigarettes, cigars, little cigars, chewing tobacco, pipe tobacco, snuff, snus, ~~or~~ electronic smoking devices (with or without nicotine), or any component, part, accessory intended or reasonably expected to be used with a Tobacco Product whether or not sold separately. "Tobacco product" does not include any product that has been approved by the United States Food and Drug Administration for sale as a tobacco cessation product and is being marketed and sold solely for that approved purpose.

~~ubb.~~ "Tobacco Retailer License" means the license issued pursuant to Section 10-1.2785 that authorizes ~~electronic smoking device or~~ tobacco retail or wholesale sales at a certain, fixed approved location and by a certain Tobacco Retailer. Mobile vendors of tobacco products, ~~and~~ electronic smoking devices and tobacco paraphernalia are prohibited.

~~vcc.~~ "Vapor bar" or "vapor lounge" (also referred to as "smoking device bar" or "electronic smoking device lounge") means, but not limited to, any facility, building, structure or location where customers use tobacco products, ~~an~~ electronic smoking devices or other apparatuses es to deliver an inhaled dose of nicotine or other substance within the establishment.

dd. "Vaping device" means as defined in Subsection f. of this section, an electronic smoking device and any device designed to vaporize nicotine or other substances to inhale or exhale vapor, including but not limited to bongs, water pipes, hookah devices, vaporizers, atomizers, bowls, chambers, including any components and substances, or parts thereof. For purposes of these regulations, a vaping device does not include any medically prescribed vaporizer by a licensed physician or practitioner for medical purposes.

## SEC. 10-1.2783 - REQUIREMENTS AND OPERATIONAL STANDARDS FOR TOBACCO RETAIL SALES ESTABLISHMENTS.

- a. All ~~new and existing~~ Tobacco Retail Sales Establishments shall abide by all of the following requirements and operational standards:
1. All Tobacco Retail Sales Establishments shall comply with local, ~~S~~state, and/or ~~F~~federal laws regarding sales, advertising or display of tobacco products, electronic smoking devices, imitation tobacco products and/or tobacco paraphernalia, including, ~~but not limited to~~, posting prominently near the cash register or other point of sale and at the entrances to the establishment, the legal age to purchase ~~tobacco products such items~~, and checking the identification of purchasers to ensure they are of legal age.
  2. All new Tobacco Retail Sales Establishments shall obtain a conditional use permit pursuant to Section 10-1.3200 prior to operation, unless exempt as provided hereinafter, and a Tobacco Retailer License. It shall be unlawful for any ~~P~~person to operate ~~as~~ a Tobacco Retail Sales Establishment without first obtaining a conditional use permit, if one is required, and a Tobacco Retailer License.
  3. All Tobacco Retail Sales Establishments shall display their City of Hayward Tobacco Retail License and California Cigarette and Tobacco and Product Retailer License to sell tobacco products, ~~and their annual inspection certificate in a visible, in a~~ prominent location visible to the public at all times.
  4. It shall be a violation of these regulations for any Tobacco Retailer ~~Sales Establishment~~ to violate any local, ~~s~~State, or ~~F~~federal law applicable to tobacco products, electronic smoking devices or tobacco paraphernalia.
  5. It shall be a violation of these regulations for any Tobacco Retail Sales Establishment or any of the Tobacco Retail Sales Establishment's agents or employees to violate any local, ~~s~~State, or ~~F~~federal law regulating controlled substances or drug paraphernalia, ~~such as~~, for example, California Health and Safety Code ~~s~~Section 11364.7, except that conduct authorized pursuant to the ~~s~~State ~~Medical Marijuana Program (California Health and~~



~~Safety Code sections 11362.7 et seq.) law~~ shall not be a violation of these regulations.

6. No Tobacco Retail Sales Establishment shall sell, ~~or transfer, or in any form furnish~~ tobacco products ~~or tobacco paraphernalia or electronic smoking devices~~ to ~~an individual under the age of 21 in accordance with the California Penal Code 308, California STAKE Act, or any other applicable local, State or Federal law, or to~~ any ~~individual person~~ who appears to be under twenty-seven (27) years of age without first examining the customer's identification to confirm that the customer is at least the minimum age under ~~s~~State and ~~F~~federal law to purchase and possess tobacco products ~~or electronic smoking devices~~.
7. No person who is younger than the minimum age established by ~~S~~state or ~~F~~federal law for the purchase or possession of tobacco products or electronic smoking devices shall engage in the sale of such products.
8. ~~All~~ tobacco products, ~~electronic smoking devices, imitation tobacco products~~ and/or tobacco paraphernalia shall be secured so that only store employees have immediate access to these items. Self-service displays of tobacco products, electronic smoking devices, and tobacco products are prohibited.
9. ~~All Tobacco Retail Sales Establishments that do not sell imitation tobacco products or flavored tobacco products as of the effective date of these regulations are prohibited from selling any imitation tobacco product or flavored tobacco product. The burden of proof to establish that sales of imitation tobacco products and/or flavored tobacco products preceded the effective date of these regulations shall be on the Tobacco Retailer. No Tobacco Retail Establishment shall sell imitation tobacco products or any imitation products that resemble cannabis or any drug or illegal substances.~~

10. No Tobacco Retail Sales Establishment shall sell tobacco products, ~~or tobacco paraphernalia, or electronic smoking devices~~ at a mobile location, ~~. For example, sales of tobacco products, or tobacco paraphernalia, or electronic smoking devices, on foot or from vehicles, are prohibited.~~
  11. All sales of tobacco products and tobacco paraphernalia shall be conducted in person at the licensed Tobacco Retail Sales Establishment. No Tobacco Retail Sales Establishment shall offer or provide any delivery of tobacco products or tobacco paraphernalia to a consumer.
- b. Notwithstanding any other provision of law, it shall be a violation of these regulations for any licensee or any of the licensee's agents or employees to sell, offer for sale, or exchange for any form of consideration:
1. Any single cigar, whether or not packaged for individual sale, ~~with a retail price of less than eight (\$8) dollars, including all applicable taxes and fees.~~
  2. Any number of cigars fewer than the number contained in the manufacturer's original consumer packaging designed for retail sale to a consumer.
  3. Any package of cigars unless it contains at least five cigars or units in the manufacturer's original consumer package with a retail price of eight (\$8) dollars or more, including all applicable taxes and fees. ~~containing fewer than five (5) cigars. This subsection does not apply to the sale or offer for sale of a single cigar for which the retail price exceeds five dollars.~~
  4. Single cigarettes or cigarettes packages of less than 20 cigarettes.
  5. Cigarette packages of 20 cigarettes with a retail price of less than eight (\$8) dollars per package, including all applicable taxes and fees.
  6. Any tobacco product for less than the retail price by honoring or redeeming discounts, multi-package discounts, free products, or any other form of discount.

7. Cigarette packages or tobacco products not in compliance with the Revenue and Taxation Code, Section 30165.1, Subdivisions (e)(1), (e)(2) and (e)(3); not listed as approved in the California Tobacco Directory.

The minimum prices established in this section shall be adjusted from time to time in proportion with the Consumer Price Index for the San Francisco/Oakland/Hayward area as reported by the U.S Labor of Statistics and after publicly being posted in the City's website for at least 60 calendar days.

- c. ~~With the exception of Tobacco Retailers whose business included the sale of flavored tobacco products prior to the effective date of this Article, it~~ shall be a violation of these regulations for any Tobacco Retailer or any of the Tobacco Retailer's agents or employees to sell or offer for sale, ~~or~~ to possess with intent to sell or offer for sale, or exchange for any form of consideration any:

1. Flavored tobacco products, parts, components, or flavored tobacco paraphernalia.
2. Bidis or Beedies products.
3. Electronic smoking devices, electronic nicotine delivery systems (E-cigarettes), vaping devices, including all parts and components.
4. Electronic smoking and vaping products, and vaping paraphernalia, including but not limited to, devices, parts and components, e-liquids, concentrates, waxes, etc.
5. CBD or hemp products, or any products made from, derivative of, or containing any amount of a Cannabis plant intended for human consumption.

~~flavored tobacco product within a 500 foot radius of any private or public kindergarten, elementary, middle, junior high, or high school. The burden of proof to establish that sales of flavored tobacco products preceded the effective date of these regulations shall be on the Tobacco Retailer.~~

- d. Implementation: All existing legal Tobacco Retail Establishment owners shall have six (6) months from the effective date of these regulations to cease the sales of and remove all: (i) flavored tobacco products, including but not limited to any related

~~flavored tobacco paraphernalia; (ii) electronic smoking devices, electronic nicotine delivery systems; and (iii) vaping devices, products and vaping paraphernalia; including but not limited to, devices, substances, parts and components. However, no grace period will be provided when a legal Tobacco Retail Establishment is sold or transferred. All Tobacco Retail Establishments shall abide by all Tobacco Retail Sales requirements and operational standards set forth herein.~~

- ~~d. A tobacco product is presumed to be a flavored tobacco product if a manufacturer or any of the manufacturer's agents or employees has:~~
  - ~~1. Made a public statement or claim that the tobacco product has or produces a characterizing flavor, including, but not limited to, text and/or images on the product's labeling or packaging that are used explicitly or implicitly to communicate information about the flavor, taste, or aroma of a tobacco product; or~~
  - ~~2. Taken actions directed to consumers that would be reasonably expected to result in consumers believing that the tobacco product imparts a characterizing flavor.~~
- e. Every Tobacco Retail Sales Establishment shall maintain on the premises the original labeling and packaging provided by the manufacturer for all tobacco products that are sold or offered for sale by the establishment separately from the original packaging designed for retail sale to the consumer. ~~The original labeling and packaging from which the contents are sold separately shall be maintained during such time as the contents of the package are offered for sale and may be disposed of upon the sale of the entire contents of such package.~~
- ~~f. Each application for a conditional use permit to operate a Tobacco Retail Sales Establishment shall include a plan for demonstrating the means by which the applicant will comply with the operating standards outlined in this section.~~
- g. Compliance with these regulations shall be enforced by the City's Development Services Planning Director or his/her designee, in conjunction with the City's Code Enforcement Division and the Hayward Police Department. The Code Enforcement ~~Supervisor~~ Manager or his/her designee shall use reasonable efforts to conduct a

compliance check visit to each Tobacco Retail Sales Establishment at least once per twelve (12) month period to determine if the Tobacco Retail Sales Establishment is in compliance with these regulations; and any necessary follow-up inspections of non-compliant Tobacco Retailers. The Hayward Police Department shall use reasonable efforts to conduct decoy inspection operations throughout the year to verify the Tobacco Retailers are compliant and are not selling to minors at any time. Nothing in this section shall create a right of action in any Tobacco Retail Sales Establishment or other ~~P~~person against the City or its agents ~~in conducting these annual inspections.~~

#### SEC. 10-1.2784 - LARGE-FORMAT TOBACCO RETAILERS.

- a. Retail establishments, such as grocery stores, big-box stores, ~~pharmacies~~, etc., that have 10,000 square feet or more of floor area and that devote not more than five (5%) percent of such floor area to the sale, display, sale and storage of tobacco products, ~~electronic smoking devices~~ or tobacco paraphernalia ("Large-Format Tobacco Retailers") are permitted in any zoning district in which retail sales are allowed, without the need to obtain a conditional use permit for tobacco sales, with the exception of subsection "c." of this section.
- b. Large-Format Tobacco Retailers are required to obtain a Tobacco Retailer License as set forth in Section 10-1.2785 and are subject to compliance with all requirements and operational standards as set forth in these regulations.
- c. The sale of tobacco products and tobacco paraphernalia in drugstores and pharmacies is hereby prohibited. Any existing drugstore or pharmacy with a valid City-issued Tobacco Retail License shall have six (6) months from the effective date of these regulations to cease the sales of all tobacco products and tobacco paraphernalia and remove all related products.

#### SEC. 10-1.2785 - TOBACCO RETAILER LICENSE (TRL).

All new and existing Tobacco Retail Sales Establishments must obtain an annual Tobacco Retailer License (TRL) and comply with all Requirements and Operational

Standards for Tobacco Retail Sales Establishments set forth in Section 10-1.2783 above and as follows:-

- a. Tobacco Retailer License Application Procedure:
  1. Application for a Tobacco Retailer License shall be submitted in the name of each ~~p~~P~~r~~oprietor proposing to conduct tobacco retail sales and shall be signed by each ~~p~~P~~r~~oprietor or an authorized agent thereof. It is the responsibility of each ~~p~~P~~r~~oprietor to be informed regarding all laws applicable to tobacco retail sales, including those laws affecting the issuance of a Tobacco Retailer License. No ~~p~~P~~r~~oprietor may rely on the issuance of a TRL as a determination by the City that the ~~p~~P~~r~~oprietor has complied with all laws applicable to tobacco retail sales. A TRL issued contrary to these regulations, contrary to any other law, or on the basis of false or misleading information supplied by a ~~p~~P~~r~~oprietor shall be revoked pursuant to Section 10-1.279~~64~~ herein. Nothing in these regulations shall be construed to vest in any ~~P~~p~~e~~erson obtaining and maintaining a TRL any status or right to act as a Tobacco Retailer in contravention of any provision of law.
  2. After approval of a conditional use permit, a completed and executed All applications for a TRL shall be submitted on a form supplied by the City and shall contain the following information, but not limited to:
    - i. The name, address, and telephone number, and driver's license or state issued I.D. number of each ~~p~~P~~r~~oprietor of the business seeking a TRL~~;~~
    - ii. The business name, address, e-mail, and telephone number of the single fixed location for which a TRL is sought~~;~~
    - iii. A single name and mailing address authorized by each ~~p~~P~~r~~oprietor to receive all communications and notices (the "authorized address"). If an authorized address is not supplied, each ~~p~~P~~r~~oprietor shall be understood to consent to the provision of notice at the business address specified in subsection (b)(2)~~;~~

- iv. ~~Proof that the location for which a TRL is sought has been issued~~  
The valid state tobacco retailer's license number issued by the California Board of Equalization Department of Tax and Fee Administration. A copy of the California Cigarette and Tobacco Products Retailer's License and California Seller's Permit must be provided with the TRL application.;
  - v. Whether or not any ~~p~~Proprietor or any agent of the ~~p~~Proprietor has admitted violating, or has been found to have violated, these regulations and, if so, the dates and locations of all such violations within the previous five years.;
  - vi. A statement signed by each ~~p~~Proprietor that no drugs or drug paraphernalia is or will be sold at the location for which the TRL is sought. ~~;~~ and
  - vii. Such other information as the Planning Director or designee deems necessary for the administration or enforcement of these regulations as specified on the application form required by this section, including however not limited to any proposed signage or artwork for the business premises to ensure that the signage/artwork does not encourage youth smoking.
3. All Tobacco Retail Sales Establishments shall inform the Planning Director or his/her designee in writing of any change in the information submitted on an application for a TRL within ten business days of a change.
  4. All information specified in an application pursuant to this section shall be subject to disclosure under the California Public Records Act (California Government Code section 6250 et seq.) or any other applicable law, subject to any applicable exemptions.
- b. Issuance of TRL: Upon the receipt of a complete application for a TRL and the license fee required hereunder, the Planning Director or his/her designee shall issue a license unless substantial evidence demonstrates that one or more of the following bases for denial exists:

1. The information presented in the application is incomplete, inaccurate, false or otherwise fails to comply with Section 10-1.2785(a)(2) above. Intentionally supplying inaccurate or false information shall be a violation of these regulations.
  2. The application seeks authorization for tobacco retail sales at a location for which the issuance of a TRL is prohibited under these regulations or does not qualify under any exemptions under these regulations, unless tobacco retail sales were being conducted at the proposed location prior to the effective date of these regulations and provided that such sales constitute a legal, nonconforming use.
  3. The application seeks authorization for tobacco retail sales that is prohibited under these regulations (e.g., mobile vending) or that is unlawful pursuant to this Article, including without limitation, the zoning ordinance, building code, and business license tax ordinance, or that is unlawful pursuant to any other law.
  4. The location for which a TRL is sought lacks a valid state tobacco retailer's license by the California ~~Board of Equalization~~ Department of Tax and Fee Administration.
  5. The applicant has been found in violation of three (3) or more of the Operational Standards listed in Section 10-1.2783 of these regulations within the last ~~three~~ five years.
- c. TRL Renewal and Expiration:
1. Term and Renewal of TRL. A TRL is invalid if the appropriate fee has not been timely paid in full or if the term of the TRL has expired. The term of a TRL is one year, commencing the first day of each calendar year.
  2. Expiration of TRL. A TRL that is not timely renewed shall expire at the end of its term. To apply for reinstatement of a license that was not timely renewed, the ~~P~~proprietor must complete all of the following:
    - i. Submit the TRL fee, including any fees for late renewal, and application renewal form; ~~and,~~



- ii. Submit a signed affidavit affirming that the ~~p~~Proprietor has not sold and will not sell any tobacco product, ~~electronic smoking device~~ or tobacco paraphernalia after the TRL expiration date and before the TRL is renewed; ~~and~~.
  - iii. ~~Pay Has-paid~~ all outstanding fines and resolved any outstanding violations of these regulations, before seeking renewal of the license.
- d. TRL Nontransferable: A TRL may not be transferred from one ~~p~~Person to another or from one location to another. A new TRL is required whenever a Tobacco Retail Sales Establishment has a change in ~~p~~Proprietor(s).
- e. TRL Conveys a Limited, Conditional Privilege: Nothing in these regulations shall be construed to grant any ~~p~~Person obtaining and maintaining a TRL any status or right other than the limited conditional privilege to act as a Tobacco Retail Sales Establishment at the location in the City identified on the face of the license. Nothing in these regulations shall be construed to render inapplicable, supersede, or apply in lieu of any other provision of applicable law, including but not limited to, any provision of the Hayward Municipal Code, or any condition or limitation on smoking in an enclosed place of employment pursuant to California Labor Code Section 6404.5. A TRL does not make the Tobacco Retailer a "retail or wholesale tobacco shop" for the purposes of California Labor Code Section 6404.5.
- f. Fee For TRL: The fees for the annual TRL shall be established by the City Council from time to time in the City's Master Fee ~~Schedule, and~~ Schedule and are payable at the time the establishment obtains or renews its business license. The fee shall be calculated so as to recover the cost of administration and enforcement of these regulations, including but not limited to, issuing ~~the TRL~~ a license, Tobacco Retailer inspections and compliance checks, documentation of violations and prosecution of violators. Annual fees shall not be pro-rated or refunded during the course of the calendar year.
- g. Compliance and Monitoring:

1. Compliance with these regulations shall be enforced by the Planning Director, in conjunction with the Code Enforcement Division and Hayward Police Department. The City Manager may designate any number of additional persons to monitor compliance with these regulations.
2. Compliance checks shall be conducted so as to allow the City to determine, at a minimum, if the Tobacco Retailer is in compliance with all laws regulating sales of tobacco products, electronic smoking devices, tobacco paraphernalia, and imitation tobacco products. City staff shall endeavor to perform compliance check inspections at least annually in addition to follow-up inspections for non-compliance on all Tobacco Retail Sales Establishments.
3. The City shall not enforce any law establishing a minimum age for tobacco product or electronic smoking device purchases or possession against a person who otherwise might be in violation of such law because of the person's age (hereinafter "youth decoy") if the potential violation occurs when:
  - i. The youth decoy is participating in a compliance check supervised by a peace officer or a code enforcement official of the City~~;~~
  - ii. The youth decoy is acting as an agent of a person designated by the City to monitor compliance with these regulations~~;~~~~or~~
  - iii. The youth decoy is participating in a compliance check funded in part, either directly or indirectly through subcontracting, by the Alameda County Public Health Department or the California Department of Health Services or other governmental agency.

SEC. 10-1.2786 - CONDITIONAL USE PERMIT FOR NEW TOBACCO RETAIL SALES ESTABLISHMENTS.

- a. All new Tobacco Retail Sales Establishments that have less than 10,000 square feet of floor area or devote more than five (5%) percent of their floor area to the sale, display, and storage of tobacco products, ~~electronic smoking devices~~ or tobacco paraphernalia are only allowed in the General Commercial (CG) Zoning District and

shall apply for and obtain approval of a conditional use permit, as set forth in HMC Section 10-1.2815 and any other applicable City regulation, in addition to a Tobacco Retailer License.

- b. New Tobacco Retail Sales Establishments that have less than 10,000 square feet of floor area or devote more than five (5%) percent of their floor area to the sale, display, and storage of tobacco products, ~~electronic smoking devices~~ or tobacco paraphernalia ~~are only allowed in the General Commercial (CG) Zoning District. In addition to obtaining a conditional use permit, new Tobacco Retail Sales Establishments~~ shall be subject to the following ~~separation~~ requirements, but not limited to:

1. No new Tobacco Retail Sales Establishments shall be established or located within ~~500~~1,000 feet from any existing residential district or use, any sensitive receptors, or similar use as determined by the Planning Development Services Director, or within 500 feet of any other approved Tobacco Retail Sales Establishment.
2. The distances set forth above shall be measured as a radius from property line to property line without regard to intervening structures.
3. The applicant shall be required to submit:
  - i. ~~a~~A map, drawn to scale, showing how their proposed business location meets the ~~mentioned~~ location and separation requirements as part of the conditional use permit application.
  - ii. The true and complete name and address of each lender or shareholder with a five (5) percent or more financial interest in the proposed business or any other Person to whom a share or percentage of the income of the establishment is to be paid.
  - iii. A statement by the applicant indicating whether or not such applicant has at any time been convicted of any crime other than minor traffic offenses and, if so, the nature of the crime for which the applicant was convicted and the date and jurisdiction of the conviction.

iv. A plan for demonstrating the means by which the applicant will comply with Section 10-1.2783, Requirements and Operational Standards for Tobacco Retail Sales.

c. Any Tobacco Retail Sales Establishment legally in existence as of the effective date of these regulations will not be required to obtain a conditional use permit and will be deemed a legal non-conforming use for Zoning purposes as it pertains to the provisions this Section, 10-1.2786. Such legal non-conforming status will not apply to any other provisions of the Tobacco Retail Sales Establishment Ordinance requirements adopted herein. In order to maintain its legal zoning non-conforming status, each such Tobacco Retail Sales Establishment must comply with all Requirements and Operational Standards Section 2783 and the Non-Conforming Use regulations set forth in Section 10.1.2900 et seq.

#### SEC. 10-1.2787 - POSTING OF CONDITIONS OF APPROVAL.

A copy of the conditions of approval for the conditional use permit must be kept on the premises of the Tobacco Retail Sales Establishment and posted in a place where it may readily be viewed by the general public.

#### SEC. 10-1.2788 - FINDINGS.

In making the findings required by Section 10-1.3225 governing conditional use permits, the Planning Director, or the Planning Commission on referral or appeal, shall consider whether the proposed use will result in an undue concentration of Tobacco Retail Sales Establishments in the area. The Planning Commission, or City Council on referral or appeal, shall also consider whether the proposed use will detrimentally affect the surrounding neighborhood after giving consideration to the distance of the proposed use from the following uses: ~~R~~residential structures, churches, schools, public playgrounds and parks, recreation centers, and other similar uses.

#### ~~SEC. 10-1.2789 - APPLICATION FOR CONDITIONAL USE PERMIT.~~

~~In addition to the requirements set forth in Section 10-1.2815 and any other applicable City regulation, an application for a conditional use permit for a new Tobacco Retail Sales Establishment shall set forth and include the following:~~

- ~~a.—A map showing that the proposed establishment meets all location and separation requirements as set forth in Section 10-1.2786; and~~
- ~~b.—The true and complete name and address of each lender or shareholder with a five (5) percent or more financial interest in the proposed business or any other person to whom a share or percentage of the income of the establishment is to be paid; and~~
- ~~c.—A statement by the applicant indicating whether or not such applicant has at any time been convicted of any crime other than minor traffic offenses and, if so, the nature of the crime for which the applicant was convicted and the date and jurisdiction of the conviction.~~

SEC. 10-1.~~2790-2789~~ - PROHIBITED LAND USES.

The following uses are prohibited in all zoning districts: ~~V~~vapor bars or vapor lounges; smoking device bars or electronic smoking device lounges; and hookah bars or hookah lounges.

~~SEC. 10-1.2791 - EXISTING TOBACCO RETAIL SALES ESTABLISHMENTS.~~

~~Any Tobacco Retail Sales Establishment legally in existence as of the effective date of these regulations shall be considered a legal non-conforming use and will be permitted to continue in operation as a Tobacco Retail Sales Establishment. In order to maintain its legal non-conforming status, each such Tobacco Retail Sales Establishment shall be required comply with all Requirements and Operational Standards for Tobacco Retail Sales Establishments set forth in Section 10-1.2783 and the Non-Conforming Use regulations set forth in Section 10-1.2900 et seq., and shall obtain an annual Tobacco Retailer License as set forth in Section 10-1.2785.~~

SEC. 10-1.~~2792~~2790 - LIABILITY FOR EXPENSES.

Any ~~p~~Person who is found to have violated the Tobacco Retail Sales Establishments regulations shall be liable for such costs, expenses and disbursements paid or incurred by the City or any of its contractors in the correction, abatement, prosecution of, or

administrative hearing on, the violation. Reinspection and penalty fees, and all costs and expenses to ascertain compliance with previously noticed violations shall be charged to the Proprietor(s) owner of the Tobacco Retail Sales Establishment, as ~~may be~~ set by the City Council in the Master Fee Schedule. However, the City reserves the right to recover any and all outstanding enforcement costs and charges incurred by the Tobacco Retail Sales Establishment from the Property Owner for non-compliance or non-payment pursuant to Chapter 5, Article 7 of the Hayward Municipal Code and Section 10-1.2793, or any other available legal remedy.

SEC. 10-1.~~2793~~2791 - INSPECTION AND RIGHT OF ENTRY.

To the extent permissible by law, the Planning Director or his/her designees shall have the right to enter and inspect any Tobacco Retail Sales Establishment for the purpose of ensuring compliance with these regulations, provided that any such entry and inspection shall be conducted in a reasonable manner, or whenever there is reason to suspect a violation of any of the provisions of the Tobacco Retail Sales Establishments regulations. If the licensee or his or her agents refuse permission to enter, inspect or investigate the establishment, the City may seek an inspection warrant pursuant to the provisions of California Code of Civil Procedure Sections 1822.50 et seq., or any successor legislation thereto.

SEC. 10-1.~~2794~~2792 - PUBLIC NUISANCE.

It shall constitute a public nuisance for any ~~p~~Person to operate or allow to operate a Tobacco Retail Sales Establishment in violation of these regulations.

SEC. 10-1.~~2795~~2793 - CUMULATIVE REMEDIES.

Any ~~p~~Person who violates any provision of the Tobacco Retail Sales Establishment regulations is guilty of a separate offense for each day or part of a day during which the violation is committed, continued, or permitted. The remedies provided in these regulations shall be cumulative and may include administrative citation pursuant to Chapter 1, Article 7 of this Code and/or abatement pursuant to Chapter 5, Article 7 of this Code, in addition to any other procedures provided in the Hayward Municipal Code or by

state law. Administrative action hereunder shall not prejudice or affect any other action, civil or criminal, for the maintenance of any such violation. The fines and penalties for violations of the Tobacco Retail Sales Establishments regulations shall be established by the City Council in the Master Fee Schedule.

SEC. 10-1.~~2796~~2794 - REVOCATION OF TOBACCO RETAILER LICENSES AND  
CONDITIONAL USE PERMITS; APPEALS.

- a. Any Tobacco Retail Sales Establishment that violates these regulations three (3) times within a three-year period shall be subject to revocation of its Tobacco Retail License and/or its conditional use permit.
- b. For Large-Format Tobacco Retail Sales Establishments, written notice containing the effective date of the TRL revocation shall be sent to the address on record for the Tobacco Retail Sales Establishment, along with a description of the process for appealing the TRL revocation. Appeals of the TRL revocation shall observe the process set forth in Chapter 1, Article 7 ~~of this Code~~ and/or Chapter 5, Article 7 of the Hayward Municipal Code.
- c. For Tobacco Retail Sales Establishments that have a conditional use permit or that are legal nonconforming uses, a revocation hearing will be scheduled before the Planning Commission in accordance with the procedures set forth in Section 10-1.3260 of this Code. Appeals shall be governed by Section 10-1.2845 of this Code.
- d. The hearing officer, in the case of administrative action under 10-1.279~~64~~64 subsection (a), or the Planning Commission, in the case of administrative action under 10-1.279~~64~~64 subsection (b), has the authority to order a suspension of the Tobacco Retail Sales Establishment's TRL and/or conditional use permit in lieu of revocation.

SEC. 10-1.~~2797~~2795 - ANNUAL REPORT.

An annual report shall be provided to the City Council regarding the implementation of these provisions unless Council no longer requests such report.

HAYWARD CITY COUNCIL

RESOLUTION NO. 20-\_\_\_\_\_

Introduced by Council Member \_\_\_\_\_

RESOLUTION TO ADOPT A ZONING TEXT AMENDMENT TO CHAPTER 10  
(PLANNING, ZONING, AND SUBDIVISIONS), ARTICLE 1, SECTION 10-1.2780  
THROUGH 10-1.2797 OF THE HAYWARD MUNICIPAL CODE RELATED TO  
TOBACCO RETAIL SALES ESTABLISHMENTS

WHEREAS, the World Health Organization (WHO) estimates tobacco kills roughly 6 million people and causes over half a trillion dollars in economic damage each year; of today's American youths under the age of 18, 5.6 million die prematurely from smoking-related illnesses; and

WHEREAS, tobacco use is the number one preventable death in California and continues to be an urgent public health issue with an estimated annual death total of 40,000 adults; unless smoking rates decline, an estimated 5% of California youth will die prematurely; and

WHEREAS, the California Department of Public Health issued a Health Advisory on November 2019 pertaining to the imminent public health risks posed by vaping products; and

WHEREAS, despite the State's effort, youth are still able to access flavored tobacco and vaping products; in Alameda County of those high school students who purchased E-cigarettes, 69% reported purchasing them from the stores themselves or from someone else; and

WHEREAS, at the direction of the City Council, staff reviewed and prepared amendments to the Hayward Municipal Code related to the sale of tobacco products to establish regulations restricting the access of tobacco products, electronic cigarettes, and vaping products to youth and encourage responsible tobacco retailing; and

WHEREAS, on May 28, 2020, the Planning Commission considered Zoning Text Amendment to Chapter 10, Article 1, Section 10-1.2780 at a public hearing, and voted (6-0-1), that the City Council approve the Zoning Text Amendment; and

WHEREAS notice of the hearing was published in the manner required by law and the hearing was duly held by the City Council on July 7, 2020.



NOW, THEREFORE, BE IT RESOLVED that the City Council hereby finds and determines as follows:

CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS

Pursuant to the California Environmental Quality Act of 1970, Public Resources Code §21000, et seq., as amended and implementing State CEQA Guidelines, Title 14, Chapter 3 of the California Code of Regulations (collectively, “CEQA”), the proposed Amendments do not constitute a “project” within the meaning of Public Resources Code Section 21065, and CEQA Guidelines Sections 15061(b)(3) and 15378 because there is no potential that it will result in a direct or reasonably foreseeable indirect physical change in the environment and because it has no potential for either a direct physical change to the environment, or a reasonably foreseeable indirect physical change in the environment.

ZONING TEXT AMENDMENT FINDINGS FOR A ZONING TEXT AMENDMENT TO THE HAYWARD MUNICIPAL CODE

**A. Substantial proof exists that the proposed change will promote the public health, safety, convenience, and general welfare of the residents of Hayward:**

The proposed Text Amendments will promote public health by the elimination of the access of flavored tobacco products and electronic smoking devices currently existing in neighborhoods while encouraging responsible tobacco retailing. There is local and nation-wide evidence from the California Department of Public Health and the Centers for Disease Control and Prevention that:

1. Tobacco youth consumption and use of flavored tobacco products and electronic smoking devices are on a rapid rise.
2. The use of these products has been identified by the United States Surgeon General to pose significant health and safety risks to community at-large and youth individuals under the age of 18.
3. Tobacco use is the leading cause of preventable disease, disability, and death in the United States. Each year, nearly half a million Americans die prematurely of smoking or exposure to secondhand smoke. Another 16 million live with a serious illness caused by smoking.

The City of Hayward recognizes that the use of tobacco products and electronic smoking devices have long-lasting effects on personal and public health.

**B. The proposed change is in conformance with all applicable, officially adopted policies and plans.**

The proposed Text Amendments are consistent with the goals and policies set forth in the Hayward 2040 General Plan in that the amended regulations are designed to protect and improve the health and general welfare by a cross-jurisdictional approach of regulations consistent with State, County and other local jurisdictions best practices for a consistent enforcement in the sales of tobacco products. In addition, the Text Amendments are intended to improve access to healthier food sources by diminishing the access to tobacco related products currently existing in neighborhoods, while restricting the location of new tobacco retail near schools and other sensitive uses, such as parks, childcare centers, etc. The proposed Text Amendments are consistent with the following goal and policies set forth in the Hayward 2040 General Plan:

1. Health and Quality of Life Goal 1: Improve the health and well-being of all Hayward residents. Improving access to healthy living requires making health a City priority and taking a cross-jurisdictional and collaborative approach to promoting improved community health.
2. Health and Quality of Life Policy 1.1: Health in All Policies. The City shall prioritize the overall health of Hayward residents in its strategies, programs, daily operations, and practices.
3. Health and Quality of Life Goal 3: Collaboration for Improved Health. The City shall collaborate with local health officials, planners, nonprofit organizations, businesses, schools, the Hayward Area Recreation and Park District (HARD), hospitals, local health clinics, and community groups to improve community health.
4. Goal Health and Quality of Life Policy 3.2: Access to Healthy Foods. The City shall strive to ensure that all residents are within walking distance of sources of fresh and healthy foods (e.g., grocery stores, healthy corner stores, farmers' markets, and community gardens).
5. Health and Quality of Life Goal 4: Health Care Access and Disease Prevention.

6. Health and Quality of Life Policy 4.3: Prohibiting Cigarette Sales Near Schools. The City shall prohibit the sale of cigarettes near schools.
7. Health and Quality of Life Goal 7: Protect residents from the harmful effects of pollution, toxic substances, and environmental contaminants.
8. Health and Quality of Life Policy 7.5: Proximity to Pollution Sources. The City shall avoid locating new sensitive uses such as schools, childcare centers, and senior housing, to the extent feasible, in proximity to sources of pollution, odors, or near existing businesses that handle toxic materials. Where such uses are located in proximity to sources of air pollution, odors, or toxic materials, the City shall encourage building design, construction safeguards, and technological techniques to mitigate the negative impacts of hazardous materials and/or air pollution on indoor air quality.
9. Health and Quality of Life Policy 9.1: Resiliency. The City shall strive to create a strong and resilient community and region that can withstand or accommodate change and respond to challenges.

**C. Streets and public facilities existing or proposed are adequate to serve all uses permitted when the property is reclassified.**

No properties are proposed to be re-classified. Any new tobacco retail sales establishments will be required to have adequate streets and facilities before operating as currently required.

**D. All uses permitted when property is reclassified will be compatible with present and potential future uses, and, further, a beneficial effect will be achieved which is not obtainable under existing regulations.**

No properties are proposed to be reclassified. The Text Amendments will provide standards to help ensure tobacco retail sales establishments are operated in a manner that do not generate impacts to surrounding properties and neighborhoods.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Hayward, based on the foregoing findings, hereby adopts the findings in support of the Zoning Text Amendment, subject to the adoption of the companion Ordinance.

BE IT RESOLVED that this resolution shall become effective on the date that the companion Ordinance (Ordinance No. 20-\_\_\_) becomes effective.

IN COUNCIL, HAYWARD, CALIFORNIA July 7, 2020.

ADOPTED BY THE FOLLOWING VOTE:

AYES:           COUNCIL MEMBERS:  
                  MAYOR:

NOES:           COUNCIL MEMBERS:

ABSTAIN:       COUNCIL MEMBERS:

ABSENT:        COUNCIL MEMBERS:

ATTEST: \_\_\_\_\_  
          City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward

**PLANNING COMMISSION PUBLIC HEARING MEETING**  
**May 28, 2020, PH 20-023**  
**Planning Commission Comments and Recommendations for City Council**  
**Tobacco Retail Sales Establishment Ordinance, HMC 10-1.2780**

<b>Comment/Concern</b>	<b>Staff Evaluation</b>	<b>Staff Action</b>
For tobacco retailers with verified violations, can the City impose community service (i.e. cleanup work for Keep Hayward Clean and Green Taskforce)?	Staff confirmed with Legal that discretion to impose community service for a violation will fall under the purview of California Law and the discretion of a judge.	No further change is recommended, as the City does not have the authority to impose community service.
Why can't we limit flavored tobacco products to adult-only locations?	Staff reviewed information regarding local jurisdictions (Berkeley, Oakland, and S.F.) with exemptions in the sale of flavored to "tobacco only" smoke shops. Non-exempted retailers indicated facing unfair competition among tobacco retailers that the exemption created.  In addition, some the tobacco retailers began shifting their stores to meet the minimum requirements of a "tobacco only" shop in order to continue to sell flavored tobacco products.	No further changes are recommended. The proposed revision supports a complete ban of flavored and electronic smoking devices and vaping products to eliminate any unfair competition by the retailers and eliminate any loopholes of retailers shifting to full smoke shops if an exemption were to be granted.
Why can't we regulate these retailers as we do cannabis dispensaries?	New tobacco retailers and cannabis businesses both require approval of a conditional use permit, which allows the ability to impose additional conditions, i.e. security, etc. However, the existing tobacco retailers are deemed legal non-conforming as they were in existence prior to the first adoption of the tobacco ordinance in 2014.  Additionally, a tobacco retailer use and cannabis use are not comparable, i.e. number of dispensaries allowed vs. number of existing retailers; higher level of security standards for dispensaries that would be unreasonable for a typical tobacco retailer such as a local convenience store; cannabis uses are specific uses while tobacco uses may be mixed with other commercial activities.	For new tobacco retailers, City may implement specific requirements to regulate the sale of tobacco products located within the allowable districts.  No other changes proposed to the text amendments.
Why can't we enforce the buffer zones?	Staff recommended increasing the buffer zones to youth sensitive areas to 1,000 feet for all new tobacco retail sales locations.  Staff verified with legal that new retailers would not be allowed to establish a tobacco retailer use within 1,000 feet to youth sensitive receptors. Also, if an existing tobacco retailer is outside of the 500-foot buffer zone but less than 1,000 feet, they are deemed legal non-conforming from a land use prospective as long as the use does not cease for more than 6 months and conforms to all other zoning legal non-conforming use requirements.	The proposed text amendment includes increasing the buffer zones to use sensitive areas from 500 feet to 1,000 feet. This would allow a gradual phasing out of these retailers located within the required buffer zones when a tobacco sales retail use ceases.  No further changes to the proposed text revisions.

	Banning flavored tobacco is not a land use regulation and could be enforced without regard to the pre-existing use.	
What are the other things we have considered before we implement this ban all across?	<p>Staff has reviewed other local and state information regarding implementing exceptions within a ban and has concluded that exceptions create disparity within the retailers and consumers. Overtime, it is evident that the youth will find ways and loopholes to access tobacco products. Any other amendment to the ordinance short of banning flavored tobacco products for all retailers, will not fully eliminate the access of these products to youth in Hayward.</p> <p>If it is not sold in Hayward, then the City has done all we can as a community to protect the youth and address the growing crisis of flavored tobacco and vaping use among youth.</p>	Staff recommends the proposed full ban of flavored tobacco products and vaping products and paraphernalia to meet the council's Strategic Priority goal of eliminating the access of flavored tobacco and vaping products.
What will we do to mitigate the impact to the community as a result of having a full ban of flavored tobacco products, i.e. assistance with addiction, health information?	Staff is partnering with the County of Alameda Department of Public Health to obtain information of local available resources for the public and to assist the retailers during the transition of the adopted new regulations.	As part of the process of the implementation of the new text amendments, staff will incorporate a community outreach component to include information of available resources for retailers and the community.
<p>Why are vaping products included in the flavored tobacco ban?</p> <p>Comments were made regarding the ambiguity of Section 10-1.2783.c. pertaining to vaping products in contrast to flavored tobacco products.</p>	<p>The existing Tobacco Ordinance includes a ban in the sale of flavored tobacco products (which includes flavored vaping products) in place.</p> <p>Research shows mounting evidence of the imminent health risks, which have been declared by the California Department of Public Health and Federal agencies.</p> <p>The proposed revisions are intended to provide clarity in the existing ban and a sunset date for the end of sale of these products.</p> <p>The text amendments also provide language consistent with local, State and Federal standards to prohibit the sale of all vaping products and vaping paraphernalia.</p>	<p>Staff recommends the proposed text amendment to prohibit the sale of all vaping products and vaping paraphernalia; so as to eliminate any loopholes and the accessibility of vaping products to the youth for inhaling tobacco or other substances entirely, whether by means of electronic smoking devices or any other available vaping devices, i.e. bongs, hookahs, bowls, etc.</p> <p>Staff has further modified the text amendment presented to the Planning Commission, Section 10-1.2783.c. for additional clarity.</p>

## Additional Comments Received in both, Support of and Opposing, Stronger Tobacco Regulations

### (A) Letters in Support of Stronger Tobacco Regulations

(1)



June 2, 2020

**MAILING ADDRESS:**

*Administration*  
2579 San Pablo Ave.  
Oakland, CA 94612  
510.446.7100 Main  
510.446.7191 Fax

**SERVICE SITES:**

*Outpatient Services*  
*Hayward*  
22971 Sutro Street  
Hayward, CA 94541  
510.728.8600 Main  
510.728.8605 Fax

*Outpatient Day Support*  
*and Holistic Health Services*  
2577 San Pablo Ave.  
Oakland, CA 94612  
510.446.7180 Main  
510.446.7108 Fax

**Residential Services**  
**Project Pride**

2545 San Pablo Ave.  
Oakland, CA 94612  
510.446.7160 Main  
510.446.7188 Fax

[www.ebcrcp.org](http://www.ebcrcp.org)  
[www.facebook.com/EBCRP](https://www.facebook.com/EBCRP)

Mayor Barbara Halliday  
Councilmember Sara Lamnin  
Councilmember Elisa Márquez  
Councilmember Al Mendall  
Councilmember Mark Salinas  
Councilmember Aisha Wahab  
Councilmember Francisco Zermeño  
Hayward City Hall  
777 B St.  
Hayward, CA 94541-5007  
Via e-mail: [List-Mayor-Council@hayward-ca.gov](mailto:List-Mayor-Council@hayward-ca.gov)

RE: Support for Strengthening City of Hayward's Tobacco Retail Licensing Ordinance

Dear Mayor Halliday and Councilmembers:

I am writing to urge you to strengthen the tobacco retail license ordinance ending the sale of cheap flavored tobacco products, including menthol cigarettes, in Hayward with no exemptions. I have worked with youth many of whom have been hooked on tobacco for many years. I have also worked to help staff integrate tobacco treatment into primary care, substance abuse and mental health treatment for youth and adults. The explosion of nicotine use brought on by the tobacco industry's manipulation of e-cigarettes by doctoring them up with flavors to recruit our youth is horrifying. You have the power to help turn this around so 32% of HUSD eleventh graders will not have smoked e-cigarettes and their peers will not think that it is easy to get e cigarettes\*

E-cigarettes now come in over 15,000 flavors, from gummy worm to cotton candy. Flavored cigars make up more than half of the U.S. cigar market. And over half of youth smokers use menthol cigarettes. These flavorings have been approved for eating but not for heating and inhaling and they are known to be dangerous to the delicate tissues of the bronchi and alveoli in the lungs. The industry uses these flavors because they are appealing to youth and they make the poison go down easier. Even flavored e-cigarettes without nicotine have been proved to be harmful.

I am concerned that Hayward continues to have tobacco retailers that sell cheap flavored tobacco and these stores are found more often in low-income communities of color. All of these flavors have helped fuel the popularity of cigarettes, e-cigarettes and cigars among youth. In fact, 81% of kids who have used tobacco products started with a flavored product.

Please strengthen the ordinance and end the sale of all flavored tobacco products, including menthol cigarettes, with no exemptions. Please also include:

- a minimum price requirement of \$8.00 for cigarettes and little cigars

Because it will deter youth who are very price sensitive from purchasing these products.

- a minimum pack size of 20 little cigars

Because it will necessitate a higher cost than singles deterring youth

- a tobacco-free pharmacy requirement to protect our youth from accessing these products.

The definition of pharmacy is “a store where medicinal drugs are sold”. Sale of tobacco in pharmacies is in conflict with the very definition of what a pharmacy is because cigarettes are the only product that when used as directed will kill you.

I am passionate about these issues because of many years of seeing the harmful damage tobacco products have caused, the health disparities caused by tobacco in African American and Latino communities and the challenges of helping individuals to quit. You are in a position to make a huge difference by passing this ordinance!

Thank you for your continued leadership and ensuring Hayward is healthy for all youth!

Sincerely,

Cathy McDonald, MD MPH FAAP  
Program Consultant  
Lifelong Tobacco Dependence Treatment Training Program

According to CA Healthy Kids Survey results from Hayward Unified School District (2017-2018):

- 63% of 11<sup>th</sup> graders believe that it is either very or fairly easy to obtain e-cigarettes or vaping devices
- 49% of 11<sup>th</sup> graders believe that it is either very or fairly easy to obtain cigarettes
- 47% of 11<sup>th</sup> graders perceive little to no harm in using e-cigarettes compared to smoking cigarettes
- Almost 1 in 3 (32%) HUSD 11<sup>th</sup> graders have used electronic cigarettes



(2)



## HAYWARD PROMISE NEIGHBORHOODS

★ *Strong Kids*

★ *Strong Families*

★ *Strong Communities*

---

Mayor Barbara Halliday  
Councilmember Sara Lamnin  
Councilmember Elisa Márquez  
Councilmember Al Mendall  
Councilmember Mark Salinas  
Councilmember Aisha Wahab  
Councilmember Francisco Zermeño  
Hayward City Hall  
777 B St.  
Hayward, CA 94541-5007  
Via e-mail: [List-Mayor-Council@hayward-ca.gov](mailto:List-Mayor-Council@hayward-ca.gov)

RE: Support for Strengthening City of Hayward's Tobacco Retail Licensing Ordinance

Dear Mayor Halliday and Councilmembers:

Hayward Promise Neighborhoods supports strengthening Hayward's existing Tobacco Retail Licensing Ordinance to:

- End the sale of all flavored tobacco products, including menthol cigarettes, with no exemptions
- Raise the minimum package size requirement to 20 little cigars and include a minimum price requirement of \$8.00 for cigarettes, little cigar packages and cigars
- Increase youth-sensitive buffers to 1000 feet
- End the sale of tobacco in pharmacies
- End the sale of electronic smoking devices
- Hold retailers accountable and ensure that youth should not be penalized for possession, use or purchase of tobacco products

These measures are best practices to reduce tobacco-related illness and death and promote health equity. Additionally, by preventing Big Tobacco from targeting and hooking youth and low-income communities to cheap flavored tobacco products, we can also reduce potential risks to COVID-19 and improve the health of all communities in Hayward.

The mission of Hayward Promise Neighborhoods (HPNs), developed by a coalition that includes the community and funded partners, established that HPNs is a collaborative partnership working to ensure educational success and a safe, healthy, thriving community for all living in Hayward. By strengthening the Tobacco Retail Licensing Order, the City of Hayward will be furthering the mission to build and maintain a safe, healthy and thriving community.

According to CA Healthy Kids Survey results from Hayward Unified School District (2017-2018):

- 63% of 11<sup>th</sup> graders believe that it is either very or fairly easy to obtain e-cigarettes or vaping devices
- 49% of 11<sup>th</sup> graders believe that it is either very or fairly easy to obtain cigarettes
- 47% of 11<sup>th</sup> graders perceive little to no harm in using e-cigarettes compared to smoking cigarettes
- Almost 1 in 3 (32%) HUSD 11<sup>th</sup> graders have used electronic cigarettes

Tobacco companies have historically targeted youth, communities of color and the LGBTQ community with aggressive marketing of flavored tobacco products, including menthol. Research shows that 95% of African American teen smokers, 61% of Asian teen smokers, and 58% of Hispanic teen smokers report smoking menthol-flavored cigarettes.<sup>1</sup> Flavors including menthol, grape, cotton candy, bubble gum and gummy bear mask the harsh taste of tobacco and are highly appealing to youth, encouraging a new generation of smokers. Four out of 5 kids who have used tobacco started with a flavored product. Youth who smoke menthol are more likely to become addicted to nicotine than their peers that smoke non-menthol. As a result, vulnerable communities bear a disproportionate burden of tobacco-related disease and death; for example, 47,000 African Americans die annually from smoking-related illnesses, making tobacco use the largest preventable cause of death among African Americans and across the whole population.<sup>2</sup>

When tobacco is cheap and pack-sizes are small, tobacco products are more affordable for youth and low-income populations to buy. In Alameda County, over 77% of tobacco retailers near schools sell little cigars for less than \$1.00, cheaper than the price of a candy bar. Unfortunately, cheap prices for tobacco products are most available in low-income communities of color and communities which have high proportions of school-aged youth. Nearly 1 in 4 (23%) of male high school seniors smoke cigars<sup>3</sup> and are disproportionately used by black high school students.<sup>4</sup> Establishing a minimum price of \$8.00 and a minimum pack size requirement of 20 little cigars has been shown to be an effective strategy for reducing smoking rates among youth and low-income populations.<sup>5</sup>

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<sup>1</sup> Giovino GA, Villanti AC, Mowery PD, et al. 2015. Differential trends in cigarette smoking in the USA: is menthol slowing progress? Tobacco Control. 24 (1): 28-37.

<sup>2</sup> U.S. Department of Health and Human Services, Centers for Disease Control and Prevention. 2003. Pathways to Freedom: Winning the Fight Against Tobacco. Available at: <http://www.fairwarning.org/wp-content/uploads/2015/11/pathways.pdf>

<sup>3</sup> Robert Wood Johnson Foundation (RWJF), American Cancer Society Cancer Action Network (ACS CAN), Campaign for Tobacco-Free Kids, American Heart Association, Americans for Nonsmokers' Rights, and American Lung Association. (2014, December). Broken Promises to Our Children: A State-by-State Look at the 1998 State Tobacco Settlement 16 Years Later. Available at [tobaccofreekids.org/microsites/statereport2015/](http://tobaccofreekids.org/microsites/statereport2015/). Retrieved March 4, 2015.

<sup>4</sup> U.S. Department of Health and Human Services (HHS). (2014). The Health Consequences of Smoking-SO Years of Progress: A Report of the Surgeon General. Atlanta, GA: HHS, Centers for Disease Control and Prevention (CDC), National Center for Chronic Disease Prevention and Health Promotion, Office on Smoking and Health (OSH). Printed with corrections. January 2014.

<sup>5</sup> White, Justin and David Boettiger. 2019. Estimating the Effects of a Minimum Floor Price Law on Tobacco Use in Oakland, California. Philip R. Lee Institute for Health Policy Studies, University of California, San Francisco.

Additionally, making pharmacies tobacco-free further reduces the density of tobacco retailers and establishes pharmacies as places of health. Very few independent pharmacies exist anymore and of those existing, almost all are tobacco-free. In other jurisdictions, big chain pharmacies are not closing due to adopted tobacco-free pharmacy requirements.

Many other jurisdictions in Alameda County are also taking steps to strengthen their tobacco control regulations. Hayward should join Oakland, Fremont, Livermore and Unincorporated Alameda County to create a network of jurisdictions with strong tobacco retail ordinances. No city in the County should have to be the go-to place to get cheap flavored tobacco products.

Strengthening Hayward's existing Tobacco Retail Licensing law is crucial to preventing a new generation of smokers and preventing the added risks of COVID-19 on our communities. Thank you for putting the health of our youth and communities before tobacco industry profits and ensuring that all of Hayward's youth have the opportunity to lead healthy lives.

Sincerely,

*Melinda Hall*

Executive Director  
Hayward Promise Neighborhoods

(3)



HORIZON  
SERVICES, INC

24051 Amador St.  
Hayward, CA 94544

Mailing Address:  
P.O. Box 4217  
Hayward, CA 94540  
(510) 582-2100  
(510) 582-1221 fax

Cherry Hill  
Chrysalis  
Cronin House  
Horizon South  
Mission Street  
Sobering Center  
Palm Avenue  
Project Eden

June 8<sup>th</sup>, 2020

Mayor Barbara Halliday  
Councilmember Sara Lamnin  
Councilmember Elisa Márquez  
Councilmember Al Mendall  
Councilmember Mark Salinas  
Councilmember Aisha Wahab  
Councilmember Francisco Zermelo  
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Via e-mail: [List-Mayor-Council@hayward-ca.gov](mailto:List-Mayor-Council@hayward-ca.gov)

RE: Support for Strengthening City of Hayward's Tobacco Retail Licensing Ordinance

Dear Mayor Halliday and Councilmembers:

Horizon Services supports strengthening Hayward's existing Tobacco Retail Licensing Ordinance to:

- End the sale of all flavored tobacco products, including menthol cigarettes, with no exemptions
- Raise the minimum package size requirement to 20 little cigars and include a minimum price requirement of \$8.00 for cigarettes, little cigar packages and cigars
- Increase youth-sensitive buffers to 1000 feet
- End the sale of tobacco in pharmacies
- End the sale of electronic smoking devices
- Hold retailers accountable and ensure that youth should not be penalized for possession, use or purchase of tobacco products

These measures are best practices to reduce tobacco-related illness and death and promote health equity. Additionally, by preventing Big Tobacco from targeting and hooking youth and low-income communities to cheap flavored tobacco products, we can also reduce potential risks to COVID-19 and improve the health of all communities in Hayward.

Horizon Services is an inpatient and outpatient prevention and substance use treatment program serving low income youth and adults in Hayward and across Alameda County. In addition to adoption a no tobacco use policy and supporting cessation within our programs, our team is also focused on preventing youth tobacco use through our programs at Project Eden.

According to CA Healthy Kids Survey results from Hayward Unified School District (2017-2018):

- 63% of 11<sup>th</sup> graders believe that it is either very or fairly easy to obtain e-cigarettes or vaping devices
- 49% of 11<sup>th</sup> graders believe that it is either very or fairly easy to obtain cigarettes
- 47% of 11<sup>th</sup> graders perceive little to no harm in using e-cigarettes compared to smoking cigarettes
- Almost 1 in 3 (32%) HUSD 11<sup>th</sup> graders have used electronic cigarettes

Tobacco companies have historically targeted youth, communities of color and the LGBTQ community with aggressive marketing of flavored tobacco products, including menthol. Research shows that 95% of African American teen smokers, 61% of Asian teen smokers, and 58% of Hispanic teen smokers report smoking menthol-flavored cigarettes.<sup>1</sup> Flavors including menthol, grape, cotton candy, bubble gum and gummy bear mask the harsh taste of tobacco and are highly appealing to youth, encouraging a new generation of smokers. Four out of 5 kids who have used tobacco started with a flavored product. Youth who smoke menthol are more likely to become addicted to nicotine than their peers that smoke non-menthol. As a result, vulnerable communities bear a disproportionate burden of tobacco-related disease and death; for example, 47,000 African Americans die annually from smoking-related illnesses, making tobacco use the largest preventable cause of death among African Americans and across the whole population.<sup>2</sup>

When tobacco is cheap and pack-sizes are small, tobacco products are more affordable for youth and low-income populations to buy. In Alameda County, over 77% of tobacco retailers near schools sell little cigars for less than \$1.00, cheaper than the price of a candy bar. Unfortunately, cheap prices for tobacco products are most available in low-income communities of color and communities which have high proportions of school-aged youth. Nearly 1 in 4 (23%) of male high school seniors smoke cigars<sup>3</sup> and are disproportionately used by black high school students.<sup>4</sup> Establishing a minimum price of \$8.00 and a minimum pack size requirement of 20 little cigars has been shown to be an effective strategy for reducing smoking rates among youth and low-income populations.<sup>5</sup>

Additionally, making pharmacies tobacco-free further reduces the density of tobacco retailers and establishes pharmacies as places of health. Very few independent pharmacies exist anymore and of those existing, almost all are tobacco-free. In other jurisdictions, big chain pharmacies are not closing due to adopted tobacco-free pharmacy requirements.

Many other jurisdictions in Alameda County are also taking steps to strengthen their tobacco control regulations. Hayward should join Oakland, Fremont, Livermore and Unincorporated Alameda County to create a network of jurisdictions with strong tobacco retail ordinances. No city in the County should have to be the go-to place to get cheap flavored tobacco products.

## ATTACHMENT V

Strengthening Hayward's existing Tobacco Retail Licensing law is crucial to preventing a new generation of smokers and preventing the added risks of COVID-19 on our communities. Thank you for putting the health of our youth and communities before tobacco industry profits and ensuring that all of Hayward's youth have the opportunity to lead healthy lives.

Sincerely,

Christy Hayes

Executive Director

(4)



## BOARD OF SUPERVISORS

RICHARD VALLE  
President  
Board of Supervisors

June 12, 2020

Mayor Barbara Halliday  
Councilmember Sara Lamnin  
Councilmember Elisa Márquez  
Councilmember Al Mendall  
Councilmember Mark Salinas  
Councilmember Aisha Wahab  
Councilmember Francisco Zermeño

Hayward City Hall 777 B St.

Hayward, CA 94541-5007 Via e-mail: [List-Mayor-Council@hayward-ca.gov](mailto:List-Mayor-Council@hayward-ca.gov)

RE: Support for Strengthening City of Hayward's Tobacco Retail Licensing Ordinance

Dear Mayor Halliday and Councilmembers:

Office of Supervisor Valle, District 2, supports strengthening Hayward's existing Tobacco Retail Licensing Ordinance to:

- End the sale of all flavored tobacco products, including menthol cigarettes, with no exemptions
- Raise the minimum package size requirement to 20 little cigars and include a minimum price requirement of \$8.00 for cigarettes, little cigar packages and cigars
- Increase youth-sensitive buffers to 1000 feet
- End the sale of tobacco in pharmacies
- End the sale of electronic smoking devices
- Hold retailers accountable and ensure that youth should not be penalized for possession, use or purchase of tobacco products

1221 OAK STREET • SUITE 536 • OAKLAND, CALIFORNIA 94612 • 510 272-6692 • FAX 510 271-5115  
24301 SOUTHLAND DRIVE • SUITE 101 • HAYWARD, CALIFORNIA 94545 • 510 670-6150 • FAX 510 259-0860





These measures are best practices to reduce tobacco-related illness and death and promote health equity. Additionally, by preventing Big Tobacco from targeting and hooking youth and low-income communities to cheap flavored tobacco products, we can also reduce potential risks to COVID-19 and improve the health of all communities in Hayward.

Our office represents District 2 of Alameda County, which covers the cities of Hayward, Fremont, Newark, Union City, and Sunol.

According to CA Healthy Kids Survey results from Hayward Unified School District (2017-2018):

- 63% of 11th graders believe that it is either very or fairly easy to obtain e-cigarettes or vaping devices
- 49% of 11th graders believe that it is either very or fairly easy to obtain cigarettes
- 47% of 11th graders perceive little to no harm in using e-cigarettes compared to smoking cigarettes
- Almost 1 in 3 (32%) HUSD 11th graders have used electronic cigarettes

Tobacco companies have historically targeted youth, communities of color and the LGBTQ community with aggressive marketing of flavored tobacco products, including menthol. Research shows that 95% of African American teen smokers, 61% of Asian teen smokers, and 58% of Hispanic teen smokers report smoking menthol-flavored cigarettes.<sup>1</sup> Flavors including menthol, grape, cotton candy, bubble gum and gummy bear mask the harsh taste of tobacco and are highly appealing to youth, encouraging a new generation of smokers. Four out of 5 kids who have used tobacco started with a flavored product. Youth who smoke menthol are more likely to become addicted to nicotine than their peers that smoke non-menthol. As a result, vulnerable communities bear a disproportionate burden of tobacco-related disease and death; for example, 47,000 African Americans die annually from smoking-related illnesses, making tobacco use the largest preventable cause of death among African Americans and across the whole population.

When tobacco is cheap and pack-sizes are small, tobacco products are more affordable for youth and low-income populations to buy. In Alameda County, over 77% of tobacco retailers near schools sell little cigars for less than \$1.00, cheaper than the price of a candy bar. Unfortunately, cheap prices for tobacco products are most available in low-income communities of color and communities which have high proportions of school-aged youth. Nearly 1 in 4 (23%) of male high school seniors



smoke cigars<sup>3</sup> and are disproportionately used by black high school students.<sup>4</sup> Establishing a minimum price of \$8.00 and a minimum pack size requirement of 20 little cigars has been shown to be an effective strategy for reducing smoking rates among youth and low-income populations.

Additionally, making pharmacies tobacco-free further reduces the density of tobacco retailers and establishes pharmacies as places of health. Very few independent pharmacies exist anymore and of those existing, almost all are tobacco-free. In other jurisdictions, big chain pharmacies are not closing due to adopted tobacco-free pharmacy requirements.

Many other jurisdictions in Alameda County are also taking steps to strengthen their tobacco control regulations. Hayward should join Oakland, Fremont, Livermore and Unincorporated Alameda County to create a network of jurisdictions with strong tobacco retail ordinances. No city in the County should have to be the go-to place to get cheap flavored tobacco products.

Strengthening Hayward's existing Tobacco Retail Licensing law is crucial to preventing a new generation of smokers and preventing the added risks of COVID-19 on our communities. Thank you for putting the health of our youth and communities before tobacco industry profits and ensuring that all of Hayward's youth have the opportunity to lead healthy lives.

Sincerely,

A handwritten signature in black ink, appearing to read "Rich Valle". The signature is fluid and cursive, with the first name "Rich" and last name "Valle" clearly distinguishable.

Richard Valle, President of the Alameda County Board of Supervisors

(5)



A Spectrum of  
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Since 1975

**Administrative Offices  
& Adolescent Outpatient  
Behavioral Health Services**  
24301 Southland Drive Suite 300  
Hayward, CA 94545  
TEL (510) 300-3500  
FAX (510) 291-9591

**Outpatient Adult Behavioral  
Health Services**  
26081 Mocine Avenue  
Hayward, CA 94544  
TEL (510) 881-5921  
FAX (510) 881-5925

**Community Outreach  
Services**  
22366 Fuller Avenue  
Hayward, CA 94541  
TEL (510) 782-2947  
FAX (510) 785-8872

**Recovery & Wellness  
Services**  
1315 Fruitvale Avenue  
Oakland, CA 94601  
TEL (510) 300-3173  
FAX (510) 881-5921

**East Bay Community Services**  
1401 Almond Avenue  
Livermore, CA 94550  
TEL (925) 961-8045  
FAX (844) 965-9130

Mayor Barbara Halliday  
Councilmember Sara Lamnin  
Councilmember Elisa Márquez  
Councilmember Al Mendall  
Councilmember Mark Salinas  
Councilmember Aisha Wahab  
Councilmember Francisco Zermefio

Hayward City Hall  
777 B St.  
Hayward, CA 94541-5007  
Via e-mail: List-Mayor-Council@hayward-ca.gov

**RE: Support for Strengthening City of Hayward's Tobacco Retail Licensing Ordinance**

**Dear Mayor Halliday and Councilmembers:**

La Familia supports strengthening Hayward's existing Tobacco Retail Licensing Ordinance to:

- End the sale of all flavored tobacco products, including menthol cigarettes, with no exemptions
- Raise the minimum package size requirement to 20 little cigars and include a minimum price requirement of \$8.00 for cigarettes, little cigar packages and cigars
- Increase youth-sensitive buffers to 1000 feet
- End the sale of tobacco in pharmacies
- End the sale of electronic smoking devices
- Hold retailers accountable and ensure that youth should not be penalized for possession, use or purchase of tobacco products

These measures are best practices to reduce tobacco-related illness and death and promote health equity. Additionally, by preventing Big Tobacco from targeting and hooking youth and low-income communities to cheap flavored tobacco products, we can also reduce potential risks to COVID-19 and improve the health of all communities in Hayward.

La Familia is a partner in health equity work, with a strong commitment to residents of the City of Hayward and its sphere of influence. La Familia acts as a service provider, advocate, and trusted messenger for approximately 6,000 families in Alameda County.

As a partner in this work, we would like to highlight the following local data that demonstrates the need for policy-level intervention.

**The CA Healthy Kids Survey results from Hayward Unified School District (2017-2018):**

- 63% of 11th graders believe that it is either very or fairly easy to obtain e-cigarettes or vaping devices
- 49% of 11th graders believe that it is either very or fairly easy to obtain cigarettes
- 47% of 11th graders perceive little to no harm in using e-cigarettes compared to smoking cigarettes
- Almost 1 in 3 (32%) HUSD 11th graders have used electronic cigarettes

Tobacco companies have historically targeted youth, communities of color and the LGBTQ community with aggressive marketing of flavored tobacco products, including menthol. Research shows that 95% of African American teen smokers, 61% of Asian teen smokers, and 58% of Hispanic teen smokers report smoking menthol-flavored cigarettes. Flavors including menthol, grape, cotton candy, bubble gum and gummy bear mask the harsh taste of tobacco and are highly appealing to youth, encouraging a new generation of smokers. Four out of 5 kids who have used tobacco started with a flavored product. Youth who smoke menthol are more likely to become addicted to nicotine than their peers that smoke non-menthol. As a result, vulnerable communities bear a disproportionate burden of tobacco-related disease and death; for example, 47,000 African Americans die annually from smoking-related illnesses, making tobacco use the largest preventable cause of death among African Americans and across the whole population.<sup>1</sup>

When tobacco is cheap and pack-sizes are small, tobacco products are more affordable for youth and low-income populations to buy. In Alameda County, over 77% of tobacco retailers near schools sell little cigars for less than \$1.00, cheaper than the price of a candy bar. Unfortunately, cheap prices for tobacco products are most available in low-income communities of color and communities which have high proportions of school-aged youth. Nearly 1 in 4 (23%) of male high school seniors smoke cigars<sup>2</sup> and are disproportionately used by black high school students.<sup>3</sup> Establishing a minimum price of \$8.00 and a minimum pack size requirement of 20 little cigars has been shown to be an effective strategy for reducing smoking rates among youth and low-income populations.<sup>4</sup>

Additionally, making pharmacies tobacco-free further reduces the density of tobacco retailers and establishes pharmacies as places of health. Very few independent pharmacies exist anymore and of those existing, almost all are tobacco-free. In other jurisdictions, big chain pharmacies are not closing due to adopted tobacco-free pharmacy requirements.

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<sup>1</sup> U.S. Department of Health and Human Services, Centers for Disease Control and Prevention. 2003. Pathways to Freedom: Winning the Fight Against Tobacco. Available at: <http://www.fairwarning.org/wp-content/uploads/2015/11/pathways.pdf>

<sup>2</sup> Robert Wood Johnson Foundation (RWJF), American Cancer Society Cancer Action Network (ACS CAN), Campaign for Tobacco-Free Kids, American Heart Association, Americans for Nonsmokers' Rights, and American Lung Association. (2014, December). Broken Promises to Our Children: A State-by-State Look at the 1998 State Tobacco Settlement 16 Years Later. Available at [tobaccofreekids.org/microsites/statereport2015/](http://tobaccofreekids.org/microsites/statereport2015/). Retrieved March 4, 2015.

<sup>3</sup> U.S. Department of Health and Human Services (HHS). (2014). The Health Consequences of Smoking—50 Years of Progress: A Report of the Surgeon General. Atlanta, GA: HHS, Centers for Disease Control and Prevention (CDC), National Center for Chronic Disease Prevention and Health Promotion, Office on Smoking and Health (OSH). Printed with corrections. January 2014.

<sup>4</sup> White, Justin and David Boettiger. 2019. Estimating the Effects of a Minimum Floor Price Law on Tobacco Use in Oakland, California. Philip R. Lee Institute for Health Policy Studies, University of California, San Francisco.

Many other jurisdictions in Alameda County are also taking steps to strengthen their tobacco control regulations. Hayward should join Oakland, Fremont, Livermore and Unincorporated Alameda County to create a network of jurisdictions with strong tobacco retail ordinances. No city in the County should have to be the go-to place to get cheap flavored tobacco products.

Strengthening Hayward's existing Tobacco Retail Licensing law is crucial to preventing a new generation of smokers and preventing the added risks of COVID-19 on our communities. Thank you for putting the health of our youth and communities before tobacco industry profits and ensuring that all of Hayward's youth have the opportunity to lead healthy lives.

Sincerely,

A handwritten signature in black ink, appearing to read "Aaron Ortiz". The signature is fluid and cursive, with a long, sweeping tail on the last letter.

Aaron Ortiz  
CEO, La Familia

(6)

## Eden I&R, Inc.

*"linking people and resources"*

570 B Street ♦ Hayward, CA 94541 ♦ 510-537-2710 ♦ FAX 510-537-0986



June 10, 2020

Mayor Barbara Halliday  
Councilmember Sara Lamnin  
Councilmember Elisa Márquez  
Councilmember Al Mendall  
Councilmember Mark Salinas  
Councilmember Aisha Wahab  
Councilmember Francisco Zermeño

Hayward City Hall  
777 B St.  
Hayward, CA 94541-5007

Dear Mayor Halliday and Councilmembers:

Eden I&R Inc. supports strengthening Hayward's existing Tobacco Retail Licensing Ordinance to:

- End the sale of all flavored tobacco products, including menthol cigarettes, with no exemptions
- Raise the minimum package size requirement to 20 little cigars and include a minimum price requirement of \$8.00 for cigarettes, little cigar packages and cigars
- Increase youth-sensitive buffers to 1000 feet
- End the sale of tobacco in pharmacies
- End the sale of electronic smoking devices
- Hold retailers accountable and ensure that youth should not be penalized for possession, use or purchase of tobacco products

These measures are best practices to reduce tobacco-related illness and death and promote health equity. Additionally, by preventing Big Tobacco from targeting and hooking youth and low-income communities to cheap flavored tobacco products, we can also reduce potential risks to COVID-19 and improve the health of all communities in Hayward.

For 44 years, Eden I&R has been successfully fulfilling its mission of "linking people and resources" by consistently and creatively responding to the community's changing needs. We envision a community empowered with information and connected to resources, so that all people obtain health, happiness, hope, and improved livelihoods. Our skilled information management and referral specialists provide a critical information bridge between individuals in need and human service agencies.

[www.edenir.org](http://www.edenir.org) ♦ *Eden Information & Referral* ♦ [edenir@edenir.org](mailto:edenir@edenir.org)



## Eden I&R, Inc.

*"linking people and resources"*

570 B Street ♦ Hayward, CA 94541 ♦ 510-537-2710 ♦ FAX 510-537-0986

According to CA Healthy Kids Survey results from Hayward Unified School District (2017-2018):

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- 49% of 11<sup>th</sup> graders believe that it is either very or fairly easy to obtain cigarettes
- 47% of 11<sup>th</sup> graders perceive little to no harm in using e-cigarettes compared to smoking cigarettes
- Almost 1 in 3 (32%) HUSD 11<sup>th</sup> graders have used electronic cigarettes

Tobacco companies have historically targeted youth, communities of color and the LGBTQ community with aggressive marketing of flavored tobacco products, including menthol. Research shows that 95% of African American teen smokers, 61% of Asian teen smokers, and 58% of Hispanic teen smokers report smoking menthol-flavored cigarettes.<sup>i</sup> Flavors including menthol, grape, cotton candy, bubble gum and gummy bear mask the harsh taste of tobacco and are highly appealing to youth, encouraging a new generation of smokers. Four out of 5 kids who have used tobacco started with a flavored product. Youth who smoke menthol are more likely to become addicted to nicotine than their peers that smoke non-menthol. As a result, vulnerable communities bear a disproportionate burden of tobacco-related disease and death; for example, 47,000 African Americans die annually from smoking-related illnesses, making tobacco use the largest preventable cause of death among African Americans and across the whole population.<sup>ii</sup>

When tobacco is cheap and pack-sizes are small, tobacco products are more affordable for youth and low-income populations to buy. In Alameda County, over 77% of tobacco retailers near schools sell little cigars for less than \$1.00, cheaper than the price of a candy bar. Unfortunately, cheap prices for tobacco products are most available in low-income communities of color and communities which have high proportions of school-aged youth. Nearly 1 in 4 (23%) of male high school seniors smoke cigars<sup>iii</sup> and are disproportionately used by black high school students.<sup>iv</sup> Establishing a minimum price of \$8.00 and a minimum pack size requirement of 20 little cigars has been shown to be an effective strategy for reducing smoking rates among youth and low-income populations.<sup>v</sup>

Additionally, making pharmacies tobacco-free further reduces the density of tobacco retailers and establishes pharmacies as places of health. Very few independent pharmacies exist anymore and of those existing, almost all are tobacco-free. In other jurisdictions, big chain pharmacies are not closing due to adopted tobacco-free pharmacy requirements.

Many other jurisdictions in Alameda County are also taking steps to strengthen their tobacco control regulations. Hayward should join Oakland, Fremont, Livermore and Unincorporated Alameda County to create a network of jurisdictions with strong tobacco retail ordinances. No city in the County should have to be the go-to place to get cheap flavored tobacco products.

[www.edenir.org](http://www.edenir.org) ♦ Eden Information & Referral ♦ [edenir@edenir.org](mailto:edenir@edenir.org)

# Eden I&R, Inc.

*"linking people and resources"*

570 B Street ♦ Hayward, CA 94541 ♦ 510-537-2710 ♦ FAX 510-537-0986

Strengthening Hayward's existing Tobacco Retail Licensing law is crucial to preventing a new generation of smokers and preventing the added risks of COVID-19 on our communities. Thank you for putting the health of our youth and communities before tobacco industry profits and ensuring that all of Hayward's youth have the opportunity to lead healthy lives.

Sincerely,



Alison DeJung  
Executive Director

<sup>i</sup> Giovino GA, Villanti AC, Mowery PD, et al. 2015. Differential trends in cigarette smoking in the USA: is menthol slowing progress? Tobacco Control. 24 (1): 28-37.

<sup>ii</sup> U.S. Department of Health and Human Services, Centers for Disease Control and Prevention. 2003. Pathways to Freedom: Winning the Fight Against Tobacco. Available at: <http://www.fairwarning.org/wp-content/uploads/2015/11/pathways.pdf>

<sup>iii</sup> Robert Wood Johnson Foundation (RWJF), American Cancer Society Cancer Action Network (ACS CAN), Campaign for Tobacco-Free Kids, American Heart Association, Americans for Nonsmokers' Rights, and American Lung Association. (2014, December). Broken Promises to Our Children: A State-by-State Look at the 1998 State Tobacco Settlement 16 Years Later. Available at [tobaccofreekids.org/microsites/statereport2015/](http://tobaccofreekids.org/microsites/statereport2015/). Retrieved March 4, 2015.

<sup>iv</sup> U.S. Department of Health and Human Services (HHS). (2014). The Health Consequences of Smoking-SO Years of Progress: A Report of the Surgeon General. Atlanta, GA: HHS, Centers for Disease Control and Prevention (CDC), National Center for Chronic Disease Prevention and Health Promotion, Office on Smoking and Health (OSH). Printed with corrections. January 2014.

<sup>v</sup> White, Justin and David Boettiger. 2019. Estimating the Effects of a Minimum Floor Price Law on Tobacco Use in Oakland, California. Philip R. Lee Institute for Health Policy Studies, University of California, San Francisco.

(7)



You're  
*Welcome*  
Here.

June 15, 2020

Mayor Barbara Halliday  
Councilmember Sara Lamnin  
Councilmember Elisa Márquez  
Councilmember Al Mendall  
Councilmember Mark Salinas  
Councilmember Aisha Wahab  
Councilmember Francisco Zermefio

Hayward City Hall  
777 B St.  
Hayward, CA 94541-5007

Via e-mail: [List-Mayor-Council@hayward-ca.gov](mailto:List-Mayor-Council@hayward-ca.gov)

RE: Support for Strengthening City of Hayward's Tobacco Retail Licensing Ordinance

Dear Mayor Halliday and Councilmembers:

Eden United Church of Christ supports strengthening Hayward's existing Tobacco Retail Licensing Ordinance to:

- End the sale of all flavored tobacco products, including menthol cigarettes, with no exemptions
- Raise the minimum package size requirement to 20 little cigars and include a minimum price requirement of \$8.00 for cigarettes, little cigar packages and cigars
- Increase youth-sensitive buffers to 1000 feet
- End the sale of tobacco in pharmacies
- End the sale of electronic smoking devices
- Hold retailers accountable and ensure that youth should not be penalized for possession, use or purchase of tobacco products

These measures are best practices to reduce tobacco-related illness and death and promote health equity. Additionally, by preventing Big Tobacco from targeting and hooking youth and low-income communities to cheap flavored tobacco products, we can also reduce potential risks to COVID-19 and improve the health of all communities in Hayward.

As you may know, Eden Church was founded in 1865, prior to the establishment of the City of Hayward and the Hayward Unified School District. For as long as we, the City and the HUSD have co-existed, Eden Church has been engaged in promoting safe and healthy schools and communities. This is why the results of the CA Healthy Kids Survey of the Hayward Unified School District (2017-2018) is so troubling to us. Consider the following data, and surely, you share our concerns, too:

- 63% of 11<sup>th</sup> graders believe that it is either very or fairly easy to obtain e-cigarettes or vaping devices
- 49% of 11<sup>th</sup> graders believe that it is either very or fairly easy to obtain cigarettes
- 47% of 11<sup>th</sup> graders perceive little to no harm in using e-cigarettes compared to smoking cigarettes
- Almost 1 in 3 (32%) HUSD 11<sup>th</sup> graders have used electronic cigarettes

**The Rev. Dr. Arlene K. Nehring, Senior Minister**

21455 Birch Street • Hayward, CA 94541 • (510) 582-9533 • [www.edenucc.com](http://www.edenucc.com)



As an LGBTQQI+ Open & Affirming congregation and a Sanctuary Congregation with an Accompaniment Ministry, we are deeply troubled by the way in which tobacco companies have historically targeted youth, communities of color and the LGBTQ community with aggressive marketing of flavored tobacco products, including menthol. Research shows that 95% of African American teen smokers, 61% of Asian teen smokers, and 58% of Hispanic teen smokers report smoking menthol-flavored cigarettes. Flavors including menthol, grape, cotton candy, bubble gum and gummy bear mask the harsh taste of tobacco and are highly appealing to youth, encouraging a new generation of smokers. Four out of 5 kids who have used tobacco started with a flavored product. Youth who smoke menthol are more likely to become addicted to nicotine than their peers that smoke non-menthol. As a result, vulnerable communities bear a disproportionate burden of tobacco-related disease and death; for example, 47,000 African Americans die annually from smoking-related illnesses, making tobacco use the largest preventable cause of death among African Americans and across the whole population.

When tobacco is cheap and pack-sizes are small, tobacco products are more affordable for youth and low-income populations to buy. In Alameda County, over 77% of tobacco retailers near schools sell little cigars for less than \$1.00, cheaper than the price of a candy bar. Unfortunately, cheap prices for tobacco products are most available in low-income communities of color and communities which have high proportions of school-aged youth. Nearly 1 in 4 (23%) of male high school seniors smoke cigars and are disproportionately used by black high school students. Establishing a minimum price of \$8.00 and a minimum pack size requirement of 20 little cigars has been shown to be an effective strategy for reducing smoking rates among youth and low-income populations.

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Many other jurisdictions in Alameda County are also taking steps to strengthen their tobacco control regulations. Hayward should join Oakland, Fremont, Livermore and Unincorporated Alameda County to create a network of jurisdictions with strong tobacco retail ordinances. No city in the County should have to be the go-to place to get cheap flavored tobacco products.

Strengthening Hayward's existing Tobacco Retail Licensing law is crucial to preventing a new generation of smokers and preventing the added risks of COVID-19 on our communities. Thank you for putting the health of our youth and communities before tobacco industry profits and ensuring that all of Hayward's youth have the opportunity to lead healthy lives.

Sincerely,

*Arlene K. Nehring*

The Rev. Dr. Arlene K. Nehring  
Senior Minister

## (B) Email Comments received Opposing Stronger Tobacco Regulations

(1)

**From:** [Sanjiv Patel](#)  
**To:** [Maggie Flores](#)  
**Subject:** Opposing to Amendment to Chapter 10, Article 1, Section 10-1.2780 of the Hayward Municipal Code Relating to Tobacco Retail Sales Establishment  
**Date:** Thursday, May 28, 2020 2:26:45 PM

**CAUTION:** This is an external email. Do not click on links or open attachments unless you know the content is safe.

Hi;

I am a business owner in Hayward selling tobacco products to adults.

I'd like to oppose to the proposed changed to the code as it is going to add hardship to already difficult business environment due to COVID 19. I'd request to table the topic for the time being and discuss once the situation comes back to "Normal".

Thanks.

Sanjiv Patel

.

(2)

**From:** [John Diaz](#)  
**To:** [Maggie Flores](#)  
**Subject:** flavored cigarettes  
**Date:** Thursday, May 28, 2020 5:27:29 PM

**CAUTION:** This is an external email. Do not click on links or open attachments unless you know the content is safe.

I understand preventing minors from smoking or drinking is for a good cause. Banning Adults from being able to purchase State and Federal legal products is not the answer. Sadly passing a city law will not stop smoking usage by minors. Enforcement of current laws preventing purchases from minors should be implemented. Why not make liquor stores only 21+ like in other States. Banning the sale of flavored items in the city is not the answer. Taking away my rights to prevent illegal usage by minors is not the answer. I live sweet and flavored items. Do I think the tobacco and alcohol companies market way to aggressively towards minors, yes I do. That being said, it doesn't mean my rights should be trampled on.

John Diaz Hayward resident 94541



**MINUTES OF THE REGULAR MEETING OF THE  
CITY OF HAYWARD PLANNING COMMISSION  
REMOTE PARTICIPATION  
Thursday, May 28, 2020, 7:00 p.m.**

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This meeting was conducted utilizing teleconference and electronic means consistent with State of California Executive Order No. 29-20 dated March 17, 2020, and Alameda County Health Officer Order No. 20-10 dated April 29, 2020, regarding the COVID-19 pandemic.

**MEETING**

A special meeting of the Hayward Planning Commission was called to order at 7:00 p.m. by Chair Bonilla.

**CALL TO ORDER**

**ROLL CALL**

Present: COMMISSIONERS: Stevens, Andrews, Faria, Patton, Roche  
CHAIRPERSON: Bonilla  
Absent: COMMISSIONER: Goldstein

Staff Members Present: Agarwal, Billoups, Brick, Chan, Flores, Kelley, Lochirco, Martinez, Nichols, Simpson, Solla

**PUBLIC COMMENT:**

Public Comments were limited only to items on the Agenda.

**PUBLIC HEARINGS:** For agenda items No. 1, No. 2, and No. 3, the Planning Commission may make a recommendation to the City Council.

1. Proposed Amendment to Chapter 10, Article 1 (Zoning Ordinance) of the Hayward Municipal Code related to Retail Sales of Tobacco and Tobacco Related Products

Senior Code Enforcement Inspector Flores provided a synopsis of the staff report and a PowerPoint presentation.

Senior Code Enforcement Inspector Flores responded to Commissioner Andrews that Hookah lounges were banned from the City of Hayward in 2014 and there may be some lounges in the unincorporated area of Hayward.

Senior Code Enforcement Inspector Flores confirmed for Planning Commissioner Faria that menthol flavored tobacco products are banned per the proposed Ordinance and this is to be consistent with County and State best practices.



**MINUTES OF THE REGULAR MEETING OF THE  
CITY OF HAYWARD PLANNING COMMISSION  
REMOTE PARTICIPATION  
Thursday, May 28, 2020, 7:00 p.m.**

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Planning Commissioner Roche inquired about what education programs are there to help families and youth; why weren't licenses revoked; and what legal actions have occurred. Senior Code Enforcement Inspector Flores said the City will continue to work with Alameda County Public Health Department (ACPHD). Mr. Paul Cummings, Tobacco Control Program Director for Alameda County Health Department, spoke about the treatment approach for youth who are already addicted; the Hayward Unified School District (HUSD) tobacco use and prevention program; and the smokers' helpline a 1-800 number devoted to vaping and phone counseling. Ms. Flores said the City will be addressing violators and the Ordinance will allow us to suspend/revoke licenses. Assistant City Attorney Agarwal said there has not been many legal actions regarding bans of this type and a lot of bay area counties have recently adopted bans for vaping and flavored tobacco products. Mr. Agarwal shared that in 2011 in San Francisco the court upheld a ban from pharmacies selling flavored tobacco products and that cities have a lot of discretion when acting for the sake of public health and safety.

Planning Commissioner Stevens asked about the following: are these products are still legal; who is purchasing these products and what is the demand; and enforcement of sales to underage smokers versus cannabis. Mr. Cummings said the products in the Ordinance are still legal to be used and possessed in Hayward and the restriction is on the sale of the products. Mr. Cummings said there is data on the great increase of tobacco use among youth. Anna Lee from ACPHD provided statistics on the high rates of use of menthol flavored cigarettes- 30% of smokers smoked menthol cigarettes and 50% of smokers 12 to 17 years old. Detective Wright of HPD described decoy operations at businesses to ensure that buyers of cannabis products are of age and this would also apply to tobacco stores. Detective Wright said there are a lot more stores that sell tobacco products than cannabis dispensaries and it would take longer to ensure compliance. Code Enforcement Manager Nichols spoke about the administrative enforcement performed by the City and that currently there are two staff who are assigned to the tobacco inspections.

Chair Bonilla asked about the following: how effective is the City in what we are trying to implement; what alternatives have the City considered to prevent youth smoking; data of what will occur when tobacco bans are instituted; Ms. Lee provided stats of adult use that majority will begin with flavored tobacco products and the Ordinance will have an impact on adults also. Mr. Cummings said what is being proposed will tighten the sale of the flavored tobacco products. Senior Code Enforcement Inspector Flores said the times have changed and the use among youth has increased because the products are easily accessible; with the proposed ordinance there will be increased enforcement along with more resources for youth education. Code Enforcement Manager Nichols said that the City has been trying to be a good steward with local businesses and it is time to pursue those cases that continue to sell to minors and begin the process of suspending licenses. Mr. Cummings said the County currently does not have data on what happens when bans are instituted;



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there have not been any spikes in domestic violence or substance abuse; and in theory adults will find other ways to obtain tobacco products as youth do not have this same option of access.

Chair Bonilla opened the public hearing at 7:49 p.m.

Public speakers participated by calling the City Clerk's office at (510) 583-4400.

The following speakers spoke in support of the staff recommendation:

Ms. Jennifer Duncan, Substance Abuse Prevention Program Manager at Eden Youth and Family Center, said the tobacco industry is targeting youth through flavored products and advertising; and the industry wants to indoctrinate youth.

Mr. Paul Cummings, Tobacco Control Program Director for ACPHD, said the proposed ordinance which is a multi-strategy approach will protect Hayward's youth; and the tobacco industry is resourceful and relentless to sell their products.

Ms. Cesia Gomez Marcelino, Hayward resident with Youth Advisory Council, spoke about youth smoking and how the advertising entices young people; many of the tobacco retailers are near sensitive areas like schools, playgrounds, and daycares; youth vaping is an epidemic.

Ms. Jessica Fuentes, Junior at Mt. Eden High School, spoke about the far reaching use of tobacco products in high schools such as vape pens and said this product is easily accessible; worked with Alameda and Hayward Police Departments as a decoy and saw first hand how retailers did not check IDs. Teens know that it is very easy to acquire these products.

Mr. Nathan Subramanian, Alameda County Tobacco Control Coalition, spoke about the popularity of flavored tobacco products; positive impact of banning menthol cigarettes and minimum prices will prevent the tobacco industry from finding loopholes.

Dr. Phillip Gardiner, African American Tobacco Control Leadership Council, spoke about the letter that he submitted to the Council in support of the item, remove the menthol exception; how minorities disproportionately are addicted to tobacco products. He said smoking compromises the lungs and immune system. Smokers will have more serious health concerns that can lead into complications with COVID-19.

Mr. Bryan Davis, Alameda County Tobacco Control Coalition, spoke about seeing small packs of tobacco products for one dollar; about how bay area municipalities have put in



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place mitigation measures to decreases the amount of use; and the high use of tobacco products in high schools where the school population was predominately African American.

Ms. Anna Lee, ACPHD, said it is important for community health and racial equity especially at this time when smokers are at greater risk because of COVID-19; provisions of the ordinance will hold retailers accountable to the community; Hayward has a disproportionate number of tobacco retailers are located in sensitive and low income areas of color; cheap flavored tobacco products are very accessible and provided statistics.

Ms. Karen Halfon, Executive Director of Eden Youth and Family Center, said this will significantly reduce accessibility of these tobacco products including e-cigarettes among school age youth. Ms. Halfon spoke about the preventative measures that they are involved in and provided statistics.

Ms. Paula Carreon, Tennyson High School student, spoke about having a stronger and healthier community; once the ordinance is passed this will make it more difficult for students to be able to purchase these products; and shared that the HUSD survey results are that students say it is very easy to purchase the products and this is very concerning and needs to be resolved.

Ms. Roselyn Moya, Co-Chair Alameda County Tobacco Control Coalition, focus is to protect youths as it is too accessible and provided statistics on how youth are able to purchase products from retailers. The priority is to protect the children.

Mr. Bob Gordon, Alameda County Tobacco Control Coalition, noted that hookahs have so many candy and fruit flavored products that are attractive to youth and is as dangerous as smoking cigarettes; is concerned and requested staff take a look at the language in the ordinance that refers to pharmacies and drug stores. He spoke about how San Francisco passed a comprehensive ordinance in 2017 banning all flavored tobacco products and that this takes the complexities out of the enforcement aspect.

Ms. Liz Williams, Americans for Non-Smokers Rights, suggested increasing the pack size to 20 to prevent the use of coupons and to establish a cap on the number of retailer licenses. She said this has been banned in many communities and has been successful. It is important to protect the health and wellness of the community.

Ms. Blythe Young, Community Advocacy Director for the American Heart Association, said the proposed item will increase enforcement; the City needs to join Alameda County and surrounding cities in banning the sale of flavored tobacco; the six month grace period is adequate time for retailers; and it is important to protect the youth.



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Ms. Deanna Canales, health educator, expressed concern about the youth smoking epidemic; youth are being targeted especially in disadvantaged communities. Thanked the Commission for standing up to protect Hayward's youth and their health

Ms. Elsa Casanova, Organizer with La Familia in the unincorporated area of Alameda County, spoke about the County passing a successful strong tobacco retailer ordinance earlier this year; many children in the Eden Area go to school in Hayward. We must work together to restrict the sale of flavored products to protect the health of our youth.

Ms. Jen Grand Lejano, American Cancer Society Cancer Action Network, Government Relations Director for Northern California, said it is time to update the City's ordinance to protect Hayward's youth; data shows that youth are obtaining these products from retailers and the predatory advertising targets youth.

Ms. Slor Corral, Substance Abuse Coordinator with Eden Youth and Family Center, said she has worked with youth in substance abuse which include using tobacco flavored products. Ms. Corral said 81% of users of flavored tobacco products are age 12 to 17. This ordinance will help bring a better future to Hayward's families.

Ms. Annie Tegen, Campaign for Tobacco Free Kids, reiterated their strong support for the ordinance.

The following speakers spoke in opposition of the staff recommendation:

Mr. Dhruba Bassua, Hayward business owner, spoke about being careful about selling tobacco products; this ordinance will impact his business and he wants to work with the City and urged the Commission and Council to help his business.

Mr. Haroon Ahmed, Hayward business owner, said they are a responsible business and have trained staff to prevent underage sales; they have turned away multiple people who did not have IDs; they follow all the rules; existing guidelines are adequate to prevent sales to minors; increasing smoking age to 21 has helped resolve the situation; removing flavored products from responsible retailers will harm the business owners and will not protect the youth who will find another way to obtain the products on the black market. Mr. Ahmed requested the Planning Commission oppose the ban and invited them to visit his store.

Ms. Rima Khoury, Hookah Chamber of Commerce, said this is a 1,000 year tradition and there is not a teen hookah epidemic in Hayward; she said the CDC and the FDA reports make it clear that hookah is not the problem with youth smoking; they are not being used in schools; and hookahs are three feet tall and cannot be concealed in backpacks or a



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pocket like vape products. Ms. Khoury explained how hookahs are used and that they are not causing a health concern among youth as they are not appealing to youth and will be collateral damage in the war against vape.

Mr. Mike Ali, Hayward business owner, said his business has had a clean record for the last twenty years and they are very careful to check all IDs. Mr. Ali said he understands the issue with the youth, and they want to work with the City. He said that a lot of his clients are low income and minorities and expressed concern of where his clients will be able to obtain the flavored products and that the City will lose revenue and taxes. He said that the youth will find a way to obtain the products that they want. Mr. Ali said if these products are banned then this will impact his small business and requested to meet and discuss this issue. He said that a lot of small business are owned by minorities who do not speak English. It is unfair to punish a whole industry.

There being no additional speakers, Chair Bonilla closed the public hearing at 8:58 p.m.

Commissioner Andrews disclosed speaking with a tobacco coalition about this item and thanked the speakers for their comments. Ms. Andrews expressed concern about the health dangers to youth and spoke about that over thirty years ago when looking through a Black magazine that should have been celebrating their culture and there was an advertisement for menthol cigarettes. Ms. Andrews said the tobacco industry targeted the minority community then and is continuing to do so now; she is concerned about vaping among youth that is out of control; and is also concerned about the retailers. Ms. Andrews recommended that violators be required to serve environmental community service on par with Keep Hayward Clean and Green Task Force Clean-ups as this is not just a health issue but is also an environmental issue with the trash from tobacco products

Commissioner Faria spoke about her experience in the health industry where she has seen the health impact from years of smoking. Ms. Faria supports the item that will limit youth access to tobacco products.

Commissioner Patton said this is a public health issue and is not the purview of Planning Commission and feels this discussion belongs with the City Council who is in charge of public health policies for the City. Mr. Patton urged the speakers to attend the City Council meeting to provide their comments to Council. He said these amendments are appropriate as the statistics clearly indicate the impact to the City's youth from the vaping and e-products and the Commission has the responsibility to protect our youth. Mr. Patton said the tobacco industry is targeting the youth.

Ms. Roche thanked Planning Commissioner Patton for his comments as she had been struggling with the ban and the impact to small businesses that have been diligent and





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following the law; questioned the proposed ordinance would impede the freedom of choice; noted the Commission just approved a cannabis businesses with strict controls; and could there have been stronger enforcement and if staff could have penalized the violators prior to getting to this point. Ms. Roche said that she has to support Hayward's youth and the ban would make accessibility difficult. Ms. Roche supports the staff recommendation. Ms. Roche disclosed having met with members of the ACPHD.

Commissioner Stevens agreed with Planning Commissioner Patton that some of the items in the proposed amendment are above the purview of the Commission. Mr. Stevens agreed with the text amendment that related to separation of these establishments from sensitive areas. Mr. Stevens is concerned about page 9 paragraph C that disallows the use of flavored products as well as electronic smoking devices and that this is an overreach and contradictory with previously approved cannabis facilities. He said that this is an enforcement issue and the language should be stronger and should be on par with cannabis regulations. Mr. Stevens said that since the City allows cannabis dispensaries this ban would be a disservice to Hayward's residents and he struggles with that section.

Chair Bonilla agrees with comments by Commissioners Roche and Stevens and said the issue of youth smoking needs to be addressed but the policy might be overreaching in calling for a complete abolishment. Mr. Bonilla pointed out that the amendment is banning only the flavored products while the unflavored products do the same thing. Mr. Bonilla commented that the Commission just approved two cannabis businesses with the names "Auntie Honeys" and "Sticky Thumb" which is similar to the name given the vaping products that attracts youth. He said the cannabis dispensaries are approved to sell clips which are similar to vaping pens and the City needs to expand our thinking on establishing policies to be consistent in applying policies across different businesses. Chair Bonilla said that the measure targets one type of tobacco product when it is known that smoking in general is harmful to your health. Mr. Bonilla expressed concern for the long-lasting impact to Hayward residents once these items are removed from the stores as many people use smoking as an outlet. He said the City needs to implement community campaigns and provide resources to help residents move through the transition so that they don't try to obtain these products out of the City as the purpose of this ordinance is to reduce the tobacco usage in the City and especially among youth. Mr. Bonilla disclosed having met with members of the ACPHD.

Commissioner Andrews noted that during the previous cannabis items she brought up regulating product names so they wouldn't be so attractive to youth. Ms. Andrews asked about having regulations similar to conditions of approval for cannabis businesses; Assistant City Attorney Brick responded that in general, the cannabis application was for a specific land use at a specific location; this item is recommendation for legislation to the



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City Council. Mr. Brick said the Commission's recommendations can be forwarded to Council for their consideration.

Planning Commissioner Stevens said on Page 9 Section C, he would like a provision put in place to reduce the burden on the City's enforcement division and make sure these products are not being sold to youth. Mr. Stevens said an issue is that there are too many establishments and suggested creating a buffer zone between retailers and sensitive use areas. Code Enforcement Manager Nichols said that staff can look at the enforcement aspect on the different products that attracts youth.

Code Enforcement Manager Nichols responded to Planning Commissioner Roche that staff would consider the Commission's recommendations and present them to Council. Ms. Roche suggested limiting the products to just smoke shops; Senior Code Enforcement Inspector Flores said in staff's research that by allowing some businesses to sell these products is not fair to the rest of the retailers and staff determined to establish the ban for all retailers.

Mr. Patton made a motion to approve the staff recommendation with the added recommendation that staff create a matrix listing the Planning Commissioners suggested amendments. The matrix is to include staff response on whether staff would make these recommendations to Council and the matrix is to be included as an attachment to the staff report to Council.

Commissioner Roche seconded the motion.

Planning Commissioner Andrews agreed with the motion and recommended having the environmental community service for violators who sell illegally to youth.

Planning Commissioner Faria supported the motion and asked for clarification on the matrix.

Planning Commissioner Stevens noted that he has stated his discomfort with page 9 paragraph C.

Chair Bonilla said he has concerns and to include in the matrix to have strong alternatives and why can't the flavored tobacco products be regulated similar to cannabis dispensaries; establish a buffer zone to sensitive areas. He said the matrix can help surface other considerations and alternatives so hopefully City Council can have more of an informed decision as it relates to other alternatives to address the issue.



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After further discussion among the Planning Commissioners, Commissioner Patton clarified his motion.

Commissioner Patton made a motion, seconded by Commissioner Roche, to approve the staff recommendation with the added recommendation that staff create a matrix listing the Planning Commissioners suggested amendments such as: stronger enforcement and regulation language including buffer zones similar to cannabis regulations; violators will be required to serve environmental community service on par with the Keep Hayward Clean and Green Task Force clean ups; address concerns about the tobacco industry targeting certain minority groups and especially youth; prioritize community health; and prioritize providing education and resource programs to address youth addiction. The matrix is to include staff response on whether staff would make these recommendations to Council, and the matrix is to be included as an attachment to the staff report to Council.

The motion passed with the following roll call vote:

AYES:	Commissioners Stevens, Andrews, Faria, Patton, Roche Chair Bonilla
NOES:	None
ABSENT:	Goldstein
ABSTAIN:	None

2. Proposed Amendment of the Hayward 2040 General Plan to comply with changes to State law including the Establishment of new Vehicle Miles Traveled (VMT) CEQA thresholds for the City of Hayward

Principal Planner Lochirco provided a synopsis of the staff report and PowerPoint presentation.

Planning Commissioner Andrews would like important intersections reviewed also. Principal Planner Lochirco said item is specifically for CEQA thresholds and staff can consider intersection impacts for new developments outside of CEQA. Senior Transportation Engineer Solla spoke about the VMT thresholds that pertain to CEQA projects and that other projects would be subject to local transportation analysis which would be associated with a developer's traffic impact fee. Mr. Lochirco said because of the COVID-19 crisis there have been a lot fewer cars on the road. Ms. Megan Weir with Nelson Nygaard said residents working from home has impacted the VMT results and spoke about how working from home can shift travel patterns.

Senior Transportation Engineer Solla clarified for Planning Commissioner Faria that both impact fees, the VMT and the traffic impact fees, cancel each other out. Principal Planner



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Lochirco said this is to declassify using traffic as a negative environmental impact. He said that staff can still assess an impact fee with a project by project assessment.

Senior Transportation Engineer Solla responded to Planning Commissioner Patton that fees will not be imposed until adopted by the City Council.

Chair Bonilla thanked staff and the consultant team for the comprehensive staff report that made a complex item easy to understand.

Having no public speakers, Chair Bonilla opened and closed the public hearing at 10:07 p.m.

Planning Commissioner Faria appreciates that there is still the opportunity to look at specific intersections when necessary.

Planning Commissioner Roche thanked staff and team for the staff report and including the last mile shuttle as a mitigation measure.

Chair Bonilla said this is a logical change and makes a lot of sense and to understand the environmental impacts from traffic.

Commissioner Stevens made a motion to approve the staff recommendation. Commissioner Faria seconded the motion.

The motion passed with the following roll call vote:

AYES:	Commissioners Stevens, Andrews, Faria, Patton, Roche Chair Bonilla
NOES:	None
ABSENT:	Goldstein
ABSTAIN:	None

3. Proposed Amendment to Chapter 10, Article 24 (South Hayward BART/Mission Boulevard Form Based Code), Article 25 (Hayward Mission Boulevard Corridor Form Based Code), Article (Zoning Ordinance), and Article 7 (Sign Ordinance), related to the adoption of a consolidated Mission Boulevard Code within the City of Hayward

Associate Planner Martinez provided a synopsis of the staff report and PowerPoint presentation.

Planning Commissioner Andrews asked about the retail uses staff has considered for this area; Principal Planner Lochirco said the regulations and codes adopted in 2014 envisioned



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a retail center for shopping but Amazon and online shopping has changed the economy and cities are left with creating resilient spaces and staff has broadened the definition of uses; there is a need to activate that space; nature of update will expand the number of uses and also create flexibility of what those uses will look like. Ms. Andrews suggested utilizing empty spaces as flex space for residential use that could be used to as temporary housing for individuals. Mr. Lochirco said that is a balance and that once commercial is transitioned to another use the commercial aspect will be gone. Staff has been intentional to preserve the commercial along major corridors and as it branches out into residential, there are spaces that allow for other uses. Mr. Lochirco said that there is the ability to temporarily reassign empty spaces for temporary housing. Mr. Lochirco said as the developments are built there will be more use for the transportation connectivity which includes the bike lanes being used more.

Planning Commissioner Faria said this plan is a great improvement over the previous Form Based Code as it is streamlined and flexible. Ms. Faria said in order to create walkability in the South Hayward area, community needs access to essential services and emphasized that there is a dire need for a grocery store in this area as the closest one is not within walking distance.

Planning Commissioner Patton asked staff to address the outside dining; Associate Planner Martinez said the outside dining is under Section 3.2.070 amending the existing air quality mitigation measures language which speaks to a methodology in mitigating any emissions coming off of Mission Boulevard. Principal Planner Lochirco said staff had a robust conversation in response to Mr. Patton's comments about the outside dining and open spaces immediately adjacent to Mission and where these spaces should be placed. Mr. Lochirco said staff tied this to the existing provision related to air quality; what staff has added to clarify is that the provision states the applicant should create/design a barrier/separation between the Mission Boulevard and the open dining space/seating/gathering area since it is not just a physical noise issue but also an air quality issue. Mr. Lochirco said this is an existing mitigation tool and is required of all projects.

Planning Commissioner Stevens inquired about the Mission Boulevard Neighborhood Classification building forms that speaks to a step up of no less than twelve inches; Principal Planner Lochirco said this creates a break between the sidewalk and the building and is intended as a design aesthetic.

Having no public speakers, Chair Bonilla opened and closed the public hearing at 10:44 p.m.

Commissioner Andrews commented that the City really needs to rethink retail and be flexible for the commercial spaces along Mission Boulevard.



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Planning Commissioner Roche thanked staff for the staff report and the work to streamlining the code, the overlay tool that contributed to the visual presentation and echoed Planning Commissioner Andrews comments about flexibility being key in moving forward because of the uncertainty of what the future will bring post COVID-19.

Planning Commissioner Stevens thanked staff for the clear, concise document and is looking forward to a lot of wonderful developments because of this improved Form Based Code.

Chair Bonilla agreed for to open the public comments at 10:47 p.m. There was one speaker.

Mr. A.J, Hayward resident, spoke about the lack of parking in the Mission Boulevard area and the provisions do not reflect the current residential character. He spoke about the traffic impacts and how the bicycle lanes add to the traffic impacts.

There being no additional speakers, Chair Bonilla closed the public comments at 10:51 p.m.

Principal Planner Lochirco said that staff has incorporated flexibility into the plan, established expectations for developers as well as allows for flexibility. Mr. Lochirco said the language in the Code allows for approval of more parking spaces if the request meets three findings: 1- what is being proposed is consistent with the General Plan as well as parking in a multi-modal network; 2- there is quantifiable justification, the demand must be there if more parking is provided; 3-make sure if a developer adds parking it cannot be at the expense of bicycle and pedestrian circulation. Staff wanted to make sure that it was important that if a developer is offering one option it does not come at the sacrifice of another. Mr. Lochirco said staff added flexibility to the Code which is an improvement and better sets expectations to be able to evaluate each project. He said as there is more development there will be more traffic impacts but also the developments will bring density which opens up the possibility for more public transportation routes such as bus routes and shuttle service.

Chair Bonilla appreciates the following: a more streamlined plan; adaptability; focus on multi-modal transportation; and the plan provides a framework for creating bikeable and walkable communities and outdoor space which can encourage a healthier lifestyle.

Commissioner Roche made a motion to approve the staff recommendation. Commissioner Patton seconded the motion



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The motion passed with the following roll call vote:

AYES: Commissioners Stevens, Andrews, Faria, Patton, Roche  
Chair Bonilla  
NOES: None  
ABSENT: Goldstein  
ABSTAIN: None

**APPROVAL OF MINUTES**

4. Approval of the Planning Commission Meeting Minutes of May 14, 2020.

Commissioner Andrews made a motion, seconded by Commissioner Stevens, to approve the Planning Commission Meeting Minutes of May 14, 2020. The motion passed with the following roll call votes:

AYES: Commissioners Stevens, Andrews, Faria, Patton, Roche  
Chair Bonilla  
NOES: None  
ABSENT: Goldstein  
ABSTAIN: None

**COMMISSION REPORTS**

***Oral Report on Planning and Zoning Matters:***

Principal Planner Lochirco announced that there will be an August recess for Planning Commission for a well-deserved rest.

***Commissioners' Announcements, Referrals:***

Planning Commissioner Roche and Chair Bonilla disclosed that for Item #1, they both had met with members of the ACPHD.

Chair Bonilla thanked staff for assisting with bringing this meeting together and to his fellow Commissioners for their participation and engagement in this evening's meeting.

**ADJOURNMENT**

Chair Bonilla adjourned the meeting at 11:01 p.m.



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**APPROVED:**

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Julie Roche, Secretary  
Planning Commission  
**ATTEST:**

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Denise Chan, Senior Secretary  
Office of the City Clerk





# CITY OF HAYWARD

Hayward City Hall  
777 B Street  
Hayward, CA 94541  
[www.Hayward-CA.gov](http://www.Hayward-CA.gov)

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**File #:** PH 20-055

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**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Development Services Director

**SUBJECT**

Mission Boulevard Form Based Code: Introduce an Ordinance Amending Chapter 10, Article 24 (South Hayward BART/Mission Boulevard Form Based Code), Article 25 (Hayward Mission Boulevard Corridor Form Based Code), Article 1 (Zoning Ordinance), and Article 7 (Sign Ordinance) of the Hayward Municipal Code Related to the Adoption of a Consolidated Mission Boulevard Code

**RECOMMENDATION**

That Council:

1. Adopts a Resolution (Attachment II) with Zoning Map and Text Amendments to Chapter 10, Planning, Zoning and Subdivision of the Hayward Municipal Code Related to the adoption of the Mission Boulevard Code; and
2. Introduces an Ordinance (Attachment III) to amend the Hayward Municipal Code per amendments outlined in the adopted Resolution.

**SUMMARY**

This is a public hearing on the adoption of the Mission Boulevard Code (MBC), which includes several Zoning Map and Text Amendments (Amendments) to the Hayward Municipal Code (HMC). The Amendments would impact all the land currently within the South Hayward BART/Mission Boulevard Form Based Code and the Hayward Mission Boulevard Corridor Form Based Code, including two additional parcels that are proposed for rezoning map amendments near the Code area.

The Amendments would replace the City's two existing form-based codes (Mission Boulevard Corridor and South Hayward BART/Mission Boulevard) with a new consolidated Mission Boulevard Code. The new Mission Boulevard Code will create a clear and consistent regulatory framework and regulate development along the Corridor to ensure high-quality public spaces defined by a variety of building types and uses, including housing, retail, and office space. The Amendments will modify the regulating plan, development standards, land use regulations, and other elements needed to implement the principles of urbanism, planning, and practical growth management consistent with the community

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**File #:** PH 20-055

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vision established in the *Hayward 2040 General Plan*.

## **ATTACHMENTS**

Attachment I	Staff Report
Attachment II	Resolution
Attachment III	Ordinance
Attachment IV	Exhibit A Zoning Map Amendments & Parcel Rezoning List
Attachment V	Exhibit B Zoning Text Amendments
Attachment VI	Mission Boulevard Code
Attachment VII	PC Minutes 5/28/2020



**DATE:** July 7, 2020

**TO:** Mayor and City Council

**FROM:** Development Services Director

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## BACKGROUND

Since adoption of the FBCs, there have been few revisions to the Codes and like any zoning ordinance, specific plan, or general plan, regular updates and amendments are required to reflect new policies, development standards, and land uses. As part of the FY2018 budget, the Planning Division established a goal of updating the two form-based codes and set aside funds to initiate this project. The project required a thorough review of each Code to remove inconsistencies, update policies and land uses, and streamline the development review process to make the Codes easier to understand and administer.

*Stakeholder Interviews:* On December 10-11, 2018, Lisa Wise Consulting conducted numerous stakeholder interviews with staff representing public agencies, transit providers, neighborhood associations, community stakeholders, developers, design professionals, and city departments. Similar opinions emerged among interviewees regarding issues with the current form-based codes. While the interviewees differed on the exact recommended changes, there was clear agreement that the Codes need to be reorganized and simplified to make them easier to use and understand. The stakeholders identified several common themes related to the existing Form Based Codes for update and modification, including complexity of the existing Code, overly prescriptive Development Standards, better management and a balanced Parking Supply, added flexibility for Ground Floor Uses, elimination of Thoroughfare requirements, and added Flexibility for unique site conditions, including refined processes to allow warrants and exceptions.

*City Council Work Session:* On January 22, 2019<sup>1</sup>, the City Council held a work session on the updates to the Form Based Codes and provided feedback to staff on the topics highlighted from the Stakeholder interviews in December. The Council noted that many of the original goals that were identified when the FBCs were adopted are not currently being achieved and as such, the FBCs may no longer be an appropriate land use framework to guide development. The Council expressed concerns with the complexity of the existing Code, the inconsistent development pattern of new projects along the Corridor, and the number of PD Rezones approved since the FBCs were adopted. These factors are evidence that the Codes are not achieving the goals and objectives originally envisioned. The Council also confirmed that all the issues raised by the stakeholders are valid and should be addressed as part of the Code update.

*Planning Commission Work Sessions:* On February 28, 2019<sup>2</sup>, the Planning Commission held a work session on the updates to the Form Based Codes and provided feedback to staff on the topics highlighted from the Stakeholder interviews as well as feedback on Council recommendations. The Commission recommended additional flexibility with types of land use that are allowed in order to address numerous vacant commercial spaces along the Corridor. The Commission recommended the updated Code reflect a more multi-modal and pedestrian friendly environment where size and scale of buildings, landscaping treatments,

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<sup>1</sup> City Council Work Session January 22, 2019:

<https://hayward.legistar.com/MeetingDetail.aspx?ID=662924&GUID=EB9653B8-EF30-44E3-B842-E5CA6160DD0A&Options=info&Search=>

<sup>2</sup> Planning Commission Work Session February 28, 2019:

<https://hayward.legistar.com/MeetingDetail.aspx?ID=655760&GUID=3B47D0F0-48B2-4B80-AC1E-3B9303D0F70C&Options=info&Search=>

and impacts of circulation and parking are evaluated. The Commission also supported efforts to streamline the planning review and entitlement process to encourage additional development activity.

On February 13, 2020<sup>3</sup>, the Planning Commission held a work session on the draft Mission Boulevard Code and expressed support for the proposed changes as well as recommended the Code provide more specific details about the placement of potential open space areas in relation to Mission Boulevard. The Commission continued to support flexibility to address vacant commercial spaces, multi-modal connectivity goals, and methods of streamlining development to further contribute to economic development and housing creation. The Commission also provided comments to staff related to the potential incompatibility between some outdoor recreation/dining areas with Mission Boulevard, design guidelines to promote street-facing retail, objective design standards for future developments, etc.

On May 28, 2020<sup>4</sup>, the Planning Commission held a public hearing to review the draft MBC and unanimously recommended that the City Council approve the proposed Zoning Map and Text Amendments to the Hayward Municipal Code. One member of the public expressed concerns with the amount of traffic along the Mission Boulevard and the limited parking requirements being proposed. Staff explained that while the new Code does establish parking maximums for uses within the Code area, additional provisions were also included that allow the amount of parking to be increased upon making findings of necessity. No further comments from members of the public were received.

*Council Economic Development Committee (CEDC):* On March 2, 2020, the Council Economic Development Committee (CEDC)<sup>5</sup> reviewed the public review draft of the Mission Boulevard Code and provided feedback to staff regarding parking standards, commercial land uses including applicable overlays, and potential branding for certain segments of the Mission Boulevard corridor.

Specifically, while the CEDC stated it was acceptable to remove the maximum parking standards applicable to residential projects, they recommended the Code include a parking range to provide some guidance to developers on the amount of parking to provide. In addition, CEDC inquired about the former K-Mart site at the southwestern corner of Mission Boulevard and Harder Road and wanted to ensure that there would be significant commercial uses and/or mixed-use development on this highly visible site.

CEDC also recommended that the revised Code continue to prohibit certain sensitive uses such as tobacco shops, liquor stores, massage establishments, and check cashing facilities. The CEDC suggested that the Code include some reference to branding and marketing for certain segments of the Mission Boulevard corridor to contextualize the neighborhoods of the plan

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<sup>3</sup> Planning Commission Work Session February 13, 2020:

<https://hayward.legistar.com/LegislationDetail.aspx?ID=4326918&GUID=7864183E-E467-4B22-BCEB-8CCA5D56A7FE&Options=&Search=>

<sup>4</sup> Planning Commission Meeting May 28, 2020:

<https://hayward.legistar.com/LegislationDetail.aspx?ID=4544483&GUID=E8901D3A-CB71-4CF9-B9B9-590DA4978F52&Options=&Search=>

<sup>5</sup> Council Economic Development Committee – Mission Boulevard Code Update, March 2, 2020

<https://hayward.legistar.com/LegislationDetail.aspx?ID=4341949&GUID=43D24921-E25F-4B84-922B-E527DDA8336D&Options=&Search=>

area (based on existing and future conditions) and its development form as certain areas have different development patterns (e.g. north and south of “A” Street).

## DISCUSSION

The City’s two existing Form-Based Codes were designed to be used as a set of guidelines for property owners and the development community to understand the vision that the community has established for development along the Mission Boulevard corridor and near the South Hayward BART Station. The Codes provide a framework and a systematic checklist for the City as it plans its investments in capital projects and evaluates the design of new building projects. The Codes are intended to improve the quality of design proposals that the City receives and the value of the City’s cumulative investments in the public realm.

Although both FBCs established a framework for new development along the Corridor, the downturn in the local and national economy between 2008-2012 limited the number of new development applications along the Corridor. Over the past several years, the amount of development activity has increased, and the Planning Division has experienced a rise in the number of new, large-scale planning applications within the Code Area and, in the process, determined that inconsistencies within and between the adopted Codes and the City’s Zoning Ordinance have resulted in significant warrants and exceptions granted for projects and inconsistent development patterns along the Corridor. The Mission Boulevard Code (Attachment VI) will supersede and replace Article 24 and Article 25 of the Hayward Municipal Code and includes several improvements, as described below.

General Reorganization. Article 24 and Article 25 will be consolidated into a single code, the Mission Boulevard Code (MB Code), and will be contained in Article 24. The Code has been comprehensively reorganized to be more user friendly and follow the same outline, structure, and page layout as the recently adopted Downtown Specific Plan (adopted April 2019). As part of this reorganization, the zones were renamed to align with naming convention in the recently adopted Downtown Code and reflect the character and context of the new zones. The changes, noted below, are shown on the attached maps and reflected in the Regulating Plan in the Mission Boulevard Code.

Zones T-4 and T-4.1 → Mission Boulevard Corridor Neighborhood (MB-CN) Zone

Zone T-4.2 → Mission Boulevard Neighborhood Node (MB- NN) Zone

Zone T-5 → Mission Boulevard Corridor Center (MB-CC) Zone

Planned Development Districts (PD) adopted since the adoption of the FBCs were added to the Regulating Plan and properties formerly zoned T-3 were converted back to original RS, Single-Family Residential district, as these are located in established single family neighborhoods and have little potential for redevelopment.

Refined Development Standards and Regulating Plan. The MBC incorporates improvements and refinements to the development standard and regulating plan to improve ease of use, predictability in permitting process, and quality of built results. Changes were based on findings from the technical analysis and input received from City staff, stakeholders, and Planning Commission regarding the effectiveness of the FBCs. Refinements include: updates

to the minimum and maximum parking requirement; removal of the public thoroughfare requirement in-lieu of improved multi-modal circulation; added flexibility with architectural styles and permitted building materials; expanded the list of land uses; tailored the open space and landscaping requirements by land use; expanded the commercial overlay requirements along Mission Boulevard; updated the development standards regulating lot size and building height; and replaced the warrant/exception section with a new administrative process similar to that adopted in the Downtown Specific Plan and the Industrial Districts.

*Land Use Inconsistencies.* The Mission Boulevard Code includes several updates to resolve land use inconsistencies, overlap, and/or redundancy with the Hayward Municipal Code, General Plan, Downtown Specific Plan, and other city plans and policies.

While many of the existing commercial, residential, and office land uses are proposed to remain, staff did update the land use table of the Code to more clearly identify the land uses that are permitted along the Corridor and resolve inconsistencies that were carried over between both existing Codes. By consolidating the Codes, staff noted there are some land uses that are permitted in the Mission Boulevard Corridor FBC (north of Harder Road) but prohibited in the South Hayward BART/Mission Boulevard FBC (south of Harder Road). In other instances, land uses were identified in one Code, but omitted in the other Code. For example, automotive sales are permitted as a “retail” land use in the Mission Boulevard FBC but are specifically prohibited as a “retail” use in the South Hayward BART FBC. Everywhere else in the City, automotive sales are not considered a retail use and are specifically identified as “Automotive Sales.” To resolve these inconsistencies, staff consolidated these uses and updated the land use tables to identify where, geographically, these uses are allowed. In the updated Code, “Automotive Sales” are now listed as a permitted use north of Harder Road but are now administratively permitted south of Harder Road, which reflects the previous Code boundaries. Staff also included several sensitive uses, such as tobacco shops, liquor stores, massage establishments, and check cashing facilities, to the land use table to clearly identify those uses that are prohibited.

*Proposed Zoning Map Amendments.* As mentioned previously, the two FBCs will be consolidated into one document to simplify understanding and implementation of the revised regulating map by reducing the number and type of duplicative zoning districts. Specifically, staff removed the dual-zoning designation applied to properties on key catalyst sites to help eliminate confusion related to development standards and permitted land uses. Additionally, these sites were updated to also include a Commercial Overlay #1 in order to maintain the viability of these parcels as regional and neighborhood commercial sites.

Staff is proposing that the Commercial Overlay #2 be expanded onto properties where commercial uses and centers already exist in key areas or intersections to preserve non-residential uses (e.g. services, retail, and restaurants) along the street level in an effort to balance the pedestrian experience and encourage walkability from nearby residential areas.

Staff is also proposing the TOD Overlay #2 be expanded to include the north side of Mission Boulevard between Tennyson Road and Valle Vista Avenue in order to allow for greater

residential densities due to its proximity to the South Hayward BART Station (approximately 0.25-miles away) and consistent with Priority Development Area (PDA) designations. The application of the TOD Overlay #2 allows a higher minimum density “by right” and helps the City meet its housing goals by focusing high-density, mixed-use development near major transit stops. In conjunction with recently adopted State legislation, including SB 330 (Housing Crisis Act of 2019) and AB 1763 (Density Bonus for 100% Affordable Projects), staff believes the increased residential densities are warranted and further support the City’s efforts towards increased housing production, consistent with the City’s Regional Housing Needs Allocation (RHNA) requirements contained in the *Hayward 2040 General Plan*.

All parcels that are currently zoned MB-T3 are proposed to be removed from the FBC areas and will revert back to the Single-Family Residential (RS) district as many of these are within established single-family neighborhoods with low potential for redevelopment. The proposed map zoning amendments and a parcel specific rezoning table are included as Attachment IV - Exhibit A.

*Proposed Zoning Text Amendments.* In addition to the consolidation of the two existing FBC in Article 24, the Mission Boulevard Code also proposes to update several sections of the Hayward Municipal Code (HMC) to reflect the new zoning designations. Specifically, amendments to the Sign Ordinance (Article 7) and Zoning Ordinance (Article 1) related to unattended collection boxes are required due to the updated district designations and land use tables. A list of the proposed text amendments is included as part of the draft Ordinance (Attachment V - Exhibit B).

*Additional Rezoning Requests.* Planning Division staff has received inquiries from the property owner of 22372 Mission Boulevard (at the northeastern corner of Mission Boulevard and Hotel Avenue) to potentially change the zoning from its current “Civic Space (CS)” classification to allow for more commercially permitted uses. Upon review of the site-specific conditions and past Planning documents, staff is recommending the site maintain its current zoning classification of CS due to the redevelopment limitations resulting from geological hazards associated with two fault traces transecting the property. This designation allows the City to maintain compliance with the Alquist-Priolo Earthquake Fault Zoning Act<sup>6</sup>.

Additionally, staff has noted that outside of the FBC area boundaries, north of “A” Street, there are two properties (720 Simon Street and 926 Rose Street) that are zoned “Central City – Commercial (CC-C)” but are located outside of the boundaries of the Downtown Specific Plan area and inadvertently excluded from the rezoning of the Downtown plan area. Upon discussion with both property owners who support the action, staff is proposing the property at 926 Rose Street be rezoned from CC-C to the new zoning classification of MB-CN to be consistent with its underlying land use designation of Sustainable Mixed Use (SMU). Staff is also recommending that the property at 720 Simon Street be rezoned from the current CC-C zoning designation to Medium-Density Residential (RM) to be consistent with the Medium-Density Residential (MDR) land use designation in the *Hayward 2040 General Plan*. Staff has included these map changes as part of the overall update to the Mission Boulevard Code.

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<sup>6</sup> Alquist-Priolo Earthquake Fault Zone Act:  
[https://leginfo.ca.gov/faces/codes\\_displayText.xhtml?division=2.&chapter=7.5.&lawCode=PRC](https://leginfo.ca.gov/faces/codes_displayText.xhtml?division=2.&chapter=7.5.&lawCode=PRC)



*Zoning Ordinance.* Pursuant to HMC Section 10-1.3430, the City Council shall hold a public hearing on all map and text amendments and may approve, modify, or disapprove any text amendment, reclassification, or re-zoning. The Council's decision, except for interim zonings, shall be based on the findings in Section 10-1.3425 as listed below:

1. Substantial proof exists that the proposed change will promote the public health, safety, convenience, and general welfare of the residents of Hayward;
2. The proposed change is in conformance with all applicable, officially adopted policies and plans;
3. Streets and public facilities existing or proposed are adequate to serve all uses permitted when the property is reclassified; and
4. All uses permitted when property is reclassified will be compatible with present and potential future uses, and, further, a beneficial effect will be achieved which is not obtainable under existing regulations.

Findings to support the proposed zoning map and text amendments are detailed in the draft Resolution (Attachment II).

*Hayward 2040 General Plan.* The Mission Boulevard Code contains several land use designations, with a majority of sites designated as Sustainable Mixed Use (SMU) in the *Hayward 2040 General Plan*<sup>7</sup>. The SMU designation generally applies to areas near regional transit that are planned as walkable urban neighborhoods. Typical building types will vary based on the zoning of the property, but will generally include single-family homes, duplexes, triplexes, fourplexes, second units, townhomes, live-work units, multi-story apartment and condominium buildings, commercial buildings, and mixed-use buildings that contain commercial uses on the ground floor and residential units or office space on upper floors. Sustainable Mixed-Use areas are expected to change substantially in the future, as properties are planned to be developed or redeveloped at relatively high densities and intensities to create walkable and mixed-use neighborhoods and multi-modal corridors. Residential and mixed-use densities range allow up to 100 dwelling units per acre. Other General Plan land uses designations include Low Density Residential (LDR), Public and Quasi-Public (PQP) and Parks and Recreation (PR).

While the proposed update to the Mission Boulevard Code will not require any General Plan Amendments, the *Hayward 2040 General Plan* contains several goals, policies and actions that support the updated Code. The City's General Plan establishes the community-based vision for the future of Hayward and includes implementation programs to help the City achieve that vision. There are several goals and policies in the General Plan that support an update to the Mission Boulevard Code, which are detailed in findings within the attached Resolution (Attachment II).

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<sup>7</sup> Hayward General Plan:  
<https://www.hayward2040generalplan.com/>

South Hayward BART and Assembly Bill 2923. On September 30, 2018, Governor Brown signed AB 2923<sup>8</sup> that affects zoning requirements on properties owned by the Bay Area Rapid Transit District (BART) within ½ mile of their stations to facilitate Transit Oriented Developments (TODs). Currently, much of the existing South Hayward BART property, along with adjacent properties, is designated as a PD, Planned Development, which was established as part of the adoption of the South Hayward BART Concept Design Plan in 2009 and later amended in 2014. As preliminarily proposed, the South Hayward BART property is identified as a “Neighborhood/Town Center” that allows up to 75 units per acre, 5-stories buildings, maximum 3.0 floor area ratio, including a maximum residential parking requirement of 1.0 space per residential unit, and maximum 2.5 spaces per 1,000 square-feet of office space. While staff is proposing to consolidate the two existing Form Based Codes and create updated development standards for the Code area, the South Hayward BART property is not included with those revisions and the previous Planned Development (PD) zoning, including any updated State mandates for BART-owned property, would apply.

PDA Designation. A majority of areas along the Mission Boulevard corridor have been designated as a Priority Development Area (PDA) by the Association of Bay Area Governments (ABAG) and the Metropolitan Transportation Commission (MTC). PDAs are areas within existing communities that local city or county governments have identified and approved for future growth. These areas typically are accessible by one or more transit services; and they are often located near established job centers, shopping districts, and other services. The City currently has five designated PDA areas where residential and job growth are forecasted. The updated Code incorporates additional opportunities for residential housing and new job growth by expanding the number of land uses permitted and by increasing the residential densities along the Corridor.

Infill Housing Report. In December 2019, the Council of Infill Builders released their report on efforts to accelerate and accommodate infill housing in the City of Hayward and presented this report to the City Council<sup>9</sup> on January 14, 2020. While the report identified barriers unique to Hayward, it also provided recommended solutions that could help facilitate new development in the City. Specifically, the report identified four priority barriers to infill:

- High costs and fees to build infill;
- Market uncertainty due to unknown or weak demand for infill;
- Lack of supporting uses for infill in public spaces, such as the streetscape; and
- Unusual parcels and challenging land assembly to support infill

While additional barriers exist, to help overcome these barriers, the group recommended the City update the design guidelines to allow retail flexibility for infill projects. Developers and City staff noted that ground-floor retail on some projects may not make economic sense, while nearby parcels may present better options for such uses. As a result, the City could help provide flexibility to meet these requirements. The report suggests the City

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<sup>8</sup> AB 2923, SF BART Transit Oriented Development:

[https://leginfo.ca.gov/faces/billTextClient.xhtml?bill\\_id=201720180AB2923](https://leginfo.ca.gov/faces/billTextClient.xhtml?bill_id=201720180AB2923)

<sup>9</sup> City Council Meeting:

<https://hayward.legistar.com/LegislationDetail.aspx?ID=4288614&GUID=8884B223-5825-443E-AEB7-561FE7CECC64>

develop a plan for street-level activation and amenities in areas without retail, in order to boost walkability and street life without rigid retail requirements. Staff has incorporated this land use flexibility in the updated Code to allow for additional flexibility in the land uses along the street-frontages.

The Report also recommends that the City develop optimal parking policies to encourage market-driven supply that boosts walkability, biking, and transit usage. Excess parking supply and requirements add to project costs and can reduce the walkability and transit-friendly nature of downtowns and commercial corridors. For example, the average cost of a parking space in a parking structure ranges from \$15,000 to \$30,000. Costs per unit in San Francisco for podium parking can range from \$17,500 to \$35,000 per unit, depending on the ratio of spaces per unit, and up to \$38,000 for underground parking. Ongoing operation and maintenance of parking structures can also be costly for rental properties. At the same time, it was noted that lenders are reluctant to finance new projects in Hayward without sufficient on-site parking. As a result, the report recommends the City consider parking policies that allow the market to determine supply while providing options to reduce the demand for on-site, decentralized parking that can increase project costs. While the existing FBC uses contain no parking minimums, there are maximums required for residential uses that may or may not address the issue of parking supply and demand. As such, staff has updated the parking requirements to provide more flexibility and based on demand. Staff has also updated the parking requirements for projects that are located within ½ mile of a major transit center, consistent with PDA and SB732 directives.

*Environmental Review.* On July 1, 2014, the City Council adopted Resolution No. 14-108, certifying the Hayward 2040 General Plan Update and related Program Environmental Impact Report (EIR). The General Plan EIR incorporated prior EIR analyses conducted along the Mission Boulevard corridor including the South Hayward BART/Mission Boulevard Code Supplemental EIR (SEIR), certified on September 13, 2011, that tiered off the Conceptual Design Plan Program EIR (2006) and 238 Land Use Study EIR (2009). These program level EIRs cover the proposed amendments to the Hayward Municipal Code. In accordance with Section 15164 of the California Environmental Quality Act (CEQA) Guidelines, a lead agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred. Under Section 15162, a subsequent EIR need not be prepared unless the lead agency determines one or more of the following:

1. Substantial changes are proposed in the project which will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR due to the involvement of any new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or

3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the EIR was certified, shows any of the following:
  - a. The project will have one or more significant effects not discussed in the previous EIR;
  - b. Significant effects previously examined will be substantially more severe than shown in the previous EIR;
  - c. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
  - d. Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

The proposed regulations would likely result in beneficial impacts such as reduced noise, dust, glare, odors, increased landscape areas that could reduce stormwater and flooding impacts, reduced air quality impacts, and increased residential density near transit stations, consistent with the previously adopted General Plan goals and BART TOD Guidelines.

Based on the draft regulations and the analysis provided in this staff report, no new or unanticipated levels of development are anticipated that were not previously identified in the General Plan and General Plan EIR, and no new or unanticipated traffic, employment density, or construction impacts are expected to be generated as a result of adoption of these regulations. Therefore, the proposed Amendments substantially conform to the Goals and Policies set forth in the General Plan, and that were analyzed in the related Program EIR. No further environmental review is necessary.

## **ECONOMIC IMPACT**

As previously discussed, the Mission Boulevard Code will result in updating the land use and development regulations for properties within the Code area to align with current economic and market trends/demands as well as the goals of the *Hayward 2040 General Plan* related to economic development, mobility, land use, housing, and community safety. Per the Economic Development Strategic Plan (EDSP)<sup>10</sup>, a key focus area is specific to supporting the City's service and retail industry through creating proactive, site specific land use policies that clearly convey information and requirements to potential new businesses, and ensure that a timely and predictable permit process exists to support important commercial businesses aiming to establish in Hayward.

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<sup>10</sup> Hayward Economic Development Strategic Plan:  
[https://www.hayward-ca.gov/sites/default/files/documents/Economic\\_Development\\_Strategic\\_Plan.pdf](https://www.hayward-ca.gov/sites/default/files/documents/Economic_Development_Strategic_Plan.pdf)

Through the adoption of the Mission Boulevard Code, there will be one consolidated zoning document with clear, objective zoning standards and procedures that will span the majority of the corridor to facilitate quality mixed-use, walkable residential and non-residential developments with neighborhood- and regional-serving businesses to support existing and future community members. This effort to update the FBC will support the adopted work tasks of the EDSP by ensuring that proposed zoning amendments, via collaboration with industry professionals and stakeholders, allow for desired uses that serve community needs and generate sales tax revenue, and include preferential zoning for attractive business types. Implementation of predictable land use standards will further support tenanted vacant storefronts/buildings as well as streamlining new development review on blighted and underutilized parcels which will, upon construction and occupancy, increase property tax revenue from said properties to reinvest into the corridor. Furthermore, there are specific development standards within the updated code such as minimum ground-floor commercial depth and minimum ceiling plate heights that are intended to create resilient yet versatile activated spaces that could accommodate a physical fitness studio or be flexed into a commercial retail/café shop over time to withstand economic conditions and trends.

The EDSP also identifies several economic development key retail areas and catalyst sites (e.g. Central and South Mission Boulevard Corridors, K-Mart site) based on high visibility, vacant and/or underutilized property conditions, and site acreages, which maintain potential immediate positive results related to business attraction and retention. The FBC update strategically modified the application of the existing commercial overlay zones with the intent of preserving and promoting non-residential uses (e.g. retail, service, restaurants) at the street-facing, ground-floor levels, while expanding the overlays toward adequately sized parcels proximate to hard intersection corners (i.e. Mission Boulevard and Harder Road) that provide dual visibility and would stimulate additional further investment along the corridor. The residential and commercial overlays within the MB-Code communicate expectations to the business and developer communities what Hayward is striving to achieve by maintaining a strong commercial presence along the City's primary arterial thoroughfare.

## **FISCAL IMPACT**

The updated Mission Boulevard Code will have no impact to the City's General Fund or other funds. The reductions in GHG emissions necessary to achieve the new goals will require significant leadership and coordination by the City, which will not be possible with existing staff resources. As new programs are developed to meet the City's sustainability goals, staff will identify specific resources needed.

## **STRATEGIC ROADMAP**

In January 2020, the Council adopted six Strategic Priorities as part of its three-year Strategic Roadmap:

1. Preserve, Protect & Produce Housing
2. Grow the Economy

3. Combat Climate Change
4. Improve Infrastructure
5. Improve Organizational Health
6. Support Quality of Life

These Amendments and the adoption of the Mission Boulevard Code support the Strategic Priority to Grow the Economy. This project is identified in the Strategic Roadmap work plan to “Update the Form Based zoning codes along Mission Boulevard Corridor to streamline new development, focus commercial development, where appropriate, and create a cohesively designed corridor.”

## **SUSTAINABILITY FEATURES**

The proposed project includes zoning map and text amendments. According to the proposed regulations, all applications for new development or redevelopment of a site would now be required to submit a Sustainability Plan that incorporates best practices of sustainability for site specific improvements and business operations. The requirement of a Sustainability Plan is consistent with the recently adopted Industrial District Regulations update and supports the Sustainable Mixed Use (SMU) land use designation of the Hayward General Plan.

## **PUBLIC CONTACT**

Upon commencement of this city-initiated project, the Planning Division developed a project webpage<sup>11</sup> with background information, timelines, and related documents and maps on the City’s website allowing the public to view project milestones, code drafts, public hearing materials as well as add themselves to the interested parties list and provide comments. To date, the Planning Division has received more than 25 individuals who have requested to be added to the interested parties list in addition to the stakeholder groups who were consulted to provide feedback on the current FBC regulations.

Prior to the Planning Commission hearing on May 28, 2020, the Planning Division prepared and mailed approximately 8,500 notices to all residents, property owners, and addresses within the Code area *plus* a 300-foot buffer beyond the project area notifying them of the upcoming public hearings with where to find relevant project information. In addition, an online web-based app<sup>12</sup> was developed that allows property owners, residents, businesses, real estate, and developer industry professionals to search and review existing and proposed zoning designations for properties within the Code area. Please refer to the Background Section of this report for additional information related to the public outreach efforts.

## **NEXT STEPS**

Upon adoption of the attached Ordinance, the proposed Zoning Map and Text Amendments for the Mission Boulevard Code would become effective on August 14, 2020.

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<sup>11</sup> Form-Based Code Website:

<https://www.hayward-ca.gov/content/form-based-code-update>

<sup>12</sup> Hayward Web-Based GIS Zoning Map:

<https://hayward.maps.arcgis.com/apps/webappviewer/index.html?id=f1a2e0f6fb734a568d0c0b437a5309c6>

*Prepared by:*           Jeremy Lochirco, Principal Planner  
                                Marcus Martinez, Associate Planner

*Recommended by:*    Laura Simpson, Development Services Director

Approved by:

A handwritten signature in black ink, appearing to read 'K. McAdoo', written over a horizontal line.

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Kelly McAdoo, City Manager

HAYWARD CITY COUNCIL

RESOLUTION NO. 20-

Introduced by Council Member \_\_\_\_\_

RESOLUTION TO ADOPT FINDINGS IN SUPPORT OF AMENDMENTS TO THE ZONING MAP AND CHAPTER 10, ARTICLE 1 (ZONING ORDINANCE), ARTICLE 7 (SIGN REGULATIONS), ARTICLE 24 (SOUTH HAYWARD BART/MISSION BOULEVARD FORM BASED CODE) AND ARTICLE 25 (MISSION BOULEVARD CORRIDOR FORM BASED CODE) OF THE HAYWARD MUNICIPAL CODE RELATED TO THE COMPREHENSIVE UPDATE OF THE MISSION BOULEVARD CODE

WHEREAS, in September 2011, the City Council adopted Article 24, the South Hayward BART/Mission Boulevard Form Based Code (FBC) which spans from Harder Road southland to Garin Avenue, and subsequently in February 2014, the Council adopted Article 25, the Mission Boulevard Corridor Form Based Code which extends from Rose Street to “A” Street, then from Jackson Street to Harder Road. Since adoption of the FBCs, there have been few revisions or modifications to the Codes and like any zoning ordinance, specific plan, or general plan, regular updates and/or amendments are required to reflect new policies, development standards, and land uses.

WHEREAS, in July 2014, the City Council adopted the *Hayward 2040 General Plan* which established a new vision for the Mission Boulevard corridor with corresponding general plan land use designations with respect to permitted uses, floor area ratio, and residential densities. The *Hayward 2040 General Plan* specifically identifies the FBC areas are regional Priority Development Areas to focus employment and job growth as well as residential development due to its proximity to mass public transit.

WHEREAS, on May 22, 2018, the City Council adopted Resolution No. 18-085, authorizing the City Manager to execute an agreement with Lisa Wise Consulting, Inc. (LWC) for an update to the Codes. Since May 2018, LWC has been meeting with City staff, conducting public outreach, and evaluating the existing form-based codes to identify issues related to Code administration and implementation.

WHEREAS, between December 2018 and February 2019, City staff and the consultant team met with community stakeholders, developers, transit providers, design professionals, neighborhood associations, and presented the findings from those interviews to the Planning Commission and City Council during a work session to discuss the proposed changes on the vision of the form-based code update.

WHEREAS, on February 13, 2020 and March 2, 2020, the Planning Commission and Council Economic Development Committee, respectively, held public Work Sessions on the Public Review Draft of the Mission Boulevard Code update.



WHEREAS, on May 15, 2020, a legal ad was published in the Daily Review newspaper and public hearing notices were mailed to all properties located within the current form-based code area plus a 300-foot radius notifying property owners, businesses, residents, and stakeholders of the Planning Commission and City Council hearings for adoption.

WHEREAS, on May 28, 2020, the Planning Commission considered the proposed Zoning Map and Text Amendments and voted (6-0-0), that the City Council approve the proposed Map and Text Amendments to Chapter 10 of the Hayward Municipal Code and adopt the consolidated Mission Boulevard Code.

WHEREAS, on June 26, 2020, notice of the hearing was published in the manner required by law and the hearing was duly held by the City Council on July 14, 2020.

NOW, THEREFORE, BE IT RESOLVED that the City Council hereby finds and determines as follows:

CALIFORNIA ENVIRONMENTAL QUALITY ACT

1. Pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15168, a Program Environmental Impact Report (EIR) was prepared for the Hayward 2040 General Plan. On July 1, 2014, the City Council adopted Resolution No. 14-108, approving the Hayward 2040 General Plan Update and related Program EIR. The General Plan EIR incorporated prior EIR analyses conducted along the Mission Boulevard corridor including the South Hayward BART/Mission Boulevard Code Supplemental EIR (SEIR), certified on September 13, 2011, that tiered off Conceptual Design Plan Program EIR (2006) and 238 Land Use Study EIR (2009). These program level EIRs cover the proposed Amendments to the Hayward Municipal Code.
2. In accordance with Section 15164 of the CEQA Guidelines, a lead agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred. That the Program EIR covers the subject zone change as a subsequent action contemplated with the adoption of the Hayward 2040 General Plan Update and is consistent with the General Plan Land Use diagram.
3. Based on the draft regulations and the analysis provided in this staff report, no new or unanticipated levels of development are anticipated that were not previously identified in the General Plan and General Plan EIR, and no new or unanticipated traffic, employment density, or construction impacts are expected to be generated as a result of adoption of these regulations. Therefore, the proposed Amendments substantially conform to the Goals and Policies set forth in the General Plan, and that were analyzed in the related Program EIR. No further environmental review is necessary.
4. That the project complies with CEQA, and that the City Council has reviewed and

considered the information prior to approving the project. The custodian of the record of proceedings upon which this decision is based in the Development Services Department, City of Hayward located at 777 B Street, Hayward, CA 94544.

**FINDINGS FOR ZONING MAP AND TEXT AMENDMENTS TO CHAPTER 10 OF THE HAYWARD MUNICIPAL CODE**

**1. Substantial proof exists that the proposed change will promote the public health, safety, convenience, and general welfare of the residents of Hayward;**

The Zoning Map and Text Amendments will consolidate the two existing Form Based Codes into one updated code called the “Mission Boulevard Code” which will promote the public health, safety, convenience and general welfare of the residents and businesses in Hayward in that the updated development and land use standards will result in clear, consistent and interpretable standards and processes to catalyze economic development and housing production along the Mission Boulevard corridor. The intent of the FBC is promote walkable, mixed-use developments along the corridor to include a mix of personal service, retail, and office businesses in close proximity of residences and transit stops to ultimately minimize the reliance of personal automobiles to further reduce greenhouse gas emissions at a local and regional scale. With the implementation of the FBC, new developments will include open space amenities, attractive landscaping, and articulated well-designed buildings to complement the future urban form of the corridor and support existing businesses and residents in the area.

**2. The proposed change is in conformance with all applicable, officially adopted policies and plans;**

The Mission Boulevard Code will be conformance with the purposes of the Hayward Municipal Code in that per Sections 10-24.515 and 10-25.515 of the Hayward Municipal Code, the FBCs call for code maintenance to review the outcomes of the FBCs and if needed, update the regulations to address current conditions and future projections of Hayward. Consistent with the Bay Area’s Regional Transportation Plan (RTP) and Sustainable Community Strategy (SCS), the two form-based code plan areas are designated as Priority Development Areas (PDAs) intended to focus regional economic and employment growth as well as housing production along the Mission Boulevard corridor. The Code update is intended to meet those adopted goals by enhancing and revitalizing the corridor to accommodate and encourage growth within compact, mixed-use, and walkable neighborhoods and districts that are located near the city’s job centers and regional transit facilities. As such, the Amendments are consistent with the following goals and policies set forth in the *Hayward 2040 General Plan* listed below:

- **LU Policy 1-3: Growth and Infill Development.** The City shall direct local population and employment growth toward infill development sites within the city, especially the catalyst and opportunity sites identified in the Economic Development Strategic Plan.

- LU Policy 1-5: Transit Oriented Development. The City shall support high-density transit-oriented development within the city's s to improve transit ridership and to reduce automobile use, traffic congestion, and greenhouse gas emissions.
- LU Policy 1-13: Local Plan Consistency with Regional Plans. The City shall strive to develop and maintain local plans and strategies that are consistent with the Regional Transportation Plan and the Sustainable Communities Strategy to qualify for State transportation funding and project CEQA streamlining.
- LU Policy 2-8: S. Hayward BART Urban Neighborhood and Mixed-Use Corridor. The City shall encourage the development of vibrant, compact, mixed-use, and walkable urban neighborhoods within the South Hayward BART Neighborhood and the South Hayward BART Mixed-Use Corridor.
- LU Policy 2-13: Mission Boulevard Specific Plan. The City shall maintain and implement the Mission Boulevard to guide and regulate development within the Mission Boulevard Mixed-Use Corridor.
- LU Policy 2-12: Mission Boulevard Mixed-Use Corridor. The City shall encourage the redevelopment of the Mission Boulevard corridor to create an attractive mixed-use boulevard with a variety of commercial functions and residential densities that support walking and transit.
- LU Policy 3-1: Complete Neighborhoods. The City shall promote efforts to make neighborhoods more complete by encouraging the development of a mix of complementary uses and amenities that meet the daily needs of residents. Such uses and amenities may include parks, community centers, religious institutions, daycare centers, libraries, schools, community gardens, and neighborhood commercial and mixed-use developments.
- LU Policy 4-2: Transformation of Auto-Oriented and Strip Commercial Uses. The City shall support the transformation of auto-oriented and strip commercial uses into attractive pedestrian-oriented developments that frame and enhance the visual character of the corridor.
- LU Policy 4-3: Mixed Use Developments within Commercial-Zoned Properties. The City shall allow mixed-use developments within commercially-zoned properties along corridors and ensure that these uses are located, designed, and operated in a manner that maintains compatibility with adjacent residential uses.
- ED Goal 1: Diversified and Robust Economy. Diversify the economic base of Hayward to support a robust and stable economy with a diverse range of employment, shopping, and cultural opportunities for local residents
- ED Policy 5-5: Quality Development. The City shall require new development to include quality site, architectural and landscape design features to improve and protect the appearance and reputation of Hayward.
- Housing Policy 3-1: Diversity of Housing Types. The City shall implement land use policies that allow for a range of residential densities and housing types, prices, ownership, and size, including low-density single family uses, moderate-density townhomes, and higher-density apartments, condominiums, transit-oriented developments, live-work units, and units in mixed-use developments.
- Housing Policy 3.3: Sustainable Housing Development. The City shall improve affordability by promoting sustainable housing practices that incorporate a 'whole system' approach to siting, designing, and constructing housing that is integrated

into the building site, consumes less water and improves water quality, reduces the use of energy use, and other resources, and minimizes its impact on the surrounding environment.

- Housing Policy 3-4: Residential Uses Close to Services. The City shall encourage development of residential uses close to employment, recreational facilities, schools, neighborhood commercial areas, and transportation routes.
- Housing Policy 4-1: Flexible Development Standards. The City shall review and adjust as appropriate residential development standards, regulations, ordinances, departmental processing procedures, and residential fees that are determined to be a constraint on the development of housing, particularly housing for lower- and moderate-income households and for persons with special needs.
- Housing Policy 4-2: Clear Development Standards and Approval Procedures. The City shall strive to maintain and administer clear development standards, and approval procedures for a variety of housing types, including, but not limited to, multifamily housing and emergency shelters.

**3. Streets and public facilities existing or proposed are adequate to serve all uses permitted when the property is reclassified; and**

The Zoning Map and Text Amendments would refine and update the existing development standards and land use regulations for the corridor to be consistent with the adopted goals, policies and designations of the *Hayward 2040 General Plan* with respect to development intensity, density, and envisioned land uses. The updated Mission Boulevard Code does not directly require the creation of new streets and/or public facilities; rather, the Code emphasizes providing multi-modal transportation options and pedestrian/bicycle connectivity (on-site and off-site) throughout the corridor and large key development sites. Development standards have been established within the form-based code update for new non-residential development to be oriented toward the public frontage with articulated entrances, storefront windows, and attractive landscaping to encourage and promote walkability, bicycle mobility and the use of mass transit to reduce the overall use of personal, single-occupancy vehicle trips and overall greenhouse gas emissions. The updates to the Code also focus on prioritizing density most adjacent to major transit hubs such as the Hayward and South Hayward BART stations to further support the utilization of mass transit versus dependence on automobiles resulting in congestion along the corridor. Overall, the existing street circulation network and public facilities are deemed adequate to serve all proposed residential and non-residential developments and land uses with the proposed zoning map and text amendment updates.

**4. All uses permitted when property is reclassified will be compatible with present and potential future uses, and, further, a beneficial effect will be achieved which is not obtainable under existing regulations.**

The Zoning Map and Text Amendments include the consolidation of the former South Hayward BART/Mission Boulevard Form-Based Code (Article 24) and the Mission Boulevard Corridor Form-Based Code (Article 25) into a singular regulating document referred to as the “Mission Boulevard Code” that will regulate new

development and land uses for the majority of the corridor. The update will consolidate the existing zoning districts between the two form-based codes and create four primary zoning districts including Corridor Neighborhood (CN), Neighborhood Node (NN), Corridor Center (CC) and Civic Space (CS) for greater consistency between the permitted and conditionally permitted uses as well as the development pattern along the corridor. As proposed, the updates provide clearer direction and consistent interpretations of the land uses and code requirements along the plan area which will result in a benefit to residents, businesses, stakeholders, and the development community. The Code updates increase efficiency and predictability in the development review process for applicants and minimizes inconsistencies between the existing form-based codes and the City's zoning ordinance. Overall, the adoption of the Mission Boulevard Code replaces the overly complex, prescriptive development standards with land uses and development standards that provide more flexibility to ensure the intent of the proposed zoning districts are aligned with goals and policies of the General Plan.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Hayward, based on the foregoing findings, hereby adopts the findings in support of the Zoning Map and Text Amendment, subject to the adoption of the companion Ordinance.

BE IT RESOLVED that this resolution shall become effective on the date that the companion Ordinance (Ordinance No. 20-\_\_) becomes effective.

IN COUNCIL, HAYWARD, CALIFORNIA \_\_\_\_\_, 2020.

ADOPTED BY THE FOLLOWING VOTE:

AYES: COUNCIL MEMBERS:  
MAYOR:

NOES: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

ATTEST: \_\_\_\_\_  
City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward

## ORDINANCE NO. 20-\_\_\_\_\_

AN ORDINANCE AMENDING THE HAYWARD ZONING MAP AND CHAPTER 10, ARTICLE 1 (ZONING ORDINANCE), ARTICLE 7 (SIGN REGULATIONS), ARTICLE 24 (SOUTH HAYWARD BART/MISSION BOULEVARD FORM BASED CODE) AND ARTICLE 25 (MISSION BOULEVARD CORRIDOR FORM BASED CODE) OF THE HAYWARD MUNICIPAL CODE RELATED TO THE COMPREHENSIVE UPDATE OF THE MISSION BOULEVARD CODE

NOW THEREFORE THE CITY COUNCIL OF THE CITY OF HAYWARD DOES ORDAIN AS FOLLOWS:

Section 1. Provisions. The City Council incorporates by reference the findings contained in Resolution No. 20-\_\_ which support approving the Zoning Map and Zoning Text Amendments to the Hayward Municipal Code.

Section 2. The City of Hayward Zoning Map is hereby amended to rezone properties located within the South Hayward BART/Mission Boulevard Form Based Code and Mission Boulevard Corridor Form Based Code plan areas as provided herein and as indicated in Exhibit "A". The plan areas encompass approximately 480-acres, including areas east and west of the Mission Boulevard corridor, in two separate segments. The northernmost segment spans along Mission Boulevard from the northern City boundary (abutting the County of Alameda) southbound to "A" Street, and the southern segment extending along Mission Boulevard from Jackson Street southbound to Garin Avenue. This initiative involves updating the former zoning designations from MB-T3 (Suburban Zone), MB-T4-1 (Urban General Zone), MB-T4-2 (Urban General Zone), MB-T5 (Urban Center Zone), MB-CS (Civic Space), S-T4 (South Hayward – Urban General Zone), S-T5 (South Hayward – Urban Center), and S-CS (South Hayward – Civic Space) to the new zoning districts of MB-CN (Mission Boulevard – Corridor Neighborhood), MB-NN (Mission Boulevard – Neighborhood Node), MB-CC (Mission Boulevard – Corridor Center), and MB-CS (Mission Boulevard – Civic Space); and to rezone 720 Simon Street from Central City-Commercial (CC-C) to Medium Density Residential (RM) and 926 Rose Street from Central City-Commercial (CC-C) to Mission Boulevard – Corridor Neighborhood (MB-CN) to be consistent with their underlying land use designations per the *Hayward 2040 General Plan*, as illustrated and listed in the attached Exhibit "A" – Proposed Zoning Map Amendments with Parcel List, introduced herewith and as specifically shown in this Ordinance.

Section 3. Chapter 10, Planning, Zoning, and Subdivisions of the Hayward Municipal Code, which establishes development standards and regulations for all zoning districts within City boundaries, is hereby amended to add certain text (as indicated by underline) and delete certain provisions (as indicated by strikethrough) to Articles 1 (Zoning Ordinance) and 7 (Sign Regulations) as well as consolidate the former Article 24 (South Hayward Bart/Mission Boulevard Form Based Code) and Article 25 (Mission Boulevard

Corridor Form Based Code) into Article 24 to be reclassified as the "Mission Boulevard Corridor Code" as shown within attached Exhibit "B", Proposed Zoning Text Amendments, introduced herewith and as specifically shown in this Ordinance.

Section 4. Severance. Should any part of this Ordinance be declared by a final decision by a court or tribunal of competent jurisdiction to be unconstitutional, invalid, or beyond the authority of the City, such decision shall not affect the validity of the remainder of this Ordinance, which shall continue in full force and effect, provided that the remainder of the Ordinance, absent the unexcised portion, can be reasonably interpreted to give effect to the intentions of the City Council.

Section 4. Effective Date. In accordance with the provisions of Section 620 of the City Charter, the Ordinance shall become effective immediately upon adoption.

INTRODUCED at a regular meeting of the City Council of the City of Hayward, held the 7<sup>th</sup> day of July 2020, by Council Member \_\_\_\_\_.

ADOPTED at a regular meeting of the City Council of the City of Hayward, held the \_\_\_\_ day of \_\_\_\_\_ 2020, by the following votes of members of said City Council.

AYES: COUNCIL MEMBERS:

MAYOR:

NOES: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

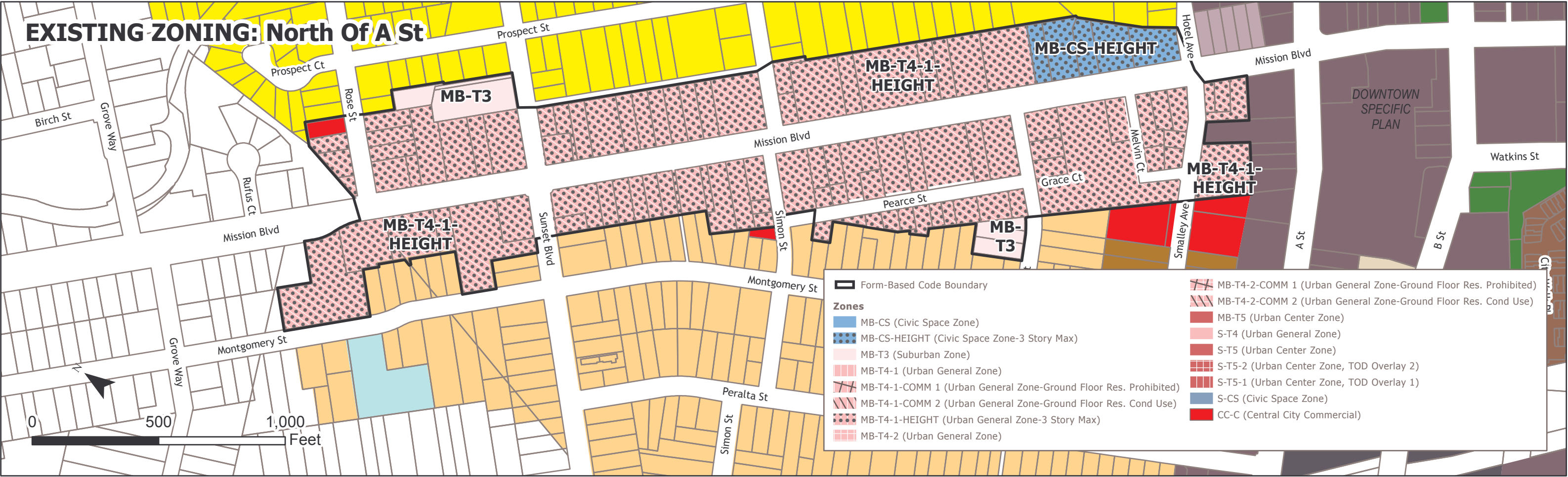
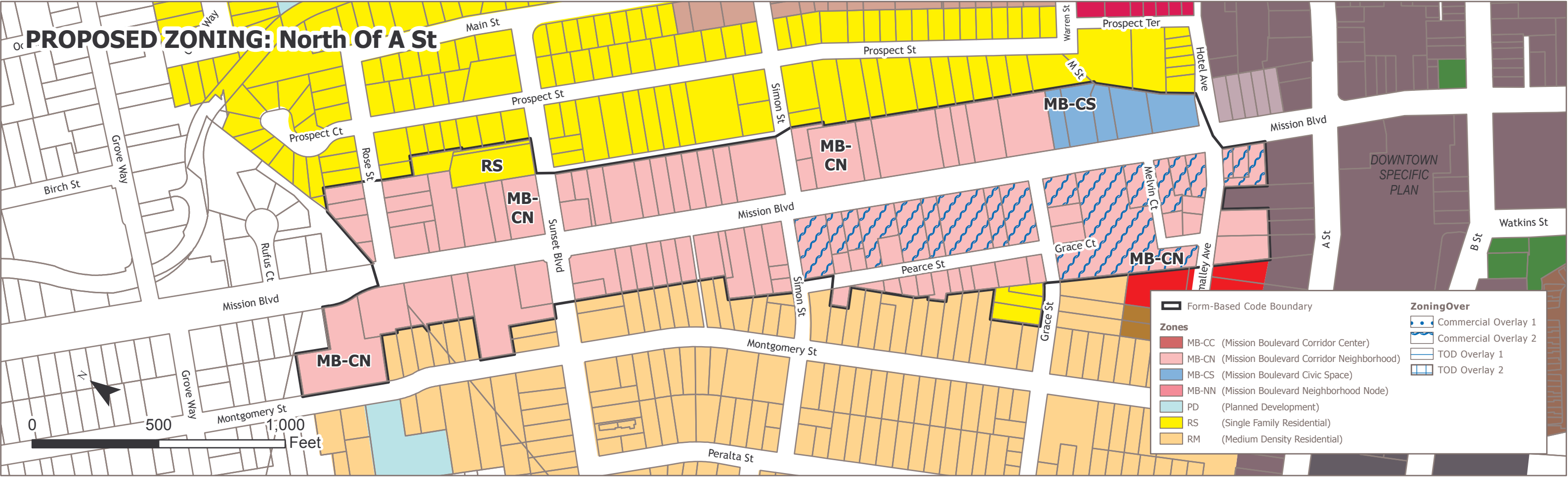
APPROVED: \_\_\_\_\_  
Mayor of the City of Hayward

DATE: \_\_\_\_\_

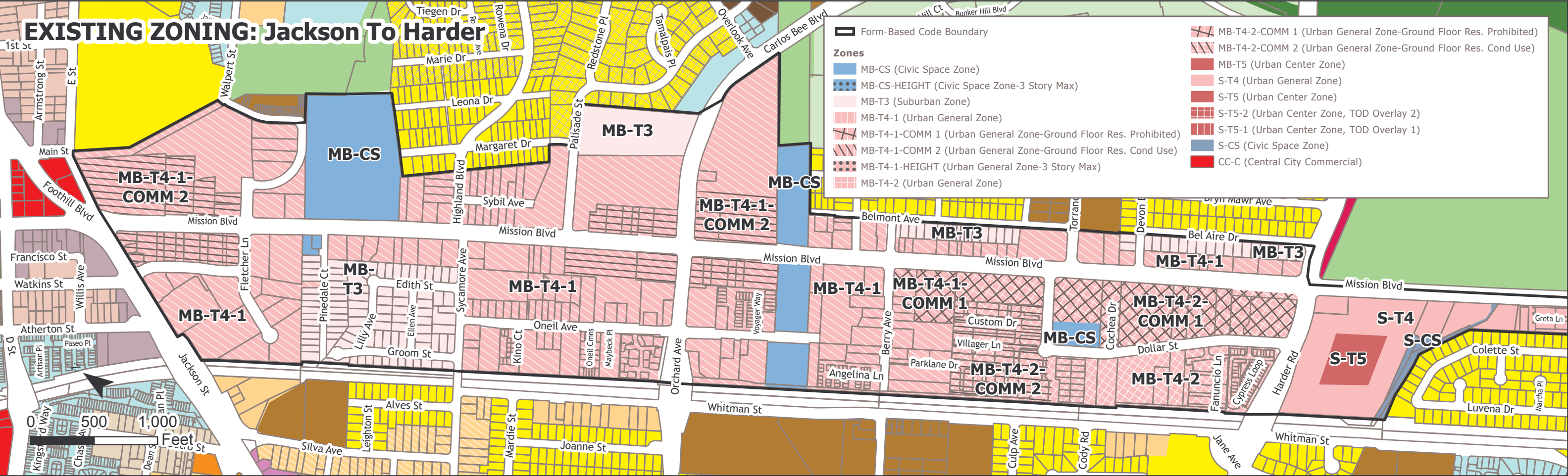
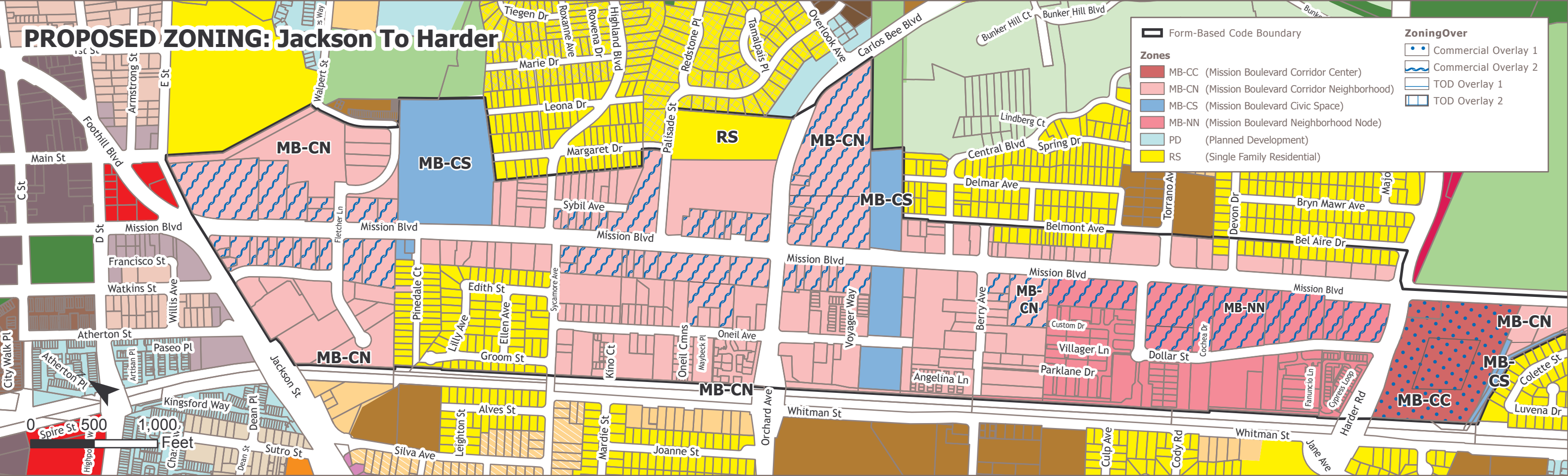
ATTEST: \_\_\_\_\_  
City Clerk of the City of Hayward

APPROVED AS TO FORM:

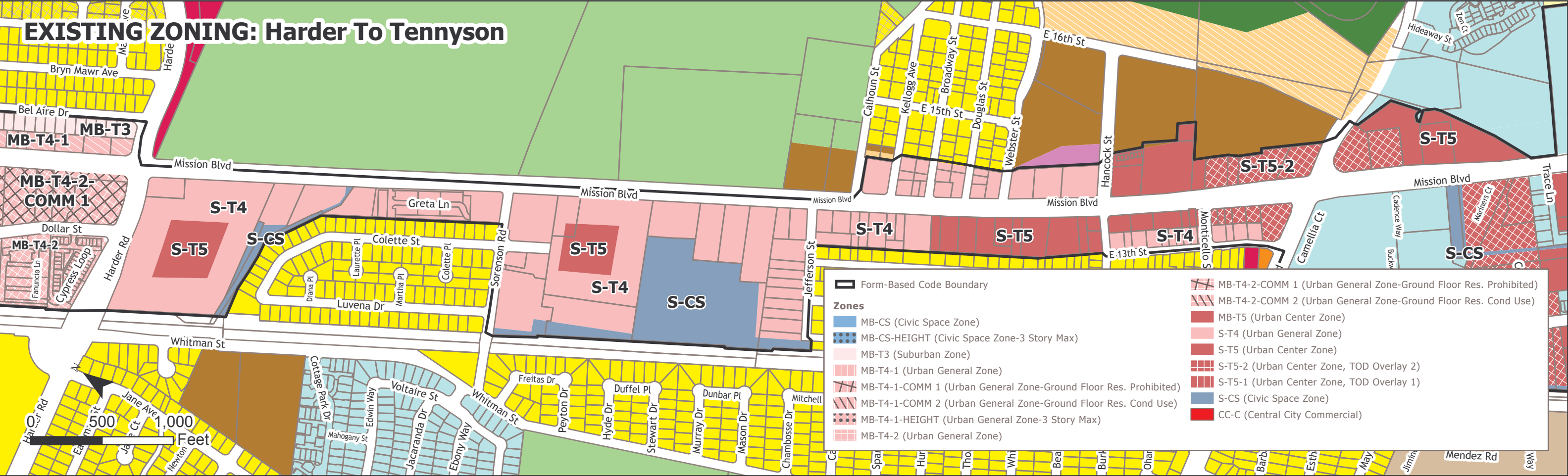
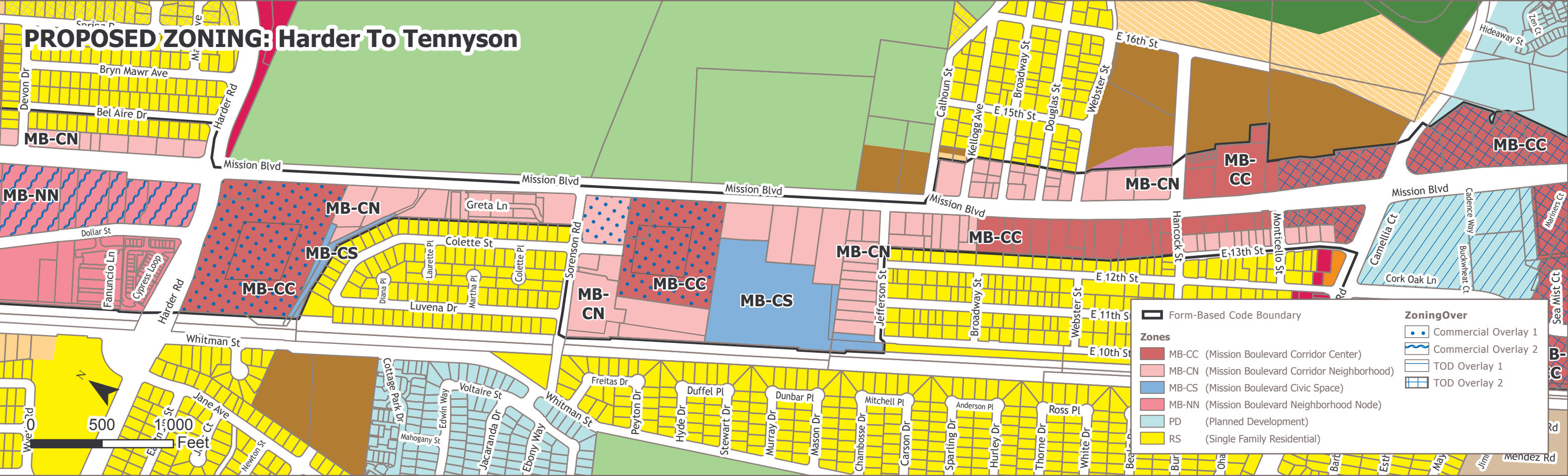
\_\_\_\_\_  
City Attorney of the City of Hayward



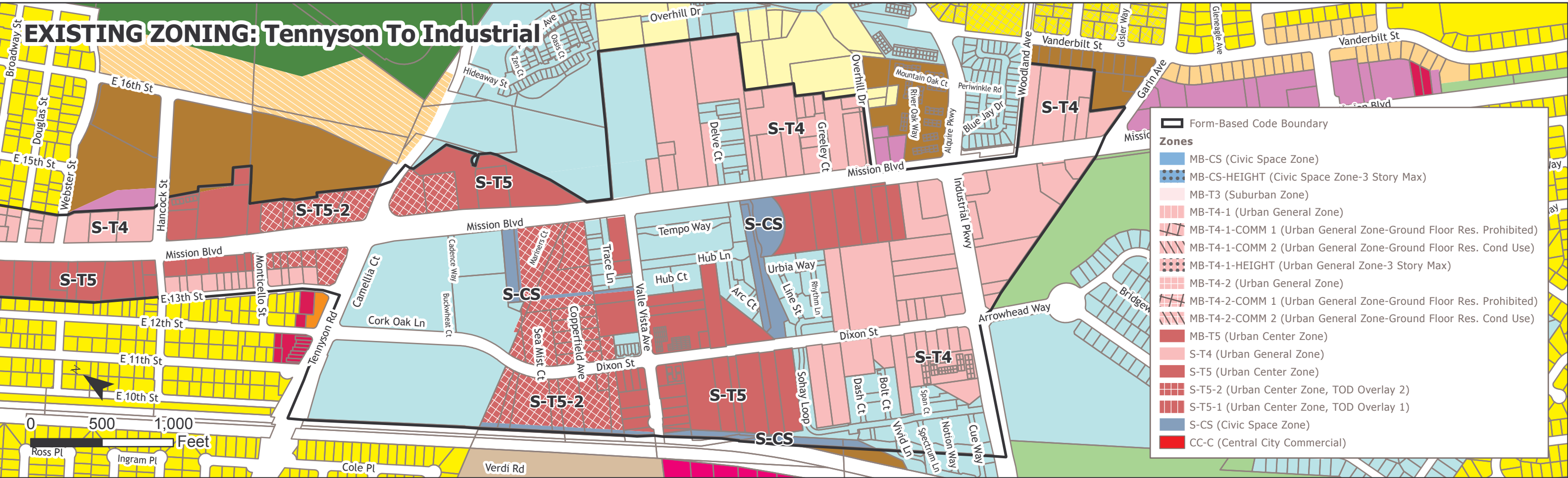
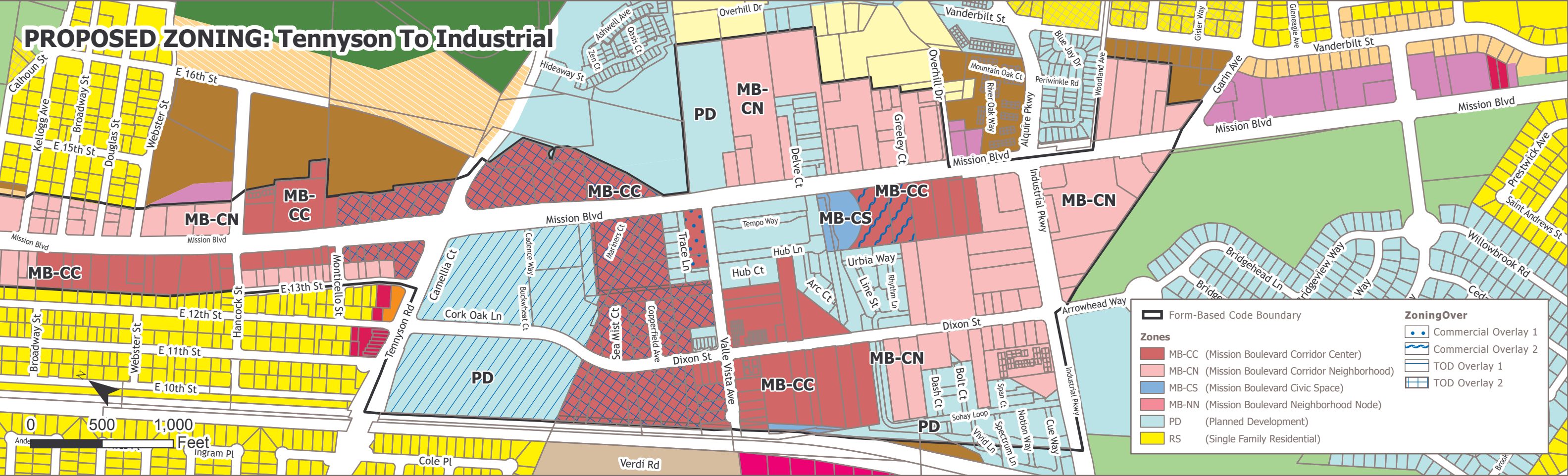












**ATTACHMENT IV**

<b>Existing and Proposed Zoning for Mission Boulevard Form-Based Code Parcels</b>				
<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
MISSION BLVD	452-0088-012-00	S-T4	MB-CN	
MISSION BLVD	452-0088-011-00	S-T4	MB-CN	
MISSION BLVD	452-0088-010-00	S-T4	MB-CN	
MISSION BLVD	452-0088-009-00	S-T4	MB-CN	
MISSION BLVD	452-0088-008-00	S-T4	MB-CN	
MISSION BLVD	452-0088-007-00	S-T4	MB-CN	
MISSION BLVD	452-0088-006-00	S-T4	MB-CN	
MISSION BLVD	452-0088-005-00	S-T4	MB-CN	
MISSION BLVD	452-0088-004-00	S-T4	MB-CN	
MISSION BLVD	452-0088-003-00	S-T4	MB-CN	
MISSION BLVD	452-0088-002-00	S-T4	MB-CN	
MISSION BLVD	452-0088-001-00	S-T4	MB-CN	
28406 E 13TH ST	452-0084-099-02	S-T4	MB-CN	
28458 E 13TH ST	452-0084-098-00	S-T4	MB-CN	
28470 E 13TH ST	452-0084-097-00	S-T4	MB-CN	
28538 E 13TH ST	452-0084-096-00	S-T4	MB-CN	
650 TENNYSON RD	452-0084-095-05	S-T5-2	MB-CC	TOD Overlay 2
28529 MISSION BLVD	452-0084-090-00	S-T5-2	MB-CC	TOD Overlay 2
28521 MISSION BLVD	452-0084-089-00	S-T5-2	MB-CC	TOD Overlay 2
28495 MISSION BLVD	452-0084-088-00	S-T5-2	MB-CC	TOD Overlay 2
28485 MISSION BLVD	452-0084-087-00	S-T5-2	MB-CC	TOD Overlay 2
28475 MISSION BLVD	452-0084-086-02	S-T5-2	MB-CC	TOD Overlay 2
28200 E 13TH ST	452-0084-085-02	S-T4	MB-CN	
28200 E 13TH ST	452-0084-084-00	S-T4	MB-CN	
28202 E 13TH ST	452-0084-083-00	S-T4	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
28240 E 13TH ST	452-0084-082-00	S-T4	MB-CN	
28276 E 13TH ST	452-0084-081-00	S-T4	MB-CN	
28298 E 13TH ST	452-0084-080-00	S-T4	MB-CN	
28320 E 13TH ST	452-0084-079-00	S-T4	MB-CN	
28348 E 13TH ST	452-0084-078-00	S-T4	MB-CN	
28368 E 13TH ST	452-0084-077-00	S-T4	MB-CN	
28390 E 13TH ST	452-0084-076-02	S-T4	MB-CN	
28293 MISSION BLVD	452-0084-075-02	S-T5	MB-CC	
28285 MISSION BLVD	452-0084-074-00	S-T5	MB-CC	
MISSION BLVD	452-0084-073-00	S-T5	MB-CC	
28257 MISSION BLVD	452-0084-072-00	S-T5	MB-CC	
28149 MISSION BLVD	452-0084-070-01	S-T5	MB-CC	
28105 MISSION BLVD	452-0084-069-02	S-T5	MB-CC	
650 HANCOCK ST	452-0080-045-01	S-T5, RS	MB-CC, RS	
28075 MISSION BLVD	452-0080-043-02	S-T5	MB-CC	
28049 MISSION BLVD	452-0080-042-00	S-T5	MB-CC	
28001 MISSION BLVD	452-0080-039-02	S-T5	MB-CC	
27955 MISSION BLVD	452-0080-038-03	S-T5, RS	MB-CC, RS	
27931 MISSION BLVD	452-0080-037-00	S-T5	MB-CC	
27369 MISSION BLVD	452-0068-112-00	S-T4	MB-CN	
27423 MISSION BLVD	452-0068-111-00	S-T4	MB-CN	
520 JEFFERSON ST	452-0068-095-03	S-T4, S-CS	MB-CS	
27550 E 12TH ST	452-0068-034-02	S-T4, RS	MB-CN, RS	
27580 E 12TH ST	452-0068-031-01	S-T4, RS	MB-CN, RS	
27695 MISSION BLVD	452-0068-030-01	S-T4, RS	MB-CC, RS	
27823 MISSION BLVD	452-0068-024-06	S-T5	MB-CC	
27915 MISSION BLVD	452-0068-024-05	S-T5	MB-CC	
27795 MISSION BLVD	452-0068-024-03	S-T5	MB-CC	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
27787 MISSION BLVD	452-0068-023-00	S-T5	MB-CC	
27703 MISSION BLVD	452-0068-022-00	S-T5	MB-CC	
27641 MISSION BLVD	452-0068-020-04	S-T4	MB-CN	
27651 MISSION BLVD	452-0068-020-03	S-T4	MB-CN	
27575 MISSION BLVD	452-0068-019-00	S-T4	MB-CN	
27541 MISSION BLVD	452-0068-018-00	S-T4	MB-CN	
27511 MISSION BLVD	452-0068-017-00	S-T4	MB-CN	
27467 MISSION BLVD	452-0068-016-01	S-T4	MB-CN	
27451 MISSION BLVD	452-0068-014-02	S-T4	MB-CN	
629 JEFFERSON ST	452-0068-013-00	S-T4	MB-CN	
620 JEFFERSON ST	452-0068-011-02	S-T4	MB-CN	
604 JEFFERSON ST	452-0068-010-00	S-T4	MB-CN	
592 JEFFERSON ST	452-0068-009-00	S-T4	MB-CN	
586 JEFFERSON ST	452-0068-008-00	S-T4	MB-CN	
574 JEFFERSON ST	452-0068-007-01	S-T4	MB-CN	
556 JEFFERSON ST	452-0068-005-02	S-T4	MB-CN	
542 JEFFERSON ST	452-0068-004-02	S-T4	MB-CN	
532 JEFFERSON ST	452-0068-002-01	S-T4	MB-CN	
SORENSEN RD	452-0056-017-00	S-T4	MB-CN	
26953 MISSION BLVD	452-0056-016-00	S-T5, S-T4	MB-CC	Commercial Overlay 1
26825 COLETTE ST	452-0056-015-00	S-T4	MB-CN	
605 SORENSON RD	452-0056-014-00	S-CS, S-T4	MB-CN	
26869 MISSION BLVD	452-0056-013-00	S-CS, S-T4	MB-CN	
MISSION BLVD	452-0056-009-02	S-CS, S-T4	MB-CS	
27283 MISSION BLVD	452-0056-008-00	S-T4	MB-CN	
27177 MISSION BLVD	452-0056-007-00	S-T4	MB-CN	
27151 MISSION BLVD	452-0056-006-00	S-T4	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
27143 MISSION BLVD	452-0056-005-00	S-T4	MB-CN	
26801 MISSION BLVD	452-0056-003-00	S-T5, S-T4	MB-CC	Commercial Overlay 1
677 SORENSON RD	452-0056-002-01	S-T4	MB-CN	
26781 MISSION BLVD	452-0056-001-15	S-T4	MB-CN	Commercial Overlay 1
26601 MISSION BLVD	452-0036-112-00	S-T4	MB-CN	
WHITMAN ST	452-0020-011-00	S-CS	MB-CS	
MISSION BLVD	452-0020-010-02	S-CS	MB-CS	
26231 MISSION BLVD	452-0020-009-01	S-T5, S-T4	MB-CC	Commercial Overlay 1
26359 MISSION BLVD	452-0020-008-00	S-T4	MB-CN	
26295 MISSION BLVD	452-0020-007-06	S-T4, S-CS	MB-CN	
26253 MISSION BLVD	452-0020-006-11	S-T4, S-CS	MB-CN	
MISSION BLVD	452-0020-006-10	S-CS	MB-CS	
26135 MISSION BLVD	452-0020-004-03	S-T4	MB-CC	Commercial Overlay 1
25870 MISSION BLVD	445-0230-025-00	MB-T4-1	MB-CN	
25886 MISSION BLVD	445-0230-024-00	MB-T4-1	MB-CN	
25900 MISSION BLVD	445-0230-023-00	MB-T4-1	MB-CN	
25926 MISSION BLVD	445-0230-022-00	MB-T4-1	MB-CN	
25962 MISSION BLVD	445-0230-021-00	MB-T4-1	MB-CN	
26070 MISSION BLVD	445-0230-020-00	MB-T4-1	MB-CN	
882 HARDER RD	445-0230-019-00	MB-T3	RS	
25907 BEL AIRE DR	445-0230-018-00	MB-T3	RS	
25899 BEL AIRE DR	445-0230-017-00	MB-T3	RS	
25891 BEL AIRE DR	445-0230-016-00	MB-T3	RS	
25883 BEL AIRE DR	445-0230-015-00	MB-T3	RS	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
25875 BEL AIRE DR	445-0230-014-00	MB-T3	RS	
25867 BEL AIRE DR	445-0230-013-00	MB-T3	RS	
25859 BEL AIRE DR	445-0230-012-00	MB-T3	RS	
25851 BEL AIRE DR	445-0230-011-00	MB-T3	RS	
25843 BEL AIRE DR	445-0230-010-00	MB-T3	RS	
25835 BEL AIRE DR	445-0230-009-00	MB-T3	RS	
25827 BEL AIRE DR	445-0230-008-00	MB-T3	RS	
25815 BEL AIRE DR	445-0230-007-00	MB-T3	RS	
25807 BEL AIRE DR	445-0230-006-00	MB-T3	RS	
25799 BEL AIRE DR	445-0230-005-00	MB-T3	RS	
25791 BEL AIRE DR	445-0230-004-00	MB-T3	RS	
25783 BEL AIRE DR	445-0230-003-00	MB-T3	RS	
938 DEVON DR	445-0230-002-00	MB-T3	RS	
25856 MISSION BLVD	445-0230-001-00	MB-T4-1	MB-CN	
BELMONT AVE	445-0220-142-01	MB-T3	RS	
25336 MISSION BLVD	445-0220-141-01	MB-T4-1	MB-CN	
25714 MISSION BLVD	445-0220-133-03	MB-T4-1	MB-CN	
25718 MISSION BLVD	445-0220-132-00	MB-T4-1	MB-CN	
931 DEVON DR	445-0220-131-00	MB-T3	RS	
947 DEVON DR	445-0220-130-00	MB-T3	RS	
25700 MISSION BLVD	445-0220-115-00	MB-T4-1	MB-CN	
25392 MISSION BLVD	445-0220-023-00	MB-T4-1	MB-CN	
MISSION BLVD	445-0220-022-00	MB-T4-1	MB-CN	
25400 MISSION BLVD	445-0220-021-00	MB-T4-1	MB-CN	
25462 MISSION BLVD	445-0220-020-00	MB-T4-1	MB-CN	
25486 MISSION BLVD	445-0220-019-00	MB-T4-1	MB-CN	
25508 MISSION BLVD	445-0220-018-00	MB-T4-1	MB-CN	
25516 MISSION BLVD	445-0220-017-00	MB-T4-1	MB-CN	



<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
25640 MISSION BLVD	445-0220-016-00	MB-T4-1	MB-CN	
25507 BELMONT AVE	445-0220-015-00	MB-T3	RS	
25499 BELMONT AVE	445-0220-014-00	MB-T3	RS	
25495 BELMONT AVE	445-0220-013-00	MB-T3	RS	
25491 BELMONT AVE	445-0220-012-00	MB-T3	RS	
25479 BELMONT AVE	445-0220-011-00	MB-T3	RS	
25467 BELMONT AVE	445-0220-010-00	MB-T3	RS	
BELMONT AVE	445-0220-009-00	MB-T3	RS	
BELMONT AVE	445-0220-008-00	MB-T3	RS	
BELMONT AVE	445-0220-007-00	MB-T3	RS	
BELMONT AVE	445-0220-006-00	MB-T3	RS	
BELMONT AVE	445-0220-005-00	MB-T3	RS	
BELMONT AVE	445-0220-004-00	MB-T3	RS	
BELMONT AVE	445-0220-003-00	MB-T3	RS	
25226 MISSION BLVD	445-0210-087-01	MB-T4-1	MB-CN	
25277 BELMONT AVE	445-0210-086-01	MB-T3	RS	
25176 MISSION BLVD	445-0210-051-04	MB-T4-1	MB-CN	
MISSION BLVD	445-0210-051-03	MB-T3, MB-T4-1	MB-CN	
25220 MISSION BLVD	445-0210-048-00	MB-T4-1	MB-CN	
25224 MISSION BLVD	445-0210-047-00	MB-T4-1	MB-CN	
25247 BELMONT AVE	445-0210-042-00	MB-T3	RS	
25243 BELMONT AVE	445-0210-041-00	MB-T3	RS	
25223 BELMONT AVE	445-0210-040-00	MB-T3	RS	
25168 MISSION BLVD	445-0210-033-00	MB-T4-1	MB-CN	
	445-0210-032-04	MB-CS	MB-CS	
896 CENTRAL BLVD	445-0210-010-00	MB-T4-1	MB-CN	
862 CENTRAL BLVD	445-0210-009-01	MB-T4-1	MB-CN	
25144 MISSION BLVD	445-0210-007-01	MB-T4-1	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
25124 MISSION BLVD	445-0210-001-05	MB-T4-1	MB-CN	
25107 BELMONT AVE	445-0210-001-04	MB-T4-1	MB-CN	
25123 BELMONT AVE	445-0210-001-02	MB-T4-1	MB-CN	
25000 MISSION BLVD	445-0200-012-01	MB-T4-1-COMM 2, MB-T4-1	MB-CN	Commercial Overlay 2
24900 MISSION BLVD	445-0200-009-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24917 CARLOS BEE BLVD	445-0200-008-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24929 CARLOS BEE BLVD	445-0200-007-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24953 CARLOS BEE BLVD	445-0200-005-00	MB-T4-1	MB-CN	Commercial Overlay 2
CARLOS BEE BLVD	445-0150-060-00	MB-T3	RS	
24732 MISSION BLVD	445-0150-059-02	MB-T4-1	MB-CN	
24744 MISSION BLVD	445-0150-058-01	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24780 MISSION BLVD	445-0150-056-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24802 MISSION BLVD	445-0150-055-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24822 MISSION BLVD	445-0150-054-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24832 MISSION BLVD	445-0150-053-02	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24874 MISSION BLVD	445-0150-052-01	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24504 SYBIL ST	445-0150-017-00	MB-T4-1	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
24516 SYBIL ST	445-0150-016-00	MB-T4-1	MB-CN	
24534 SYBIL ST	445-0150-015-00	MB-T4-1	MB-CN	
24552 SYBIL ST	445-0150-014-00	MB-T4-1	MB-CN	
24556 SYBIL ST	445-0150-013-00	MB-T4-1	MB-CN	
24562 SYBIL ST	445-0150-012-00	MB-T4-1	MB-CN	
24574 SYBIL ST	445-0150-011-00	MB-T4-1	MB-CN	
24586 SYBIL ST	445-0150-010-00	MB-T4-1	MB-CN	
24598 SYBIL ST	445-0150-009-00	MB-T4-1	MB-CN	
24618 MISSION BLVD	445-0150-008-00	MB-T4-1	MB-CN	Commercial Overlay 2
24602 MISSION BLVD	445-0150-007-00	MB-T4-1	MB-CN	Commercial Overlay 2
24588 MISSION BLVD	445-0150-006-00	MB-T4-1	MB-CN	Commercial Overlay 2
24574 MISSION BLVD	445-0150-005-00	MB-T4-1	MB-CN	Commercial Overlay 2
24557 SYBIL ST	445-0150-004-00	MB-T4-1	MB-CN	Commercial Overlay 2
24546 MISSION BLVD	445-0150-003-00	MB-T4-1	MB-CN	Commercial Overlay 2
24518 MISSION BLVD	445-0150-002-00	MB-T4-1	MB-CN	Commercial Overlay 2
24504 MISSION BLVD	445-0150-001-03	MB-T4-1	MB-CN	Commercial Overlay 2
945 HIGHLAND BLVD	445-0140-010-00	MB-T4-1	MB-CN	
933 HIGHLAND BLVD	445-0140-009-00	MB-T4-1	MB-CN	
921 HIGHLAND BLVD	445-0140-008-00	MB-T4-1	MB-CN	
913 HIGHLAND BLVD	445-0140-007-00	MB-T4-1	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
909 HIGHLAND BLVD	445-0140-006-02	MB-T4-1	MB-CN	
24456 MISSION BLVD	445-0140-005-01	MB-T4-1	MB-CN	
24400 MISSION BLVD	445-0140-003-00	MB-T4-1	MB-CN	
24326 MISSION BLVD	445-0140-002-00	MB-T4-1	MB-CN	
24176 MISSION BLVD	445-0140-001-00	MB-CS, A	MB-CS, A	
24134 MISSION BLVD	445-0001-014-00	MB-T4-1	MB-CN	Commercial Overlay 2
24122 MISSION BLVD	445-0001-013-00	MB-T4-1	MB-CN	Commercial Overlay 2
921 FLETCHER LN	445-0001-012-00	MB-T4-1	MB-CN	
944 WALPERT ST	445-0001-009-00	MB-T4-1	MB-CN	
936 WALPERT ST	445-0001-008-00	MB-T4-1	MB-CN	
928 WALPERT ST	445-0001-007-00	MB-T4-1	MB-CN	
920 FLETCHER LN	445-0001-006-00	MB-T4-1	MB-CN	
24052 MISSION BLVD	445-0001-004-14	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
FLETCHER LN	445-0001-004-13	MB-T4-1	MB-CN	
24060 MISSION BLVD	445-0001-004-09	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
FLETCHER LN	445-0001-004-05	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24086 MISSION BLVD	445-0001-003-02	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
23950 MISSION BLVD	445-0001-002-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
1000 E ST	445-0001-001-01	MB-T4-1	MB-CN	
BERRY AVE	444-0082-200-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-196-00	MB-T4-2-COMM 2	MB-NN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
BERRY AVE	444-0082-191-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-185-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-179-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-174-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-168-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-161-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-156-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-151-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-145-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-139-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-133-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-127-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-120-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-114-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-108-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-102-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-095-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-088-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-081-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-074-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-067-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-060-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-053-00	MB-T4-1	MB-CN	
BERRY AVE	444-0082-046-00	MB-T4-1	MB-CN	
BERRY AVE	444-0082-039-00	MB-T4-1	MB-CN	
BERRY AVE	444-0082-006-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-005-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-004-00	MB-T4-1	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
BERRY AVE	444-0082-003-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-002-00	MB-T4-2-COMM 2	MB-NN	
BERRY AVE	444-0082-001-00	MB-T4-2-COMM 2, MB-T	MB-NN	
25891 DOLLAR ST	444-0081-118-00	MB-T4-2	MB-NN	
25891 DOLLAR ST	444-0081-111-00	MB-T4-2	MB-NN	
25891 DOLLAR ST	444-0081-104-00	MB-T4-2	MB-NN	
25891 DOLLAR ST	444-0081-098-00	MB-T4-2	MB-NN	
25891 DOLLAR ST	444-0081-092-00	MB-T4-2	MB-NN	
25891 DOLLAR ST	444-0081-085-00	MB-T4-2	MB-NN	
25891 DOLLAR ST	444-0081-078-00	MB-T4-2	MB-NN	
25891 DOLLAR ST	444-0081-073-00	MB-T4-2	MB-NN	
25891 DOLLAR ST	444-0081-060-00	MB-T4-2	MB-NN	
25891 DOLLAR ST	444-0081-059-00	MB-T4-2	MB-NN	
25891 DOLLAR ST	444-0081-058-00	MB-T4-2	MB-NN	
COMMON AREA	444-0081-057-00	MB-T4-2	MB-NN	
117 CYPRESS LOOP	444-0081-056-00	MB-T4-2	MB-NN	
115 CYPRESS LOOP	444-0081-055-00	MB-T4-2	MB-NN	
113 CYPRESS LOOP	444-0081-054-00	MB-T4-2	MB-NN	
111 CYPRESS LOOP	444-0081-053-00	MB-T4-2	MB-NN	
COMMON AREA	444-0081-052-00	MB-T4-2	MB-NN	
131 CYPRESS LOOP	444-0081-051-00	MB-T4-2	MB-NN	
129 CYPRESS LOOP	444-0081-050-00	MB-T4-2	MB-NN	
127 CYPRESS LOOP	444-0081-049-00	MB-T4-2	MB-NN	
125 CYPRESS LOOP	444-0081-048-00	MB-T4-2	MB-NN	
123 CYPRESS LOOP	444-0081-047-00	MB-T4-2	MB-NN	
121 CYPRESS LOOP	444-0081-046-00	MB-T4-2	MB-NN	
109 CYPRESS LOOP	444-0081-044-00	MB-T4-2	MB-NN	
107 CYPRESS LOOP	444-0081-043-00	MB-T4-2	MB-NN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
105 CYPRESS LOOP	444-0081-042-00	MB-T4-2	MB-NN	
103 CYPRESS LOOP	444-0081-041-00	MB-T4-2	MB-NN	
101 CYPRESS LOOP	444-0081-040-00	MB-T4-2	MB-NN	
COMMON AREA	444-0081-039-00	MB-T4-2	MB-NN	
135 CYPRESS LOOP	444-0081-038-00	MB-T4-2	MB-NN	
137 CYPRESS LOOP	444-0081-037-00	MB-T4-2	MB-NN	
COMMON AREA	444-0081-036-00	MB-T4-2	MB-NN	
141 CYPRESS LOOP	444-0081-035-00	MB-T4-2	MB-NN	
143 CYPRESS LOOP	444-0081-034-00	MB-T4-2	MB-NN	
145 CYPRESS LOOP	444-0081-033-00	MB-T4-2	MB-NN	
COMMON AREA	444-0081-032-00	MB-T4-2	MB-NN	
151 CYPRESS LOOP	444-0081-031-00	MB-T4-2	MB-NN	
153 CYPRESS LOOP	444-0081-030-00	MB-T4-2	MB-NN	
155 CYPRESS LOOP	444-0081-029-00	MB-T4-2	MB-NN	
157 CYPRESS LOOP	444-0081-028-00	MB-T4-2	MB-NN	
159 CYPRESS LOOP	444-0081-027-00	MB-T4-2	MB-NN	
161 CYPRESS LOOP	444-0081-026-00	MB-T4-2	MB-NN	
163 CYPRESS LOOP	444-0081-025-00	MB-T4-2	MB-NN	
COMMON AREA	444-0081-024-00	MB-T4-2	MB-NN	
25943 DOLLAR ST	444-0081-023-00	MB-T4-2	MB-NN	
25941 DOLLAR ST	444-0081-022-00	MB-T4-2	MB-NN	
25939 DOLLAR ST	444-0081-021-00	MB-T4-2	MB-NN	
25937 DOLLAR ST	444-0081-020-00	MB-T4-2	MB-NN	
25935 DOLLAR ST	444-0081-019-00	MB-T4-2	MB-NN	
25933 DOLLAR ST	444-0081-018-00	MB-T4-2	MB-NN	
COMMON AREA	444-0081-017-00	MB-T4-2	MB-NN	
25927 DOLLAR ST	444-0081-016-00	MB-T4-2	MB-NN	
25925 DOLLAR ST	444-0081-015-00	MB-T4-2	MB-NN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
25923 DOLLAR ST	444-0081-014-00	MB-T4-2	MB-NN	
25921 DOLLAR ST	444-0081-013-00	MB-T4-2	MB-NN	
COMMON AREA	444-0081-005-00	MB-T4-2	MB-NN	
COMMON AREA	444-0081-004-00	MB-T4-2	MB-NN	
COMMON AREA	444-0081-003-00	MB-T4-2	MB-NN	
COMMON AREA	444-0081-002-00	MB-T4-2	MB-NN	
COMMON AREA	444-0081-001-00	MB-T4-2	MB-NN	
24755 ONEIL AVE	444-0079-016-00	MB-T4-1	MB-CN	
722 ONEIL COMMONS	444-0079-015-00	MB-T4-1	MB-CN	
732 ONEIL COMMONS	444-0079-014-00	MB-T4-1	MB-CN	
742 ONEIL COMMONS	444-0079-013-00	MB-T4-1	MB-CN	
752 ONEIL COMMONS	444-0079-012-00	MB-T4-1	MB-CN	
762 ONEIL COMMONS	444-0079-011-00	MB-T4-1	MB-CN	
772 ONEIL COMMONS	444-0079-010-00	MB-T4-1	MB-CN	
782 ONEIL COMMONS	444-0079-009-00	MB-T4-1	MB-CN	
792 ONEIL COMMONS	444-0079-008-00	MB-T4-1	MB-CN	
747 ONEIL COMMONS	444-0079-007-00	MB-T4-1	MB-CN	
737 ONEIL COMMONS	444-0079-006-00	MB-T4-1	MB-CN	
727 ONEIL COMMONS	444-0079-005-00	MB-T4-1	MB-CN	
717 ONEIL COMMONS	444-0079-004-00	MB-T4-1	MB-CN	
702 ONEIL COMMONS	444-0079-003-00	MB-T4-1	MB-CN	
712 ONEIL COMMONS	444-0079-002-00	MB-T4-1	MB-CN	
24709 ONEIL AVE	444-0079-001-00	MB-T4-1	MB-CN	
25971 MISSION BLVD	444-0078-022-00	MB-T4-2-COMM 1	MB-NN	Commercial Overlay 2
25971 MISSION BLVD	444-0078-021-00	MB-T4-2-COMM 1	MB-NN	Commercial Overlay 2
HARDER RD	444-0078-017-01	MB-T4-2	MB-NN	



<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
25915 MISSION BLVD	444-0078-008-05	MB-T4-2-COMM 1	MB-NN	Commercial Overlay 2
25891 MISSION BLVD	444-0078-007-06	MB-T4-2-COMM 1	MB-NN	Commercial Overlay 2
25817 MISSION BLVD	444-0078-006-05	MB-T4-2	MB-NN	
25803 MISSION BLVD	444-0078-006-04	MB-T4-2-COMM 1	MB-NN	Commercial Overlay 2
25715 MISSION BLVD	444-0078-005-05	MB-T4-2-COMM 1	MB-NN	Commercial Overlay 2
25711 DOLLAR ST	444-0078-005-04	MB-T4-2	MB-NN	
25751 DOLLAR ST	444-0078-004-02	MB-T4-2	MB-NN	
25655 DOLLAR ST	444-0078-002-05	MB-T4-2	MB-NN	
25697 MISSION BLVD	444-0078-002-04	MB-T4-2-COMM 1	MB-NN	Commercial Overlay 2
DOLLAR ST	444-0060-046-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 14	444-0060-045-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 13	444-0060-044-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 12	444-0060-043-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 11	444-0060-042-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 10	444-0060-041-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 9	444-0060-040-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 8	444-0060-039-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 7	444-0060-038-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 6	444-0060-037-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 5	444-0060-036-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 4	444-0060-035-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 3	444-0060-034-00	MB-T4-2	MB-NN	
25613 DOLLAR ST 2	444-0060-033-00	MB-T4-2	MB-NN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
25613 DOLLAR ST 1	444-0060-032-00	MB-T4-2	MB-NN	
25571 DOLLAR ST	444-0060-029-02	MB-T4-2-COMM 2	MB-NN	
DOLLAR ST	444-0060-027-06	MB-T4-2-COMM 2, MB-T4-1	MB-NN	
625 BERRY AVE	444-0060-027-05	MB-T4-1	MB-CN	
25601 MISSION BLVD	444-0060-023-10	MB-T4-2-COMM 1, MB-T4-1	MB-NN	Commercial Overlay 2
25501 MISSION BLVD	444-0060-019-07	MB-T4-2-COMM 1	MB-NN	Commercial Overlay 2
711 BERRY AVE	444-0060-012-05	MB-T4-1	MB-CN	
25375 MISSION BLVD	444-0060-012-02	MB-T4-1-COMM 1	MB-CN	Commercial Overlay 2
25225 MISSION BLVD	444-0060-011-00	MB-T4-1-COMM 1	MB-CN	Commercial Overlay 2
773 BERRY AVE	444-0060-010-00	MB-T4-1	MB-CN	Commercial Overlay 2
747 BERRY AVE	444-0060-009-00	MB-T4-1	MB-CN	
737 BERRY AVE	444-0060-008-00	MB-T4-1	MB-CN	
723 BERRY AVE	444-0060-007-00	MB-T4-1	MB-CN	
691 BERRY AVE	444-0060-005-02	MB-T4-1	MB-CN	
661 BERRY AVE	444-0060-003-02	MB-T4-1	MB-CN	
ANGELINA LN	444-0057-107-00	MB-T4-1	MB-CN	
25107 ANGELINA LN 27	444-0057-106-00	MB-T4-1	MB-CN	
25105 ANGELINA LN 26	444-0057-105-00	MB-T4-1	MB-CN	
25103 ANGELINA LN 25	444-0057-104-00	MB-T4-1	MB-CN	
25100 ANGELINA LN 24	444-0057-103-00	MB-T4-1	MB-CN	
25102 ANGELINA LN 23	444-0057-102-00	MB-T4-1	MB-CN	
25104 ANGELINA LN 22	444-0057-101-00	MB-T4-1	MB-CN	
25106 ANGELINA LN 21	444-0057-100-00	MB-T4-1	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
25118 ANGELINA LN 20	444-0057-099-00	MB-T4-1	MB-CN	
25120 ANGELINA LN 19	444-0057-098-00	MB-T4-1	MB-CN	
25122 ANGELINA LN 18	444-0057-097-00	MB-T4-1	MB-CN	
25109 ANGELINA LN 17	444-0057-096-00	MB-T4-1	MB-CN	
25111 ANGELINA LN 16	444-0057-095-00	MB-T4-1	MB-CN	
25119 ANGELINA LN 15	444-0057-094-00	MB-T4-1	MB-CN	
25117 ANGELINA LN 14	444-0057-093-00	MB-T4-1	MB-CN	
25115 ANGELINA LN 13	444-0057-092-00	MB-T4-1	MB-CN	
25125 ANGELINA LN 12	444-0057-091-00	MB-T4-1	MB-CN	
25123 ANGELINA LN 11	444-0057-090-00	MB-T4-1	MB-CN	
25128 ANGELINA LN 10	444-0057-089-00	MB-T4-1	MB-CN	
25126 ANGELINA LN 9	444-0057-088-00	MB-T4-1	MB-CN	
25131 ANGELINA LN 8	444-0057-087-00	MB-T4-1	MB-CN	
25129 ANGELINA LN 7	444-0057-086-00	MB-T4-1	MB-CN	
25139 ANGELINA LN 6	444-0057-085-00	MB-T4-1	MB-CN	
25137 ANGELINA LN 5	444-0057-084-00	MB-T4-1	MB-CN	
25135 ANGELINA LN 4	444-0057-083-00	MB-T4-1	MB-CN	
25132 ANGELINA LN 3	444-0057-082-00	MB-T4-1	MB-CN	
25134 ANGELINA LN 2	444-0057-081-00	MB-T4-1	MB-CN	
25136 ANGELINA LN 1	444-0057-080-00	MB-T4-1	MB-CN	
25038 ONEIL AVE	444-0057-078-00	MB-T4-1	MB-CN	
829 VOYAGER WAY	444-0057-077-00	MB-T4-1	MB-CN	
833 VOYAGER WAY	444-0057-076-00	MB-T4-1	MB-CN	
837 VOYAGER WAY	444-0057-075-00	MB-T4-1	MB-CN	
841 VOYAGER WAY	444-0057-074-00	MB-T4-1	MB-CN	
845 VOYAGER WAY	444-0057-073-00	MB-T4-1	MB-CN	
834 VOYAGER WAY	444-0057-072-00	MB-T4-1	MB-CN	
830 VOYAGER WAY	444-0057-071-00	MB-T4-1	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
826 VOYAGER WAY	444-0057-070-00	MB-T4-1	MB-CN	
822 VOYAGER WAY	444-0057-069-00	MB-T4-1	MB-CN	
818 VOYAGER WAY	444-0057-068-00	MB-T4-1	MB-CN	
814 VOYAGER WAY	444-0057-067-00	MB-T4-1	MB-CN	
810 VOYAGER WAY	444-0057-066-00	MB-T4-1	MB-CN	
806 VOYAGER WAY	444-0057-065-00	MB-T4-1	MB-CN	
807 CHALLENGER WAY	444-0057-064-00	MB-T4-1	MB-CN	
811 CHALLENGER WAY	444-0057-063-00	MB-T4-1	MB-CN	
815 CHALLENGER WAY	444-0057-062-00	MB-T4-1	MB-CN	
819 CHALLENGER WAY	444-0057-061-00	MB-T4-1	MB-CN	
823 CHALLENGER WAY	444-0057-060-00	MB-T4-1	MB-CN	
827 CHALLENGER WAY	444-0057-059-00	MB-T4-1	MB-CN	
831 CHALLENGER WAY	444-0057-058-00	MB-T4-1	MB-CN	
835 CHALLENGER WAY	444-0057-057-00	MB-T4-1	MB-CN	
25043 DISCOVERER PL	444-0057-056-00	MB-T4-1	MB-CN	
25035 DISCOVERER PL	444-0057-055-00	MB-T4-1	MB-CN	
25027 DISCOVERER PL	444-0057-054-00	MB-T4-1	MB-CN	
25019 DISCOVERER PL	444-0057-053-00	MB-T4-1	MB-CN	
25011 DISCOVERER PL	444-0057-052-00	MB-T4-1	MB-CN	
25003 DISCOVERER PL	444-0057-051-00	MB-T4-1	MB-CN	
850 CHALLENGER WAY	444-0057-050-00	MB-T4-1	MB-CN	
846 CHALLENGER WAY	444-0057-049-00	MB-T4-1	MB-CN	
842 CHALLENGER WAY	444-0057-048-00	MB-T4-1	MB-CN	
838 CHALLENGER WAY	444-0057-047-00	MB-T4-1	MB-CN	
ORCHARD AVE	444-0057-045-01	MB-T4-1, MB-CS	MB-CN	
25045 MISSION BLVD	444-0057-043-00	MB-CS	MB-CS	
ONEIL AVE	444-0057-042-00	MB-CS	MB-CS	
ORCHARD AVE	444-0057-041-04	MB-T4-1	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
656 BERRY AVE	444-0057-035-04	MB-T4-1	MB-CN	
664 BERRY AVE	444-0057-035-02	MB-T4-1	MB-CN	
676 BERRY AVE	444-0057-034-03	MB-T4-1	MB-CN	
692 BERRY AVE	444-0057-033-00	MB-T4-1	MB-CN	
748 BERRY AVE	444-0057-031-01	MB-T4-1	MB-CN	
25115 MISSION BLVD	444-0057-029-10	MB-T4-1	MB-CN	
25125 MISSION BLVD	444-0057-029-08	MB-T4-1	MB-CN	
704 BERRY AVE	444-0057-029-04	MB-T4-1	MB-CN	
716 BERRY AVE	444-0057-029-03	MB-T4-1	MB-CN	
25103 MISSION BLVD	444-0057-028-02	MB-T4-1	MB-CN	
24997 MISSION BLVD	444-0057-027-01	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24989 MISSION BLVD	444-0057-024-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24975 MISSION BLVD	444-0057-023-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24947 MISSION BLVD	444-0057-022-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24933 MISSION BLVD	444-0057-021-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24919 MISSION BLVD	444-0057-020-04	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
825 ORCHARD AVE	444-0057-019-02	MB-T4-1	MB-CN	
24942 ONEIL AVE	444-0057-018-02	MB-T4-1	MB-CN	
25050 ONEIL AVE	444-0057-015-00	MB-T4-1	MB-CN	
25148 ONEIL AVE	444-0057-013-04	MB-T4-1	MB-CN	
25153 ONEIL AVE	444-0057-011-04	MB-T4-1	MB-CN	
25015 ONEIL AVE	444-0057-009-04	MB-T4-1	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
25007 ONEIL AVE	444-0057-008-00	MB-T4-1	MB-CN	
25001 ONEIL AVE	444-0057-007-04	MB-T4-1	MB-CN	
ONEIL AVE	444-0057-006-00	MB-T4-1	MB-CN	
24915 ONEIL AVE	444-0057-005-09	MB-T4-1	MB-CN	
ONEIL AVE	444-0036-104-00	MB-T4-1	MB-CN	
24883 ONEIL AVE 19	444-0036-103-00	MB-T4-1	MB-CN	
24891 ONEIL AVE 18	444-0036-102-00	MB-T4-1	MB-CN	
24887 LIMETREE PL 17	444-0036-101-00	MB-T4-1	MB-CN	
24885 LIMETREE PL 16	444-0036-100-00	MB-T4-1	MB-CN	
769 PLANTATION LN 15	444-0036-099-00	MB-T4-1	MB-CN	
749 PLANTATION LN 14	444-0036-098-00	MB-T4-1	MB-CN	
24889 ALDERBERRY PL 13	444-0036-097-00	MB-T4-1	MB-CN	
24873 ALDERBERRY PL 11	444-0036-095-00	MB-T4-1	MB-CN	
24857 ALDERBERRY PL 10	444-0036-094-00	MB-T4-1	MB-CN	
24849 ALDERBERRY PL 9	444-0036-093-00	MB-T4-1	MB-CN	
24841 ALDERBERRY PL 8	444-0036-092-00	MB-T4-1	MB-CN	
24833 ALDERBERRY PL 7	444-0036-091-00	MB-T4-1	MB-CN	
746 PLANTATION LN 6	444-0036-090-00	MB-T4-1	MB-CN	
766 PLANTATION LN 5	444-0036-089-00	MB-T4-1	MB-CN	
24859 ORANGETREE PL 4	444-0036-088-00	MB-T4-1	MB-CN	
24851 ORANGETREE PL 3	444-0036-087-00	MB-T4-1	MB-CN	
24843 ONEIL AVE 2	444-0036-086-00	MB-T4-1	MB-CN	
789 PLANTATION LN 1	444-0036-085-00	MB-T4-1	MB-CN	
24575 ONEIL AVE	444-0036-083-00	MB-T4-1	MB-CN	
710 KINO CT 4	444-0036-082-00	MB-T4-1	MB-CN	
710 KINO CT 3	444-0036-081-00	MB-T4-1	MB-CN	
710 KINO CT 2	444-0036-080-00	MB-T4-1	MB-CN	
710 KINO CT 1	444-0036-079-00	MB-T4-1	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
722 KINO CT 8	444-0036-078-00	MB-T4-1	MB-CN	
722 KINO CT 7	444-0036-077-00	MB-T4-1	MB-CN	
722 KINO CT 6	444-0036-076-00	MB-T4-1	MB-CN	
722 KINO CT 5	444-0036-075-00	MB-T4-1	MB-CN	
722 KINO CT 4	444-0036-074-00	MB-T4-1	MB-CN	
722 KINO CT 3	444-0036-073-00	MB-T4-1	MB-CN	
722 KINO CT 2	444-0036-072-00	MB-T4-1	MB-CN	
722 KINO CT 1	444-0036-071-00	MB-T4-1	MB-CN	
738 KINO CT 2	444-0036-070-00	MB-T4-1	MB-CN	
738 KINO CT 1	444-0036-069-00	MB-T4-1	MB-CN	
24524 ONEIL AVE	444-0036-064-00	MB-T4-1	MB-CN	
24538 ONEIL AVE	444-0036-063-00	MB-T4-1	MB-CN	
24552 ONEIL AVE	444-0036-062-00	MB-T4-1	MB-CN	
24564 ONEIL AVE	444-0036-061-00	MB-T4-1	MB-CN	
24576 ONEIL AVE	444-0036-060-00	MB-T4-1	MB-CN	
24598 ONEIL AVE	444-0036-059-00	MB-T4-1	MB-CN	
24614 ONEIL AVE	444-0036-058-00	MB-T4-1	MB-CN	
24618 ONEIL AVE	444-0036-057-00	MB-T4-1	MB-CN	
24620 ONEIL AVE	444-0036-056-00	MB-T4-1	MB-CN	
24628 ONEIL AVE	444-0036-055-00	MB-T4-1	MB-CN	
24640 ONEIL AVE	444-0036-054-00	MB-T4-1	MB-CN	
24658 ONEIL AVE	444-0036-053-00	MB-T4-1	MB-CN	
24656 ONEIL AVE	444-0036-052-00	MB-T4-1	MB-CN	
24682 ONEIL AVE	444-0036-051-00	MB-T4-1	MB-CN	
24688 ONEIL AVE	444-0036-050-00	MB-T4-1	MB-CN	
24680 ONEIL AVE	444-0036-049-00	MB-T4-1	MB-CN	
24694 ONEIL AVE	444-0036-048-00	MB-T4-1	MB-CN	
24698 ONEIL AVE	444-0036-047-00	MB-T4-1	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
24700 ONEIL AVE	444-0036-046-00	MB-T4-1	MB-CN	
24760 ONEIL AVE	444-0036-045-06	MB-T4-1	MB-CN	
24778 ONEIL AVE	444-0036-044-06	MB-T4-1	MB-CN	
24836 ONEIL AVE	444-0036-043-00	MB-T4-1	MB-CN	
808 ORCHARD AVE	444-0036-042-03	MB-T4-1	MB-CN	
860 ORCHARD AVE	444-0036-038-04	MB-T4-1	MB-CN	
24895 MISSION BLVD	444-0036-037-06	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24773 MISSION BLVD	444-0036-034-03	MB-T4-1-COMM 2, MB-T	MB-CN	Commercial Overlay 2
24689 MISSION BLVD	444-0036-026-01	MB-T4-1	MB-CN	Commercial Overlay 2
24659 MISSION BLVD	444-0036-024-01	MB-T4-1	MB-CN	Commercial Overlay 2
24645 MISSION BLVD	444-0036-023-00	MB-T4-1	MB-CN	Commercial Overlay 2
24629 MISSION BLVD	444-0036-022-00	MB-T4-1	MB-CN	Commercial Overlay 2
24601 MISSION BLVD	444-0036-021-00	MB-T4-1	MB-CN	Commercial Overlay 2
843 SYCAMORE AVE	444-0036-020-00	MB-T4-1	MB-CN	Commercial Overlay 2
821 SYCAMORE AVE	444-0036-019-00	MB-T4-1	MB-CN	Commercial Overlay 2
795 SYCAMORE AVE	444-0036-018-00	MB-T4-1	MB-CN	
24508 ONEIL AVE	444-0036-017-00	MB-T4-1	MB-CN	
24683 ONEIL AVE	444-0036-011-04	MB-T4-1	MB-CN	
24679 ONEIL AVE	444-0036-010-00	MB-T4-1	MB-CN	



<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
24657 ONEIL AVE	444-0036-009-02	MB-T4-1	MB-CN	
24631 ONEIL AVE	444-0036-008-00	MB-T4-1	MB-CN	
24619 ONEIL AVE	444-0036-007-05	MB-T4-1	MB-CN	
24551 ONEIL AVE	444-0036-004-04	MB-T4-1	MB-CN	
24507 ONEIL AVE	444-0036-003-02	MB-T4-1	MB-CN	
731 SYCAMORE AVE	444-0036-002-00	MB-T4-1	MB-CN	
719 SYCAMORE AVE	444-0036-001-02	MB-T4-1	MB-CN	
24481 EDITH ST	444-0033-097-00	MB-T3	RS	
792 SYCAMORE AVE	444-0033-096-00	MB-T3	RS	
24499 GROOM ST	444-0033-095-00	MB-T3	RS	
24491 GROOM ST	444-0033-094-00	MB-T3	RS	
24483 GROOM ST	444-0033-093-00	MB-T3	RS	
24482 GROOM ST	444-0033-089-00	MB-T3	RS	
24490 GROOM ST	444-0033-088-00	MB-T3	RS	
24498 GROOM ST	444-0033-087-00	MB-T3	RS	
756 SYCAMORE AVE	444-0033-086-00	MB-T3	RS	
768 SYCAMORE AVE	444-0033-085-00	MB-T3	RS	
780 SYCAMORE AVE	444-0033-084-00	MB-T3	RS	
765 ELLEN ST	444-0033-082-00	MB-T3	RS	
757 ELLEN ST	444-0033-081-00	MB-T3	RS	
749 ELLEN ST	444-0033-080-00	MB-T3	RS	
741 ELLEN ST	444-0033-079-00	MB-T3	RS	
733 ELLEN ST	444-0033-078-00	MB-T3	RS	
725 ELLEN ST	444-0033-077-00	MB-T3	RS	
717 ELLEN ST	444-0033-076-00	MB-T3	RS	
24330 GROOM ST	444-0033-075-00	MB-T3	RS	
24336 GROOM ST	444-0033-074-00	MB-T3	RS	
24344 GROOM ST	444-0033-073-00	MB-T3	RS	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
24352 GROOM ST	444-0033-072-00	MB-T3	RS	
734 ELLEN ST	444-0033-071-00	MB-T3	RS	
742 ELLEN ST	444-0033-070-00	MB-T3	RS	
750 ELLEN ST	444-0033-069-00	MB-T3	RS	
758 ELLEN ST	444-0033-068-00	MB-T3	RS	
766 ELLEN ST	444-0033-067-00	MB-T3	RS	
767 LILLY AVE	444-0033-066-00	MB-T3	RS	
759 LILLY AVE	444-0033-065-00	MB-T3	RS	
751 LILLY AVE	444-0033-064-00	MB-T3	RS	
743 LILLY AVE	444-0033-063-00	MB-T3	RS	
735 LILLY AVE	444-0033-062-00	MB-T3	RS	
24320 GROOM ST	444-0033-061-00	MB-T3	RS	
SYCAMORE AVE	444-0033-060-07	MB-T3	RS	
24467 GROOM ST	444-0033-056-02	MB-T3	RS	
24359 GROOM ST	444-0033-055-02	MB-T3	RS	
24351 GROOM ST	444-0033-054-02	MB-T3	RS	
24343 GROOM ST	444-0033-053-02	MB-T3	RS	
24335 GROOM ST	444-0033-052-02	MB-T3	RS	
24329 GROOM ST	444-0033-051-02	MB-T3	RS	
24319 GROOM ST	444-0033-050-02	MB-T3	RS	
24311 GROOM ST	444-0033-049-02	MB-T3	RS	
24297 GROOM ST	444-0033-048-02	MB-T3	RS	
714 LILLY AVE	444-0033-044-00	MB-T3	RS	
722 LILLY AVE	444-0033-043-00	MB-T3	RS	
730 LILLY AVE	444-0033-042-01	MB-T3	RS	
738 LILLY AVE	444-0033-041-00	MB-T3	RS	
746 LILLY AVE	444-0033-040-00	MB-T3	RS	
754 LILLY AVE	444-0033-039-00	MB-T3	RS	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
762 LILLY AVE	444-0033-038-00	MB-T3	RS	
770 LILLY AVE	444-0033-037-00	MB-T3	RS	
778 LILLY AVE	444-0033-036-00	MB-T3	RS	
24308 EDITH ST	444-0033-035-00	MB-T3	RS	
24316 EDITH ST	444-0033-034-00	MB-T3	RS	
24324 EDITH ST	444-0033-033-00	MB-T3	RS	
24332 EDITH ST	444-0033-032-00	MB-T3	RS	
24340 EDITH ST	444-0033-031-00	MB-T3	RS	
24348 EDITH ST	444-0033-030-00	MB-T3	RS	
24356 EDITH ST	444-0033-029-00	MB-T3	RS	
24464 EDITH ST	444-0033-028-00	MB-T3	RS	
24472 EDITH ST	444-0033-027-00	MB-T3	RS	
24480 EDITH ST	444-0033-026-00	MB-T3	RS	
24488 EDITH ST	444-0033-025-00	MB-T3	RS	
24496 EDITH ST	444-0033-024-00	MB-T3	RS	
24491 MISSION BLVD	444-0033-023-00	MB-T4-1	MB-CN	
24471 MISSION BLVD	444-0033-022-01	MB-T4-1	MB-CN	
24331 MISSION BLVD	444-0033-020-00	MB-T4-1	MB-CN	
24321 MISSION BLVD	444-0033-019-00	MB-T4-1	MB-CN	
24311 MISSION BLVD	444-0033-018-01	MB-T4-1	MB-CN	
24289 MISSION BLVD	444-0033-016-02	MB-T4-1	MB-CN	
24241 MISSION BLVD	444-0033-015-02	MB-T4-1	MB-CN	
24175 MISSION BLVD	444-0033-014-02	MB-T4-1	MB-CN	
813 PINEDALE CT	444-0033-013-00	MB-T3	RS	
809 PINEDALE CT	444-0033-012-00	MB-T3	RS	
805 PINEDALE CT	444-0033-011-00	MB-T3	RS	
801 PINEDALE CT	444-0033-010-00	MB-T3	RS	
795 PINEDALE CT	444-0033-009-00	MB-T3	RS	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
785 PINEDALE CT	444-0033-008-00	MB-T3	RS	
775 PINEDALE CT	444-0033-007-00	MB-T3	RS	
765 PINEDALE CT	444-0033-006-00	MB-T3	RS	
755 PINEDALE CT	444-0033-005-00	MB-T3	RS	
745 PINEDALE CT	444-0033-004-00	MB-T3	RS	
735 PINEDALE CT	444-0033-003-02	MB-T3	RS	
725 PINEDALE CT	444-0033-002-00	MB-T3	RS	
715 PINEDALE CT	444-0033-001-00	MB-T3	RS	
23989 WATKINS ST	444-0030-055-00	MB-T4-1	MB-CN	
JACKSON ST	444-0030-054-00	MB-T4-1	MB-CN	
771 JACKSON ST	444-0030-053-00	MB-T4-1	MB-CN	
781 FLETCHER LN	444-0030-050-03	MB-T4-1	MB-CN	
760 FLETCHER LN	444-0030-049-04	MB-T4-1	MB-CN	
24089 WATKINS ST	444-0030-048-00	MB-T4-1	MB-CN	
794 FLETCHER LN	444-0030-045-13	MB-T4-1	MB-CN	
799 FLETCHER LN	444-0030-045-09	MB-T4-1	MB-CN	
795 FLETCHER LN	444-0030-045-06	MB-T4-1	MB-CN	
702 PINEDALE CT	444-0030-042-05	MB-T3	RS	
704 PINEDALE CT	444-0030-041-00	MB-T3	RS	
714 PINEDALE CT	444-0030-040-00	MB-T3	RS	
724 PINEDALE CT	444-0030-039-00	MB-T3	RS	
734 PINEDALE CT	444-0030-038-00	MB-T3	RS	
748 PINEDALE CT	444-0030-037-00	MB-T3	RS	
756 PINEDALE CT	444-0030-036-00	MB-T3	RS	
764 PINEDALE CT	444-0030-035-00	MB-T3	RS	
774 PINEDALE CT	444-0030-034-00	MB-T3	RS	
776 PINEDALE CT	444-0030-033-00	MB-T3	RS	
778 PINEDALE CT	444-0030-032-00	MB-T3	RS	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
780 PINEDALE CT	444-0030-031-00	MB-T4-1	MB-CN	
804 PINEDALE CT	444-0030-030-00	MB-T3	RS	
808 PINEDALE CT	444-0030-029-00	MB-T3	RS	
812 PINEDALE CT	444-0030-028-00	MB-T3	RS	
816 PINEDALE CT	444-0030-027-00	MB-T3	RS	
822 PINEDALE CT	444-0030-026-02	MB-CS	MB-CS	
MISSION BLVD	444-0030-025-02	MB-CS	MB-CS	
24137 MISSION BLVD	444-0030-024-03	MB-T4-1	MB-CN	Commercial Overlay 2
24119 MISSION BLVD	444-0030-019-03	MB-T4-1	MB-CN	Commercial Overlay 2
805 FLETCHER LN	444-0030-017-01	MB-T4-1	MB-CN	
24087 MISSION BLVD	444-0030-016-02	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24061 MISSION BLVD	444-0030-015-02	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24045 MISSION BLVD	444-0030-014-02	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24031 MISSION BLVD	444-0030-013-02	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24019 MISSION BLVD	444-0030-012-02	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
MISSION BLVD	444-0030-011-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
24000 WATKINS ST	444-0030-010-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
23993 MISSION BLVD	444-0030-009-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
WATKINS ST	444-0030-008-00	MB-T4-1-COMM 2	MB-CN	
23981 MISSION BLVD	444-0030-007-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
23969 MISSION BLVD	444-0030-006-01	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
23901 MISSION BLVD	444-0030-003-01	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
827 JACKSON ST	444-0030-002-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
823 JACKSON ST	444-0030-001-00	MB-T4-1-COMM 2	MB-CN	Commercial Overlay 2
22344 MISSION BLVD	428-0056-070-01	MB-CS-HEIGHT	MB-CS	
22372 MISSION BLVD	428-0056-006-03	MB-CS-HEIGHT	MB-CS	
22336 MISSION BLVD	428-0056-003-01	MB-CS-HEIGHT	MB-CS	
22326 MISSION BLVD	428-0056-002-01	MB-CS-HEIGHT	MB-CS	
22312 MISSION BLVD	428-0056-001-00	MB-CS-HEIGHT	MB-CS	
22431 MISSION BLVD	428-0051-040-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22421 MISSION BLVD	428-0051-039-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22419 MISSION BLVD	428-0051-038-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
803 SMALLEY AVE	428-0051-036-01	MB-T4-1-HEIGHT	MB-CN	
783 SMALLEY AVE	428-0051-034-00	MB-T4-1-HEIGHT	MB-CN	
808 SMALLEY AVE	428-0051-028-00	MB-T4-1-HEIGHT	MB-CN	
820 SMALLEY AVE	428-0051-027-00	MB-T4-1-HEIGHT	MB-CN	
22385 MISSION BLVD	428-0051-026-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
22365 MISSION BLVD	428-0051-025-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22357 MISSION BLVD	428-0051-024-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
MELVIN CT	428-0051-023-00	MB-T4-1-HEIGHT	MB-CN	
22351 MISSION BLVD	428-0051-012-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22331 MISSION BLVD	428-0051-011-03	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22301 MISSION BLVD	428-0051-010-02	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
811 GRACE ST	428-0051-009-00	MB-T4-1-HEIGHT	MB-CN	
805 GRACE ST	428-0051-008-00	MB-T4-1-HEIGHT	MB-CN	
22269 MISSION BLVD	428-0036-127-02	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22240 MONTGOMERY ST	428-0036-092-01	MB-T4-1-HEIGHT, RM	MB-CN, RM	
718 GRACE ST	428-0036-083-00	MB-T3	RS	
724 GRACE ST	428-0036-082-00	MB-T3	RS	
742 GRACE ST	428-0036-081-00	MB-T3	RS	
760 GRACE ST	428-0036-080-00	MB-T4-1-HEIGHT	MB-CN	
22289 PEARCE ST	428-0036-079-00	MB-T4-1-HEIGHT	MB-CN	
22275 PEARCE ST	428-0036-078-00	MB-T4-1-HEIGHT	MB-CN	
22271 PEARCE ST	428-0036-077-00	MB-T4-1-HEIGHT	MB-CN	
22265 PEARCE ST	428-0036-076-00	MB-T4-1-HEIGHT	MB-CN	
22259 PEARCE ST	428-0036-075-00	MB-T4-1-HEIGHT	MB-CN	
22251 PEARCE ST	428-0036-074-00	MB-T4-1-HEIGHT	MB-CN	
22243 PEARCE ST	428-0036-073-00	MB-T4-1-HEIGHT	MB-CN	
22229 PEARCE ST	428-0036-071-00	MB-T4-1-HEIGHT	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
22215 PEARCE ST	428-0036-070-01	MB-T4-1-HEIGHT	MB-CN	
22218 PEARCE ST	428-0036-068-00	MB-T4-1-HEIGHT	MB-CN	
22224 PEARCE ST	428-0036-067-00	MB-T4-1-HEIGHT	MB-CN	
22240 PEARCE ST	428-0036-065-00	MB-T4-1-HEIGHT	MB-CN	
22297 MISSION BLVD	428-0036-064-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22287 MISSION BLVD 1-20	428-0036-063-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22257 MISSION BLVD	428-0036-060-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22249 MISSION BLVD	428-0036-059-02	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22235 MISSION BLVD	428-0036-058-01	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22221 MISSION BLVD	428-0036-056-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22211 MISSION BLVD	428-0036-055-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
22209 MISSION BLVD	428-0036-054-00	MB-T4-1-HEIGHT	MB-CN	Commercial Overlay 2
720 Simon	428-0036-042-00	CC-C	RM	
800 SIMON ST	428-0036-041-00	MB-T4-1-HEIGHT	MB-CN	
806 SIMON ST	428-0036-040-00	MB-T4-1-HEIGHT	MB-CN	
22187 MISSION BLVD	428-0036-039-00	MB-T4-1-HEIGHT	MB-CN	
22183 MISSION BLVD	428-0036-038-00	MB-T4-1-HEIGHT	MB-CN	
22177 MISSION BLVD	428-0036-037-00	MB-T4-1-HEIGHT	MB-CN	
22171 MISSION BLVD	428-0036-036-00	MB-T4-1-HEIGHT	MB-CN	
22161 MISSION BLVD	428-0036-035-00	MB-T4-1-HEIGHT	MB-CN	



<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
22145 MISSION BLVD	428-0036-034-00	MB-T4-1-HEIGHT	MB-CN	
22143 MISSION BLVD	428-0036-033-00	MB-T4-1-HEIGHT	MB-CN	
22137 MISSION BLVD	428-0036-032-00	MB-T4-1-HEIGHT	MB-CN	
22135 MISSION BLVD	428-0036-031-00	MB-T4-1-HEIGHT	MB-CN	
22125 MISSION BLVD	428-0036-030-00	MB-T4-1-HEIGHT	MB-CN	
22101 MISSION BLVD	428-0036-029-00	MB-T4-1-HEIGHT	MB-CN	
829 SUNSET BLVD	428-0036-028-00	MB-T4-1-HEIGHT	MB-CN	
22220 MISSION BLVD	428-0031-073-01	MB-T4-1-HEIGHT	MB-CN	
22230 MISSION BLVD	428-0031-070-00	MB-T4-1-HEIGHT	MB-CN	
22250 MISSION BLVD	428-0031-069-01	MB-T4-1-HEIGHT	MB-CN	
22262 MISSION BLVD	428-0031-067-00	MB-T4-1-HEIGHT	MB-CN	
22270 MISSION BLVD	428-0031-066-00	MB-T4-1-HEIGHT	MB-CN	
22282 MISSION BLVD	428-0031-065-00	MB-T4-1-HEIGHT	MB-CN	
22300 MISSION BLVD	428-0031-064-00	MB-T4-1-HEIGHT	MB-CN	
925 SIMON ST	428-0031-051-00	MB-T4-1-HEIGHT	MB-CN	
22200 MISSION BLVD	428-0031-050-00	MB-T4-1-HEIGHT	MB-CN	
22110 MISSION BLVD	428-0031-026-00	MB-T4-1-HEIGHT	MB-CN	
MISSION BLVD	428-0031-025-00	MB-T4-1-HEIGHT	MB-CN	
22126 MISSION BLVD	428-0031-024-01	MB-T4-1-HEIGHT	MB-CN	
22140 MISSION BLVD	428-0031-022-00	MB-T4-1-HEIGHT	MB-CN	
22146 MISSION BLVD	428-0031-021-00	MB-T4-1-HEIGHT	MB-CN	
22154 MISSION BLVD	428-0031-020-00	MB-T4-1-HEIGHT	MB-CN	
22168 MISSION BLVD	428-0031-019-00	MB-T4-1-HEIGHT	MB-CN	
22174 MISSION BLVD	428-0031-018-00	MB-T4-1-HEIGHT	MB-CN	
22182 MISSION BLVD	428-0031-017-00	MB-T4-1-HEIGHT	MB-CN	
22196 MISSION BLVD	428-0031-016-00	MB-T4-1-HEIGHT	MB-CN	
925 SUNSET BLVD	428-0031-002-00	MB-T4-1-HEIGHT	MB-CN	
22104 MISSION BLVD	428-0031-001-01	MB-T4-1-HEIGHT	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
21846 MISSION BLVD	428-0011-096-00	MB-T4-1-HEIGHT	MB-CN	
21854 MISSION BLVD	428-0011-095-06	MB-T4-1-HEIGHT	MB-CN	
21854 MISSION BLVD	428-0011-095-05	MB-T4-1-HEIGHT	MB-CN	
21854 MISSION BLVD	428-0011-095-04	MB-T3	RS	
21986 MISSION BLVD	428-0011-092-00	MB-T4-1-HEIGHT	MB-CN	
21994 MISSION BLVD	428-0011-091-00	MB-T4-1-HEIGHT	MB-CN	
21994 MISSION BLVD	428-0011-090-00	MB-T3	RS	
SUNSET BLVD	428-0011-089-00	MB-T3	RS	
925 ROSE ST	428-0011-079-00	MB-T4-1-HEIGHT	MB-CN	
917 ROSE ST	428-0011-078-00	MB-T4-1-HEIGHT	MB-CN	
911 ROSE ST	428-0011-077-00	MB-T4-1-HEIGHT	MB-CN	
21730 MISSION BLVD	428-0011-076-02	MB-T4-1-HEIGHT	MB-CN	
926 ROSE ST	428-0011-026-00	CC-C	MB-CN	
918 ROSE ST	428-0011-025-00	MB-T4-1-HEIGHT	MB-CN	
912 ROSE ST	428-0011-024-02	MB-T4-1-HEIGHT	MB-CN	
904 ROSE ST	428-0011-024-01	MB-T4-1-HEIGHT	MB-CN	
21739 MISSION BLVD	428-0006-110-00	MB-T4-1-HEIGHT	MB-CN	
21739 MISSION BLVD	428-0006-109-00	MB-T4-1-HEIGHT	MB-CN	
22062 MONTGOMERY ST	428-0006-069-01	MB-T4-1-HEIGHT	MB-CN	
21995 MISSION BLVD	428-0006-065-00	MB-T4-1-HEIGHT	MB-CN	
21855 MISSION BLVD	428-0006-062-00	MB-T4-1-HEIGHT	MB-CN	
21715 MISSION BLVD	428-0006-060-01	MB-T4-1-HEIGHT	MB-CN	
21659 MISSION BLVD	428-0006-058-01	MB-T4-1-HEIGHT	MB-CN	
INDUSTRIAL PKWY	083-0482-021-00	PD	PD	
INDUSTRIAL PKWY	083-0482-019-00	PD	PD	
INDUSTRIAL PKWY	083-0482-017-00	PD	PD	
INDUSTRIAL PKWY	083-0482-016-00	PD	PD	
INDUSTRIAL PKWY	083-0482-015-00	PD	PD	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
INDUSTRIAL PKWY	083-0482-014-00	PD	PD	
INDUSTRIAL PKWY	083-0482-013-00	PD	PD	
INDUSTRIAL PKWY	083-0482-012-00	PD	PD	
INDUSTRIAL PKWY	083-0482-011-00	PD	PD	
INDUSTRIAL PKWY	083-0482-009-00	PD	PD	
INDUSTRIAL PKWY	083-0482-008-00	PD	PD	
INDUSTRIAL PKWY	083-0482-006-00	PD	PD	
INDUSTRIAL PKWY	083-0482-005-00	PD	PD	
INDUSTRIAL PKWY	083-0482-004-00	PD	PD	
INDUSTRIAL PKWY	083-0482-003-00	PD	PD	
INDUSTRIAL PKWY	083-0482-002-00	PD	PD	
INDUSTRIAL PKWY	083-0482-001-00	PD	PD	
INDUSTRIAL PKWY	083-0481-019-00	PD	PD	
INDUSTRIAL PKWY	083-0481-018-00	PD	PD	
INDUSTRIAL PKWY	083-0481-017-00	PD	PD	
INDUSTRIAL PKWY	083-0481-016-00	PD	PD	
INDUSTRIAL PKWY	083-0481-015-00	PD	PD	
INDUSTRIAL PKWY	083-0481-014-00	PD	PD	
INDUSTRIAL PKWY	083-0481-013-00	PD	PD	
INDUSTRIAL PKWY	083-0481-012-00	PD	PD	
INDUSTRIAL PKWY	083-0481-011-00	PD	PD	
INDUSTRIAL PKWY	083-0481-009-00	PD	PD	
INDUSTRIAL PKWY	083-0481-007-00	PD	PD	
INDUSTRIAL PKWY	083-0481-006-00	PD	PD	
INDUSTRIAL PKWY	083-0481-005-00	PD	PD	
INDUSTRIAL PKWY	083-0481-004-00	PD	PD	
INDUSTRIAL PKWY	083-0481-003-00	PD	PD	
INDUSTRIAL PKWY	083-0481-002-00	PD	PD	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
INDUSTRIAL PKWY	083-0481-001-00	PD	PD	
INDUSTRIAL PKWY	083-0460-011-02	S-CS	PD	
PACIFIC ST	083-0455-010-02	S-CS	PD	
29824 MISSION BLVD	083-0251-086-06	S-T4	MB-CN	
29800 WOODLAND AVE	083-0251-086-04	S-T4	MB-CN	
29824 MISSION BLVD	083-0251-085-04	S-T4	MB-CN	
29862 MISSION BLVD	083-0251-085-02	S-T4	MB-CN	
29874 MISSION BLVD	083-0251-084-00	S-T4	MB-CN	
ARROWHEAD WAY	078G-2651-017-02	A, S-T4	A, MB-CN	
375 INDUSTRIAL PKWY	078G-2651-014-00	S-T4	MB-CN	
339 INDUSTRIAL PKWY	078G-2651-013-00	S-T4	MB-CN	
INDUSTRIAL PKWY	078G-2651-012-08	S-T4	MB-CN	
411 INDUSTRIAL PKWY	078G-2651-011-02	S-T4	MB-CN	
29851 MISSION BLVD	078G-2651-010-03	S-T4	MB-CN	
29705 MISSION BLVD	078G-2651-009-02	S-T4	MB-CN	
29875 MISSION BLVD	078G-2651-008-00	S-T4	MB-CN	
MISSION BLVD	078C-0804-012-00	PD	PD	
MISSION BLVD	078C-0804-011-00	PD	PD	
MISSION BLVD	078C-0804-010-00	PD	PD	
MISSION BLVD	078C-0804-009-00	PD	PD	
MISSION BLVD	078C-0804-008-00	PD	PD	
MISSION BLVD	078C-0804-007-00	PD	PD	
MISSION BLVD	078C-0804-006-00	PD	PD	
MISSION BLVD	078C-0804-005-00	PD	PD	
MISSION BLVD	078C-0804-004-00	PD	PD	
MISSION BLVD	078C-0804-003-00	PD	PD	
MISSION BLVD	078C-0804-002-00	PD	PD	
MISSION BLVD	078C-0804-001-00	PD	PD	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
MISSION BLVD	078C-0803-027-00	PD	PD	
MISSION BLVD	078C-0803-026-00	PD	PD	
MISSION BLVD	078C-0803-025-00	PD	PD	
MISSION BLVD	078C-0803-024-00	PD	PD	
MISSION BLVD	078C-0803-023-00	PD	PD	
MISSION BLVD	078C-0803-022-00	PD	PD	
MISSION BLVD	078C-0803-021-00	PD	PD	
MISSION BLVD	078C-0803-020-00	PD	PD	
MISSION BLVD	078C-0803-019-00	PD	PD	
MISSION BLVD	078C-0803-018-00	PD	PD	
MISSION BLVD	078C-0803-017-00	PD	PD	
MISSION BLVD	078C-0803-016-00	PD	PD	
MISSION BLVD	078C-0803-015-00	PD	PD	
MISSION BLVD	078C-0803-014-00	PD	PD	
MISSION BLVD	078C-0803-013-00	PD	PD	
MISSION BLVD	078C-0803-012-00	PD	PD	
MISSION BLVD	078C-0803-011-00	PD	PD	
MISSION BLVD	078C-0803-010-00	PD	PD	
MISSION BLVD	078C-0803-009-00	PD	PD	
MISSION BLVD	078C-0803-008-00	S-CS	MB-CS	
MISSION BLVD	078C-0803-006-00	S-CS	PD, MB-CS	
MISSION BLVD	078C-0803-005-00	S-CS	PD, MB-CS	
MISSION BLVD	078C-0803-004-00	PD	PD	
MISSION BLVD	078C-0803-003-00	PD	PD	
MISSION BLVD	078C-0803-002-00	PD	PD	
MISSION BLVD	078C-0803-001-00	PD	PD	
MISSION BLVD	078C-0802-016-00	PD	PD	
MISSION BLVD	078C-0802-007-00	PD	PD	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
MISSION BLVD	078C-0802-006-00	PD	PD	
MISSION BLVD	078C-0802-004-00	PD	PD	
MISSION BLVD	078C-0802-003-00	PD	PD	
MISSION BLVD	078C-0802-002-00	PD	PD	
29213 MISSION BLVD	078C-0802-001-00	PD	PD	
28850 DIXON ST	078C-0801-001-00	PD, S-T5-1	PD	TOD Overlay 1
27572 MISSION BLVD	078C-0645-013-03	S-T4	MB-CN	
KELLOGG AVE	078C-0644-011-00	S-T4	MB-CN	
KELLOGG AVE	078C-0644-010-00	S-T4	MB-CN	
27630 MISSION BLVD	078C-0644-009-00	S-T4	MB-CN	
27654 MISSION BLVD	078C-0644-008-00	S-T4	MB-CN	
27690 MISSION BLVD	078C-0644-007-00	S-T4	MB-CN	
720 BROADWAY ST	078C-0644-006-00	S-T4	MB-CN	
744 BROADWAY ST	078C-0644-005-00	S-T4	MB-CN	
743 BROADWAY ST	078C-0638-010-00	S-T4, RS	MB-CN, RS	
727 BROADWAY ST	078C-0638-009-00	S-T4	MB-CN	
27702 MISSION BLVD	078C-0638-007-01	S-T4	MB-CN	
27794 MISSION BLVD	078C-0638-005-01	S-T4	MB-CN	
744 DOUGLAS ST	078C-0638-004-00	S-T4, RS	MB-CN, RS	
DOUGLAS ST	078C-0637-015-00	S-T4	MB-CN	
737 DOUGLAS ST	078C-0637-014-00	S-T4	MB-CN	
27820 MISSION BLVD	078C-0637-013-01	S-T4	MB-CN	
27826 MISSION BLVD	078C-0637-011-02	S-T4	MB-CN	
813 HANCOCK ST	078C-0626-016-00	S-T5	MB-CC	
815 HANCOCK ST	078C-0626-015-00	S-T5	MB-CC	
813 HANCOCK ST 5	078C-0626-014-00	S-T5	MB-CC	
811 HANCOCK ST	078C-0626-013-00	S-T5	MB-CC	
809 HANCOCK ST 3	078C-0626-012-00	S-T5	MB-CC	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
807 HANCOCK ST	078C-0626-011-00	S-T5	MB-CC	
805 HANCOCK ST	078C-0626-010-00	S-T5	MB-CC	
28090 MISSION BLVD	078C-0626-009-01	S-T4	MB-CN	
28030 MISSION BLVD	078C-0626-007-03	S-T4	MB-CN	
28000 MISSION BLVD	078C-0626-006-01	S-T4	MB-CN	
28564 MISSION BLVD	078C-0626-003-26	S-T5-2	MB-CC	TOD Overlay 2
28590 MISSION BLVD	078C-0626-003-25	S-T5-2	MB-CC	TOD Overlay 2
28472 MISSION BLVD	078C-0626-003-24	S-T5, RH	MB-CC, RH	
28546 MISSION BLVD	078C-0626-003-23	S-T5-2	MB-CC	TOD Overlay 2
28534 MISSION BLVD	078C-0626-003-12	S-T5-2	MB-CC	TOD Overlay 2
28168 MISSION BLVD	078C-0626-002-07	S-T5	MB-CC	
MISSION BLVD	078C-0626-002-03	S-T5	MB-CC	
28150 MISSION BLVD	078C-0626-001-15	S-T5	MB-CC	
MISSION BLVD	078C-0626-001-13	S-T5	MB-CC	
28900 MISSION BLVD	078C-0461-009-01	S-T5	MB-CC	TOD Overlay 2
28870 MISSION BLVD	078C-0461-007-00	S-T5	MB-CC	TOD Overlay 2
28824 MISSION BLVD	078C-0461-006-04	S-T5	MB-CC	TOD Overlay 2
28722 MISSION BLVD	078C-0461-005-00	S-T5-2	MB-CC	TOD Overlay 2
28700 MISSION BLVD	078C-0461-004-00	S-T5-2	MB-CC	TOD Overlay 2
29490 MISSION BLVD	078C-0455-008-13	S-T4	MB-CN	
MISSION BLVD	078C-0455-008-12	S-T4	MB-CN	
29498 MISSION BLVD	078C-0455-008-11	S-T4	MB-CN	
OVERHILL DR	078C-0455-008-10	S-T4	MB-CN	
657 OVERHILL DR	078C-0455-008-06	S-T4	MB-CN	
GREELEY CT	078C-0455-007-16	S-T4	MB-CN	
619 GREELEY CT	078C-0455-007-15	S-T4	MB-CN	
635 GREELEY CT	078C-0455-007-14	S-T4	MB-CN	
643 GREELEY CT	078C-0455-007-13	S-T4	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
627 GREELEY CT	078C-0455-007-06	S-T4	MB-CN	
29444 MISSION BLVD	078C-0455-007-04	S-T4	MB-CN	
29426 MISSION BLVD	078C-0455-006-08	S-T4	MB-CN	
29438 MISSION BLVD	078C-0455-006-07	S-T4	MB-CN	
29404 MISSION BLVD	078C-0455-006-03	S-T4	MB-CN	
29414 MISSION BLVD	078C-0455-006-01	S-T4	MB-CN	
29390 MISSION BLVD	078C-0455-005-01	S-T4	MB-CN	
29338 MISSION BLVD	078C-0455-002-00	S-T4	MB-CN	
29312 MISSION BLVD	078C-0455-001-08	S-T4	MB-CN	
29290 MISSION BLVD	078C-0455-001-07	S-T4	MB-CN	
648 OVERHILL DR	078C-0455-001-05	S-T4	MB-CN	
29212 MISSION BLVD	078C-0455-001-04	PD	PD	
29272 MISSION BLVD	078C-0455-001-03	S-T4	MB-CN	
422 INDUSTRIAL PKWY	078C-0450-008-03	S-T4	MB-CN	
418 INDUSTRIAL PKWY	078C-0450-006-10	S-T4	MB-CN	
29671 MISSION BLVD	078C-0450-003-08	S-T4	MB-CN	
29583 MISSION BLVD	078C-0450-001-02	S-T5	MB-CC	
MISSION BLVD	078C-0447-017-00	PD	PD	
MISSION BLVD	078C-0447-016-00	PD	PD	
MISSION BLVD	078C-0447-015-00	PD	PD	
MISSION BLVD	078C-0447-014-00	PD	PD	
MISSION BLVD	078C-0447-013-00	PD	PD	
MISSION BLVD	078C-0447-012-00	PD	PD	
MISSION BLVD	078C-0447-011-00	PD	PD	
MISSION BLVD	078C-0447-010-00	PD	PD	
MISSION BLVD	078C-0447-009-00	PD	PD	
MISSION BLVD	078C-0447-008-00	PD	PD	
378 VALLE VISTA AVE	078C-0447-007-06	S-T5, S-CS	MB-CC	TOD Overlay 2



<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
398 VALLE VISTA AVE	078C-0447-005-00	S-T5	MB-CC	Commercial Overlay 1
29159 MISSION BLVD	078C-0447-004-00	S-T5	MB-CC	Commercial Overlay 1
29083 MISSION BLVD	078C-0447-002-02	S-T5-2, S-CS	MB-CC	TOD Overlay 2
29097 MISSION BLVD	078C-0447-002-01	S-T5-2	MB-CC	TOD Overlay 2
28925 MISSION BLVD	078C-0441-006-00	PD	PD	TOD Overlay 1
TENNYSON RD	078C-0441-001-32	PD	PD	TOD Overlay 1
MISSION BLVD	078C-0441-001-31	S-T5-1	PD	TOD Overlay 1
DIXON ST	078C-0441-001-29	PD	PD	TOD Overlay 1
28955 MISSION BLVD	078C-0441-001-25	S-T5-2, S-T5-1, S-CS	MB-CC	TOD Overlay 2
MISSION BLVD	078C-0441-001-23	S-CS	PD	TOD Overlay 1
655 W TENNYSON RD	078C-0441-001-20	PD	PD	TOD Overlay 1
VALLE VISTA AVE	078C-0440-023-00	PD	PD	
29198 DIXON ST	078C-0440-022-00	PD	PD	
29196 DIXON ST	078C-0440-021-00	PD	PD	
29194 DIXON ST	078C-0440-020-00	PD	PD	
29192 DIXON ST	078C-0440-019-00	PD	PD	
29190 DIXON ST	078C-0440-018-00	PD	PD	
29188 DIXON ST	078C-0440-017-00	PD	PD	
29170 DIXON ST	078C-0440-016-02	S-T5-2	MB-CC	TOD Overlay 2
315 COPPERFIELD AVE	078C-0440-015-00	S-T5-2	MB-CC	TOD Overlay 2
323 COPPERFIELD AVE	078C-0440-014-00	S-T5-2	MB-CC	TOD Overlay 2
331 COPPERFIELD AVE	078C-0440-013-00	S-T5-2	MB-CC	TOD Overlay 2
339 COPPERFIELD AVE	078C-0440-012-00	S-T5-2	MB-CC	TOD Overlay 2
338 COPPERFIELD AVE	078C-0440-010-00	S-T5-2	MB-CC	TOD Overlay 2
332 COPPERFIELD AVE	078C-0440-009-00	S-T5-2	MB-CC	TOD Overlay 2
324 COPPERFIELD AVE	078C-0440-008-00	S-T5-2	MB-CC	TOD Overlay 2

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
316 COPPERFIELD AVE	078C-0440-007-00	S-T5-2	MB-CC	TOD Overlay 2
350 VALLE VISTA AVE	078C-0440-006-02	S-T5	MB-CC	TOD Overlay 2
29182 DIXON ST	078C-0440-004-02	S-T5-2	MB-CC	TOD Overlay 2
308 COPPERFIELD AVE	078C-0440-003-06	S-T5-2	MB-CC	TOD Overlay 2
29050 DIXON ST	078C-0440-002-06	S-T5-2	MB-CC	TOD Overlay 2
29018 DIXON ST	078C-0440-001-02	S-T5-2	MB-CC	TOD Overlay 2
325 VALLE VISTA AVE	078C-0438-073-00	S-T5	MB-CC	
29300 DIXON ST 317	078C-0438-072-00	S-T5	MB-CC	
325 VALLE VISTA AVE 217	078C-0438-071-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-070-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-069-00	S-T5	MB-CC	
29300 DIXON ST 216	078C-0438-068-00	S-T5	MB-CC	
29300 DIXON ST 116	078C-0438-067-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-066-00	S-T5	MB-CC	
29300 DIXON ST 215	078C-0438-065-00	S-T5	MB-CC	
29300 DIXON ST 115	078C-0438-064-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-063-00	S-T5	MB-CC	
29300 DIXON ST 214	078C-0438-062-00	S-T5	MB-CC	
325 VALLE VISTA AVE 114	078C-0438-061-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-060-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-059-00	S-T5	MB-CC	
29300 DIXON ST 113	078C-0438-058-00	S-T5	MB-CC	
29300 DIXON ST 312	078C-0438-057-00	S-T5	MB-CC	
29300 DIXON ST 212	078C-0438-056-00	S-T5	MB-CC	
29300 DIXON ST 112	078C-0438-055-00	S-T5	MB-CC	
29300 DIXON ST 311	078C-0438-054-00	S-T5	MB-CC	
325 VALLE VISTA AVE 211	078C-0438-053-00	S-T5	MB-CC	
325 VALLE VISTA AVE 111	078C-0438-052-00	S-T5	MB-CC	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
325 VALLE VISTA AVE	078C-0438-051-00	S-T5	MB-CC	
325 VALLE VISTA AVE 210	078C-0438-050-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-049-00	S-T5	MB-CC	
29300 DIXON ST 309	078C-0438-048-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-047-00	S-T5	MB-CC	
325 VALLE VISTA AVE 109	078C-0438-046-00	S-T5	MB-CC	
29300 DIXON ST 308	078C-0438-045-00	S-T5	MB-CC	
29300 DIXON ST 208	078C-0438-044-00	S-T5	MB-CC	
29300 DIXON ST 108	078C-0438-043-00	S-T5	MB-CC	
29300 DIXON ST 307	078C-0438-042-00	S-T5	MB-CC	
29300 DIXON ST 207	078C-0438-041-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-040-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-039-00	S-T5	MB-CC	
29300 DIXON ST 206	078C-0438-038-00	S-T5	MB-CC	
29300 DIXON ST 106	078C-0438-037-00	S-T5	MB-CC	
325 VALLE VISTA AVE 305	078C-0438-036-00	S-T5	MB-CC	
29300 DIXON ST 205	078C-0438-035-00	S-T5	MB-CC	
29300 DIXON ST 105	078C-0438-034-00	S-T5	MB-CC	
29300 DIXON ST 304	078C-0438-033-00	S-T5	MB-CC	
325 VALLE VISTA AVE 204	078C-0438-032-00	S-T5	MB-CC	
325 VALLE VISTA AVE 104	078C-0438-031-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-030-00	S-T5	MB-CC	
29300 DIXON ST	078C-0438-029-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-028-00	S-T5	MB-CC	
29300 DIXON ST 302	078C-0438-027-00	S-T5	MB-CC	
325 VALLE VISTA AVE	078C-0438-026-00	S-T5	MB-CC	
325 VALLE VISTA AVE 102	078C-0438-025-00	S-T5	MB-CC	
29300 DIXON ST 301	078C-0438-024-00	S-T5	MB-CC	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
29300 DIXON ST 201	078C-0438-023-00	S-T5	MB-CC	
29300 DIXON ST 101	078C-0438-022-00	S-T5	MB-CC	
29324 DIXON ST	078C-0438-020-00	S-T5	MB-CC	
29360 DIXON ST	078C-0438-019-04	S-T5	MB-CC	
29536 DIXON ST	078C-0438-018-02	S-T4	MB-CN	
29596 DIXON ST	078C-0438-016-05	S-T4	MB-CN	
29553 MISSION BLVD	078C-0438-015-02	S-T5	MB-CC	
29553 MISSION BLVD	078C-0438-015-01	S-T5	MB-CC	
29547 MISSION BLVD	078C-0438-014-00	S-T5	MB-CC	
29497 MISSION BLVD	078C-0438-013-06	S-T5	MB-CC	
29479 MISSION BLVD	078C-0438-012-00	S-T5	MB-CC	Commercial Overlay 2
29459 MISSION BLVD	078C-0438-011-02	S-T5	MB-CC	Commercial Overlay 2
363 VALLE VISTA AVE	078C-0438-004-02	S-T5	MB-CC	
349 VALLE VISTA AVE	078C-0438-003-02	S-T5	MB-CC	
29314 DIXON ST	078C-0438-001-09	S-T5	MB-CC	
390 INDUSTRIAL PKWY	078C-0437-008-02	S-T4	MB-CN	
338 INDUSTRIAL PKWY	078C-0437-007-03	S-T4	MB-CN	
29668 DIXON ST	078C-0437-003-09	S-T4	MB-CN	
29686 DIXON ST	078C-0437-003-07	S-T4	MB-CN	
328 INDUSTRIAL PKWY	078C-0437-003-05	S-T4	MB-CN	
29660 DIXON ST	078C-0437-002-02	S-T4	MB-CN	
29642 DIXON ST	078C-0437-001-02	S-T4	MB-CN	
260 INDUSTRIAL PKWY	078C-0436-158-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 48	078C-0436-157-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 47	078C-0436-156-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 46	078C-0436-155-00	S-T4	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
260 INDUSTRIAL PKWY 45	078C-0436-154-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 44	078C-0436-153-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 43	078C-0436-152-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 42	078C-0436-151-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 41	078C-0436-150-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 40	078C-0436-149-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 39	078C-0436-148-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 38	078C-0436-147-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 37	078C-0436-146-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 36	078C-0436-145-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 35	078C-0436-144-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 34	078C-0436-143-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 33	078C-0436-142-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 32	078C-0436-141-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 31	078C-0436-140-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 30	078C-0436-139-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 29	078C-0436-138-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 28	078C-0436-137-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 27	078C-0436-136-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 26	078C-0436-135-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 25	078C-0436-134-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 24	078C-0436-133-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 23	078C-0436-132-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 22	078C-0436-131-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 21	078C-0436-130-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 20	078C-0436-129-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 19	078C-0436-128-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 18	078C-0436-127-00	S-T4	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
260 INDUSTRIAL PKWY 17	078C-0436-126-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 16	078C-0436-125-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 15	078C-0436-124-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 14	078C-0436-123-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 13	078C-0436-122-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 12	078C-0436-121-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 11	078C-0436-120-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 10	078C-0436-119-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 9	078C-0436-118-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 8	078C-0436-117-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 7	078C-0436-116-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 6	078C-0436-115-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 5	078C-0436-114-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 4	078C-0436-113-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 3	078C-0436-112-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 2	078C-0436-111-00	S-T4	MB-CN	
260 INDUSTRIAL PKWY 1	078C-0436-110-00	S-T4	MB-CN	
INDUSTRIAL PKWY	078C-0436-010-04	S-T4	MB-CN	
29697 DIXON ST	078C-0436-008-03	S-T4	MB-CN	
29695 DIXON ST	078C-0436-006-02	S-T4	MB-CN	
29689 DIXON ST	078C-0436-005-02	S-T4	MB-CN	
29683 DIXON ST	078C-0436-004-02	S-T4	MB-CN	
29667 DIXON ST	078C-0436-003-02	S-T4	MB-CN	
29659 DIXON ST	078C-0436-002-02	S-T4	MB-CN	
29615 DIXON ST	078C-0436-001-15	S-T4	MB-CN	
29633 DIXON ST	078C-0436-001-06	S-T4	MB-CN	
29571 DIXON ST	078C-0435-005-02	S-T4	MB-CN	
29529 DIXON ST	078C-0435-004-02	S-T4	MB-CN	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
29495 DIXON ST	078C-0435-003-02	S-T4	MB-CN	
29405 DIXON ST	078C-0435-002-04	S-T5	MB-CC	
29397 DIXON ST	078C-0435-001-04	S-T5	MB-CC	
VALLE VISTA AVE	078C-0435-001-03	S-CS	MB-CS	
DIXON ST	078C-0434-022-00	S-T5	MB-CC	
29245 DIXON ST	078C-0434-021-00	S-T5	MB-CC	
29243 DIXON ST	078C-0434-020-00	S-T5	MB-CC	
29241 DIXON ST	078C-0434-019-00	S-T5	MB-CC	
29239 DIXON ST	078C-0434-018-00	S-T5	MB-CC	
VALLE VISTA AVE	078C-0434-017-03	S-CS	MB-CS	
VALLE VISTA AVE	078C-0434-017-02	S-CS	MB-CC	
VALLE VISTA AVE	078C-0434-016-02	S-CS	MB-CS	
29371 DIXON ST	078C-0434-015-05	S-T5	MB-CC	
29367 DIXON ST	078C-0434-012-06	S-T5	MB-CC	
29359 DIXON ST	078C-0434-011-11	S-T5	MB-CC	
29289 DIXON ST	078C-0434-009-08	S-T5	MB-CC	
29213 DIXON ST	078C-0434-006-06	S-T5	MB-CC	
249 VALLE VISTA AVE	078C-0434-006-04	S-T5	MB-CC	
241 VALLE VISTA AVE	078C-0434-005-02	S-T5	MB-CC	
231 VALLE VISTA AVE	078C-0434-004-02	S-T5	MB-CC	
227 VALLE VISTA AVE	078C-0434-003-02	S-T5	MB-CC	
VALLE VISTA AVE	078C-0434-002-02	S-T5	MB-CC	
VALLE VISTA AVE	078C-0434-002-01	S-T5	MB-CC	
218 VALLE VISTA AVE	078C-0433-008-03	S-CS, S-T5	MB-CC	
224 VALLE VISTA AVE	078C-0433-007-04	S-T5	MB-CC	TOD Overlay 2
232 VALLE VISTA AVE	078C-0433-006-02	S-T5	MB-CC	TOD Overlay 2
240 VALLE VISTA AVE	078C-0433-005-02	S-T5	MB-CC	TOD Overlay 2
29187 DIXON ST	078C-0433-004-13	S-T5	MB-CC	

<b>Parcel Address</b>	<b>Assessor Parcel No. (APN)</b>	<b>Existing Zoning with Overlay</b>	<b>Proposed Zoning District</b>	<b>Proposed Overlay</b>
29183 DIXON ST	078C-0433-004-11	S-T5	MB-CC	
292 VALLE VISTA AVE	078C-0433-004-09	S-T5	MB-CC	
29185 DIXON ST	078C-0433-004-07	S-T5	MB-CC	
DIXON ST	078C-0433-003-06	S-T5-2, S-CS	MB-CC	TOD Overlay 2
29163 DIXON ST	078C-0433-002-10	S-T5-2, S-CS	MB-CC	TOD Overlay 2
29175 DIXON ST	078C-0433-002-08	S-T5-2	MB-CC	TOD Overlay 2
29125 DIXON ST	078C-0433-001-06	S-T5-2, S-CS	MB-CC	TOD Overlay 2
29009 DIXON ST	078C-0432-013-01	S-T5-2, S-CS	MB-CC	TOD Overlay 2
29061 DIXON ST	078C-0432-006-06	S-T5-2, S-CS	MB-CC	TOD Overlay 2
29039 DIXON ST	078C-0432-005-08	S-T5-2, S-CS	MB-CC	TOD Overlay 2
29017 DIXON ST	078C-0432-002-07	S-T5-2, S-CS	MB-CC	TOD Overlay 2



**EXHIBIT “B” - PROPOSED TEXT AMENDMENTS - HAYWARD MUNICIPAL CODE****Chapter 10 (Planning, Zoning, and Subdivisions)****Article 1 Zoning Ordinance**Sec. 10-1.2735(c) - Special Standards and Conditions For Certain Uses.

Unattended Collection Box. A zoning conformance permit is required prior to placement of an unattended collection box on a property that is zoned General Commercial, Neighborhood Commercial, Mission Boulevard Code (MB-CN, MB-NN, MB-CC) . An unattended collection box owned, operated and maintained by a currently operating primary or permitted use engaged in the collection of used textiles and that is located on the site of that use shall not require zoning conformance permit approval. However, such box shall meet all other requirements and standards as set forth in this subsection.

**Article 7 Sign Regulations**Sec. 10-7.502(f) - Sign Regulations by Use.

(f) Form-Based Code Districts—All (MB-CN, MB-NN, MB-CCand MB-CS).

Sign Types Allowed	Total Max. No.	Max. Area	Illumination	Additional Provisions
<b>General</b> <ul style="list-style-type: none"> <li>• Awning</li> <li>• Hanging</li> <li>• Marquee</li> <li>• Monument</li> <li>• Overhang</li> <li>• Projecting</li> <li>• Temporary</li> <li>• Wall</li> <li>• Window</li> <li>• Signs of historical or aesthetic significance</li> </ul>	2 signs per frontage. 4 signs max per establishment unless otherwise approved by Development Services Director. Temporary window signs do not count toward the total.	<b>Sign Corridor Overlay District (see <a href="#">Section 10-7.211</a>):</b> 2 sq. ft. per linear footage of primary frontage. 30 percent of primary frontage for secondary frontage signs. <b>All other (outside of Sign Corridor Overlay District):</b> 1 sq. ft. per linear footage of primary frontage. ½ sq. ft. per linear footage of secondary frontage. 30 sq. ft. min for Principle Frontage 100 sq. ft. max. per frontage	<ul style="list-style-type: none"> <li>• See <a href="#">section 10-7.209</a> for lighting restrictions.</li> <li>• External lighting is encouraged.</li> <li>• Neon or day glow must be approved.</li> <li>• Signs may be illuminated with directional spotlights or indirect lighting if the effect at night is not glaringly bright.</li> </ul>	<ul style="list-style-type: none"> <li>• Only 1 frontage, which contains a public entrance, can be counted as Principle Frontage. All other building Frontages, which have exposure to pedestrian or vehicular traffic, are considered Secondary Frontages.</li> </ul>

Article 24 – Mission Boulevard Code

See Attachment VI for Replacement Text for Mission Boulevard Code

Article 25 – RESERVED

~~strikethrough~~ = deleted; underline = replacement text



# MISSION BOULEVARD CODE

City of Hayward, California  
Public Hearing Draft | July 2020

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# Sub Article 10-24.1: Introduction

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## Division 10-24.1.1 Purpose and Intent

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### 10-24.1.1.010 Purpose and Intent

- A. This Article of the Hayward Municipal Code shall be known, and may be cited, as the Mission Boulevard Code. References to “Code” within this Article are references to the Mission Boulevard Code unless the text indicates otherwise. References to the “Municipal Code” refer to the Hayward Municipal Code and references to “Hayward Zoning Code” refer to [Chapter 10, Article 1 of the Hayward Municipal Code](#).
- B. This Code carries out the policies of the Hayward General Plan for the Mission Boulevard Code Area (Code Area) identified in [Figure 2.1.020.1 \(Mission Boulevard Code Regulating Plan\)](#) by classifying and regulating the types and intensities of development and land uses within the Code Area consistent with, and in furtherance of, the policies and objectives of the General Plan. This Code is adopted to protect and promote the public health, safety, comfort, convenience, prosperity, and general welfare of the community.
- C. This Code is a tool for implementing the goals, objectives, and policies of the Hayward General Plan, pursuant to the mandated provisions of the State Planning and Zoning Law, the California Environmental Quality Act, and other applicable State and local requirements.

---

### 10-24.1.1.020 Effective Date

The Mission Boulevard Code has an effective date of {[to be completed](#)}.

### 10-24.1.1.030 Applicability

- A. This Code applies to all land uses, subdivisions, and development within the Code Area identified in [Figure 2.1.020.1 \(Mission Boulevard Code Regulating Plan\)](#).
- B. It shall be unlawful and a violation of this Code for any person to establish, construct, reconstruct, enlarge, alter, or replace any use of land or structure, except in compliance with the requirements listed below, including those relating to nonconforming uses, structures, and parcels. No building permit or grading permit shall be issued by the City unless the proposed construction complies with all applicable provisions of this Code.
- C. This Code supplements, or when in conflict replaces, the standards and procedures in [Chapter 10, Article 1 of the Hayward Municipal Code](#). All applicable provisions of the Municipal Code that are not specifically replaced or identified as not applicable continue to apply to all properties within the Code Area. If there is a conflict between the standards of this Article and the standards in the Hayward Zoning Code, the standards in this Article supersede unless otherwise stated.
  - 1. Municipal Code Sections 10-1.200 through 10-1.2400 (Zoning Districts) shall not apply within the Code area.
- D. **Minimum Requirements.** The provisions of this Code are minimum requirements for the protection and promotion of the public health, safety, comfort, convenience, prosperity, and general welfare. When this Code provides for discretion on the part of a City official or body, that discretion may be exercised to impose conditions on the approval of any project proposed in the Code Area, as may be determined by the Review Authority to be necessary to establish or promote development and land use, environmental resource protection, and the other purposes of this Code
- E. **Non-Conforming Structures and Land Uses.** Nonconforming structures and/or nonconforming use(s) legally existing when this Code was adopted must comply with [Section 10-1.2900 \(Nonconforming Uses\)](#) of the Hayward Zoning Code.
- F. **Effect of Zoning Code Changes on Projects in Progress.** An application for zoning approval that has been deemed complete by the Planning Director before the effective date of the ordinance codified in this Code or any amendment will be processed according to the requirements in effect when the review authority first considers the application in a public hearing.

### 10-24.1.1.040 Organization and Use

The Code consists of the following Sub Articles:

- 1. **Sub Article 10-24.1 Introduction.** This Sub Article establishes the purpose of the Code and explains how existing and new standards will be applied to property within the boundaries of the Code Area identified in [Figure 2.1.020.1 \(Mission Boulevard Code Regulating Plan\)](#).
- 2. **Sub Article 10-24.2 Specific to Zones.** This Sub Article establishes and defines the zones for the Code Area and specifies the allowed uses, permit requirements, and development standards for each zone.
- 3. **Sub Article 10-24.3 Supplemental to Zone.** This Sub Article establishes general, frontage, and civic space standards for the zones. This Sub Article also defines the character of each frontage and civic space type. This Sub Article also provides

additional standards and requirements that apply to a specific use, subdivisions, and air quality mitigation measures.

4. **Sub Article 10-24.4 Permits and Procedures.** This Sub Article describes the permitting and processing procedures that apply to property within the boundaries of the Code Area.
5. **Sub Article 10-24.5 Definitions.** This Sub Article provides definitions of terms used in the Code. This Sub Article supplements, and when in conflict, replaces the definitions in [Section 10-1.3500 \(Definitions\) of the Hayward Zoning Code](#).

---

#### 10-24.1.1.050 Rules of Interpretation

- A. Provisions of this Code are activated by “shall” or “must” when required; “should” when recommended; and “may” when optional.
- B. Terms used throughout this Code are defined in [Sub Article 10-24.5 \(Definitions\)](#). Terms not defined in [Sub Article 10-24.5](#) shall be as defined in [Section 10-1.3500 \(Definitions\) of the Hayward Zoning Code](#). Terms not defined in [Sub Article 10-24.5](#) or [Section 10-1.3500](#) shall be accorded their commonly accepted meanings.
- C. Diagrams and figures that accompany tables and text are considered examples, and are not regulatory. Diagrams may not be to scale.
- D. Where in conflict, numerical metrics shall take precedence over graphic metrics.
- E. Within the Code, sections are occasionally prefaced with “purpose” or “intent” statements. Each such statement is intended as an official statement of legislative finding or purpose. The “purpose” or “intent” statements are legislatively adopted, together with their accompanying Code text. They are intended as a guide to the administrator and interpretation of the Code and shall be treated in the same manner as other aspects of legislative history. However, they are not binding standards.
- F. The Planning Director may make interpretations of this Code in compliance with [Hayward Zoning Code Section 10-1.120 \(Reviewing Authorities\)](#) and may refer any interpretation to the Planning Commission in compliance with [Hayward Zoning Code Section 10-1.2840 \(Administrative Referral\)](#).
- G. Any interpretation of this Code by the Planning Director may be appealed to the Planning Commission in compliance with [Section 10-1.2845 \(Appeal and Review Process\) of the Hayward Zoning Code](#).

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# Sub Article 10-24.2: Specific to Zones

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## Division 10-24.2.1: Establishment of Zones

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### 10-24.2.1.010 Zones Established

This Sub Article establishes the zones applied to property within the Code Area, adopts the Mission Boulevard Code Regulating Plan for the Code Area as its Zoning Map, and establishes standards applicable to zones.

---

### 10-24.2.1.020 Zoning Map

The City Council hereby adopts the Mission Boulevard Code Regulating Plan (hereafter referred to as the “Regulating Plan”), as shown in [Figure 1](#), as an amendment to the zoning district map authorized by the [Hayward Zoning Code Section 10-1.3400 \(Amendments\)](#). The Regulating Plan acts as the Zoning Map for the Code Area.

Most of the Code Area is designated as Priority Development Areas (PDA) per the Bay Area Regional Transportation Plan and Sustainable Communities Strategy which both encourage growth within compact, mixed-use, and walkable neighborhoods and districts that are located near Hayward’s job centers and regional transit facilities such as the Hayward BART and South Hayward BART stations. Along the Mission Boulevard corridor, there is significant variation in parcel sizes and topography. The northern portion of the Regulating Plan between Harder Road and Rose Street primarily comprises of parcels that are small and narrow that include existing single-family homes and single-story commercial structures may be limited in their development potential. The southern end of the Regulating Plan (south of Harder Road) consists of larger sites that may accommodate larger-scale developments. Per the Hayward 2040 General Plan, the Code Area is expected to change and will include higher-density developments with 3-5 story structures contingent on geological conditions and site suitability. Developments within the Code Area will decrease dependency on the automobile and allow more people to walk, bike, or take transit for commute and daily trips. This will help reduce automobile use, local and regional traffic congestion, and related greenhouse gas emissions.

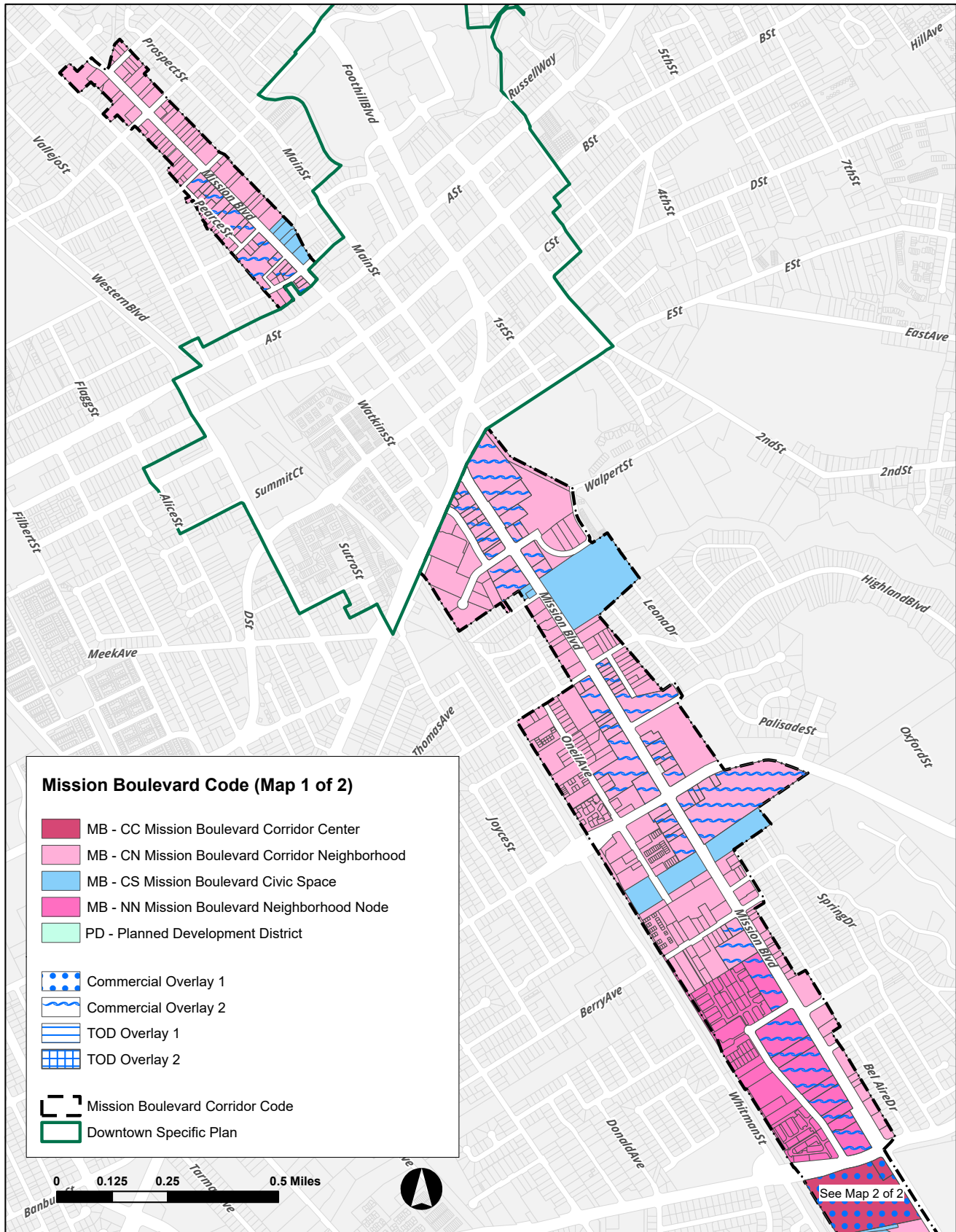


Figure 2.1.020.1A Mission Boulevard Code Regulating Plan

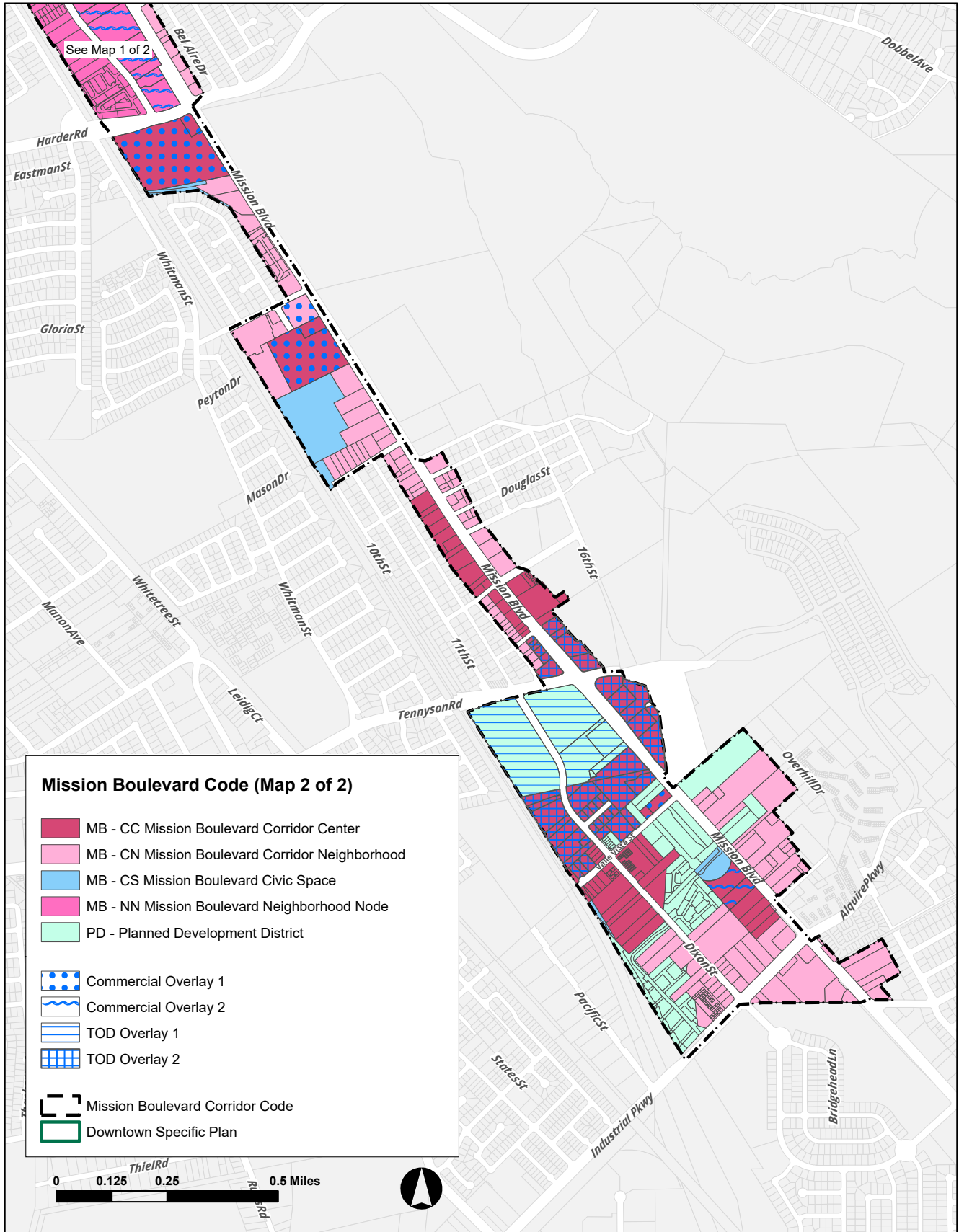


Figure 2.1.020.1B Mission Boulevard Code Regulating Plan

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## Division 10-24.2.2: Mission Boulevard Corridor Zones

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### 10-24.2.2.010 Purpose




This Division establishes the zones applied to property within the Code Area and establishes standards applicable to zones.

---

### 10-24.2.2.020 Applicability

- A. The standards in this Division apply to all proposed land uses and development within the Code Area.
- B. All applicable provisions of the [Hayward Zoning Code](#) that are not specifically replaced or identified as not applicable continue to apply, unless otherwise provided.
- C. If there is a conflict between the standards of this Division and the standards in another Division or Sub Article of the Code or with the Municipal Code, the standards in this Division supersede the Hayward Zoning Code and Sub [Article 3 \(Supplemental to Zones\)](#) supersedes this Division.



Mission Boulevard - Corridor Neighborhood	Mission Boulevard - Neighborhood Node	Mission Boulevard - Corridor Center
		
Zone(s)	Zone(s)	Zone(s)
Mission Boulevard - Corridor Neighborhood (MB-CN)	Mission Boulevard - Neighborhood Node (MB-NN)	Mission Boulevard - Corridor Center (MB-CC)
Intent	Intent	Intent
A mixed-use neighborhood environment with moderate-intensity, medium-scale residential and non-residential uses compatible with surrounding neighborhoods, along a multi-modal corridor within short walking, biking, or bus distance of neighborhood serving retail and service uses.	A vibrant, urban neighborhood-serving node supporting mixed-use infill development to provide a range of commercial, retail, entertainment, civic, and moderate intensity residential uses in a more compact urban setting.	A transit-oriented mixed-use, urban center with high-intensity, residential and non-residential uses located within close proximity to BART, to facilitate access to BART by biking or walking.

### 10-24.2.2.030 Overview of Mission Boulevard Corridor Zones

- A. The Mission Boulevard Corridor Zones are described in this Division, and each zone is established based on the intent of the desired physical form and character of particular environments. Other than the Mission Boulevard - Civic Space (MB-CS) Zone, the zones range in function and intensity from moderate intensity (Mission Boulevard - Corridor Neighborhood), to a higher intensity (Mission Boulevard - Corridor Center). The naming of these zones is based on an overall spectrum of context types from less urban to more urban along the Mission Boulevard Corridor.

1. **Mission Boulevard - Civic Space (MB-CS).** This zone is intended for the provision of public open space, civic buildings, and civic uses. When the MB-CS Zone is applied to privately owned property, the use and building existing at the time this Code comes into effect may continue until the site is redeveloped or becomes under public ownership. Allowed uses and permit requirements are as prescribed in [Table 2.3.010.A: Allowed Uses and Permit Requirements](#). Buildings shall be designed and located in compliance with the standards of the MB-CN.

**B. Overlay Zones**

1. **TOD Overlays.** Properties within close proximity to public transit centers, including BART, as identified on the Mission Boulevard Code, are modified to allow for an increase in residential density and adjusted height regulations.
2. **Commercial Overlay #1.** Properties designated with a Commercial Overlay Zone 1 designation shall not be developed with residential units on the first or ground floor. Uses associated with the residential use, such as leasing office, community space, amenities, etc., are allowed on the ground floor. This requirement may be adjusted through the Major Site Plan Review Process.
3. **Commercial Overlay #2.** Properties designated with a Commercial Overlay Zone 2 designation shall not be developed with residential units along the primary street frontage unless permitted with a conditional use permit.

# Mission Boulevard - Corridor Neighborhood

## 10-24.2.2.040 Mission Boulevard - Corridor Neighborhood (MB-CN)



### A. Intent

A mixed-use neighborhood environment with moderate-intensity, medium-scale residential and non-residential uses compatible with surrounding neighborhoods, along a multi-modal corridor within short walking, biking, or bus distance of neighborhood serving retail and service uses.

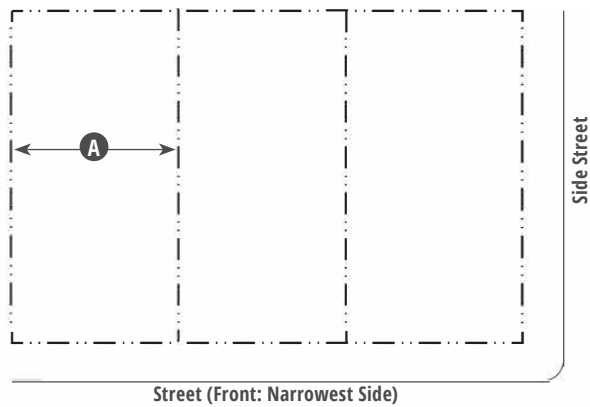
### B. Density

Minimum <sup>1</sup>	17.5 du/ac
Maximum	35 du/ac
	55 du/ac South of A Street with Major Site Plan Review

*General note: The image above is intended to provide a brief overview of this zone and is illustrative only.*

<sup>1</sup> Reduction in minimum density allowed subject to Major Site Plan Review.



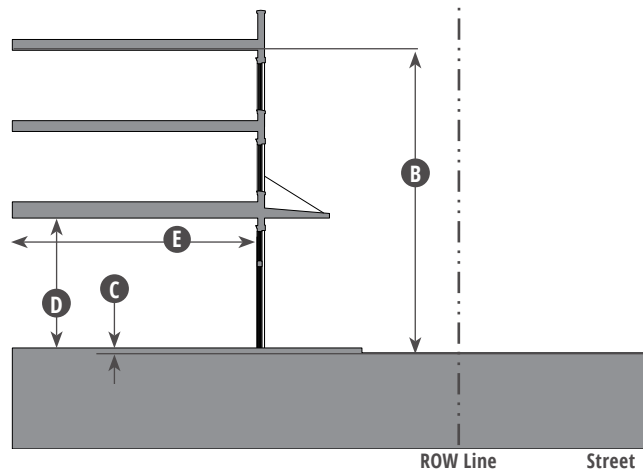
**Key**

--- ROW / Lot Line

**C. Lot Occupation**

Lot Width	18' min.	<b>A</b>
Lot Coverage	80% max.	
Landscaping	15% of lot area, min.	
Open Space	150 sf min. per unit <sup>1</sup>	

<sup>1</sup> Minimum 50 sf must be provided as private usable open space for minimum 50% of the units and minimum 50 sf per unit must be provided as common usable open space. The remaining open space requirement may be met by a combination of private or common usable open space.

**Key**

--- ROW Line

**D. Building Form****Height****Main Building**

Stories- North of A Street	3 max.	<b>B</b>
Stories- South of A Street	4 max., 5 max. with Major Site Plan Review	
Overall- South of A Street	57' max., 68' max. with Major Site Plan Review	

**Accessory Structure(s)**

Stories	2 max.
---------	--------

**Ground Floor Finish Level**

Residential	12" min. <sup>1</sup>	<b>C</b>
Non-Residential	3' max.	

**Ground Floor Ceiling**

Non-Residential	14' min.	<b>D</b>
-----------------	----------	----------

**Other****Accessory Structure(s)**

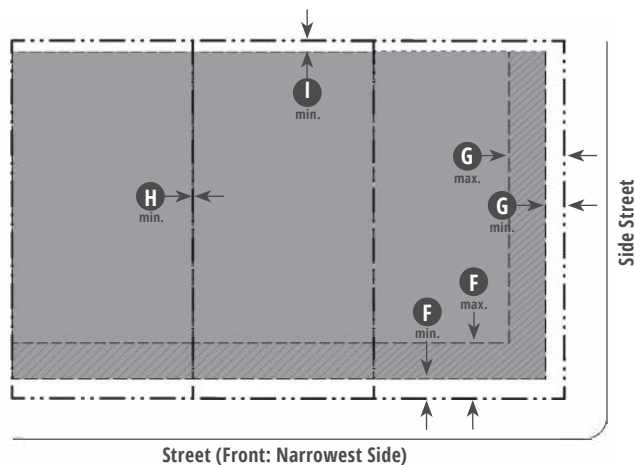
Square Feet	440 max.
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**Building Depth, Ground-Floor**

30' min.	<b>E</b>
----------	----------

<sup>1</sup> The ground floor finish level of buildings facing a public ROW must be 12 inches above grade, unless otherwise adjusted to comply with ADA.

Height limits do not apply to chimneys, architectural features, parapets, solar energy systems, or necessary mechanical equipment, provided that such features are limited to the minimum height necessary for their proper functioning.

**Key**

- ROW / Lot Line
- Building Setback Line
- Buildable Area
- ▨ Facade Zone

**E. Building Placement****Setback (Distance from ROW / Lot Line)**

<b>Front (Facade Zone)</b>		<b>F</b>
Main Building <sup>1, 2</sup>	6' min.; 24' max.	
Accessory Structure(s)	26' min.	
<b>Street Side (Facade Zone)</b>		<b>G</b>
Main Building <sup>1</sup>	6' min.; 24' max.	
Accessory Structure(s)	6' min.	
<b>Side</b>		<b>H</b>
Main Building	0' min.	
Accessory Structure(s)	0' min.	
<b>Rear</b>		<b>I</b>
Main Building and Accessory Structure(s)	3' min.	

<sup>1</sup> Or average front setback of adjacent lots, whichever is less. For corner lots, average of minimum required and front setback of adjacent lot, whichever is less.

<sup>2</sup> A larger setback may be required to accommodate required frontage or other planned improvements.

**Building within Facade Zone (Percent of Net Lot Width)**

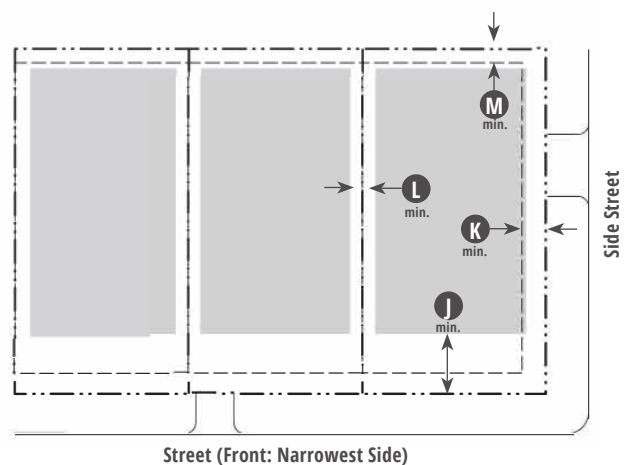
Front <sup>3</sup>	60% min.
Street Side	40% min.

<sup>3</sup> Required only when facing a public ROW

**Miscellaneous**

Building facade must be parallel to ROW/Lot Line.

Minimum one primary pedestrian entrance from primary street located within front facade zone.

**Key**

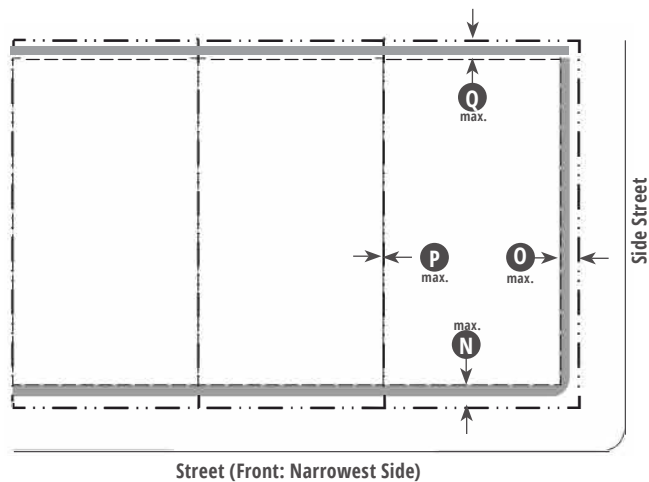
- ROW / Lot Line
- Building Setback Line
- Parking Area

**F. Parking and Driveways****Parking Requirements**

See [Section 10-24.3.2.050 \(Parking and Loading\)](#)

**Parking Location (Distance from ROW / Lot Line)**

Front Setback	30' min.	<b>J</b>
Street Side Setback	5' min.	<b>K</b>
Side Setback	5' min.	<b>L</b>
Rear Setback	5' min.	<b>M</b>



### Key

- - - - ROW / Lot Line      ■ Encroachment Area  
 . . . . Building Setback Line

### G. Projections into Required Yards

Encroachment Type	N	O	P	Q
	Front	St. Side	Side	Rear
Frontage <sup>1</sup>	3' max.	3' max.	—	—
Steps or Ramp to Building Entrance	4' max.	3' max.	—	—
Architectural Features	3' max.	3' max.	—	3' max.

Encroachments at grade are not allowed within a street ROW, alley ROW, or across a lot line.

<sup>1</sup> See [Division 10-24.3.3 \(Specific to Frontage Types\)](#) for further refinement of the allowed encroachments for frontage elements.

### H. Frontages

Private Frontage Type	Front	St. Side	Standards
Front Yard	A	A	<a href="#">3.4.050</a>
Porch: Projecting	A	A	<a href="#">3.4.060</a>
Porch: Engaged	A	A	<a href="#">3.4.070</a>
Stoop	A	A	<a href="#">3.4.080</a>
Forecourt	A	A	<a href="#">3.4.090</a>
Dooryard	A	A	<a href="#">3.4.100</a>
Maker Shopfront	-	A	<a href="#">3.4.110</a>
Shopfront	A	A	<a href="#">3.4.120</a>
Terrace	A	A	<a href="#">3.4.130</a>

### Miscellaneous

Corner Lots must have private frontage located within the Front and Street Side Facade Zone as required in Subsection E.

First story facades for non-residential uses and common areas for residential, must provide minimum 30% glazing with clear glass. See [Division 10-24.3.3 \(Specific to Frontage Types\)](#) for further refinement of the glazing requirements by frontage type.

### Key

A = Allowed      — = Not Allowed

## Mission Boulevard - Neighborhood Node

### 10-24.2.2.050 Mission Boulevard - Neighborhood Node (MB-NN)



#### A. Intent

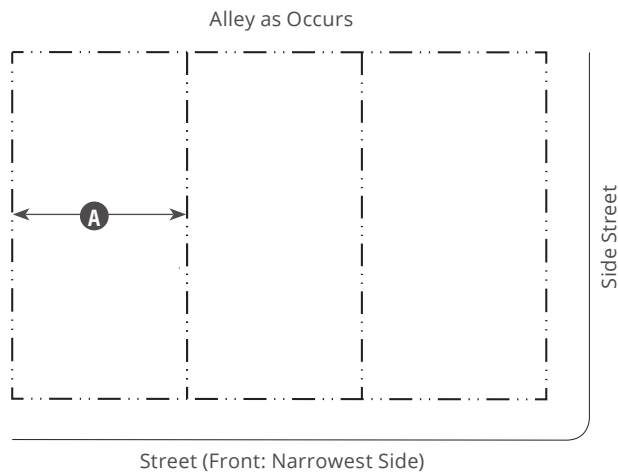
A vibrant, urban neighborhood-serving node supporting mixed-use infill development to provide a range of commercial, retail, entertainment, civic, and moderate intensity residential uses in a more compact urban setting.

#### B. Density

Minimum <sup>1</sup>	17.5 du/ac
Maximum	35 du/ac
	65 du/ac with Major Site Plan Review

*General note: The image above is intended to provide a brief overview of this zone and is illustrative only.*

<sup>1</sup> Reduction in minimum density allowed subject to Major Site Plan Review.

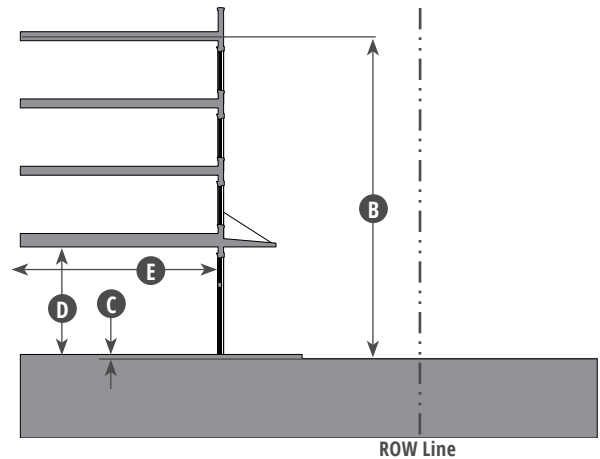
**Key**

--- ROW / Lot Line

**C. Lot Occupation**

Lot Width	18' min.	<b>A</b>
Lot Coverage	80% max.	
Landscaping	10% of lot area, min.	
Open Space	100 sf min. per unit <sup>1</sup>	

<sup>1</sup> Minimum 50 sf must be provided as private usable open space for minimum 50% of the units and minimum 50 sf per unit must be provided as common usable open space. The remaining open space requirement may be met by a combination of private or common usable open space.

**Key**

--- ROW Line

**D. Building Form****Height**

<b>Main Building</b>	<b>B</b>
Stories	4 max., 5 max. with Major Site Plan Review
Overall	57' max., 79 max. with Major Site Plan Review

**Accessory Structure(s)**

Stories	2 max.
---------	--------

**Ground Floor Finish Level****C**

Residential	12" min. <sup>1</sup>
Non-Residential	3' max.

**Ground Floor Ceiling****D**

Non-Residential	14' min.
-----------------	----------

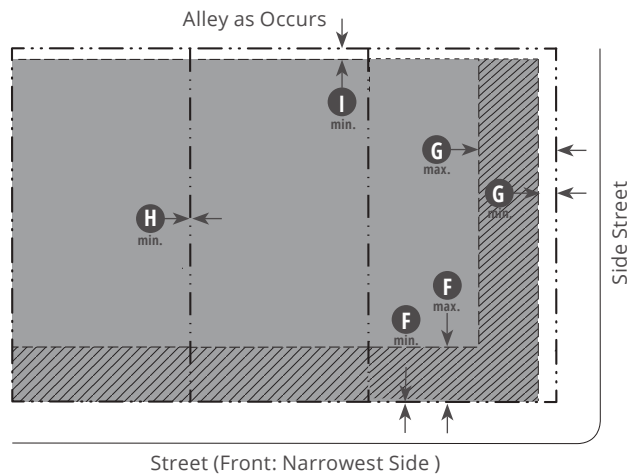
**Other****Accessory Structure(s)**

Square Feet	440 max.
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**Building Depth, Ground-Floor****E****Floor**

<sup>1</sup> The ground floor finish level of buildings facing a public ROW must be 12 inches above grade, unless otherwise adjusted to comply with ADA.

Height limits do not apply to chimneys, architectural features, parapets, solar energy systems, or necessary mechanical equipment, provided that such features are limited to the minimum height necessary for their proper functioning.

**Key**

- ROW / Lot Line
- Building Setback Line
- Buildable Area
- ▨ Facade Zone

**E. Building Placement****Setback (Distance from ROW / Lot Line)****Front (Facade Zone)** F

Main Building <sup>1,2</sup>	0' min.; 24' max.
Accessory Structure(s)	20' min.

**Street Side (Facade Zone)** G

Main Building <sup>1</sup>	6' min.; 24' max.
Accessory Structure(s)	6' min.

**Side** H

Main Building	0' min.
Accessory Structure(s)	0' min.

**Rear** I

Main Building and Accessory Structure(s)	3' min.
--	---------

<sup>1</sup> Or average front setback of adjacent lots, whichever is less. For corner lots, average of minimum required and front setback of adjacent lot, whichever is less.

<sup>2</sup> A larger setback may be required to accommodate required frontage or other planned improvements.

**Building within Facade Zone (Percent of Net Lot Width)**

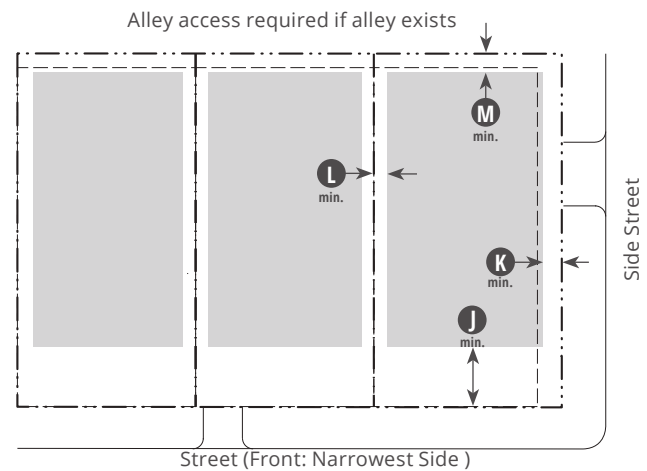
Front <sup>3</sup>	60% min.
Street Side	40% min.

<sup>3</sup> Required only when facing a public ROW

**Miscellaneous**

Building facade must be parallel to ROW/Lot Line.

Minimum one primary pedestrian entrance from primary street located within front facade zone.

**Key**

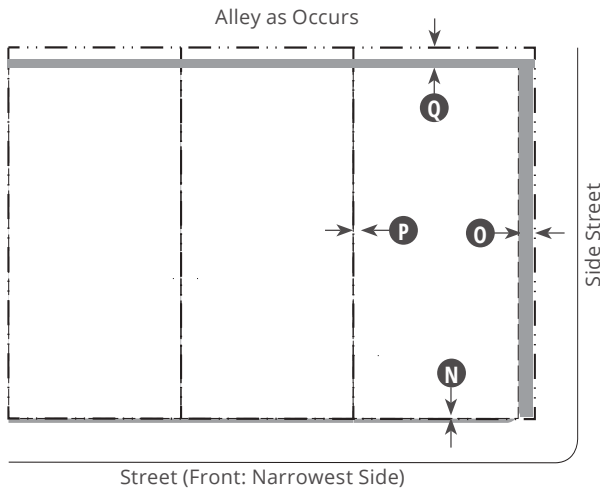
- ROW / Lot Line
- Building Setback Line
- Parking Area

**F. Parking and Driveways****Parking Requirements**

See [Section 10-24.3.2.050 \(Parking and Loading\)](#)

**Parking Location (Distance from ROW / Lot Line)**

Front Setback	30' min.	J
Street Side Setback	5' min.	K
Side Setback	5' min.	L
Rear Setback	5' min.	M

**Key**

- ROW / Lot Line      ■ Encroachment Area
- Building Setback Line

**G. Projections into Required Yards**

Encroachment Type	N	O	P	Q
	Front	St. Side	Side	Rear
Frontage <sup>1</sup>	May encroach up to the property line		—	—
Steps or Ramp to Building Entrance	May encroach up to the property line		—	—
Architectural Features	3' max.	3' max.	—	3' max.

Encroachments at grade are not allowed within a street ROW, alley ROW, or across a lot line.

<sup>1</sup> See [Division 10-24.3.3 \(Specific to Frontage Types\)](#) for further refinement of the allowed encroachments for frontage elements.

**H. Frontages**

Private Frontage Type	Front	St. Side	Standards
Porch: Projecting	A <sup>1</sup>	A	<a href="#">3.4.060</a>
Porch: Engaged	A <sup>1</sup>	A	<a href="#">3.4.070</a>
Stoop	A <sup>1</sup>	A	<a href="#">3.4.080</a>
Forecourt	A	A	<a href="#">3.4.090</a>
Dooryard	A	A	<a href="#">3.4.100</a>
Maker Shopfront	-	A	<a href="#">3.4.110</a>
Shopfront	A	A	<a href="#">3.4.120</a>
Terrace	A	A	<a href="#">3.4.130</a>
Gallery	A	A	<a href="#">3.4.140</a>

<sup>1</sup> Not allowed facing Mission Boulevard.

**Miscellaneous**

Corner Lots must have private frontage located within the Front and Street Side Facade Zone as required in Subsection E.

First story facades for non-residential uses and common areas for residential, must provide minimum 30% glazing with clear glass. See [Division 10-24.3.3 \(Specific to Frontage Types\)](#) for further refinement of the glazing requirements by frontage type.

**Key**

A = Allowed      — = Not Allowed



# Mission Boulevard - Corridor Center

## 10-24.2.2.060 Mission Boulevard - Corridor Center (MB-CC)



### A. Intent

A transit-oriented mixed-use, urban center with high-intensity, residential and non-residential uses located within close proximity to BART, to facilitate access to BART by biking or walking.

### B. Density

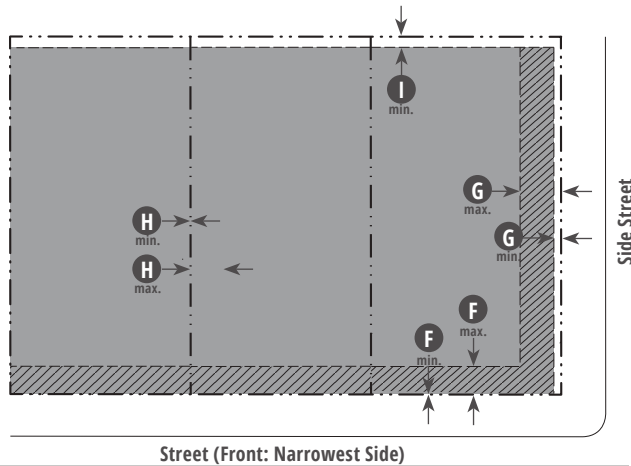
Minimum <sup>1</sup>	35 du/ac
TOD Overlay 1	75 du/ac
TOD Overlay 2	40 du/ac
Maximum	55 du/ac , 75 du/ac with Major Site Plan Review
TOD Overlay 1	100 du/ac
TOD Overlay 2	65 du/ac, 100 du/ac with Major Site Plan Review

*General note: The image above is intended to provide a brief overview of this zone and is illustrative only.*

*<sup>1</sup> Reduction in minimum density allowed subject to Major Site Plan Review.*





**Key**

- ROW / Lot Line      ■ Buildable Area  
 --- Building Setback Line      ▨ Facade Zone

**E. Building Placement****Setback (Distance from ROW / Lot Line)****Front (Facade Zone)**

Main Building <sup>1, 2</sup>	0' min.; 12' max.	<b>F</b>
Accessory Structure(s)	Must be within 40' from rear lot line	

**Street Side (Facade Zone)**

Main Building <sup>1</sup>	2' min.; 12' max.	<b>G</b>
Accessory Structure(s)	2' min.	

**Side**

Main Building	0' min. 12' max.	<b>H</b>
Accessory Structure(s)	0' min.	

**Rear**

Main Building and Accessory Structure(s)	3' min.	<b>I</b>
--	---------	----------

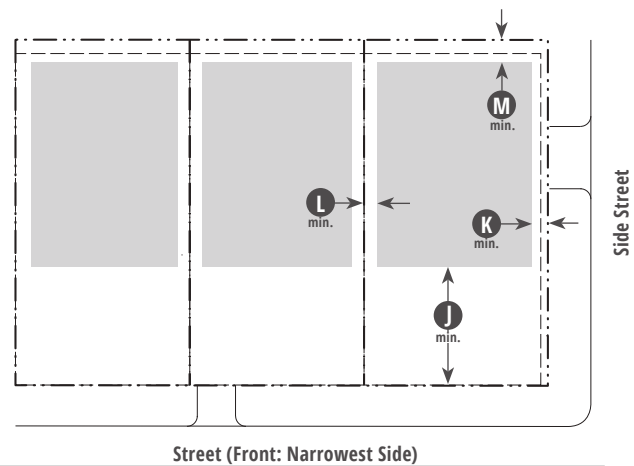
<sup>1</sup> Or average front setback of adjacent lots, whichever is less. For corner lots, average of minimum required and front setback of adjacent lot, whichever is less.

<sup>2</sup> A larger setback may be required to accommodate required frontage or other planned improvements.

**Building within Facade Zone (Percent of Net Lot Width)**

Front <sup>3</sup>	80% min.
Street Side	60% min.

<sup>3</sup> Required only when facing a public ROW. May be reduced as needed to comply with minimum fire access requirements.

**Key**

- ROW / Lot Line      ■ Parking Area  
 --- Building Setback Line

**E. Building Placement (continued)****Miscellaneous**

Building facade must be parallel to ROW/Lot Line.

Minimum one primary pedestrian entrance from primary street located within front facade zone.

**F. Parking and Driveways****Parking Requirements**

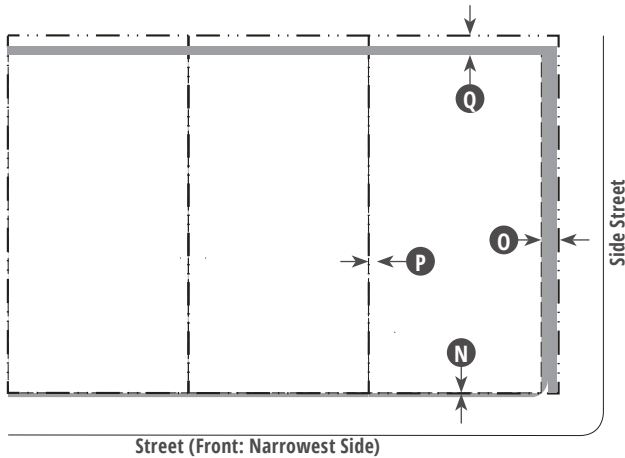
See [Section 10-24.3.2.050 \(Parking and Loading\)](#)

**Parking Location (Distance from ROW / Lot Line)**

Front Setback	40' min.	<b>J</b>
Street Side Setback	5' min.	<b>K</b>
Side Setback	5' min.	<b>L</b>
Rear Setback	5' min.	<b>M</b>

**Miscellaneous**

Pedestrian exits from all parking lots, garages, and Parking Structures shall be directly to a public ROW (i.e., not directly into a building) except underground levels which may be exited by pedestrians directly into a building.

**Key**

- ROW / Lot Line      ■ Encroachment Area  
 --- Building Setback Line

**G. Projections into Required Yards**

Encroachment Type	N	O	P	Q
	Front	St. Side	Side	Rear
Frontage <sup>1</sup>	May encroach up to the property line		—	—
Steps or Ramp to Building Entrance	May encroach up to the property line		—	—
Architectural Features	3' max.	3' max.	—	3' max.

Encroachments at grade are not allowed within a street ROW, alley ROW, or across a lot line.

<sup>1</sup> See [Division 10-24.3.3 \(Specific to Frontage Types\)](#) for further refinement of the allowed encroachments for frontage elements.

**H. Frontages**

Private Frontage Type	Front	St. Side	Standards
Stoop	A	A	<a href="#">3.4.080</a>
Forecourt	A	A	<a href="#">3.4.090</a>
Dooryard	A	A	<a href="#">3.4.100</a>
Maker Shopfront	-	A	<a href="#">3.4.110</a>
Shopfront	A	A	<a href="#">3.4.120</a>
Terrace	A	A	<a href="#">3.4.130</a>
Gallery	A	A	<a href="#">3.4.140</a>

**Miscellaneous**

Corner Lots must have private frontage located within the Front and Street Side Facade Zone as required in Subsection E.

First story facades for non-residential uses and common areas for residential, must provide minimum 30% glazing with clear glass. See [Division 10-24.3.3 \(Specific to Frontage Types\)](#) for further refinement of the glazing requirements by frontage type.

**Key**

A = Allowed      — = Not Allowed

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## Division 10-24.2.3: Use Tables

Sections:

10-24.2.3.010 Allowed Land Uses and Permit Requirements . . . . . 2-23

### 10-24.2.3.010 Allowed Land Uses and Permit Requirements

- A. **Table 2.3.010.A** (Allowed Uses and Permit Requirements), sets the land use regulations for the Mission Boulevard Corridor Zones by letter designation as follows unless a use or activity is prohibited or subject to a higher level of permit pursuant to other parts of this Code or other applicable regulations:
- “P” designates permitted uses.
  - “A” designates uses that are permitted after review and approval of an Administrative Use Permit.
  - “C” designates uses that are permitted after review and approval of a Conditional Use Permit.
  - “P/C” designates uses that are permitted or permitted after review and approval of a Conditional Use Permit under certain circumstances.
  - “-” designates uses that are not allowed.
- B. A project which includes two or more categories of land use in the same building or on the same site is subject to the highest permit level required for any individual use or single component of the project.
- C. Land uses are defined in **Section 10-1.3500 (Definitions)**, of the Hayward Zoning Code. In cases where a specific land use or activity is not defined, the Planning Director may make a determination in compliance with **Section 10-1.2835 (District Uses Not Specified)** of the Hayward Zoning Code.

Table 2.3.010.A: Allowed Uses and Permit Requirements					
Land Use	MB-CN	MB-NN	MB-CC	MB-CS <sup>1</sup>	Additional Regulations
<b>Residential</b>					
Emergency Homeless Shelter	P/C <sup>2,3</sup>	P/C <sup>2,3</sup>	-	-	Limited to parcels abutting Mission Boulevard
Live-Work	P/C <sup>2,3</sup>	P/C <sup>2,3</sup>	-	-	
Multiple Family Dwelling(s)	P/C <sup>2,3</sup>	P/C <sup>2,3</sup>	P/C <sup>2,3</sup>	-	
Single-Family Dwelling <sup>4</sup>	P	P	P	-	
Single Room Occupancy (SRO)	-	-	C	-	
Townhouse Dwelling	P/C <sup>2,3</sup>	P/C <sup>2,3</sup>	P/C <sup>2,3</sup>	-	
<b>Lodging</b>					
Hotel	A	A	A	-	
<b>Office</b>					
Architectural Service, Drafting Service, Engineering Service	P	P	P	-	
Banks <sup>5</sup>	P	P	P	-	

<b>Table 2.3.010.A: Allowed Uses and Permit Requirements</b>					
<b>Land Use</b>	<b>MB-CN</b>	<b>MB-NN</b>	<b>MB-CC</b>	<b>MB-CS <sup>1</sup></b>	<b>Additional Regulations</b>
Financial Institutions <sup>5</sup>	P	P	P	-	
Medical/Dental Laboratory	A	A	A	C	
Office	P	P	P	-	
<b>Retail/Commercial</b>					
Alcohol Sales	Refer to <a href="#">Section 10-1.2750 et seq.</a> of the Hayward Zoning Code for Alcoholic Beverage Outlets Regulations				
Appliance Repair Shop	P	P	A	-	
Appliance Store	P	P	A	-	
Bar, Cocktail Lounge	C	C	C	-	
Carpet/Draperies Store	P	P	A	-	
Check Cashing Store	-	-	-	-	
Convenience Market	P	P	P	-	If use includes alcohol sales, see also <a href="#">Section 10-1.2750 et seq.</a> of the <a href="#">Hayward Zoning Code</a> for Alcoholic Beverage Outlets Regulations
Copying or Reproduction Facility	P	P	P	-	
Equipment Rental Service	A	A	A	-	
Furniture Store	P	P	A	-	
Health Club	A	A	A	C	
Kennel	A	A	A	-	
Large Motion Picture Theater	C	C	C	C	
Liquor Store	-	-	-	-	
Live Performance Theater	A	A	A	A	
Massage Parlor	-	-	-	-	
Media Production	A	A	P	-	
Newspaper Printing Facility	A	A	P	-	
Nursery (Plants)	P	P	P	-	
Pawn Shop	-	-	-	-	
Payday Loan Facilities	-	-	-	-	
Personal Services	P	P	P	-	
Physical Fitness Studio	P	P	P	C	
Publishing Facility	A	A	P	-	
Recreational Facility	A	A	A	C	
Small Recycling Collection Facilities/Recycling Collection Area	A	A	A	-	See <a href="#">Hayward Zoning Code Subsection 10-1.2735.j</a> , Small Recycling Collection Facilities and Unattended Collection Boxes

<b>Table 2.3.010.A: Allowed Uses and Permit Requirements</b>					
<b>Land Use</b>	<b>MB-CN</b>	<b>MB-NN</b>	<b>MB-CC</b>	<b>MB-CS <sup>1</sup></b>	<b>Additional Regulations</b>
Restaurant, Including Micro-Breweries as accessory to the Restaurant and standalone Catering Facilities.	P	P	P	-	See <a href="#">Hayward Zoning Code Section 10-1.2750 et seq.</a> for alcohol regulations  See Section 3.4.040.F.4 and 5 for outdoor seating requirements
Retail	P	P	P	C	
Small Motion Picture Theater	A	A	A	C	
Tattoo Parlor	-	-	-	-	
Tobacco Retail Sales Establishment	-	-	-	-	
<b>Civic</b>					
Cultural or Meeting Facilities	A	A	A	C	
Public Park/Public Gathering	P	P	P	P	
Parking Lots and Structures	A	A	A	C	
Public Agency Facilities	P	P	P	P	
Religious Facility	A	A	A	C	
<b>Other: Agriculture</b>					
Community Garden	P	P	P	P	
<b>Other: Automotive</b>					
Automobile Repair (Minor)	A	A	A	-	
Automobile Repair (Major)	C	C	C	-	
Automobile Sales <sup>6</sup>	P/A	P/A	P/A	-	
Drive-In Establishment	C	C	C	-	
Automobile Service Station	C	C	C	-	
Taxi Company	A	A	A	-	
<b>Other: Civil Support</b>					
Hospital	A	A	A	C	
Mortuary	A	A	A	C	
<b>Other: Education</b>					
Day Care Center	P	P	P	C	
Day Care Home	P	P	-	-	
Educational Facilities ≤ 2,000 GFA	P	P	P	C	
Educational Facilities > 2,000 GFA	A	A	A	C	
Industrial/Vocational Trade School	A	A	A	C	
<b>Other: Light Industrial</b>					
Micro-Brewery	C	C	C	-	See <a href="#">Hayward Zoning Code Section 10-1.2750 et seq.</a> for alcohol regulations
Custom Manufacturing	P	P	P	-	

Table 2.3.010.A: Allowed Uses and Permit Requirements					
Land Use	MB-CN	MB-NN	MB-CC	MB-CS <sup>1</sup>	Additional Regulations
Distillery	C	C	C	-	See <a href="#">Hayward Zoning Code Section 10-1.2750 et seq.</a> for alcohol regulations
Light Manufacturing	AUP	AUP	-	-	
Research and Development	P	P	-	-	
<b>Other Use</b>					
Animal Hospital	A	A	A	-	
Commercial Amusement Facility	A	A	A	-	
Food Vendor	P	P	P	-	See <a href="#">Hayward Zoning Code Subsection 10-1.2735.m</a> , Food Vendor Permit
Temporary Uses	See <a href="#">Section 3.5.020, Temporary Uses</a>				
<b>Specific Limitations:</b>					
1. When the MB-CS Zone is applied to privately owned property, the use and building existing at the time this Code comes into effect may continue until the site is redeveloped or becomes under public ownership.					
2. For properties located within Commercial Overlay Zone 1, as shown in the Regulating Plan, commercial uses are required on the ground floor along roadway frontages. Uses associated with the residential use, such as leasing office, community space, amenities, etc., are allowed on the ground floor.					
3. For properties located within Commercial Overlay Zone 2, as shown in the Regulating Plan, residential units are only allowed along the primary street frontage with a conditional use permit.					
4. Single-family dwelling permitted if the lot/parcel has an existing, permitted single-family dwelling that was constructed prior to the effective date of this Code. No new detached single-family dwellings are allowed.					
5. Does not include check cashing, pay loans, or auto title loans.					
6. An Administrative Use Permit is required for automobile sales uses south of Harder Road.					



# Sub Article 10-24.3: Supplemental to Zones

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## Division 10-24.3.1 Purpose and Intent

---

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### 10-24.3.1.010 Purpose and Intent

This Sub Article sets forth supplemental standards for the development of each frontage type, civic space type, and related general standards within zones. These standards supplement the standards for each zone.

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### 10-24.3.1.020 Applicability

- A. The standards in this Sub Article apply to all proposed development within the Code Area and must be considered in combination with the standards for the applicable zone in [Division 10-24.2.2 \(Mission Boulevard Corridor Zones\)](#).
- B. In the event of any conflict between the standards of this Sub Article and the standards in another Sub Article of this Article or any standard in the Municipal Code, the standards in this Sub Article supersede, unless stated otherwise.

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## Division 10-24.3.2: General Standards

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### Sections

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### 10-24.3.2.010 Architectural Standards

- A. **Facade Articulation.** Projects shall be designed consistent with the following design objectives:
  - 1. Street facing elevations shall be articulated through variation in wall plane, variation in wall height, and roofs located at different levels in order to enhance visual interest of the elevation.
  - 2. Massing elements shall be properly scaled and in proportion to one another in order to provide a balance between horizontal and vertical emphasis.
  - 3. Minimize blank wall planes on all elevations through the use of wall plane variation, trim or reveals, entry and window openings, and/or varying colors and materials.
- B. **Materials.**
  - 1. Building wall materials may be horizontally combined on each facade with the visually heavier/denser material located below the lighter material.
  - 2. Galleries, balconies, and porches shall be of a material compatible with the architectural materials of the main building.
- C. **Openings.** All openings, including porches, galleries, and windows, with the exception of shopfronts, shall be square or vertical in proportion.
- D. **Roofs.** Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the Review Authority.

### 10-24.3.2.020 Mechanical and Electrical Equipment

All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from public rights-of-way. Equipment to be screened includes, but is not limited to, all roof-mounted equipment, air conditioners, emergency generators, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building. Exceptions may be granted by the Planning Director or other approving authority where screening is infeasible due to existing development or health and safety or utility requirements.

### 10-24.3.2.030 Exterior and Parking Lot Lighting

- A. Exterior lighting and parking lot lighting shall be provided and be designed by a qualified lighting designer and erected and maintained so that light is confined to the property and will not cast direct light or glare upon adjacent properties or public rights-of-way. Such lighting shall also be designed such that it is decorative and in keeping with the design of the development.
- B. **Safety and Security.** Common areas, parking lots, entries, and areas adjacent to walkways, bike paths, and other connections shall be well lit and provide for visual surveillance, especially at points of entry. Avoid dense hedges, dark corners, and other elements or site layouts that can obstruct visibility or result single point of entry and exit.

### 10-24.3.2.040 Fences and Walls

- A. **Height.** Fences and walls may be constructed to a height of six (6) feet in any side or rear setback, and to a height of four (4) feet in any portion of a front or street side setback, except that where the rear or side setback is contiguous to the BART tracks, a flood control channel, or parking lot, a maximum 8-foot-high fence or wall is permitted.
- B. **Materials.**
  - 1. Fences and walls in the front and street side setbacks shall be painted, mural-covered, vine-covered, or of a high-quality or decorative material compatible with the architectural materials of the main building.
  - 2. Anti-graffiti coating shall be required for all solid walls, decorative or otherwise, unless covered with a mural or vines.
  - 3. Other fences may be of wood board or decorative metal.
  - 4. Barb wire, razor wire, or electric fences are prohibited.
  - 5. Fences and walls above 3 feet are prohibited in the Vision Triangle area.
- C. **Fence Types.** Table A (Fences and Walls by Zone) shows five common types of fences and walls and their appropriateness within the Mission Boulevard Corridor Zones. Only these fences and wall types shall be used in any portion of a front or side yard unless an alternative type, complementary to the design and character of the development, is approved by the Planning Director.

Table 3.2.040.A Fences and Walls by Zone				
Fence Type	MB-CN	MB-NN	MB-CC	Notes
Chain Link Fence	X	X	X	Allowed only within side and rear yard areas that do not front private driveways or public roadways.
Wood Picket Fence	X	X	-	
Iron Picket Fence	X	X	X	
Metal Fence on Concrete Base	X	X	X	The concrete base should be 18"-36" in height.
Brick and Iron Fence	X	X	X	Although brick only is named, other materials such as stone, slate, etc. are also acceptable, with a tie-in to the building material
Brick Wall	X	X	X	

### 10-24.3.2.050 Parking and loading

The parking and loading provisions of Article 2 (Off-Street Parking Regulations) of the Hayward Zoning Code apply except as provided below.

#### A. Required Ratio of Parking Spaces.

1. There is no requirement for a minimum number of off-street automobile parking spaces.
2. There is a maximum of two (2) off-street parking spaces per residential unit allowed except within one-half mile of the Hayward and South Hayward BART Stations where there is a maximum of one (1) off-street automobile parking space per residential unit allowed. The Review Authority may approve additional residential parking after making all the following findings:
  - a. The request is consistent with the goals and policies of the Hayward General Plan, the Mission Boulevard Form Based Code; and any other adopted policies related to parking and the multi-modal network.
  - b. The request is supported by a quantitative justification from the applicant that the demand for the additional parking spaces exists and providing additional parking spaces is warranted; and
  - c. The additional parking will not impede bicycle and pedestrian circulation and safety.

#### B. Tandem Parking.

1. Tandem parking may be provided for residential uses when spaces are assigned to the same dwelling unit.
2. Tandem Parking may be provided for nonresidential uses when a valet/attendant is on duty during the hours when the business is open.

#### C. Landscaped Planter. A landscaped planter at least five feet wide shall be provided between any surface parking area and any property line for the length of the parking area.

D. **Bicycle Parking.** Bicycle parking shall be provided and located in accordance with the most recent version of Section 5.106.4 of the California Green Building Standards Code (CalGreen) and the following.

1. **Bicycle Parking Requirements.** Table D, **Bicycle Parking Requirements**, lists the amount of short-term and long-term bicycle parking to be provided.

Table 3.2.050.B: Bicycle Parking Requirements			
Use Type	MB-CN	MB-NN	MB-CC
<b>Short-Term Parking</b>			
Residential	1 space per 10 units, minimum 2 spaces	1 space per 10 units, minimum 2 spaces	1 space per 10 units, minimum 2 spaces
Office	1 space per 15,000 square feet, minimum 2 spaces	1 space per 15,000 square feet, minimum 2 spaces	1 space per 15,000 square feet, minimum 2 spaces
Retail	1 space per 5,000 square feet, minimum 2 spaces	1 space per 5,000 square feet, minimum 2 spaces	1 space per 5,000 square feet, minimum 2 spaces
Civic, Non-Assembly	1 space per 15,000 square feet, minimum 2 spaces	1 space per 15,000 square feet, minimum 2 spaces	1 space per 15,000 square feet, minimum 2 spaces
Civic, Assembly	1 space per 15,000 square feet, minimum 2 spaces	1 space per 15,000 square feet, minimum 2 spaces	1 space per 15,000 square feet, minimum 2 spaces
School, University	1 space per 10 students, minimum 2 spaces	1 space per 10 students, minimum 2 spaces	1 space per 20 students, minimum 2 spaces
<b>Long-Term Parking</b>			
Residential	1 space per 4 units, minimum 2 spaces	1 space per 4 units, minimum 2 spaces	1 space per 4 units, minimum 2 spaces
Office	1 space per 10,000 square feet, minimum 2 spaces	1 space per 10,000 square feet, minimum 2 spaces	1 space per 10,000 square feet, minimum 2 spaces
Retail	1 space per 10,000 square feet, minimum 2 spaces	1 space per 10,000 square feet, minimum 2 spaces	1 space per 10,000 square feet, minimum 2 spaces
Civic, Non-Assembly	1 space per 15 employees, minimum 2 spaces	1 space per 15 employees, minimum 2 spaces	1 space per 15 employees, minimum 2 spaces
Civic, Assembly	1 space per 15 employees, minimum 2 spaces	1 space per 15 employees, minimum 2 spaces	1 space per 15 employees, minimum 2 spaces
School, University	1 space per 10 students, minimum 2 spaces	1 space per 10 students, minimum 2 spaces	1 space per 10 students, minimum 2 spaces

2. **Bicycle Parking Standards.** Bicycle spaces must be provided in compliance with the following standards:
  - a. Long-term bicycle parking must consist of one of the following:
    - (i) Covered, lockable enclosures with permanently anchored racks for bicycles;
    - (ii) Lockable bicycle rooms with permanently anchored racks;
    - (iii) Lockable, permanently anchored bicycle lockers; or



- (iv) For residential uses, private garages or other private, lockable storage space accessible from the outside.
    - (v) Lockable enclosure shall be located in compliance with CPTED principles.
  - b. Short-term bicycle parking must include racks to which the bicycle can be locked;
  - c. Lockers and racks must be securely anchored to the pavement or a structure;
  - d. Racks must be designed and installed to allow two points of contact with the frame and allow the frame and one or both wheels to be secured;
  - e. Areas containing bicycle spaces must be surfaced with impervious surfaces such as concrete or pavers. Pervious pavements or gravel may be used where appropriate as determined by the Planning Director or City Engineer;
  - f. When located within a parking area, curbs, fences, planter areas, bumpers, or similar barriers must be installed and maintained for the mutual protection of bikes, motor vehicles and pedestrians, unless determined by the Planning Director to be unnecessary; and
  - g. Bicycle parking must be placed in a convenient, highly-visible, active, and well-lit location within 100 feet of the entrance of the use the bicycle parking is serving. At the discretion of the Planning Director, required bicycle parking may be provided within the public right-of-way.
3. **Bicycle Parking Space Dimensions.** All bicycle parking racks must meet the following minimum dimensions:
- a. Each bicycle parking space must include a minimum area of 72 inches in length and 24 inches in width that is clear of obstructions;
  - b. No part of the rack may be located closer than 30 inches to a wall or other obstruction;
  - c. The front or back of the rack must be located no less than 48 inches from a sidewalk or pedestrian way; and
  - d. A minimum of 30 inches must be provided between adjoining racks.
4. **Bicycle Parking Modifications.** If providing required bicycle parking spaces on-site is infeasible due to space or site specific constraints, the Planning Director may allow placement of bicycle parking off-site at a nearby location, which may include the public right-of-way.
5. **Location.** Bicycle racks and/or bicycle lockers shall be adjacent to building entries where they are clearly visible in order to enhance safety and security.

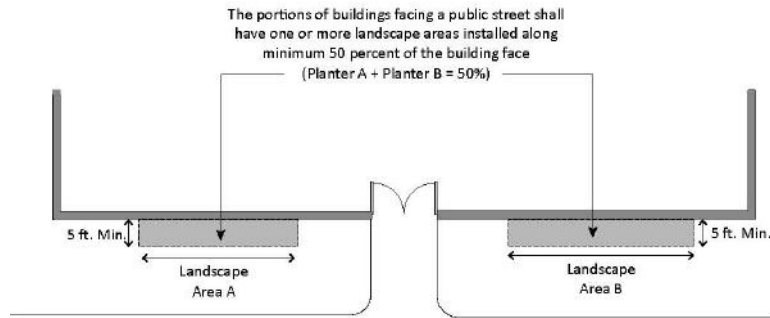
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### 10-24.3.2.060 Landscaping

#### A. MB-CN and MB-NN Zones.

- 1. All setbacks shall be landscaped except for permitted driveways and walkways.
- 2. A minimum of one tree per 30 feet of frontage shall be planted within the front setback, (e.g. A lot with 120 feet of frontage requires 4 trees total). Trees should be a single species to match the species of street trees along the project frontage.

Portions of buildings facing a public street shall have one or more landscaped areas with a minimum five-foot-wide landscaped area along a minimum 50 percent of the building face.



- B. **MB-CC Zone.** All setbacks shall be landscaped except for permitted driveways, walkways, or areas paved to match the pavement of the adjacent public frontage.

#### 10-24.3.2.070 Air Quality Mitigation Measures

- A. **Applicability.** The provisions of this Section apply to development within 500 feet of Mission Boulevard, Jackson Street, or any stationary source which exceeds the applicable BAAQMD individual source or cumulative threshold.
- B. **Requirements.** All development projects that will be occupied by sensitive receptors shall incorporate indoor and outdoor air quality features pursuant to subsections C, Indoor Air Quality, and D, Outdoor Air Quality, below, or prepare a Health Risk Assessment (HRA) pursuant to subsection C.
1. Sensitive receptors include, but are not limited to, residences, schools and school yards, parks and play grounds, daycare centers, nursing homes, and medical facilities. Residences may include, but are not limited to, houses, apartments, and senior living complexes. Medical facilities may include, but are not limited to, hospitals, convalescent homes, and health clinics. Playgrounds may be, but are not limited to, play areas associated with parks or community centers.
- C. **Indoor Air Quality.**
1. Existing or new buildings to be occupied by sensitive receptors, shall include and maintain in good working order a central heating and ventilation (HVAC) system or other air intake system in the building, or in each individual unit, that meets or exceeds an efficiency standard of MERV 13 or equivalent. The HVAC system shall include installation of a high efficiency filter and/or carbon filter to filter particulates and other chemical matter from entering the building.
  2. Project applicants shall maintain, repair and/or replace HV system on an ongoing and as needed basis according to manufacturer specifications. For developments which are leased, sold or otherwise not maintained by the initial project developer, an operation and maintenance manual for the HVAC system shall be prepared. The manual shall include the operating instructions and the maintenance and replacement schedule. The Planning Director shall identify an appropriate filing location for the

manual, which may include, but is not limited to, the project conditions, covenants and restrictions (CC&Rs), County recorder, or City development permit file.

3. The HVAC system or other air intake system required above, shall be submitted to the Planning Director for review and action prior to the issuance of a demolition, grading, or building permit.

**D. Outdoor Air Quality.** To the maximum extent practicable, individual and common exterior open space, including playgrounds, patios, and decks, shall either be shielded from the source of air pollution by buildings or otherwise buffered to further reduce air pollution for project occupants.

**E. Health Risk Assessment.** As an alternative to the indoor and outdoor air quality requirements established in subsections A and B above, a Health Risk Assessment (HRA) may be prepared by a qualified air quality consultant in accordance with California Air Resources Board (CARB) and Office of Environmental Health and Hazard Assessment requirements.

1. The HRA shall demonstrate that indoor and outdoor air quality can be maintained within currently applicable health risk standards of the Bay Area Air Quality Management District.
2. The HRA shall be submitted to the Development Services Department for review and approval. The Development Services Department may require, at the applicant's sole expense, an independent review of the HRA by a qualified consultant.
3. If the HRA concludes that the air quality risks from nearby sources are at or below acceptable levels, then air quality mitigation measures are not required.
4. The applicant shall implement the approved HRA recommendations, if any.

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#### 10-24.3.2.080 Visitability Standards

There shall be provided at least one zero-step entrance to each building from an accessible path at the front, side, or rear of each building.

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#### 10-24.3.2.090 Sustainability Plan

All applications for new development or redevelopment of a site in the Code Area shall include a Sustainability Plan that incorporates best practices of sustainability for the proposed operations and site-specific improvements. The Plan may include, but not limited to, recommendations for energy conservation and efficiency, green infrastructure, water conservation, reductions in air emissions, use of toxic materials, and recycling.

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## Division 10-24.3.3 Specific to Frontage Types

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### 10-24.3.3.010 Purpose

This Division sets forth the standards for each private frontage within the Code Area. Private frontages are the components of a building that provide an important transition and interface between the public realm (street and sidewalk) and the private realm (yard or building). These standards supplement the standards for each zone in which the frontage types are allowed and are intended to ensure development that establishes the character and scale of Mission Boulevard and the adjacent walkable neighborhoods.

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### 10-24.3.3.020 Applicability

The standards in this Division apply to all proposed development and renovations along front and street side facades within the Code Area, and must be considered in combination with the standards for the applicable zone and in the rest of this Sub Article.

### 10-24.3.3.030 Overview

Table A (Frontage Types Overview) provides a list of the allowed frontage types by zone. The names of the frontage types indicate their particular configuration or function and are not intended to limit uses within the associated building. For example, a porch may be used by non-residential uses such as a restaurant or office as allowed by the **z** zone.

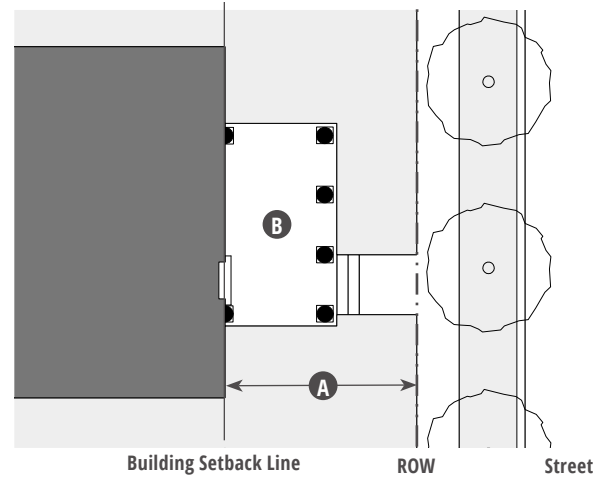
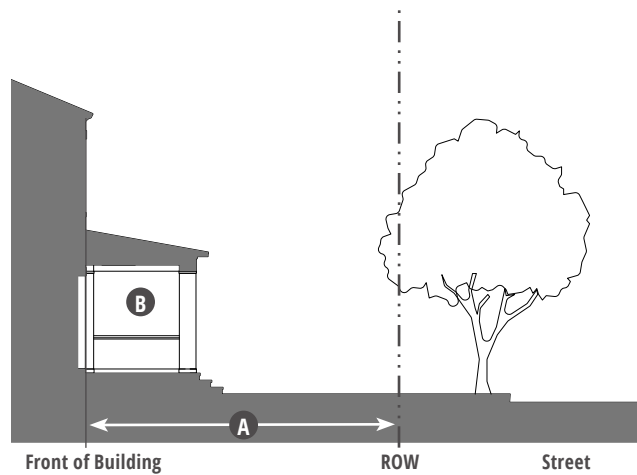
Table 3.3.030.A Frontage Types Overview				
FRONTAGE TYPE	SECTION	ZONES		
Front Yard	10-24.3.3.050	MB-CN	<input type="checkbox"/>	<input type="checkbox"/>
Porch: Projecting	10-24.3.3.060	MB-CN	MB-NN	<input type="checkbox"/>
Porch: Engaged	10-24.3.3.070	MB-CN	MB-NN	MB-CC
Stoop	10-24.3.3.080	MB-CN	MB-NN	MB-CC
Forecourt	10-24.3.3.090	MB-CN	MB-NN	MB-CC
Dooryard	10-24.3.3.100	MB-CN	MB-NN	MB-CC
Maker Shopfront	10-24.3.3.110	<input type="checkbox"/>	MB-NN	MB-CC
Shopfront	10-24.3.3.120	MB-CN	MB-NN	MB-CC
Terrace	10-24.3.3.130	MB-CN	MB-NN	MB-CC
Gallery	10-24.3.3.140	<input type="checkbox"/>	MB-NN	MB-CC

Key      Z=Zone      **z** Allowed      ☐ Not Allowed

### 10-24.3.3.040 General to Private Frontages

- Each building must have at least one frontage type for each street frontage.
- Each building may have multiple frontage types in compliance with the allowed types in the **z** zone.
- Frontage types not listed in the applicable zone standards are not allowed in that zone.

### 10-24.3.3.050 Front Yard



#### Key

---- ROW / Lot Line      — Building Setback Line

#### A. Description

The main facade of the building has a planted setback from the frontage line providing a buffer from the street. The yard may be fenced or unfenced to be visually continuous with adjacent yards, supporting a landscape that generates an open and green streetscape.

MB-CN

#### B. Size/Dimensions

Depth must comply with Subsection E (Building Placement) of the Zone standards.

A

#### C. Miscellaneous

Fences are allowed between front yards or between the sidewalk and front yard.

Front Yard Frontage may be combined with Porch (see Sections 10-24.3.3.060 and 10-24.3.3.070) or Stoop (see Section 10-24.3.3.080). The Front Yard frontage type standards control in case of conflict.

B



Front yard with landscaping

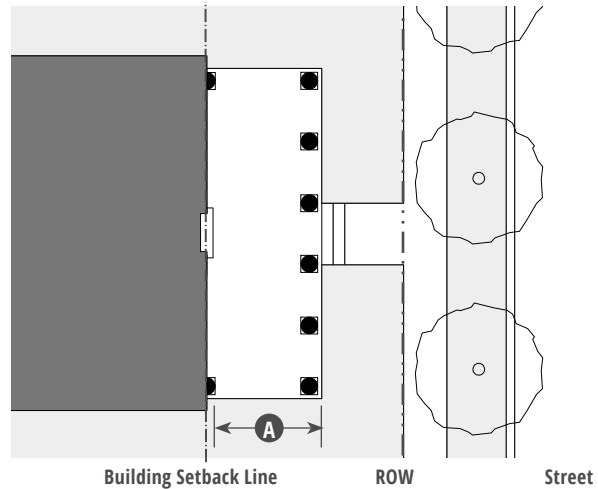
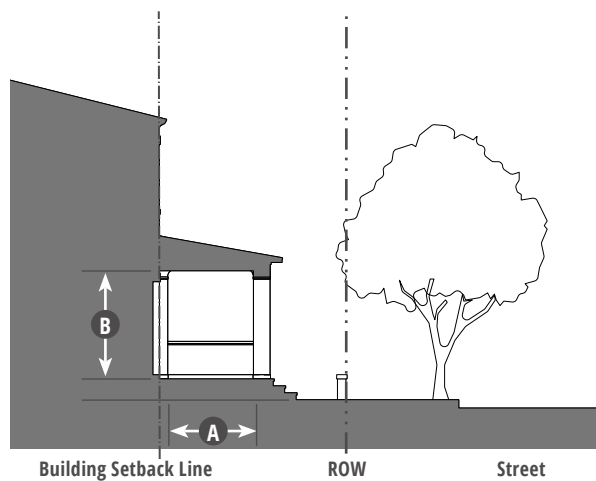


Small Front Yard with landscaping to help accent and define the space.

General Note: Photos on this page are illustrative, not regulatory.



### 10-24.3.3.060 Porch: Projecting



#### Key

----- ROW / Lot Line      - - - - - Building Setback Line

#### A. Description

The main facade of the building is setback from the frontage line. The resulting front yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch is open on three sides and all habitable space is located behind the building setback line.

MB-CN MB-NN

#### B. Size/Dimensions

Depth, Clear	8' min.	A
Height, Clear	8' min.	B

#### C. Miscellaneous

Projecting porches must be open on three sides and have a roof.

A porch can encroach into the required setback.



*A projecting porch for a house form commercial use. .*

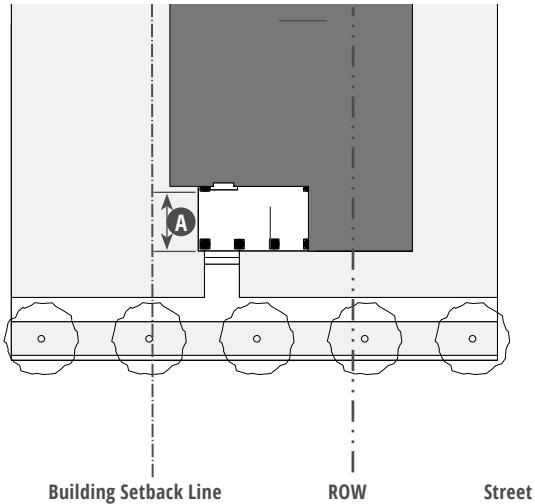
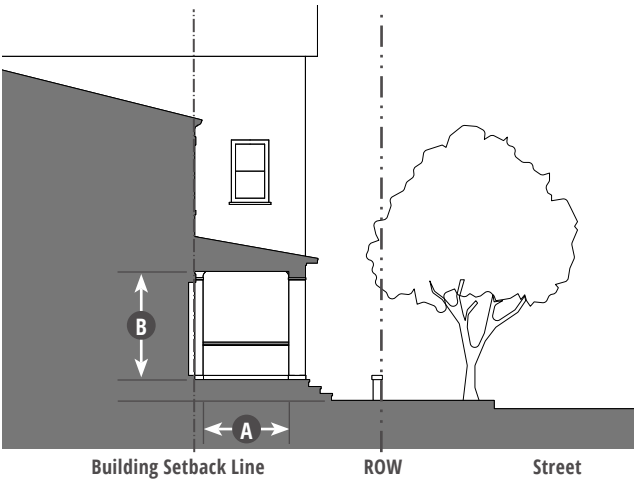


*A projecting porch on the front facade that creates a nice seating space.*

*General Note: Photos on this page are illustrative, not regulatory.*



10-24.3.3.070 Porch: Engaged



Key

----- ROW / Lot Line      - - - - - Building Setback Line

A. Description

The main facade of the building is setback from the frontage line. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch has two adjacent sides that are engaged to the building while the other two sides are open.

MB-CN MB-NN

B. Size/Dimensions

Depth, Clear	8' min.	A
Height, Clear	8' min.	B

C. Miscellaneous

Engaged porches must be open on two sides and have a roof.

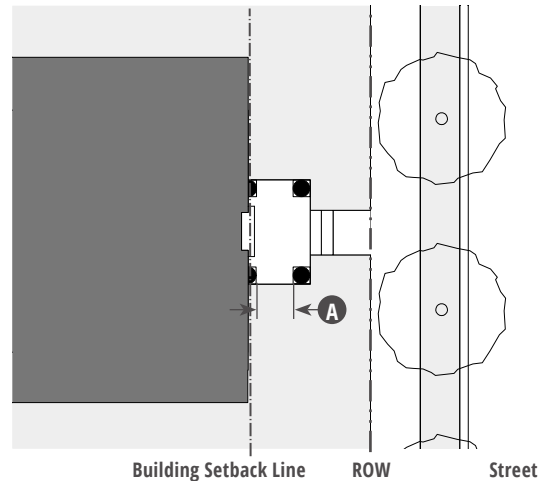
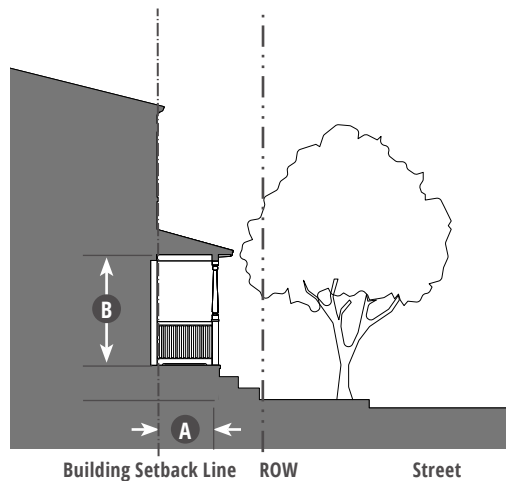
A porch can encroach into the required setback.



Engaged porch to second floor.

General Note: Photos on this page are illustrative, not regulatory.

### 10-24.3.3.080 Stoop



#### Key

----- ROW / Lot Line      ----- Building Setback Line

#### A. Description

The main facade of the building is near the frontage line and the stoop engages the first floor with the sidewalk. The stoop is elevated above the sidewalk to provide privacy along the sidewalk-facing rooms. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-accessed. The stoop is appropriate for residential ground floor uses.

MB-CN    MB-NN    MB-CC

#### B. Size/Dimensions

Depth, Clear	5' min.	<b>A</b>
Height, Clear	8' min.	<b>B</b>

#### C. Miscellaneous

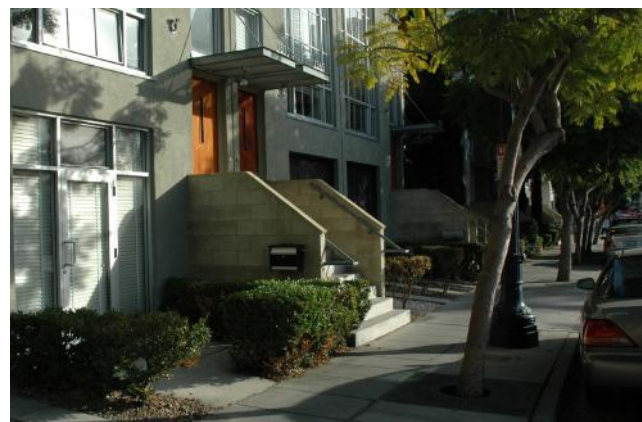
Stairs may be perpendicular or parallel to the building facade.

Entry doors are covered or recessed to provide shelter from the elements.

All entry doors must face the street.

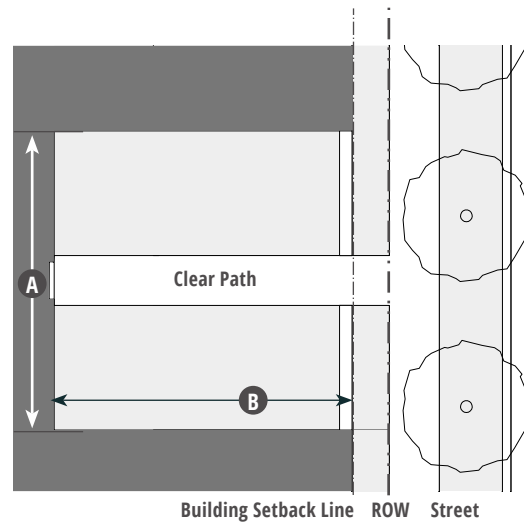
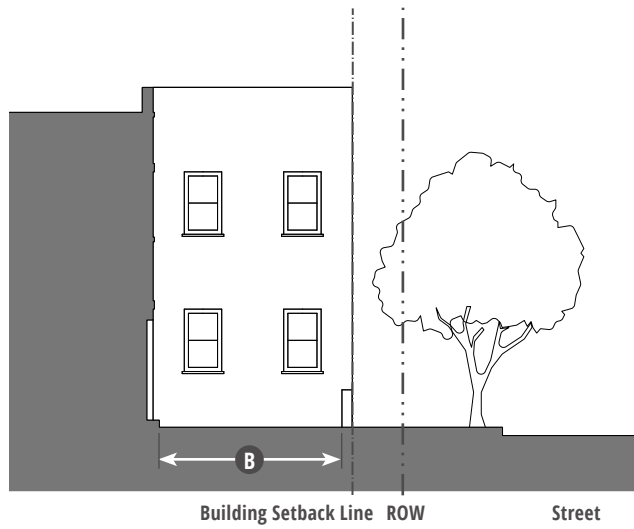


*Stoops define the entries to this Rowhouse building while elevating the ground floor from the street level.*



*Stoop with paired entries to dwelling portion of Live/Work units.*

*General Note: Photos on this page are illustrative, not regulatory.*

**10-24.3.3.090 Forecourt****Key**

---- ROW / Lot Line      - - - - Building Setback Line

**A. Description**

The main facade of the building is at or near the frontage line and a small portion of the building is set back, creating a small court and extending the public realm into the lot. The space may be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within retail and service areas.

MB-CN

MB-NN

MB-CC

**B. Size/Dimensions**

Width, Clear      12' min.      **A**

Depth, Clear      12' min.      **B**

**C. Miscellaneous**

This type may be allocated in conjunction with other Frontage types

Forecourt may be utilized to group entries at a common elevation.



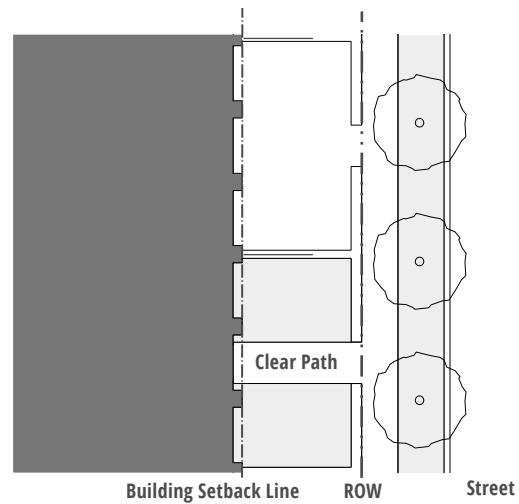
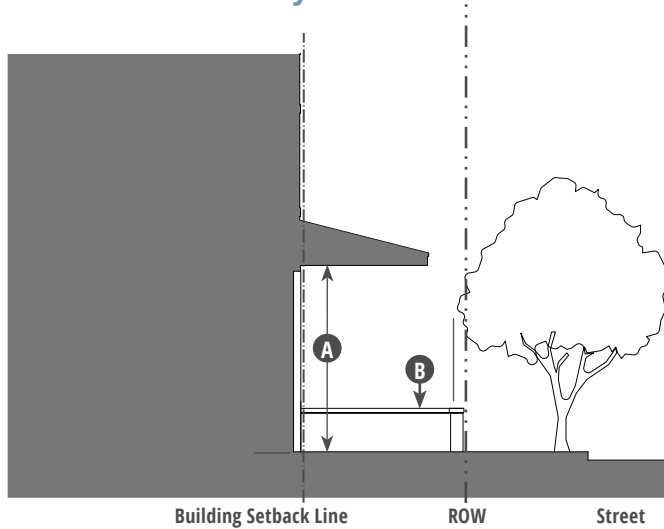
*Forecourt visually extends the public realm into this retail and office lot.*



*Forecourt provides unique entries to dwellings and breaks down the overall massing of the buildings shaping the space.*

*General Note: Photos on this page are illustrative, not regulatory.*

### 10-24.3.3.100 Dooryard



#### Key

----- ROW / Lot Line

----- Building Setback Line

#### A. Description

The main facade of the building is set back a small distance and the frontage line is defined by a low wall or hedge, creating a small dooryard. The dooryard may not provide public circulation along a ROW. The dooryard may be raised, sunken, or at grade and may be used for ground-floor residential or non-residential uses.

MB-CN

MB-NN

MB-CC

#### B. Size/Dimensions

Height, Clear 8' min. **A**

Height of Dooryard Fence/Wall 36" max. **B**

#### C. Miscellaneous

Each Dooryard must provide access to only one ground floor entry.



*Small dooryards include low fences to provide a visual transition from the public sidewalk.*

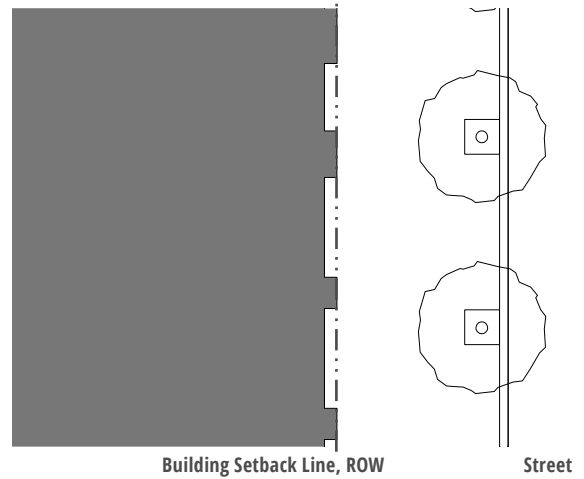
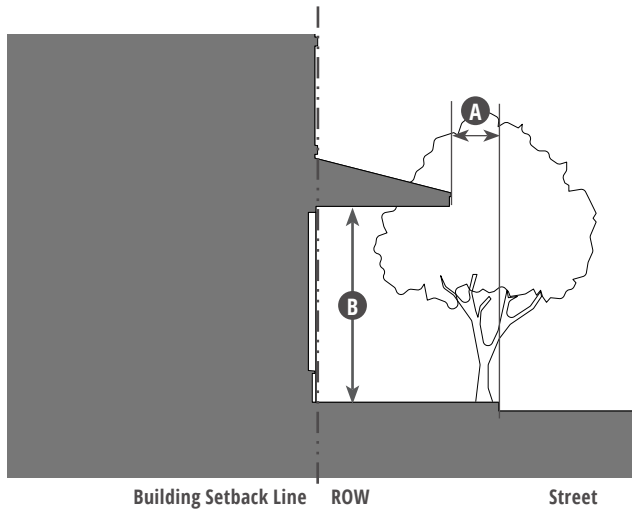


*A series of small dooryards with small outdoor gardens along the front of each ground floor unit.*

*General Note: Photos on this page are illustrative, not regulatory.*



### 10-24.3.3.110 Maker Shopfront



#### Key

----- ROW / Lot Line      - - - - - Building Setback Line

#### A. Description

The main facade of the building is at or near the frontage line with an at-grade or elevated entrance from the sidewalk. The type is intended for industrial artisan businesses to show their activity to people passing by on the sidewalk as well as for retail sales of products made on-site. The type includes a decorative roll-down or sliding door, may include glazing and an awning that overlaps the sidewalk and may be used in conjunction with other frontage types allowed in the zone.

☐ MB-NN    ☐ MB-CC

#### B. Size/Dimensions

Depth of Recessed Entries      5' max.

#### C. Awning

Setback from Curb      2' min.      **A**

Height, Clear      8' min.      **B**

#### D. Miscellaneous

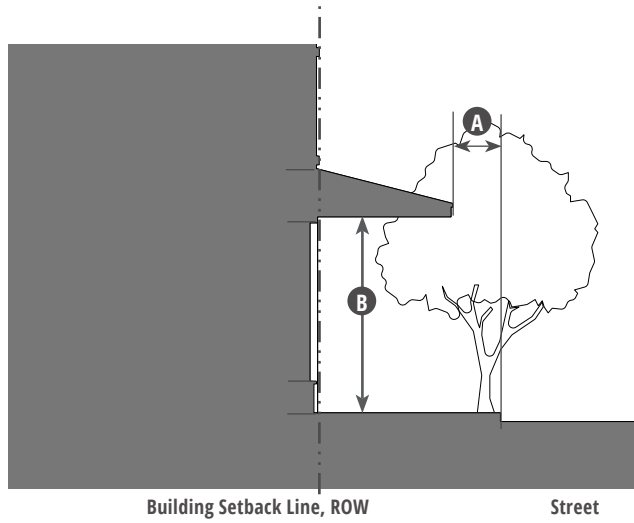
Doors may be recessed when main facade is at the building setback line.



*Maker Shopfront with double doors for each entry.*

*General Note: Photos on this page are illustrative, not regulatory.*

### 10-24.3.3.120 Shopfront



#### Key

---- ROW / Lot Line      - - - - Building Setback Line

#### A. Description

The main facade of the building is at or near the frontage line with at-grade entrance along the sidewalk. This type is intended for retail use, has substantial glazing between the shopfront base and the ground floor ceiling, and may include an awning that overlaps the sidewalk. This type may be used in conjunction with other frontage types allowed in the zone.

MB-CN MB-NN MB-CC

#### B. Size/Dimensions

Ground Floor Transparency	70% min.
Shopfront Base	2' max.

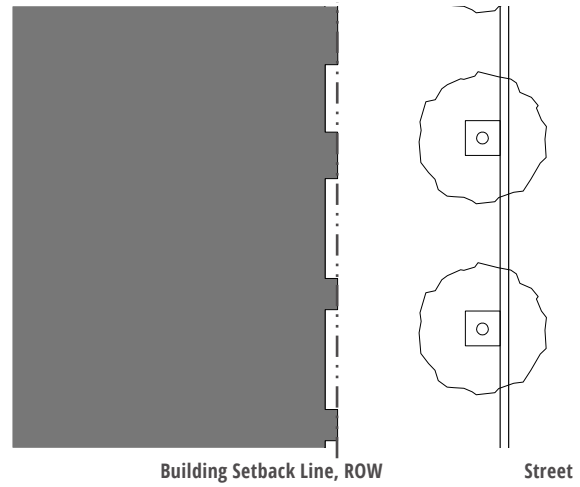
#### C. Awning

Setback from Curb	2' min.	A
Height, Clear	8' min.	B

#### D. Miscellaneous

Residential windows are not allowed on the ground floor.

Doors may be recessed when main facade is at the building setback line.



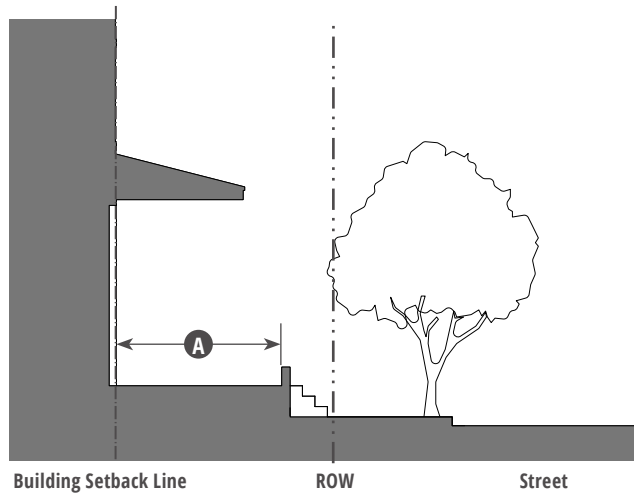
Shopfront frontage along ground floor of multi-story buildings.



Shopfront with recessed entry and simple large windows.

General Note: Photos on this page are illustrative, not regulatory.

### 10-24.3.3.130 Terrace



#### Key

----- ROW / Lot Line      ----- Building Setback Line

#### A. Description

The main facade is set back from the frontage line with an elevated terrace providing public circulation along the facade. This type can be used to provide at-grade access while accommodating a grade change or buffer residential use from public sidewalk. Frequent steps up to the terrace are necessary to avoid blank sections of walls and to maximize access. This type may also be used in historic industrial areas to mimic historic loading docks.

MB-CN

MB-NN

MB-CC

#### B. Size/Dimensions

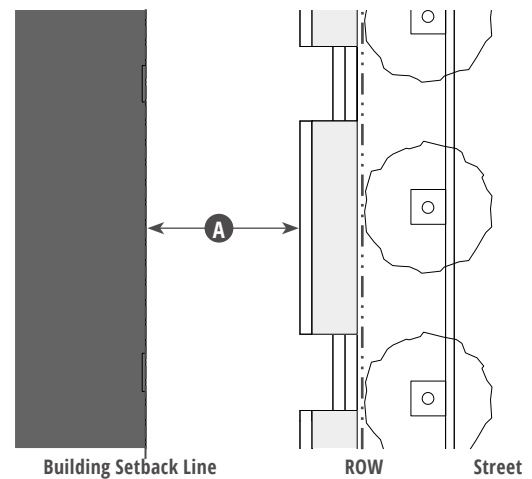
Depth of Terrace      8' min.      **A**

#### C. Miscellaneous

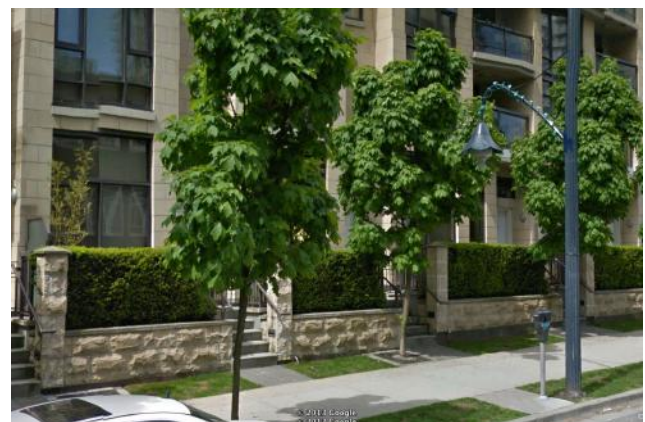
Low walls used as seating are allowed.

Where the zone requires the ground floor to be flush with the sidewalk, the terrace is considered to be the sidewalk.

Terrace may be utilized to group entries at a common elevation.



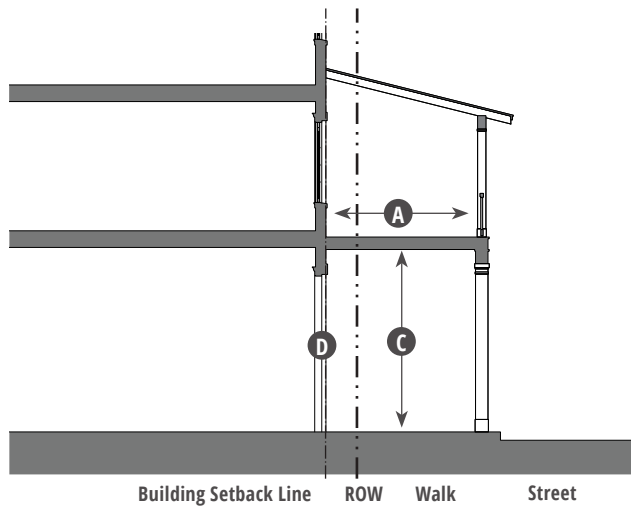
*Terrace accommodates a change in grade with low walls for seating while keeping visual connection with sidewalk.*



*One terrace spans across several ground floor townhouses with individual entries separated by landscaping.*

*General Note: Photos on this page are illustrative, not regulatory.*

### 10-24.3.3.140 Gallery



#### Key

--- ROW / Lot Line      - - - - Building Setback Line

#### A. Description

The main facade of the building is at or near the frontage line with a cantilevered shed or colonnade that may overlap the sidewalk. The gallery may support habitable space on the upper story. This type is intended for buildings with ground-floor commercial or retail uses and may be one or two stories. If the gallery overlaps the right-of-way, an easement is required. Alternatively the lot line may be aligned with the edge of the gallery and curb.

☐ MB-NN    ☐ MB-CC

#### B. Size/Dimensions

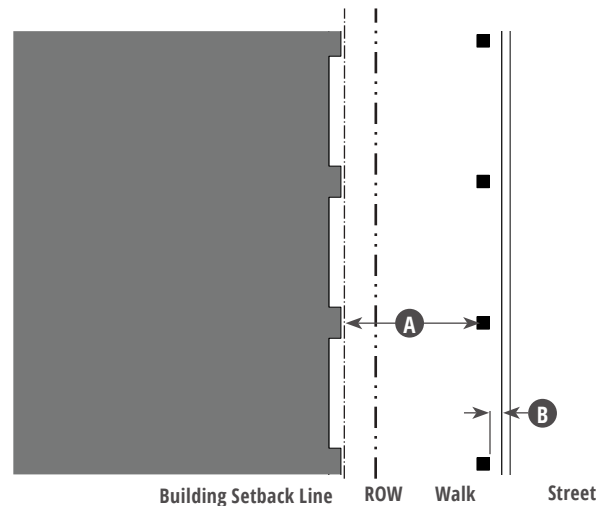
Depth, Clear	10' min.	<b>A</b>
Setback from Curb	2' min.	<b>B</b>
Height, Clear	10' min.	<b>C</b>

#### C. Miscellaneous

Galleries must also follow the regulations for the [Shopfront Frontage Type](#) (See Section 10-24.3.3.110). **D**

Galleries must have a consistent depth.

Galleries must project over the sidewalk.



*One-story gallery.*



*A two-story gallery fronting a plaza.*

*General Note: Photos on this page are illustrative, not regulatory.*



## Division 10-24.3.4 Specific to Civic Spaces

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### Sections

10-20.3.4.010	Purpose .....	3-25
10-24.3.4.020	Applicability .....	3-25
10-24.3.4.030	Overview .....	3-26
10-24.3.4.040	General to All Civic Spaces .....	3-26
10-24.3.4.050	Greenway .....	3-28
10-24.3.4.060	Green .....	3-29
10-24.3.4.070	Square .....	3-30
10-24.3.4.080	Pocket Plaza .....	3-31
10-24.3.4.090	Playground .....	3-32

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### 10-20.3.4.010 Purpose

This Division sets forth the standards to provide a diverse palette of parks and other publicly accessible civic spaces that are publicly or privately owned throughout the Code Area. These standards supplement the standards for each zone in which the civic spaces are allowed and are intended to complement development and reinforce the character and scale of Mission Boulevard and the adjacent walkable neighborhoods. Civic space is a public benefit intended for use by the general community, and is distinct from private or common usable open space typically required as part of a residential project.

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### 10-24.3.4.020 Applicability

This Division applies to any project where civic space is required, including Section 10-24.3.6.030(E), and is not exclusive to the MB-CS Zone.

### 10-24.3.4.030 Overview

- A. **Table A (Civic Space Type Overview)** provides an overview of the allowed civic space types in the Mission Boulevard Corridor Zones.
- B. The civic spaces specified in **Table A (Civic Space Type Overview)** are allowed as follows:
1. **Allowed by Review.** Allowed if in compliance with the standards of this Division and if approved as part of Site Plan Review, Conditional Use Permit, Major Site Plan Review, or with an Administrative Use Permit.
  2. **Not Allowed.** Civic Space Types not allowed in the zone.

Table 3.4.030.A Civic Space Type Overview					
CIVIC SPACE TYPE	SECTION	ZONES			
Greenway	10-24.3.4.050	MB-CN	MB-NN	MB-CC	MB-CS
Green	10-24.3.4.060	MB-CN		MB-CC	MB-CS
Square	10-24.3.4.070		MB-NN	MB-CC	MB-CS
Pocket Plaza	10-24.3.4.080		MB-NN	MB-CC	MB-CS
Playground	10-24.3.4.090	MB-CN	MB-NN	MB-CC	MB-CS

Key

Z=Zone

Z

 Allowed by Review

Z

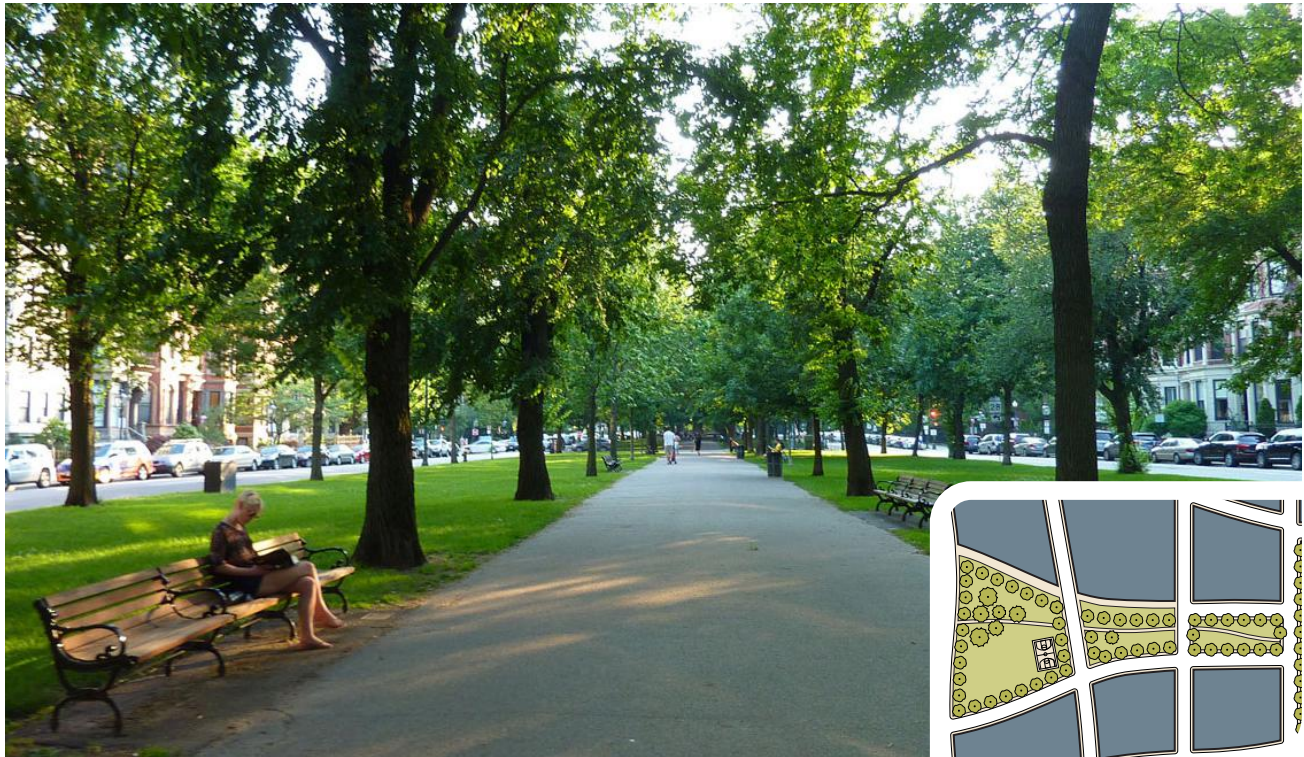
 Not Allowed

### 10-24.3.4.040 General to All Civic Spaces

- A. **Minimum Dimensions.** Minimum dimension of 25 feet by 25 feet
- B. **Building Frontage.** Buildings on lots adjacent to or across a thoroughfare from a civic space must be oriented to have the building facade face the civic space.
- C. **Public Access.** Public access and visibility from a public street and from on-site areas normally frequented by nearby uses, must be maintained.
- D. **Accessory Structure Standards.** Accessory structures within civic spaces, including, but not limited to, restrooms, open-air pavilions, gazebos, picnic shelters, and outdoor theaters, are subject to the standards of the applicable zone in **Division 10-24.2.2 (Mission Boulevard Corridor Zones)**.

- E. **General Characteristics.** The placement of objects within the civic space.
1. **Natural.** Civic spaces with natural character must be designed in a natural manner with no formal arrangement of elements.
  2. **Formal.** Civic spaces with a formal character must be designed in a more rigid layout that follows geometric forms and has trees and other elements arranged in formal patterns.
  3. **Informal.** Civic spaces with an informal character must be designed to have a mix of formal and natural characteristics.
- F. **Design Criteria.** An area used for civic space must comply with the following:
1. Unless the land includes sensitive natural resources, a civic space area must be readily accessible and usable.
  2. The area may be developed using any practical combination of high quality plant and hardscape materials such as bricks, stone, concrete, permeable paving, or tile.
  3. The surface of the civic space must be suitable for outdoor activities, such as a lawn or paving for designated activities
  4. Locate seating areas and plazas should be located in areas with good solar exposure and wind protection.
  5. Civic space shall include benches or other seating. Amenities shall be included that enhance the comfort, aesthetics, or usability of the space, including but not limited to trees and other landscaping, shade structures, drinking fountains, water features, public art, trash receptacles, information kiosks, or performance areas.

## 10-24.3.4.050 Greenway



*General Note: Images on this page are illustrative, not regulatory.*

MB-CN

MB-NN

MB-CC

MB-CS

Key Z=Zone

Z

Allowed by Review

Z

Not Allowed

### A. Description

Linear space for community gathering and strolling for nearby residents and employees, defined by tree-lined streets forming a one-way couplet on its flanks and by the fronting buildings across the street. Greenways can serve an important role as a green connector between destinations. Appropriate elements include community facility < 5,000 gsf., fountains, and benches.

### B. General Character

Formal or informal

Hardscape or natural path

Spatially defined by tree-lined streets and adjacent buildings

### C. Size and Location

Must front at least one street

### D. Typical Uses

Passive recreation

Walking/Running

Formal or informal seating



## 10-24.3.4.060 Green



*General Note: Images on this page are illustrative, not regulatory.*

MB-CN

MB-CC

MB-CS

Key Z=Zone

☒ Allowed by Review☐ Not Allowed**A. Description**

Open space available for unstructured and limited amounts of structured recreation. Appropriate elements include community facility < 5,000 gsf., fountains, and benches.

**B. General Character**

Informal or formal

Primarily planted areas with paths to and between recreation areas

Spatially defined by landscaping, tree-lined streets, and adjacent buildings

**C. Size and Location**

1/2 acre, min.

**D. Typical Uses**

Unstructured passive and active recreation

Civic uses

Temporary commercial uses



## 10-24.3.4.070 Square



*General Note: Images on this page are illustrative, not regulatory.*

	MB-NN	MB-CC	MB-CS
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Key Z=Zone ☒ Allowed by Review ☐ Not Allowed

### A. Description

Neighborhood focal point available for civic purposes, commercial activity, and passive uses. Appropriate elements include kiosk, pergola, community facility < 5,000 gsf., fountains, and benches.

### B. General Character

Formal

Combination of hardscape and planted areas in formal patterns

Spatially defined by tree-lined streets and adjacent buildings

Walkways and plantings at all edges, shaded seating areas

### C. Size and Location

1/2 acre min., 5 acre max.

### D. Typical Uses

Unstructured or structured recreation

Commercial and civic uses

Casual seating and/or outdoor dining



## 10-24.3.4.080 Pocket Plaza



*General Note: Images on this page are illustrative, not regulatory.*

<input type="checkbox"/>	<input checked="" type="checkbox"/> MB-NN	<input checked="" type="checkbox"/> MB-CC	<input checked="" type="checkbox"/> MB-CS
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Key Z=Zone ☒ Allowed by Review ☐ Not Allowed

### A. Description

Small-scale, open space available for civic purposes and commercial activity, intended as spaces for seating or dining into which commercial and neighborhood activity may spill. Pocket plazas can also be used to create a formal space in front of a prominent building entrance. Appropriate elements include community facility < 1,000 gsf., fountains, and benches.

### B. General Character

Formal

Primarily hardscape with landscape accents

Spatially defined by building facades

Trees and shrubs optional

### C. Size and Location

5,000 sf min., 1/2 acre max.

### D. Typical Uses

Civic activity

Commercial in support of civic activity

Casual seating and/or outdoor dining



## 10-24.3.4.090 Playground



*General Note: Images on this page are illustrative, not regulatory.*

MB-CN

MB-NN

MB-CC

MB-CS

Key Z=Zone

☒ Allowed by Review☐ Not Allowed

### A. Description

Small-scale, open space designed and equipped for the recreation of children. These spaces serve as quiet, safe places protected from the street and typically in locations where children do not have to cross any major streets. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Playgrounds may be included within all other civic space types.

### B. General Character

Focused toward children

Play structure, interactive art, and/or fountains

Shade and seating provided

Protected from traffic; fenced with minimal exits

Spatially defined by decorative fencing and trees

### C. Size and Location

No min. or max.

### D. Typical Uses

Active and passive recreation

Casual seating



## Division 10-24.3.5 Specific to Uses

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### Sections

10-24.3.5.010	Telecommunication Facilities . . . . .	3-33
10-24.3.5.020	Temporary Uses . . . . .	3-34

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### 10-24.3.5.010 Telecommunication Facilities

A. **Class 1 Telecommunication Facilities.** The following Telecommunication Facilities are classified as Class 1 facilities within the Code Area:

1. Any Telecommunication Facility directly affixed to a building or structure, provided that all components of the facility are designed in a manner to be architecturally consistent with the building or structure. Examples include, without limitation, Telecommunications Facilities concealed within existing structures such as attics, cupolas, steeples, stanchions, bell towers, or similar structures, mounted to the penthouse of a building to appear as part of the architecture.
2. A ground-mounted or building-mounted receive-only radio or television satellite dish antenna which exceeds 36 inches in diameter but is not larger than 8 feet in diameter, provided the height of said dish does not exceed the height of the roof ridge line of a structure on which it is to be installed or is screened from view from the public right-of-way.
3. Any freestanding Telecommunications Facility designed to blend into the surrounding natural or man-made environment in order to minimize the overall visual impact. Examples include, without limitation, flag, telephone or light poles, palm trees, windmills, or rock formations and other similar items.
4. Any Telecommunications Facility proposed to co-locate on another freestanding existing Telecommunications Facility.
5. Government-owned and government-operated antenna(s).

The descriptions of Class 1 Telecommunication Facilities found in [Hayward Zoning Code Subsection 10-13.070.a\(1\) through \(8\)](#) are inapplicable to the Code Area.

B. **Allowed Facilities.**

1. Class 1 Telecommunication Facilities may be located in any zone within the Code Area subject to Telecommunication Site Review approved by the Planning Director in accordance with [Municipal Code Chapter 10, Article 13 \(Antenna and Telecommunications Facilities Ordinance\)](#).
2. Class 2 and Class 3 Telecommunication Facilities are prohibited in the Code Area.

- C. **Required Findings.** In addition to the findings required by [Hayward Zoning Code Section 10-13.070](#) and in order to approve a Telecommunications Site Review application, the Planning Director must find the proposed Telecommunication Facility is:
  - 1. Sited and designed so as to be architecturally integrated such that it is virtually invisible to the naked eye from public streets and Civic spaces;
  - 2. The design, finish, colors and texture are non-reflective and blend with the surrounding natural and/or man-made environment; and
  - 3. If freestanding or pole-mounted, the height is the minimum necessary without compromising reasonable reception or transmission.
- D. **Other Requirements.** All other requirements of [Hayward Zoning Code Article 13 \(Antenna and Telecommunications Facilities Ordinance\)](#), apply.

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### 10-24.3.5.020 Temporary Uses

- A. **Purpose.** The purpose of this Section is to establish standards for short term activities that would be compatible with adjacent and surrounding uses when conducted in compliance with this Section.
- B. **Applicability.** A Temporary Use allows short term activities that might not meet the normal development or use of standards of the applicable zone, but may otherwise be acceptable because of their temporary nature, when reviewed and appropriately conditioned in compliance with this Section and [Division 10-24.4.4 \(Temporary Use Permit\)](#).
- C. **Exempt Temporary Uses.** The following minor or limited duration temporary uses are exempt from the requirement for a Temporary Use Permit in [Division 10-24.4.4 \(Temporary Use Permit\)](#). Uses that do not fall within the categories defined below must comply with [Subsection E](#).
  - 1. **Contractors' Construction Yards On-site.**
    - a. On-site contractors' construction/storage yard(s), in conjunction with an approved construction project on the same parcel, including, but not limited to, storage or cargo containers.
    - b. The construction yard must be removed immediately upon completion of the construction project, or the expiration of the companion Building Permit, authorizing the construction project, whichever first occurs.
  - 2. **Emergency Facilities.** Emergency public health and safety needs/land use activities, as determined by the Planning Director.
  - 3. **Fundraising Events.**
    - a. Fundraising events (e.g., bake sales, yard sales, car washes, etc.) are limited to a maximum of two days per month for each sponsoring organization.
    - b. Sponsorship is limited to educational, fraternal, religious, or service organizations directly engaged in civic or charitable efforts, or to tax exempt organizations in compliance with 501(c) of the Federal Revenue and Taxation Code.
  - 4. **Garage and Yard Sales.** Garage and yard sales (e.g., personal property sales) are allowed as Temporary Uses when conducted within a MB-CN or MB-NN zoned

property and are subject to the standards in [Subsection 10-1.2735.e \(Garage Sales\) of the Hayward Zoning Code](#).

5. **Sidewalk Dining.** Sidewalk dining, in compliance with [Section 3-5.13 of the Municipal Code](#).
- D. **Allowed Temporary Uses.** The following temporary uses and events require a Temporary Use Permit in compliance with [Division 10-24.4.4 \(Temporary Use Permits\)](#), and must comply with the following standards:
1. **Events.** In addition to the following standards, temporary events must comply with [Subsection 10-1.2735.h \(Outdoor Gatherings\) of the Hayward Zoning Code](#). If there is a conflict between this Section and the Municipal Code, this Section controls.
    - a. Circuses, carnivals, and similar transient amusement enterprises in a MB-CC Zone subject to no more than 30 days of site occupation and operation in any calendar year.
    - b. Music festivals, movie nights, outdoor art and craft shows and exhibits, and similar outdoor entertainment activities subject to a limitation on the number of days of operation as determined by the Planning Director.
  2. **Seasonal Sale Events.** Seasonal sale events (e.g., Halloween, Thanksgiving, Christmas, etc.) must comply with [Subsection 10-1.2735.c \(Christmas Tree and Pumpkin Patch Lot Regulations\) of the Hayward Zoning Code](#). Accessory uses, including temporary residence/security trailers, are only allowed on non-residential properties. Businesses holding valid a Business Permit, in compliance with [Chapter 8-1 \(Business Licenses\) of the Municipal Code](#) must not exceed 45 days for pumpkin and tree sales. Seasonal sales events may not occur more than four times per calendar year with a maximum of five days for each event.
  3. **Storage Containers.** Storage containers, including cargo containers or semitrailers, used for storage purposes.
    - a. No storage container may exceed a storage period of 15 days in any calendar year, except Subsection, below.
    - b. A storage container located on an active construction site may be retained longer than 15 days, but must be removed immediately following the issuance of a certificate of conformance or final inspection.
    - c. Storage containers are not allowed within the public ROW and must be placed to prevent public health or safety issues.
  4. **Tract Homes or Lot Sales Offices.**
  5. **Mobile Homes.** A mobile home to be utilized as a temporary dwelling in a residential zone while a single-family dwelling is under construction and subject to the following provisions:
    - a. The mobile home may only be located on the same parcel under construction and occupied while actual construction activities are taking place upon the parcel. The period of placement and use may not exceed 12 months.
    - b. The mobile home may only be occupied by the property owner, the builder designated on the Building Permit, and the owner's/ builder's family.
    - c. The timely removal and compliance with all conditions of approval may be required.

- d. The minimum setbacks for the zone must be maintained.
  - e. Additional conditions necessary and appropriate to ensure compatibility with surrounding development, existing and contemplated, may be imposed on the approved permit.
- 6. **Temporary Vegetable and Fruit Stands.** A temporary vegetable and/or fruit stand is allowed in compliance with the following standards:
  - a. Vegetable and fruit stands must be operated by the producer;
  - b. The stand may not operate more than 90 days a year;
  - c. The producer shall obtain written consent from the land owner to operate a temporary vegetable and/or fruit stand on the property;
  - d. More than one stand per lot is prohibited;
  - e. Stands may encroach into required setbacks, but may not encroach into the public right-of-way.
- E. **General Requirements for All Temporary Uses.** The Review Authority ([See Division 10-24.4.4 \(Temporary Use Permit\)](#)) may impose requirements for any of the following conditions:
  - 1. Compliance with all applicable Federal, State, or County, and local regulations and ordinances;
  - 2. Compliance with any other permit requirements (i.e., Building and/or Electric);
  - 3. Applicant availability during temporary use activity;
  - 4. Agreement that the temporary use will cease on the date printed on the permit, and all related equipment, supplies, product and personnel must be removed from the site; or
  - 5. Any other condition which will ensure the operation of the proposed temporary use or event in an orderly and efficient manner and in full compliance with the purpose of this Article, including those related to the following:
    - a. Cumulative time limits;
    - b. Parking;
    - c. Operating hours;
    - d. Screening;
    - e. Storm water;
    - f. Waste collection and disposal;
    - g. Pedestrian and vehicular access/circulation; and
    - h. Signs, in compliance with [Section 10-7.600 \(Temporary Sign Regulations\) of the Hayward Zoning Code](#).
- F. **Temporary Structures.** Temporary structures are allowed on vacant lots for a period not to exceed six months, provided the area is left unchanged and in its original condition after the removal of the temporary structure.
- G. **Temporary Use of Existing Structures.** Temporary, short-term, use of an existing structure is allowed in all zones, provided:

1. The short-term use, if a permanent use, would otherwise be a permitted use in the zone;
  2. The short-term tenant has signed a lease with the property owner for a time period of no more than six months.
- H. **Similar Temporary Uses.** Similar temporary uses, which are compatible with the zone and surrounding land uses, may require a Temporary Use Permit in compliance with [Division 10-24.4.4 \(Temporary Use Permit\)](#) and be subject to the standards in this Section, as determined by the Planning Director.
- I. **Condition of the Site Following Temporary Use.** Each site occupied by a temporary use must be cleaned of debris, litter, or any other evidence of the temporary use upon completion or removal of the use.

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## Division 10-24.3.6: Standards for Large Sites

### Sections

10-24.3.6.010	Purpose and Applicability. . . . .	3-39
10-24.3.6.020	Major Site Plan Required. . . . .	3-39
10-24.3.6.030	Development Requirements . . . . .	3-40

### 10-24.3.6.010 Purpose and Applicability

- A. The intent of this Division is to:
  - 1. Create and reinforce compact and walkable urban environments with a mix of uses;
  - 2. Promote development patterns that support effective and convenient multi-modal transportation options, including pedestrian, bicycle, and public transit; and
  - 3. Provide opportunities for auto-oriented suburban contexts to transform into walkable urban development.
- B. The standards of this Division apply to new development or subdivision on sites that are two acres or larger in size or with more than 600 feet of cumulative front and side street frontage.



**A** Site with area greater than 2 acres    **B** Site with more than 600 feet of street frontage

### 10-24.3.6.020 Major Site Plan Required

Sites subject to this Division must obtain Major Site Plan Review in compliance with [Section 10-1.3000 \(Site Plan Review\) of the Hayward Zoning Code](#) and the requirements of this Division.

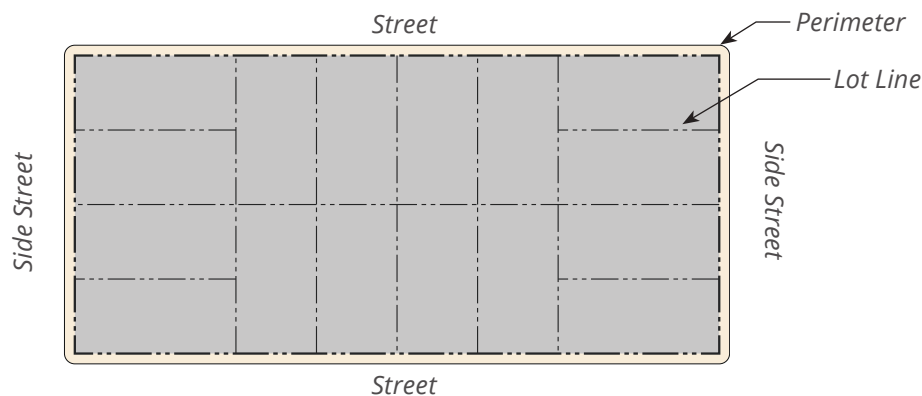
## 10-24.3.6.030 Development Requirements

### A. Block Size

1. The total block perimeter must comply with the standards established in [Table A \(Block Size\)](#).
2. If a block or site contains multiple zones, smallest applicable block perimeter applies.

**Table 3.6.030.A Block Size**

Zone	New Block Perimeter
MB-CN, MB-CS	2,400 ft. max.
MB-NN	2,800 ft. max.
MB-CC	2,000 ft. max.



- B. Thoroughfares.** Thoroughfares, public or private, define the streets, pedestrian paths, and bicycle routes that refine large sites into walkable urban environments that may also provide multiple routes for vehicular circulation.

#### 1. General to All.

- a. Thoroughfares are intended to provide multi-modal access to lots and civic spaces.
- b. Thoroughfares shall consist of vehicular lanes (including parking and bicycle lanes) and public frontages (including sidewalks and amenities) consistent with City complete streets principles and City plans for improvements.
- c. Pedestrian comfort shall be a primary consideration of the thoroughfare.
- d. Where presented, design conflicts between vehicular and pedestrian movement generally shall be decided in favor of the pedestrian.

#### 2. Design.

- a. Thoroughfares must comply with Department of Public Works and Utilities standards.
- b. The thoroughfare network must indicate the layout on streets, pedestrian paths, and bicycle facilities (as appropriate), and the block network in compliance with standards in this Subsection and [Subsection A](#).
- c. Thoroughfares shall accommodate sidewalks, Bicycle Lanes, Bicycle Routes and Bicycle Trails (if applicable) consistent with the City of Hayward Bicycle and Pedestrian Master Plan and any other plans for network improvements.



- d. Thoroughfares that pass through multiple zones must transition to align with the character of the zone. For example, while a thoroughfare within a Mission Boulevard- Corridor Center (MB-CC) Zone with retail shops may have wide sidewalks with trees in tree grates, it may transition to a narrower sidewalk with a planting strip within a less urban zone with lower intensity residential uses (e.g., Mission Boulevard-Corridor Neighborhood (MB-CN) Zone).

**3. External Connectivity.**

- a. Thoroughfares must be arranged to connect to existing or proposed thoroughfares into adjoining lands whether the adjoining lands are undeveloped and intended for future development, or if the adjoining lands are developed and include opportunities for such connections.
- b. Thoroughfare rights-of-way must be extended to or along adjoining property boundaries to provide a roadway connection or thoroughfare stub for development in compliance with the standards in [Subsection A \(Block Size\)](#).
- c. The site plan must identify all stubs for thoroughfares and include a notation that all stubs must connect with future thoroughfares on adjoining undeveloped property.
- d. Dead-end streets and cul-de-sacs are not allowed. This does not apply to public or private driveways leading to parking facilities, including garages, parking lots, or parking structures.

**4. Specific to Bicycle and Pedestrian Connections.** The site circulation system must include a system of bicycle and/or pedestrian paths that, at minimum, include the following:

- a. Internal Connections. A system of pedestrian walkways shall connect all buildings on a site to each other, to on-site automobile and bicycle parking areas, and to any on-site common open space areas, civic spaces, or pedestrian amenities. Walkways must be physically separated from drive aisles, except when crossing a drive aisle.
- b. External Connections.
  - (1) Regular connections between on-site walkways and the public sidewalk shall be provided. An on-site walkway shall connect the primary building entry or entries to a public sidewalk on each street frontage.
- c. Direct and convenient access shall be provided from commercial and mixed-use projects to adjoining residential and commercial areas to the maximum extent feasible while still providing for safety and security.
- d. Safe and convenient pedestrian connections shall be provided from transit stops to building entrances.
- e. Pedestrian access must consist of an accessible, easily discernible, well-lit, and ADA compliant walkway a minimum of 5 feet in width.

**C. Land Use.** The site shall provide a mix of land uses consistent with the uses allowed in [Division 10-24.2.3 \(Use Table\)](#), including a variety of entertainment, recreational, retail, residential, and supporting uses to create an active, mixed-use environment.

**D. Civic Space.** Minimum of 10 percent of the net project area must be designed as civic space in compliance with [Division 10-24.3.4 \(Civic Space\)](#). Net project area is the area after subtracting streets right-of-way from the project area.

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# Sub Article 10-24.4: Permits and Procedures

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## Division 10-24.4.1 Purpose

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### Sections

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### 10-24.4.1.010 Purpose

This Sub Article establishes the review procedures for the administration of the Code and to ensure that each new or expanded use or structure complies with the applicable requirements of this Code and the Hayward Municipal Code.

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### 10-24.4.1.020 Applicability

This Sub Article applies to the use and development of property within the Code Area and shall be considered in addition to the applicable permit and review procedure requirements in any other section of this Code or the Hayward Municipal Code.

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## Division 10-24.4.2 Site Plan Review

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### Sections

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### 10-24.4.2.010 Site Plan Review

Site Plan Review, pursuant to [Section 10-1.3000 of the Hayward Zoning Code](#), is required for all development projects and uses. If the project also requires Planning Commission approval, the project shall be processed and reviewed concurrently by the Planning Commission.

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### 10-24.4.2.020 Major Site Plan Review

On sites of two or more acres or with more than 600 feet of street frontage, Major Site Plan Review, pursuant to [Section 10-1.3075 of the Hayward Zoning Code](#), shall be obtained prior to any subdivision or other approval for new development.

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## Division 10-24.4.3 Minor Modifications

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### 10-24.4.3.010 Modification

Modifications to the dimensional requirements of property development standards may be granted pursuant to [Section 10-1.2830, Conformance-Administrative Modification, of the Hayward Zoning Code](#) and as specifically identified in any section of this Code.

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### 10-24.4.3.010 Purpose and Applicability

- A. The purpose of a Minor Modification is to streamline and expedite the permitting process by authorizing the Planning Director to allow minor deviations from certain code standards when such requests constitute a reasonable use of the property but are not otherwise permissible under a strict application of this Chapter.
- B. The provisions of this Division are intended to ensure that development of property within Mission Boulevard Corridor Zones:
  1. Makes a positive contribution to existing development on neighboring properties;
  2. Ensures that new or altered structures are compatible and harmonious with the design and use of existing structures on neighboring properties;
  3. Respects the existing views, privacy, and access to light and safety of neighboring properties; and
  4. Does not adversely affect neighboring properties, with “adversely affect” to mean to impact in a substantial, negative manner the economic value, habitability, or enjoyability of these properties.

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### 10-24.4.3.020 Review Procedures

- A. **Application Filing and Processing.** The application must be filed with the Planning Director and include the information and materials in the most current Department publication for applications together with the required fee as specified in [Section 10-1.2815 \(Application\) of the Hayward Zoning Code](#). It is the responsibility of the applicant to provide evidence in support of the findings required by [Section 10-24.4.3.040 \(Findings for a Decision on a Minor Modification\)](#).

- B. The Planning Director may approve a Minor Modification as specified in [Table 4.3.030.A \(Minor Modifications Allowed\)](#), only after first determining that the requested modification complies with the findings specified in [Section 10-24.4.3.040 \(Findings for a Decision on a Minor Modification\)](#).
- C. A request for a modification beyond modification allowed in [Section 10-24.4.3.030 \(Modification Allowed\)](#) may apply for a Variance in compliance with [Section 10-1.3300 \(Variance\) of the Hayward Zoning Code](#), as appropriate.

### 10-24.4.3.030 Modification Allowed

- A. **General Modification.** The Planning Director may approve a Minor Modification in any Mission Boulevard Corridor Zone for a modification of up to 20 percent of any measurable standard prescribed in this Code, only after first determining that the requested modification complies with the findings specified in [Section 10-24.4.3.040 \(Findings for a Decision on a Minor Modification\)](#).
- B. **Additional Modification.** In addition to the modification allowed under [Subsection A](#), the Planning Director may approve a modification as provided in [Table A \(Minor Modifications Allowed\)](#). If the modification in [Table A \(Minor Modifications Allowed\)](#) is less permissive than [Subsection A](#), [Table A](#) supersedes.

**Table 4.3.030.A Minor Modifications Allowed**

Type of Minor Modification Allowed	Maximum Modification
Reduced front or street-side setbacks, provided at least 25% of the lots on the block contain primary buildings, the subject lot is vacant, and there would be no conflict with the ultimate right-of-way	To the minimum front or street-side yard setback of any primary building along the same block face
Increase in maximum projection into setback for porches, balconies, and stairways	10%
Reduced side or rear setbacks for detached private garages and accessory structures, provided the garage or structure is does not exceed 10 feet in height within the required setback and does not create a condition causing water to drain onto an adjacent site	3 feet into the required side or rear setback
Reduced minimum parking setback, provided that parking is not located in front of the main building along the primary facade.	25% reduction of the minimum
Reduced side street frontage for multi-family projects on corner lots with primary street frontage	Waive minimum side street frontage requirement
Increase in maximum block perimeter	5%
Increase in maximum setback	10%
Minimum Open Space	10%

#### 10-24.4.3.040 Findings for a Decision on a Minor Modification

The Planning Director shall review and approve or disapprove an application for a Minor Modification, with or without conditions, only after the following findings are made:

- A. There are special circumstances applicable to the property (e.g., size, shape, topography, location, surroundings, etc.) that the strict application of the Code could deprive the property of privileges enjoyed by other property in the vicinity and under identical zoning classification;
- B. The special circumstances applicable to the property are not self-imposed by any person presently having and interest in the property;
- C. Granting the Minor Modification will not be materially detrimental to the public health, safety, or welfare and will not impair an adequate supply of light and air to adjacent property;
- D. The requested Minor Modification will not allow the establishment of a use that is not allowed in the zone;
- E. The requested Minor Modification will not allow an increase in height or density beyond which is allowed in the base zone; and
- F. The proposed project will comply with all applicable standards in this Code.

#### 10-24.4.3.050 Review and Decision

- A. Each Minor Modification application must be reviewed on an individual case-by-case basis.
- B. A request for modification that exceeds 10 percent of the required standard is subject to notice in compliance with [Section 10-1.2820 \(Notice\) of the Hayward Zoning Code](#).
- C. A decision on a Minor Modification may be appealed in compliance with [Section 10-1.2845 \(Appeal and Review Process\) of the Hayward Zoning Code](#).

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## Division 10-24.4.4 Temporary Use Permit

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### Sections

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### 10-24.4.4.010 Purpose and Applicability

- A. This Division establishes the procedures for the review of Temporary Use Permits required by this Code for temporary uses and/or activities that have a short duration, are compatible with adjacent and surrounding uses when conducted in compliance with this Code when reviewed and appropriately conditioned in compliance with this Division. Standards for specific temporary uses are identified in [Section 10-24.3.5.020 \(Temporary Uses\)](#).
- B. A Temporary Use Permit is required to allow the temporary uses and/or short-term activities specified in [Section 3.5.020 \(Temporary Uses\)](#), unless exempted by [Subsection 10-24.3.5.020.D \(Allowed Temporary Uses\)](#).

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### 10-24.4.4.020 Review Procedures

- A. **Application Filing and Processing.** The application must be filed with the Planning Director and include the information and materials in the most current Department publication for applications together with the required fee as specified in [Section 10-1.2815 \(Application\) of the Hayward Zoning Code](#). It is the responsibility of the applicant to provide evidence in support of the findings required by [Section 10-24.4.4.030 \(Findings\)](#).
- B. **Administrative Options.** The Planning Director may approve, conditionally approve, or disapprove a Temporary Use Permit application. The Planning Director's decision must be based on the findings listed in [Section 10-24.4.4.030 \(Findings\)](#). For uses not listed in [Section 10-24.3.5.020 \(Temporary Uses\)](#), the Planning Director may determine if the use is allowed with a Temporary Use Permit or requires an Administrative Use Permit in compliance with [Section 10-1.2715 \(Certain Uses Permitted\) the Hayward Zoning Code](#).
- C. **Conditions of Approval.** In approving a Temporary Use Permit application, the Planning Director may impose conditions of approval that are considered reasonable and necessary to ensure that the permit would be in full compliance with the findings required by [Section 10-24.4.4.030 \(Findings\)](#). This may include conditions from other City departments (e.g., Public Works) that may have a direct effect on the operation of the temporary use. Conditions may address any pertinent factors affecting the operation of the temporary event or use to ensure the operation of the proposed event or use is temporary in nature.

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**10-24.4.4.030 Findings**

The Planning Director may approve a Temporary Use Permit subject to making all the following findings:

- A. The location, operation, and time period of the temporary use will not constitute a hazard to the public interest, health, safety, or general welfare.
- B. The operation of the temporary use will not be detrimental to adjoining properties through the creation of excessive dust, light, noise, odor, or other undesirable characteristics.
- C. The site on which the temporary use is proposed is adequate in size and shape to accommodate the temporary use without detriment to the enjoyment of other properties located adjacent to and near the subject property.

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**10-24.4.4.040 Lapse of Approval**

- A. A Temporary Use Permit becomes void if not used within six months following its effective date, or within a shorter time specifically prescribed as a condition of the Temporary Use Permit, or at the expiration of an associated development permit if that occurs at a later time. The Planning Director may extend the time for a maximum period of one additional six-month period only, if an application is filed before the expiration of the six month or shorter time period.
- B. Where the conditions of a Temporary Use Permit have not been or are not being complied with, the Planning Director shall give written notice to the permittee of intention to revoke or modify the Temporary Use Permit and shall set a date for a public hearing with the Planning Commission in compliance with [Section 10-1.2820 \(Notice\) of the Hayward Zoning Code](#) upon the proposed revocation or modification. The notice must be served on the owner of the subject property by mailing the notice to the owner at the address shown on the last equalized assessment roll at least 10 days before the date of the hearing, and specify the date, time, and place when and where it will be held. Following the hearing, and if the Planning Director finds that there is good cause the Temporary Use Permit may be modified or revoked.
- C. If a structure or use granted under a Temporary Use Permit is abandoned for a period of 30 days, the Temporary Use Permit expires.

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#### **10-24.4.4.050 Time Limits**

- A. A Temporary Use Permit is valid for up to 180 days in any given calendar year, unless otherwise stipulated in [Section 10-24.3.5.020 \(Temporary Uses\)](#) or the Planning Director determines that another time limit is necessary to comply with the findings in [Section 10-24.4.4.030 \(Findings\)](#).
- B. The Planning Director may limit the number of Temporary Use Permits approved for each lot in a calendar year to avoid temporary uses becoming effectively permanent uses consistent with the intent of this Division.

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#### **10-24.4.4.060 Appeals**

A decision for a Temporary Use Permit can be appealed in compliance with [Section 10-1.2845 \(Appeal and Review Process\)](#) of the [Hayward Zoning Code](#).

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# Sub Article 10-24.5: Definitions

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## Division 10-24.5.1 General Terms and Definitions

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### 10-24.5.1.010 Purpose and Intent

This Sub Article describes and classifies land uses and terms that apply to the Mission Boulevard Corridor Zones. This Sub Article supplements, and supersedes, if in conflict with, the terms defined in [Section 10-1.3500 \(Definitions\)](#) in the Hayward Zoning Code. Where this Sub Article is silent, the definitions of the Hayward Municipal Code apply.

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### 10-24.5.1.020 Land Uses

Land uses are defined in [Article 1, Section 10-1.3500, Definitions, of the Hayward Zoning Code](#).

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### 10-24.5.1.030 General Terms

**Block.** An area of land separated from other areas by adjacent streets, railroads, rights of-way, or public areas.

**Building Elevation.** The exterior wall of a building not adjacent to a public right-of-way, the front or side along a private street, or civic space.

**Building Façade.** The vertical surface of a building, generally placed facing a frontage line ("front facade").

**Civic Space.** Land that is improved for civic gathering purposes.

**Commercial.** the term collectively defining workplace, Office, Retail Sales, and Lodging Functions.

**Density.** the number of dwelling units within a standard measure of land area.

**Dooryard.** A Frontage Type wherein the main facade of the building is set back a small distance and the frontage line is defined by a low wall or hedge, creating a small dooryard ([see Section 10-24.3.3.100](#)).

**Driveway.** A vehicular lane within a site or shared between two sites leading to a garage, or other approved parking or loading area.

**Encroachment.** Any architectural feature, structure or structural element, such as a gallery, fence, garden wall, porch, stoop, balcony, oriel window, bay window, terrace or deck, that breaks the plane of a vertical or horizontal regulatory limit extending into a setback, or beyond the zero lot line into the public frontage, or above a height limit.

**Enfront.** to place an element along a Frontage, as in “porches Enfront the street.”

**Facade Zone.** The area between the minimum and maximum setback lines along the front of a parcel and along the side street of a corner parcel.

**Forecourt.** A Frontage Type wherein the main facade of the building is at or near the frontage line and a small portion of the building is set back (see [Section 10-24.3.3.090](#)).

**Front Yard.** A Frontage Type wherein the main facade of the building has a planted setback from the frontage line (see [Section 10-24.3.3050](#)).

**Frontage.** A strip or extent of land abutting a thoroughfare, civic space, or other public right-of-way.

Private Frontage. The area between the building facade and the shared lot line between the public right-of-way and the lot.

Public Frontage. The area between the curb of the vehicular lanes and shared lot line between the public right-of-way and the lot.

Frontage Line. A lot line bordering a Public Frontage. Facades facing Frontage Lines define the public realm and are therefore more regulated than the Elevations facing other Lot Lines.

**Gallery.** A Frontage Type wherein the main facade of the building is at or near the frontage line and a cantilevered shed or colonnade overlaps the sidewalk in the right-of-way (see [Section 10-24.3.3.140](#)).

**Green.** A Civic Space Type wherein a natural preserve or open space is available for unstructured recreation (see [Section 10-24.3.4.060](#)).

**Greenway.** A Civic Space Type wherein linear space is available for community gathering and strolling for nearby residents and employees (see [Section 10-24.3.4.050](#)).

## Height

**Building Height.** The vertical distance at any point from the finished grade or existing grade, whichever is lower, to the highest point of the coping of a flat roof, to the top roof line of a mansard roof, or to the midpoint of the highest gable of a pitched or hip roof (see [Section 10-1.3510 in the Hayward Municipal Code](#)).

**Ground Floor, Finished Floor.** Height from finished grade to the top of the flooring material of the ground floor.

**Ground Floor, Ceiling.** Height from finished floor to finished ceiling of primary rooms on the floor(s) above the ground floor, not including secondary rooms such as bathrooms, closets, utility rooms, and storage spaces.

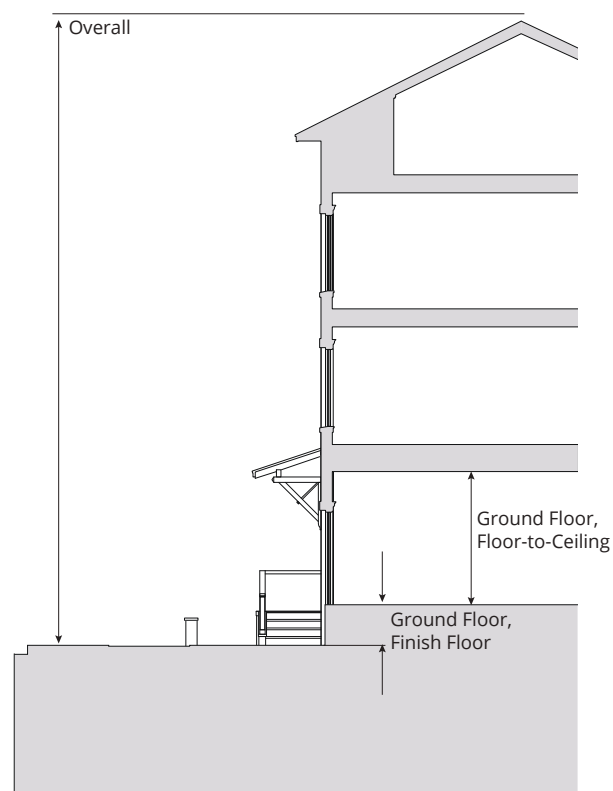


Figure 6.1.030.1 Height

**Lot Width, net.** The lot width excluding portions of the lot dedicated to driveways or access, including fire access.

**Maker Shopfront.** A Frontage Type wherein the main facade of the building is at or near the frontage line with an at-grade or elevated entrance from the sidewalk (see [Section 10-24.3.3.110](#)).

**Parking Structure.** Facilities for the temporary parking of motor vehicles within a privately or publicly owned off-street parking facility. This use includes commercial parking lots and garages.

**Playground.** A Civic Space Type wherein open space is designed and equipped for the recreation of children (see [Section 10-24.3.4.090](#)).

**Pocket Plaza.** A Civic Space Type wherein open space is available for civic purposes and commercial activities (see Section 10-24.3.4.080).

**Porch: Engaged.** A Frontage Type wherein the main facade of the building is setback from the frontage line with an attached porch that has two adjacent sides that are engaged to the building while the other two sides are open (see Section 10-24.3.3.070).

**Porch: Projecting.** A Frontage Type wherein the main facade of the building is setback from the frontage line with an attached porch that is open on three sides and all habitable space is located behind the building setback line (see Section 10-24.3.3.060).

**Primary Entrance.** The main point of access for pedestrians into a building.

**Regulating Plan.** A map for a development that identifies zones to be applied to replace the existing zones. Upon approval of the development, the regulating plan's content is incorporated into the Hayward Zoning Map.

**Residential.** Characterizing premises available for long-term human dwelling.

**Shopfront.** A Frontage Type wherein the main facade of the building is at or near the frontage line with at-grade entrance along the sidewalk (see Section 10-24.3.3.120).

**Sidewalk.** The paved section of the Public Frontage dedicated to pedestrian activity.

**Square.** A Civic Space Type wherein a neighborhood available for civic purposes, recreation, and passive uses (see Section 10-24.3.4.070).

**Stoop.** A Frontage Type wherein the main facade of the building is near the frontage line and the stoop engages the first floor with the sidewalk (see Section 10-24.3.3.080).

**Terrace.** A Frontage Type wherein the main facade is set back from the frontage line with an elevated terrace (see Section 10-24.3.3.130).



**MINUTES OF THE REGULAR MEETING OF THE  
CITY OF HAYWARD PLANNING COMMISSION  
REMOTE PARTICIPATION  
Thursday, May 28, 2020, 7:00 p.m.**

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This meeting was conducted utilizing teleconference and electronic means consistent with State of California Executive Order No. 29-20 dated March 17, 2020, and Alameda County Health Officer Order No. 20-10 dated April 29, 2020, regarding the COVID-19 pandemic.

**MEETING**

A special meeting of the Hayward Planning Commission was called to order at 7:00 p.m. by Chair Bonilla.

**CALL TO ORDER**

**ROLL CALL**

Present: COMMISSIONERS: Stevens, Andrews, Faria, Patton, Roche  
CHAIRPERSON: Bonilla  
Absent: COMMISSIONER: Goldstein

Staff Members Present: Agarwal, Billoups, Brick, Chan, Flores, Kelley, Lochirco, Martinez, Nichols, Simpson, Solla

**PUBLIC COMMENT:**

Public Comments were limited only to items on the Agenda.

**PUBLIC HEARINGS:** For agenda items No. 1, No. 2, and No. 3, the Planning Commission may make a recommendation to the City Council.

1. Proposed Amendment to Chapter 10, Article 1 (Zoning Ordinance) of the Hayward Municipal Code related to Retail Sales of Tobacco and Tobacco Related Products

Senior Code Enforcement Inspector Flores provided a synopsis of the staff report and a PowerPoint presentation.

Senior Code Enforcement Inspector Flores responded to Commissioner Andrews that Hookah lounges were banned from the City of Hayward in 2014 and there may be some lounges in the unincorporated area of Hayward.

Senior Code Enforcement Inspector Flores confirmed for Planning Commissioner Faria that menthol flavored tobacco products are banned per the proposed Ordinance and this is to be consistent with County and State best practices.



**MINUTES OF THE REGULAR MEETING OF THE  
CITY OF HAYWARD PLANNING COMMISSION  
REMOTE PARTICIPATION  
Thursday, May 28, 2020, 7:00 p.m.**

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Planning Commissioner Roche inquired about what education programs are there to help families and youth; why weren't licenses revoked; and what legal actions have occurred. Senior Code Enforcement Inspector Flores said the City will continue to work with Alameda County Public Health Department (ACPHD). Mr. Paul Cummings, Tobacco Control Program Director for Alameda County Health Department, spoke about the treatment approach for youth who are already addicted; the Hayward Unified School District (HUSD) tobacco use and prevention program; and the smokers' helpline a 1-800 number devoted to vaping and phone counseling. Ms. Flores said the City will be addressing violators and the Ordinance will allow us to suspend/revoke licenses. Assistant City Attorney Agarwal said there has not been many legal actions regarding bans of this type and a lot of bay area counties have recently adopted bans for vaping and flavored tobacco products. Mr. Agarwal shared that in 2011 in San Francisco the court upheld a ban from pharmacies selling flavored tobacco products and that cities have a lot of discretion when acting for the sake of public health and safety.

Planning Commissioner Stevens asked about the following: are these products are still legal; who is purchasing these products and what is the demand; and enforcement of sales to underage smokers versus cannabis. Mr. Cummings said the products in the Ordinance are still legal to be used and possessed in Hayward and the restriction is on the sale of the products. Mr. Cummings said there is data on the great increase of tobacco use among youth. Anna Lee from ACPHD provided statistics on the high rates of use of menthol flavored cigarettes- 30% of smokers smoked menthol cigarettes and 50% of smokers 12 to 17 years old. Detective Wright of HPD described decoy operations at businesses to ensure that buyers of cannabis products are of age and this would also apply to tobacco stores. Detective Wright said there are a lot more stores that sell tobacco products than cannabis dispensaries and it would take longer to ensure compliance. Code Enforcement Manager Nichols spoke about the administrative enforcement performed by the City and that currently there are two staff who are assigned to the tobacco inspections.

Chair Bonilla asked about the following: how effective is the City in what we are trying to implement; what alternatives have the City considered to prevent youth smoking; data of what will occur when tobacco bans are instituted; Ms. Lee provided stats of adult use that majority will begin with flavored tobacco products and the Ordinance will have an impact on adults also. Mr. Cummings said what is being proposed will tighten the sale of the flavored tobacco products. Senior Code Enforcement Inspector Flores said the times have changed and the use among youth has increased because the products are easily accessible; with the proposed ordinance there will be increased enforcement along with more resources for youth education. Code Enforcement Manager Nichols said that the City has been trying to be a good steward with local businesses and it is time to pursue those cases that continue to sell to minors and begin the process of suspending licenses. Mr. Cummings said the County currently does not have data on what happens when bans are instituted;





**MINUTES OF THE REGULAR MEETING OF THE  
CITY OF HAYWARD PLANNING COMMISSION  
REMOTE PARTICIPATION  
Thursday, May 28, 2020, 7:00 p.m.**

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there have not been any spikes in domestic violence or substance abuse; and in theory adults will find other ways to obtain tobacco products as youth do not have this same option of access.

Chair Bonilla opened the public hearing at 7:49 p.m.

Public speakers participated by calling the City Clerk's office at (510) 583-4400.

The following speakers spoke in support of the staff recommendation:

Ms. Jennifer Duncan, Substance Abuse Prevention Program Manager at Eden Youth and Family Center, said the tobacco industry is targeting youth through flavored products and advertising; and the industry wants to indoctrinate youth.

Mr. Paul Cummings, Tobacco Control Program Director for ACPHD, said the proposed ordinance which is a multi-strategy approach will protect Hayward's youth; and the tobacco industry is resourceful and relentless to sell their products.

Ms. Cesia Gomez Marcelino, Hayward resident with Youth Advisory Council, spoke about youth smoking and how the advertising entices young people; many of the tobacco retailers are near sensitive areas like schools, playgrounds, and daycares; youth vaping is an epidemic.

Ms. Jessica Fuentes, Junior at Mt. Eden High School, spoke about the far reaching use of tobacco products in high schools such as vape pens and said this product is easily accessible; worked with Alameda and Hayward Police Departments as a decoy and saw first hand how retailers did not check IDs. Teens know that it is very easy to acquire these products.

Mr. Nathan Subramanian, Alameda County Tobacco Control Coalition, spoke about the popularity of flavored tobacco products; positive impact of banning menthol cigarettes and minimum prices will prevent the tobacco industry from finding loopholes.

Dr. Phillip Gardiner, African American Tobacco Control Leadership Council, spoke about the letter that he submitted to the Council in support of the item, remove the menthol exception; how minorities disproportionately are addicted to tobacco products. He said smoking compromises the lungs and immune system. Smokers will have more serious health concerns that can lead into complications with COVID-19.

Mr. Bryan Davis, Alameda County Tobacco Control Coalition, spoke about seeing small packs of tobacco products for one dollar; about how bay area municipalities have put in



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place mitigation measures to decreases the amount of use; and the high use of tobacco products in high schools where the school population was predominately African American.

Ms. Anna Lee, ACPHD, said it is important for community health and racial equity especially at this time when smokers are at greater risk because of COVID-19; provisions of the ordinance will hold retailers accountable to the community; Hayward has a disproportionate number of tobacco retailers are located in sensitive and low income areas of color; cheap flavored tobacco products are very accessible and provided statistics.

Ms. Karen Halfon, Executive Director of Eden Youth and Family Center, said this will significantly reduce accessibility of these tobacco products including e-cigarettes among school age youth. Ms. Halfon spoke about the preventative measures that they are involved in and provided statistics.

Ms. Paula Carreon, Tennyson High School student, spoke about having a stronger and healthier community; once the ordinance is passed this will make it more difficult for students to be able to purchase these products; and shared that the HUSD survey results are that students say it is very easy to purchase the products and this is very concerning and needs to be resolved.

Ms. Roselyn Moya, Co-Chair Alameda County Tobacco Control Coalition, focus is to protect youths as it is too accessible and provided statistics on how youth are able to purchase products from retailers. The priority is to protect the children.

Mr. Bob Gordon, Alameda County Tobacco Control Coalition, noted that hookahs have so many candy and fruit flavored products that are attractive to youth and is as dangerous as smoking cigarettes; is concerned and requested staff take a look at the language in the ordinance that refers to pharmacies and drug stores. He spoke about how San Francisco passed a comprehensive ordinance in 2017 banning all flavored tobacco products and that this takes the complexities out of the enforcement aspect.

Ms. Liz Williams, Americans for Non-Smokers Rights, suggested increasing the pack size to 20 to prevent the use of coupons and to establish a cap on the number of retailer licenses. She said this has been banned in many communities and has been successful. It is important to protect the health and wellness of the community.

Ms. Blythe Young, Community Advocacy Director for the American Heart Association, said the proposed item will increase enforcement; the City needs to join Alameda County and surrounding cities in banning the sale of flavored tobacco; the six month grace period is adequate time for retailers; and it is important to protect the youth.



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Ms. Deanna Canales, health educator, expressed concern about the youth smoking epidemic; youth are being targeted especially in disadvantaged communities. Thanked the Commission for standing up to protect Hayward's youth and their health

Ms. Elsa Casanova, Organizer with La Familia in the unincorporated area of Alameda County, spoke about the County passing a successful strong tobacco retailer ordinance earlier this year; many children in the Eden Area go to school in Hayward. We must work together to restrict the sale of flavored products to protect the health of our youth.

Ms. Jen Grand Lejano, American Cancer Society Cancer Action Network, Government Relations Director for Northern California, said it is time to update the City's ordinance to protect Hayward's youth; data shows that youth are obtaining these products from retailers and the predatory advertising targets youth.

Ms. Slor Corral, Substance Abuse Coordinator with Eden Youth and Family Center, said she has worked with youth in substance abuse which include using tobacco flavored products. Ms. Corral said 81% of users of flavored tobacco products are age 12 to 17. This ordinance will help bring a better future to Hayward's families.

Ms. Annie Tegen, Campaign for Tobacco Free Kids, reiterated their strong support for the ordinance.

The following speakers spoke in opposition of the staff recommendation:

Mr. Dhruba Bassua, Hayward business owner, spoke about being careful about selling tobacco products; this ordinance will impact his business and he wants to work with the City and urged the Commission and Council to help his business.

Mr. Haroon Ahmed, Hayward business owner, said they are a responsible business and have trained staff to prevent underage sales; they have turned away multiple people who did not have IDs; they follow all the rules; existing guidelines are adequate to prevent sales to minors; increasing smoking age to 21 has helped resolve the situation; removing flavored products from responsible retailers will harm the business owners and will not protect the youth who will find another way to obtain the products on the black market. Mr. Ahmed requested the Planning Commission oppose the ban and invited them to visit his store.

Ms. Rima Khoury, Hookah Chamber of Commerce, said this is a 1,000 year tradition and there is not a teen hookah epidemic in Hayward; she said the CDC and the FDA reports make it clear that hookah is not the problem with youth smoking; they are not being used in schools; and hookahs are three feet tall and cannot be concealed in backpacks or a



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pocket like vape products. Ms. Khoury explained how hookahs are used and that they are not causing a health concern among youth as they are not appealing to youth and will be collateral damage in the war against vape.

Mr. Mike Ali, Hayward business owner, said his business has had a clean record for the last twenty years and they are very careful to check all IDs. Mr. Ali said he understands the issue with the youth, and they want to work with the City. He said that a lot of his clients are low income and minorities and expressed concern of where his clients will be able to obtain the flavored products and that the City will lose revenue and taxes. He said that the youth will find a way to obtain the products that they want. Mr. Ali said if these products are banned then this will impact his small business and requested to meet and discuss this issue. He said that a lot of small business are owned by minorities who do not speak English. It is unfair to punish a whole industry.

There being no additional speakers, Chair Bonilla closed the public hearing at 8:58 p.m.

Commissioner Andrews disclosed speaking with a tobacco coalition about this item and thanked the speakers for their comments. Ms. Andrews expressed concern about the health dangers to youth and spoke about that over thirty years ago when looking through a Black magazine that should have been celebrating their culture and there was an advertisement for menthol cigarettes. Ms. Andrews said the tobacco industry targeted the minority community then and is continuing to do so now; she is concerned about vaping among youth that is out of control; and is also concerned about the retailers. Ms. Andrews recommended that violators be required to serve environmental community service on par with Keep Hayward Clean and Green Task Force Clean-ups as this is not just a health issue but is also an environmental issue with the trash from tobacco products

Commissioner Faria spoke about her experience in the health industry where she has seen the health impact from years of smoking. Ms. Faria supports the item that will limit youth access to tobacco products.

Commissioner Patton said this is a public health issue and is not the purview of Planning Commission and feels this discussion belongs with the City Council who is in charge of public health policies for the City. Mr. Patton urged the speakers to attend the City Council meeting to provide their comments to Council. He said these amendments are appropriate as the statistics clearly indicate the impact to the City's youth from the vaping and e-products and the Commission has the responsibility to protect our youth. Mr. Patton said the tobacco industry is targeting the youth.

Ms. Roche thanked Planning Commissioner Patton for his comments as she had been struggling with the ban and the impact to small businesses that have been diligent and



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following the law; questioned the proposed ordinance would impede the freedom of choice; noted the Commission just approved a cannabis businesses with strict controls; and could there have been stronger enforcement and if staff could have penalized the violators prior to getting to this point. Ms. Roche said that she has to support Hayward's youth and the ban would make accessibility difficult. Ms. Roche supports the staff recommendation. Ms. Roche disclosed having met with members of the ACPHD.

Commissioner Stevens agreed with Planning Commissioner Patton that some of the items in the proposed amendment are above the purview of the Commission. Mr. Stevens agreed with the text amendment that related to separation of these establishments from sensitive areas. Mr. Stevens is concerned about page 9 paragraph C that disallows the use of flavored products as well as electronic smoking devices and that this is an overreach and contradictory with previously approved cannabis facilities. He said that this is an enforcement issue and the language should be stronger and should be on par with cannabis regulations. Mr. Stevens said that since the City allows cannabis dispensaries this ban would be a disservice to Hayward's residents and he struggles with that section.

Chair Bonilla agrees with comments by Commissioners Roche and Stevens and said the issue of youth smoking needs to be addressed but the policy might be overreaching in calling for a complete abolishment. Mr. Bonilla pointed out that the amendment is banning only the flavored products while the unflavored products do the same thing. Mr. Bonilla commented that the Commission just approved two cannabis businesses with the names "Auntie Honeys" and "Sticky Thumb" which is similar to the name given the vaping products that attracts youth. He said the cannabis dispensaries are approved to sell clips which are similar to vaping pens and the City needs to expand our thinking on establishing policies to be consistent in applying policies across different businesses. Chair Bonilla said that the measure targets one type of tobacco product when it is known that smoking in general is harmful to your health. Mr. Bonilla expressed concern for the long-lasting impact to Hayward residents once these items are removed from the stores as many people use smoking as an outlet. He said the City needs to implement community campaigns and provide resources to help residents move through the transition so that they don't try to obtain these products out of the City as the purpose of this ordinance is to reduce the tobacco usage in the City and especially among youth. Mr. Bonilla disclosed having met with members of the ACPHD.

Commissioner Andrews noted that during the previous cannabis items she brought up regulating product names so they wouldn't be so attractive to youth. Ms. Andrews asked about having regulations similar to conditions of approval for cannabis businesses; Assistant City Attorney Brick responded that in general, the cannabis application was for a specific land use at a specific location; this item is recommendation for legislation to the



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City Council. Mr. Brick said the Commission's recommendations can be forwarded to Council for their consideration.

Planning Commissioner Stevens said on Page 9 Section C, he would like a provision put in place to reduce the burden on the City's enforcement division and make sure these products are not being sold to youth. Mr. Stevens said an issue is that there are too many establishments and suggested creating a buffer zone between retailers and sensitive use areas. Code Enforcement Manager Nichols said that staff can look at the enforcement aspect on the different products that attracts youth.

Code Enforcement Manager Nichols responded to Planning Commissioner Roche that staff would consider the Commission's recommendations and present them to Council. Ms. Roche suggested limiting the products to just smoke shops; Senior Code Enforcement Inspector Flores said in staff's research that by allowing some businesses to sell these products is not fair to the rest of the retailers and staff determined to establish the ban for all retailers.

Mr. Patton made a motion to approve the staff recommendation with the added recommendation that staff create a matrix listing the Planning Commissioners suggested amendments. The matrix is to include staff response on whether staff would make these recommendations to Council and the matrix is to be included as an attachment to the staff report to Council.

Commissioner Roche seconded the motion.

Planning Commissioner Andrews agreed with the motion and recommended having the environmental community service for violators who sell illegally to youth.

Planning Commissioner Faria supported the motion and asked for clarification on the matrix.

Planning Commissioner Stevens noted that he has stated his discomfort with page 9 paragraph C.

Chair Bonilla said he has concerns and to include in the matrix to have strong alternatives and why can't the flavored tobacco products be regulated similar to cannabis dispensaries; establish a buffer zone to sensitive areas. He said the matrix can help surface other considerations and alternatives so hopefully City Council can have more of an informed decision as it relates to other alternatives to address the issue.



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After further discussion among the Planning Commissioners, Commissioner Patton clarified his motion.

Commissioner Patton made a motion, seconded by Commissioner Roche, to approve the staff recommendation with the added recommendation that staff create a matrix listing the Planning Commissioners suggested amendments such as: stronger enforcement and regulation language including buffer zones similar to cannabis regulations; violators will be required to serve environmental community service on par with the Keep Hayward Clean and Green Task Force clean ups; address concerns about the tobacco industry targeting certain minority groups and especially youth; prioritize community health; and prioritize providing education and resource programs to address youth addiction. The matrix is to include staff response on whether staff would make these recommendations to Council, and the matrix is to be included as an attachment to the staff report to Council.

The motion passed with the following roll call vote:

AYES:	Commissioners Stevens, Andrews, Faria, Patton, Roche Chair Bonilla
NOES:	None
ABSENT:	Goldstein
ABSTAIN:	None

2. Proposed Amendment of the Hayward 2040 General Plan to comply with changes to State law including the Establishment of new Vehicle Miles Traveled (VMT) CEQA thresholds for the City of Hayward

Principal Planner Lochirco provided a synopsis of the staff report and PowerPoint presentation.

Planning Commissioner Andrews would like important intersections reviewed also. Principal Planner Lochirco said item is specifically for CEQA thresholds and staff can consider intersection impacts for new developments outside of CEQA. Senior Transportation Engineer Solla spoke about the VMT thresholds that pertain to CEQA projects and that other projects would be subject to local transportation analysis which would be associated with a developer's traffic impact fee. Mr. Lochirco said because of the COVID-19 crisis there have been a lot fewer cars on the road. Ms. Megan Weir with Nelson Nygaard said residents working from home has impacted the VMT results and spoke about how working from home can shift travel patterns.

Senior Transportation Engineer Solla clarified for Planning Commissioner Faria that both impact fees, the VMT and the traffic impact fees, cancel each other out. Principal Planner



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Lochirco said this is to declassify using traffic as a negative environmental impact. He said that staff can still assess an impact fee with a project by project assessment.

Senior Transportation Engineer Solla responded to Planning Commissioner Patton that fees will not be imposed until adopted by the City Council.

Chair Bonilla thanked staff and the consultant team for the comprehensive staff report that made a complex item easy to understand.

Having no public speakers, Chair Bonilla opened and closed the public hearing at 10:07 p.m.

Planning Commissioner Faria appreciates that there is still the opportunity to look at specific intersections when necessary.

Planning Commissioner Roche thanked staff and team for the staff report and including the last mile shuttle as a mitigation measure.

Chair Bonilla said this is a logical change and makes a lot of sense and to understand the environmental impacts from traffic.

Commissioner Stevens made a motion to approve the staff recommendation. Commissioner Faria seconded the motion.

The motion passed with the following roll call vote:

AYES:	Commissioners Stevens, Andrews, Faria, Patton, Roche Chair Bonilla
NOES:	None
ABSENT:	Goldstein
ABSTAIN:	None

3. Proposed Amendment to Chapter 10, Article 24 (South Hayward BART/Mission Boulevard Form Based Code), Article 25 (Hayward Mission Boulevard Corridor Form Based Code), Article (Zoning Ordinance), and Article 7 (Sign Ordinance), related to the adoption of a consolidated Mission Boulevard Code within the City of Hayward

Associate Planner Martinez provided a synopsis of the staff report and PowerPoint presentation.

Planning Commissioner Andrews asked about the retail uses staff has considered for this area; Principal Planner Lochirco said the regulations and codes adopted in 2014 envisioned





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a retail center for shopping but Amazon and online shopping has changed the economy and cities are left with creating resilient spaces and staff has broadened the definition of uses; there is a need to activate that space; nature of update will expand the number of uses and also create flexibility of what those uses will look like. Ms. Andrews suggested utilizing empty spaces as flex space for residential use that could be used to as temporary housing for individuals. Mr. Lochirco said that is a balance and that once commercial is transitioned to another use the commercial aspect will be gone. Staff has been intentional to preserve the commercial along major corridors and as it branches out into residential, there are spaces that allow for other uses. Mr. Lochirco said that there is the ability to temporarily reassign empty spaces for temporary housing. Mr. Lochirco said as the developments are built there will be more use for the transportation connectivity which includes the bike lanes being used more.

Planning Commissioner Faria said this plan is a great improvement over the previous Form Based Code as it is streamlined and flexible. Ms. Faria said in order to create walkability in the South Hayward area, community needs access to essential services and emphasized that there is a dire need for a grocery store in this area as the closest one is not within walking distance.

Planning Commissioner Patton asked staff to address the outside dining; Associate Planner Martinez said the outside dining is under Section 3.2.070 amending the existing air quality mitigation measures language which speaks to a methodology in mitigating any emissions coming off of Mission Boulevard. Principal Planner Lochirco said staff had a robust conversation in response to Mr. Patton's comments about the outside dining and open spaces immediately adjacent to Mission and where these spaces should be placed. Mr. Lochirco said staff tied this to the existing provision related to air quality; what staff has added to clarify is that the provision states the applicant should create/design a barrier/separation between the Mission Boulevard and the open dining space/seating/gathering area since it is not just a physical noise issue but also an air quality issue. Mr. Lochirco said this is an existing mitigation tool and is required of all projects.

Planning Commissioner Stevens inquired about the Mission Boulevard Neighborhood Classification building forms that speaks to a step up of no less than twelve inches; Principal Planner Lochirco said this creates a break between the sidewalk and the building and is intended as a design aesthetic.

Having no public speakers, Chair Bonilla opened and closed the public hearing at 10:44 p.m.

Commissioner Andrews commented that the City really needs to rethink retail and be flexible for the commercial spaces along Mission Boulevard.



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Planning Commissioner Roche thanked staff for the staff report and the work to streamlining the code, the overlay tool that contributed to the visual presentation and echoed Planning Commissioner Andrews comments about flexibility being key in moving forward because of the uncertainty of what the future will bring post COVID-19.

Planning Commissioner Stevens thanked staff for the clear, concise document and is looking forward to a lot of wonderful developments because of this improved Form Based Code.

Chair Bonilla agreed for to open the public comments at 10:47 p.m. There was one speaker.

Mr. A.J, Hayward resident, spoke about the lack of parking in the Mission Boulevard area and the provisions do not reflect the current residential character. He spoke about the traffic impacts and how the bicycle lanes add to the traffic impacts.

There being no additional speakers, Chair Bonilla closed the public comments at 10:51 p.m.

Principal Planner Lochirco said that staff has incorporated flexibility into the plan, established expectations for developers as well as allows for flexibility. Mr. Lochirco said the language in the Code allows for approval of more parking spaces if the request meets three findings: 1- what is being proposed is consistent with the General Plan as well as parking in a multi-modal network; 2- there is quantifiable justification, the demand must be there if more parking is provided; 3-make sure if a developer adds parking it cannot be at the expense of bicycle and pedestrian circulation. Staff wanted to make sure that it was important that if a developer is offering one option it does not come at the sacrifice of another. Mr. Lochirco said staff added flexibility to the Code which is an improvement and better sets expectations to be able to evaluate each project. He said as there is more development there will be more traffic impacts but also the developments will bring density which opens up the possibility for more public transportation routes such as bus routes and shuttle service.

Chair Bonilla appreciates the following: a more streamlined plan; adaptability; focus on multi-modal transportation; and the plan provides a framework for creating bikeable and walkable communities and outdoor space which can encourage a healthier lifestyle.

Commissioner Roche made a motion to approve the staff recommendation. Commissioner Patton seconded the motion



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The motion passed with the following roll call vote:

AYES: Commissioners Stevens, Andrews, Faria, Patton, Roche  
Chair Bonilla  
NOES: None  
ABSENT: Goldstein  
ABSTAIN: None

**APPROVAL OF MINUTES**

4. Approval of the Planning Commission Meeting Minutes of May 14, 2020.

Commissioner Andrews made a motion, seconded by Commissioner Stevens, to approve the Planning Commission Meeting Minutes of May 14, 2020. The motion passed with the following roll call votes:

AYES: Commissioners Stevens, Andrews, Faria, Patton, Roche  
Chair Bonilla  
NOES: None  
ABSENT: Goldstein  
ABSTAIN: None

**COMMISSION REPORTS**

***Oral Report on Planning and Zoning Matters:***

Principal Planner Lochirco announced that there will be an August recess for Planning Commission for a well-deserved rest.

***Commissioners' Announcements, Referrals:***

Planning Commissioner Roche and Chair Bonilla disclosed that for Item #1, they both had met with members of the ACPHD.

Chair Bonilla thanked staff for assisting with bringing this meeting together and to his fellow Commissioners for their participation and engagement in this evening's meeting.

**ADJOURNMENT**

Chair Bonilla adjourned the meeting at 11:01 p.m.



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**APPROVED:**

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Julie Roche, Secretary  
Planning Commission  
**ATTEST:**

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Denise Chan, Senior Secretary  
Office of the City Clerk