

LOGISTICENTER AT ENTERPRISE

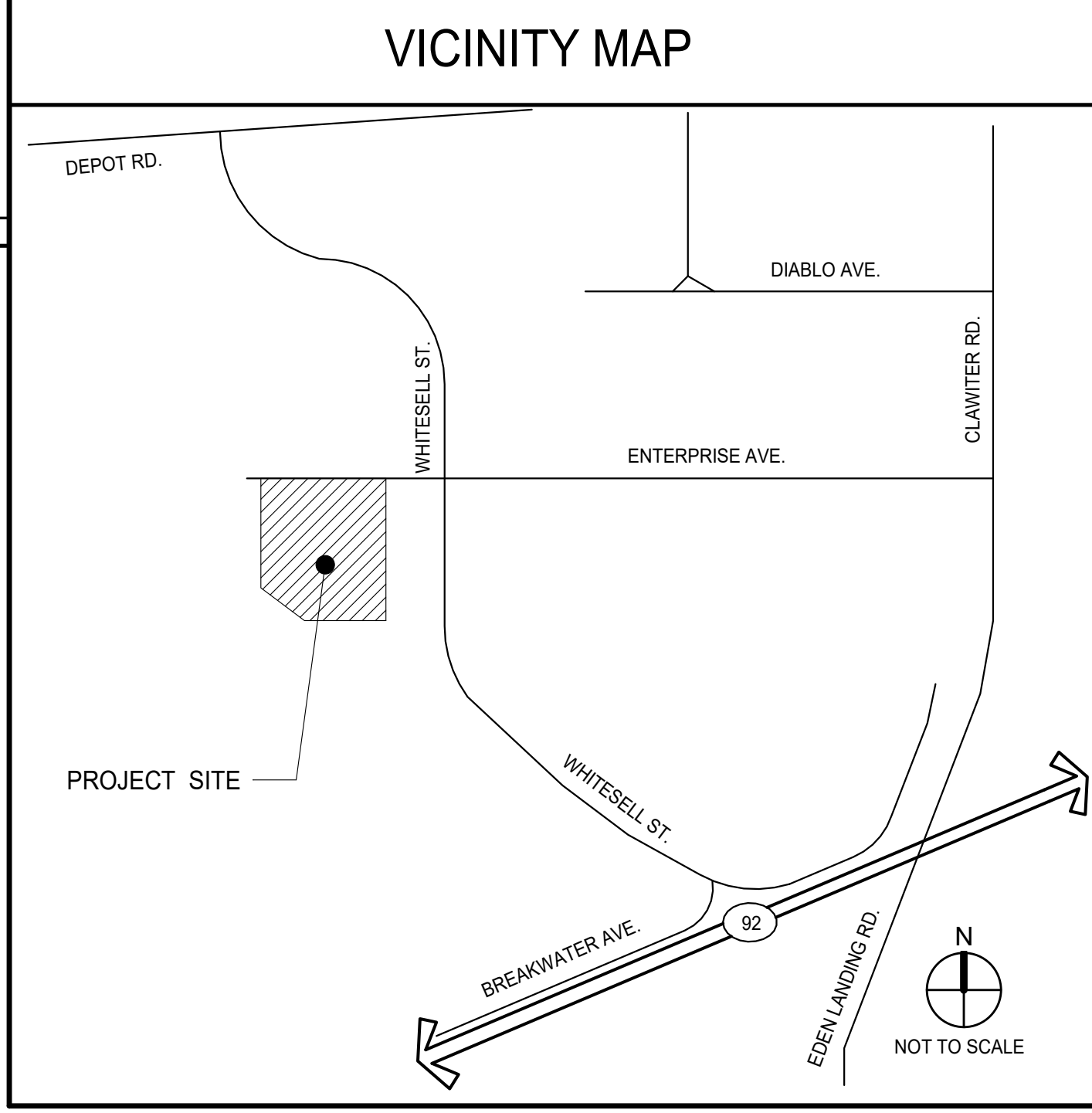
3636 ENTERPRISE AVENUE
HAYWARD, CA 94545



SHEET INDEX		TOTAL SHEETS
		31
ARCHITECTURAL		
A0.1	TITLE SHEET	
A1.0	SITE PLAN	
A1.0a	PARTIAL SITE PLAN	
A1.0b	PARTIAL SITE PLAN	
A1.1	SITE SECTION	
A1.2	PARKING ADAPTATION PLAN	
A1.3	SITE SUSTAINABILITY PLAN	
A2.1	BUILDING 1-OVERALL FLOOR PLAN	
A2.1a	BUILDING 1-PARTIAL FLOOR PLAN	
A2.1b	BUILDING 1-PARTIAL FLOOR PLAN	
A3.1	BUILDING 1-FLOOR PLAN	
A4.1	BUILDING 1-COLORED EXTERIOR ELEVATIONS	
A4.2	BUILDING 1-COLORED EXTERIOR ELEVATIONS	
A8.1	SITE DETAILS	
ARCHITECTURAL SHEET COUNT: 14		
ELECTRICAL		
E1.0	PHOTOMETRIC PLAN	
ELECTRICAL SHEET COUNT: 1		
LANDSCAPE		
L-1	LANDSCAPE TITLE SHEET	
L-2	CONCEPTUAL PLANTING PLAN	
L-3	IRRIGATION HYDROZONE PLAN	
L-4	EMPLOYEE PATIO ENLARGEMENT	
L-5	PLANTING IMAGERY	
L-6	OVERALL ILLUSTRATIVE	
LANDSCAPE SHEET COUNT: 6		
CIVIL		
C1.0	COVER SHEET	
C2.0	TOPOGRAPHIC SURVEY	
C3.0	TYPICAL SECTIONS	
C4.0	DEMOLITION PLAN	
C5.0	PRELIMINARY GRADING & DRAINAGE PLAN	
C6.0	PRELIMINARY UTILITY PLAN	
C7.0	EROSION CONTROL PLAN	
C8.0	STORM WATER QUALITY CONTROL PLAN	
C9.0	W-60 TRUCK TURN EXHIBIT	
C10.0	FIRE TRUCK TURN EXHIBIT	
CIVIL SHEET COUNT: 10		

WARE MALCOMB
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
BRANDING
INTERIORS
4683 CHABOT DR. SUITE #200
PLEASANTON, CA 94588
P 925.244.9620
P 925.244.9620

LOGISTICENTER AT ENTERPRISE
3636 ENTERPRISE AVENUE
HAYWARD, CA 94545



OWNER	
DERMODY PROPERTIES DERMODY PROPERTIES 5500 EQUITY AVENUE RENO, NEVADA 89502	GEORGE CONDON PH: (775) 858-8080 FAX: (775) 856-0831
ARCHITECT	
WARE MALCOMB 4683 CHABOT DR #300 PLEASANTON, CA 94588	LETICIA DEBRITO P 925.244.9620 ldebrito@waremalcomb.com

OWNER'S CONSULTANTS	
CIVIL ENGINEER KIER + WRIGHT 2850 COLLIER CANYON ROAD, LIVERMORE, CALIFORNIA 94551	ADAM CARVALHO acarvalho@kierwright.com PH: (925) 245-8788 x2041
GEOLOGICAL ENGINEER CORNERSTONE EARTH GROUP INC. 12259 OAKMEAD PARKWAY SUNNYVALE, CALIFORNIA 94085	DANH T. TRAN, P.E. dtran@cornerstoneearth.com PH: (408) 245-4600 x 108
ARCHITECT'S CONSULTANTS	
LANDSCAPE ARCHITECT IMA 101 BROADWAY, SUITE 310 OAKLAND, CALIFORNIA 94607	JIM BENSMAN PH: (510) 353-3954 CELL: (415) 235-3837

SCOPE OF WORK

NEW COLD DARK SHELL INDUSTRIAL BUILDING SIZED AT 219,656 SF. BUILDING TO BE III-B CONSTRUCTION WITH S-IFB OCCUPANCY.
RELATED SITE IMPROVEMENTS INCLUDING TRUCK COURTS AND PATIO.
RELOCATE EXISTING RADIO TOWERS TO TOP OF ROOF. AS TOWERS WILL MAINTAIN EXISTING ELEVATION AND APPROXIMATE LOCATION, THEY ARE NOT SUBJECT TO ENTITLEMENT.
APN: 439-0099-036-02
GENERAL PLAN DESIGNATION: IC - INDUSTRIAL CORRIDOR
ZONING PLAN DESIGNATION: IG - GENERAL INDUSTRIAL

PROJECT DATA SUMMARY	
SITE	10.86 AC (473,104 S.F.)
BUILDING AREA:	
WAREHOUSE:	208,673 S.F.
OFFICE:	10,983 S.F.
BUILDING AREA TOTAL:	219,656 S.F.
F.A.R.	0.46
LANDSCAPE AREA:	73,028 S.F.
LANDSCAPE PERCENTAGE:	15.4%
PASSIVE AMENITY (PATIO):	2,042 S.F.
OPEN SPACE:	
PATIO AMENITY:	2,042 S.F.
PASSIVE LANDSCAPING:	53,595 S.F.
TOTAL:	55,637 S.F.
OPEN SPACE PERCENTAGE:	11.8%
PARKING REQUIRED:	
WAREHOUSE @ 1/2,000:	102 STALLS
OFFICE @ 1/250:	44 STALLS
TOTAL PARKING REQUIRED:	149 STALLS
PARKING PROVIDED:	
REGULAR STALLS:	145 STALLS
ACCESSIBLE STALLS:	6 STALLS
TOTAL PARKING PROVIDED:	151 STALLS
BIKE STALLS REQUIRED:	8 STALLS
BIKE STALLS PROVIDED:	8 STALLS
LONG TERM BIKE PARKING TO BE PROVIDED INSIDE BUILDINGS	

TITLE SHEET

DATE: 09/21/21
REVISIONS:
REMARKS:
PLANNING RE-SUBMITTAL

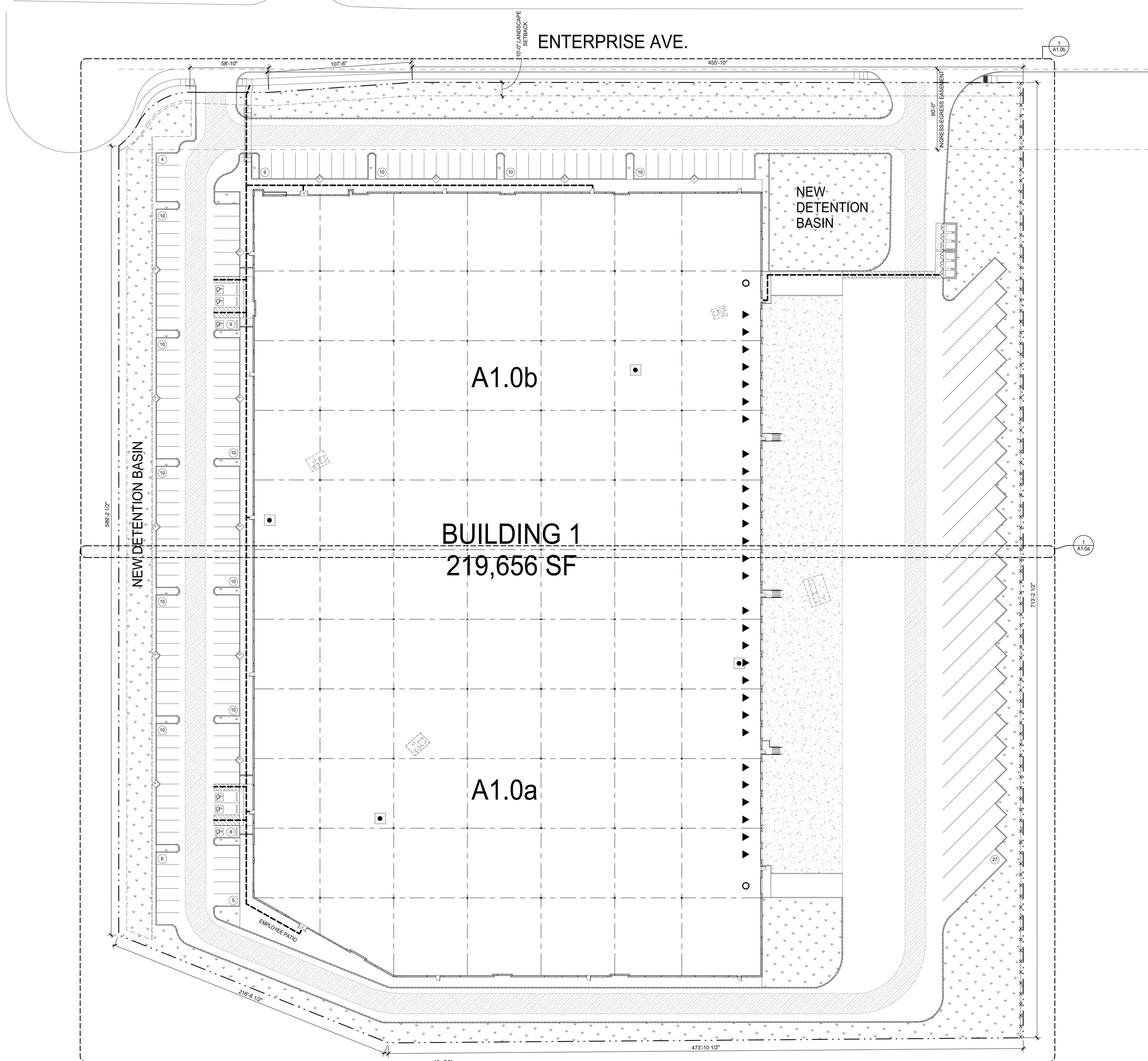
PA/PM: L. DEBRITO
DRAWN BY: M.I.
JOB NO.: SNR20-0127-00

SHEET
A0.1

10/8/2021 5:12:42 PM

WARE MALCOLM
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 INTERIORS
 BUILDING MEASUREMENT
 4655 CHERRY DR., SUITE #200
 HAYWARD, CA 94545
 P 925.244.8200

LOGISTIC CENTER AT ENTERPRISE
 3636 ENTERPRISE AVENUE
 HAYWARD, CA 94545



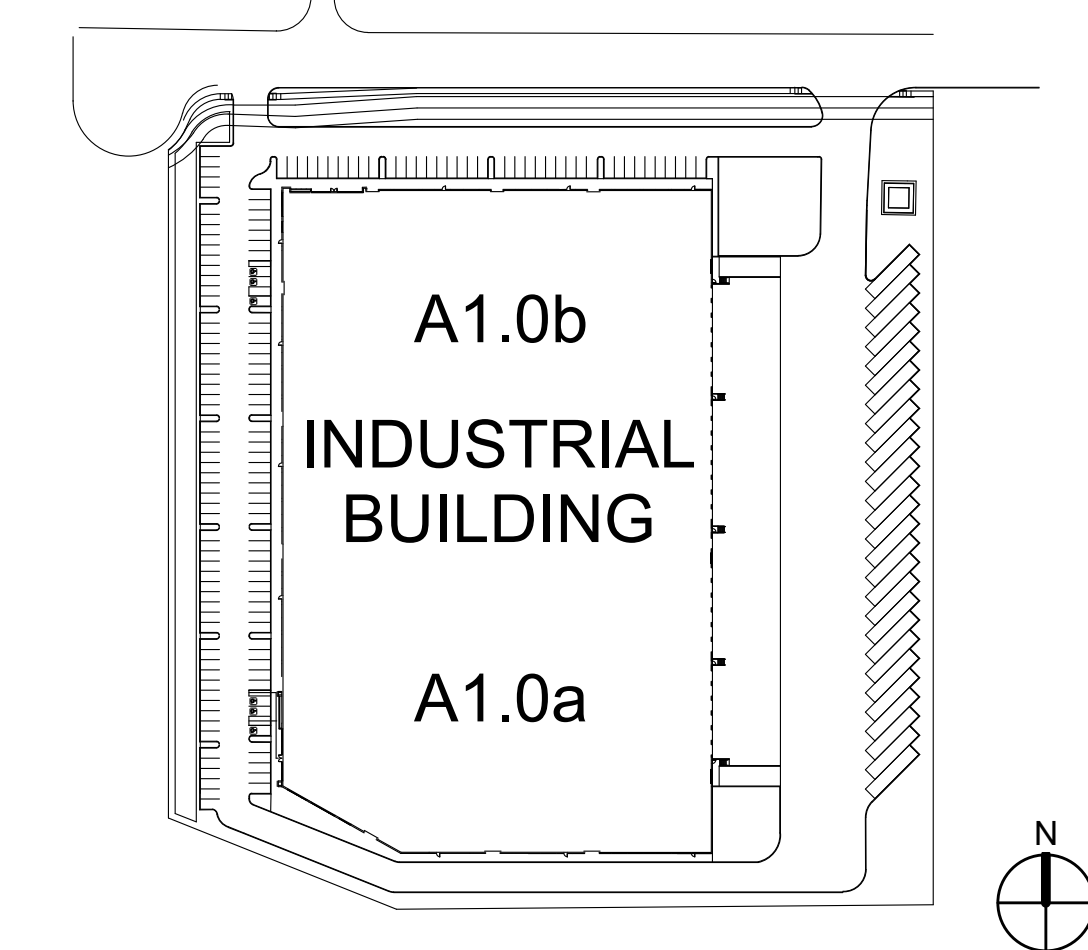
WASTE MANAGEMENT SIZING

WAREHOUSE WASTE IS ANTICIPATED TO BE HANDLED BY SEPARATE PROCESSES SUCH AS COMPACTORS OR OUTSIDE SERVICES. OFFICE WASTE IS ANTICIPATED AS FOLLOWS:
 18 EMPLOYEES X 65 LBS (BUSINESS SERVICES) = 7.8 CY/WEEK
 150
 2 TRASH ENCLOSURE WITH 4 CY EA. CAPACITY PROVIDED, SEE DETAIL 11/A8.1. 8 CY CAPACITY PROVIDED.

SITE LEGEND:

- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- - - PROPERTY LINE.
- ☐ POLE MOUNTED LIGHT FIXTURE.
- ☐ WALLPACK LIGHT FIXTURE.
- ☐ TRANSFORMER WITH CONCRETE PAD, (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- ☐ LANDSCAPE AND IRRIGATION AREA.
- ▨ FIRE LANE AND TRASH COLLECTION VEHICLE ROUTE (HATCHED)
- PARKING STALL COUNT TOTAL
- ▲ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT
- ☐ TRASH ENCLOSURE PER CITY OF HAYWARD REQUIREMENTS

KEY PLAN



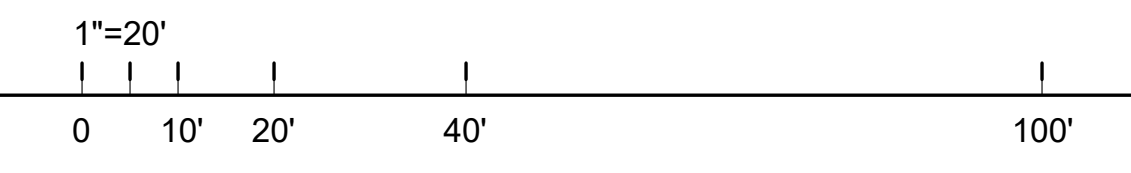
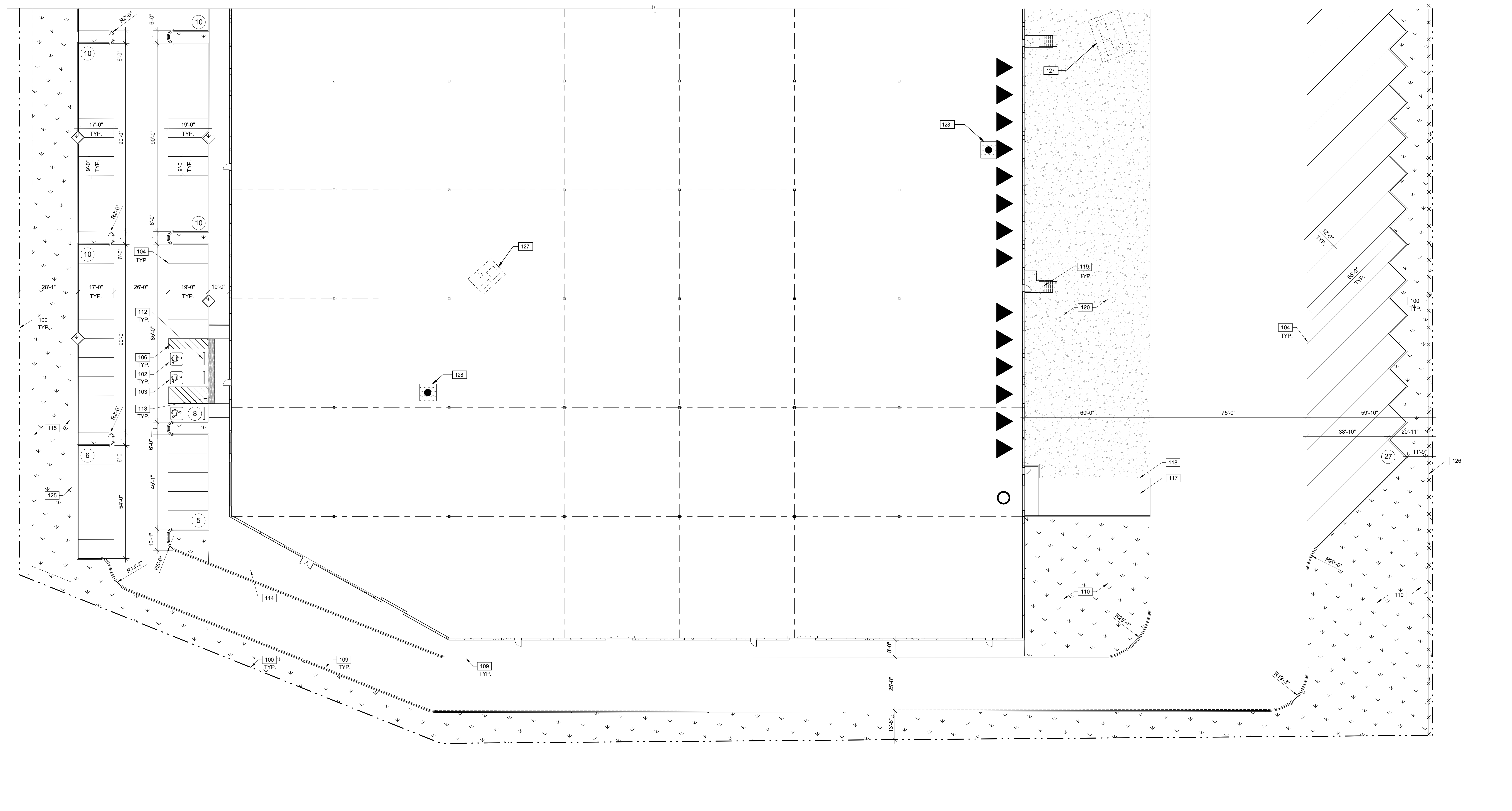
SITE PLAN	
DATE	REMARKS
08/21/21	PLANNING RE-SUBMITTAL

PAPM: L. DEBRITO
 DRAWN BY: M.I.
 JOB NO.: SNR20-0127-00

SHEET
A1.0

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 4655 Chabot Dr., Suite #200
 Fremont, CA 94538
 P 925.244.8200

LOGISTIC CENTER AT ENTERPRISE
 3636 ENTERPRISE AVENUE
 HAYWARD, CA 94545



PARTIAL SITE PLAN
 SCALE: 1" = 20'-0"
 1

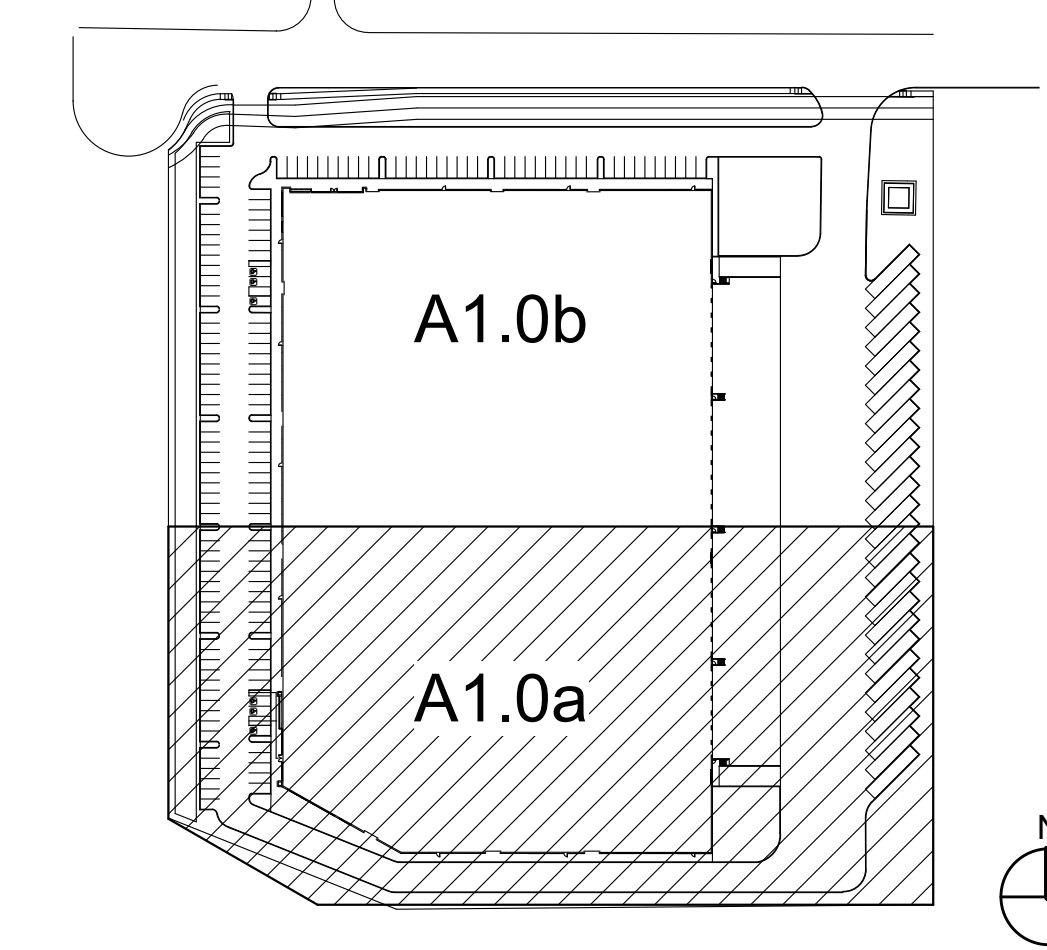
SITE LEGEND:

- ACCESSIBLE PATH OF TRAVEL 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- - - PROPERTY LINE.
- POLE MOUNTED LIGHT FIXTURE.
- WALLPACK LIGHT FIXTURE.
- T TRANSFORMER WITH CONCRETE PAD, (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- ▽ LANDSCAPE AND IRRIGATION AREA.
- ▨ FIRE LANE AND TRASH COLLECTION VEHICLE ROUTE (HATCHED)
- PARKING STALL COUNT TOTAL
- ▲ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT
- ▣ TRASH ENCLOSURE PER CITY OF HAYWARD REQUIREMENTS

NOTES

100. PROPERTY LINE.
101. ACCESSIBLE ENTRY SIGNAGE.
102. ACCESSIBLE PARKING STALL WITH SIGNAGE.
103. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE.
104. PAINTED PARKING STRIPING PER CITY STANDARDS, 2'-0" PARKING OVERHANG.
105. TRASH ENCLOSURE WITH RECYCLE BIN.
106. ACCESSIBLE LOADING ZONE.
107. FIRE LANE ENTRY SIGNAGE.
108. FIRE LANE SIGNAGE.
109. FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
110. LANDSCAPE AND IRRIGATION AREA.
111. NOT USED.
112. PRECAST CONCRETE WHEEL STOP.
113. ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
114. EMPLOYEE PATIO, SEE LANDSCAPE PLANS.
115. NEW DETENTION BASIN, SEE CIVIL PLANS.
116. CONCRETE LANDING, 5'X5' MINIMUM.
117. CONCRETE RAMP.
118. CONCRETE GUARDWALL FOR DRIVE IN VEHICULAR RAMP, 42" ABOVE RAMP.
119. METAL STAIRS.
120. CONCRETE PAVEMENT.
121. DECORATIVE BIKE RACK, SEE DETAIL 3/A1.1.
122. DECORATIVE METAL SCREEN.
123. EASEMENT LINE.
124. TRUNCATED DOMES.
125. 2'-0" PARKING OVERHANG BY CITY STANDARDS.
126. NEW 8'-0" TALL BLACK VINYL COATED CHAINLINK FENCE, SEE DETAIL 21/A1.1
127. EXISTING RADIO TOWER TO BE RELOCATED TO ROOF.
128. RADIO TOWER ON TOP OF ROOF, SEE ROOF PLANS.

KEY PLAN

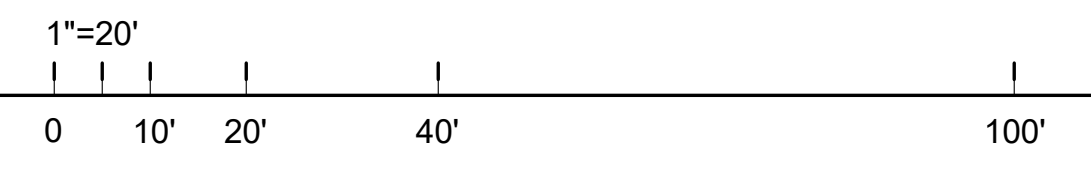
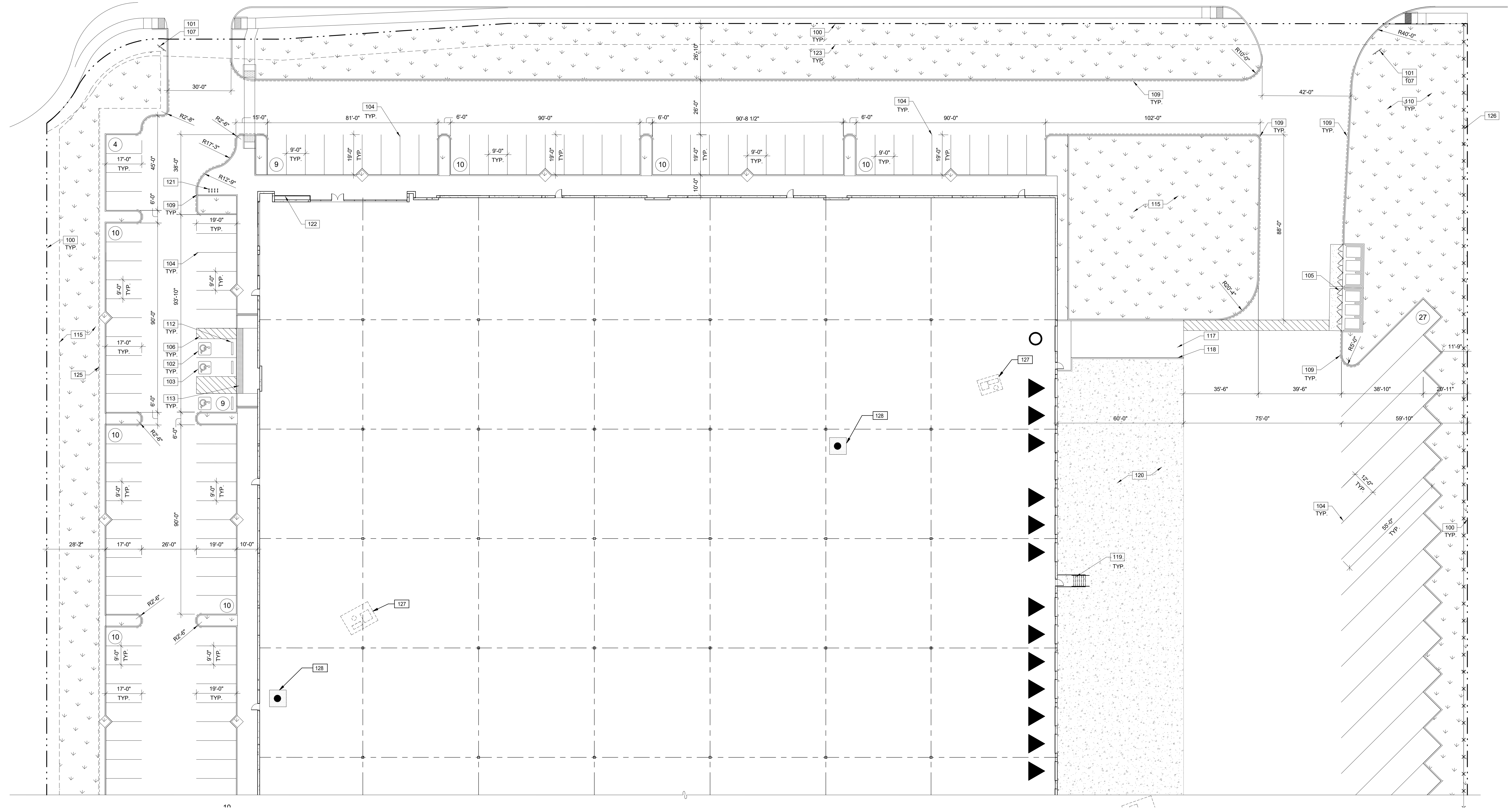


PARTIAL SITE PLAN

DATE	REVISIONS
09/21/21 <td>PLANNING RE-SUBMITTAL</td>	PLANNING RE-SUBMITTAL

PAPM:	L. DEBRITO
DRAWN BY:	M.I.
JOB NO.:	SNR20-0127-00

SHEET
A1.0a
 8/30/2021 4:58:55 PM



PARTIAL SITE PLAN
 SCALE: 1" = 20'-0"
 1

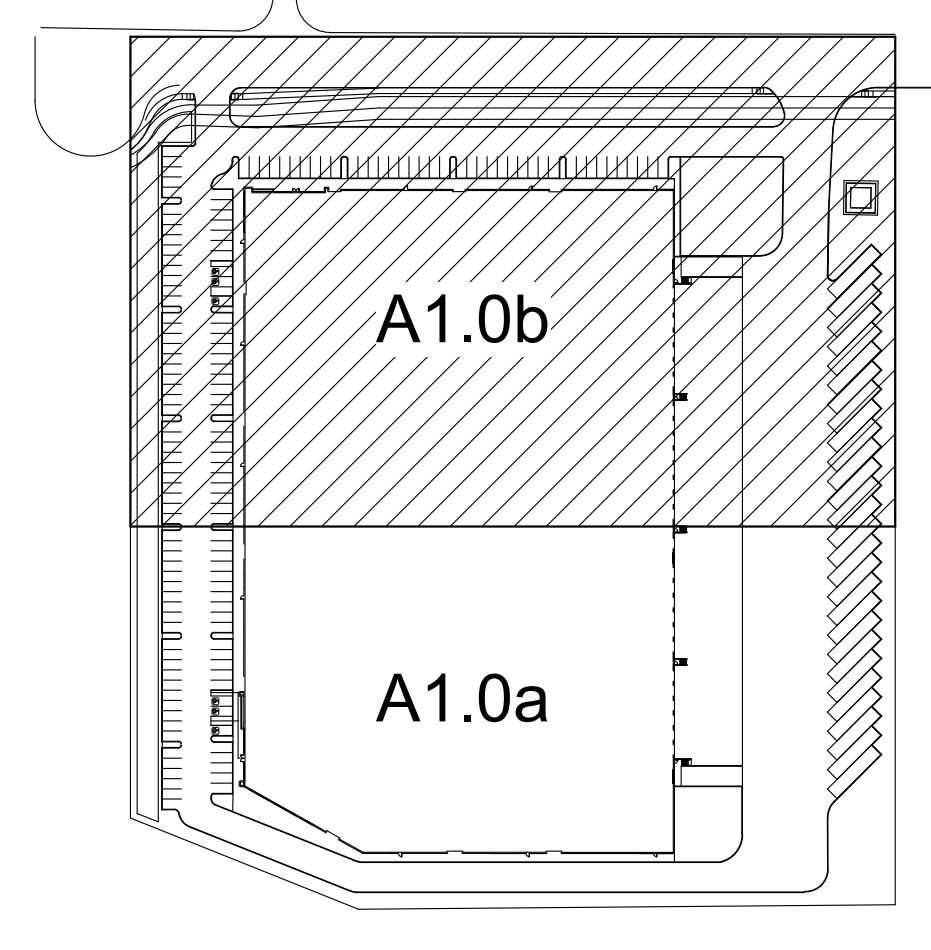
SITE LEGEND:

- ACCESSIBLE PATH OF TRAVEL 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- - - PROPERTY LINE.
- ☎ POLE MOUNTED LIGHT FIXTURE
- ☎ WALLPACK LIGHT FIXTURE
- T TRANSFORMER WITH CONCRETE PAD. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- ☎ LANDSCAPE AND IRRIGATION AREA.
- ▨ FIRE LANE AND TRASH COLLECTION VEHICLE ROUTE (HATCHED)
- ① PARKING STALL COUNT TOTAL
- ▲ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT
- ☎ TRASH ENCLOSURE PER CITY OF HAYWARD REQUIREMENTS

NOTES

- 100. PROPERTY LINE
- 101. ACCESSIBLE ENTRY SIGNAGE
- 102. ACCESSIBLE PARKING STALL WITH SIGNAGE
- 103. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE
- 104. PAINTED PARKING STRIPING PER CITY STANDARDS. 2'-0" PARKING OVERHANG.
- 105. TRASH ENCLOSURE WITH RECYCLE BIN.
- 106. ACCESSIBLE LOADING ZONE.
- 107. FIRE LANE ENTRY SIGNAGE.
- 108. FIRE LANE SIGNAGE.
- 109. FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
- 110. LANDSCAPE AND IRRIGATION AREA.
- 111. NOT USED.
- 112. PRECAST CONCRETE WHEEL STOP.
- 113. ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
- 114. EMPLOYEE PATIO. SEE LANDSCAPE PLANS.
- 115. NEW DETENTION BASIN. SEE CIVIL PLANS.
- 116. CONCRETE LANDING. 5'X5' MINIMUM.
- 117. CONCRETE RAMP.
- 118. CONCRETE GUARDWALL FOR DRIVE IN VEHICULAR RAMP. 42" ABOVE RAMP.
- 119. METAL STAIRS.
- 120. CONCRETE PAVEMENT.
- 121. DECORATIVE BIKE RACK. SEE DETAIL 3/A8.1.
- 122. DECORATIVE METAL SCREEN.
- 123. EASEMENT LINE.
- 124. TRUNCATED DOMES.
- 125. 2'-0" PARKING OVERHANG BY CITY STANDARDS.
- 126. NEW 5'-0" TALL BLACK VINYL COATED CHAINLINK FENCE. SEE DETAIL 21A8.1
- 127. EXISTING RADIO TOWER TO BE RELOCATED TO ROOF.
- 128. RADIO TOWER ON TOP OF ROOF. SEE ROOF PLANS.

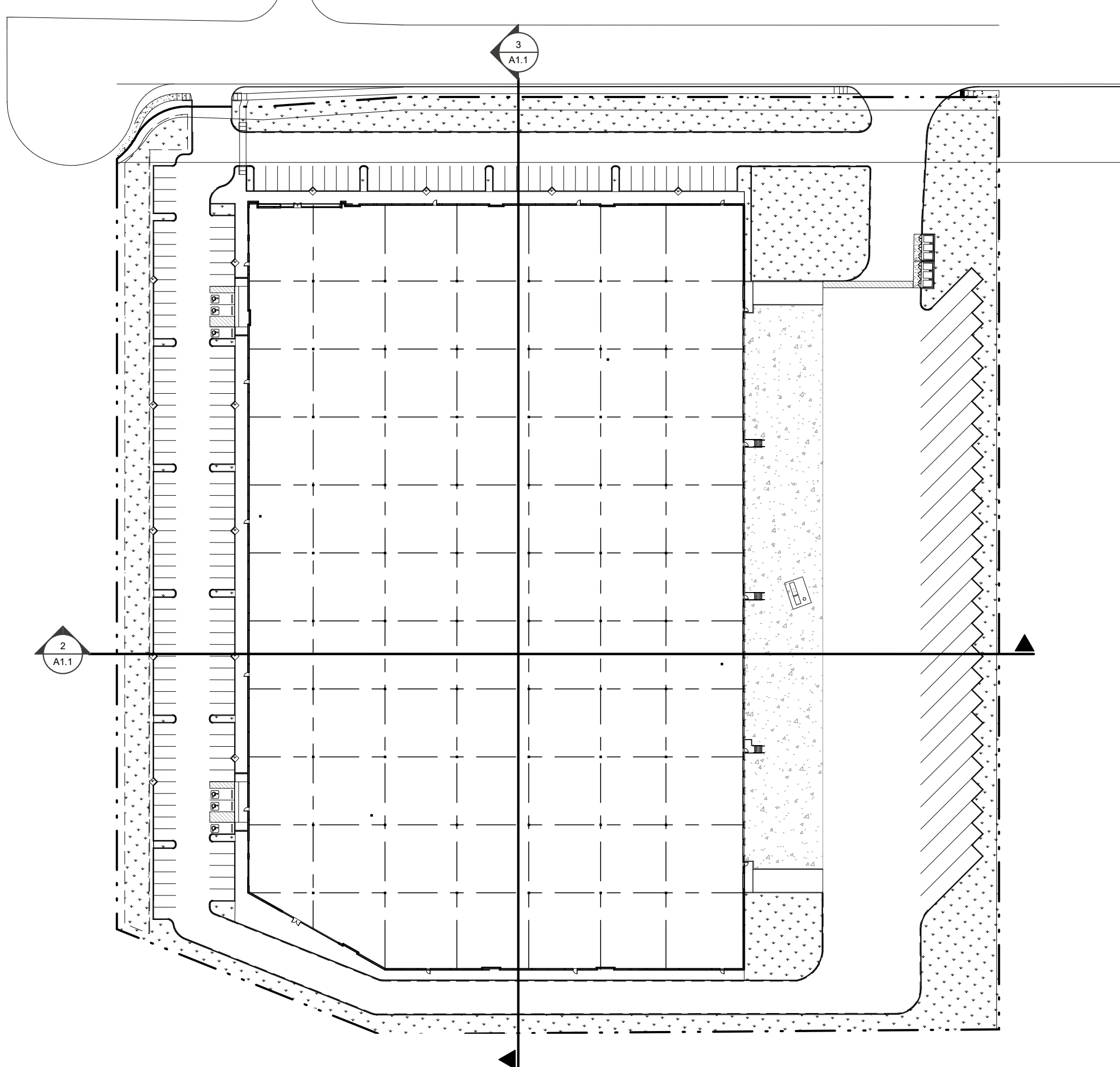
KEY PLAN



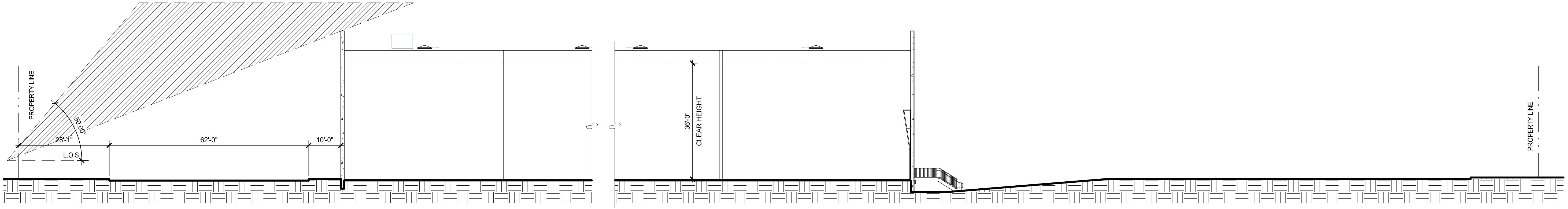
PARTIAL SITE PLAN	
DATE	REMARKS
09/21/21 <td>PLANNING RE-SUBMITTAL</td>	PLANNING RE-SUBMITTAL

PAPM:	L. DEBRITO
DRAWN BY:	M.I.
JOB NO.:	SNR20-0127-00

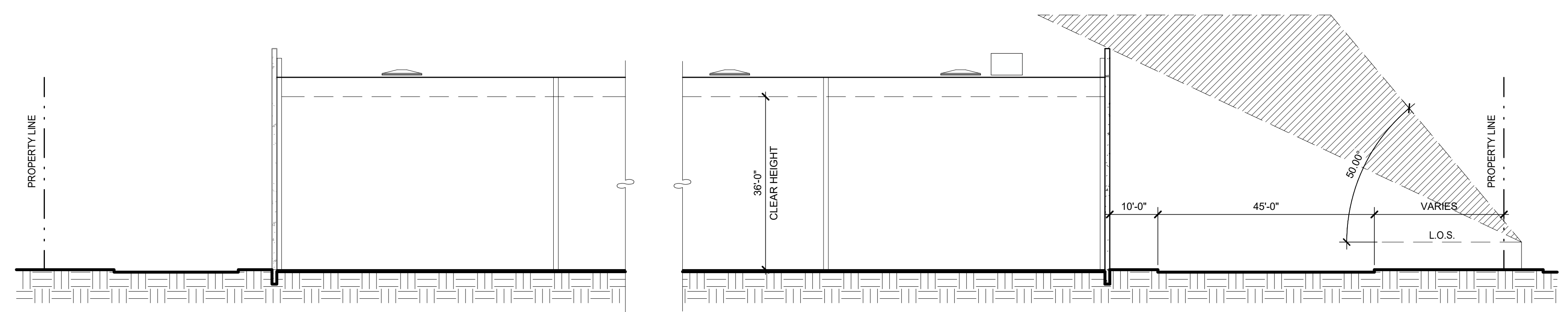
SHEET
A1.0b



SITE PLAN
SCALE: 1" = 80'-0" **1**



SITE SECTION
SCALE: 1/16" = 1'-0" **2**



SITE SECTION
SCALE: 1/16" = 1'-0" **3**

WARE MALCOMB
ARCHITECTURE CIVIL ENGINEERING
PLANNING BRANDS BUILDING MEASUREMENT
4655 CHABOT DR., SUITE #200
PACIFIC PALMS, CA 94488
P 925.244.8920

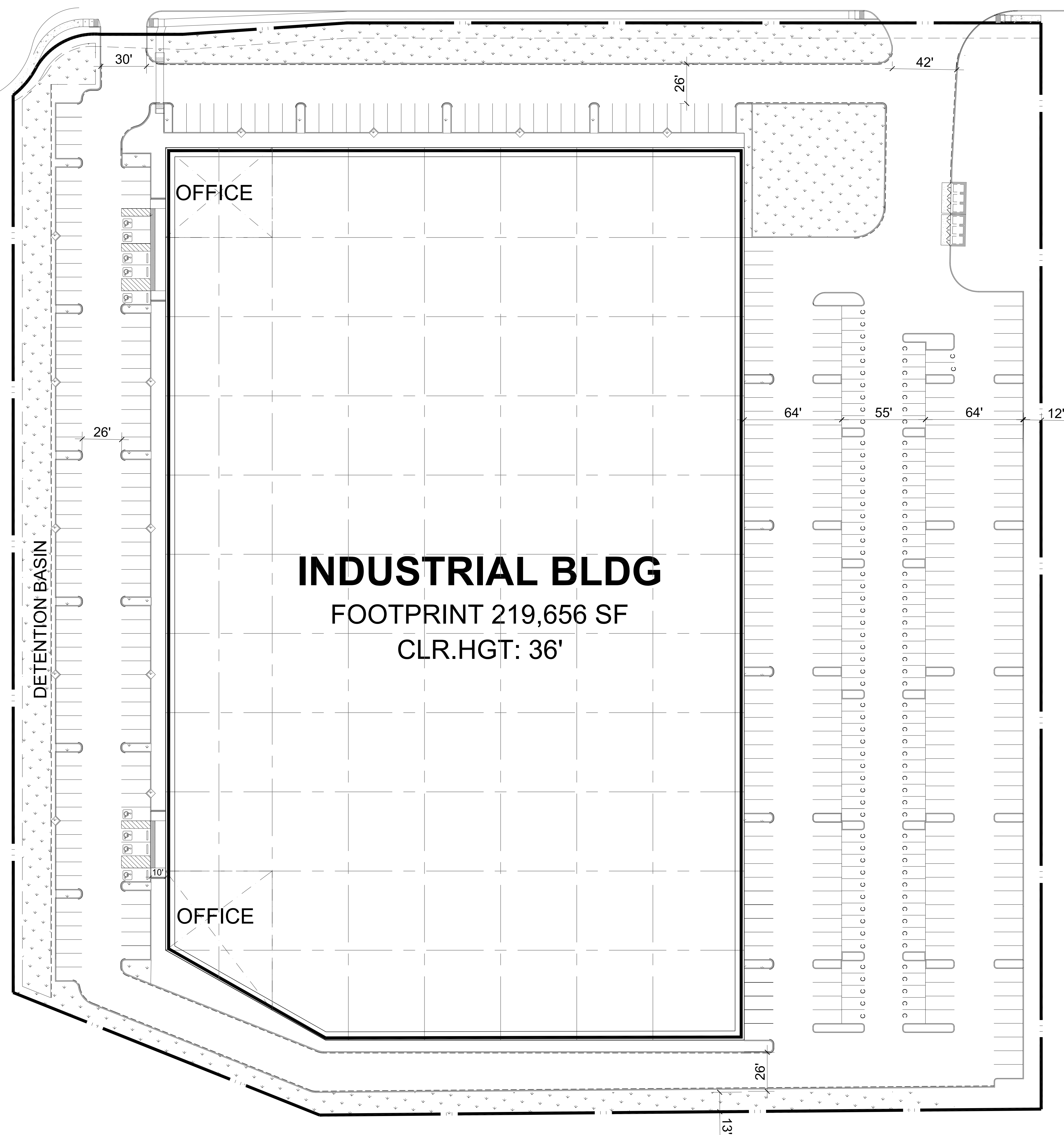
LOGISTIC CENTER AT ENTERPRISE
3636 ENTERPRISE AVENUE
HAYWARD, CA 94545

SITE SECTION		REMARKS
DATE	08/21/21	PLANNING RE-SUBMITTAL

PA/PM: L. DEBRITO
DRAWN BY: M.I.
JOB NO.: SNR20-0127-00

SHEET
A1.1

ENTERPRISE AVENUE



OFF STREET PARKING:

STANDARD (9X19):	358
COMPACT (8X15):	117
COMPACT%:	25%
DRIVE AISLE:	25 FT
FIRE LANE:	26 FT
OVERHANG:	N/A

PARKING DATA:

BUILDING GROSS AREA:	219,583 SF
REQUIRED PARKING RATIO BY USE:	
MANUFACTURING: 1/500 SF	
219,583/500= 439.16	
PARKING REQUIRED:	440
PARKING PROVIDED:	463

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 INTERIORS
 BUILDING MEASUREMENT

4685 CHABOT DR., SUITE #200
 PLEASANTON, CA 94588
 P 925.244.8200

LOGISTICENTER AT ENTERPRISE
 3636 ENTERPRISE AVENUE
 HAYWARD, CA 94545

PARKING ADAPTATION PLAN

DATE: 08/31/21

REMARKS: PLANNING RE-SUBMITTAL

PA/PM: L. DEBRITO
 DRAWN BY: M.L.
 JOB NO.: SNR20-0127-00

SHEET
A1.2

PARKING ADAPTATION PLAN

SCALE: 1"=30'-0"

1

ENTERPRISE AVE.

9 SHORT TERM BICYCLE PARKING STALLS ADJACENT TO ENTRY AND 8 LONG TERM BICYCLE PARKING STALLS INSIDE FACILITY.

WATER MANAGEMENT FEATURE WITH HYDROSEEDING AND PLANTING.

NEW DETENTION BASIN

AREA TO COLLECT RECYCLABLES AND GREEN WASTE INSIDE TRASH ENCLOSURES.

WATER MANAGEMENT FEATURE WITH HYDROSEEDING AND PLANTING.

15% ROOF AREA DESIGNATED AND DESIGNED FOR FUTURE SOLAR.

BUILDING 1 219,656 SF

KEYNOTES:

ENERGY CONSERVATION AND EFFICIENCY

BUILDING TO BE ALL ELECTRIC, WITH DESIGNATED FUTURE SOLAR AREAS TO PROVIDE OPPORTUNITY FOR FUTURE TENANTS TO BE NET ZERO ENERGY. 15% DESIGNATED SOLAR READY AREA IS CAPABLE OF GENERATING 54,990 KW-H OF ENERGY PER MONTH.

ELECTRICAL LIGHT FIXTURES TO BE LED ENERGY EFFICIENT FIXTURES.

7 EV CHARGING STATIONS TO BE PROVIDED.

CONCRETE CONSTRUCTION WITH HIGH THERMAL MASS TO REDUCE INTERIOR TEMPERATURE SWINGS, AND COOL ROOF TO REDUCE HEAT ISLAND EFFECT AND REDUCE AIR CONDITIONING DEMANDS.

WATER CONSERVATION

LANDSCAPE IRRIGATION TO BE WATER EFFICIENT/LOW WATER USAGE.

PLUMBING FIXTURES TO BE LOW FLOW AND MEET CAL GREEN REQUIREMENTS.

RECYCLING

CONSTRUCTION WASTE TO BE AT LEAST 50% SALVAGED OR RECYCLED FOR REUSE.

BUILDING OCCUPANT WASTE TO BE SORTED INTO RECYCLING AND COMPOSTING (TRASH RECEPTACLES AT PATIOS AND TRASH ENCLOSURES CONTAIN BOTH ORGANICS AND RECYCLABLE BINS).

DAYLIGHTING

BUILDINGS TO BE PROVIDED WITH 1% SKYLIGHTS AND VERTICAL WINDOWS ON PERIMETERS TO MAXIMIZE DAYLIGHTS AND MAKE INTERIOR LIGHTING MORE ENERGY EFFICIENT.

INDOOR AIR QUALITY

BUILDINGS TO BE PROVIDED WITH AIR CHANGES AS REQUIRED BY CODE.

ALL FINISHES SHALL COMPLY WITH VOC LIMITS.

HAZARDOUS MATERIALS

NO HAZARDOUS MATERIALS CURRENTLY PROPOSED ON SITE.

SITE LEGEND:

- ACCESSIBLE PATH OF TRAVEL. 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- PROPERTY LINE.
- POLE MOUNTED LIGHT FIXTURE.
- WALLPACK LIGHT FIXTURE.
- TRANSFORMER WITH CONCRETE PAD. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- LANDSCAPE AND IRRIGATION AREA.
- FIRE LANE AND TRASH COLLECTION VEHICLE ROUTE (HATCHED)
- PARKING STALL COUNT TOTAL
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT
- TRASH ENCLOSURE PER CITY OF HAYWARD REQUIREMENTS

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 BUILDING MEASUREMENT

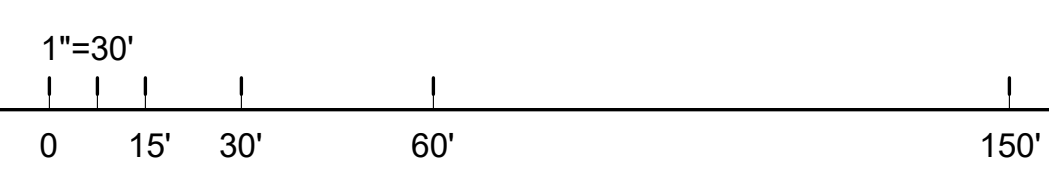
4685 CHERRY DR., SUITE #200
 HAYWARD, CA 94545
 P 925.244.9200

LOGISTIC CENTER AT ENTERPRISE
 3636 ENTERPRISE AVENUE
 HAYWARD, CA 94545

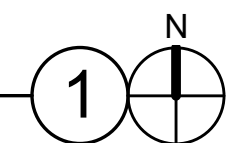
SITE SUSTAINABILITY PLAN	
DATE	REMARKS
09/21/21	PLANNING RE-SUBMITTAL

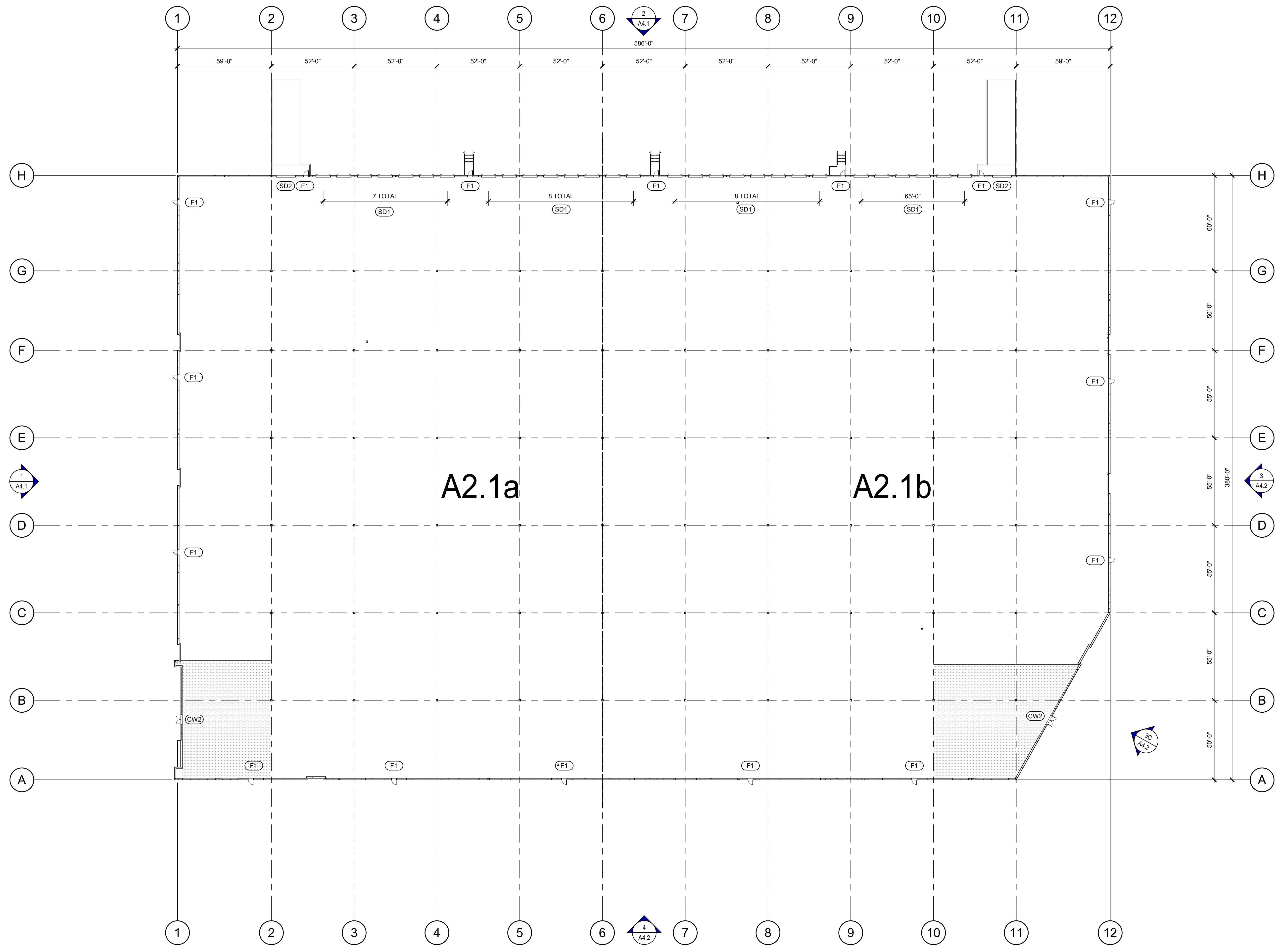
PAPM: L. DEBRITO
 DRAWN BY: M.I.
 JOB NO.: SNR20-0127-00

SHEET
A1.3



OVERALL SITE PLAN
 SCALE: 1" = 30'-0"





DOOR TYPES

CW2 6'-0" x 9'-0" (PAIR)
CLEAR ANOD. ALUM. STOREFRONT
DOOR W/TEMPERED GLAZING
(NARROW STYLE)
FRAME: KAWNEER

HARDWARE:
2 SETS PIVOT SET
2 SETS INTER PIVOT
1 EA MORTISE CYLINDER
2 SETS OFFSET PULL
2 EA OH CLOSER
1 EA THRESHOLD
1 EA DECAL
1 EA PANIC HARDWARE
NOTE: WEATHERSEAL BY DOOR MANUFACTURER

F1 3'-0" x 7'-0"
PAINTED INSULATED
HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL

HARDWARE:
3 EA HINGES
1 EA EXIT DEVICE
1 EA CYLINDER
1 EA CLOSER
1 EA PERIMETER SEAL
1 EA BOTTOM DRIP
1 EA THRESHOLD
1 EA LOCK GUARD
1 EA HVY DUTY FLOOR STOP
1 EA FLOOR SWEEP

SD1 9'-0" x 10'-0"
MANUALLY OPERATED DOCK HIGH
SECTIONAL VERTICAL LIFT OVERHEAD
DOOR W/ FACTORY PAINTED FINISH.

SD2 12'-0" x 14'-0"
ELECTRICALLY OPERATED SECTIONAL
VERTICAL LIFT OVERHEAD DOOR W/
FACTORY PAINTED FINISH.

HARDWARE:
1 EA SLIDE BOLT
1 EA PAD LOCK

DOOR NOTES

PLEASE SEE DOOR HARDWARE SPECIFICATION SECTION 08 71 00 FOR ADDITIONAL INFORMATION AND FULL LIST OF APPROVED MANUFACTURERS.
BUTT HINGES:
 HAGER - HEAVY WEIGHT, NON-FERROUS WITH NON-REMOVABLE PINS.
 VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL AT DESIGNATED EGRESS DOORS PER A4.5 ONLY, VON DUPRIN 33A PANIC DEVICE OR APPROVED EQUAL AT STOREFRONT DOORS.
CLOSING DEVICES: - NORTON 6500 SF SERIES.
STOPS: - TRINCO W 1200 SERIES DOOR STOPS.
DOOR LOCKSETS AND CORES: - BEST, SCHLAGE OR SARGENT.
LATCHGUARD: - ASSA-ABLOY OR HAGER.
DOOR THRESHOLD AND SWEEPS: - PEMKO.
THRESHOLDS: - PEMKO - SEE DOOR THRESHOLD DETAILS.
WEATHER STRIPPING: - PEMKO.
NOTE: ALL HARDWARE SHALL BE US 626 STAIN CHROME FINISH AND MUST COMPLY WITH ADA REQUIREMENTS.

LEGEND

PROPOSED FUTURE OFFICE AREA

WALL LEGEND

CONCRETE WALL

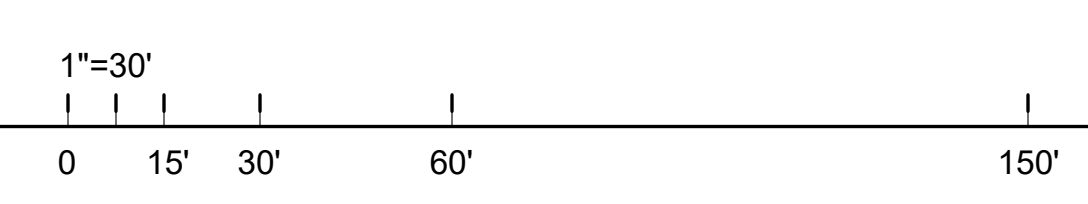
WARE MALCOLM
ARCHITECTURE
PLANNING
INTERIORS
4655 CHERRY DR., SUITE #200
HAYWARD, CA 94545
P 925.244.9200

LOGISTIC CENTER AT ENTERPRISE
3636 ENTERPRISE AVENUE
HAYWARD, CA 94545

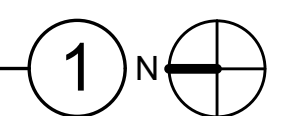
BUILDING 1-OVERALL FLOOR PLAN	
DATE	REMARKS
08/21/21	PLANNING RE-SUBMITTAL

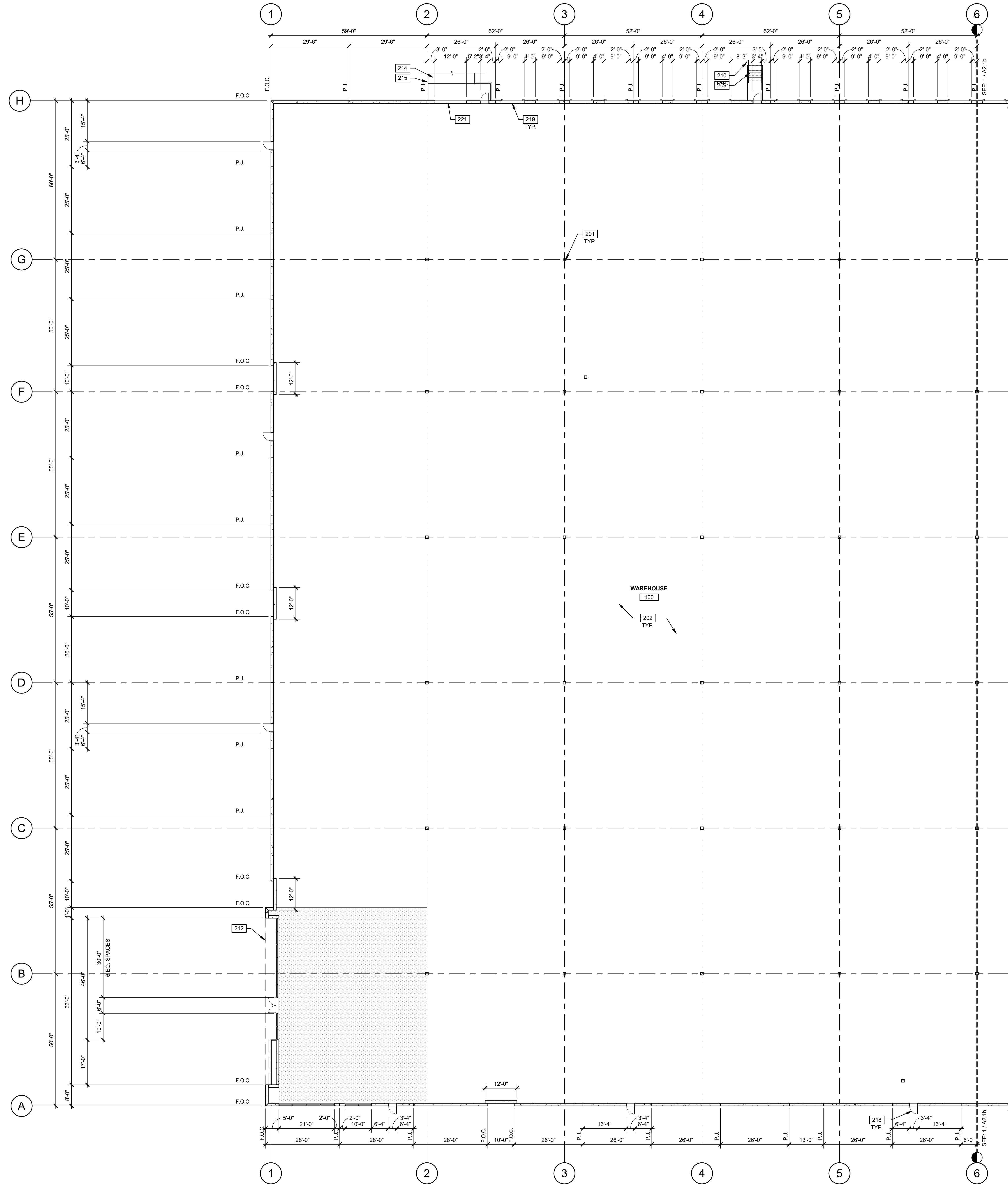
PA/PM: L. DEBRITO
DRAWN BY: M.I.
JOB NO.: SNR20-0127-00

SHEET
A2.1



BUILDING 1 OVERALL FLOOR PLAN





KEYNOTES:

- 201 STRUCTURAL STEEL COLUMN, PAINTED SAFETY YELLOW TO 12'-0" A.F.F. THEN WHITE TO DECK.
- 202 CONCRETE SLAB, PROVIDE 15 MIL STEGO RAP 451 VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE LAPIDOLITH SEALER FOR CONCRETE FLOOR AREA.
- 209 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 214 CONCRETE RAMP.
- 215 CONCRETE RETAINING WALL.
- 218 MAN DOOR, SEE ELEVATIONS.
- 219 SECTIONAL DOOR (DOCK HIGH), SEE ELEVATIONS.
- 221 SECTIONAL DOOR (ON GRADE), SEE ELEVATIONS.

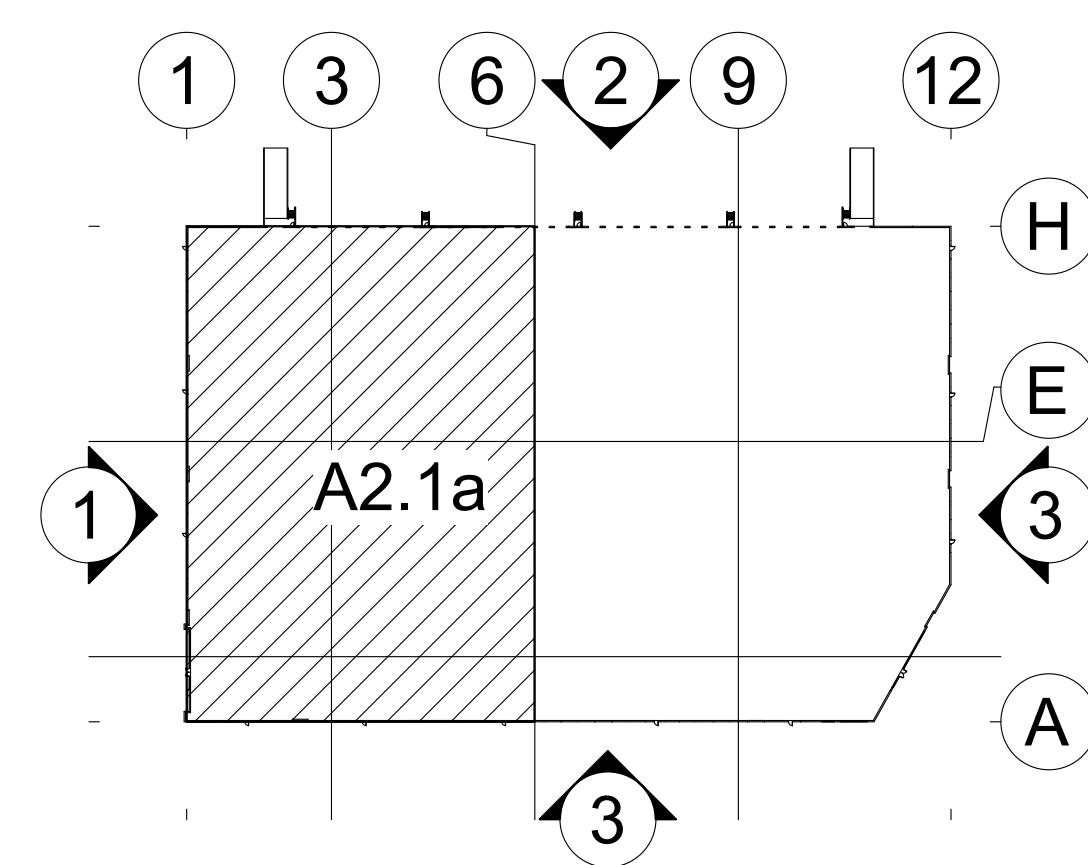
LEGEND

PROPOSED FUTURE OFFICE AREA

WALL LEGEND

CONCRETE WALL

KEY PLAN



WARE MALCOLM
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 BUILDING MEASUREMENT

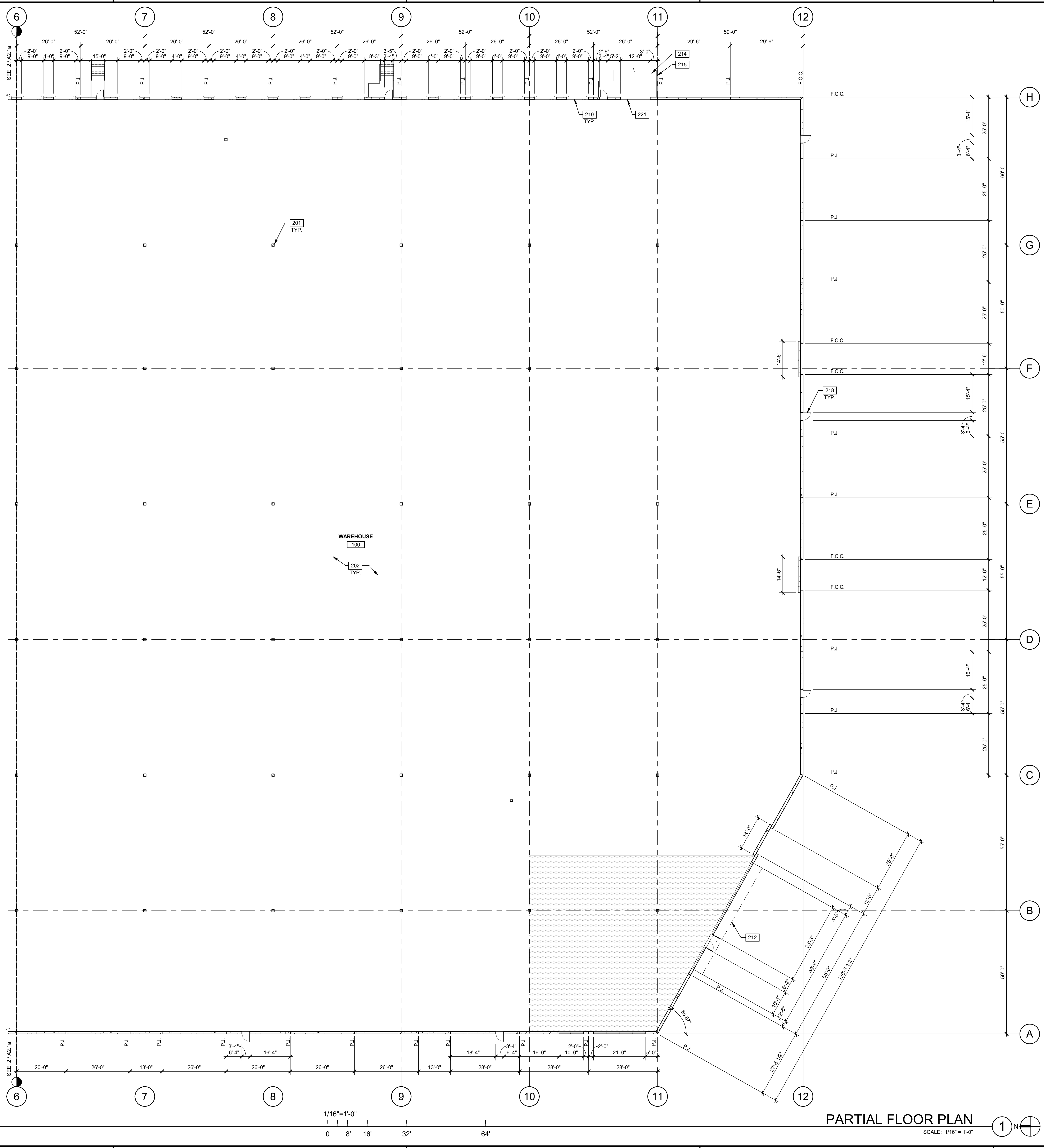
4652 Chabot Dr., Suite #200
 Fremont, CA 94538
 P: 925.244.9200

LOGISTICENTER AT ENTERPRISE
 3636 ENTERPRISE AVENUE
 HAYWARD, CA 94545

BUILDING 1- PARTIAL FLOOR PLAN	
DATE	REMARKS
09/21/21	PLANNING RE-SUBMITTAL

PAPM: L. DEBRITO
 DRAWN BY: M.I.
 JOB NO.: SNR20-0127-00

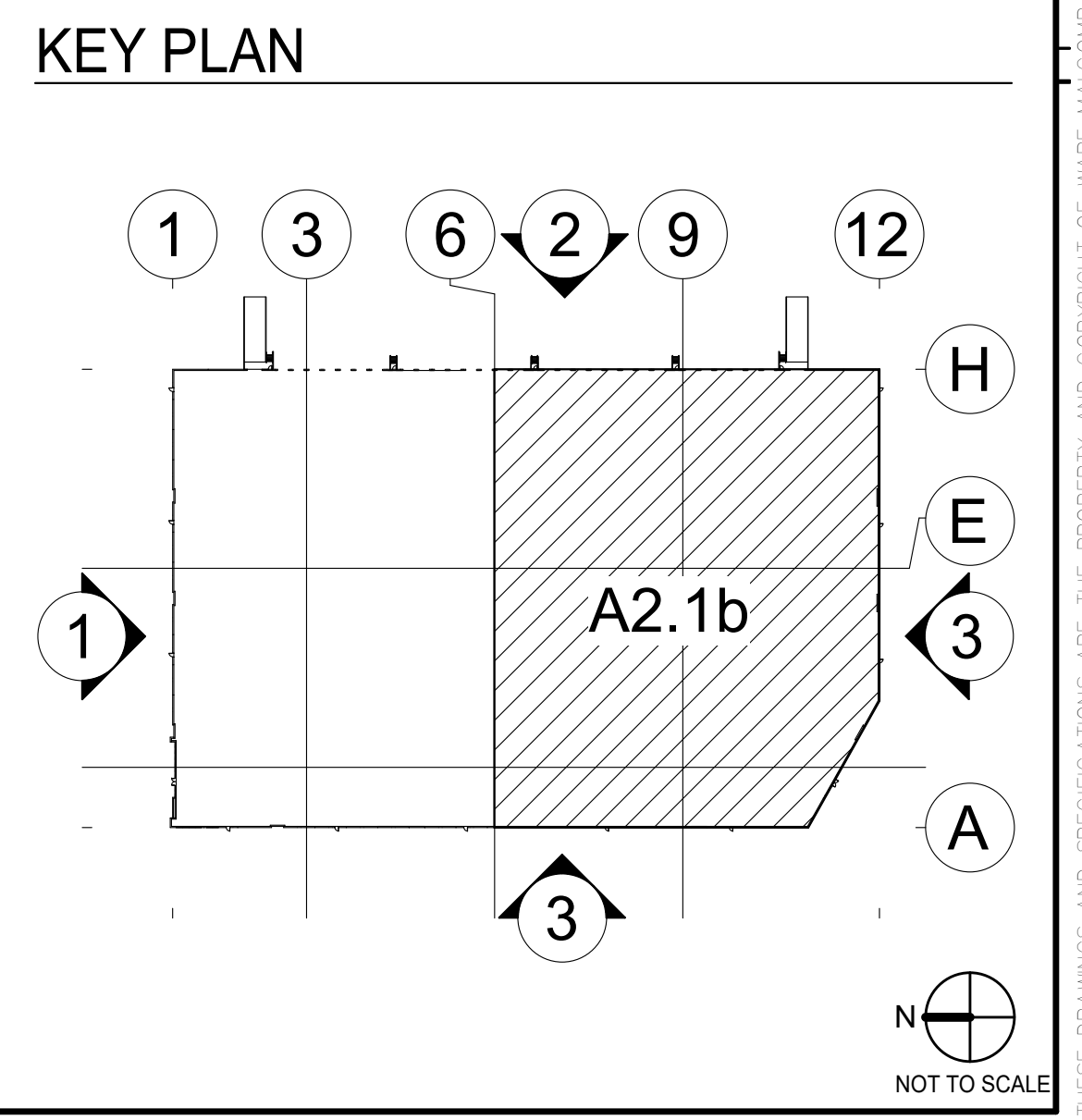
SHEET
A2.1a
 8/30/2021 4:58:09 PM



- KEYNOTES:**
- 201 STRUCTURAL STEEL COLUMN, PAINTED SAFETY YELLOW TO 12'-0" A.F.F. THEN WHITE TO DECK.
 - 202 CONCRETE SLAB. PROVIDE 15 MIL STEGO RAP 451 VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE LAPIDOLITH SEALER FOR CONCRETE FLOOR AREA.
 - 214 CONCRETE RAMP.
 - 215 CONCRETE RETAINING WALL.
 - 218 MAN DOOR. SEE ELEVATIONS.
 - 219 SECTIONAL DOOR (DOOR HIGH). SEE ELEVATIONS.
 - 221 SECTIONAL DOOR (ON GRADE). SEE ELEVATIONS.

- LEGEND**
- PROPOSED FUTURE OFFICE AREA

- WALL LEGEND**
- CONCRETE WALL



WARE MALCOLM
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 INTERIORS
 BUILDING MEASUREMENT

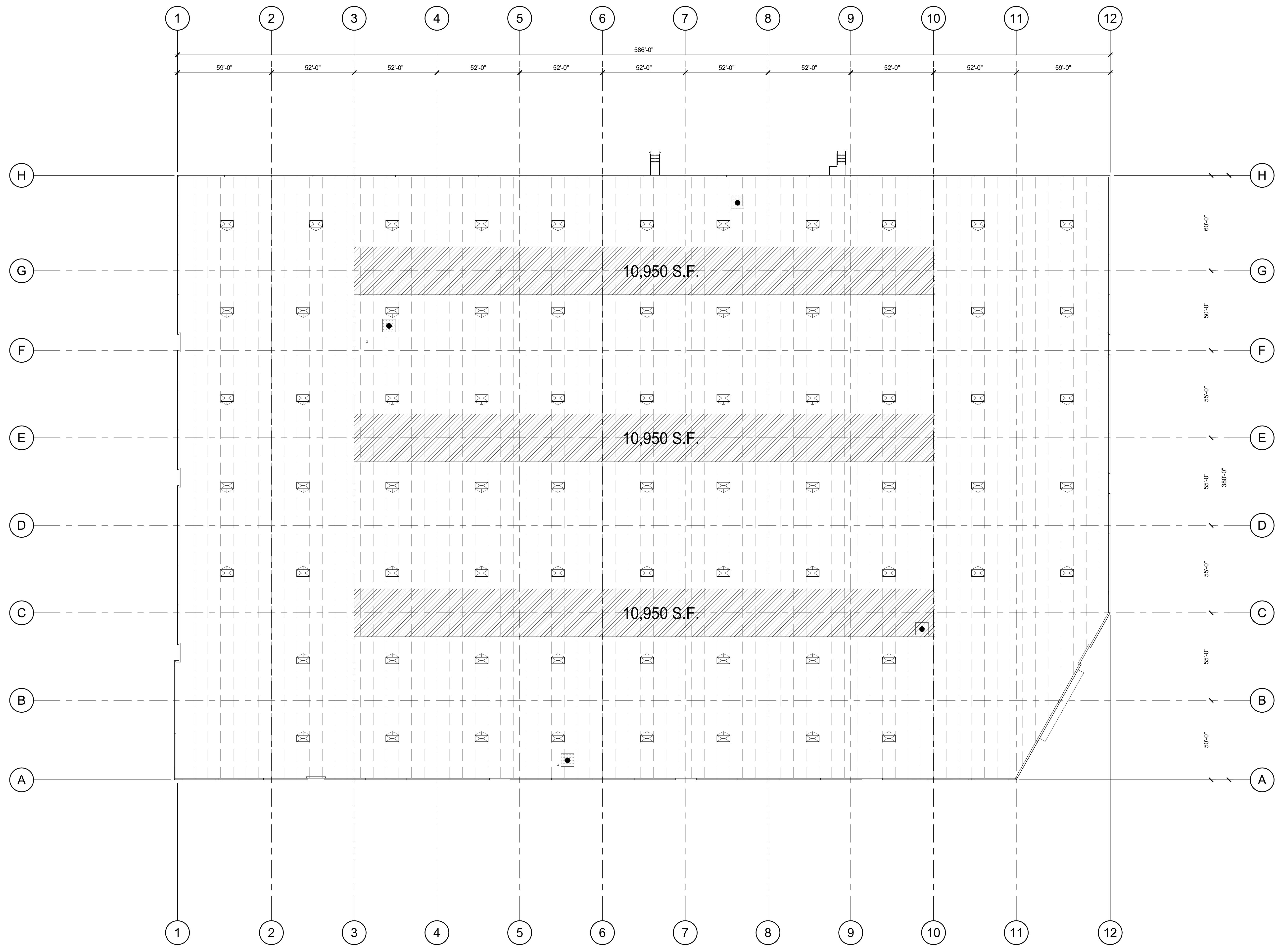
4655 CHIMNEY DR., SUITE #200
 PLANNING, CA 94588
 P. 925.244.9220

LOGISTIC CENTER AT ENTERPRISE
 3636 ENTERPRISE AVENUE
 HAYWARD, CA 94545

BUILDING 1 - PARTIAL FLOOR PLAN	
DATE	REMARKS
08/21/21 <td>PLANNING RE-SUBMITTAL</td>	PLANNING RE-SUBMITTAL

PAPM:	L. DEBRITO
DRAWN BY:	M.I.
JOB NO.:	SNR20-0127-00

SHEET
A2.1b
 8/30/2021 4:58:11 PM



ABBREVIATIONS

T.O.P. = TOP OF PARAPET
 H.P. = TOP OF ROOFING - HIGH POINT
 M.P. = TOP OF ROOFING - MID POINT
 L.P. = TOP OF ROOFING - LOW POINT

CALCULATIONS

SKYLIGHTS:
 SKYLIGHT SIZE: 48"x96"=32 S.F.
 (WAREHOUSE AREA S.F.) x 1.0% = $\frac{219,656 \times 0.01}{32}$
 DESIRED: 69 SKYLIGHTS
 PROVIDED: 71 SKYLIGHTS

FUTURE SOLAR:

ROOF AREA:	219,656 S.F.
SKYLIGHT AREA:	2,272 S.F.
ROOF AREA LESS SKYLIGHT:	217,384 S.F.
15% OF ROOF AREA (LESS SKYLIGHTS):	32,608 S.F.*
TOTAL AREA FOR FUTURE SOLAR REQUIRED:	32,608 S.F.*
TOTAL AREA FOR FUTURE SOLAR PROVIDED:	32,850 S.F.

*CEC SECTION 110.10(B) DOES NOT REQUIRE THE INCLUSION OF ANY COLLATERAL LOADS FOR FUTURE SOLAR ENERGY SYSTEMS.

LEGEND

- SKYLIGHT, (1%)
GC TO COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.
- RADIO TOWER ON TOP OF ROOF.
DESIGN, HEIGHT AND INSTALLATION MECHANISM (GUY WIRES) TO MATCH EXISTING.

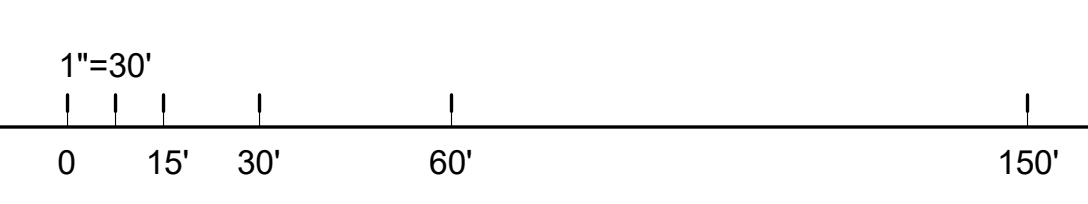
WARE MALCOLM
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 4655 CHERRY DRIVE, SUITE #200
 PLANNING, CA 94588
 P 925.244.9200

LOGISTIC CENTER AT ENTERPRISE
 3636 ENTERPRISE AVENUE
 HAYWARD, CA 94545

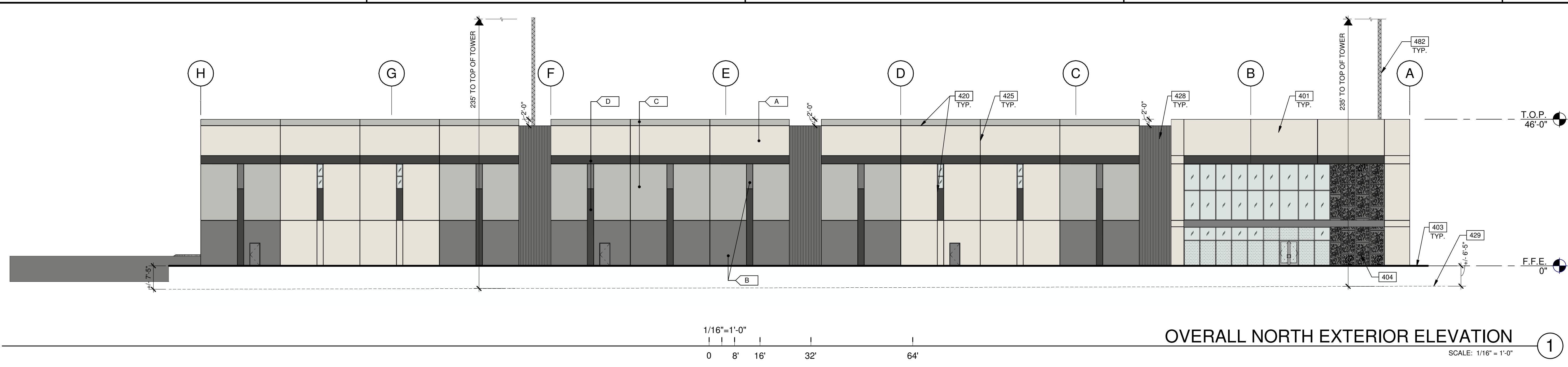
BUILDING 1-ROOF PLAN	
DATE	REMARKS
08/21/21	PLANNING RE-SUBMITTAL

PA/PM: L. DEBRITO
 DRAWN BY: M.I.
 JOB NO.: SNR20-0127-00

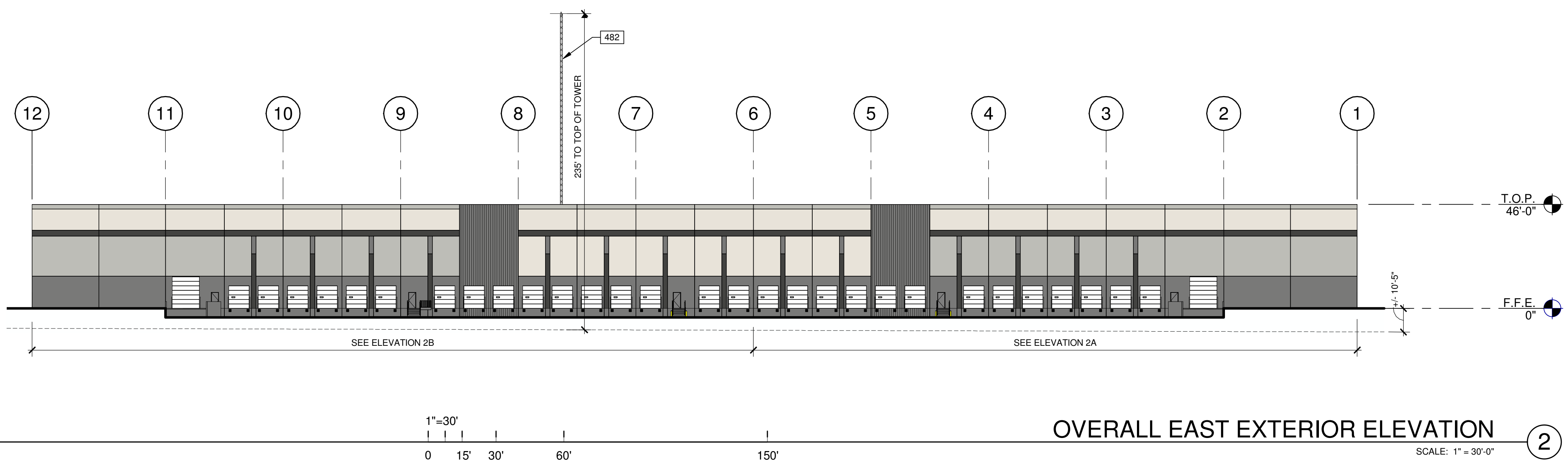
SHEET
A3.1
 8/30/2021 4:58:13 PM



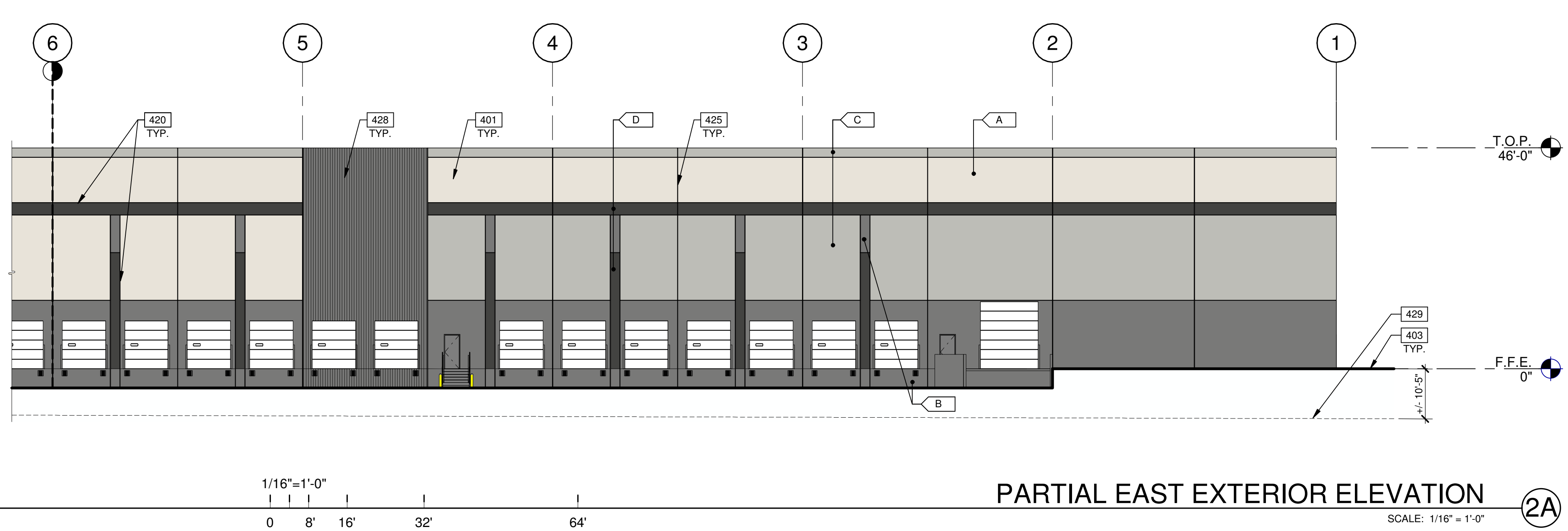
ROOF PLAN
 SCALE: 1" = 30'-0"
 1 N



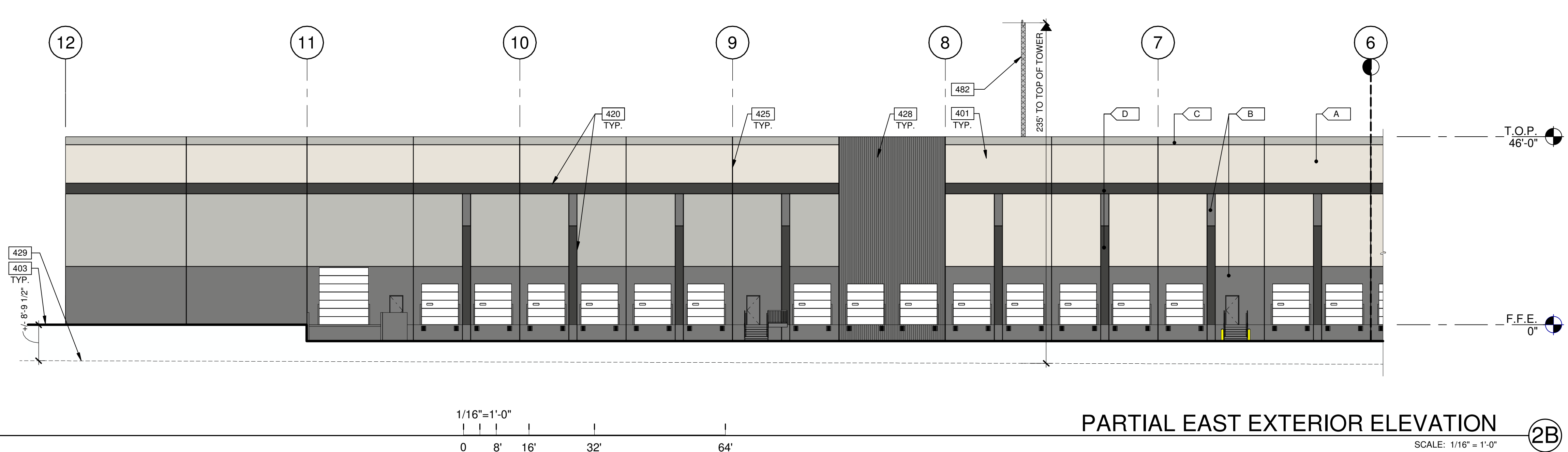
OVERALL NORTH EXTERIOR ELEVATION 1
SCALE: 1/16" = 1'-0"



OVERALL EAST EXTERIOR ELEVATION 2
SCALE: 1" = 30'-0"



PARTIAL EAST EXTERIOR ELEVATION 2A
SCALE: 1/16" = 1'-0"



PARTIAL EAST EXTERIOR ELEVATION 2B
SCALE: 1/16" = 1'-0"

- KEYNOTES:**
- 401 CONCRETE WALL, PAINTED.
 - 403 FINISH GRADE VARIES.
 - 404 METAL SCREEN ARTWORK.
 - 420 3/4" V-REVEAL.
 - 425 CONCRETE WALL JOINT.
 - 428 CONCRETE FORM LINER.
 - 429 APPROXIMATE EXISTING GRADE. SEE CIVIL PLANS.
 - 482 NEW RADIO TOWER ON TOP OF ROOF. DESIGN, HEIGHT AND INSTALLATION MECHANISM (GUY WIRES) TO MATCH EXISTING.

- LEGEND**
- GLASS:**
- VISION GLASS
 - SPANDEL GLASS
 - TEMPERED GLASS

- COLORS:**
- PROVIDE 6" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- A BASE COLOR: SHERWIN WILLIAMS SW7009 - PEARLY WHITE
 - B SECONDARY COLOR: SHERWIN WILLIAMS SW2849 - WESTCHESTER GRAY
 - C ACCENT COLOR: SHERWIN WILLIAMS SW7065 - ARGOS
 - D ACCENT COLOR: SHERWIN WILLIAMS SW7069 - IRON ORE
 - E ACCENT COLOR: SHERWIN WILLIAMS SW8804 - DIGNITY BLUE

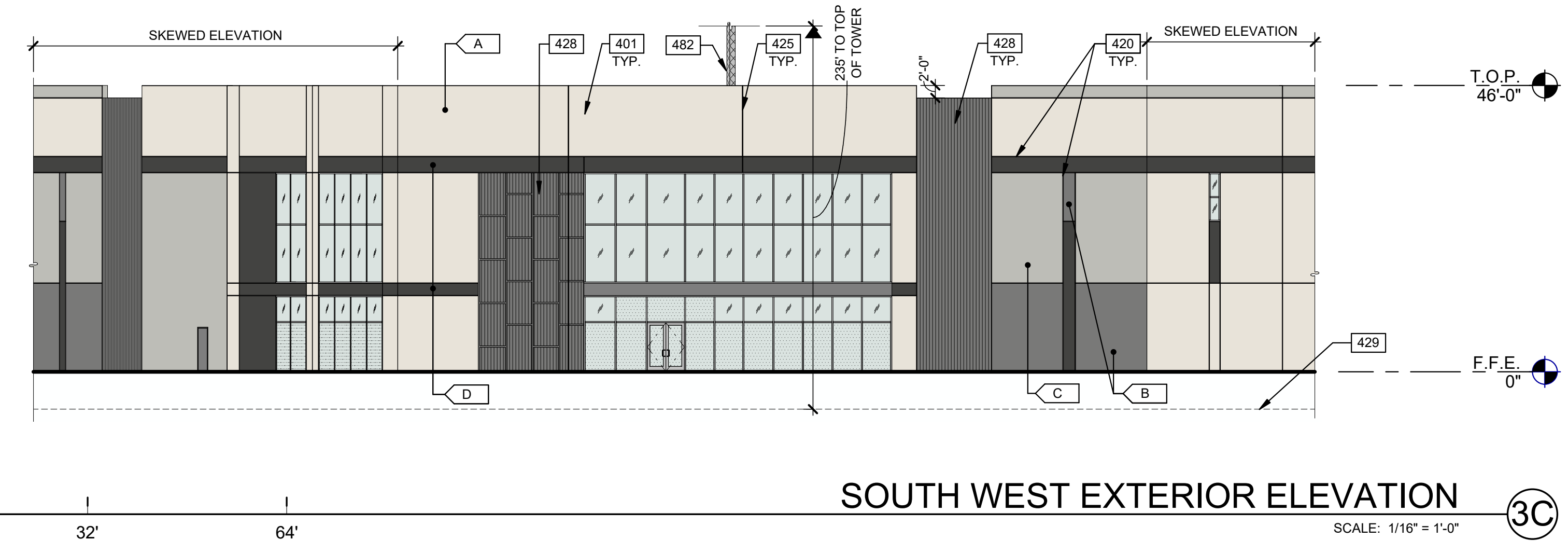
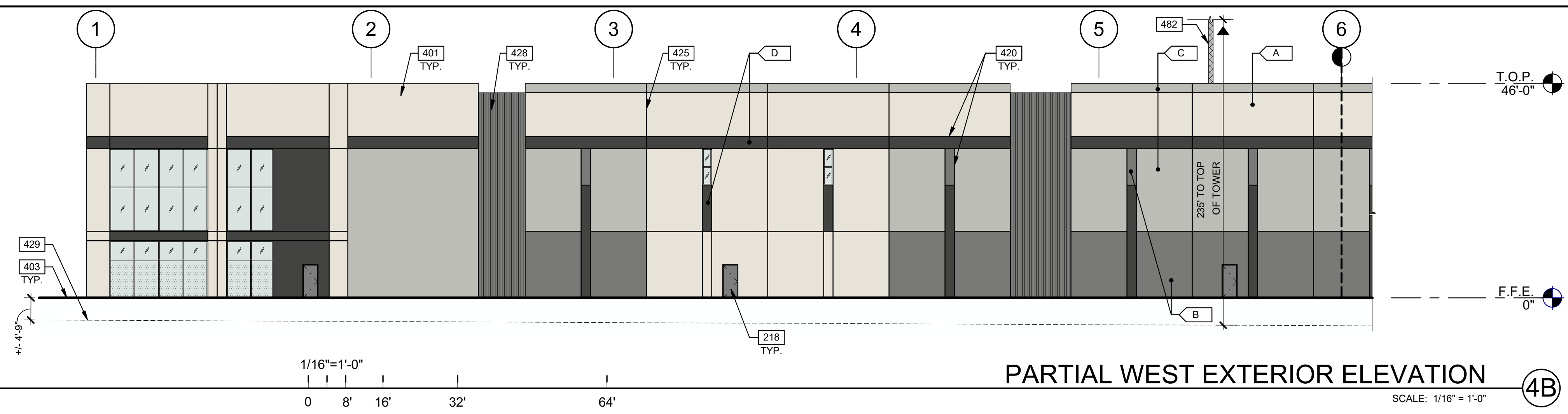
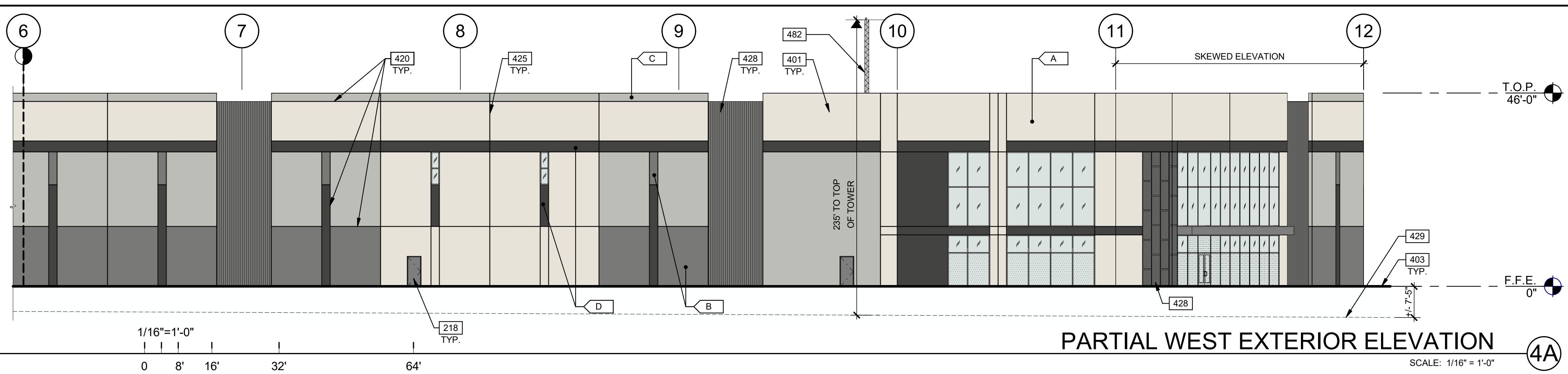
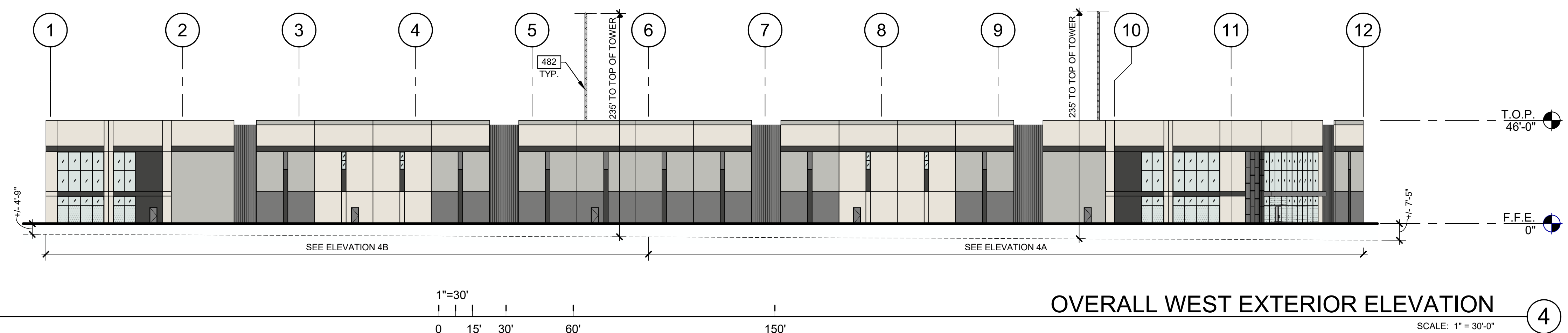
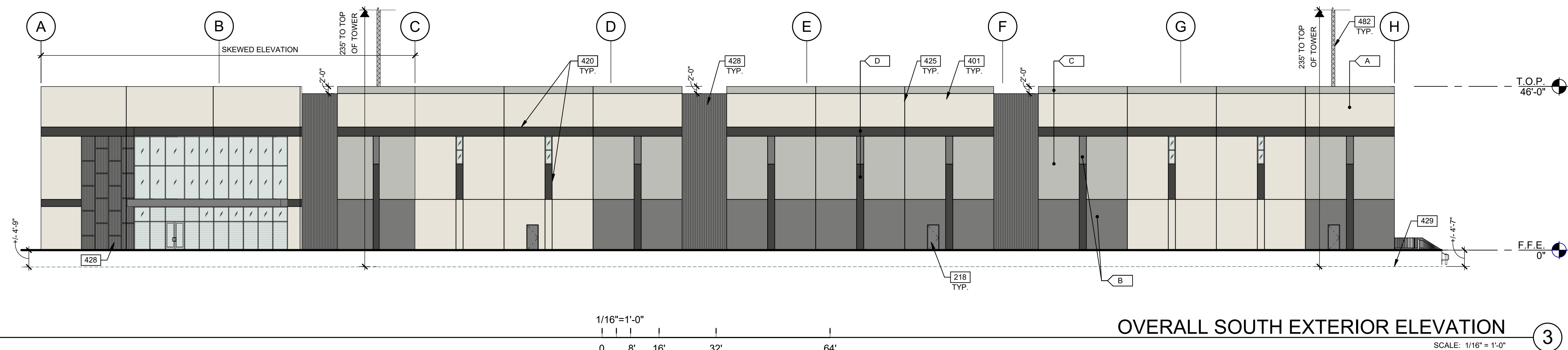
WARE MALCOMB
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
INTERIORS
4655 Chabot Dr., Suite #200
Fremont, CA 94538
P: 925.244.9200

LOGISTIC CENTER AT ENTERPRISE
3636 ENTERPRISE AVENUE
HAYWARD, CA 94545

BUILDING 1-COLORED EXTERIOR ELEVATIONS	
DATE	REMARKS
08/31/21	PLANNING RESUBMITTAL

PAPM: L. DEBRITO
DRAWN BY: M.I.
JOB NO.: SNR20-0127-00

SHEET
A4.1
8/31/2021 10:44:29 AM



KEYNOTES:

- 218 MAN DOOR, SEE ELEVATIONS
- 401 CONCRETE WALL, PAINTED.
- 403 FINISH GRADE VARIES.
- 420 3/4" V-REVEAL.
- 425 CONCRETE WALL JOINT.
- 428 CONCRETE FORM LINER.
- 429 APPROXIMATE EXISTING GRADE. SEE CIVIL PLANS.
- 482 NEW RADIO TOWER ON TOP OF ROOF. DESIGN, HEIGHT AND INSTALLATION MECHANISM (GUY WIRES) TO MATCH EXISTING.

LEGEND

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- A BASE COLOR: SHERWIN WILLIAMS SW7009 - PEARLY WHITE
- B SECONDARY COLOR: SHERWIN WILLIAMS SW2849 - WESTCHESTER GRAY
- C ACCENT COLOR: SHERWIN WILLIAMS SW7065 - ARGOS
- D ACCENT COLOR: SHERWIN WILLIAMS SW7069 - IRON ORE
- E ACCENT COLOR: SHERWIN WILLIAMS SW6804 - DIGNITY BLUE

WARE MALCOLM

ARCHITECTURE
PLANNING
INTERIORS

4655 CHERRY DR., SUITE #300
IRVINE, CA 92618
P: 949.244.9620

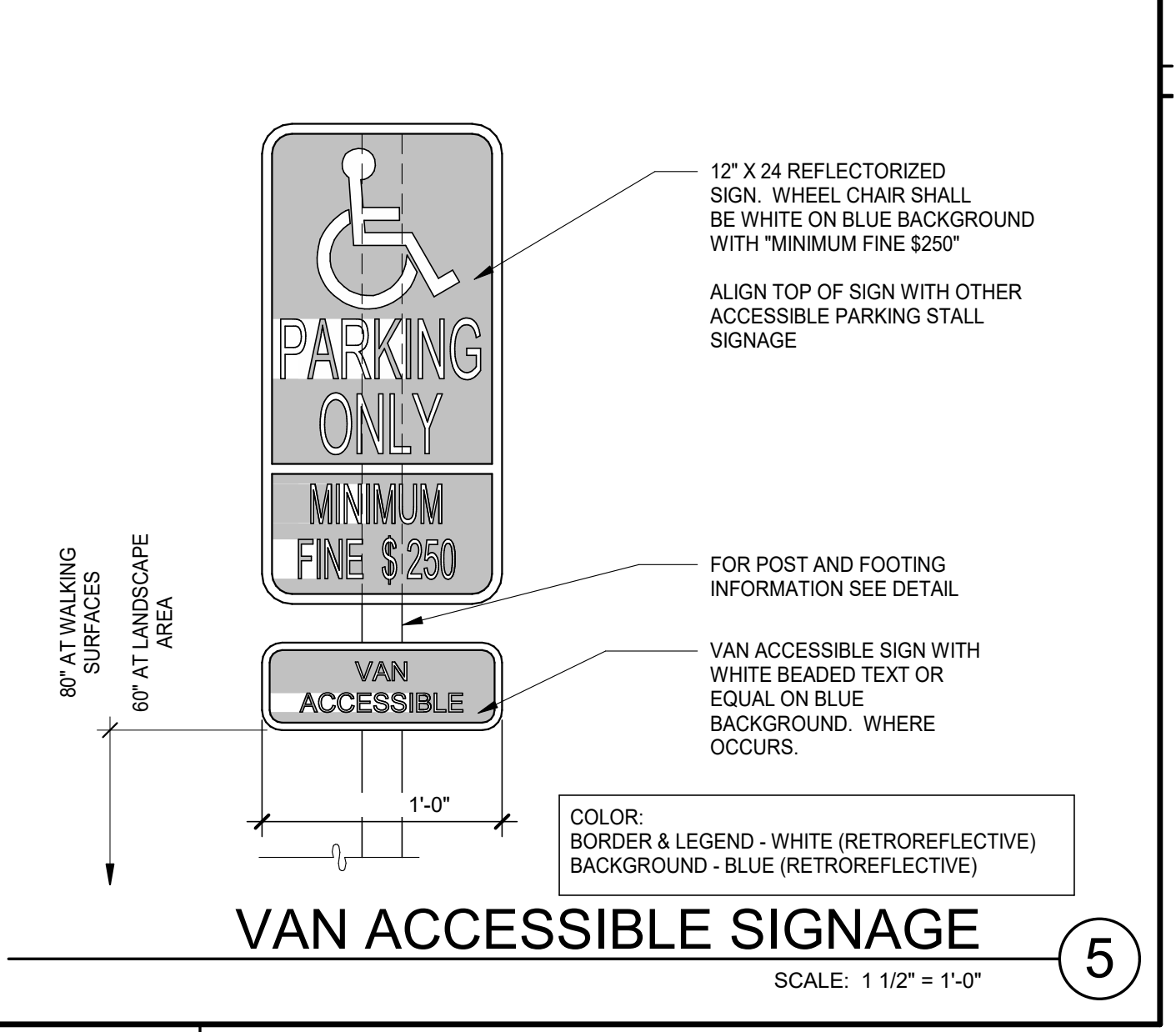
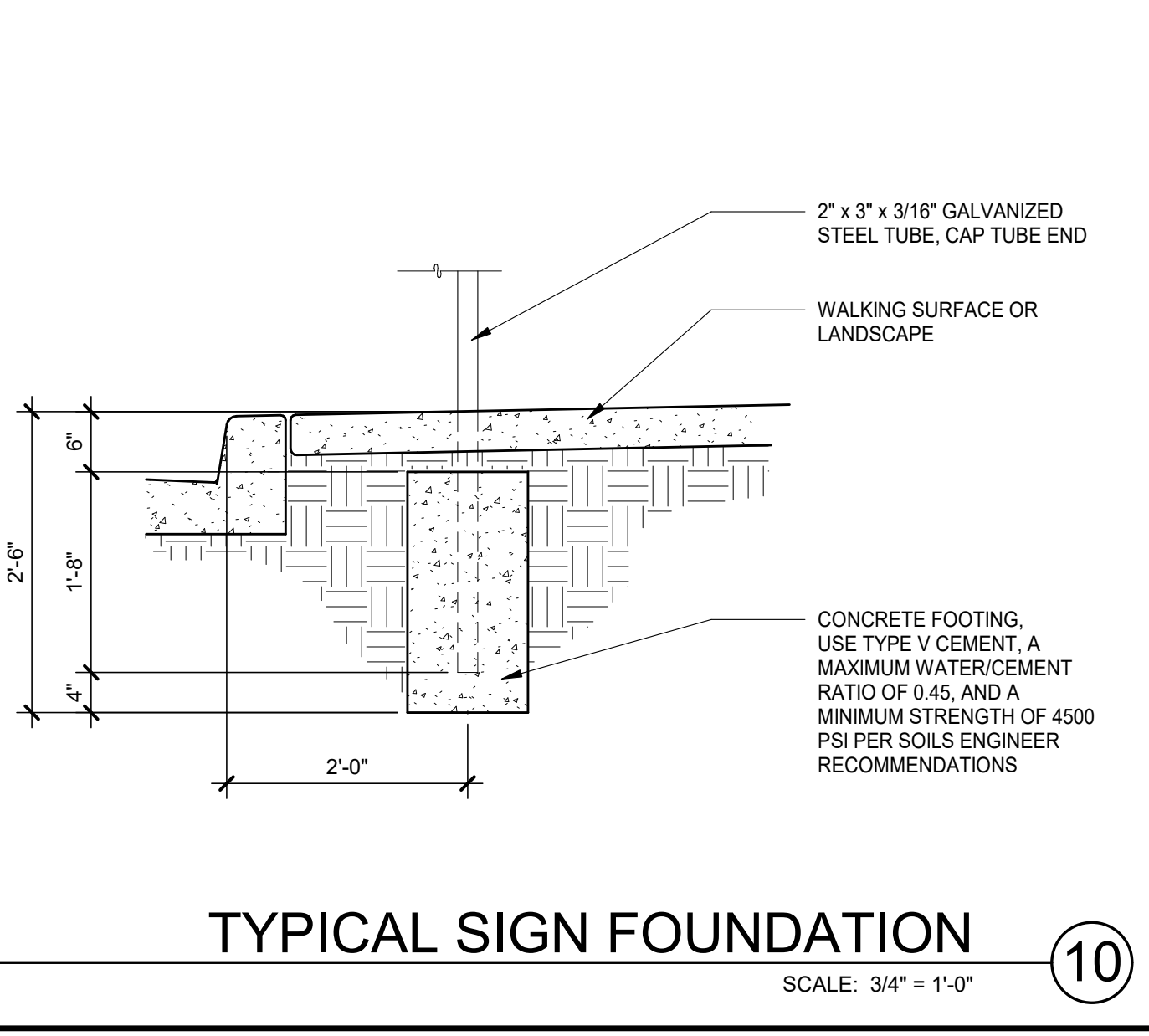
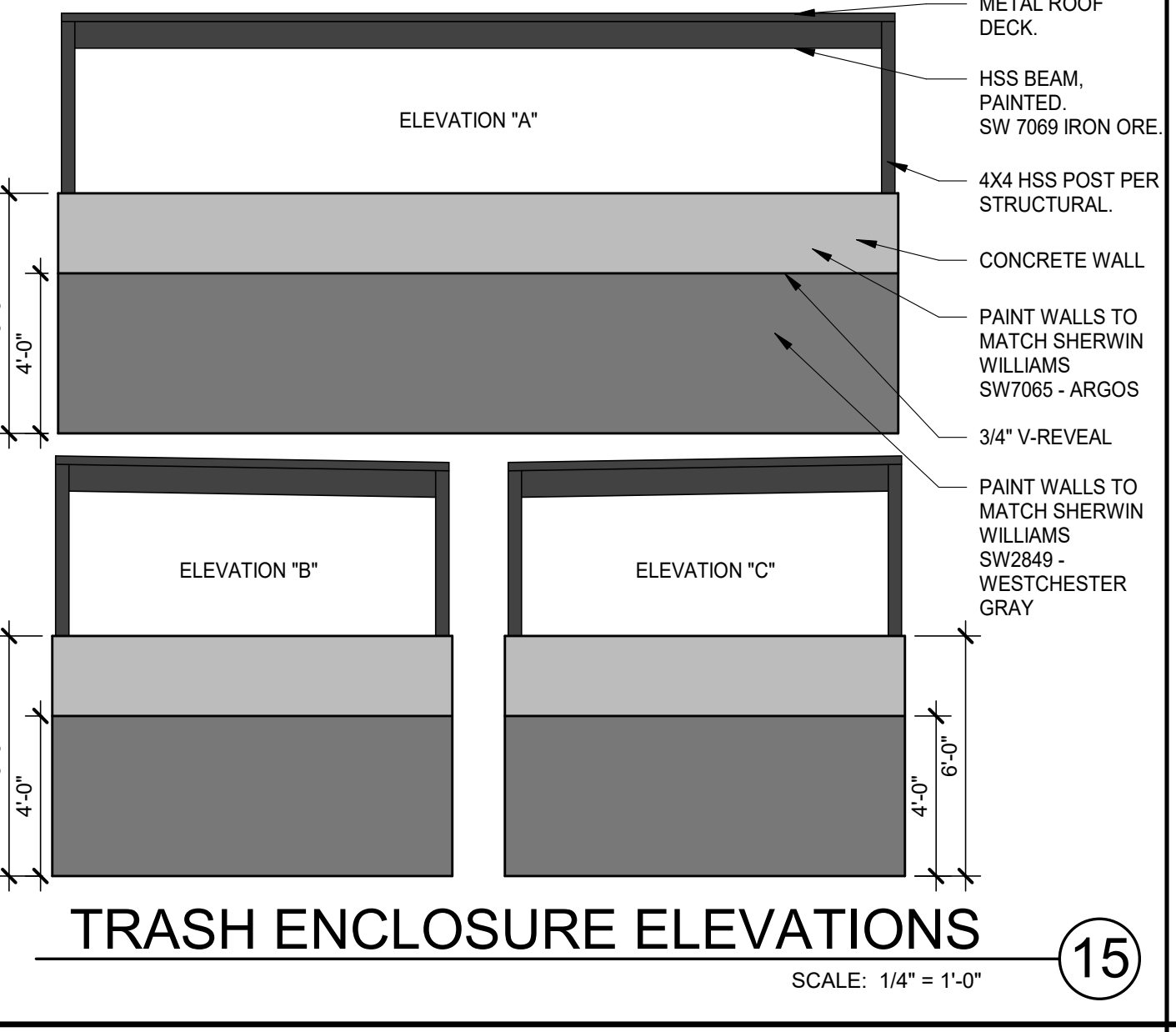
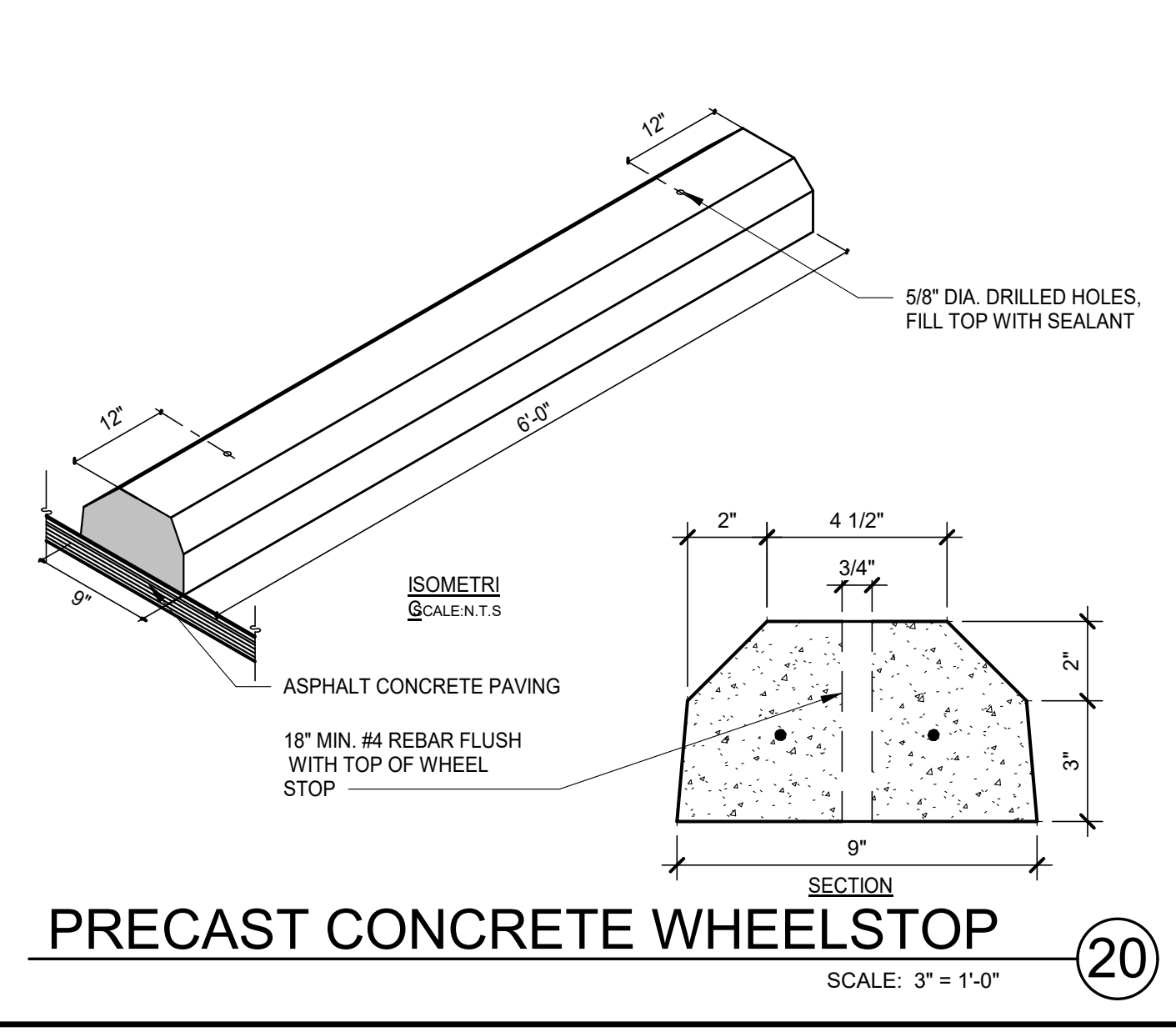
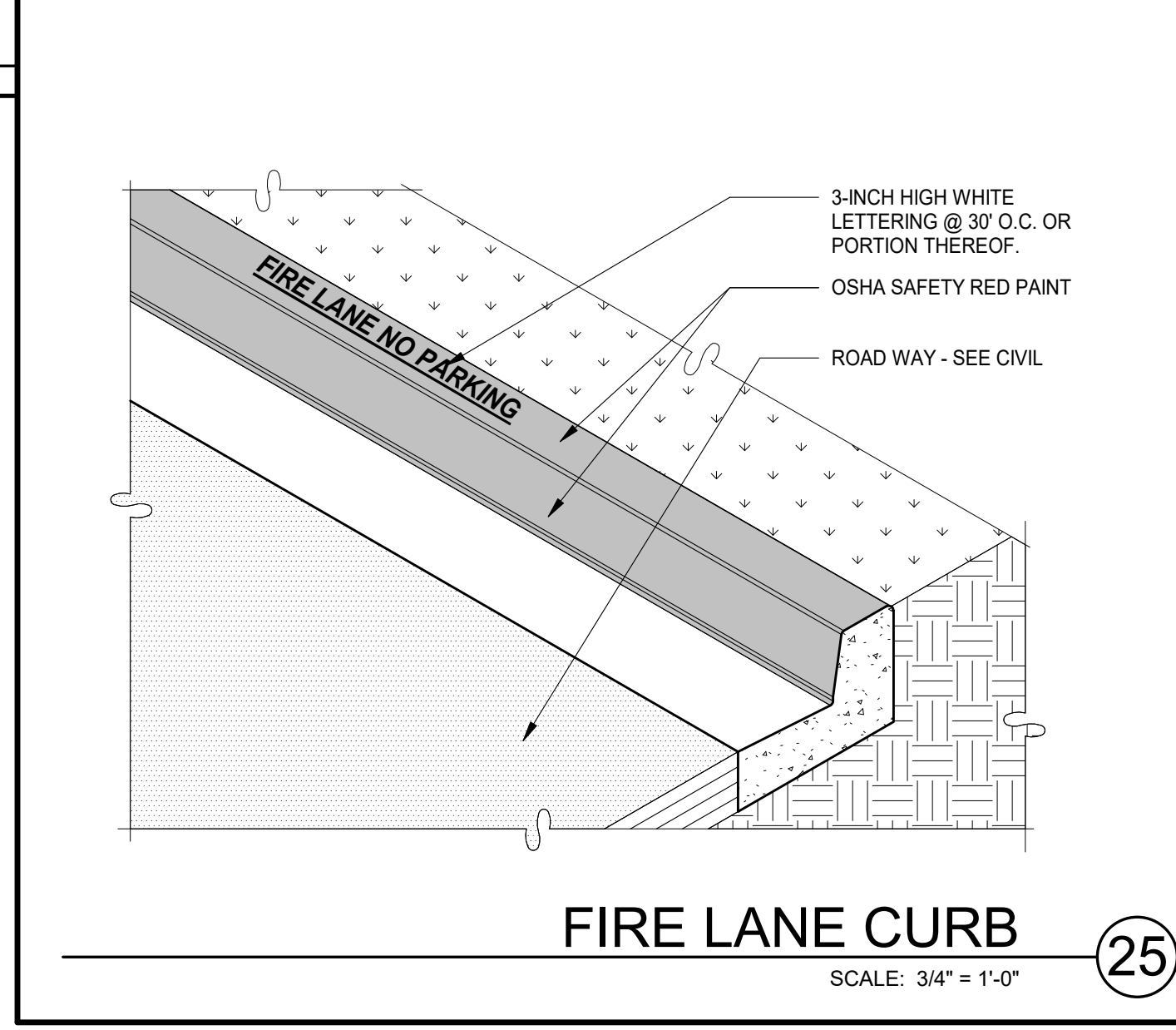
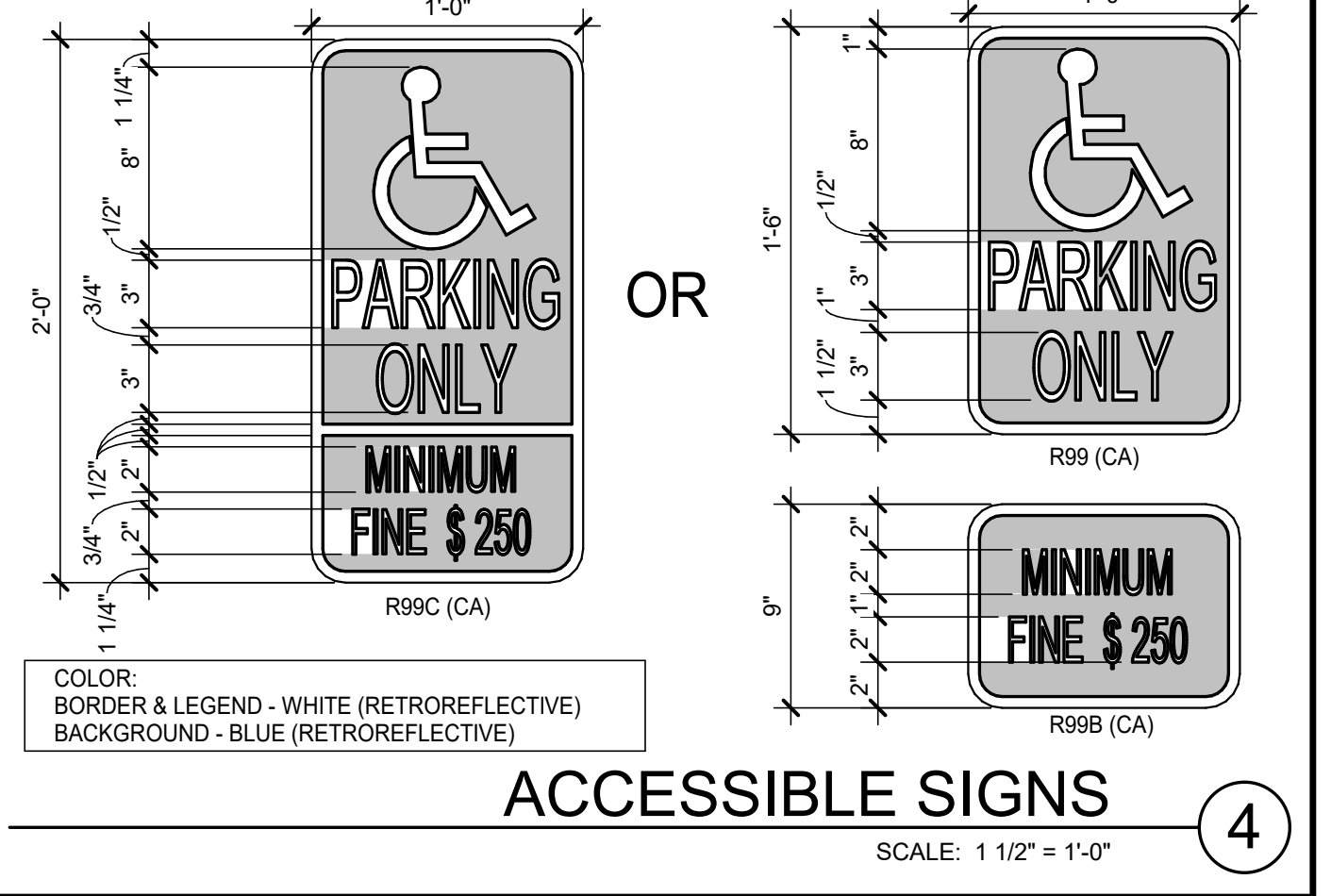
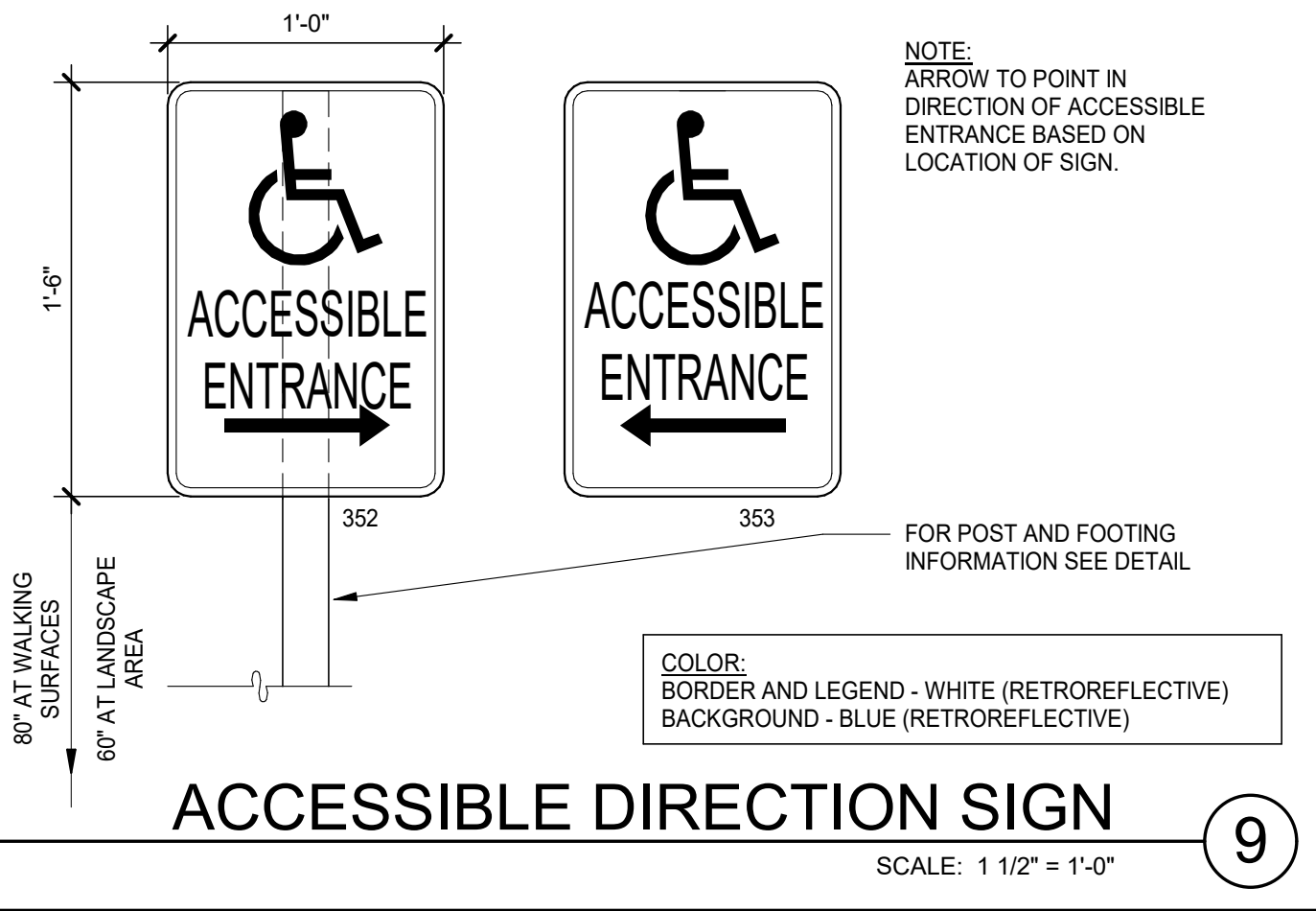
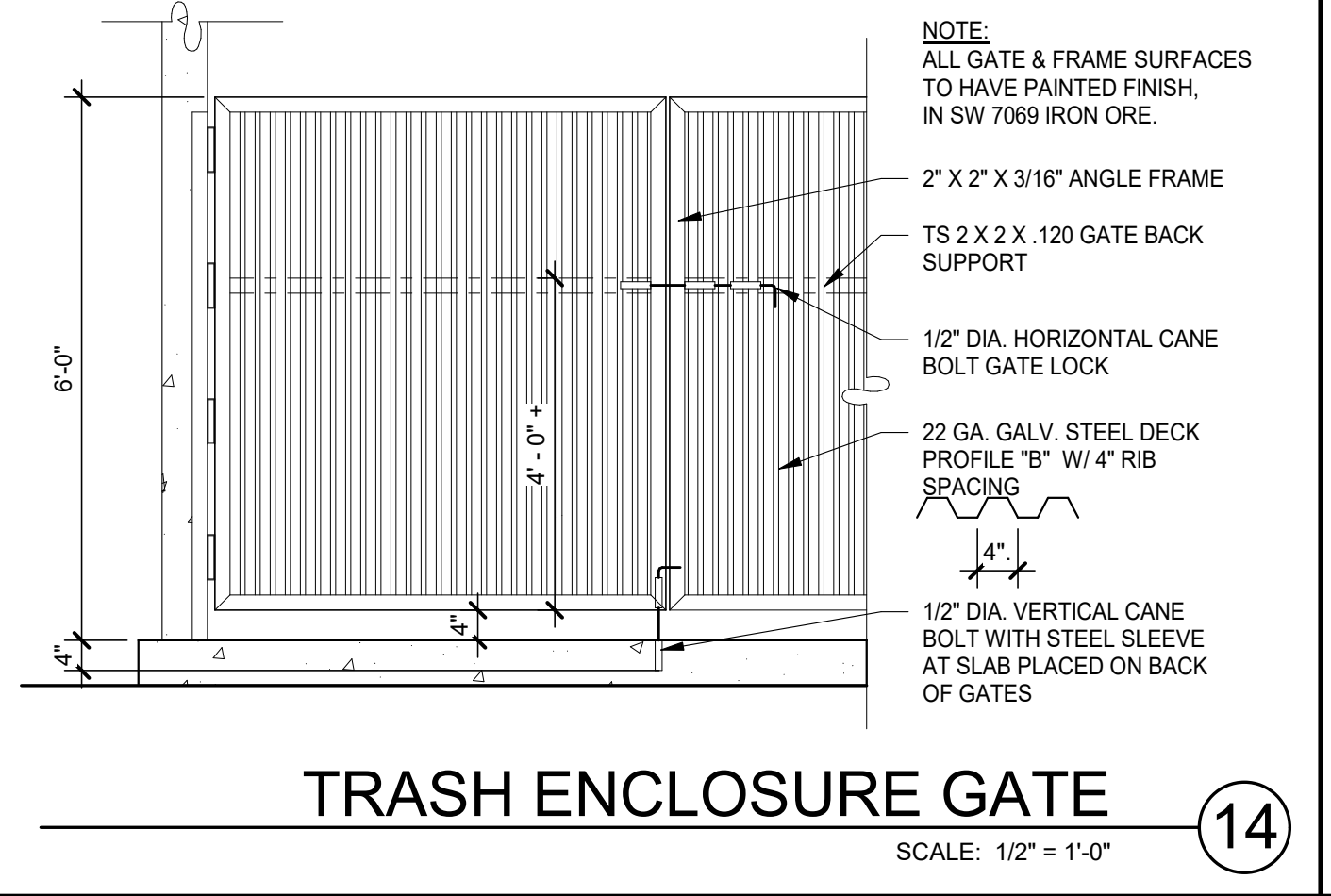
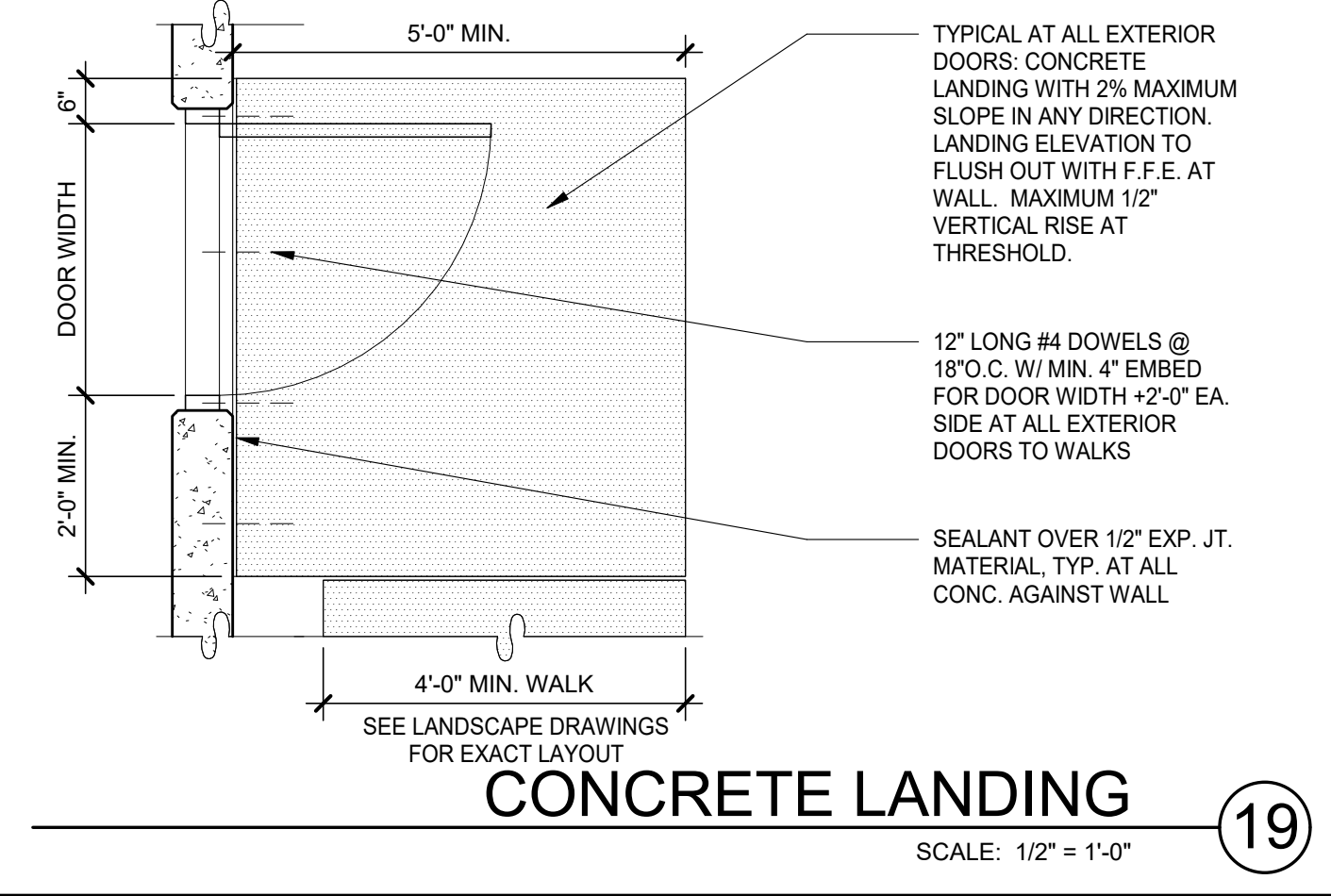
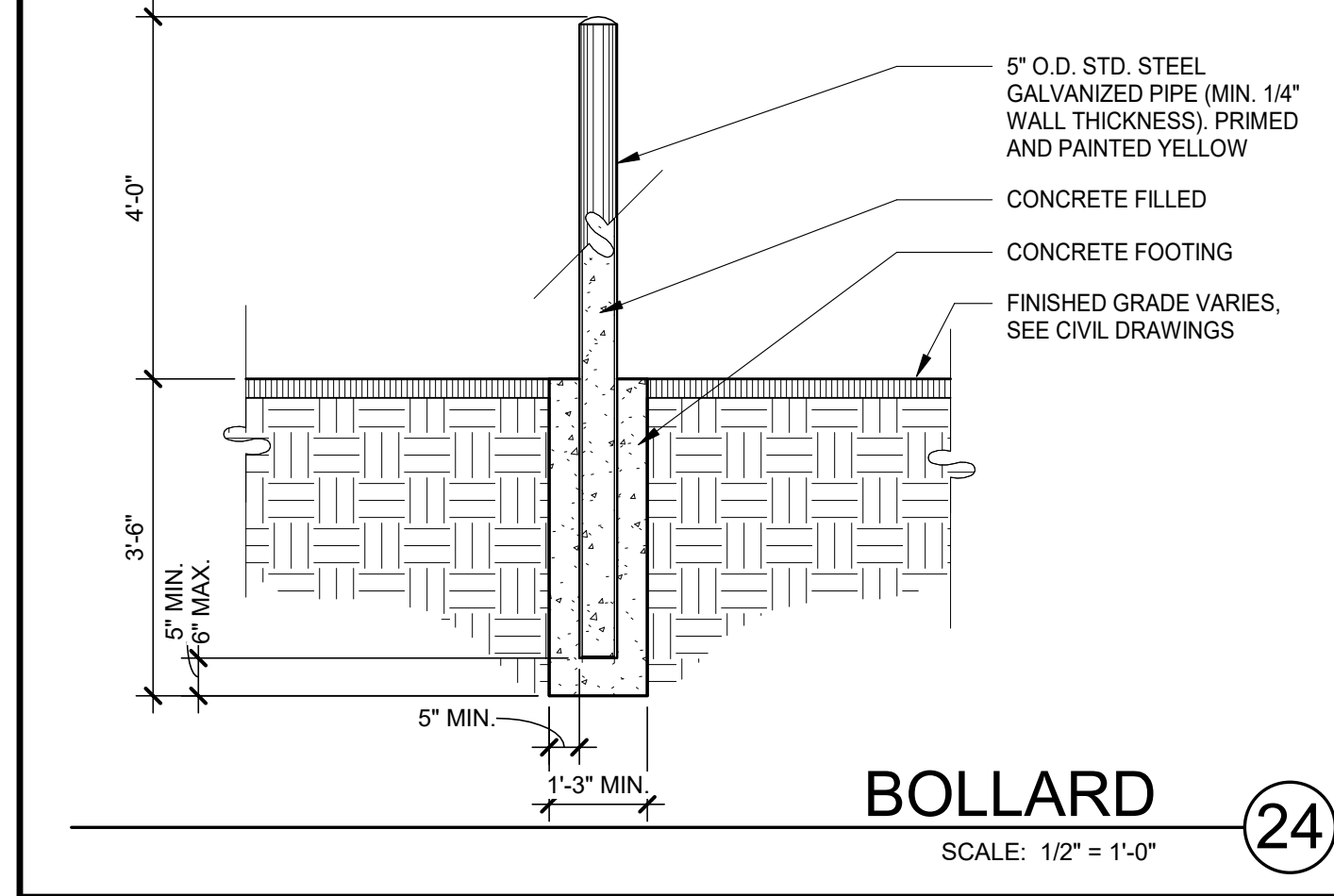
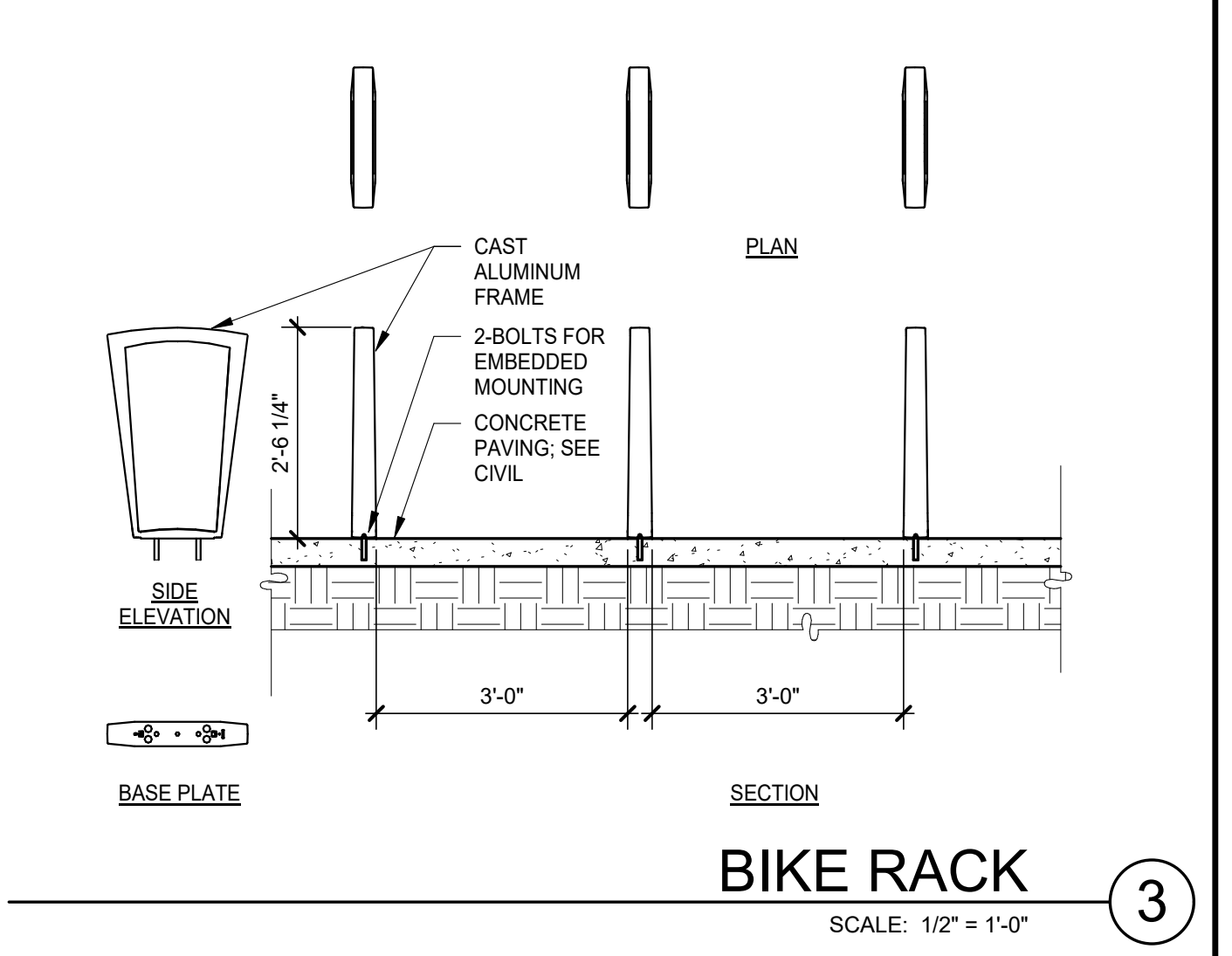
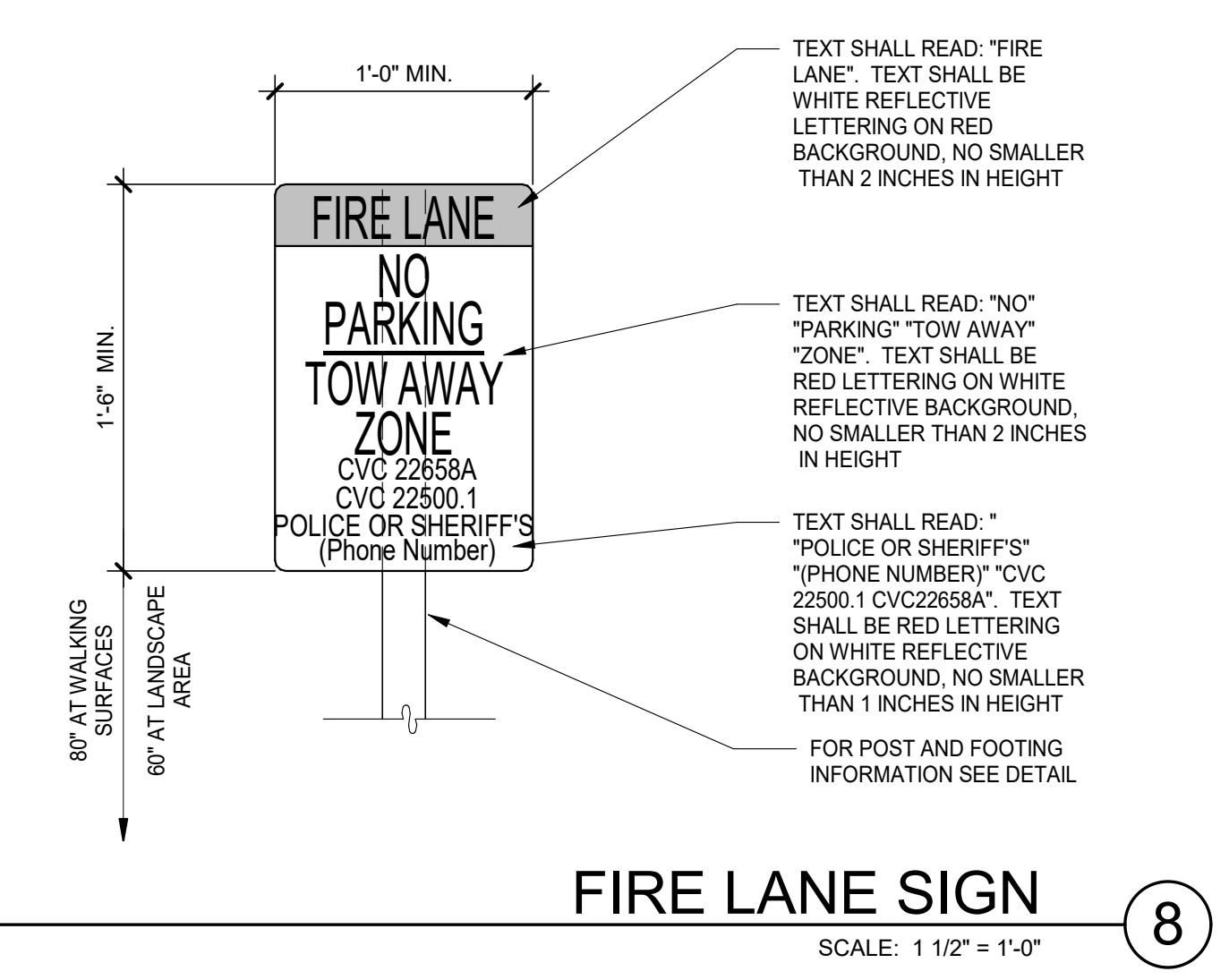
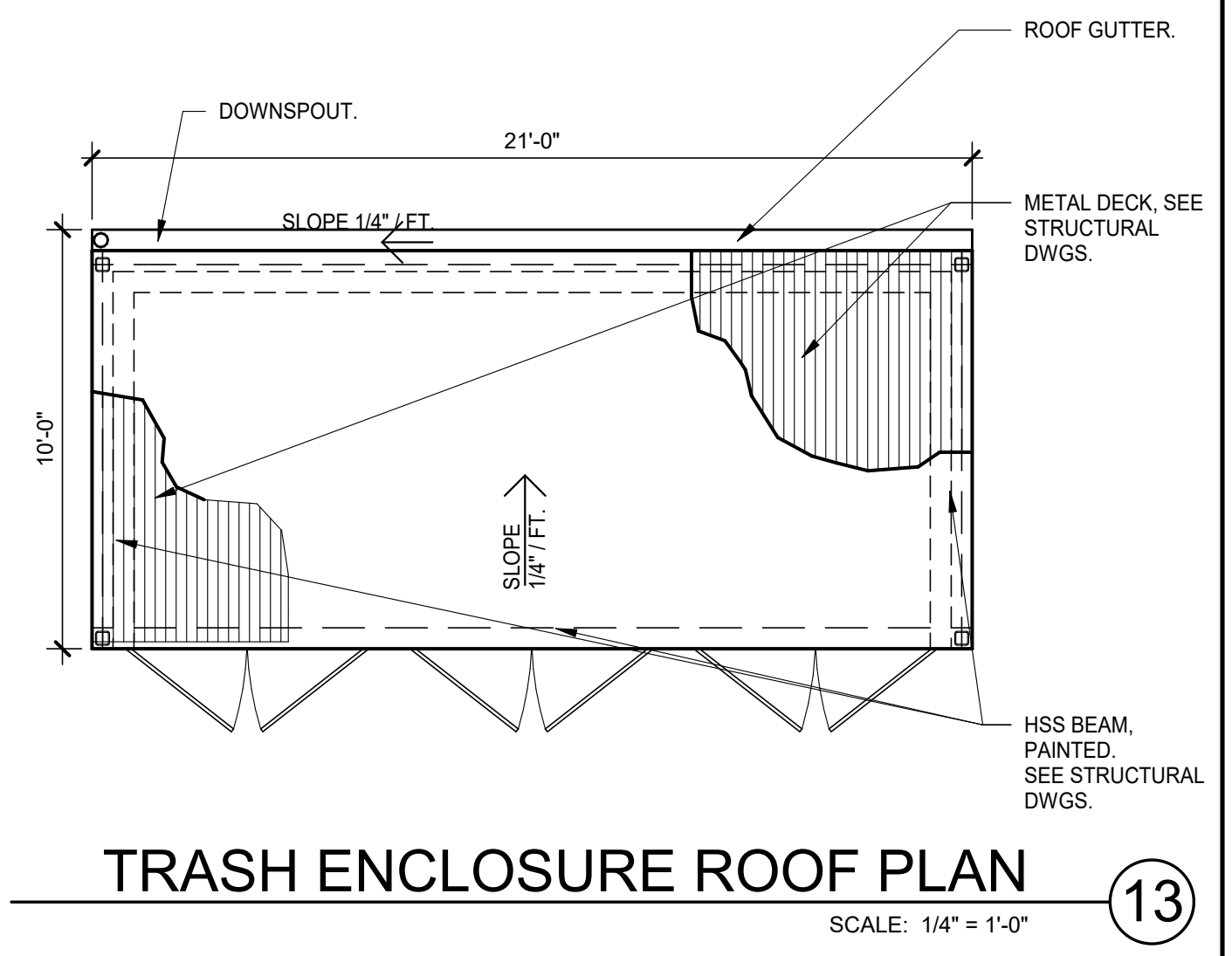
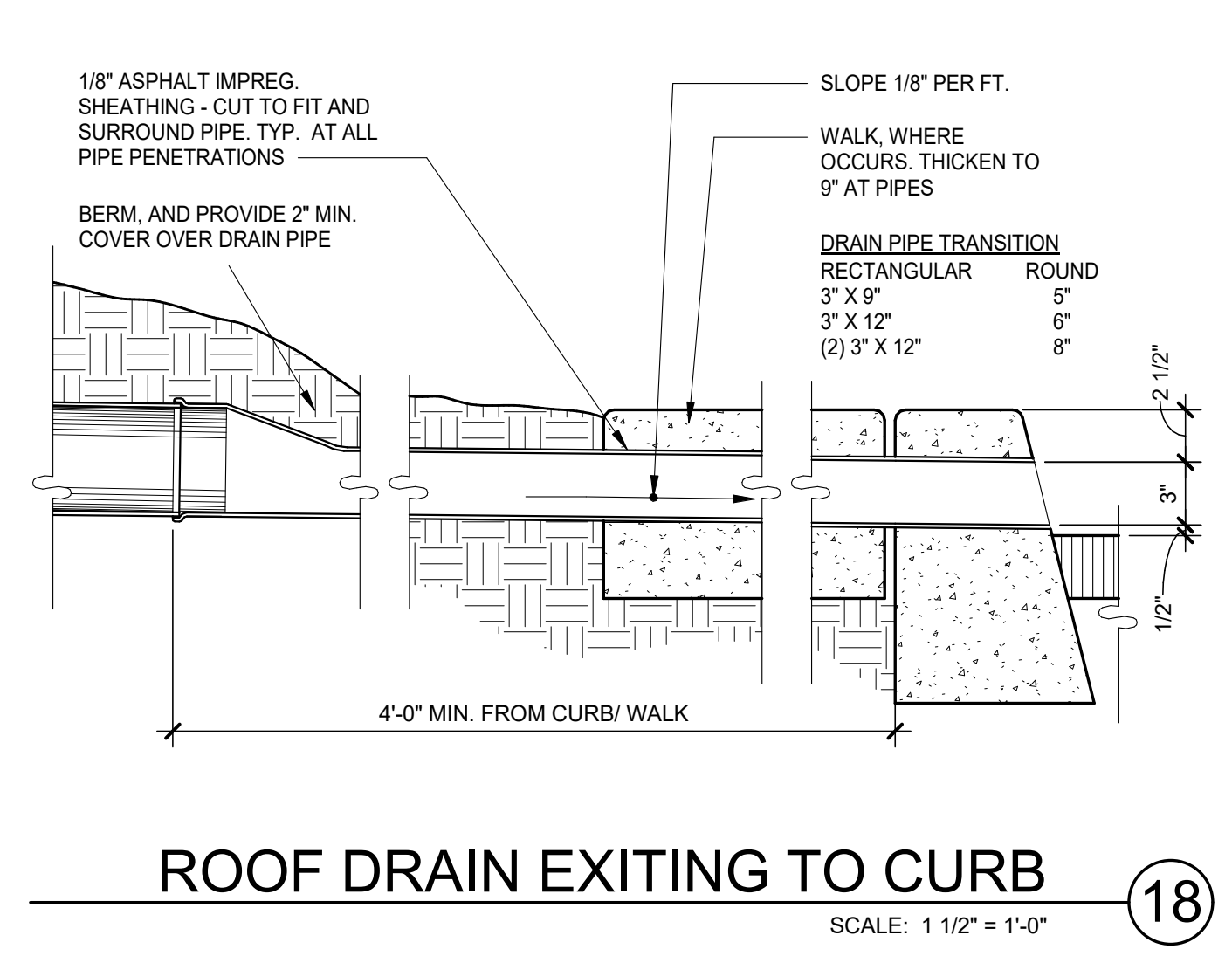
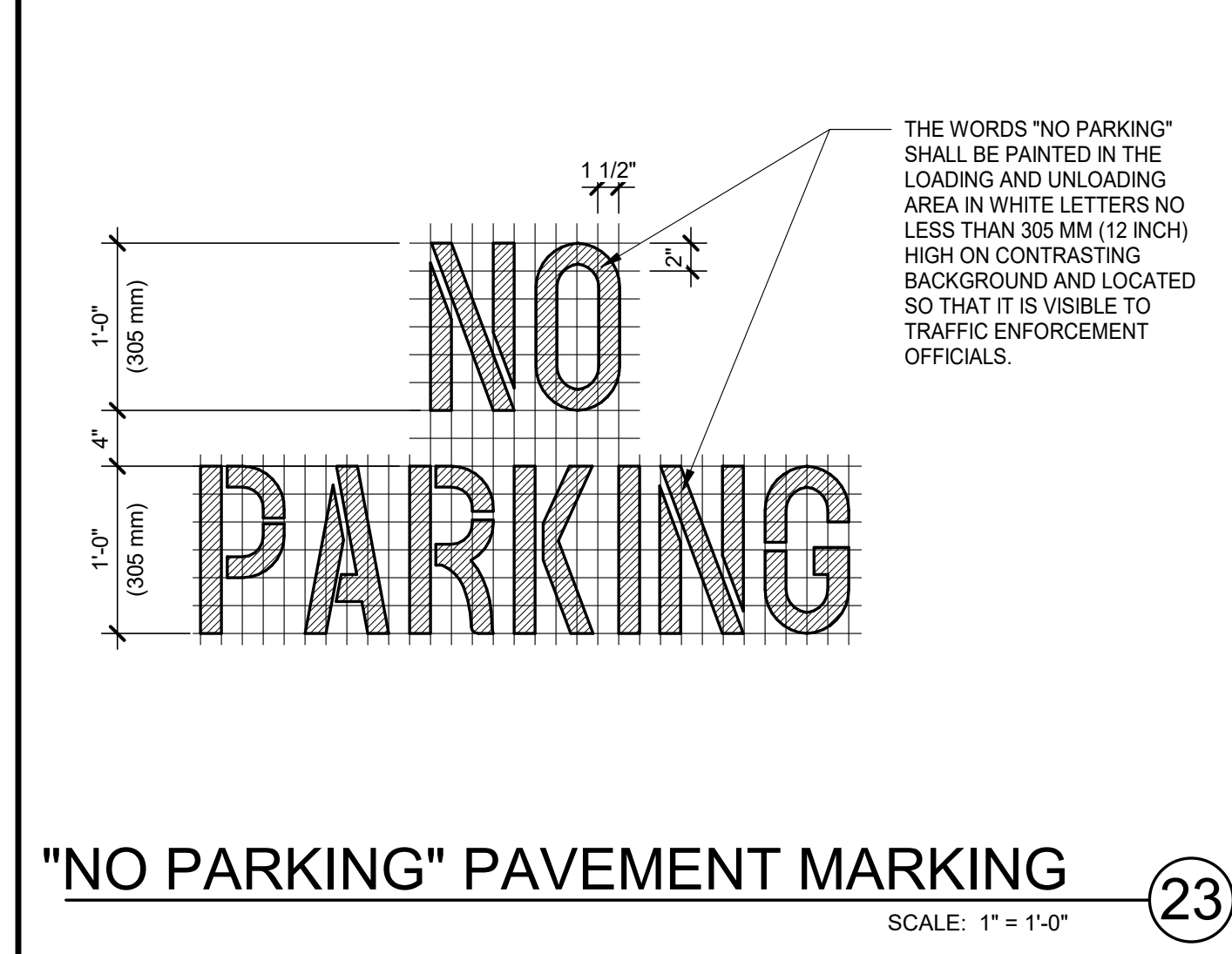
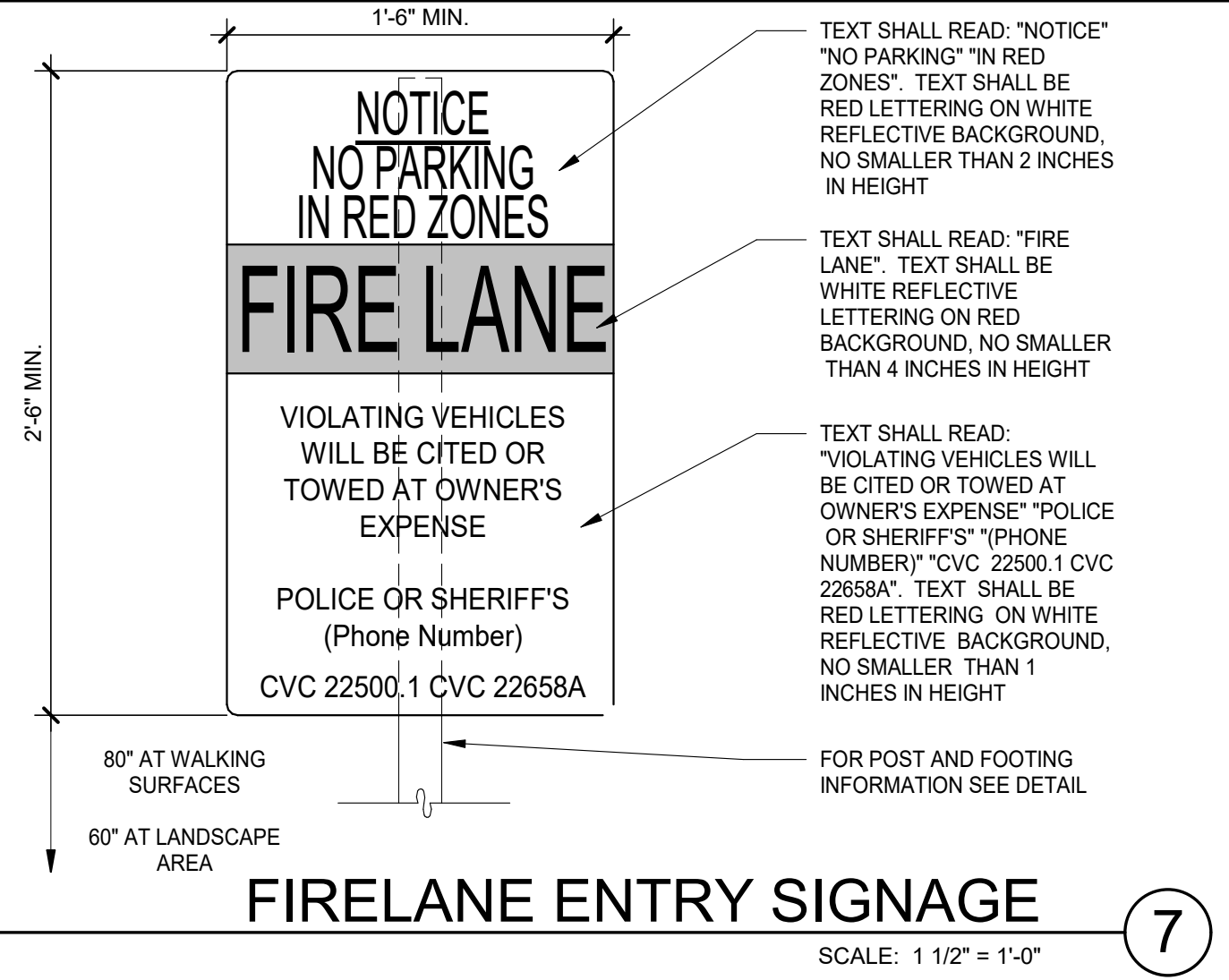
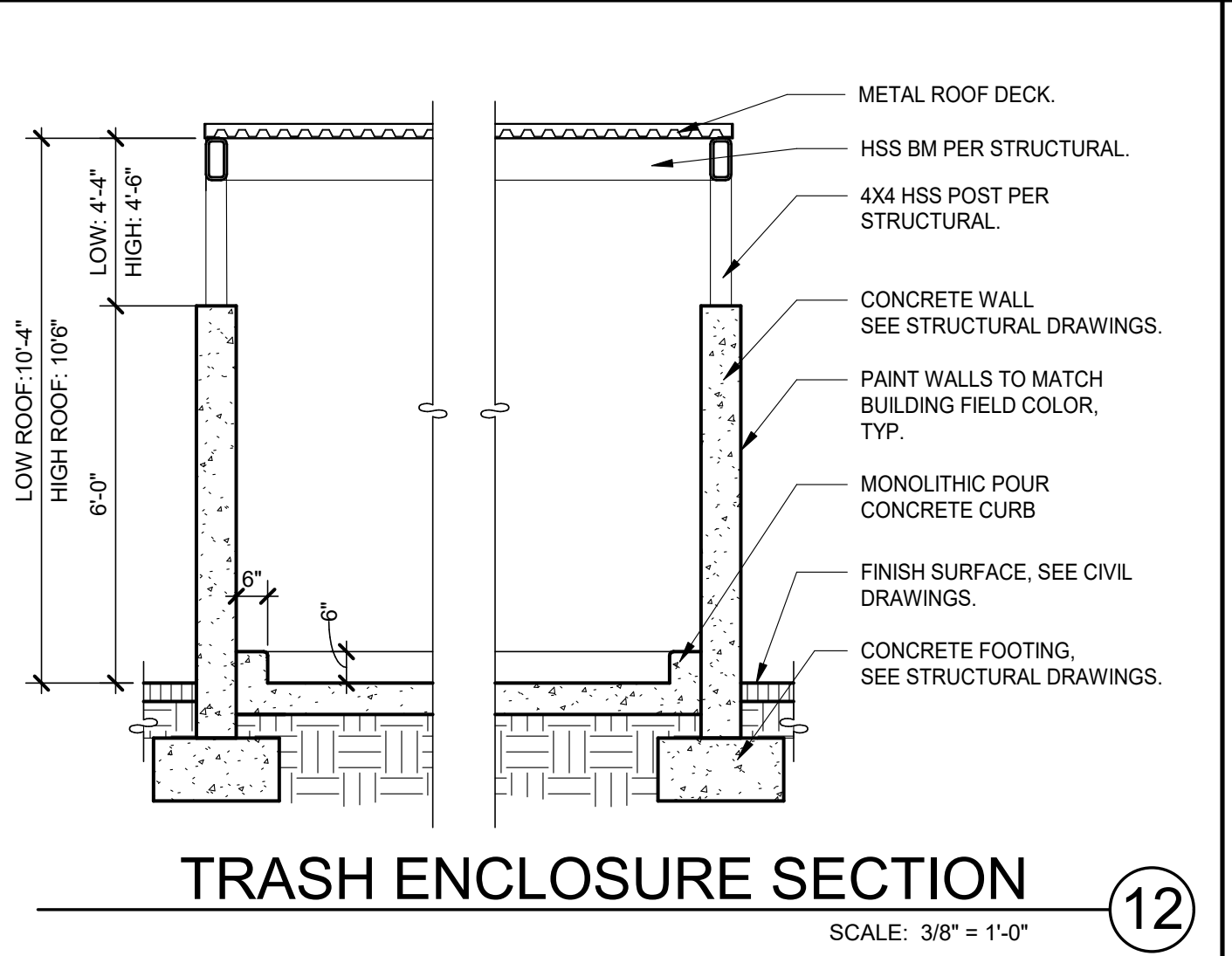
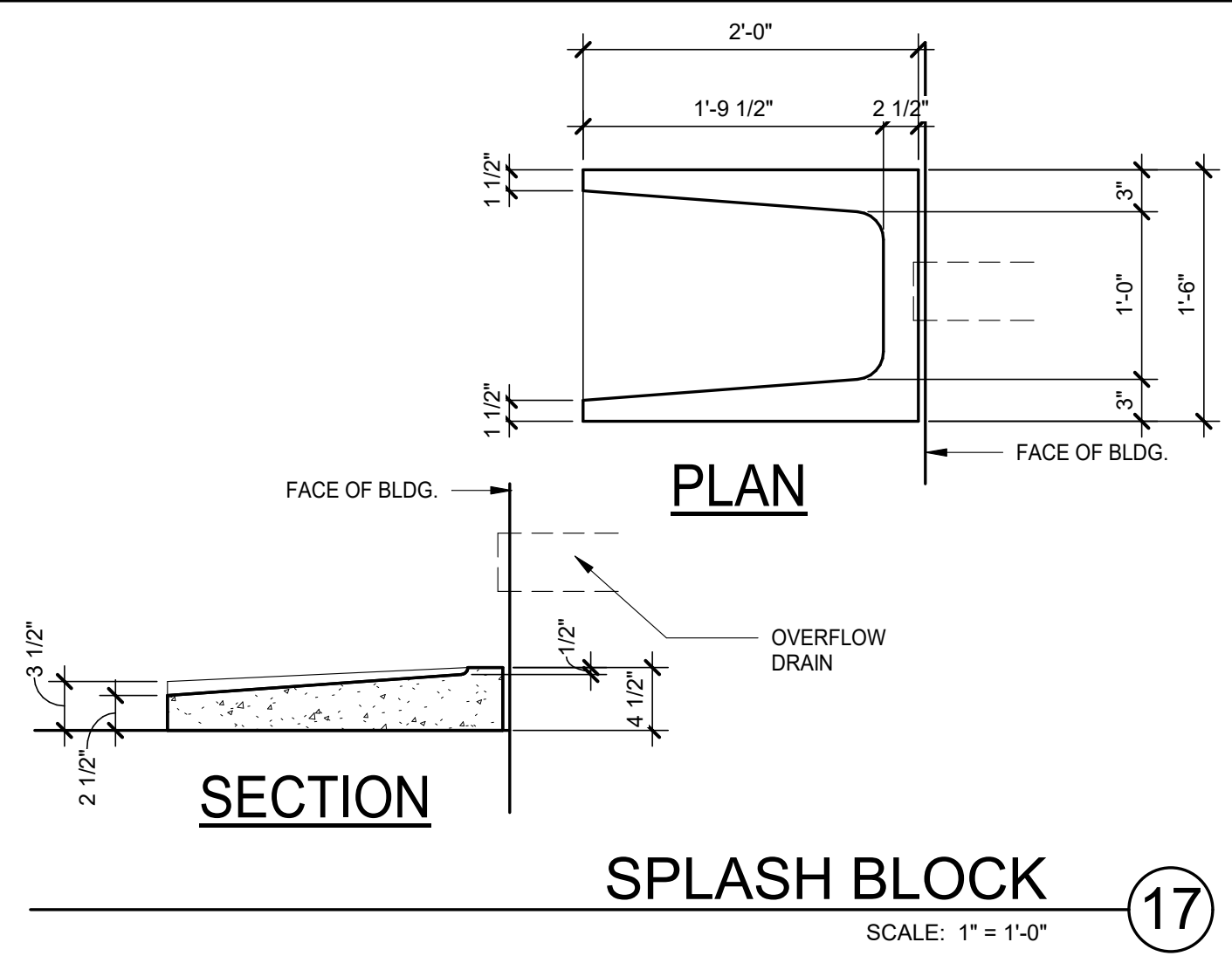
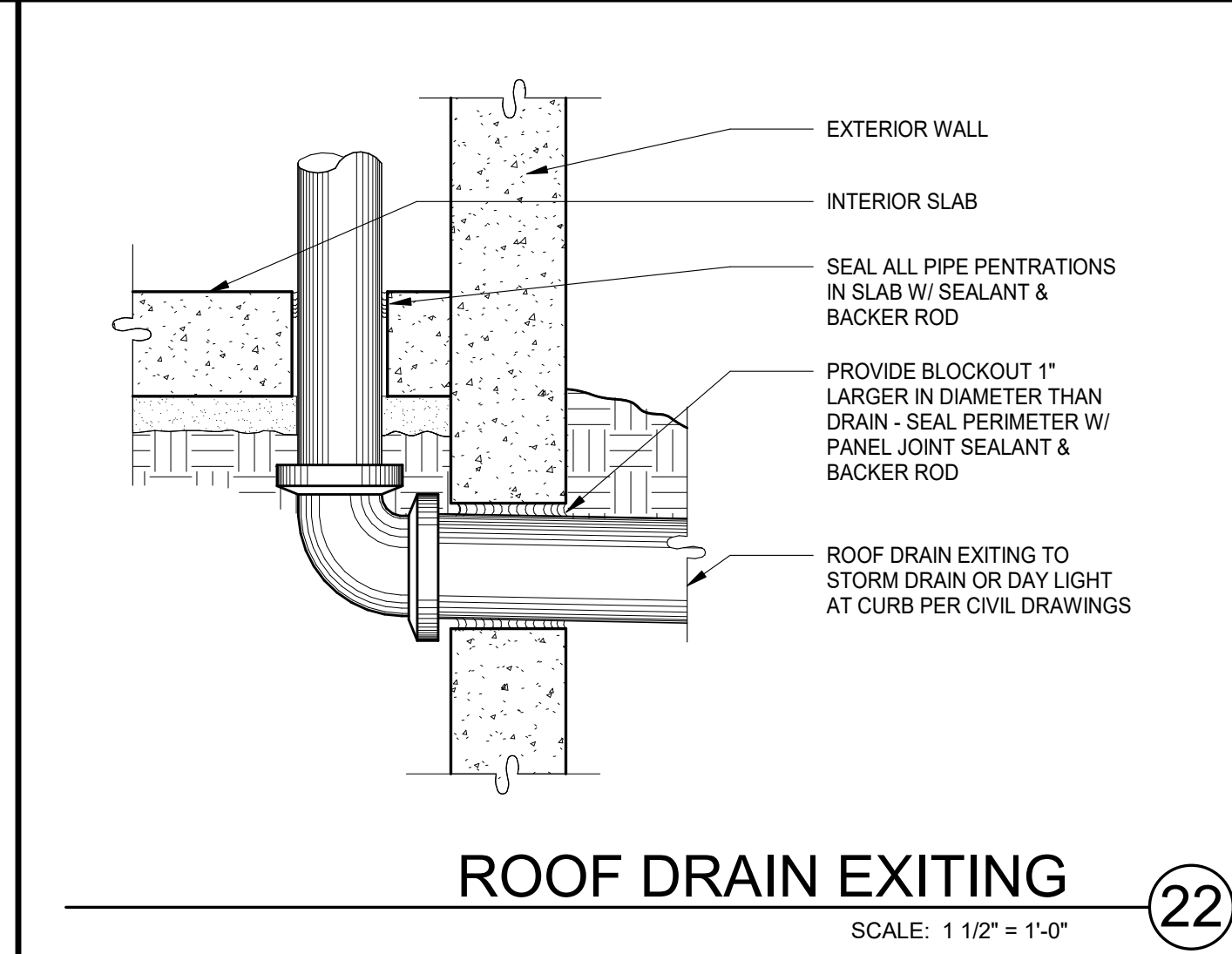
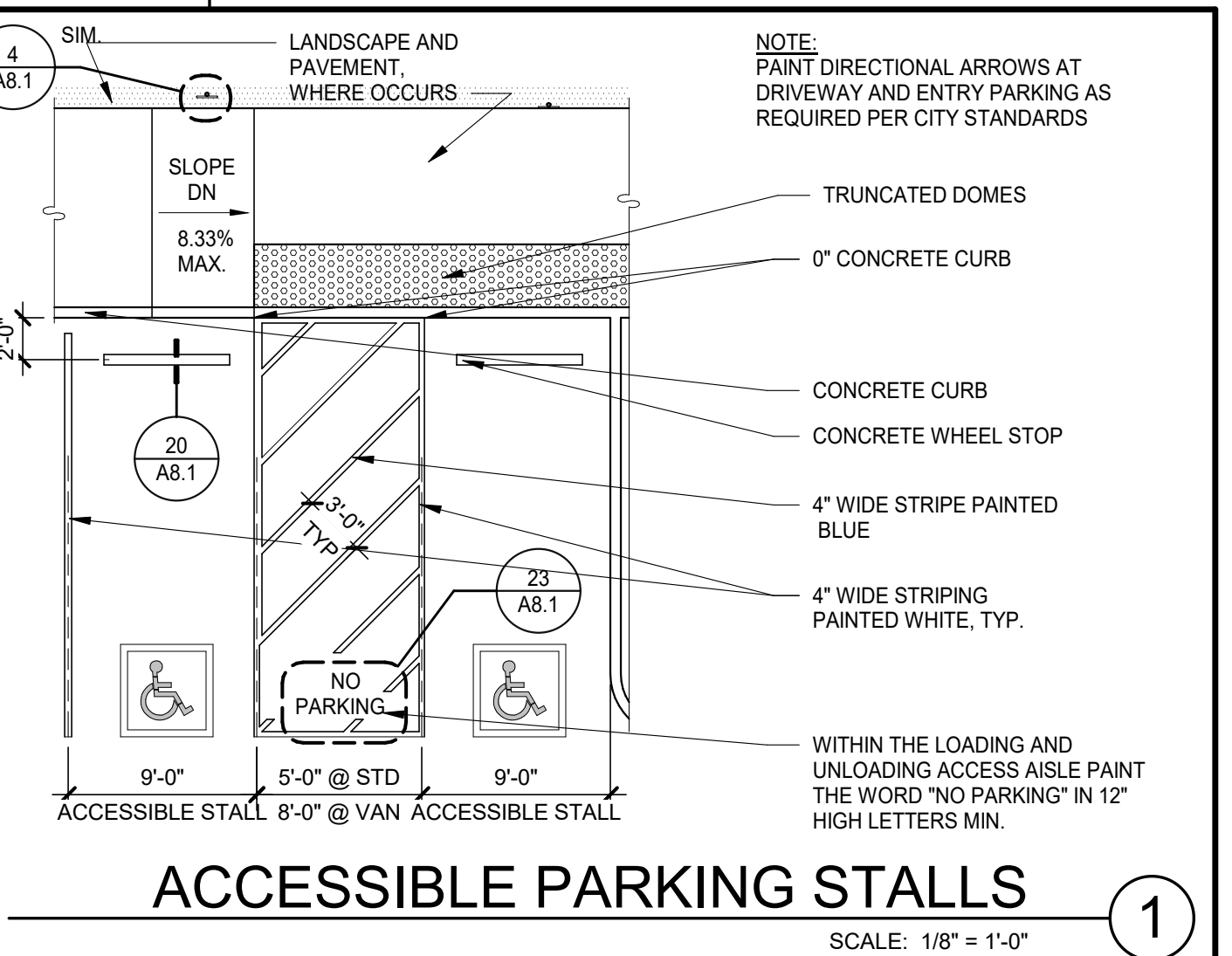
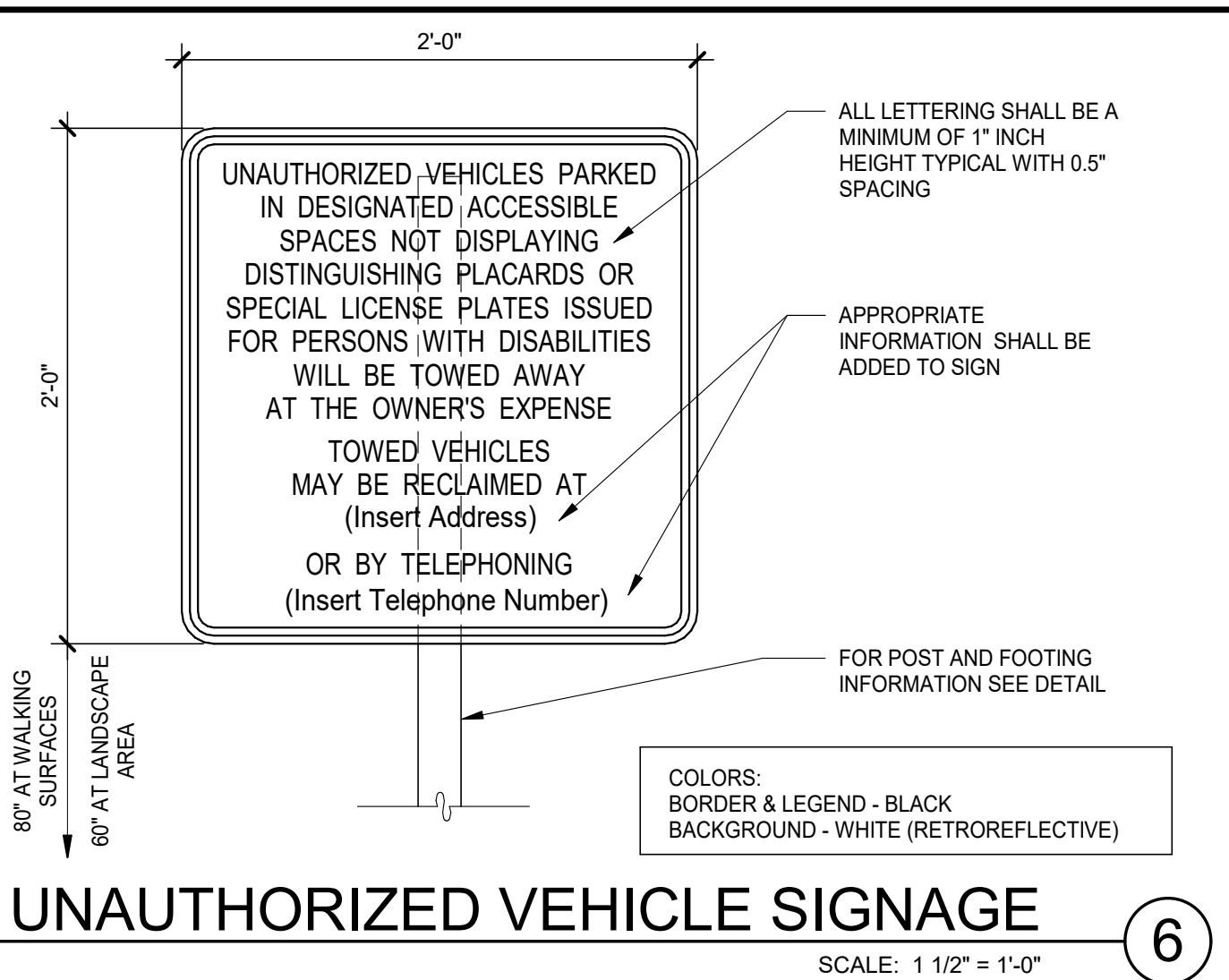
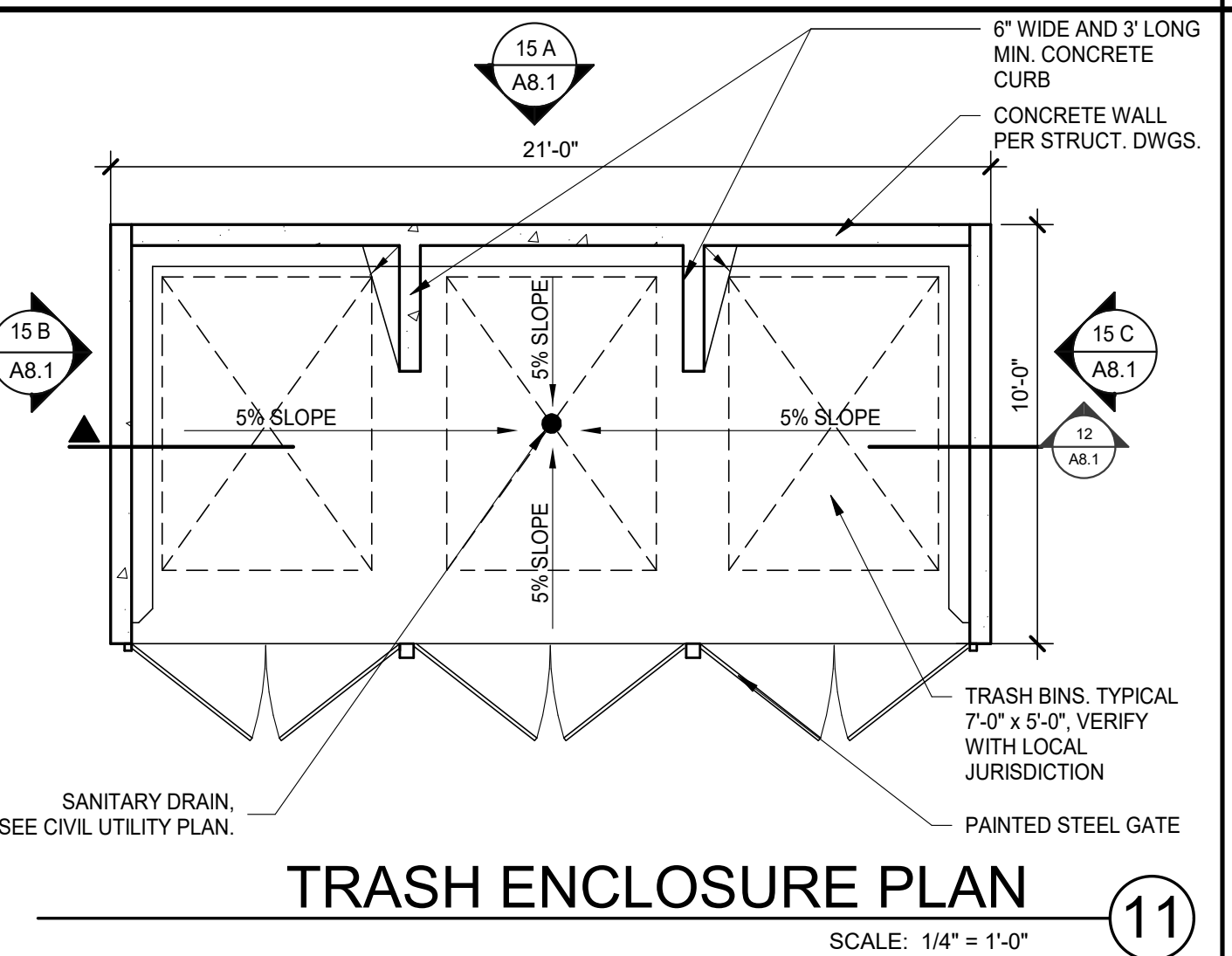
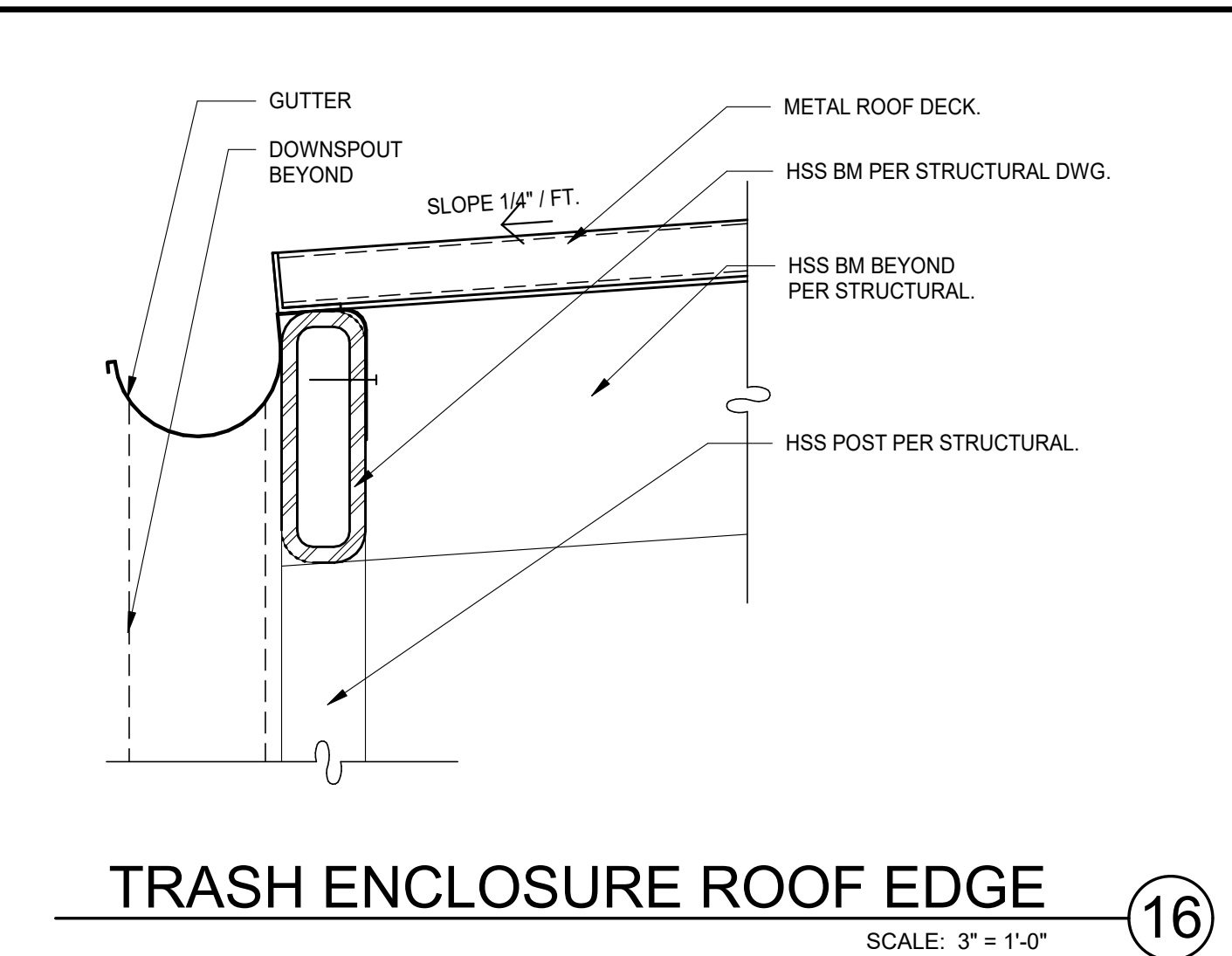
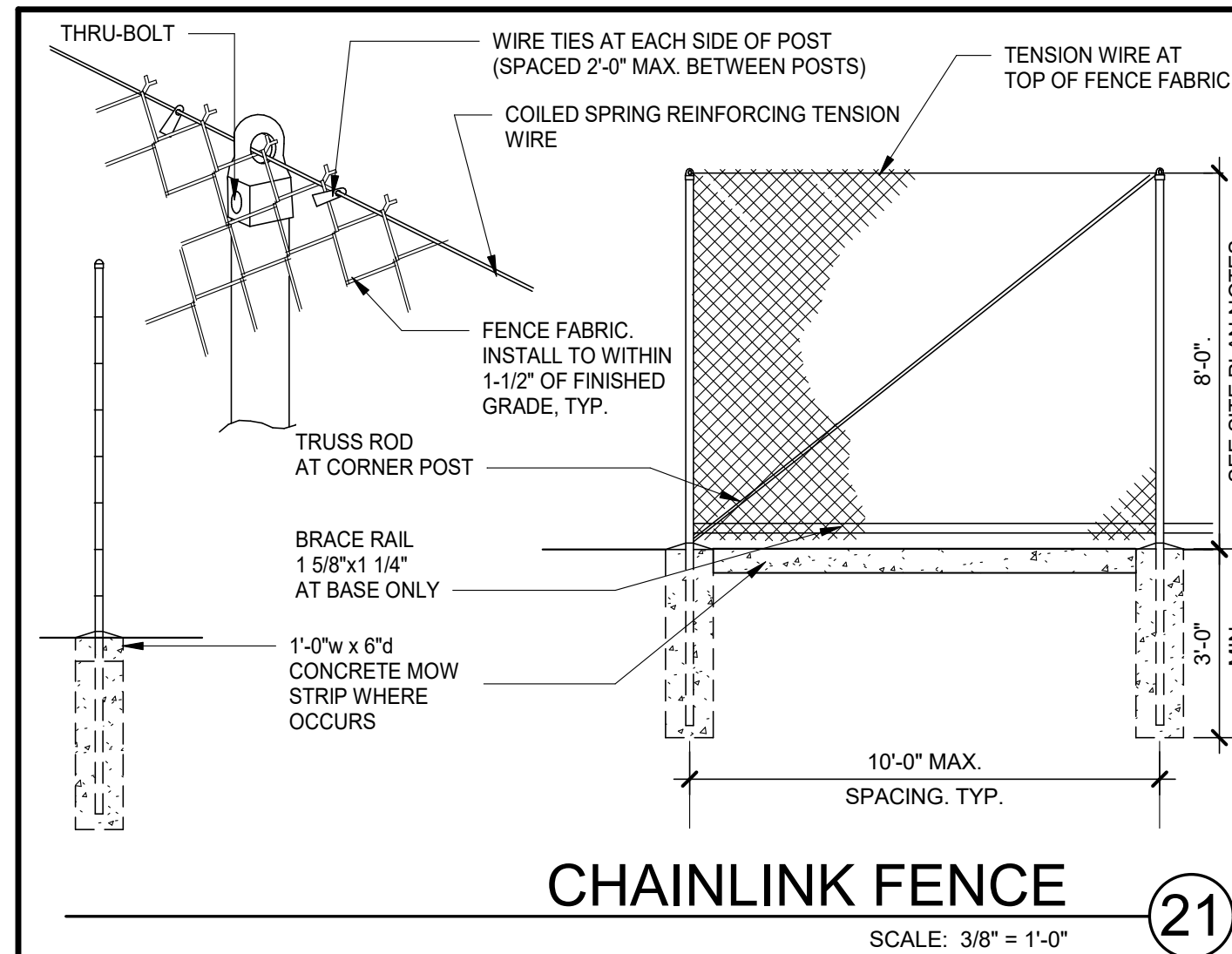
LOGISTIC CENTER AT ENTERPRISE

3636 ENTERPRISE AVENUE
HAYWARD, CA 94545

BUILDING 1-COLORED EXTERIOR ELEVATIONS	
DATE	REMARKS
09/21/21	PLANNING RE-SUBMITTAL

PAPM: L. DEBRITO
DRAWN BY: M.I.
JOB NO.: SNR20-0127-00

SHEET
A4.2



WARE, MALCOLM
Leading Design for Commercial Real Estate

architecture
planning
graphics
civil engineering

4683 Chabua Dr #300
Pleasanton, CA 94588
F 925.241.9621

**LOGISTICENTER AT
ENTERPRISE**
3636 ENTERPRISE AVENUE
HAYWARD, CA 94545

DATE: 08/01/21

SITE DETAILS

DATE	REVISIONS
08/01/21	PLANNING RE-SUBMITTAL

PA/PM:	L DEBRITO
DRAWN BY:	M.I.
JOB NO.:	SNR20-0127-00

SHEET
A8.1

ENTERPRISE AVENUE



GARDCO LIGHT POLE AND WALL MOUNTED FIXTURE (LABEL BB AND DD)

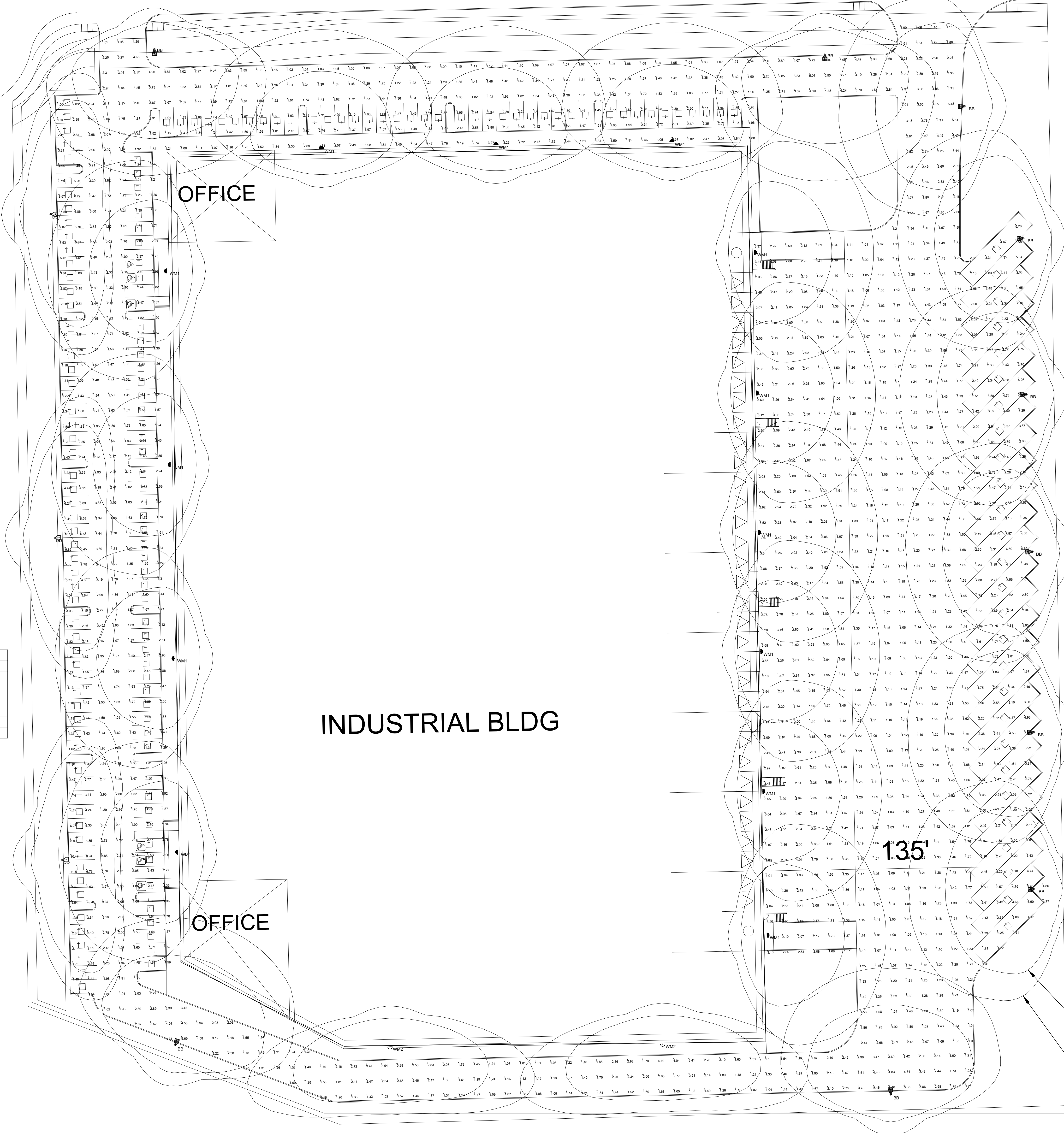


GARDCO WALL SCONCE FIXTURE (LABEL WM1 AND WM2)



Luminaire Schedule - LED							
Project: DERMODY PROPERTIES - HAYWARD							
Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description
	10	BB	Single	0.900	24482	219.4286	GARDCO P28-80L-900-WW-G2-4 @ 25'
	3	DD	Single	0.900	27986	219.4286	GARDCO P28-80L-900-NW-G2-2 @ 25'
	13	WM1	Single	0.900	21840	179.1	GARDCO PWS-64L-900-NW-G2-4 - 33.5'
	2	WM2	Single	0.900	21880	179.1	GARDCO PWS-64L-900-NW-G2-2 @ 33.5'

Calculation Summary						
Project: DERMODY PROPERTIES - HAYWARD						
Label	CalcType	Units	Avg	Max	Min	Max/Min
AUTO PARKING AND DRIVES	Illuminance	Fc	2.30	10.50	1.00	2.30 / 10.50
TRUCK DOCKS AND PARKING	Illuminance	Fc	1.94	6.03	1.00	1.94 / 6.03



ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

ALR Associated Lighting Representatives, Inc.

ASSOCIATED LIGHTING REPRESENTATIVES, INC.
7777 PARDEE LANE
P.O. BOX 2265
OAKLAND, CA 94621
PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: WARE MALCOLM
BY: APPLICATIONS ENGINEERING; RAMON ZAPATA
SALES REPRESENTATIVE: ALR; CATHY JOHNSON



AGI32 VERSION 19.14
AGI (C) 2020 LIGHTING ANALYSTS, INC.
10268 W. CENTENNIAL ROAD, SUITE 202
LITTLETON, CO 80127

PROJECT DESCRIPTION
DERMODY PROPERTIES
CITY OF HAYWARD
E1.0 PHOTOMETRIC PLAN

DRAWING NO. / INPUT FILE
19024GOT.DWG / 19024GOT.A32

SCALE 1" = 30'	SHEET 1 OF 1	DATE	REV X
-------------------	-----------------	------	----------

WHITESELL ST & ENTERPRISE AVE

WHITESELL ST & ENTERPRISE AVE Entitlement Package

Owner

Dermody Properties
5500 Equity Avenue
Reno, NV 89502
Contact: Elizabeth Teske
Ph: (775) 335-0126

Architect

Ware Malcomb
4683 Chabot Drive, Suite 300
Pleasanton, CA 94588
Contact: Leticia DeBrito
Ph: (925) 480-6146

Civil Engineer

Kier + Wright
2850 Collier Canyon Road
Livermore, CA 94551
Contact: Adam Carvalho
Ph: (510) 353-3954

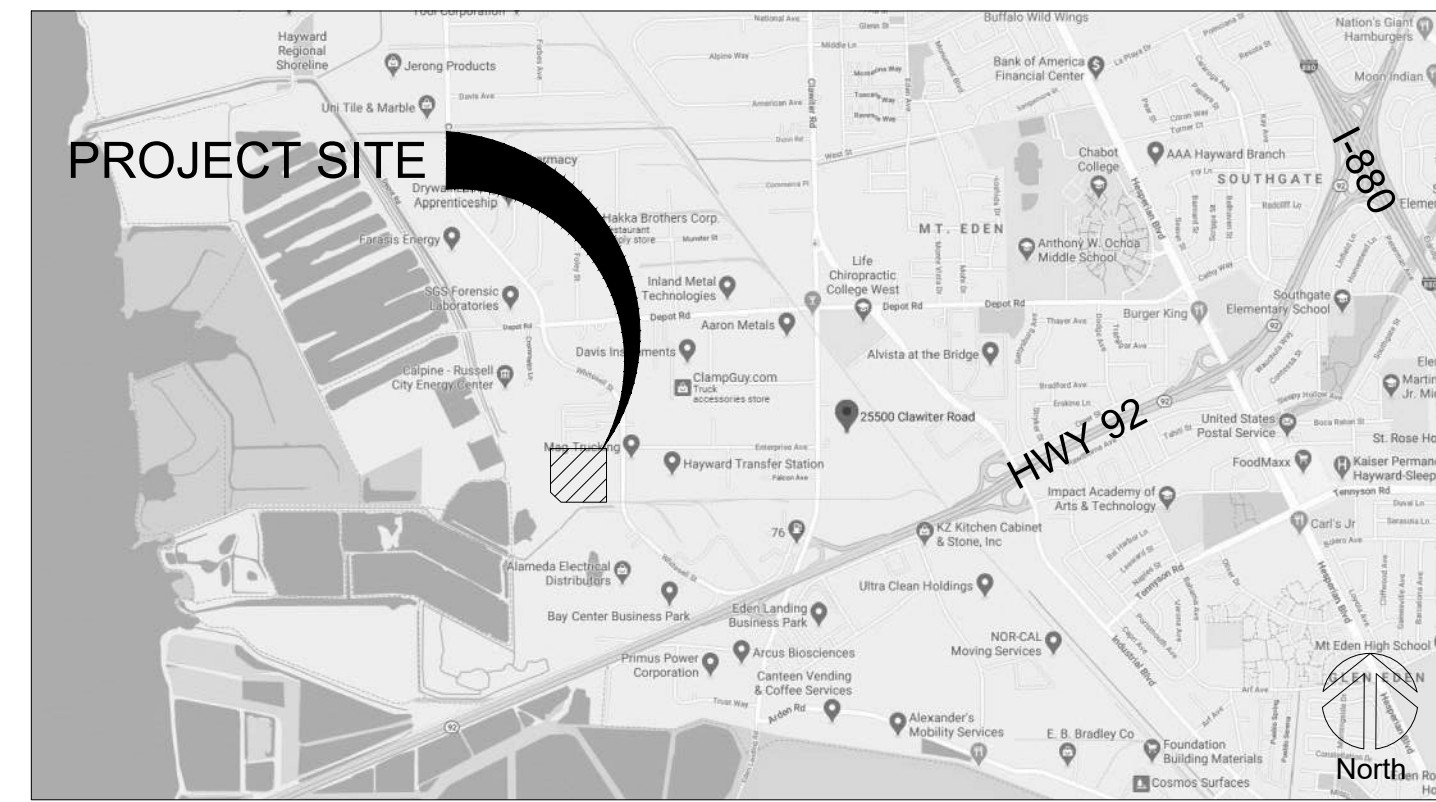
Landscape Architect

ima
344 20th Street
Oakland, CA 94612
Contact: Jim Bensman
Ph: (510) 353-3954

Arborist

HortScience | Bartlett Consulting
325 Ray Street
Pleasanton, CA 94566
Contact: Pam Nagel
Ph: (925) 484-0211

VICINITY MAP



SITE MAP



INDEX OF DRAWINGS

SEQ.	SHEET	SHEET TITLE
1	L-1	Landscape Title Sheet
2	L-2	Conceptual Planting Plan
3	L-3	Conceptual Irrigation Plan
4	L-4	Employee Patio Enlargement
5	L-5	Planting Imagery
6	L-6	Overall Illustrative

PLANS CONFORM TO 2019 CALIFORNIA BUILDING CODE.
PLANTING AND IRRIGATION PLANS CONFORM TO THE CITY OF HAYWARD
BAY-FRIENDLY WATER EFFICIENT LANDSCAPE ORDINANCE.

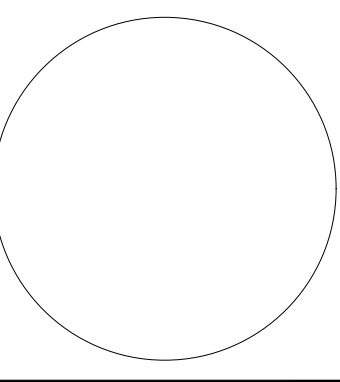
PLANS ARE PREPARED FROM CIVIL ENGINEER/ ARCHITECT BACKGROUND DATED 05/12/2021.

WARE MALCOMB
Leading Design for Commercial Real Estate

architecture
planning
interiors
graphics
civil engineering
4683 chabot dr. suite 300
pleasanton, ca 94588
925.480.6146
f.925.244.9621

ima
344 20th Street |
Oakland, CA
94612
510.353.3950
www.imadesign.com

Use of the plans and specifications contained herein shall be restricted to the original size for which they were prepared. Publication herein is expressly limited to such use. Reproduction, publication, or reuse by any method, in whole or in part, without the express written consent of ima is prohibited. This to not give anyone the sole property of ima. Your contact and constitute acceptance of these restrictions.



**WHITESELL ST &
ENTERPRISE AVE**
WHITESELL ST & ENTERPRISE AVE
HAYWARD, CALIFORNIA 94545

LANDSCAPE TITLE SHEET

DATE	REMARKS
05-12-2021	PLANNING SUBMITTAL
08-31-2021	PLANNING RE-SUBMITTAL

PA / PM: -
DRAWN BY: -
JOB NO.: SNR20-0127-00

SHEET
L-1

TREE LEGEND - SUNSET ZONE 17

SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	REMARKS
	<i>Lagerstroemia indica</i> 'Natchez'	Natchez Crape Myrtle	48" Box	Per Plan	14	Low	Multi-trunk
	<i>Laurus nobilis</i>	Sweet Bay	24" Box	Per Plan	38	Low	Low Branching
	<i>Lophostemon confertus</i>	Brisbane Box	24" Box	Per Plan	42	Moderate	Standard
	<i>Pistacia chinensis</i>	Chinese Pistache	24" Box	Per Plan	7	Moderate	Standard
	<i>Olea europaea</i> 'Swan Hill'	Swan Hill Olive	48" Box	Per Plan	9	Very Low	Standard
	<i>Ulmus parvifolia</i>	Evergreen Elm	48" Box	Per Plan	5	Low	Standard

VINE LEGEND - SUNSET ZONE 17

SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	REMARKS
	<i>Ficus pumila</i>	Creeping Fig	5 Gal.	16" o.c. Per Plan	4	Moderate	Self-Attaching to Metal Screen MATURE SIZE: 12' w x 25' h

SHRUB LEGEND - SUNSET ZONE 17

SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	MATURE SIZE
	<i>Arctostaphylos manzanita</i>	Common Manzanita	15 Gal.	6" o.c.	-	Low	6' w x 12' h
	<i>Dieters iridoides</i>	Fortnight Lily	5 Gal.	30" o.c.	-	Low	2' w x 2' h
	<i>Myrtus communis</i> 'Compacta'	Dwarf Myrtle	5 Gal.	36" o.c.	-	Low	3' w x 3' h
	<i>Prunus caroliniana</i> 'Bright n Tight'	Carolina Laurel Cherry	5 Gal.	6" o.c.	-	Low	6' w x 10' h
	<i>Rhaphiotepis indica</i> 'Clara'	Clara Indian Hawthorn	1 Gal.	48" o.c.	-	Low	4' w x 4' h

GROUNDCOVER LEGEND - SUNSET ZONE 17

SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	MATURE SIZE
	<i>Arctostaphylos</i> 'Emerald Carpet'	Emerald Carpet Manzanita	1 Gal.	5" o.c.	-	Low	5' w x 1' h
	<i>Trachelospermum jasminoides</i>	Star Jasmine	1 Gal.	6" o.c.	-	Low	6' w x 2' h

BIO-RETENTION BASINS LEGEND - SUNSET ZONE 17

SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	MATURE SIZE
	<i>Arctostaphylos</i> 'Emerald Carpet'	Emerald Carpet Manzanita	1 Gal.	5" o.c.	-	Low	5' w x 1' h
	<i>Arctostaphylos densiflora</i> 'Howard McMinn'	McMinn Manzanita	5 Gal.	6" o.c.	-	Low	6' w x 6' h
	<i>Baccharis pilularis</i>	Coyote Bush	1 Gal.	6" o.c.	-	Low	6' w x 2' h
	<i>Juncus patens</i>	California Gray Rush	1 Gal.	24" o.c.	-	Low	2' w x 2' h

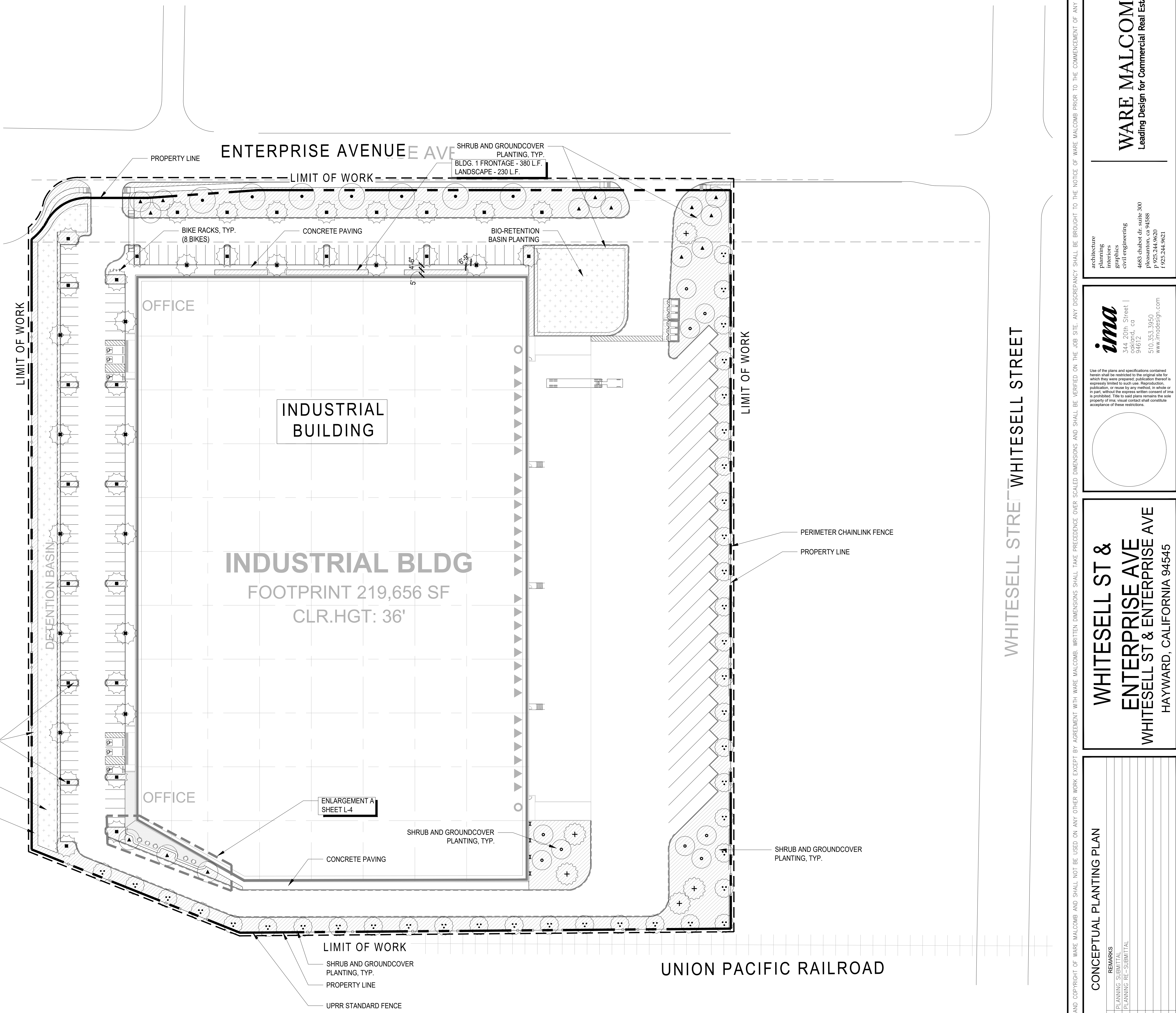
SUMMARY DATA

LANDSCAPE AREA: 77,629 S.F.
PROJECT TYPE: PRIVATE
WATER SOURCE: POTABLE

SHRUB AND GROUNDCOVER PLANTING, TYP.

BIO-RETENTION BASIN PLANTING

PROPERTY LINE



WHITESELL ST & ENTERPRISE AVE
WHITESELL ST & ENTERPRISE AVE
HAYWARD, CALIFORNIA 94545

WARE MALCOLM
Leading Design for Commercial Real Estate

architecture
planning
interiors
graphics
civil engineering

4685 chabot dr. suite 300
Pleasanton, ca 94588
www.waremalcolm.com
925.244.9621

ima
344 20th Street |
Oakland, ca
94612
510.353.3950
www.imadesign.com

Use of the plans and specifications contained herein shall be restricted to the original size for which they were prepared and no reproduction is expressly limited to such use. Reproduction, publication, or use by any method, in whole or in part, without the express written consent of ima is prohibited. This to not give license to the use of property of ima. Please contact ima constitute acceptance of these restrictions.

CONCEPTUAL PLANTING PLAN

DATE	REVISIONS
05-21-2021	PLANNING, SITE
08-31-2021	PLANNING, RE-SUBMITTAL

PA / PM: -
DRAWN BY: -
JOB NO.: SNR20-0127-00

SHEET
L-2

NORTH

SCALE: 1" = 40' - 0"

IRRIGATION CALCULATIONS

City of HAYWARD
Water Efficient Landscape Worksheet

Project Name: Logistics Center at Enterprise Avenue
 Project Applicant: DERMODY PROPERTIES
 Project Address: Enterprise Avenue and Whitesell Street, Hayward, CA 94545

Prepared by: ima Design #1547
 License or Cert. No. (if applicable)
 344 20th Street, Suite 302B, Oakland, CA 94612 / 510.353.3950 / scastellan@imadesign.com
 Address / Telephone Number / E-Mail
 May 18th, 2021
 Document Preparation Date

PART ONE: Maximum Applied Water Allowance (MAWA)

Total Irrigated Landscaped Area (square feet) [Box A] **77,629**
 Maximum Applied Water Allowance (Gallons per Year) [Box B] **957,305**

Model Water Efficient Landscape Ordinance (MWELO) Worksheet

Logistics Center at Enterprise Avenue - Hayward, CA
 Point-of-Connections: System 'A'

Maximum Applied Water Allowance (MAWA)
 Total MAWA = (ETO x 0.45 x LA in SF x 0.62 + (ETO x 1.0 x SLA in SF x 0.62) = Gallons per Year for LA+SLA

Where:
 MAWA = Maximum Applied Water Allowance (gallons per year)
 ETO = Reference Evapotranspiration (44.2 inches per year)
 0.45 = ET Adjustment Factor (ETAF)
 1.0 = ET Adjustment Factor (ETAF) for Special Landscape Area
 LA = Landscape Area (square feet)
 0.62 = Conversion factor (1 to gallons per square foot)
 SLA = Special Landscape Area (square feet)
 Billing Unit = 1 Hundred Cubic Feet (HCF) or 748 gallons

MAWA Calculation: System 'A'

	ETO	ETAF	LA or SLA (SF)	Conversion	MAWA (Gallons per Year)
MAWA for LA =	44.2	x 0.45	x 77,629	x 0.62	957,305
MAWA for SLA =	44.2	x 1.0	x	x 0.62	0
Total MAWA =	Total Area (SF) = 77,629			957,305 Gal/Yr.	1,280 Billing units

Estimated Total Water Use (ETWU)
 PF = Plant Factor (range = 0.0 to 1.0)
 LA = Landscape Area (square feet)
 0.62 = Conversion factor (1 to gallons per square foot)
 IE = Irrigation Efficiency = IE = (1 - IE) * 100
 ETWU Calculation: ETO x PF x LA in SF x 0.62 = Gallons per Year

System 'A'

	ETO	PF	LA	Conversion	IE	ETWU (Gallons Per Year)
Special Landscape Area	44.2	x 1.00	x 0	x 0.62	+ 0.75	= 0
Cool Season No-Mow Turf (drip)	44.2	x 0.50	x 0	x 0.62	+ 0.81	= 0
Low Using Shrub (spray)	44.2	x 0.30	x 18,519	x 0.62	+ 0.75	= 202,998
Low Using Shrub (drip)	44.2	x 0.30	x 55,113	x 0.62	+ 0.81	= 559,377
Low Using Trees	44.2	x 0.30	x 2,726	x 0.62	+ 0.75	= 29,881
Moderate Using Trees	44.2	x 0.50	x 1,271	x 0.62	+ 0.75	= 23,220
Total ETWU =	77,629 SF			815,476 Gallons per year	1,090 Billing units	

**The ETWU (804,098 gallons per year) is less than the MAWA (943,481 gallons per year).
 The project's Landscape Estimated Total Water Use complies with the City's Water Efficient Landscape Ordinance.**

Landscape Hydrozone	Hydrozone Area (HA) s.f.	Plant Factor (PF)	Irrigation Efficiency (IE)	ETWU (Gallons/Year)
1	6,640	0.3	0.81	67,394
2	6,674	0.3	0.81	67,739
3	6,630	0.3	0.81	67,292
4	6,958	0.3	0.81	70,621
5	3,639	0.3	0.81	36,935
6	754	0.3	0.81	7,653
7	6,991	0.3	0.81	70,956
8	11,784	0.3	0.75	129,171
9	794	0.3	0.81	8,059
10	1,508	0.3	0.81	15,306
11	718	0.3	0.81	7,287
12	12,806	0.3	0.81	129,976
13	1,001	0.3	0.81	10,160
14	6,735	0.3	0.75	73,826
15	2,726	0.3	0.75	29,881
16	1,271	0.5	0.75	23,220
TOTAL	77,629			815,476

- NOTES:**
- TREES ON SEPARATE BUBBLERS - ZONE 15 FOR LOW WATER USE AND ZONE 16 FOR MODERATE WATER USE.
 - TREES WITH DIFFERENT WATERING REQUIREMENTS TO BE ON SEPARATE VALVES.

LEGEND

SYMBOL	DESCRIPTION
⊗	IRRIGATION POINT-OF-CONNECTION - WATER METER FOR IRRIGATION SERVICE PROVIDED BY CIVIL ENGINEER (PROPOSED LOCATION TO BE CONFIRMED)
◼	REDUCED PRESSURE BACKFLOW PREVENTER / ENCLOSURE - 2-INCH SIZE (PROPOSED LOCATION TO BE CONFIRMED)
△	IRRIGATION 'SMART' CONTROLLER (PROPOSED LOCATION TO BE CONFIRMED)
M	MASTER CONTROL VALVE - 2-INCH SIZE (PROPOSED LOCATION TO BE CONFIRMED)
F	IR SERIES FLOW SENSOR - PVC HOUSING - 2-INCH SIZE (PROPOSED LOCATION TO BE CONFIRMED)
- - - - -	PIPING SLEEVE UNDER PAVED AREA NOTE: SLEEVING LOCATIONS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE BASED ON THE FINAL IRRIGATION DESIGN.

NOTE:
 STATIC WATER PRESSURE READING AT THE POINT-OF-CONNECTION FOR THE IRRIGATION SYSTEM IS 110PSI AVERAGE (VARIES 105 - 120 PSI). STATIC WATER PRESSURE READING WAS PROVIDED BY CITY OF HAYWARD WATER DEPARTMENT ON 05/17/2021. CONTRACTOR TO VERIFY STATIC WATER PRESSURE IN FIELD PRIOR TO CONSTRUCTION.

IRRIGATION DESIGN INTENT

CONSUMING WATER FOR IRRIGATION IN EXCESSIVE AMOUNTS HAS BECOME MORE EXPENSIVE. THE PROPOSED PROJECT'S IRRIGATION SYSTEM WILL BE DESIGNED TO COMPLY WITH THE COUNTY'S WATER EFFICIENT ORDINANCE ADOPTED ON 2010 AS WELL AS THE BAY FRIENDLY LANDSCAPE DESIGN GUIDELINES, ADOPTED APRIL 9, 2014.

IRRIGATION SYSTEM OVERVIEW

THE IRRIGATION SYSTEM WILL BE SUPPLIED WITH DOMESTIC WATER FROM A NEW IRRIGATION-USE WATER METER. THE WATER METER WILL OPERATE A DEDICATED, REDUCED-PRESSURE TYPE BACKFLOW PREVENTER ASSEMBLY TO PROTECT THE DOMESTIC WATER SYSTEM.

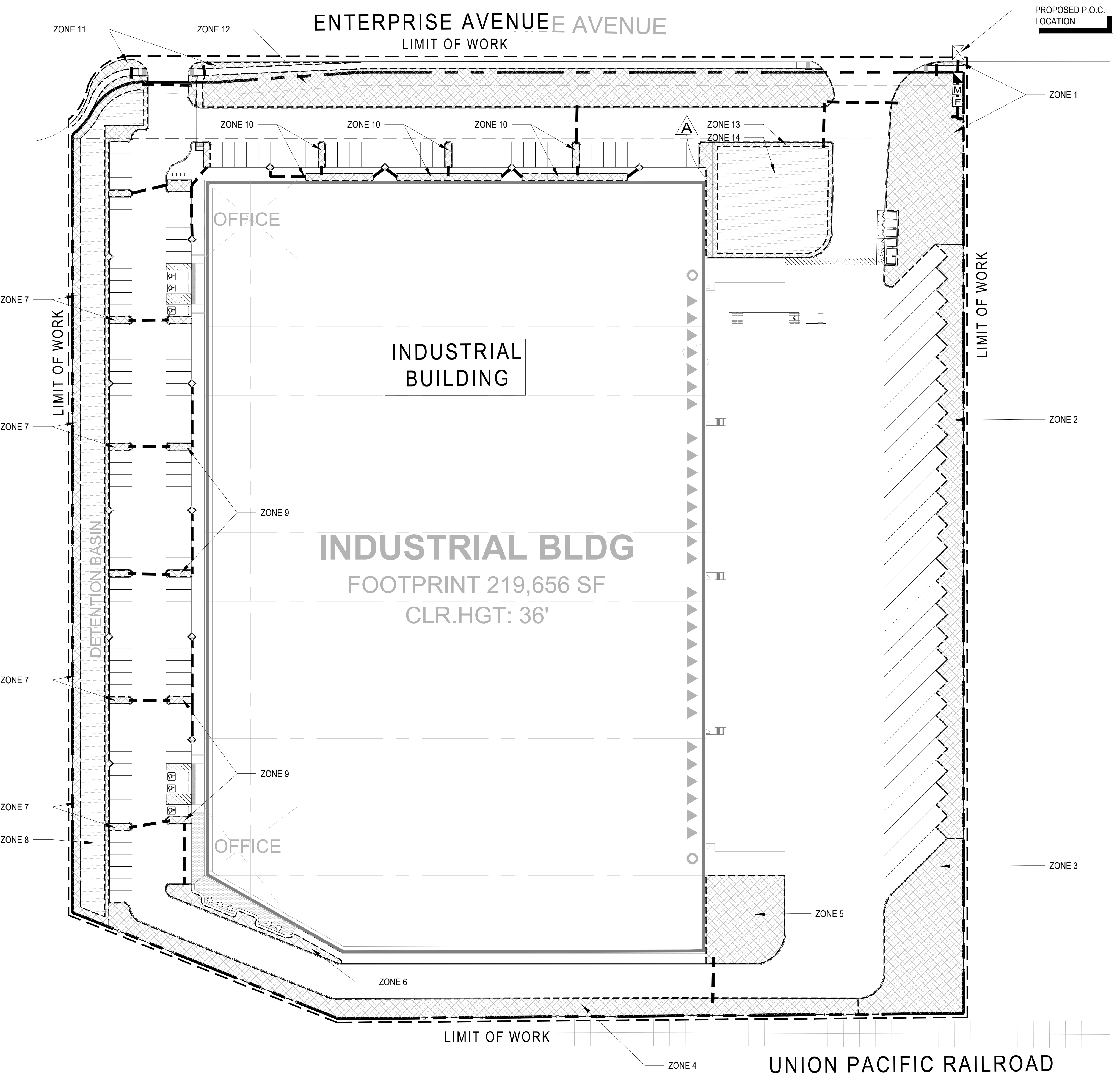
THE IRRIGATION SYSTEM WILL UTILIZE A HIGH EFFICIENCY IRRIGATION SYSTEM TO INCLUDE A SMART CONTROLLER, DRIP IRRIGATION AND POP-UP LOW SPRINKLERS. TREES WILL BE IRRIGATED ON A BUBBLER SYSTEM FOR DEEP ROOT WATERING.

ALL IRRIGATION SYSTEMS ON THE SITE SHALL BE DESIGNED TO PREVENT RUNOFF, OVER-SPRAY, LOW HEAD DRAINAGE AND OTHER SIMILAR CONDITIONS WHERE WATER FLOWS OUT OF THE DESIGNATED LANDSCAPE AREA.

IRRIGATION HYDROZONE LEGEND

SYMBOL	DESCRIPTION
▒	LOW WATER USE PLANT MATERIAL WITH SUBSURFACE DRIP IRRIGATION
◻	LOW WATER USE PLANT MATERIAL WITH OVERHEAD SPRAY SPRINKLERS (BIO-FILTRATION BASIN)

NOTE:
 This design complies with the City of Hayward Bay-Friendly Water Efficient Landscape Ordinance and applies its criteria for the efficient use of water in the landscape and irrigation design plan.



WARE, MALCOLM
 Leading Design for Commercial Real Estate

architecture
 planning
 graphics
 civil engineering

4665 chubbok dr. suite 300
 Pleasanton, CA 94588
 925.244.9621

ima
 344 20th Street |
 Oakland, CA
 94612 | 510.353.3950
 www.imadesign.com

WHITESSELL ST & ENTERPRISE AVE
 ENTERPRISE ST & ENTERPRISE AVE
 HAYWARD, CALIFORNIA 94545

IRRIGATION HYDROZONE PLAN

DATE	REVISIONS
1 05-31-2021	PLANNING SET SUBMITTAL
2 08-31-2021	PLANNING REV. SUBMITTAL
3	
4	

PA / PM: -
 DRAWN BY: -
 JOB NO.: SNR20-0127-00

SHEET
L-3

PAVING LEGEND

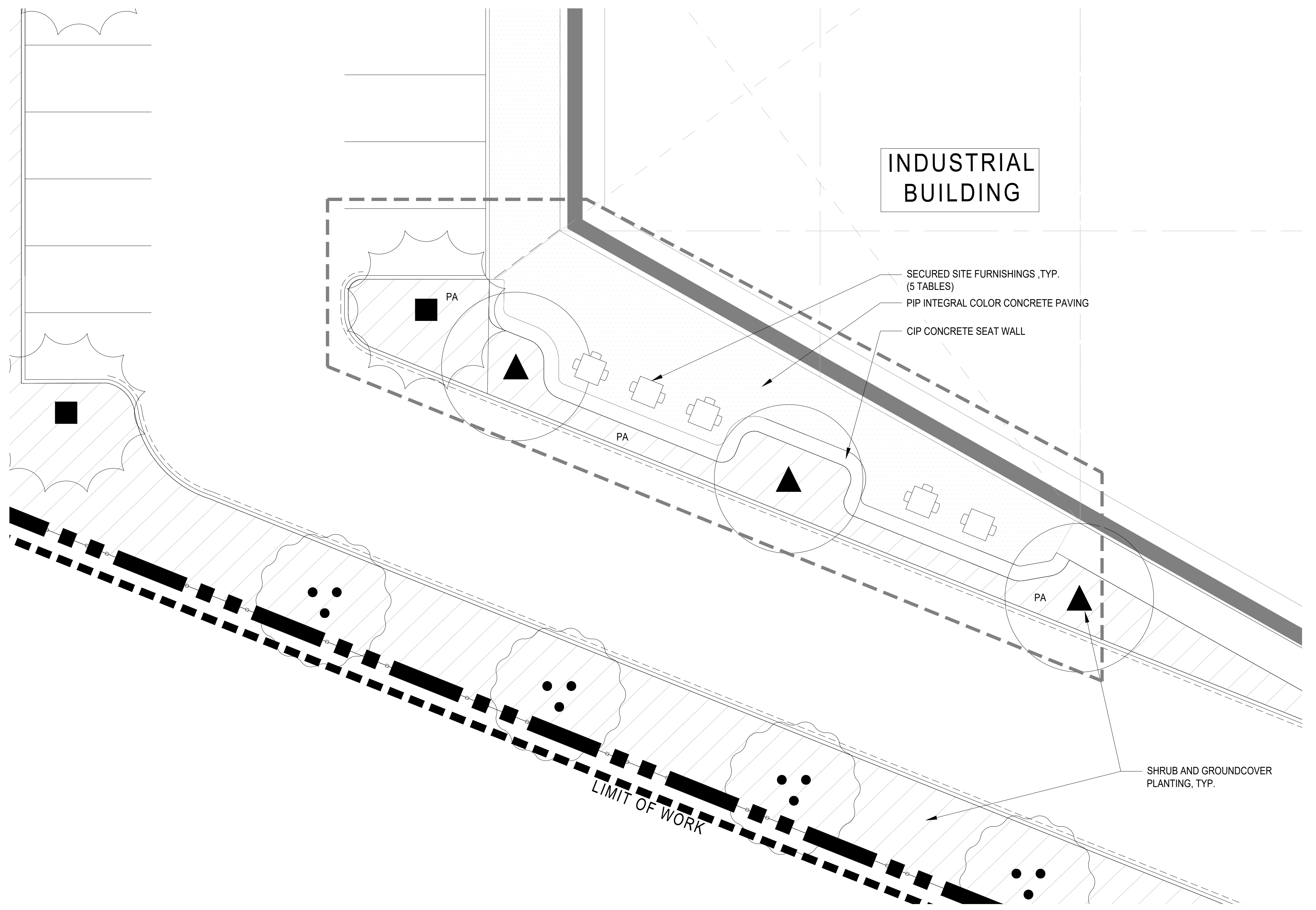
SYMBOL	DESCRIPTION	MATERIAL	COLOR	FINISH	COMMENTS
	INTEGRAL COLOR CONCRETE PAVING	PIP CONCRETE	DAVIS COLOR: 677 OUTBACK	TOPCAST 05	FINAL COLOR PER APPROVED MOCK-UP

WALL LEGEND

DESCRIPTION	MATERIAL	COLOR	FINISH	COMMENTS
CONCRETE WALL	CAST-IN-PLACE CONCRETE	INTEGRAL COLOR - LAMP BLACK	SMOOTH	FINAL COLOR PER APPROVED MOCK-UP

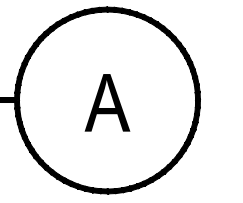
SITE FURNISHINGS LEGEND

DESCRIPTION	MFGR.	MODEL	COLOR	FINISH	COMMENTS
<p>TABLES AND CHAIRS - CAROUSEL</p>	LANDSCAPE FORMS	CASUAL HEIGHT 94" x 33" - 3 SEAT GRID BACKED TABLETOP: SQUARE - IPE WOOD TABLE	POWDERCOAT TITANIUM	METALLIC	SURFACE MOUNT
<p>BIKE RACK</p>	BELSON OUTDOORS	STD. INVERTED U #CBBR-2CS-BK	BLACK	POWDERCOAT	SURFACE MOUNT

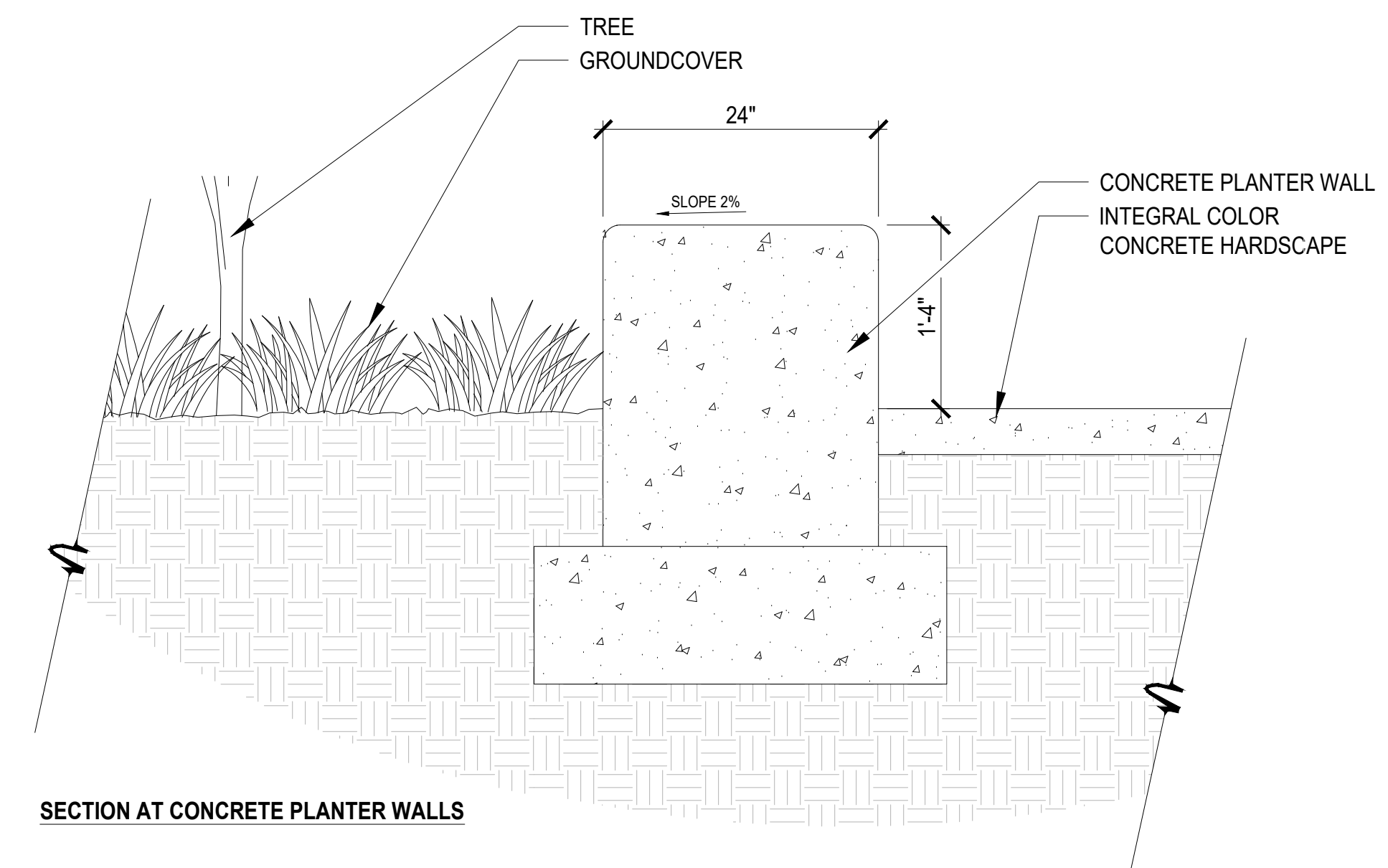


ENLARGEMENT A

1/8"=1'-0"



CONCEPT IMAGE



SECTION AT CONCRETE PLANTER WALLS

CONCEPTUAL WALL DETAIL

1"=1'-0"

WARE MALCOLM
Leading Design for Commercial Real Estate

architecture
planning
interiors
graphics
civil engineering
4685 chabot dr. suite 300
pleasanton, ca 94588
www.waremalcolm.com
925.244.9621

ima
344 20th Street |
Oakland, CA
94612
510.353.3950
www.imadesign.com

**WHITESELL ST &
ENTERPRISE AVE**
WHITESELL ST & ENTERPRISE AVE
HAYWARD, CALIFORNIA 94545

DATE	REVISIONS
05-20-2021	PLANNING: SUBMITTAL
08-31-2021	PLANNING: RE-SUBMITTAL

PA / PM: -
DRAWN BY: -
JOB NO.: SNR20-0127-00

SHEET
L-4

TREES



Lagerstroemia indica 'Natchez'



Laurus nobilis



Lophostemon confertus



Pistacia chinensis

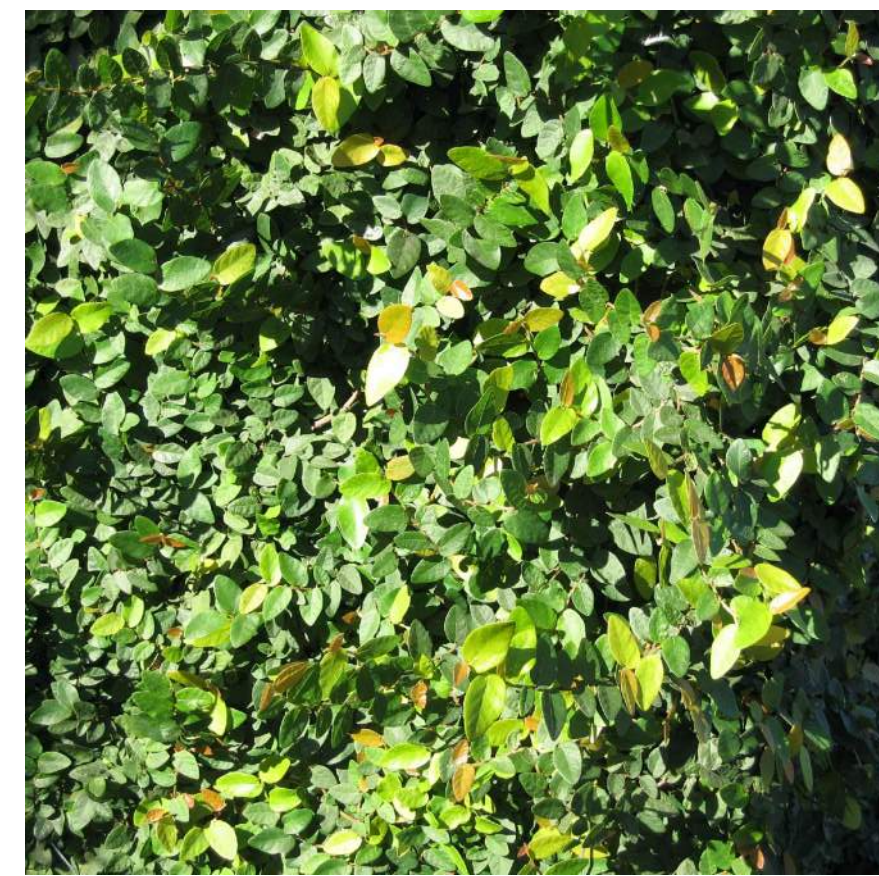


Olea europaea 'Swan Hill'



Ulmus parvifolia

SHRUBS AND VINES



Ficus pumila



Arctostaphylos manzanita



Dietes iridioides



Myrtus communis 'Compacta'

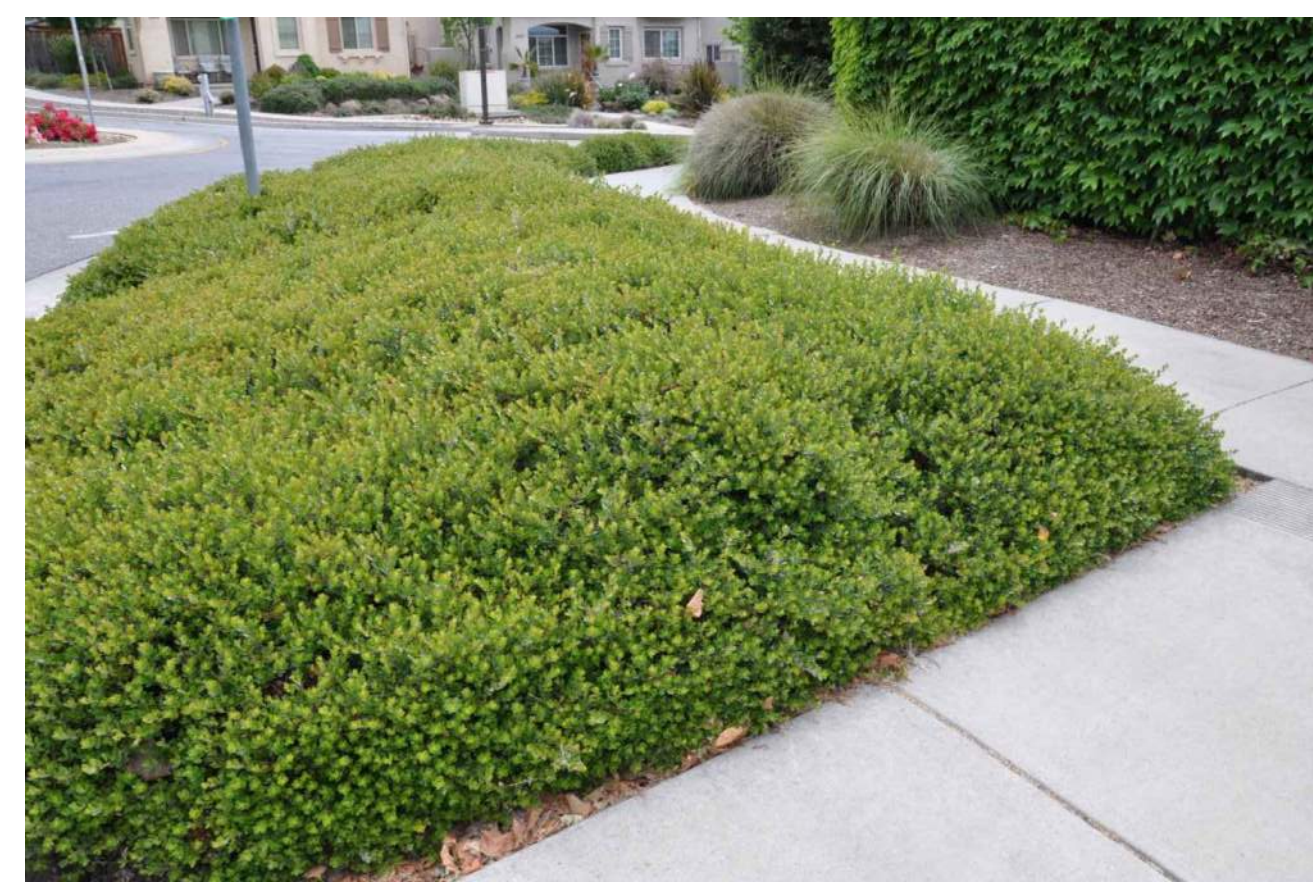


Prunus caroliniana 'Bright n Tight'



Rhamphiolepis indica 'Clara'

GROUNDCOVERS / BIO-RETENTION BASINS



Arctostaphylos 'Emerald Carpet'



Trachleospermum jasminoides



Arctostaphylos densiflora 'Howard McMinn'



Baccharis pilularis



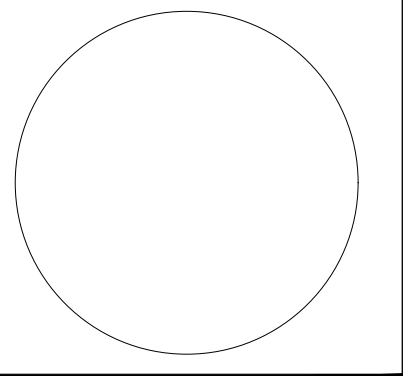
Juncus patens

WARE MALCOMB
Leading Design for Commercial Real Estate

architecture
planning
interiors
graphics
civil engineering
4665 chabot dr. suite 300
pleasanton, ca 94588
www.waremalcomb.com
925.244.9621

ima
344 20th Street |
Oakland, CA
94612
510.353.3950
www.imadesign.com

Use of the plans and specifications contained herein shall be restricted to the original site for which they were prepared. Publication herein is expressly limited to such use. Reproduction, publication, or reuse by any method, in whole or in part, without the express written consent of ima is prohibited. This is not an offer and does not constitute an offer of insurance. All other contents constitute the property of ima. All other contents constitute the property of ima. All other contents constitute the property of ima. All other contents constitute the property of ima.



**WHITESELL ST &
ENTERPRISE AVE
WHITESELL ST & ENTERPRISE AVE
HAYWARD, CALIFORNIA 94545**

PLANTING IMAGERY	
DATE	REMARKS
1. 05-17-2021	PLANNING SITE SUBMITTAL
2. 08-31-2021	PLANNING RE-SUBMITTAL
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	
11.	
12.	

PA / PM:	-
DRAWN BY:	-
JOB NO.:	SNR20-0127-00

SHEET
L-5

TREE LEGEND - SUNSET ZONE 17

SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	REMARKS
	<i>Lagerstroemia indica</i> 'Natchez'	Natchez Crape Myrtle	48" Box	Per Plan	14	Low	Multi-trunk
	<i>Laurus nobilis</i>	Sweet Bay	24" Box	Per Plan	38	Low	Low Branching
	<i>Lophostemon confertus</i>	Brisbane Box	24" Box	Per Plan	42	Moderate	Standard
	<i>Pistacia chinensis</i>	Chinese Pistache	24" Box	Per Plan	7	Moderate	Standard
	<i>Olea europaea</i> 'Swan Hill'	Swan Hill Olive	48" Box	Per Plan	9	Very Low	Standard
	<i>Ulmus parvifolia</i>	Evergreen Elm	48" Box	Per Plan	5	Low	Standard

VINE LEGEND - SUNSET ZONE 17

SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	REMARKS
	<i>Ficus pumila</i>	Creeping Fig	5 Gal.	16" o.c.	4 Per Plan	Moderate	Self-Attaching to Metal Screen MATURE SIZE: 12' w x 25' h

SHRUB LEGEND - SUNSET ZONE 17

SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	MATURE SIZE
	<i>Arctostaphylos manzanita</i>	Common Manzanita	15 Gal.	6' o.c.	-	Low	6' w x 12' h
	<i>Diets indoioides</i>	Fortnight Lily	5 Gal.	30" o.c.	-	Low	2' w x 2' h
	<i>Myrtus communis</i> 'Compacta'	Dwarf Myrtle	5 Gal.	36" o.c.	-	Low	3' w x 3' h
	<i>Prunus caroliniana</i> 'Bright n Tight'	Carolina Laurel Cherry	5 Gal.	6' o.c.	-	Low	6' w x 10' h
	<i>Rhaphtolepis indica</i> 'Clara'	Clara Indian Hawthorn	1 Gal.	48" o.c.	-	Low	4' w x 4' h

GROUNDCOVER LEGEND - SUNSET ZONE 17

SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	MATURE SIZE
	<i>Arctostaphylos</i> 'Emerald Carpet'	Emerald Carpet Manzanita	1 Gal.	5' o.c.	-	Low	5' w x 1' h
	<i>Trachelospermum jasminoides</i>	Star Jasmine	1 Gal.	6' o.c.	-	Low	6' w x 2' h

BIO-RETENTION BASINS LEGEND - SUNSET ZONE 17

SYMBOLS	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QTY.	WUCOLS	MATURE SIZE
	<i>Arctostaphylos</i> 'Emerald Carpet'	Emerald Carpet Manzanita	1 Gal.	5' o.c.	-	Low	5' w x 1' h
	<i>Arctostaphylos densiflora</i> 'Howard McMinn'	McMinn Manzanita	5 Gal.	6' o.c.	-	Low	6' w x 6' h
	<i>Baccharis pilularis</i>	Coyote Bush	1 Gal.	6' o.c.	-	Low	6' w x 2' h
	<i>Juncus patens</i>	California Gray Rush	1 Gal.	24" o.c.	-	Low	2' w x 2' h

SUMMARY DATA

LANDSCAPE AREA: 77,629 S.F.

PROJECT TYPE: PRIVATE

WATER SOURCE: POTABLE

SHRUB AND GROUNDCOVER
PLANTING, TYP.

BIO-RETENTION
BASIN PLANTING

PROPERTY
LINE

ENTERPRISE AVENUE



INDUSTRIAL BLDG
FOOTPRINT 219,656 SF
CLR.HGT: 36'

OFFICE

ENLARGEMENT A
SHEET L-4

UNION PACIFIC RAILROAD

WHITEHALL STREET

WARE MALCOLM
Leading Design for Commercial Real Estate

Architecture
Planning
Graphics
Civil Engineering

4608 Chubb Dr. Suite 300
Pleasanton, CA 94588
F: 925.244.9621

ima
344 20th Street |
Oakland, CA 94612
510.353.3950
www.ima.org

Use of the plans and specifications contained herein shall be restricted to the original site for which they were prepared and no reproduction is expressly limited to such use. Reproduction, publication, or reuse by any method, in whole or in part, without the express written consent of ima is prohibited. Time to suit plans remains the sole property of ima. Please contact us at the completion of these instructions.

WHITESELL ST & ENTERPRISE AVE
WHITESELL ST & ENTERPRISE AVE
HAYWARD, CALIFORNIA 94545

OVERALL ILLUSTRATIVE

DATE	REVISIONS
1 08-14-2021	PLANNING SET - SUBMITTAL
2 08-31-2021	PLANNING SET - SUBMITTAL
3	
4	

PA / PM:	-
DRAWN BY:	-
JOB NO.:	SNR20-0127-00

SHEET
L-6

NORTH

0 20 40 80
SCALE: 1" = 40' - 0"

U:\2020\11183\03\Whitehall & Enterprise L-6.dwg

PRELIMINARY SITE IMPROVEMENT PLANS

OF

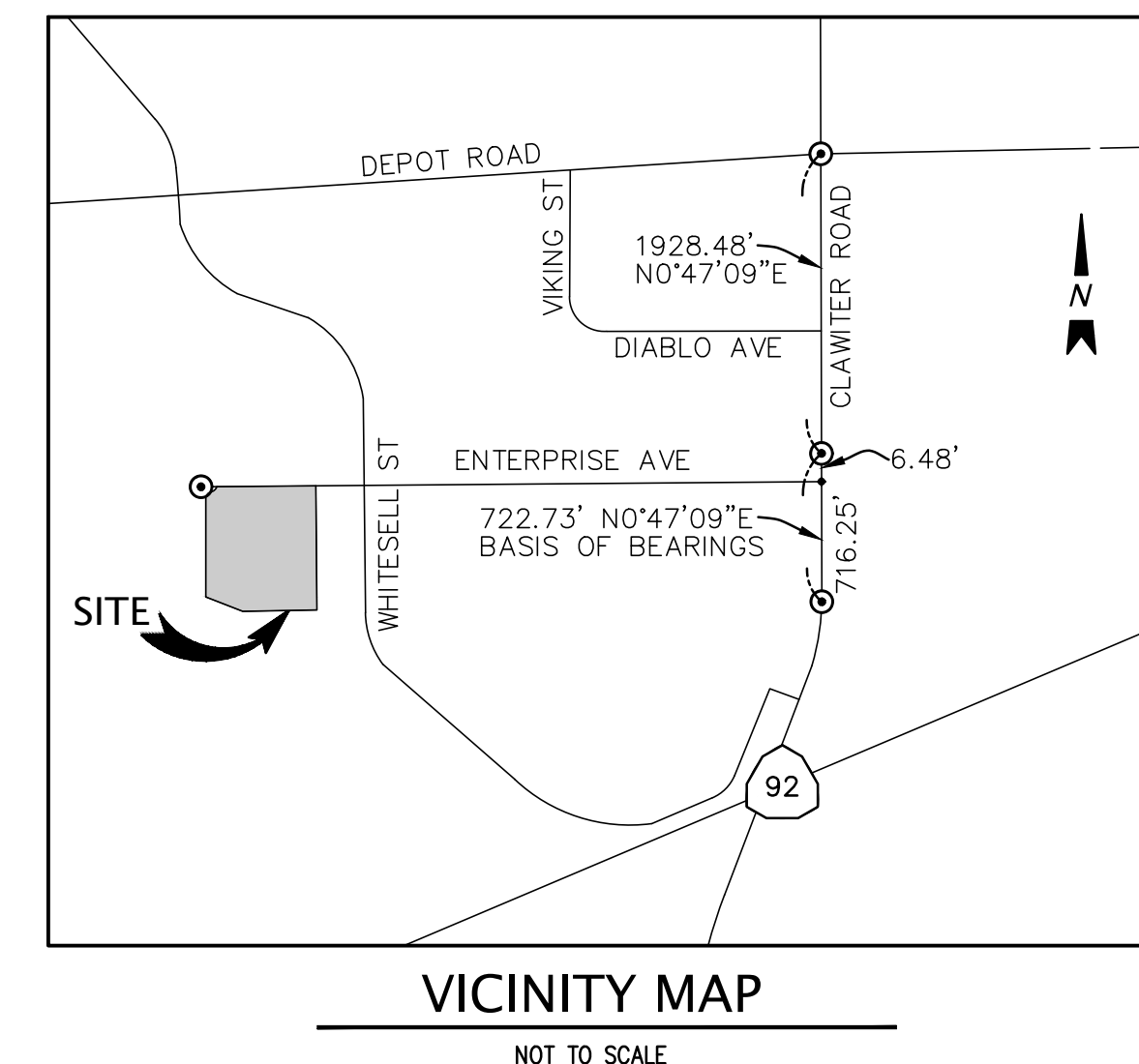
3636 ENTERPRISE AVENUE

FOR

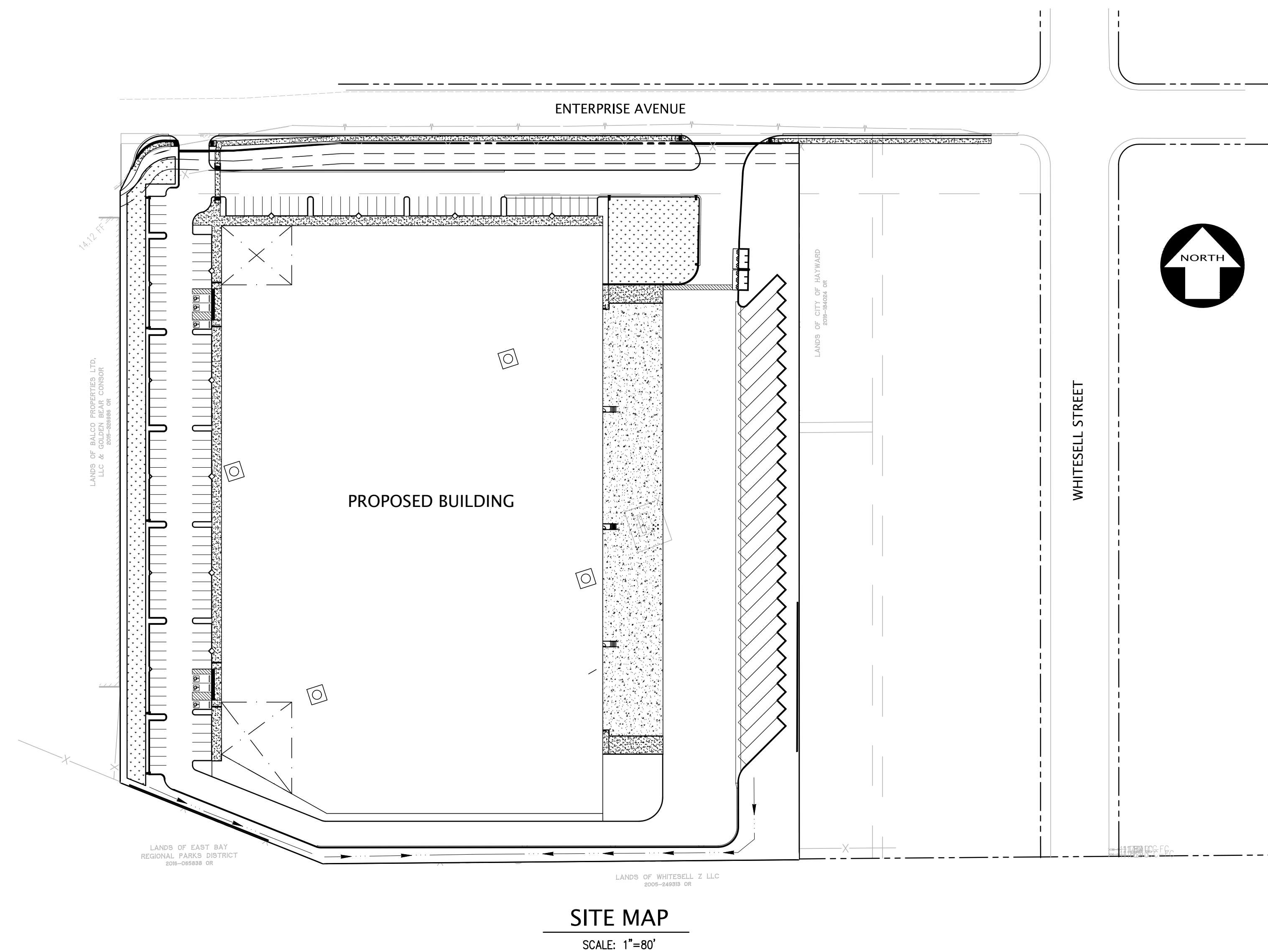
DERMODY PROPERTIES

HAYWARD,

CALIFORNIA



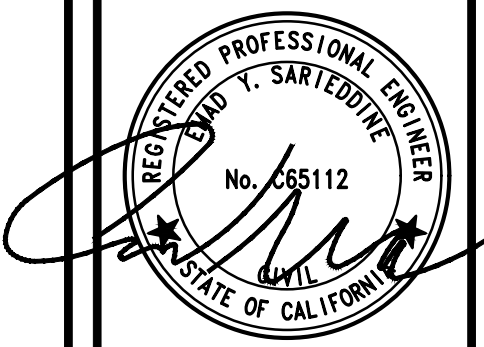
ABBREVIATIONS			
AB	AGGREGATE BASE	MAX	MAXIMUM
AC	ASPHALTIC CONCRETE	MH	MANHOLE
ADJ.	ADJUST	MIN	MINIMUM
AN	ANODE	MON	MONUMENT
AP	ANGLE POINT	MTC	MEDIAN TOP OF CURB
APS	ACCESSIBLE PEDESTRIAN SIGNAL	(W)	MULTI TRUNK
AVE	AVENUE	MUTE	MULTI-USE TRAIL EASEMENT
BCR	BEGIN CURB RETURN	N	NORTH
BC	BEGIN CURVE	NE	NORTHEAST
BFP	BACK FLOW PREVENTER	NW	NORTHWEST
BL	BUILDING	OPT	OPTION
BOC	BACK OF CURB	O.C.	ON CENTER
BPB	BICYCLE PUSH BUTTON	O.R.	OFFICIAL RECORDS
BTM	BOTTOM	P.A.E.	PUBLIC ACCESS EASEMENT
BVC	BEGIN VERTICAL CURVE	PCC	POINT OF CONCENTRIC CURVE
BVCE	BEGIN VERTICAL CURVE	PE	PEDESTAL
ELEVATION		PG&E	PACIFIC GAS AND ELECTRIC
BVCS	BEGIN VERTICAL CURVE STATION	PR	PROPOSED
BW	BACK OF WALK	PRC	POINT OF REVERSE CURVE
C	CONCRETE	P.S.D.E.	PUBLIC STORM DRAIN EASEMENT
CATV	CABLE TELEVISION	P.U.E.	PUBLIC UTILITY EASEMENT
CB	CATCH BASIN	PV	PAVEMENT
CIP	CAST IRON PIPE	PVC	POLY VINYL CHLORIDE
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
COMM	COMMUNICATION	RCB	REINFORCED CONCRETE BOX
CONF	CONFORM	RCF	REINFORCED CONCRETE PIPE
CONST.	CONSTRUCT	RE	RIM ELEVATION
CT	COURT	RPBP	REDUCE PRESSURE BACKFLOW
DET	DETENTION	RPR	REDUCE PRESSURE DETECTOR
DH	DWARF HYDRANT	RPDA	REDUCE PRESSURE DETECTOR
DIP	DUCTILE IRON PIPE	ASSEMBLY	
DR	DRIVE	RPPA	REDUCE PRESSURE PRINCIPAL
DW	DOMESTIC WATER	ASSEMBLY	
DWY	DRIVEWAY	RT	RIGHT
E	EAST	RW	RECYCLED WATER
EB	ELECTRIC BOX	R/W	RIGHT-OF-WAY
EC	END CURVE	RWB	RECYCLED WATER BOX
ECR	END CURB RETURN	S	SOUTH
EG	EXISTING GRADE	SD	STORM DRAIN
EGS	EDGE GRAVEL SHOULDER	SDE	STORM DRAIN EASEMENT
ELEC	ELECTRIC	SMH	STORM DRAIN MANHOLE
ELEV	ELEVATION	SE	SOUTHEAST
EM	ELECTRIC METER	S.E.	SLOPE EASEMENT
ESMT	EASEMENT	SFNF	SEARCHED FOR NOTHING FOUND
EV	ELECTRIC VAULT	SHT	SHEET
E.V.A.E.	EMERGENCY VEHICLE ACCESS	SL	STREET LIGHT
ESMT		SLB	STREET LIGHT BOX
EVC	END VERTICAL CURVE	SS	SANITARY SEWER
EVCE	END VERTICAL CURVE ELEVATION	SSMH	SANITARY SEWER MANHOLE
EVCS	END VERTICAL CURVE STATION	STA	STATION
EW	EDGE OF WALK	STD	STANDARD
EX	EXISTING	SW	SIDEWALK OR SOUTHWEST
FH	FIRE HYDRANT	TB	TELEPHONE BOX
FL	FLOW LINE	TC	TOP OF CURB
FNC	FENCE	TELE	TELEPHONE
FND	FOUND	TLTS	TOILETS
FO	FIBER OPTIC	TMH	TELEPHONE MANHOLE
FOC	FACE OF CURB	TOP	TOP OF SLOPE
FOMH	FIBER OPTIC MANHOLE	TR	TOP OF RAMP
FS	FIRE SERVICE	TSB	TRAFFIC SIGNAL BOX
GB	GRADE BREAK	T.S.E.	TRAFFIC SIGNAL EASEMENT
HP	HIGH POINT	TSP	TRAFFIC SIGNAL POLE
IE	INVERT ELEVATION	TYP.	TYPICAL
I.E.E.	INGRESS/EGRESS EASEMENT	UB	UTILITY BOX
I.P.	IRON PIPE	U.O.N.	UNLESS OTHERWISE NOTED
IRR	IRRIGATION	VCP	VITRIFIED CLAY PIPE
JT	JOINT TRENCH	VF	VERIFY IN FIELD
K	K-VALUE	W	WEST
LIP	LIP OF GUTTER	WB	WATER BOX
LP	LOW POINT	WM	WATER METER
L/S	LANDSCAPE	W/	WITH
LT	LEFT	UNK	UNKNOWN
LVC	LENGTH OF VERTICAL CURVE		



NOTE:
THE PRELIMINARY PLANS PROVIDE DESIGN INTENT. ALL PROPOSED CIVIL IMPROVEMENTS HEREIN WILL REQUIRE ADDITIONAL DETAILS, DURING THE DETAILED PHASE, I.E. CONSTRUCTION DOCUMENTS. IT'S EXPECTED AND UNDERSTOOD THAT DURING THE CONSTRUCTION DOCUMENT PHASE THE CIVIL ENGINEER WILL REVISE THE PLANS TO MEET AND SATISFY THE CITY'S COMMENTS/CONDITIONS OF APPROVALS.

SHEET	DESCRIPTION
C1.0	COVER SHEET
C2.0	TOPOGRAPHIC SURVEY
C3.0	SECTIONS
C4.0	DEMOLITION PLAN
C5.0	PRELIMINARY GRADING & DRAINAGE PLAN
C6.0	PRELIMINARY UTILITY PLAN
C7.0	EROSION CONTROL PLAN
C8.0	STORM WATER QUALITY CONTROL PLAN
C9.0	WB-50 TRUCK TURN EXHIBIT
C10.0	FIRE TRUCK TURN EXHIBIT

NO.	BY	REVISION



KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

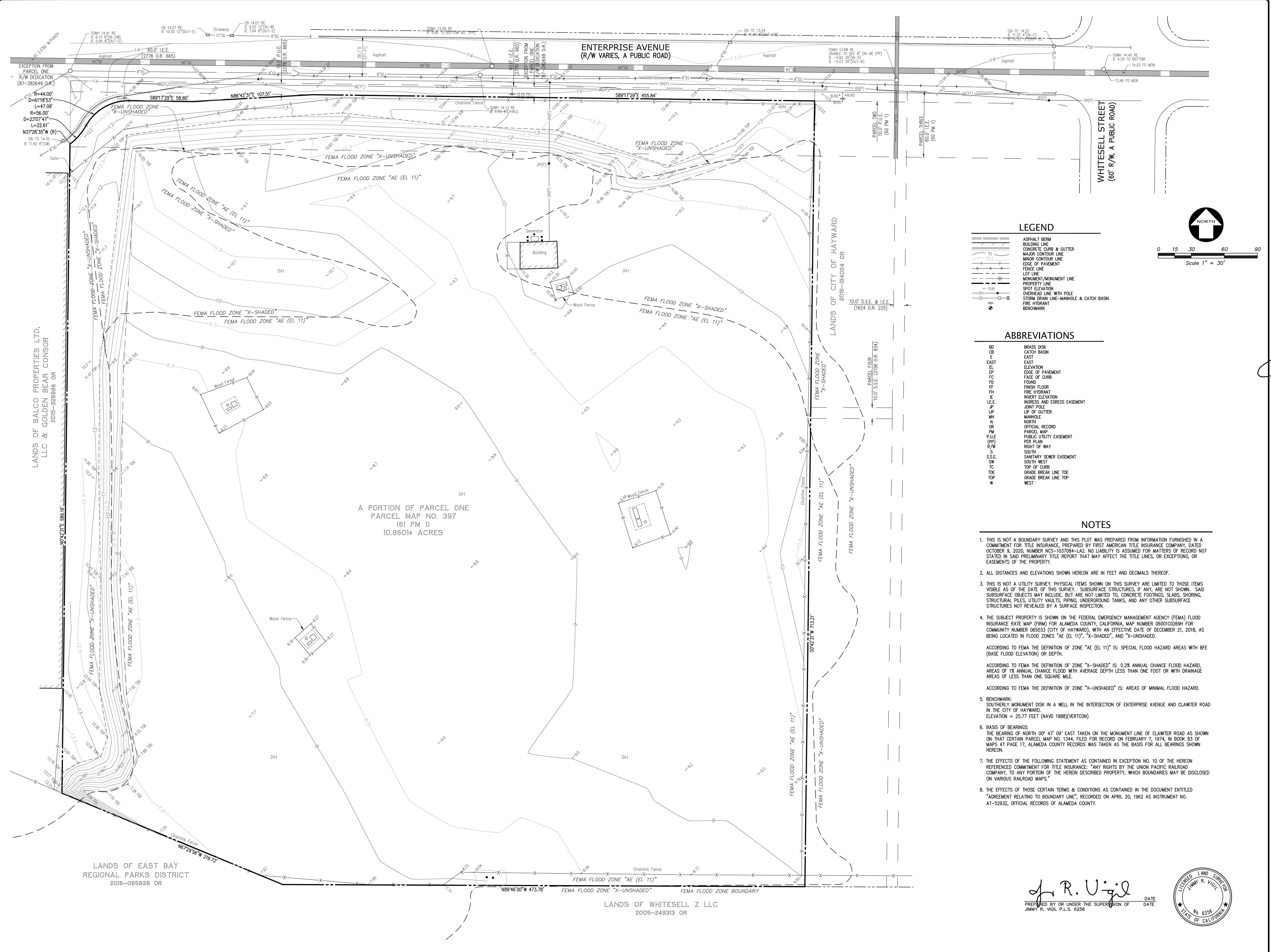
CALIFORNIA

COVER
OF
3636 ENTERPRISE AVENUE
FOR
DERMODY PROPERTIES

DATE	JUNE, 2021
SCALE	AS SHOWN
DESIGNER	AC
DRAWN	STAFF
JOB NO.	A20709
SHEET	C1.0
OF	
SHEETS	

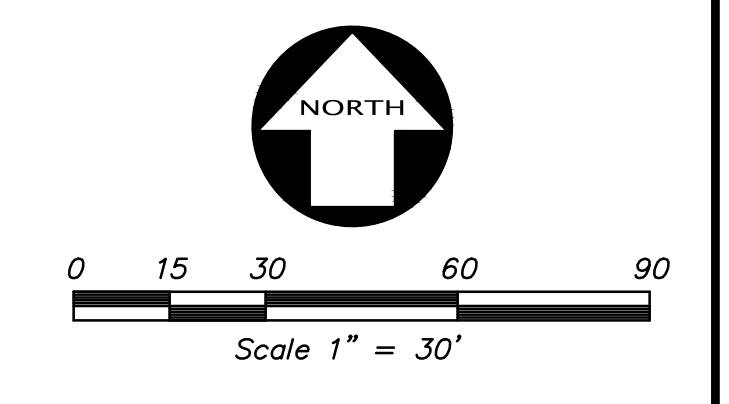


Know what's below.
Call before you dig.



LEGEND

- ASPHALT BERM
- BUILDING LINE
- CONCRETE CURB & GUTTER
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- EDGE OF PAVEMENT
- FENCE LINE
- LOT LINE
- MONUMENT/MONUMENT LINE
- PROPERTY LINE
- SPOT ELEVATION
- OVERHEAD LINE WITH POLE
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
- FIRE HYDRANT
- BENCHMARK



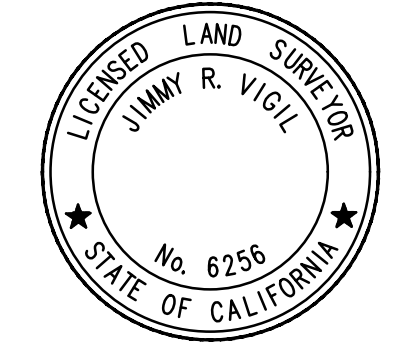
ABBREVIATIONS

- BD BRASS DISK
- CB CATCH BASIN
- EAST
- EL ELEVATION
- EP EDGE OF PAVEMENT
- FC FACE OF CURB
- FD FOUND
- FF FINISH FLOOR
- FI FIRE HYDRANT
- IE INVERT ELEVATION
- I.E.E. INGRESS AND EGRESS EASEMENT
- JK JUMP
- LP LIP OF GUTTER
- MH MANHOLE
- N NORTH
- OR OFFICIAL RECORD
- PM PARCEL MAP
- P.U.E. PUBLIC UTILITY EASEMENT
- PP PER PLAN
- R/W RIGHT OF WAY
- S SOUTH
- S.S.E. SANITARY SEWER EASEMENT
- SW SOUTH WEST
- TC TOP OF CURB
- TOE GRADE BREAK LINE TOE
- TOT GRADE BREAK LINE TOP
- W WEST

NOTES

- THIS IS NOT A BOUNDARY SURVEY AND THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A COMMITMENT FOR TITLE INSURANCE, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED OCTOBER 9, 2020, NUMBER NCS-1037084-LAZ. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THIS IS NOT A UTILITY SURVEY. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR ALAMEDA COUNTY, CALIFORNIA, MAP NUMBER 0601C0269H FOR COMMUNITY NUMBER 065033 (CITY OF HAYWARD), WITH AN EFFECTIVE DATE OF DECEMBER 21, 2018, AS BEING LOCATED IN FLOOD ZONES "AE (EL 11)", "X-SHADED", AND "X-UNSHADED".
 ACCORDING TO FEMA THE DEFINITION OF ZONE "AE (EL 11)" IS: SPECIAL FLOOD HAZARD AREAS WITH BFE (BASE FLOOD ELEVATION) OR DEPTH.
 ACCORDING TO FEMA THE DEFINITION OF ZONE "X-SHADED" IS: 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE.
 ACCORDING TO FEMA THE DEFINITION OF ZONE "X-UNSHADED" IS: AREAS OF MINIMAL FLOOD HAZARD.
- BENCHMARK:
SOUTHERLY MONUMENT DISK IN A WELL IN THE INTERSECTION OF ENTERPRISE AVENUE AND CLAWTER ROAD IN THE CITY OF HAYWARD.
ELEVATION = 25.77 FEET (NAVD 1988)(VERTCON)
- BASIS OF BEARINGS:
THE BEARING OF NORTH 00° 47' 09" EAST TAKEN ON THE MONUMENT LINE OF CLAWTER ROAD AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 1344, FILED FOR RECORD ON FEBRUARY 7, 1974, IN BOOK 83 OF MAPS AT PAGE 17, ALAMEDA COUNTY RECORDS WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
- THE EFFECTS OF THE FOLLOWING STATEMENT AS CONTAINED IN EXCEPTION NO. 10 OF THE HEREON REFERENCED COMMITMENT FOR TITLE INSURANCE: "ANY RIGHTS BY THE UNION PACIFIC RAILROAD COMPANY, TO ANY PORTION OF THE HEREIN DESCRIBED PROPERTY, WHICH BOUNDARIES MAY BE DISCLOSED ON VARIOUS RAILROAD MAPS."
- THE EFFECTS OF THOSE CERTAIN TERMS & CONDITIONS AS CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT RELATING TO BOUNDARY LINE", RECORDED ON APRIL 20, 1962 AS INSTRUMENT NO. AT-52932, OFFICIAL RECORDS OF ALAMEDA COUNTY.

Jimmy R. Ujigil
PREPARED BY OR UNDER THE SUPERVISION OF
JIMMY R. UJIGIL P.L.S. 6256 DATE

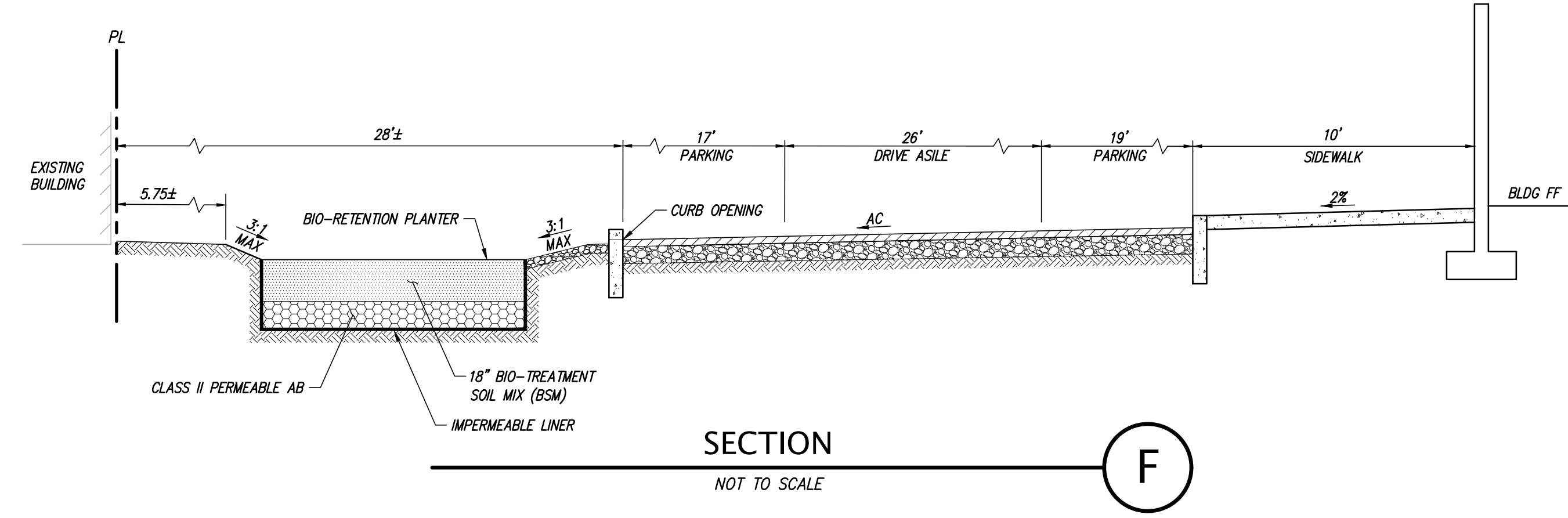
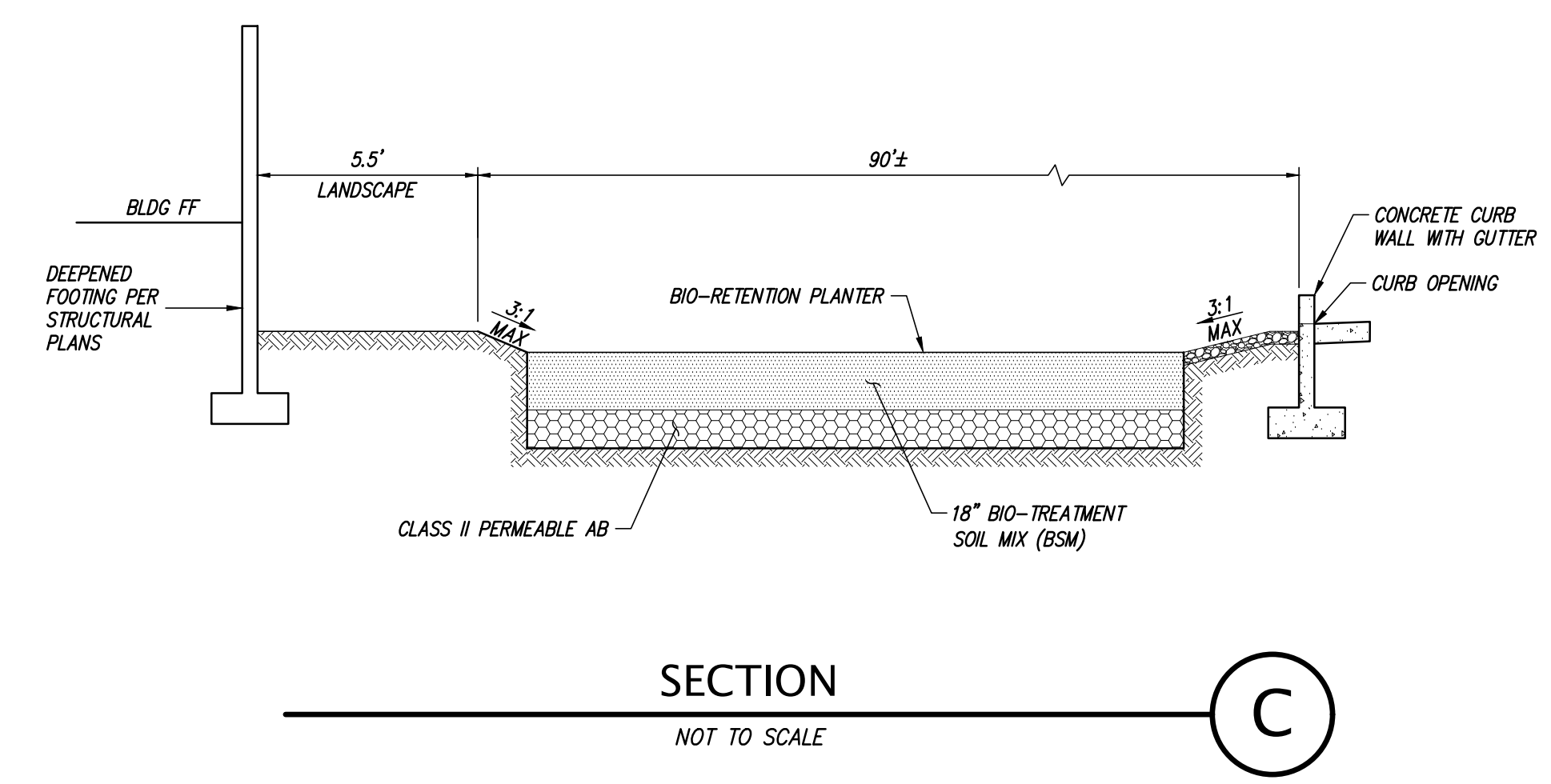
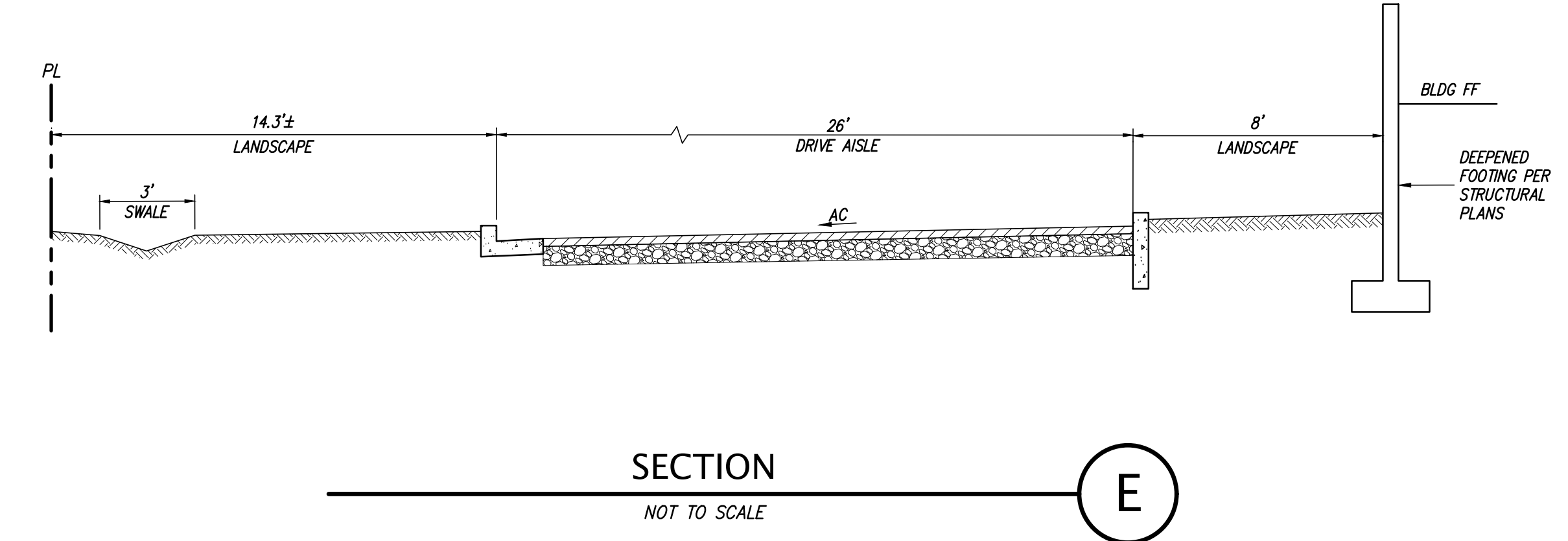
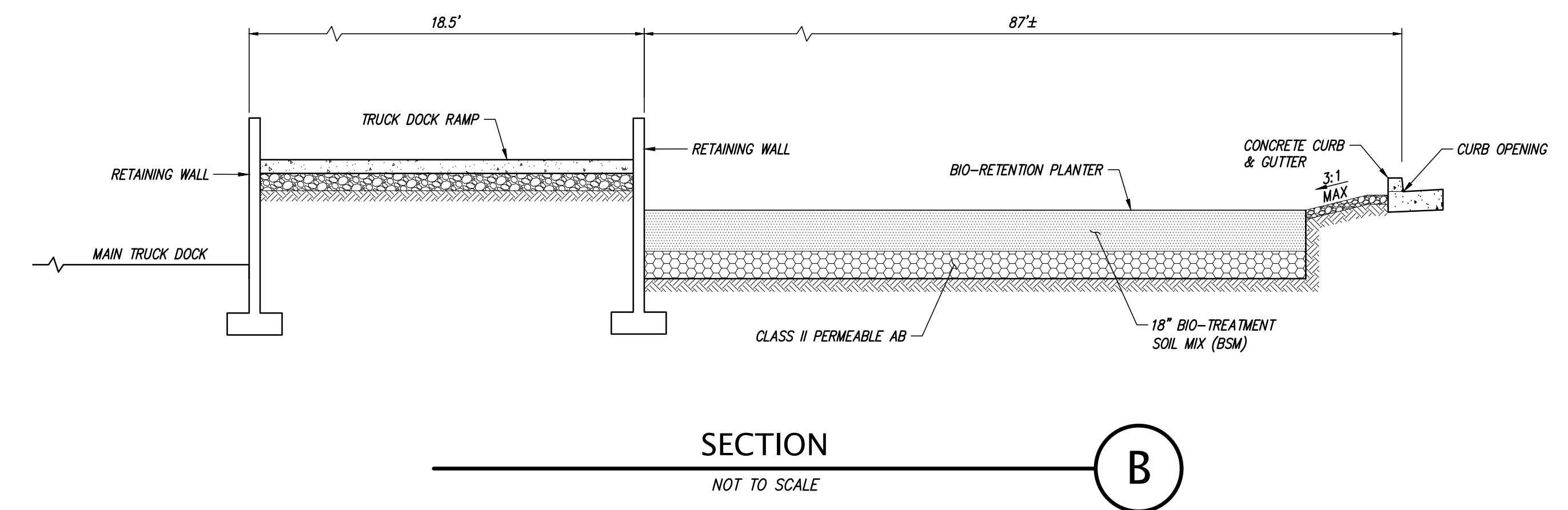
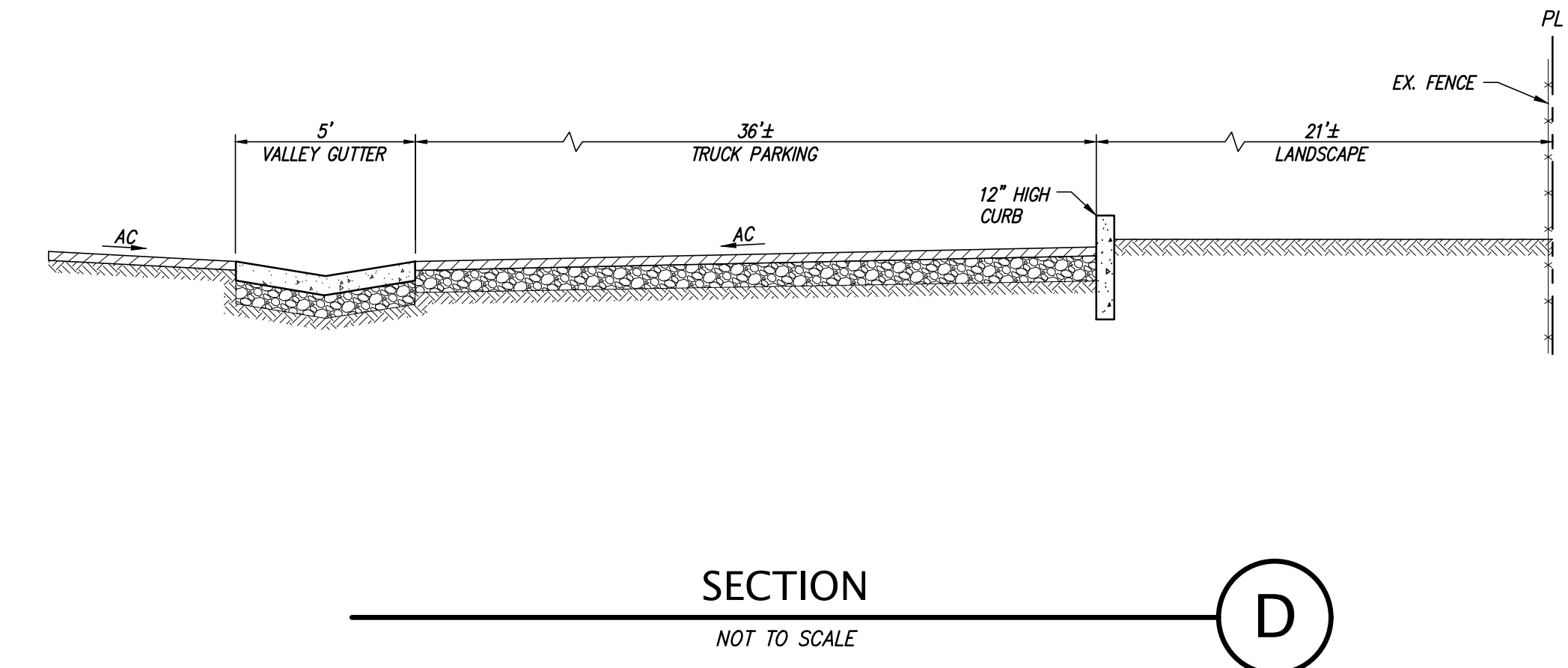
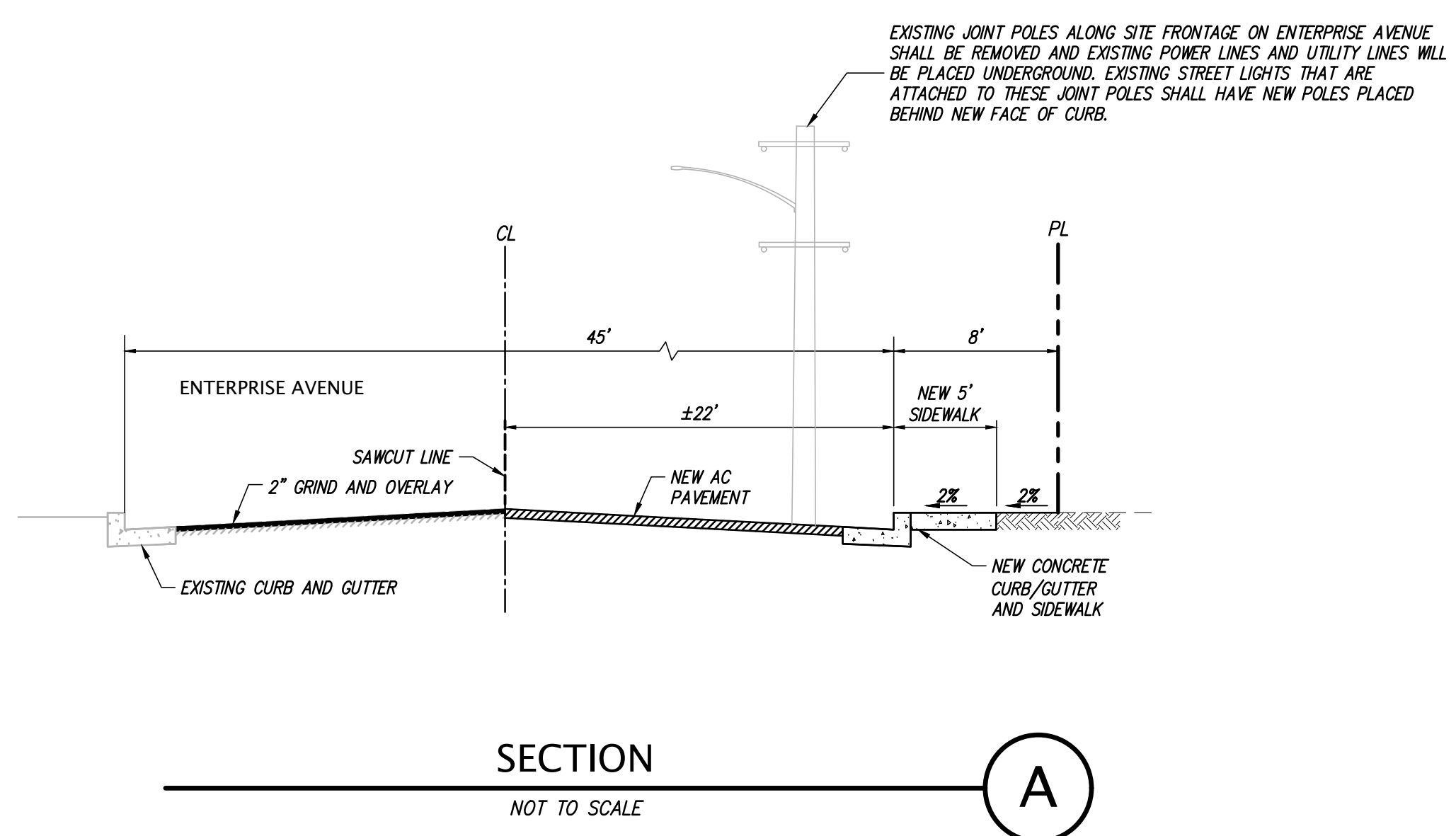


NO.	DATE	DESCRIPTION
1	7/28/2021	PLAN CHECK COMMENT RESPONSE 7/28/2021
2	8/31/2021	PLAN CHECK COMMENT RESPONSE 8/31/2021

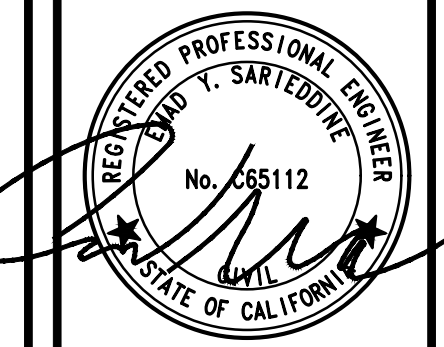
NO.	DATE	DESCRIPTION
1	JUNE, 2021	DATE
	AS SHOWN	SCALE
	AC	DESIGNER
	STAFF	DRAWN
	A20709	JOB NO.
	C2.0	SHEET
	SHEETS	OF

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

CALIFORNIA



NO.	REVISION
1	PLAN CHECK COMMENT RESPONSE 7/28/2021
2	PLAN CHECK COMMENT RESPONSE 8/31/2021
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	

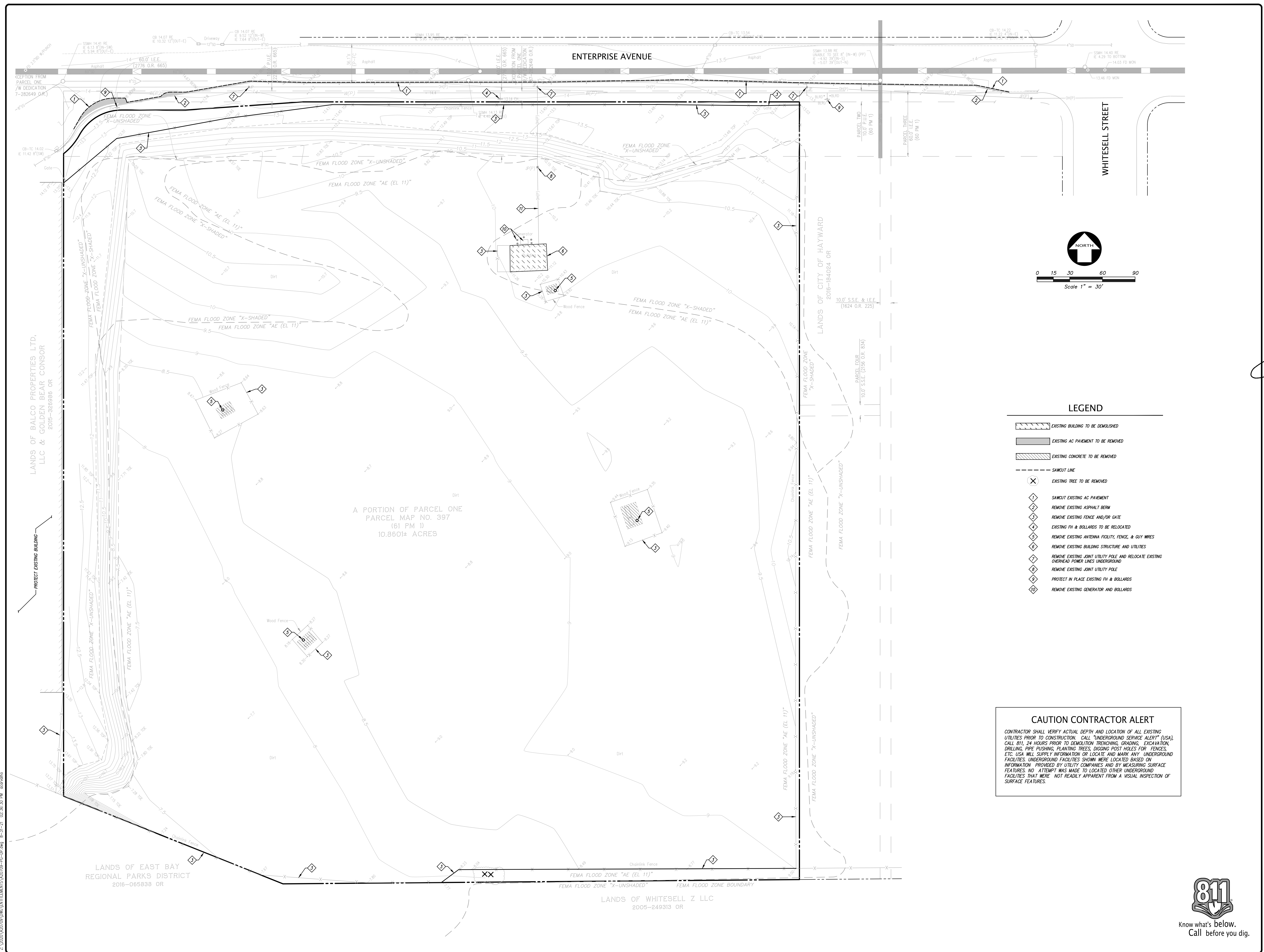


KIER+WRIGHT
 PROFESSIONAL ENGINEERS
 STATE OF CALIFORNIA
 License No. 55112
 2850 Collier Canyon Road
 Livermore, CA 94551
 Phone: (925) 245-8788
 www.kierwright.com

SECTIONS OF
3636 ENTERPRISE AVENUE
FOR
DERMODY PROPERTIES
 HAYWARD, CALIFORNIA

DATE	JUNE, 2021
SCALE	AS SHOWN
DESIGNER	AC
DRAWN	STAFF
JOB NO.	A20709
SHEET	C3.0
OF	SHEETS

2:\2020\A20709\DWG\ENTITLEMENTS\A20709-FC.dwg, 8-31-21, 02:36:03 PM, scowahb



LEGEND

- EXISTING BUILDING TO BE DEMOLISHED
- EXISTING AC PAVEMENT TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- SAWOUT LINE
- EXISTING TREE TO BE REMOVED
- SAWOUT EXISTING AC PAVEMENT
- REMOVE EXISTING ASPHALT BERM
- REMOVE EXISTING FENCE AND/OR GATE
- EXISTING FH & BOLLARDS TO BE RELOCATED
- REMOVE EXISTING ANTENNA FACILITY, FENCE, & GUY WIRES
- REMOVE EXISTING BUILDING STRUCTURE AND UTILITIES
- REMOVE EXISTING JOINT UTILITY POLE AND RELOCATE EXISTING OVERHEAD POWER LINES UNDERGROUND
- REMOVE EXISTING JOINT UTILITY POLE
- PROTECT IN PLACE EXISTING FH & BOLLARDS
- REMOVE EXISTING GENERATOR AND BOLLARDS

CAUTION CONTRACTOR ALERT

CONTRACTOR SHALL VERIFY ACTUAL DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CALL "UNDERGROUND SERVICE ALERT" (USA), CALL 811 24 HOURS PRIOR TO DEMOLITION TRENCHING, GRADING, EXCAVATION, DRILLING, PIPE PUSHING, PLANTING TREES, DIGGING POST HOLES FOR FENCES, ETC. USA WILL SUPPLY INFORMATION OR LOCATE AND MARK ANY UNDERGROUND FACILITIES. UNDERGROUND FACILITIES SHOWN WERE LOCATED BASED ON INFORMATION PROVIDED BY UTILITY COMPANIES AND BY MEASURING SURFACE FEATURES. NO ATTEMPT WAS MADE TO LOCATED OTHER UNDERGROUND FACILITIES THAT WERE NOT READILY APPARENT FROM A VISUAL INSPECTION OF SURFACE FEATURES.

NO.	REVISION	PLAN CHECK COMMENT RESPONSE 7/28/2021
NO.	REVISION	PLAN CHECK COMMENT RESPONSE 8/31/2021
NO.	REVISION	
NO.	REVISION	

PROFESSIONAL SEAL
 REGISTERED PROFESSIONAL ENGINEER
 No. 55112
 STATE OF CALIFORNIA

KIER+WRIGHT
 2850 Collier Canyon Road
 Livermore, CA 94551
 Phone: (925) 245-8788
 www.kierwright.com

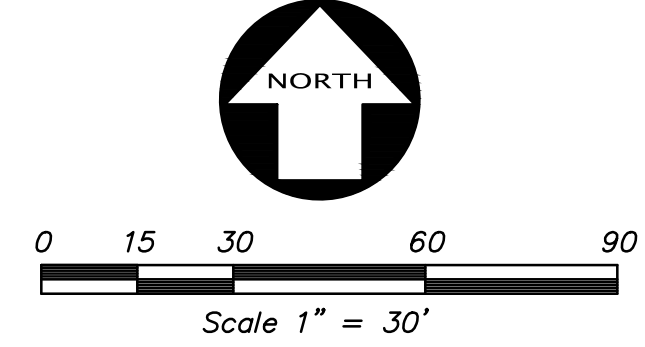
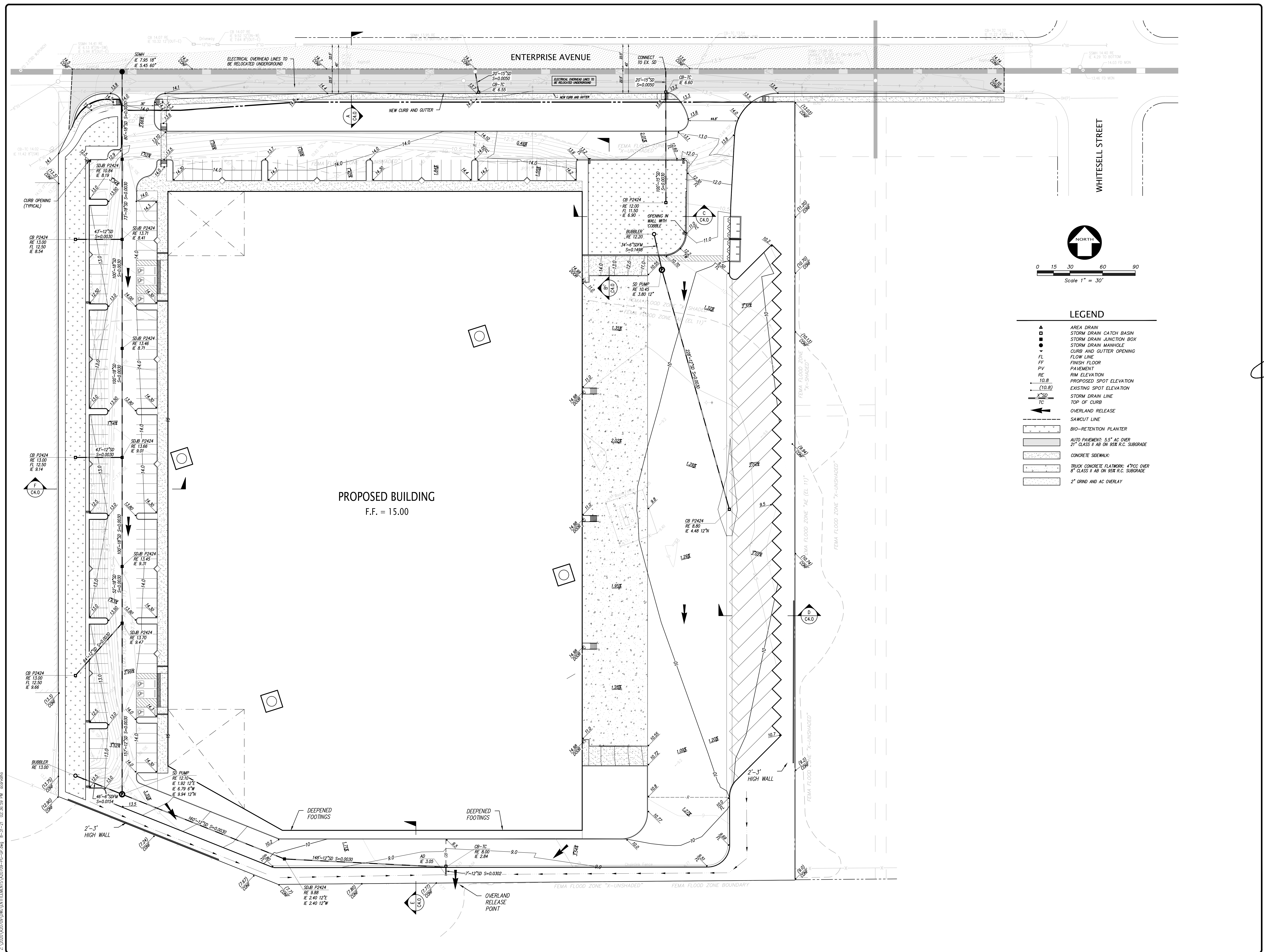
DEMOLITION PLAN
 OF
3636 ENTERPRISE AVENUE
 FOR
DERMODY PROPERTIES

HAYWARD, CALIFORNIA

DATE: JUNE, 2021
 SCALE: AS SHOWN
 DESIGNER: AC
 DRAWN: STAFF
 JOB NO.: A20709
 SHEET: C4.0
 OF SHEETS



2:\2020\420709\DWG\DEMOLITION\A20709-PC-DP.dwg, 8-31-21, 02:36:30 PM, acorn@kwr

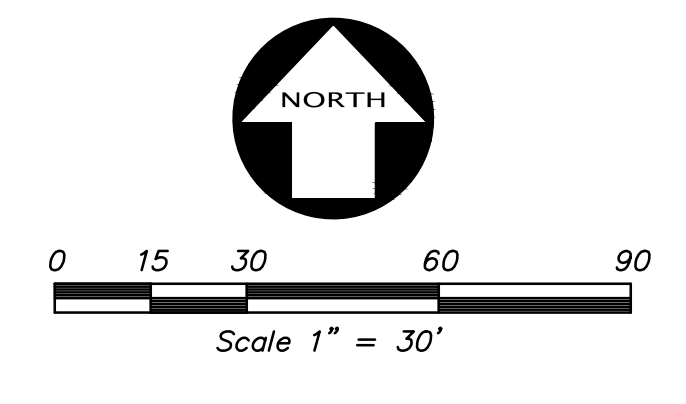
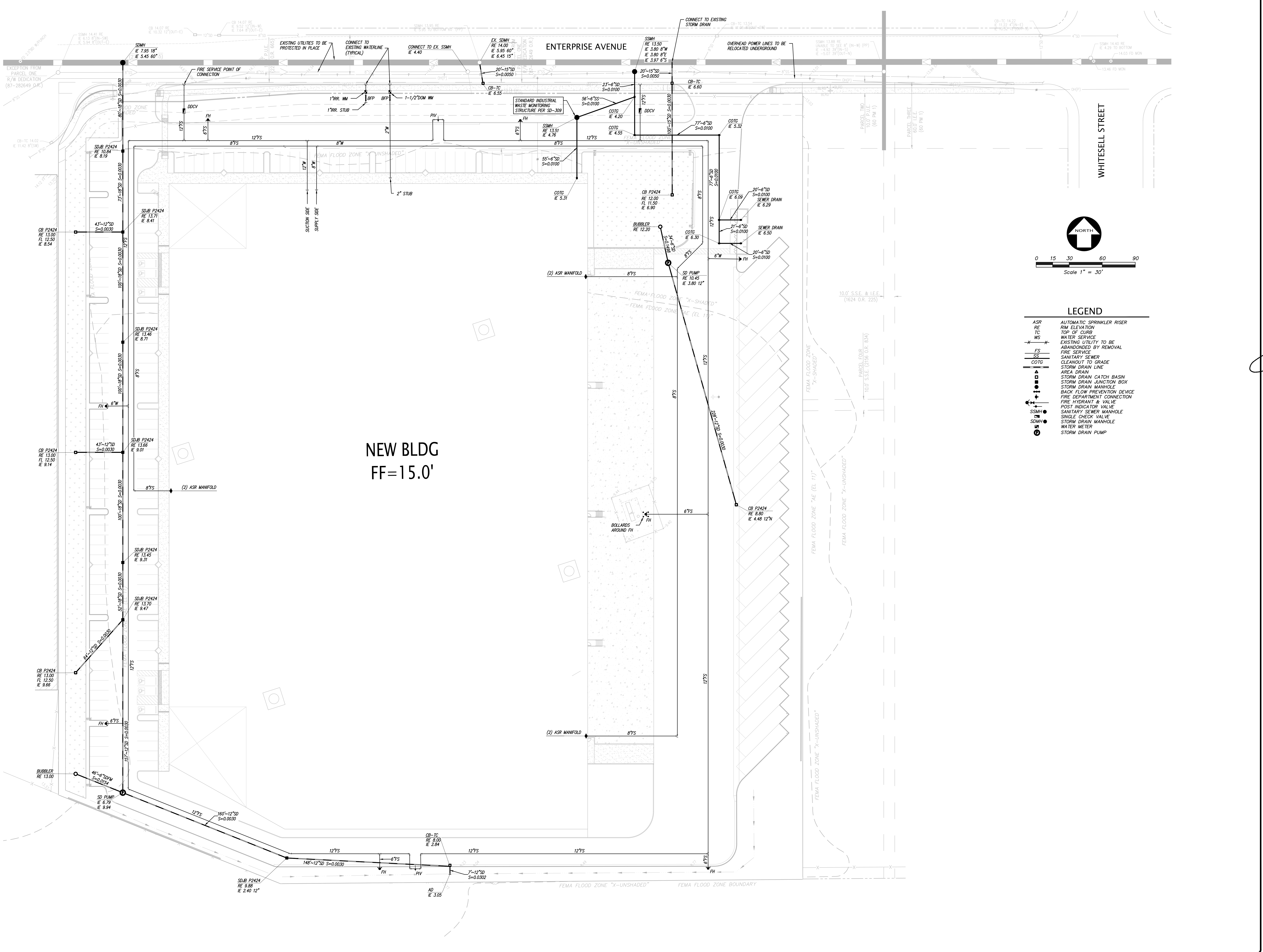


LEGEND

▲	AREA DRAIN
●	STORM DRAIN CATCH BASIN
○	STORM DRAIN JUNCTION BOX
○	STORM DRAIN MANHOLE
○	CURB AND GUTTER OPENING
—	FLOW LINE
—	FINISH FLOOR
—	PAVEMENT
—	RIM ELEVATION
10.8	PROPOSED SPOT ELEVATION
(10.8)	EXISTING SPOT ELEVATION
—	STORM DRAIN LINE
—	TOP OF CURB
—	OVERLAND RELEASE
—	SAWCUT LINE
—	BIO-RETENTION PLANTER
—	AUTO PAVEMENT: 5.5" AC OVER 21" CLASS II AB ON 95% R.C. SUBGRADE
—	CONCRETE SIDEWALK
—	TRUCK CONCRETE FLATWORK: 4" PC OVER 8" CLASS II AB ON 95% R.C. SUBGRADE
—	2" GRIND AND AC OVERLAY

NO.	BY	REVISION	NO.	BY	REVISION						
						PLAN CHECK COMMENT RESPONSE 7/28/2021					
						PLAN CHECK COMMENT RESPONSE 8/31/2021					
<p>KIER+WRIGHT</p> <p>2850 Collier Canyon Road Livermore, CA 94551 Phone: (925) 245-8788 www.kierwright.com</p>											
<p>PRELIMINARY GRADING PLAN OF 3636 ENTERPRISE AVENUE FOR DERMODY PROPERTIES</p>											
<p>HAYWARD, CALIFORNIA</p>											
DATE		JUNE, 2021		SCALE		AS SHOWN		DESIGNER		AC	
DRAWN		STAFF		JOB NO.		A20709		SHEET		C5.0	
OF		-		SHEETS		-					

2:\2020\A20709\DWG\ENTITLEMENTS\A20709-PC-GR.dwg, 8-31-21, 10:36:59 PM, scormanh

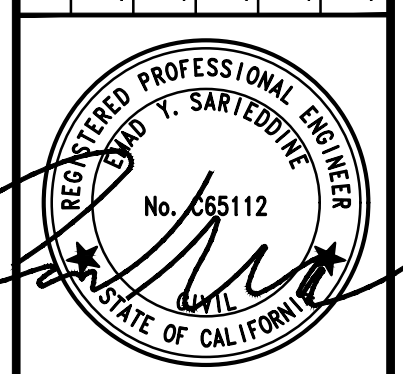


- LEGEND**
- ASR AUTOMATIC SPRINKLER RISER
 - RE RIM ELEVATION
 - TC TOP OF CURB
 - WS WATER SERVICE
 - EXISTING UTILITY TO BE ABANDONED BY REMOVAL
 - FS FIRE SERVICE
 - SS SANITARY SEWER
 - COTG CLEANOUT TO GRADE
 - STORM DRAIN LINE
 - ▲ AREA DRAIN
 - STORM DRAIN CATCH BASIN
 - STORM DRAIN JUNCTION BOX
 - STORM DRAIN MANHOLE
 - BACK FLOW PREVENTION DEVICE
 - FIRE DEPARTMENT CONNECTION
 - FIRE HYDRANT & VALVE
 - POST INDICATOR VALVE
 - SANITARY SEWER MANHOLE
 - SINGLE CHECK VALVE
 - STORM DRAIN MANHOLE
 - WATER METER
 - SDMH STORM DRAIN MANHOLE
 - SDP STORM DRAIN PUMP

NO.	REVISION	DATE
1	PLAN CHECK COMMENT RESPONSE 7/28/2021	
2	PLAN CHECK COMMENT RESPONSE 8/31/2021	
3		
4		
5		

NO.	REVISION
1	
2	
3	
4	
5	

DATE: JUNE, 2021
 SCALE: AS SHOWN
 DESIGNER: AC
 DRAWN: STAFF
 JOB NO.: A20709
 SHEET: C6.0
 OF: SHEETS

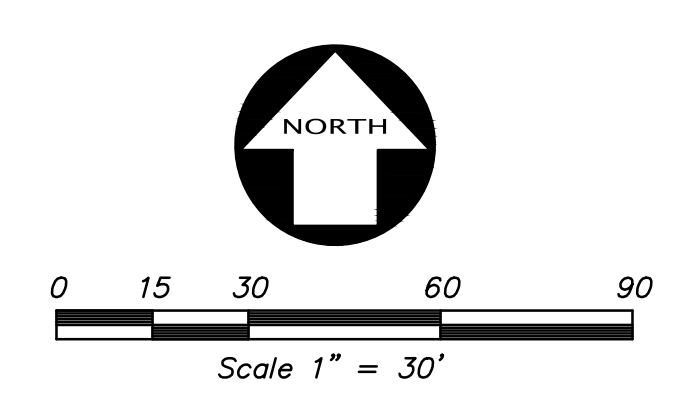
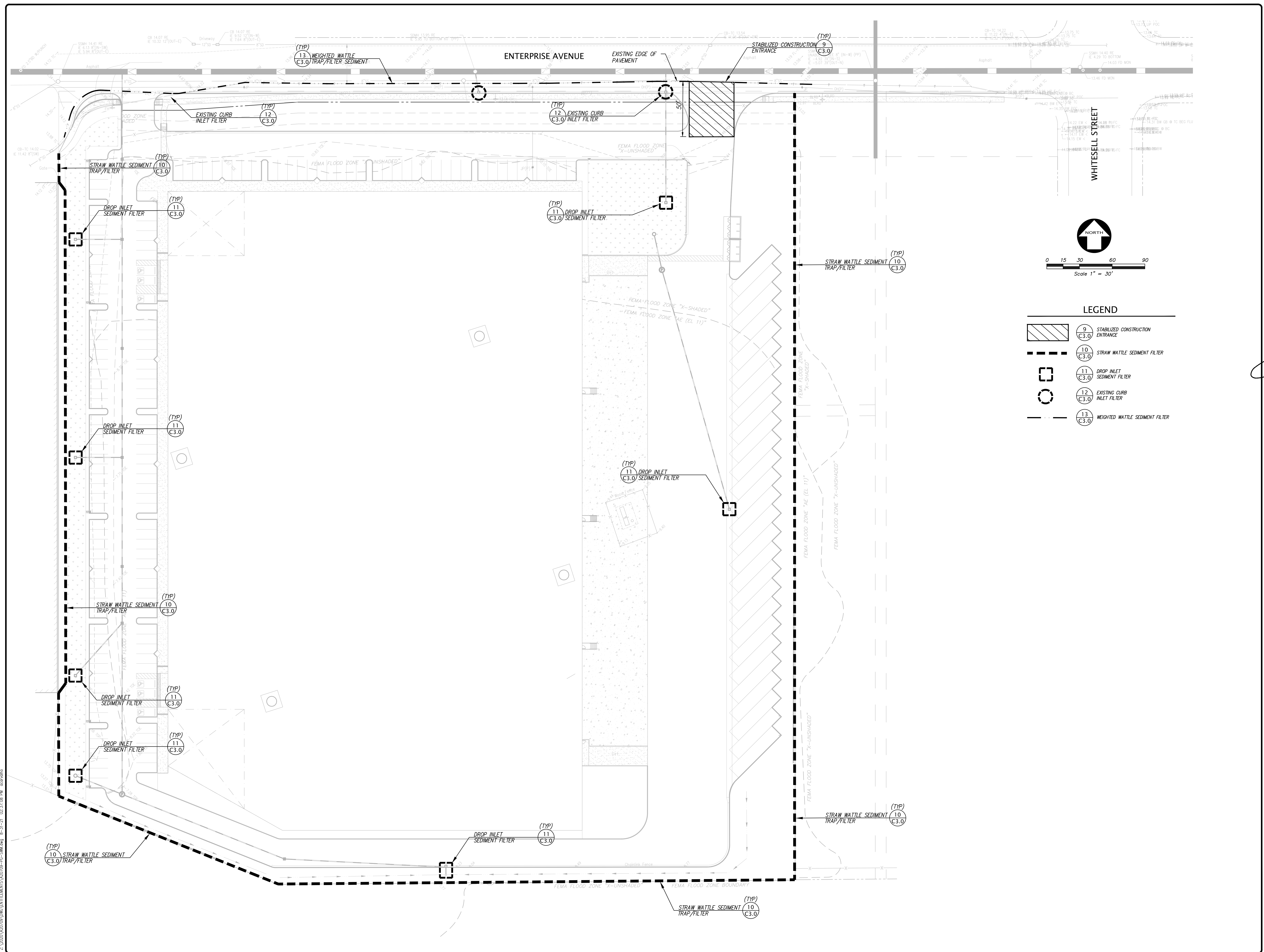


KIER+WRIGHT
 2850 Collier Canyon Road
 Livermore, CA 94551
 Phone: (925) 245-8788
 www.kierwright.com

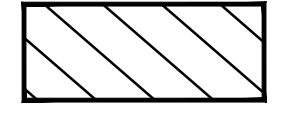

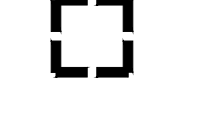


PRELIMINARY UTILITY PLAN
 OF
3636 ENTERPRISE AVENUE
 FOR
DERMODY PROPERTIES

HAYWARD, CALIFORNIA

2:\2020\420709\DWG\ENTITLEMENTS\A20709-PC-SWA.dwg, 8/31/21, 05:37:08 PM, acoradbo




LEGEND

-  (TYP) 9 C3.0 STABILIZED CONSTRUCTION ENTRANCE
-  (TYP) 10 C3.0 STRAW WATTLE SEDIMENT FILTER
-  (TYP) 11 C3.0 DROP INLET SEDIMENT FILTER
-  (TYP) 12 C3.0 EXISTING CURB INLET FILTER
-  (TYP) 13 C3.0 WEIGHTED WATTLE SEDIMENT FILTER

NO.	BY	REVISION	
1		PLAN CHECK COMMENT RESPONSE 7/28/2021	
2		PLAN CHECK COMMENT RESPONSE 8/31/2021	

NO.	BY	REVISION	
1		PLAN CHECK COMMENT RESPONSE 7/28/2021	
2		PLAN CHECK COMMENT RESPONSE 8/31/2021	



KIER+WRIGHT
 2850 Collier Canyon Road
 Livermore, CA 94551
 Phone: (925) 245-8788
 www.kierwright.com

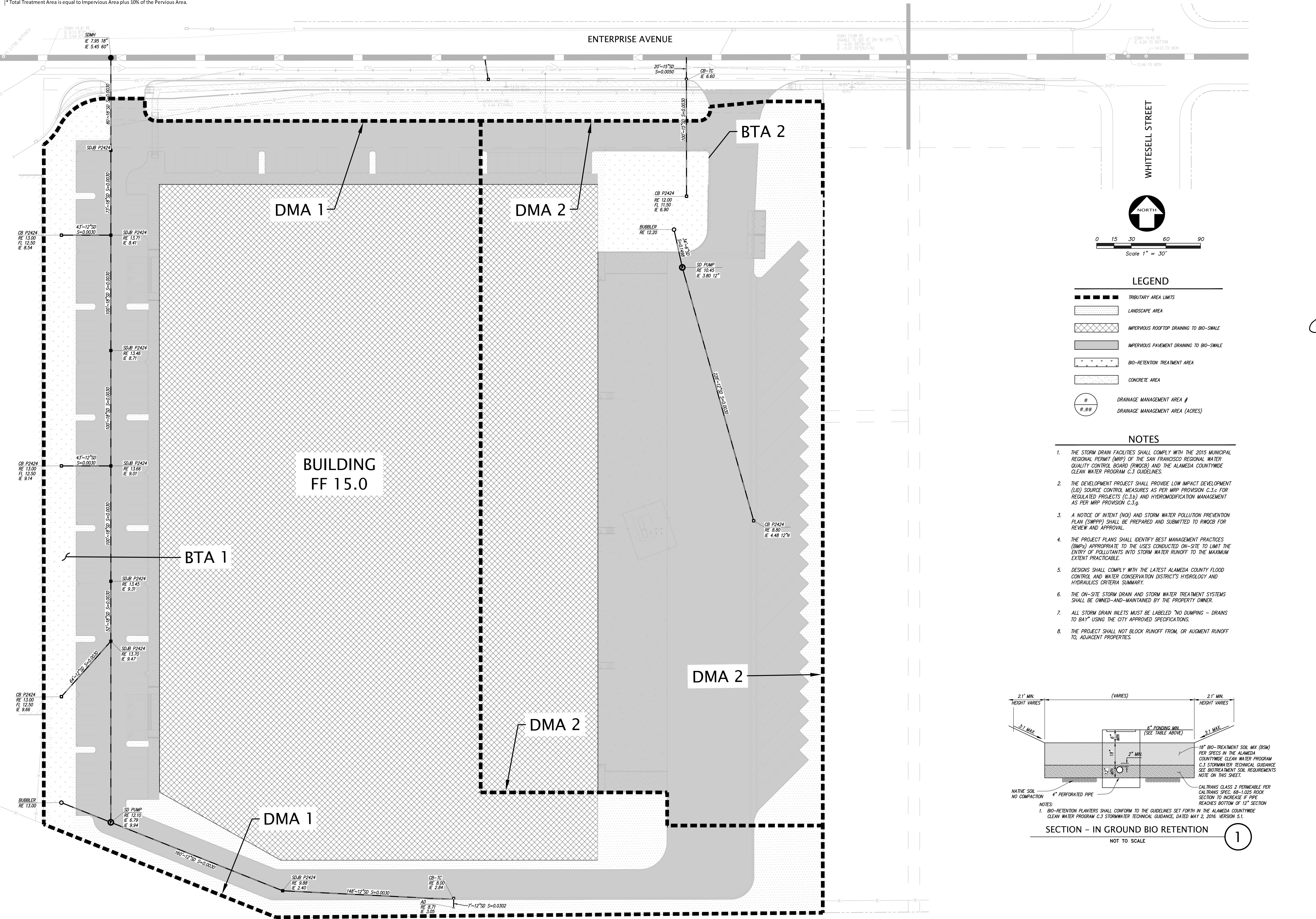
EROSION CONTROL PLAN
 OF
3636 ENTERPRISE AVENUE
 FOR
DERMODY PROPERTIES

HAYWARD, CALIFORNIA

DATE	JUNE, 2021	DESIGNER	AC	JOB NO.	A20709
SCALE	AS SHOWN	DRAWN	STAFF	SHEET	C7.0
OF				SHEETS	

BIORETENTION SIZING CALCULATIONS												
DMA#	TCM#	Area (SF)	Area (AC)	Pervious (SF)	Pervious (AC)	Impervious (SF)	Impervious (AC)	Total Treatment Area* (SF)	BMP Required (SF)	BMP Provided (SF)	Sizing Ratio	Depth of Ponding
1	1	281,477	6.46	26,178	0.60	243,515	5.59	246,133	9,845	11,784	4.79%	6"
2	2	177,968	4.09	14,007	0.32	156,294	3.59	157,695	6,308	7,667	4.86%	6"
Total:		459,445	10.55	40,185	0.92	399,809	9.18	403,828	16,153	19,451		

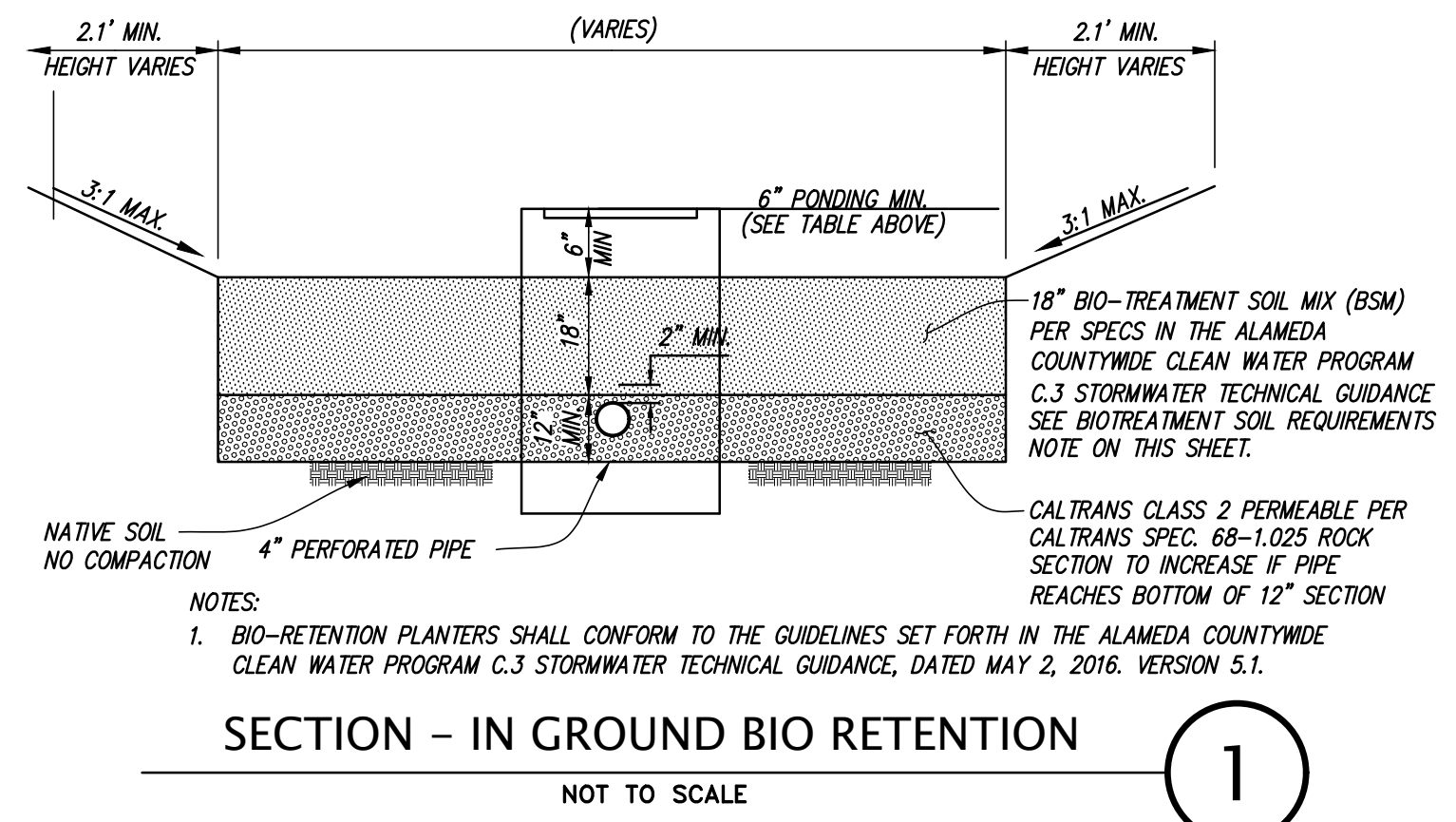
*Total Treatment Area is equal to Impervious Area plus 10% of the Pervious Area.



LEGEND

- TRIBUTARY AREA LIMITS
- LANDSCAPE AREA
- IMPERVIOUS ROOFTOP DRAINING TO BIO-SWALE
- IMPERVIOUS PAVEMENT DRAINING TO BIO-SWALE
- BIO-RETENTION TREATMENT AREA
- CONCRETE AREA
- DRAINAGE MANAGEMENT AREA #
- DRAINAGE MANAGEMENT AREA (ACRES)

- NOTES**
- THE STORM DRAIN FACILITIES SHALL COMPLY WITH THE 2015 MUNICIPAL REGIONAL PERMIT (MRP) OF THE SAN FRANCISCO REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) AND THE ALAMEDA COUNTYWIDE CLEAN WATER PROGRAM C.3 GUIDELINES.
 - THE DEVELOPMENT PROJECT SHALL PROVIDE LOW IMPACT DEVELOPMENT (LID) SOURCE CONTROL MEASURES AS PER MRP PROVISION C.3.c FOR REGULATED PROJECTS (C.3.b) AND HYDROMODIFICATION MANAGEMENT AS PER MRP PROVISION C.3.g.
 - A NOTICE OF INTENT (NOI) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED AND SUBMITTED TO RWQCB FOR REVIEW AND APPROVAL.
 - THE PROJECT PLANS SHALL IDENTIFY BEST MANAGEMENT PRACTICES (BMPs) APPROPRIATE TO THE USES CONDUCTED ON-SITE TO LIMIT THE ENTRY OF POLLUTANTS INTO STORM WATER RUNOFF TO THE MAXIMUM EXTENT PRACTICABLE.
 - DESIGNS SHALL COMPLY WITH THE LATEST ALAMEDA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT'S HYDROLOGY AND HYDRAULICS CRITERIA SUMMARY.
 - THE ON-SITE STORM DRAIN AND STORM WATER TREATMENT SYSTEMS SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.
 - ALL STORM DRAIN INLETS MUST BE LABELED "NO DUMPING - DRAINS TO BAY" USING THE CITY APPROVED SPECIFICATIONS.
 - THE PROJECT SHALL NOT BLOCK RUNOFF FROM, OR AUGMENT RUNOFF TO, ADJACENT PROPERTIES.



STORM WATER QUALITY CONTROL PLAN
OF
3636 ENTERPRISE AVENUE
FOR
DERMODY PROPERTIES

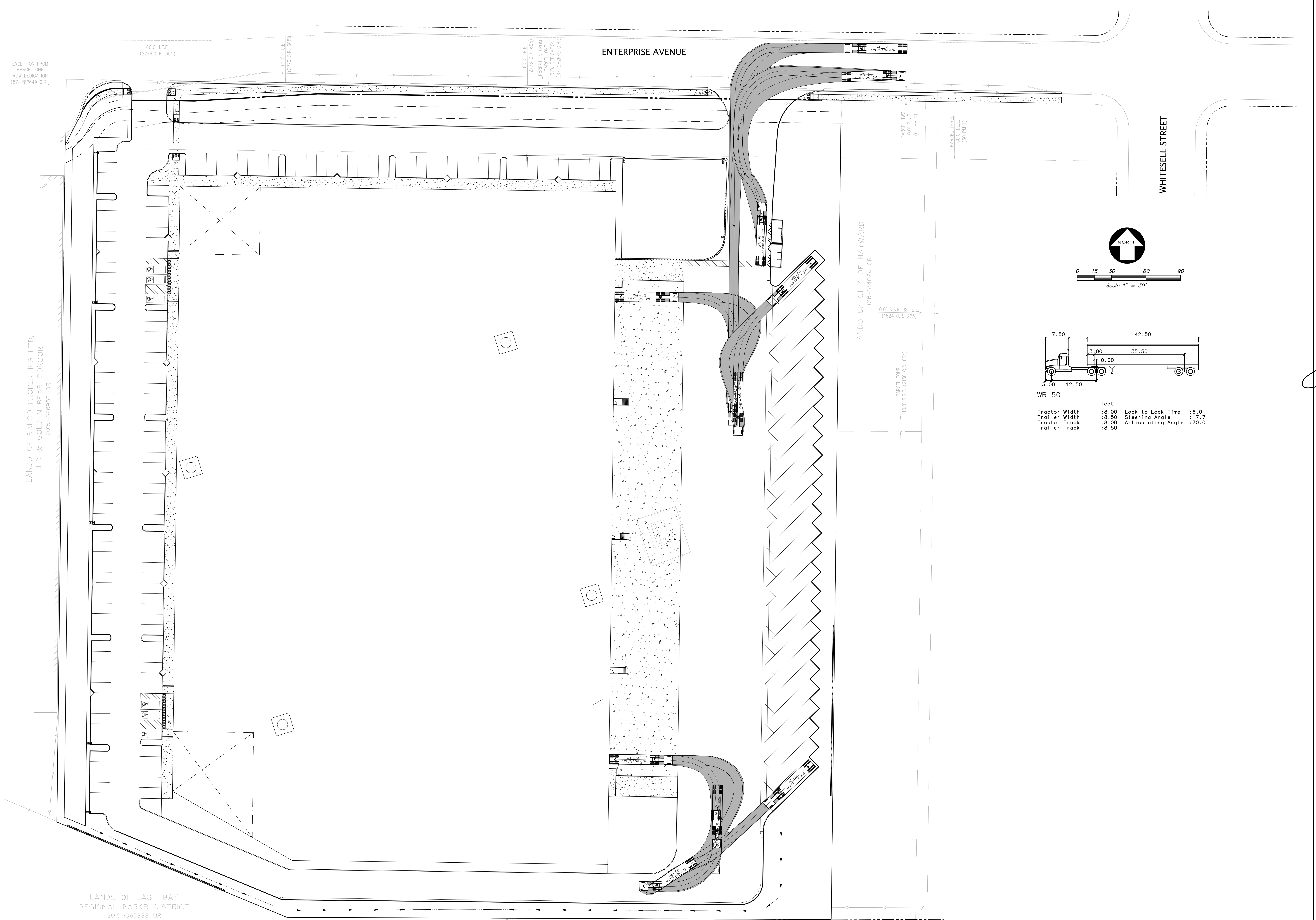
KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

REVISION

NO.	REVISION
1	PLAN CHECK COMMENT RESPONSE 7/28/2021
2	PLAN CHECK COMMENT RESPONSE 8/31/2021

DATE JUNE, 2021
SCALE AS SHOWN
DESIGNER AC
DRAWN STAFF
JOB NO. A20709
SHEET C8.0
OF SHEETS

2:\2020\420709\DWG\ENVIRONMENTALS\2020-PC-SWM.dwg, 8/31/21, 03:37:11 PM, acs@kwr.com



EXCEPTION FROM
PARCEL ONE
R/W DEDICATION
(87-282649 O.R.)

LANDS OF BALCO PROPERTIES LTD.
LLC & GOLDEN BEAR CONSOR
2015-326986 OR

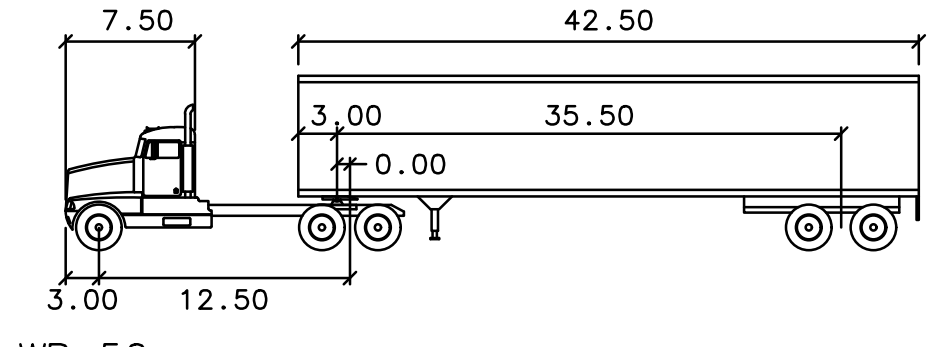
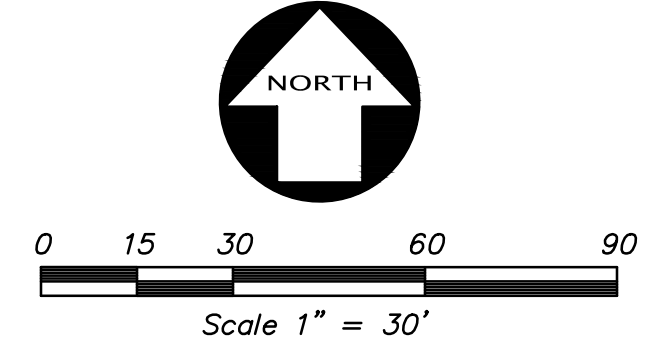
LANDS OF EAST BAY
REGIONAL PARKS DISTRICT
2018-065938 OR

LANDS OF WHITESSELL Z LLC
2005-249313 OR

ENTERPRISE AVENUE

WHITESSELL STREET

LANDS OF CITY OF HAYWARD
2016-184024 OR



WB-50

Tractor Width	:8.00	Lock to Lock Time	:6.0
Trailer Width	:8.50	Steering Angle	:17.7
Tractor Track	:8.00	Articulating Angle	:70.0
Trailer Track	:8.50		

DATE	JUNE, 2021
SCALE	AS SHOWN
DESIGNER	AC
DRAWN	STAFF
JOB NO.	A20709
SHEET	C9.0
OF	SHEETS

NO.	REVISION
1	PLAN CHECK COMMENT RESPONSE 7/28/2021
2	PLAN CHECK COMMENT RESPONSE 8/31/2021
3	
4	
5	

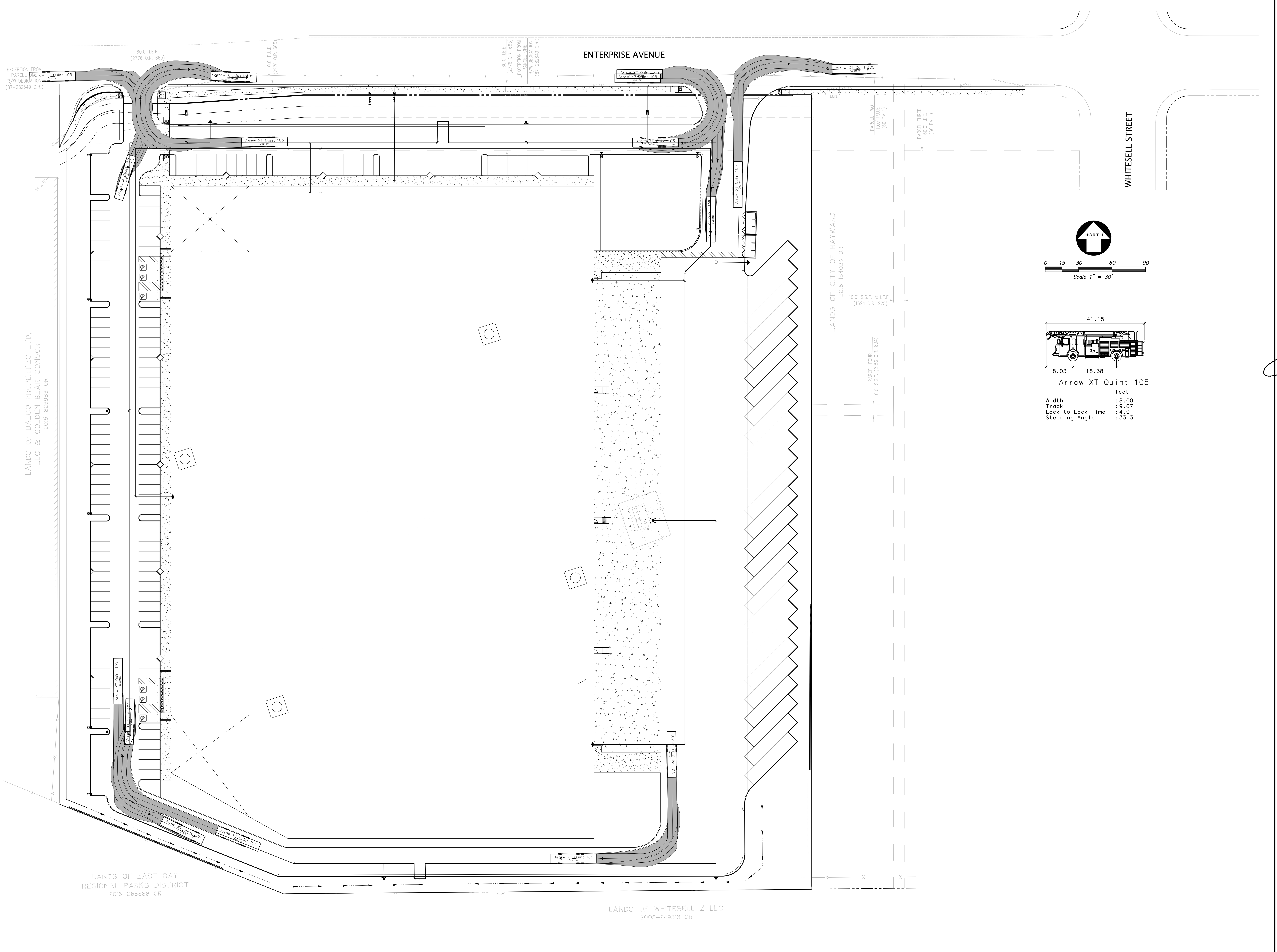
REGISTERED PROFESSIONAL ENGINEER
No. 55112
STATE OF CALIFORNIA

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

HAYWARD, CALIFORNIA

WB-50 TRUCK TURN EXHIBIT
OF
3636 ENTERPRISE AVENUE
FOR
DERMODY PROPERTIES

Z:\2020\A20709\DWG\EXHIBITMENTS\A20709-FC.dwg 8-31-21 02:32:37 PM acornrhp



EXCEPTION FROM
PARCEL
R/W DEED
(87-282649 O.R.)

60.0' I.E.E.
(2776 O.R. 665)

10.0' P.I.L.E.
(2776 O.R. 665)

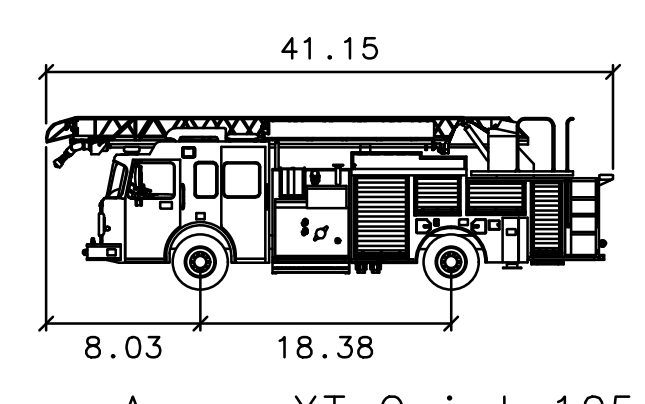
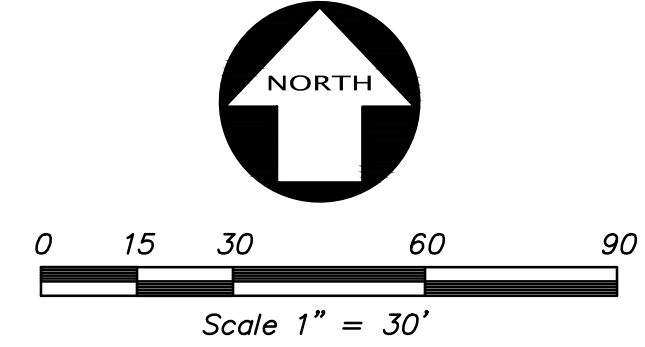
60.0' I.E.E.
(2776 O.R. 665)
EXCEPTION FROM
PARCEL ONE
R/W DEED
(87-282649 O.R.)

ENTERPRISE AVENUE

PARCEL TWO
60.0' I.E.E.
(60 PM 1)

PARCEL THREE
60.0' I.E.E.
(60 PM 1)

WHITESSELL STREET



Arrow XT Quint 105
feet
Width : 8.00
Track : 9.07
Lock to Lock Time : 4.0
Steering Angle : 33.3

LANDS OF BALCO PROPERTIES LTD,
LLC & GOLDEN BEAR CONSOR
2015-326986 OR

LANDS OF CITY OF HAYWARD
2018-184024 OR

10.0' S.S.E. & I.E.E.
(1624 O.R. 225)

PARCEL FOUR
10.0' S.S.E. (256 O.R. 84)

LANDS OF EAST BAY
REGIONAL PARKS DISTRICT
2016-065838 OR

LANDS OF WHITESSELL Z LLC
2005-249318 OR

DATE	JUNE, 2021
SCALE	AS SHOWN
DESIGNER	AC
DRAWN	STAFF
JOB NO.	A20709
SHEET	C10.0
OF	SHEETS

NO.	REVISION
1	PLAN CHECK COMMENT RESPONSE 7/28/2021
2	PLAN CHECK COMMENT RESPONSE 8/31/2021
3	
4	
5	

REGISTERED PROFESSIONAL ENGINEER
No. 55112
STATE OF CALIFORNIA

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

HAYWARD, CALIFORNIA

FIRE TRUCK TURN EXHIBIT
OF
3636 ENTERPRISE AVENUE
FOR
DERMODY PROPERTIES