



PERSPECTIVE VIEW



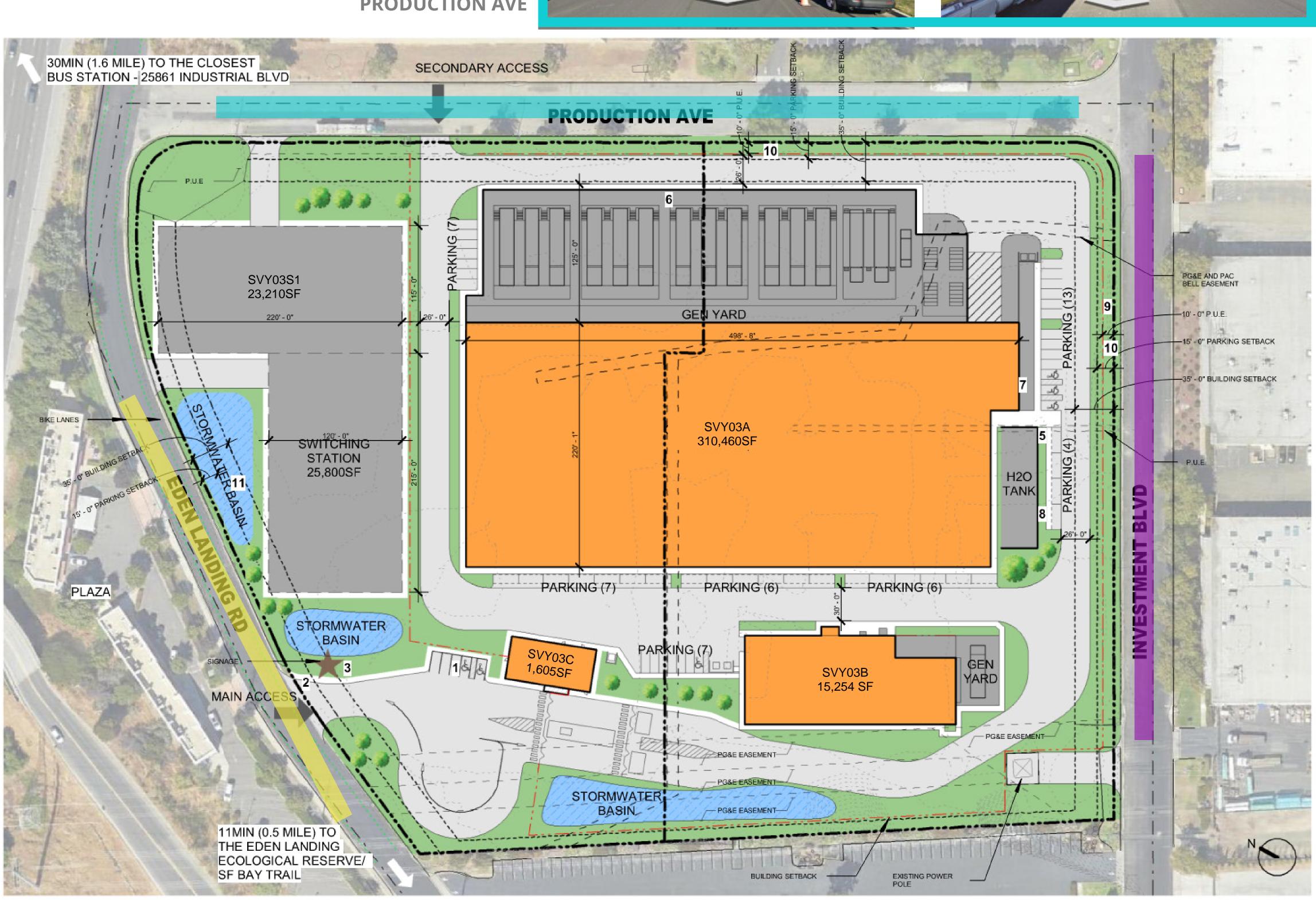
PERSPECTIVE VIEW

PROJECT ADDRESS				
26062 EDEN LAI HAYWARD, CA S				
PROJECT DELIVERY PACKAGE	<u> </u>			
SEAL/SIGNATURE				
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MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive	ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 551-8612 233 South Wacker Drive			
233 South Wacker Drive Suite 5300 Chicago, Illinois 60606233 South Wacker Drive Suite 5300 Chicago, Illinois 60606CIVIL ENGINEERSTRUCTURAL ENGINEER				
STILLE HORNHKSKIMLEY HORNHKSANTHONY VERACLINT NASH(925) 398-4840(214) 969-55994637 Chabot DriveOne Dallas CenterSuite 300350 N. Saint Paul Street, Suite 100				
Pleasanton, California 94588     Dallas, Texas 75201       ARCHITECT HKS     FIRE PROTECTION ENGINEER ESD GLOBAL				
DUTCH WICKESMICHAEL PARAS(214) 969-5599(312) 372-1200One Dallas Center233 South Wacker Drive350 N. Saint Paul Street, Suite 100Suite 5300 chicago,Dallas, Texas 75201Illinois 60606				
TELECOM ENGINEER ESD GLOBAL TODD GRIMES (312) 372-1200	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822			
233 South Wacker Drive315 Montgomery StreetSuite 530010th FloorChicago, Illinois 60606San Francisco, California 94104PROJECT:				
BUILDING A SHELL TITLE: ARCHITECTURAL ELEVATION				
DRAWING:	608			
E1 SCALE: AGI	ILE No: REV:			

# **SITE PLAN**



EDEN LANDING RD



FAR: 0.67 **REQUIRED PARKING: 182 Spaces** PARKING PROVIDED: 64 Spaces % LANDSCAPE: 33%







**PRODUCTION AVE** 





**INVESTMENT BLVD** 

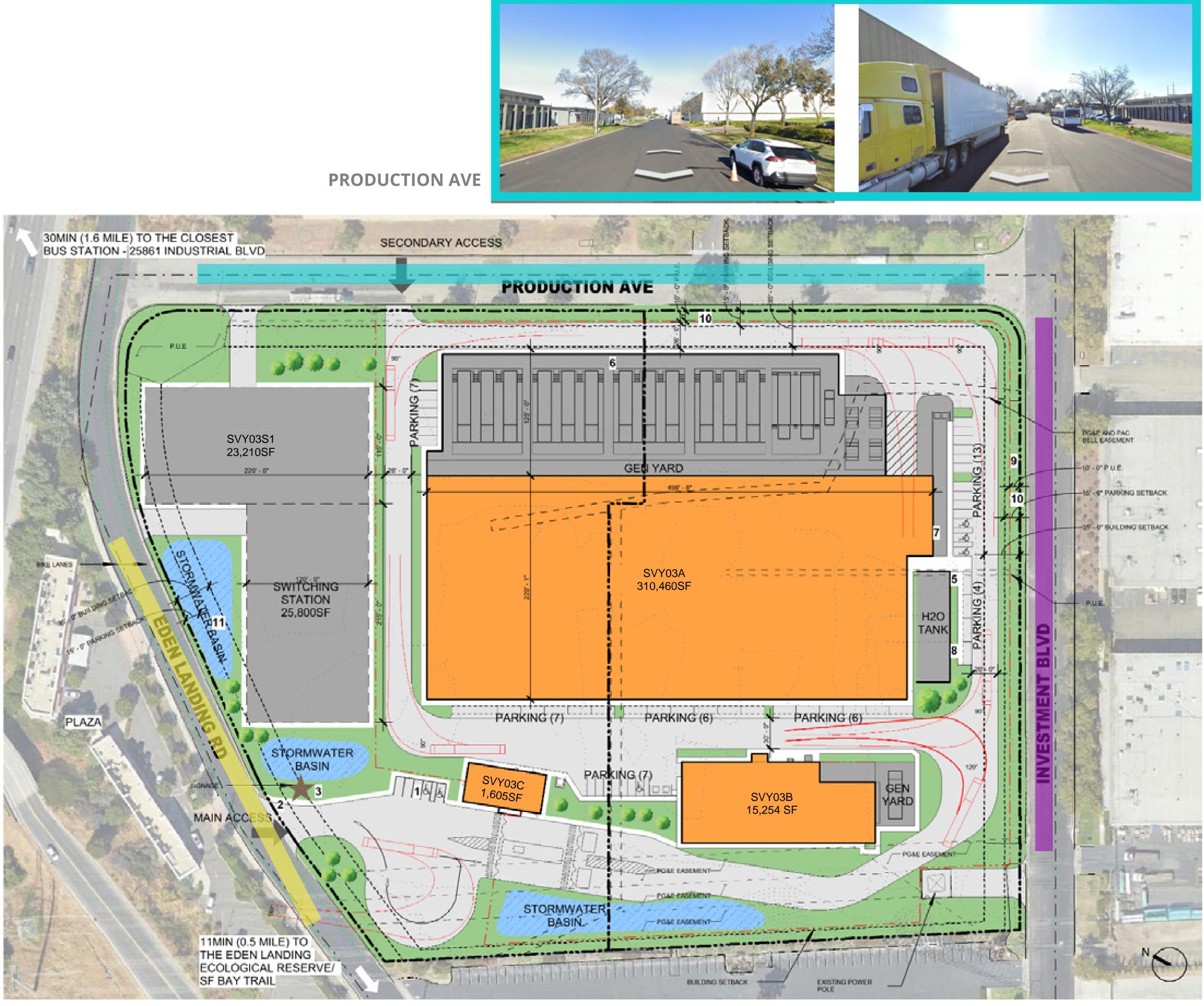




# **SITE PLAN - WB67 TURNING**

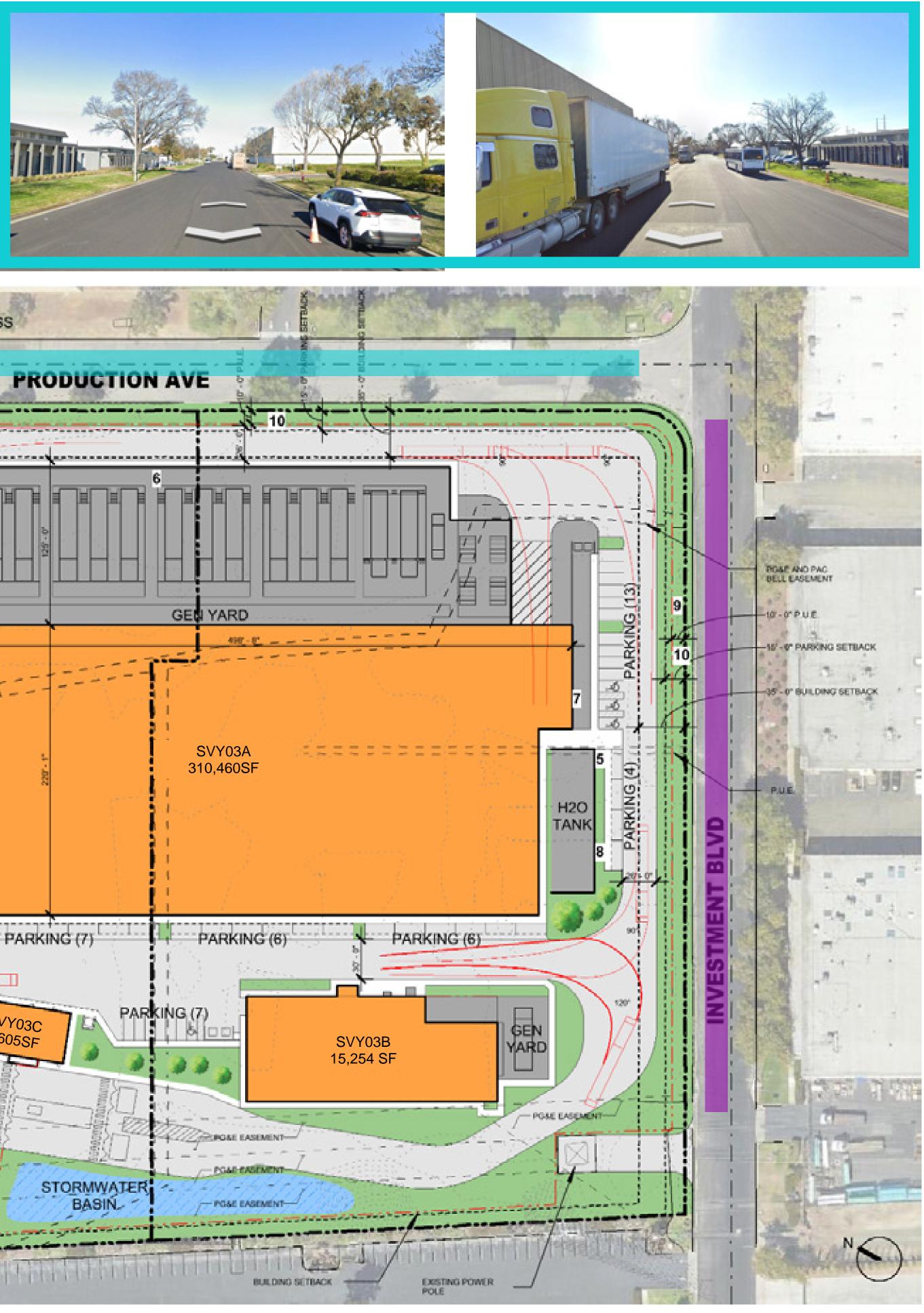


EDEN LANDING RD









# **SVY03 STACK HAYWARD DATA CENTER**



**INVESTMENT BLVD** 







# **PRECEDENCE - STACK PROJECTS**



**GLAZING: TINTED** 





**MATERIALS: METAL PANELS GLAZING: TINTED COLORS: GROWN, LIGHT GREY, WHITE** 



# **SVY03 STACK HAYWARD DATA CENTER**









**MATERIALS: METAL PANELS COLORS: LIGHT GREY, WHITE** 



**MATERIALS: METAL PANELS, CONC PANELS GLAZING: SPANDREL, TINTED COLORS: SILVER, WHITE, DARK ACCENTS** 

**MATERIALS: METAL PANELS, CONC PANELS GLAZING: SPANDREL, TINTED COLORS: SILVER, BEIGE, BROWN ACCENTS** 

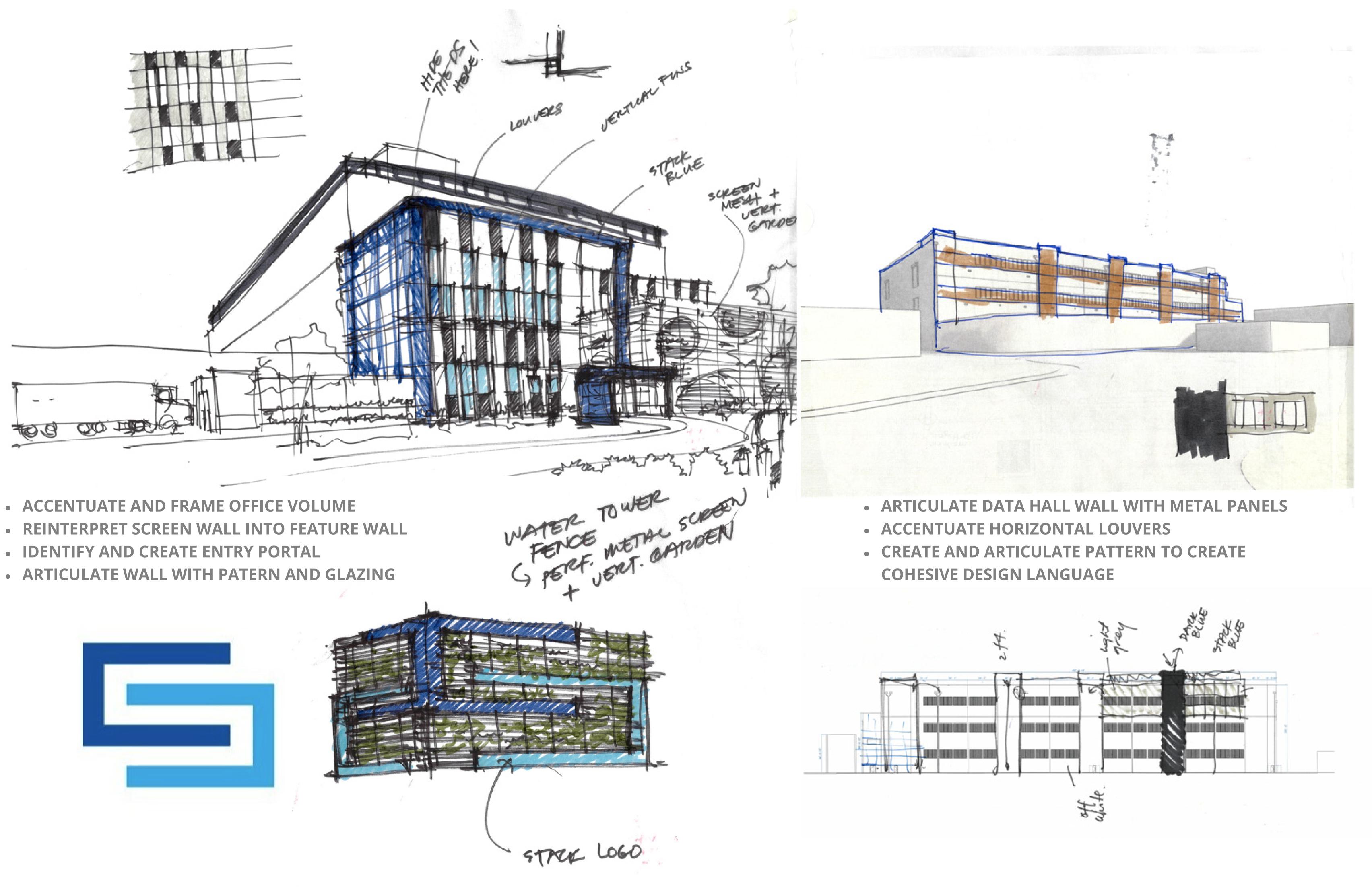


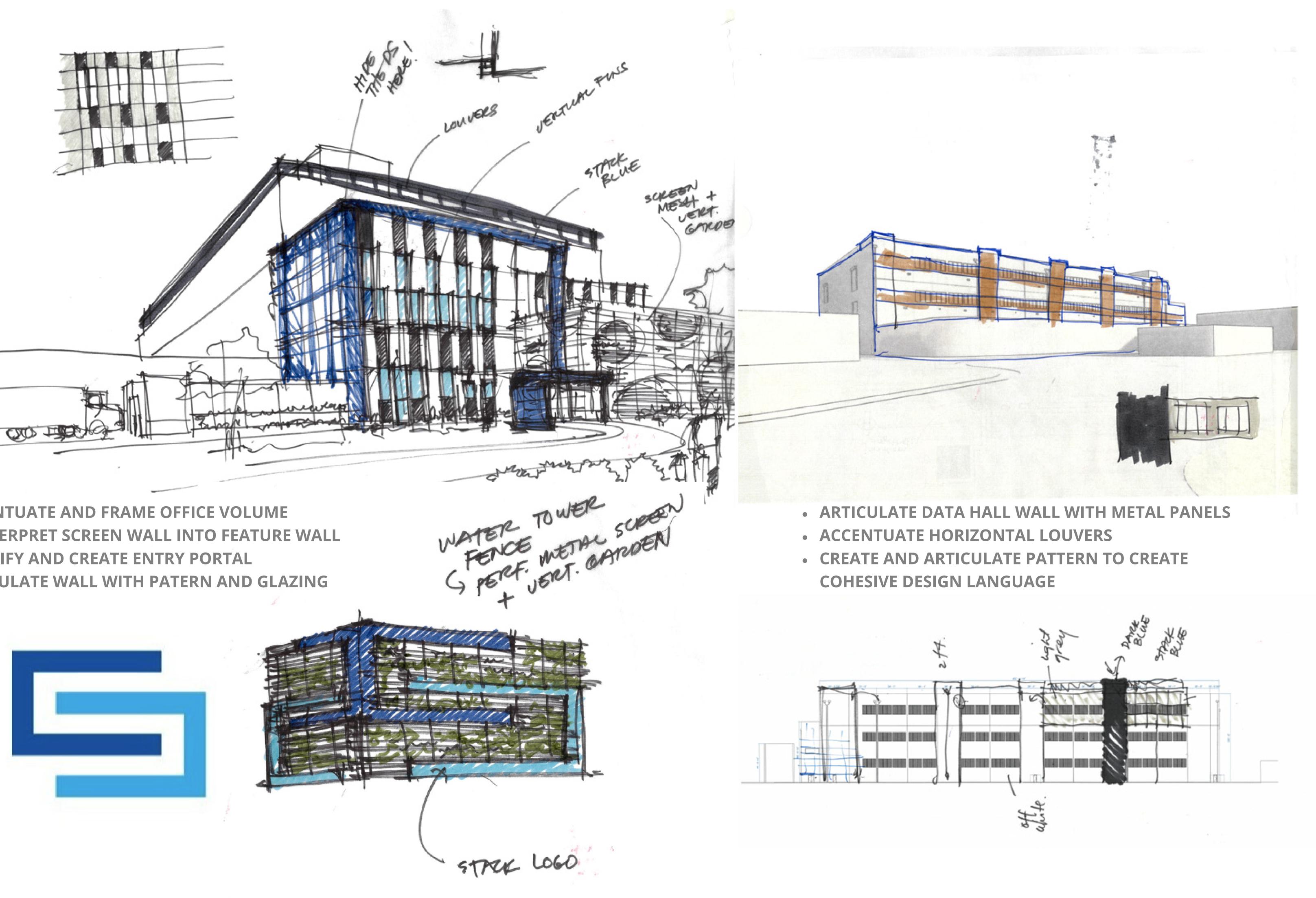
**MATERIALS: METAL PANELS GLAZING: SPANDREL, TINTED COLORS: GOLD, SILVER** 





# **CONCEPT SKETCHES**









# **SVY03 STACK HAYWARD DATA CENTER**





### **CONCEPT STUDY - ENTRANCE VIEW**



### HAYWARD DESIGN GUIDELINES:

Incorporate architectural features such as awnings, canopies, trellises, and/or other treatments such as vertical architectural features or unique building colors or materials to clearly identify primary building entries.



Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.



### Provide articulation and detailing on all elevations of a building and include elements

such as recesses, columns, score lines, reveals,









LIGHT BLUE LIGHT GREY LIGHT GREY

### MATERIAL CONSIDERATIONS





PERFORATED SCREEN ARCHITECTURAL LOUVERS





CONCRETE PANEL METAL PANEL

### SVY03 STACK HAYWARD DATA CENTER

### **CONCEPT STUDY - DATA HALL VIEW**



### HAYWARD DESIGN GUIDELINES:

(4)



Desirable massing on street facing building elevations includes variation in

wall plane, variation in wall height. In general, building wall planes visible

from public street should not continue for more than 50 feet without a

 Articulation and detailing continue on side elevation through use of windows, awnings, and other detailing



### COLOR CONSIDERATIONS



LIGHT BLUE DARK GREY LIGHT GREY

### MATERIAL CONSIDERATIONS





PERFORATED SCREEN ARCHITECTURAL LOUVERS



CONCRETE PANEL METAL PANEL

6 Provide screening for mechanical and electrical equipment as an integral part of roof structure design.

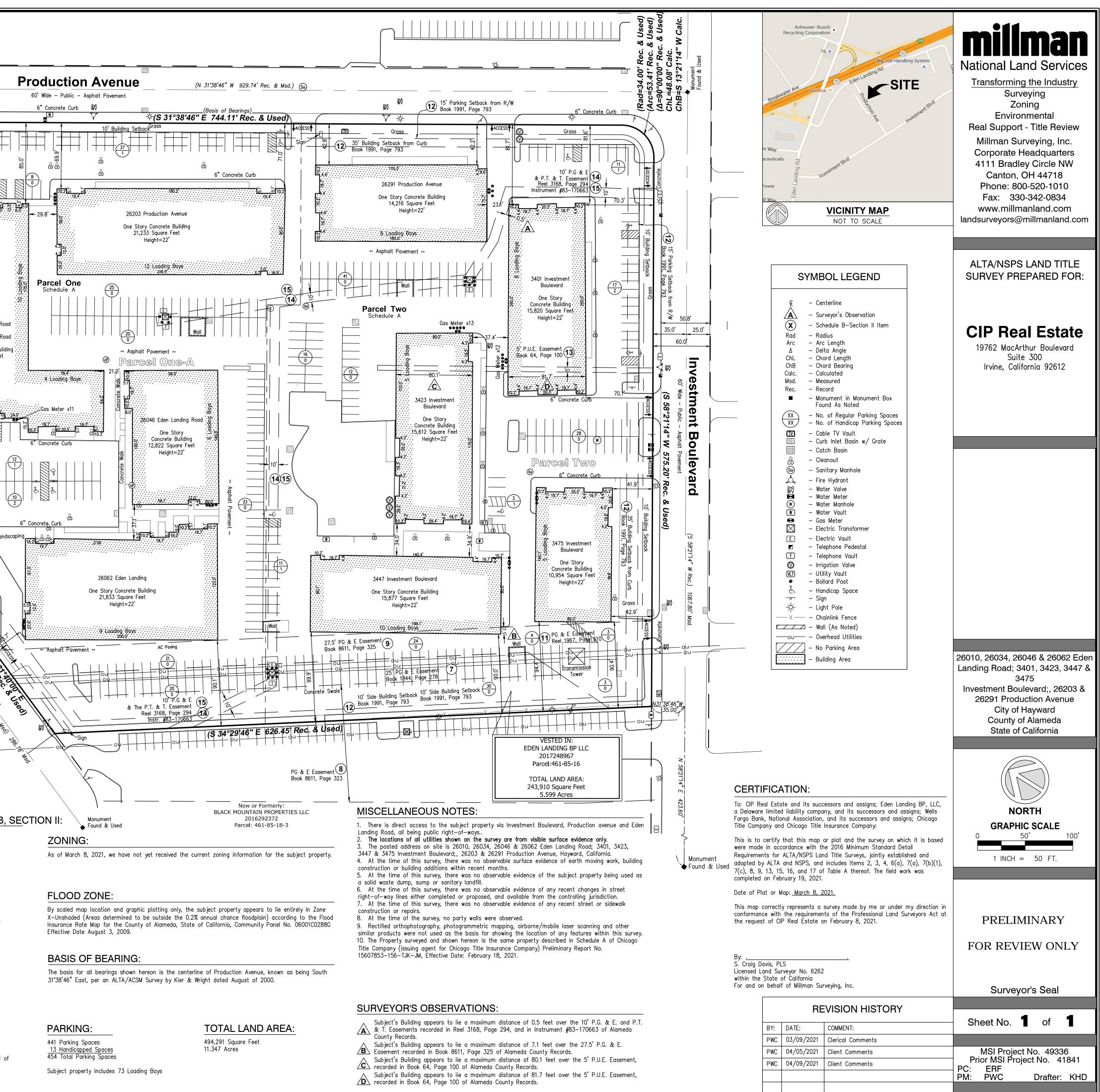




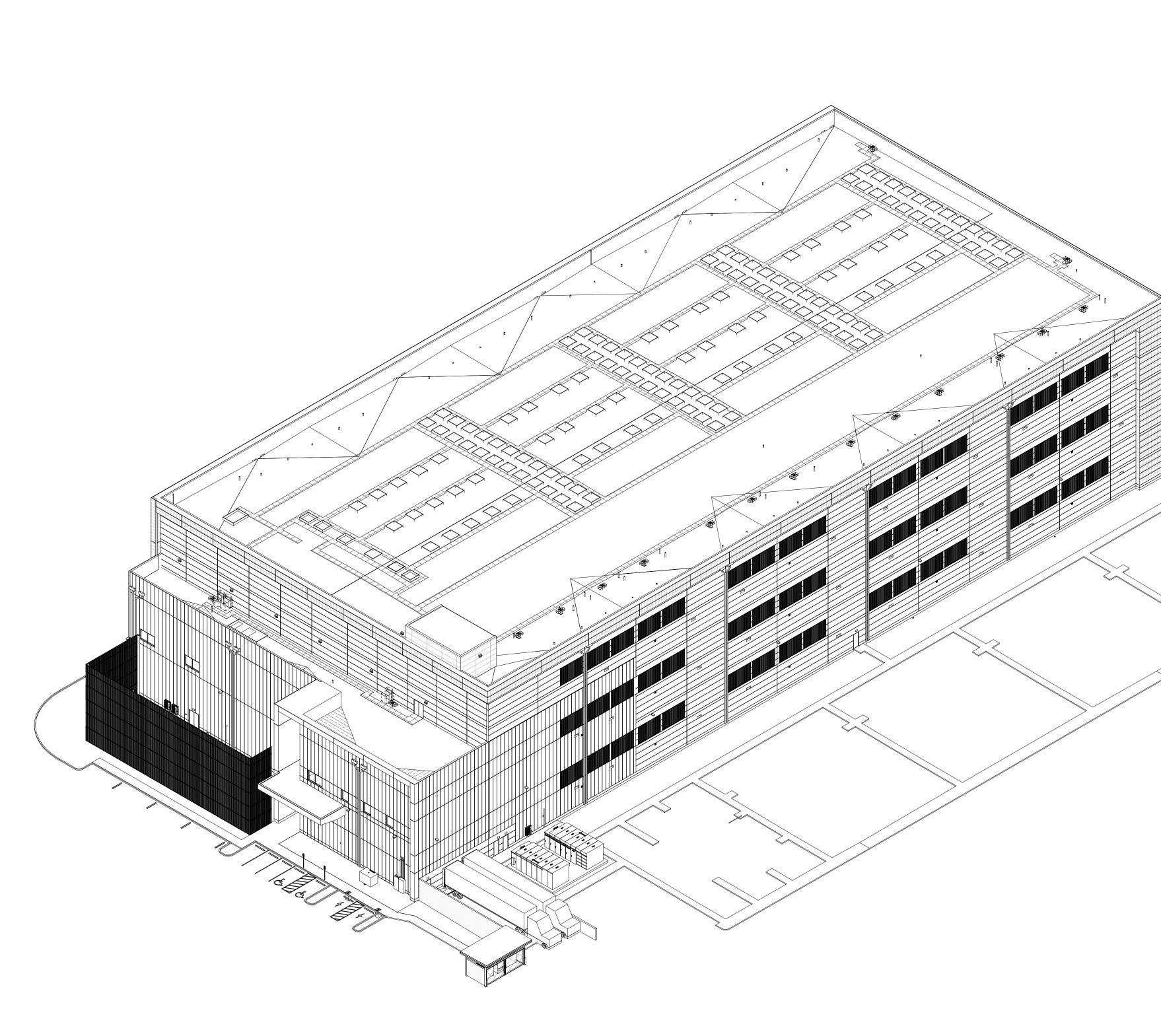
### SVY03 STACK HAYWARD DATA CENTER



CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 15607853-156-TJK-JM - SCHEI THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF HAYWARD, IN STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:	E COUNTY OF ALAMEDA, Δ86°50'51" Rec. & Used) ChL=68.05' Calc.
Parcel One-A: Parcel 1 of Parcel Map No. 660, filed January 8, 1971, in Book 64, Page 100 of Ma Parcel One-B: Being a portion of Production Avenue as dedicated, accepted, and shown on that of Eden Landing Industrial Park filed June 30, 1967, in Book 55 of Maps at Page 25, more particularly described as follows; Beginning at a point lying on the Westerly line of said Production Avenue, said poir terminus of that certain course shown as North 31°37'51" West 744.11 feet on said	tain map of Tract 2898 ameda County Records, being the Northwesterly
Thence along said Westerly line of Production Avenue the following four (4) courses coincident with the general Northerly line of Parcel 1, as shown on Parcel Map 660 Book 64 of Parcel Maps at Page 100, Alameda County Records; 1. South 67°43'45" West 40.00 feet; 2. North 62°21'43" West 63.60 feet;	last said line being
<ol> <li>North 30°56'51" West 16.37 feet to the Westerly boundary of said Tract 2898;</li> <li>North 01°43'39" East 29.23 feet along last said line to the Southerly line of Ede in the Relinquishment of Highway Right of Way in the County of Alameda, Road 04 No. 31413 recorded January 25, 1968 on Reel 2114 at Image 872, Official Records 5. Thence North 61°31'18" East 8.94 feet along last said line to the beginning of a having a radius of 49.50 feet;</li> <li>Thence Easterly and Southeasterly 75.03 feet along said curve through a centra prolongation of said Westerly line of Production Avenue;</li> <li>Thence South 31°37'51" East 52.05 feet along last said line to the Point of Beg As vacated by the City of Hayward in Resolution No. 19-041 recorded March 12, 2 2019044285, of Alameda County Records. APN: 461-0085-052-01</li> <li>Parcel Two: Parcel Z of Parcel Map No. 660, filed January 8, 1971, in Book 64, Page 100 of M</li> </ol>	ALA-92-3.4-4.5 Request said County; urve concave Southerly and ingle of 86*50'51" to the bing; 9 Instrument No.
APN: 461-0085-016-00	
COMMITMENT NO. 15607853-156-TJK-JM - SCHE	ULE B, SECTION II:
Numbers correspond with survey—related Schedule B exception items contained in the referenced Title Commitment.	above
7. Easement(s) for the purpose(s) shown below and rights incidental thereto, as gr document:	
Granted to:Pacific Gas and Electric CompanyPurpose:Transmission and Distribution of ElectricityRecording Date:December 19, 1910Recording No.:Book 1844 of Deeds, Page 278Affects:Portion of Parcels One and Two, and as shown on Parcel Map 6filed January 8, 1971, Parcel Map Book 64, Page 100, of Official(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)	
<ol> <li>8. Easement(s) for the purpose(s) shown below and rights incidental thereto, as gr document:</li> </ol>	
Granted to: Pacific Gas and Electric Company Purpose: Transmission and Distribution of Electricity	
Recording Date: March 5, 1958 Recording No.: Book 8611, Page 323, of Official Records Affects: Portion of Parcels One and Two, and as shown on Parcel Map 6 Filed January 8, 1971, Parcel Map Book 64, Page 100, of Official	
Limitations on the use, by the owners of said Land, of the easement area as set easement document shown hereinabove.	th in the
Reference is hereby made to said document for full particulars. (AFFECTS THE SUBJECT PROPERTY — PLOTTED AND SHOWN HEREON) 9. Easement(s) for the purpose(s) shown below and rights incidental thereto, as gr document:	
Granted to: Pacific Gas and Electric Company Purpose: Transmission and Distribution of Electricity Recording Date: March 5, 1958 Recording No.: Book 8611, Page 325, of Official Records Affects: Portion of Parcels One and Two, and as shown on Parcel Map 6 filed January 8, 1971, Parcel Map Book 64, Page 100, of Official	(Arc = 79.27' Rec. & Used) $\Delta = 12^{\circ}16'27'' Rec. & Used)$ Chl = 79.12' Calc
Limitations on the use, by the owners of said Land, of the easement area as set easement document shown hereinabove.	
Reference is hereby made to said document for full particulars. (AFFECTS THE SUBJECT PROPERTY — PLOTTED AND SHOWN HEREON)	
10. A waiver of any claims for damages by reason of the location, construction, lar maintenance of a contiguous freeway, highway or roadway, as contained in the Doc November 27,1963, Book/Reel 1055, Page/Image 981, Official Records. (BENEFITS THE SUBJECT PROPERTY — AREA DESCRIBED IS WITHIN THE CURRENT DED RIGHT—OF—WAY OF EDEN LANDING ROAD)	scaping or Parcel: 461-85-52-1
11. Easement(s) for the purpose(s) shown below and rights incidental thereto, as g document:	nted in a
Granted to: Pacific Gas and Electric Company Purpose: Transmission and Distribution of Electricity Recording Date: May 22, 1967 Recording No.: Reel 1967, Image 510, of Official Records Affects: Portion of Parcel Two, and as shown on Parcel Map 660, filed January 8, 1971, Parcel Map Book 64, Page 100, Official Re	rds.
Limitations on the use, by the owners of said Land, of the easement area as set easement document shown hereinabove.	
Reference is hereby made to said document for full particulars. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON) 12. Covenants, conditions and restrictions but omitting any covenants or restrictions	CHICAGO TITLE INSURANCE COMPANY <u>COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE B</u> ,
including but not limited to those based upon race, color, religion, sex, sexual orier status, marital status, disability, handicap, national origin, ancestry, source of incon gender identity, gender expression, medical condition or genetic information, as set applicable state or federal laws, except to the extent that said covenant or restrict permitted by applicable law, as set forth in the document	Ition, familial , gender, rth in n is Purpose: Public utilities
Recording Date: June 30, 1967 Recording No.: Reel 1991, Image 793, of Official Records	Recording Date: July 8, 1971 Recording No.: Reel 2894, Image 770, of Official Records Affects: Portion of Parcels One and Two
Modification(s) of said covenants, conditions and restrictions	and Recording Date: June 28, 1972 and Recording No.: Reel 3168, Image 294, of Official Records
Recording Date: March 30, 1973 Recording No.: Reel 3378, Image 850, of Official Records	Notice of Location Recorded by Pacific Gas and Electric Company and Recorded April 27, 1972, Reel 3117, Image 962, Official Records.
Modification(s) of said covenants, conditions and restrictions Recording Date: May 18, 1973 Recording No : Reel 3420 Image 499 of Official Records	The terms and provisions contained in the Document Entitled "Relocation Agreement" Recorded June 20, 1997, as Instrument No. 97—154100, of Official Records.
Recording No.: Reel 3420, Image 499, of Official Records (Affects Parcels One and Two) (AFFECTS THE SUBJECT PROPERTY AS TO BUILDING AND PARKING SETBACKS - PLO	Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.
SHOWN HEREON)	(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)
<ol> <li>Easement(s) for the purpose(s) shown below and rights incidental thereto as de offered for dedication, on the map of said tract/plat;</li> </ol>	document:
Purpose: Public utilities Affects: Portion of Parcels One and Two, as shown on Parcel Map 660, filed January 8, 1971, Parcel Map Book 64, Page 100, of Official (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)	Granted to: The Pacific Telephone & Telegraph Company Purpose: Public utilities ecords. Recording Date: September 15, 1983 Recording No.: 83-170663, of Official Records Affects: Portion of Parcels One and Two, whose exact location cannot be determined or record. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)







STRUCTUR

SCOPE OF

NOTES OF

# BUILDING A

## **BUILDING DATA**

JRAL TYPE	FLEX WAREHOUSE AND COMMERCIAL OFFICE
	COMPUTER DATA CENTER AND RELATED OFFICE AREA
<b>OF WORK</b>	NEW COLD DARK AND WET SHELL, TO HAVE SUBSEQUENT PHASED INTERIOR E
F OCCUPANCY	STORAGE ROOMS ARE TO CONTAIN COMPUTER AND MECHANICAL EQUIPMENT COMPONENTS, STORAGE ROOMS ARE NOT INTENDED TO STORE ANY HAZARD FLAMMABLE COMBUSTIBLE LIQUIDS OR CORROSIVE / TOXIC MATERIALS
	THE PRIMARY PURPOSE OF THIS PROJECT IS TO HOUSE COMPUTER EQUIPME INFRASTRUCTURE. THE DATA HALL WILL BE OCCUPIED ONLY DURING PERIODI WORK

R BUILD OUT

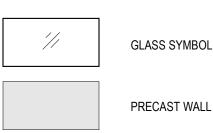
NT SPARE PARTS AND RDOUS MATERIALS SUCH AS

MENT AND ITS SUPPORTING DIC MAINTENANCE AND SERVICE

PROJECT ADDRESS		
26062 EDEN LAN HAYWARD, CA S		
PROJECT DELIVERY PACKAGE		
SEAL/SIGNATURE		
THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET         APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS         SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER         DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE         CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS         PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL         RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS         NOT EXHIBITING THIS SEAL.         ISSUE DATE:         PROJECT NO: 25691.000         DESIGNED: HKS         MARK         DATE		
NOT EXHIBITII ISSUE DATE: PI DESIGNED: HKS AI	THIS PROFESSIONAL, AND THIS LY DISCLAIMS ANY AND ALL AN, DRAWINGS OR DOCUMENTS NG THIS SEAL. ROJECT NO: 25691.000 RCHITECT: HKS	
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NOT EXHIBITII         ISSUE DATE:       PI         DESIGNED: HKS       AI         MARK       DATE         I       I         I	HIS PROFESSIONAL, AND THIS         Y DISCLAIMS ANY AND ALL         AN, DRAWINGS OR DOCUMENTS         NG THIS SEAL.         ROJECT NO: 25691.000         RCHITECT:         HKS         DESCRIPTION	
ISSUE DATE:       PI         DESIGNED: HKS       AI         WARK       DATE         Image:	HIS PROFESSIONAL, AND THIS         Y DISCLAIMS ANY AND ALL         AN, DRAWINGS OR DOCUMENTS         NG THIS SEAL.         ROJECT NO: 25691.000         RCHITECT:         HKS         DESCRIPTION	
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### **ARCHITECTURAL LEGEND**

REFERENCE SYN	IBOLS	REFLECTED	CEILING
DET# SHEET#	REFER TO DETAIL NO. ON DRAWING INDICATED NOT ALL DETAIL REFERENCES ARE SHOWN. ALL DETAILS APPLY TO ALL APPLICABLE SITUATIONS, UNO		ACOUSTICAL CEILING AND GRID
DET# SHEET#	ELEVATION TAG: REFER TO ELEVATION NUMBER ON DRAWING INDICATED	xx'-xx" X xx'-xx"	CEILING HEIGHT CHANGE SYMBOL
		X'-X"	FINISH CEILING HEIGHT SYMBOL
	SECTION TAG: REFER TO SECTION NUMBER ON		GRID STARTPOINT SYMBOL
DET# SHEET#	DRAWING INDICATED	AT1	CEILING FINISH TAG
		MS	MOTION SENSOR
1 TITLE		S	CEILING MOUNTED SPEAKER
EET# SCALE	DRAWING TITLE, NUMBER, AND SCALE		CEILING MOUNTED CAMERA
		↓	CEILING MOUNTED SPRINKLER HEAD
TRUE NORTH		, ,	
	NORTH REFERENCE	$\sum_{\mathbf{x}}$	
		×	CEILING MOUNTED STROBE LIGHT
01.578		<ul> <li>● ↓●↓ ↑●↑</li> <li>● ↓● ↓●</li> </ul>	CEILING MOUNTED EXIT SIGNS
A1 NSE1	DOOR IDENTIFICATION TAG	$\overleftarrow{\boldsymbol{x}}  \boldsymbol{x}  \overleftarrow{\boldsymbol{x}}$	WALL MOUNTED EXIT SIGNS - PARALLEL
1 A2A	PARTITION TYPE IDENTIFICATION TAG	<ul> <li>♀ †♀† ‡♀‡</li> <li>♥ †♀ ‡♀</li> </ul>	WALL MOUNTED EXIT SIGNS - PERPENDICULAR
		E	DENOTES EXISTING TO REMAIN
Â		R	DENOTES EXISTING TO BE RELOCATED
	WINDOW TYPE IDENTIFICATION TAG		ACCESS DOOR
ROOM NAME		LIGHT FIXTURES	
00.000	ROOM NAME IDENTIFICATION TAG		FLUORESCENT LIGHT FIXTURE
			FLUORESCENT LIGHT FIXTURE / EMERGENCY CIRCUIT
(PL01)	BATHROOM ACCESSORIES TAG		EXISTING LIGHT FIXTURE TO BE REMOVED
		<b></b>	UNDER CABINET FLORESCENT FIXTURE
			FLUORESCENT STRIP FIXTURE FLUORESCENT PENDANT FIXTURE
		0	RECESSED DOWNLIGHT
	BATHROOM ACCESSORIES TAG	Ô	RECESSED ADJUSTABLE DOWNLIGHT
			RECESSED WALL WASHER TRACK LIGHTING
1 / A201.01		<u>+</u>	SURFACE MOUNTED LIGHT FIXTURE
	SHEET REFERENCE AND MATCHLINE	D	WALL SCONCE
		\$	LIGHT SWITCH
		D \$	DIMMER SWITCH
(CL01) 9'-0" AFF	CEILING IDENTIFICATION TAG	¥ MECHANICAL FIXTURES	
			RETURN AIR
			SUPPLY AIR
			CIRCULAR DIFFUSER
			LINEAR DIFFUSER
		0	EXHAUST FAN



GLASS SYMBOL

### **ARCHITECTURAL ABBREVIATIONS**

£	BRITISH POUND (CURRENCY)	ELAST	ELASTOMERIC	LAV	LAVATORY
\$	DOLLAR (US CURRENCY)	ELEC	ELECTRICAL	LB	POUND
&	AND	EMBED	EMBEDD(ED)(ING)	LP	LOW POINT
с.	7400	ENGR	ENGINEER(ED)	LT	LIGHT
ACCESS	ACCESSORY	ENTR	ENTRANCE	LVLG	LEVELING
ACOUS	ACOUSTIC(AL)	EQ	EQUAL	LVT	LOUVER
AFF	ABOVE FINISHED FLOOR	EQUIP	EQUIPMENT		
AL	ALUMINUM	EPS	EXPANDED POLYSTYRENE	MAX	MAXIMUM
ALT	ALTERNATE	EXIST	EXISTING	MECH	MECHANICAL
ANNUNC	ANNUNCIATOR	EXP JT	EXPANSION JOINT	MEMB	MEMBRANE
ANOD	ANODIZED	EXPS		MET	METAL
			EXPOSE(D)		
APPL	APPLIANCE	EXT	EXTERIOR	MEZZ	MEZZANINE
ARCH	ARCHITECT(URAL)			MFD	MANUFACTURED
AUTO	AUTOMATIC	FAB	FABRICATION	MFR	MANUFACTURER
AVG	AVERAGE	FD	FLOOR DRAIN	MIN	MINIMUM
		FE	FIRE EXTINGUISHER	MISC	MISCELLANEOUS
BCS	BABY CHANGING STATION	FEBR	FORCED ENTRY BULLET RESISTANT	MLWK	MILLWORK
BD	BOARD	FEC	FIRE EXTINGUISHER AND CABINET	MOIST	MOISTURE
BLDG	BUILDING	FHC	FIRE HOSE AND CABINET	MOT	MOTOR(IZED)
BLKG	BLOCKING	FIN	FINISH	MTD	MOUNTED
BOLLD	BOLLARD	FLDG	FOLDING	MU	MIRROR UNIT
BRDLM	BROADLOOM	FLR	FLOOR(ING)		
BU	BUILT UP	FPLC	FIREPLACE	NIC	NOT IN CONTRCT
bo	BOILT OF	FR		NO	NUMBER
0.4.5					
CAB	CABINET	FRJS	FIRE RESISTIVE JOINT SEALANT	NTS	NOT TO SCALE
CEM	CEMENT(ITIOUS)	FRMG	FRAMING		
CER	CERAMIC	FURN	FURNITURE	OPNG	OPENING(S)
CIP	CAST-IN-PLACE	FWC	FABRIC WALL COVERING	OPR	OPERABLE
CLG	CEILING	FXD	FIXED	ORD	OVERFLOW ROOF DRAIN
CMU	CONCRETE MASONRY UNIT	FXTR	FIXTURE	ORNA	ORNAMENTAL
		FAIR	FIATURE		
COATG	COATING			OVFL	OVERVLOW
COILG	COILING	GA	GAUGE	OVHD	OVERHEAD
CONC	CONCRETE	GFRC	GLASS FIBER REINFORCED CONCRETE		
CONSTR	CONSTRUCTION	GFRG	GLASS FIBER REINFORCED GYPSUM	PBD	PARITICLE BOARD
CONT	CONTINUOUS(ATION)	GFRP	GLAS FIBER REINFORCED PLASTER	PDC	POWER DISTRIBUTION CABINET
CONTR	CONTRACT(OR)	GL	GLASS	PEDR	PEDESTRIAN
		GR			-
COV	COVER		GRAD(E)(ING)	PFHO	POWER FACILITIES HAND OFF
CPT	CARPET	GYP	GYPSUM	PLAM	PLASTIC LAMINATE
CRC	COMBINATION RECESSED CABINET			PLAS	PLASTER
CSH	COMMON SUPPLY HEADER	HD	HEAD	PLSTC	PLASTIC
		HDPE	HIGH DENSITY POLYETHYLENE	PLYWD	PLYWOOD
DAHU	DATA HALL AIR HANDLING UNIT	HDWD	HARDWOOD	PNL	PANEL
DBL					
	DOUBLE	HDWE	HARDWARE	POLYST	POLYSTRENE
DEPT	DEPARTMENT	HM	HOLLOW METAL	PORT	PORTABLE
DES	DESIGN(ED)	HORIZ	HORIZONTAL	PREFAB	PREFABRICATED
DET	DETAIL	HP	HIGH POINT	PREFIN	PREFINISHED
DF	DRINKING FOUNTAIN	HVAC	HEATING, VENTILATIING, AND AIR CONDITIONING	PRTECN	PROTECTION
DIA	DIAMETER			PTD	PAPER TOWL DISPENSER
			INFILTRATION		
DIFF	DIFFUSER	INFILTR		PTN	PARTITION
DIM	DIMENSION	INFO	INFORMATION		
DISP	DISPENSER	INSTRUM	INSTRUMENT(ATION)		
DIV	DIVISION	INSUL	INSULATION		
DN	DOWN	INT	INTERIOR		
DR	DOOR	INTLK	INTERLOCK(ING)		
DSCON	DISCONNECT				
DWG	DRAWING	JAN	JANITOR		
		KEE	KETONE ETHYLENE ESTER		
		KIT	KITCHEN		

### SECTIONS INDICATIONS

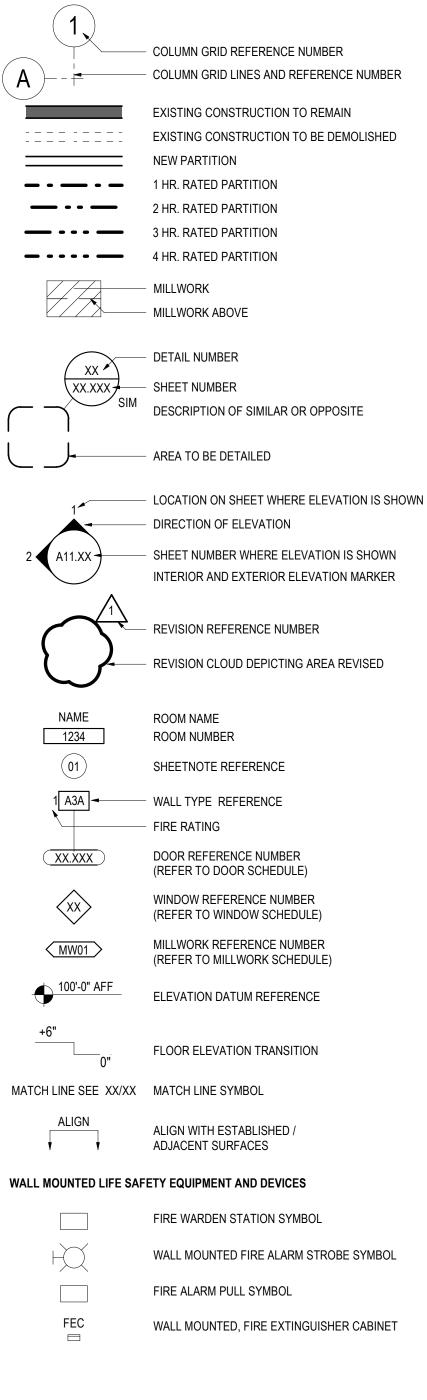
	ACOUSTICAL CEILING TILE
	ALUMINUM
	BRICK
	CARPET
4	CONCRETE
	CONCRETE MASONRY UNIT
	CUT STONE
	EARTH
	FABRIC WRAPPED PANEL
	GLASS
	GRAVEL
	GYPSUM PLASTER
	INSULATION (LOOSE OR BAT
	INSULATION (RIGID)
	METAL
	PLASTIC
	PLYWOOD
a 4	PRE-CAST PANELS
	SAND OR GROUT
	STONE
	WOOD (FINISHED )
	WOOD (CONTINUOUS MEMBE
	WOOD (INTERRUPTED MEMB

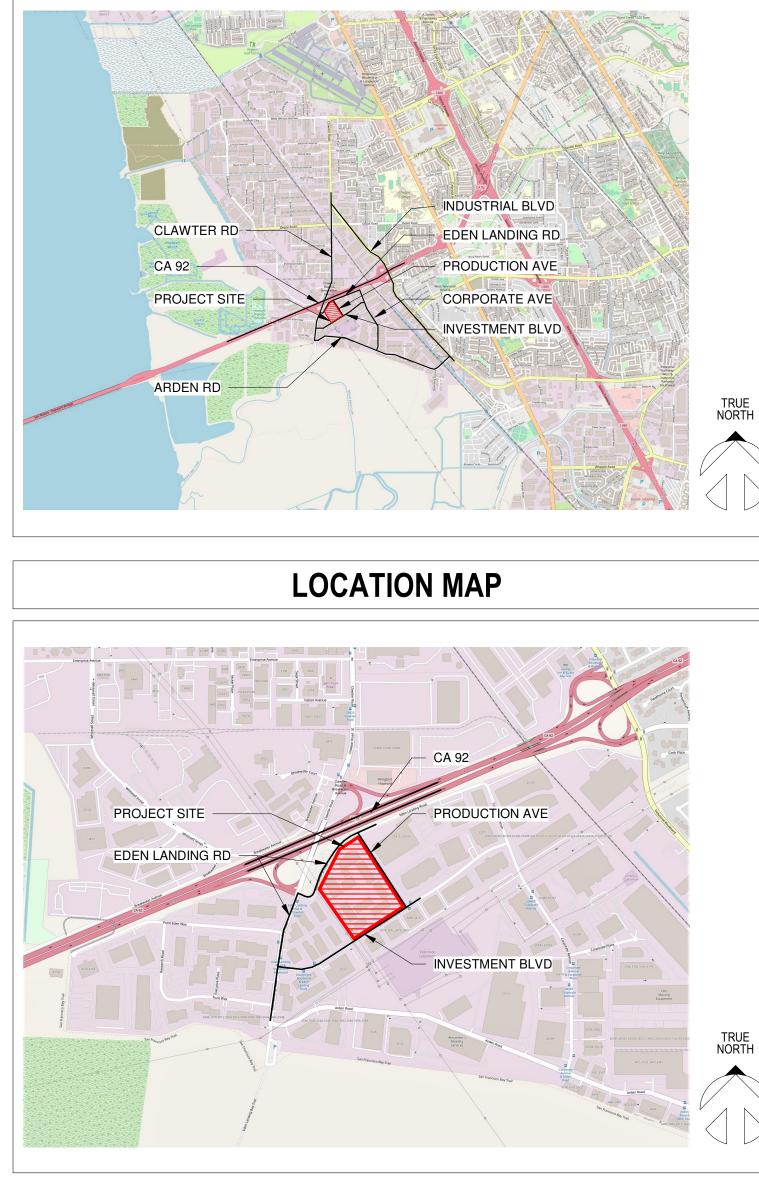
### FINISH

XXXX XXXX	WALL FINISH TAG BASE FINISH TAG
_	- EXTENT OF FINISH TYP.
	WALL FINISH TAG
XXXX	SPECIAL FINISH TAG
XXXXX	FLOOR FINISH TAG
XXXX	CEILING FINISH TAG
<b>—</b> —	CHANGE IN FLOOR FINISH

GRAVEL
GYPSUM PLASTER
INSULATION (LOOSE OR BATT)
INSULATION (RIGID)
METAL
PLASTIC
PLYWOOD
PRE-CAST PANELS
SAND OR GROUT
STONE
WOOD (FINISHED )
WOOD (CONTINUOUS MEMBER)
WOOD (INTERRUPTED MEMBER)
WALL FINISH TAG

### CONSTRUCTION





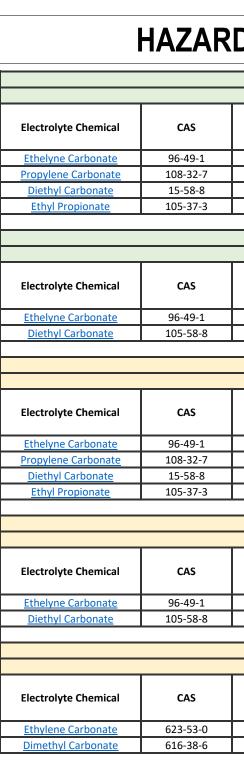
### Architectural Firm: HKS Architect of Record: DUTCH WICKES Architectural Firm's Phone Number: (214) 969-5599 Architectural Firm's Address: ONE DALLAS CENTER 350N. SAINT PAUL STREET, SUITE 100, DALLAS, TEXAS 75201

Civil Firm: KIMLEY HORN Civil Engineer of Record: ANTHONY VERA Civil Firm's Phone Number: (925) 398-4840 Civil Firm's Address: 4637 CHABOT DRIVE SUITE 300, PLEASANTON, CA94588

Structural Firm: HKS Structural Engineer of Record: CLINT NASH Structural Firm's Phone Number: (214) 969-5599 Structural Firm's Address: ONE DALLAS CENTER 350N. SAINT PAUL STREET, SUITE 100, DALLAS, TEXAS 75201

Electrical Firm: ESD GLOBAL Electrical Engineer of Record: REY BERNARDINO Electrical Firm's Phone Number: (312)-551-8612 Electrical Firm's Address: 233 SOUTH WACKER DRIVE SUITE 5300, CHICAGO, ILLINOIS 60606

I	RCP	REFLECTED CEILING PLAN	W/	WITH
	RD	ROOF DRAIN	W/O	WITHOUT
	RDL	ROOF DRAIN LEADER	WC	WATER CLOSET
	RDR	READER	WD	WOOD
	RECES	RECESSED	WDW	WINDOW
	RECPT	RECEPTACLE	WR	WASTE RECEPTACLE
	REF	REFER(ENCE)	WT	WEIGHT
	REFL	REFLECTED	WTRPRF	WATERPROOFING
	REFR	REFRIGERATOR		
I	REINF	REINFORCED (D) (ING) (MENT)	XPS	EXTRUDED POLYSTYRENE
	REQD	REQUIRED		
	RESIL	RESILIENT		
	RESIS	RESIST(ANT)(IVE)		
	RFG	ROOFING		
	RM	ROOM		
	RO	ROUGH OPENING		
I	RP	RESTROOM PARTITION		
	SCD	SEAT COVER DISPENSER		
ę	SCR	SCRIBE		
;	SD	SOAP DISPENSER		
5	SECUR	SECURITY		
	SF	SQUARE FEET		
	SG	SINGLE		
	SHORG	SHORING		
	SIM	SIMILAR		
	SNDU	SANITARY NAPKIN DISPOSAL UNIT		
	SNV	SANITARY NAPKIN VENDOR		
	SST	STAINLESS STEEL		
	STD	STANDARD		
	STL	STEEL		
ę	STRFR	STOREFRONT		
;	STRUCT	STRUCTURAL		
(	SURF	SURFACE		
	SUSP	SUSPENDED		
	SYS	SYSTEM(S)		
	010	0101EM(0)		
	T&G	TONGUE AND GROOVE		
	THK	THICK		
	TLT	TOILET		
	TO	TOP OF		
	TPD	TOILET PAPER DISPENSER		
	TRAF	TRAFFIC		
	TRANS	TRANSPARENT		
•	TRTD	TREATED		
-	TYP	TYPICAL		
l	UNDRLAY	UNDERLAYMENT		
	UNO	UNLESS NOTED OTHERWISE		
	UTIL	UTILITY		
		U.L.T.T		
,	VEH	VECHICLE		
	VERT	VECHICLE		
	VIF	VERIFY IN FIELD		



### **VICINITY MAP**

### **PROJECT TEAM**

Mechanical Firm: ESD GLOBAL Mechanical Engineer of Record: MIKE YOUNG Mechanical Firm's Phone Number: (312) 372-1200 Mechanical Firm's Address: 233 SOUTH WACKER DRIVE SUITE 5300, CHICAGO, ILLINOIS 60606

Fire Protection Firm: ESD GLOBAL Fire Protection Engineer of Record: MICHAEL PARAS Fire Protection Firm's Phone Number: (312)-372-1200 Fire Protection Firm's Address: 233 SOUTH WACKER DRIVE SUITE 5300, CHICAGO, ILLINOIS 60606

Telecom Firm: ESD GLOBAL Telecom Engineer of Record: TODD GRIMES Telecom Firm's Phone Number: (312) 372-1200 Telecom Firm's Address: 233 SOUTH WACKER DRIVE SUITE 5300, CHICAGO, ILLINOIS 60606

> Security Firm: GUIDEPOST Security Engineer of Record: JON JOLIBOIS Security Firm's Phone Number: (415) 616-8822 Security Firm's Address: 315 MONTGOMERY STREET 10TH FLOOR, SAN FRANCISCO, CALIFORNIA 94104

### HAZARDOUS MATERIALS

BBU: WMW TrendPower				
Cell - Samsung SDI INR18650-20				
Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)	
145.5	248	Combustible - Class IIIB		
135.5	242	Combustible - Class IIIB	0.11	
25	126 - 128	Flammable - Class IC	0.11	
12	99	Flammable - Class IB		
BBU: WN	/IW Panasonic			
Cell: Panas	onic UR18650RX			
Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)	
145.5	248	Combustible - Class IIIB	0.15	
25	126 - 128	Flammable - Class IC	0.15	
BBU:	RP LiteOn			
Cell - Samsun	g SDI INR18650-20			
Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)	
145.5	248	Combustible - Class IIIB		
135.5	242	Combustible - Class IIIB	0.132	
25	126 - 128	Flammable - Class IC	0.132	
12	99	Flammable - Class IB		
<u>BBU: R</u>	P Panasonic			
Cell: Panas	onic UR18650RX			
Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)	
145.5	248	Combustible - Class IIIB	0.15	
25	126 - 128	Flammable - Class IC	0.15	
	P Flextronic			
Cell: Murat	ta US18650VTC4			
Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)	
23.9	107	Flammable - Class IC	0.09	
16	86	Flammable - Class IB	0.09	

### **PROJECT INFORMATION**

FOLLOWING ARE THE PLANS OUTLINING THE SCOPE OF WORK REQUIRED FOR A NEW DATA CENTER BUILDING. WORK INCLUDES CONSTRUCTION OF NEW EXTERIOR AND INTERIOR PARTITIONS, CEILINGS, FINISHES, MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION AS INDICATED ON DRAWINGS.

THE DRAWINGS, IN CONCERT WITH THE PROJECT MANUAL, COMPRISE THE CONTRACT DOCUMENTS OUTLINING THE DESIGN

INTENT AND PROJECT SCOPE, AND MAY BE SUPPLEMENTED BY FURTHER INFORMATION ISSUED BY ARCHITECT. THE DRAWINGS ARE ARRANGED IN GENERAL TO SPECIFIC ORDER, FOLLOWING A TOP TO BOTTOM, LEFT TO RIGHT FORMAT. CONTRACTORS ARE ADVISED TO READ AND FAMILIARIZE THEMSELVES WITH THE INFORMATION IN THE PROJECT MANUAL, AS WELL AS THE GENERAL LEGENDS CONTAINED IN THE G SERIES OF DRAWINGS, PRIOR TO REVIEW OF THE PLANS, ELEVATIONS AND DETAILS. ADVISE THE ARCHITECT WHERE INTENT IS NOT CLEARLY PERCEIVED, PRIOR TO PROCEEDING WITH WORK.

BUILDING ADDRESS:	26062 EDEN LANDING ROAD (BUILDING A ON CAMPUS) HAYWARD, CALIFORNIA 94545
BUILDING JURISDICTION:	CITY OF HAYWARD, CALIFORNIA
APPLICABLE CODES:	2022 CALIFORNIA BUILDING CODE (VOLUMES 1 AND 2) 2022 CALIFORNIA BUILDING CODE FOR ACCESSIBILITY (CHAPTER 11B) 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
	HAYWARD CALIFORNIA MUNICIPAL CODE 2023, CHAPTERS 10, 11
STRUCTURE TYPE:	FLEX WAREHOUSE AND COMMERCIAL OFFICE
PURPOSE OF SPACE:	SINGLE-TENANT COMPUTER DATA CENTER
SCOPE OF WORK:	<ul> <li>DEMOLITION</li> <li>DEMOLITION OF THE EXISTING SITE ELEMENTS BUT NOT LMITED TO BUILDINGS, PAVING AND VEGETATION</li> </ul>
	<ul> <li>SITE</li> <li>GRADING, EXCAVATION AND SOIL IMPROVEMENTS AS REQUIRED FOR NEW CONSTRUCTION OF BUILDINGS AND ALL SUPPORTING FEATURES</li> <li>INSTALLATION OF NEW UTILITY SYSTEMS TO SUPPORT THE BUILINGS FOR INTENDED USE, SUCH AS ELECTRICAL, WATER, SEWER, AND STORM WATER FEATURES</li> <li>INSTALLATION OF NEW SITE CIRCULATION FEATURES (WALKWAYS, RAMPS, ACCESS ROADWAYS AND PARKING FEATURES</li> <li>PROVIDE LANDSCAPING AND OTHER PERVIOUS AREAS</li> </ul>
	<ul> <li>BUILDING CONSTRUCTION</li> <li>FOUNDATIONS, STRUCTURAL STEEL FRAMEWORK, EXTERIOR WALL SYSTEM ROOF WITH SLOPED DRAINAGE, SCUPPERS AND DOWNSPOUTS. INSTALLATION OF WINDOWS, ACCESS DOORS AND LOADING DOORS</li> <li>GENERATOR YARD TO SUPPORT BUILDING'S INTEDED FUNCTIONS</li> <li>INSTALLATION OF FIRE, SIFE SAFETY SYSTEMS FOR SPRINKLER I-B(?) CONSTRUCTION PER BUILDING CODE</li> <li>INSTALLATION OF CIRCULATION SYSTEMS INCLUDING 2 ELEVATORS</li> <li>INSTALLATION OF ALL UTILITY AND MECHCANICAL SYSTEMS NECESSARY FOR THE BUILDING'S INTENDED FUNCTIONS</li> </ul>
OCCUPANCY / USE:	GROUP B (ELECTRONIC DATA PROCESSING)
CONSTRUCTION TYPE: HEIGHT OF BUILDING:	TYPE I-B TOP OF MAIN PARAPET= 100' - 00" TOP OF MAIN ROOF = 93' - 2"
NUMBER OF STORIES IN BUILDING:	3 (ABOVE GRADE), 0 BELOW GRADE
TOTAL FLOOR AREA:	LEVEL 01 - 105,750 SF LEVEL 02 - 105,750 SF LEVEL 03 - 98,960 SF
FIRE SUPPRESSION:	100% SPRINKLERED PER NFPA 13 & DRY STANDPIPE SYSTEMS
FIRE ALARM SYSTEM:	FIRE ALARM SYSTEM FOR SUPPRESSION SYSTEM MONITORING AND ELEVATOR RECALL PER CBC 907.2 & NFPA 72

### DEFERRED SUBMITTALS

. DATA HALL RACKING SYSTEM 2. ENTRY AWNING

3. FIRE PROTECTION 4. GENERATOR PLATFORMS & STAIRS

PROVIDE UNDER SEPARATE SUBMITTAL.

### **GENERAL NOTES**

- . COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK. 2. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK. 3. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN
- QUESTION. 4. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
- 5. COORDINATE WORK WITH THE LANDLORD AND OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF
- BUILDING FUNCTIONS AND OCCUPANTS. D. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF
- INSTALLATION COORDINATE TELECOMMUNICATIONS, DATA AND SECURITY SYSTEM INSTALLATIONS. 8. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND
- ORDINANCES. 9. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.
- 10. UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4 INCH, UNLESS OTHERWISE NOTED. 11. PROVIDE ALL ACCESS PANELS REQUIRED FOR ALL JUNCTION BOXES, VALVES, CLEANOUTS, PLUGS, FILTERS, EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SERVICE OR MAINTENANCE
- 12. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE. 13. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT. 14. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS
- MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES. 15. PROVIDE CONCEALED BLOCKING AS REQUIRED FOR WORK BY OWNER'S OTHER CONTRACTORS. COORDINATE WITH
- OTHER CONTRACTORS FOR SIZE, TYPE AND LOCATION OF REQUIRED BLOCKING. 16. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- 17. CONTRACTOR MUST VERIFY IN FIELD (VIF) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND CONTRACTOR IS TO NOTIFY THE ARCHITECT/ ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES. 18. BUILDING ENERGY COMPLIANCE IS PER THE PERFORMANCE BASED PATH. ENERGY PERFORMANCE REPORT WILL BE

### ACCESSIBILITY NOTES

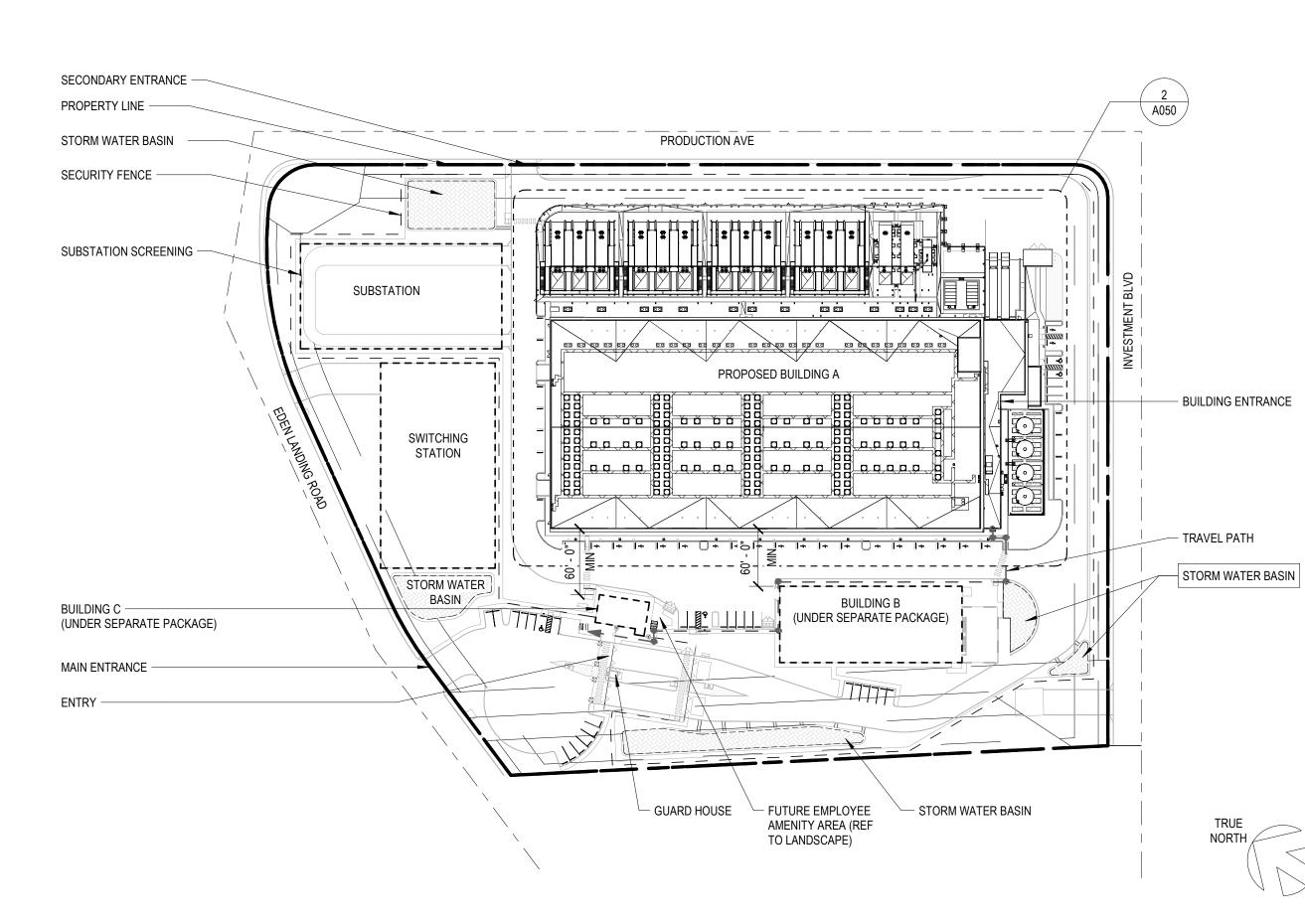
- A. PILE THICKNESS OF SPECIFIED CARPETS DOES NOT EXCEED 1/2". B. FLOOR SURFACES SPECIFIED ARE SLIP-RESISTANT. C. ABRUPT CHANGES IN LEVEL ALONG ACCESSIBLE ROUTE DO NOT EXCEED 1/2" IN HEIGHT. CHANGES BETWEEN 1/4" AND 1/2" ARE BEVELED WITH A SLOPE NO STEEPER THAN 1:2. LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. D. LATCHING AND LOCKING DOORS ARE SPECIFIED TO BE OPERABLE WITH A SINGLE EFFORT BY HARDWARE THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. DOOR OPENING HARDWARE IS SPECIFIED TO BE MOUNTED BETWEEN 34" AND 48" ABOVE FLOOR FINISH.
- E. CLOSERS FOR FIRE-RATED DOORS ARE SPECIFIED TO BE POWER LEVEL 3 FOR INTERIOR DOORS 38" OR LESS IN WIDTH. F. MAXIMUM PULL OR PUSH EFFORT TO OPERATE NON-FIRE-RATED DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE OF SLIDING OR FOLDING DOORS. SPECIFIED CLOSERS TO BE ADJUSTED TO COMPLY.
- G. ALL DOORS ARE SPECIFIED TO BE NOT LESS THAN 3'-0" IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. DOORS ARE CAPABLE OF OPENING AT LEAST 90 DEGREES AND CLEAR WIDTH IS NOT LESS THAN 32". H. FLOOR AREAS ON EACH SIDE OF DOORS ARE SPECIFIED TO BE LEVEL AND CLEAR. THE DIMENSIONS OF THE LEVEL AREAS
- ARE SPECIFIED TO MEET ANSI A117.1-2017, IAC AND ADA CLEARANCE REQUIREMENTS. FLOORS OR LANDINGS ARE SPECIFIED TO BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" IS SPECIFIED TO BE BEVELED WITH A SLOPE NO STEEPER THAN 1:2.
- J. THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR IS SPECIFIED TO BE MARKED WITH A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2" WIDE, PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING. THE STRIP IS SPECIFIED TO BE A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- K. ELECTRICAL RECEPTACLE OUTLETS ARE SPECIFIED TO BE NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORM. L. TOILET ROOM ACCESSORIES
- 1. BOTTOM OF MIRROR REFLECTIVE SURFACE IS SPECIFIED TO BE NO HIGHER THAN 40" FROM THE FLOOR. 2. TOILET TISSUE DISPENSERS ARE MOUNTED BETWEEN 7" AND 9" FROM THE FRONT EDGE OF THE TOILET SEAT. 3. DISPENSING AND DISPOSAL FIXTURES (TOWEL, SANITARY NAPKINS, WASTE, COIN SLOTS, ETC.) WITH OPERATING PARTS ARE MOUNTED NO HIGHER THAN 48" FROM THE FLOOR. M. THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) IS BETWEEN 17" AND 19".
- N. FLUSH CONTROLS ARE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR. ON THE SIDE OF THE TOILET WITH THE GREATEST CLEARANCE FROM ADJACENT WALL, TOILET PARTITION OR OTHER SURFACE. 0. PROVIDE GRAB BARS IN COMPLIANCE WITH ANSI A117.1 ON EACH SIDE, OR ONE SIDE AND BACK OF WATER CLOSET 1. GRAB BARS TO BE 33" ABOVE AND PARALLEL TO THE FLOOR. 2. DIAMETER OF GRAB BARS TO BE 1-1/4" TO 1-1/2".
- 3. PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALL. 4. GRAB BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BACKING, ETC.) SHALL SUPPORT A 250 POUND LOAD. 5. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS. 6. GRAB BARS AND ANY ADJACENT SURFACE SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.
- 7. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8". P. PROVIDE A CLEAR FLOOR SPACE 30" X 48" IS PROVIDED IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH. Q. SINKS AND LAVATORIES ARE MOUNTED TO COMPLY WITH KNEESPACE REQUIREMENTS OF ANSI A117.1 R. FAUCET CONTROLS AND OPERATING MECHANISMS ARE TO BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT
- GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING CONTROLS ARE TO REMAIN OPEN FOR AT LEAST 10 SECONDS. S. HOT WATER AND DRAIN PIPES UNDER LAVATORIES ARE INSULATED OR OTHERWISE COVERED. T. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

PROJECT ADDRESS 26062 EDEN LAN HAYWARD, CA S	
PROJECT DELIVERY PACKAGE	
SEAL/SIGNATURE	
APPLIES ONLY TO THE MATER SHEET. ALL DRAWINGS, DOCUMENTS NOT EXHIBITII CONSIDERED PREPARED BY 1 PROFESSIONAL EXPRESSI RESPONSIBILITY FOR SUCH PL	L SEAL AFFIXED TO THIS SHEET IAL AND ITEMS SHOWN ON THIS INSTRUMENTS OR OTHER NG THIS SEAL SHALL NOT BE I'HIS PROFESSIONAL, AND THIS LY DISCLAIMS ANY AND ALL AN, DRAWINGS OR DOCUMENTS NG THIS SEAL.
	ROJECT NO: 25691.000 RCHITECT: HKS DESCRIPTION
THIS DRAWING/DOCUMENT INVENTIONS OR DEVELOPM THEREBY ARE CONFIDENTIAL A OF THE OWNER (OR ITS AFFI RIGHTS IN THIS DRAWIN REPRODUCTION, DUPLICATION	. INFORMATION. AND ALL DESIGNS, DETAILS, ENTS COVERED OR DERIVED AND THE EXCLUSIVE PROPERTY LIATES), WHICH RESERVE ALL IG/DOCUMENT. COPYING, J, OR DISTRIBUTION TO A THIRD ART, IS FORBIDDEN UNLESS
EXPRESSLY AUTHO <u>MECHANICAL ENGINEER</u> ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	DRIZED IN WRITING. ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 551-8612 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
CIVIL ENGINEER KIMLEY HORN ANTHONY VERA (925) 398-4840 4637 Chabot Drive Suite 300 Pleasanton, California 94588 ARCHITECT HKS DUTCH WICKES	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201 FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS
DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201 <u>TELECOM ENGINEER</u> ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive	MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 chicago, Illinois 60606 <u>SECURITY ENGINEER</u> GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street
Suite 5300 Chicago, Illinois 60606 PROJECT:	315 Montgomery Street 10th Floor San Francisco, California 94104 G A SHELL
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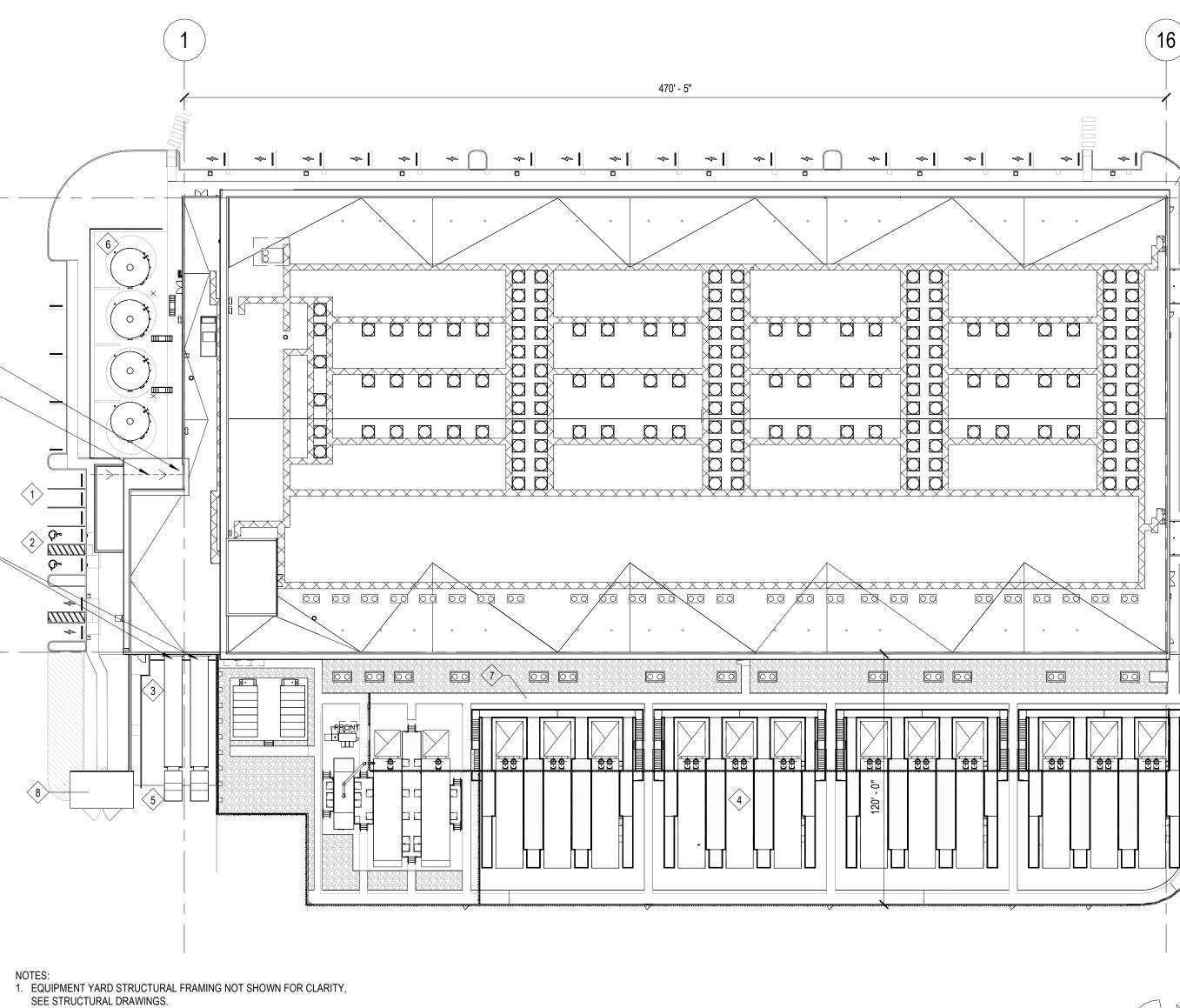
BUILDING ENTRANCE -ENTRANCE PATH — ∖**∲** ' ም G 4

A

NOTES:



1 ARCHITECTURAL CAMPUS PLAN A050 1" = 100'-0"



2 ARCHITECTURAL SITE PLAN A050 1" = 40'-0"

〔16〕

### **GENERAL NOTES - SITE PLAN**

- 1 THESE ARE ARCHITECTURAL DRAWINGS ONLY AND ARE TO BE REA IN CONJUNCTION WITH ALL OTHER DRAWINGS FROM VARIOUS DISCIPLINES AS LISTED ON THE DRAWING INDEX. 2 ALL DEMOLITION OF EXISTING BUILDING SITE ELEMENTS ARE TO B WITH IN A SEPARATE CONTRACT AND DRAWINGS (NOT INCLUDED
- HERE) PRIOR TO THE EXECUTION OF THE INDICATED NEW CONSTRUCTION AND SITEWORK. 3 OTHER BUILDINGS INDICATED ON SITE ARE FOR LOCATION REFERENCE PURPOSES ONLY. N.I.C.D. BUILDING GENERATOR PAD
- AND UPPER GENERATOR ACCESS STAIRS AND PLATFORM ARE NO IN THIS CONTRACT. 4 BUILDING GENERATOR PADS AND UPPER GENERATOR ACCESS STAIRS AND PLATFORM ARE NOT IN THIS CONTRACT.
- 5 REFER TO CIVIL DRAWINGS FOR GRADING, MATERIALS SIGNAGE, CURBS, WHEELSTOPS AND STRIPING AT PARKING AREAS. PARKING LAYOUT AND STALLS TO BE FOUND IN CIVIL DRAWINGS. ADA AND STANDARD STALLS TO BE INSTALLED TO MEET ALL ADOPTED
- CODES. 6 SIDEWALK CONSTRUCTION AND DETAILS TO BE FOUND IN CIVIL
- DRAWINGS. 7 ALL LANDSCAPE AND PLANTING INFORMATION TO BE FOUND ON LANDSCAPE
- 8 LOADING DOCK AREA. ELEVATION OF PAVED LOADING DOCK IS 4-0' BELOW SLAB HEIGHT AT FOUNDATION FACE TO ALLOW FOR EASE
- OF ACCESS. 9 ENSURE SMOOTH TRANSITION WHERE NEW ROADWAY PAVING OR SIDEWALK CONNECTS TO EXISTING WITH 1/4" MAXIMUM CHANGE IN
- LEVEL. 10 CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL LIGHTING, PLUMBING, MECHANICA AND FIRE PROTECTION ELEMENTS

### **OVERALL SITE PLAN NOTES**

- 1. NEW PARKING STALLS 2. ADA PARKING
- 3. LOADING DOCK 4. GENERATOR YARD
- 5. CONCRETE DRIVE AND RAMP AT LOADING DOCK 6. WATER TANKS. REFER MECHANICAL DRAWINGS
- 7. 5'-0" SIDEWALK, TYP. UNO. 8. (2)6 YARD & (1)3 YARD DUMPSTER WITH CHAINLINK FENCE TRAS ENCLOSURE. REFER CORE & SHELL PACKAGE.

### SITE PLAN LEGEND

PROPERTY LINE 

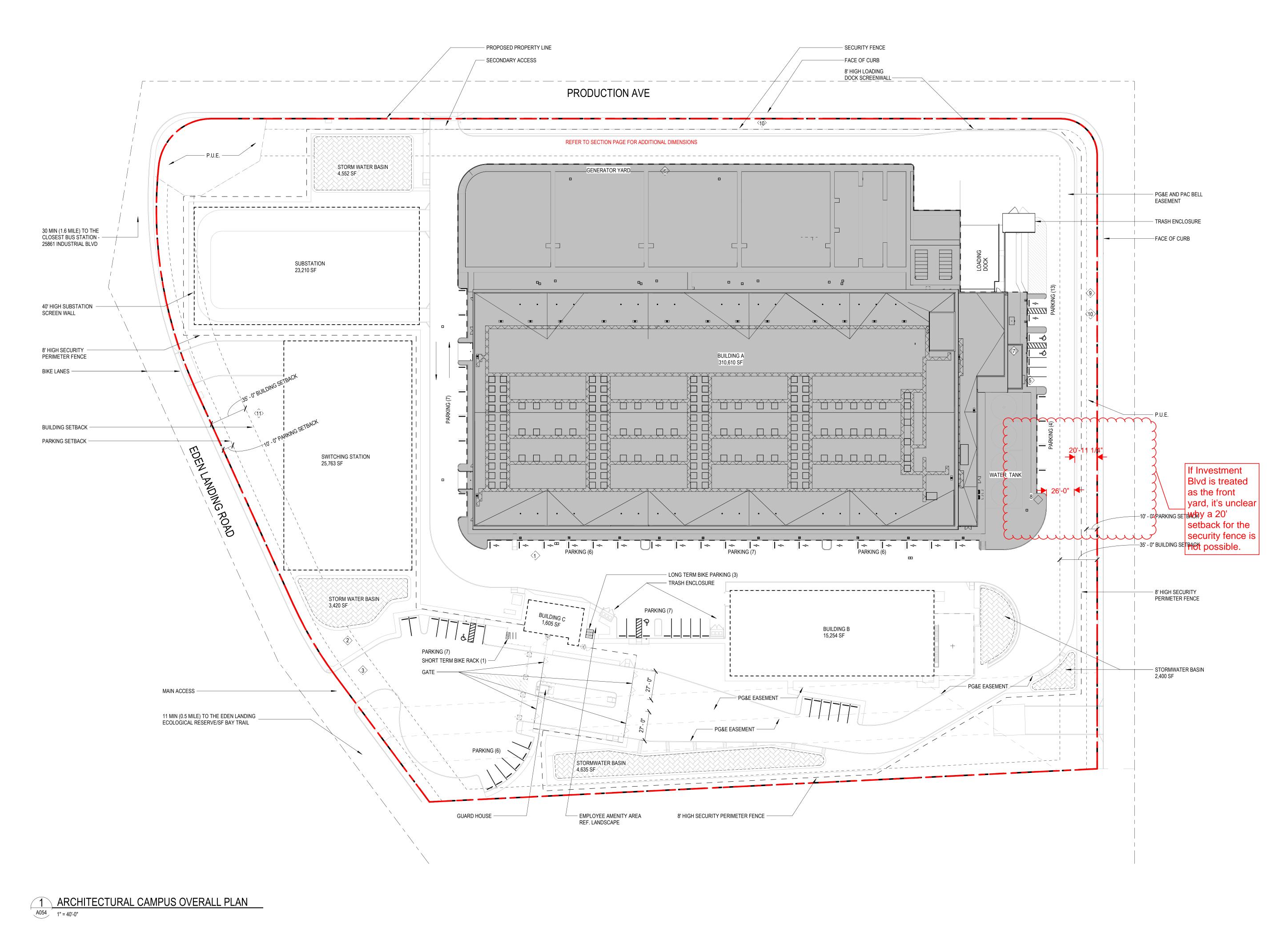
CRUSHED ROCKS AREAS

STORM WATER BASIN

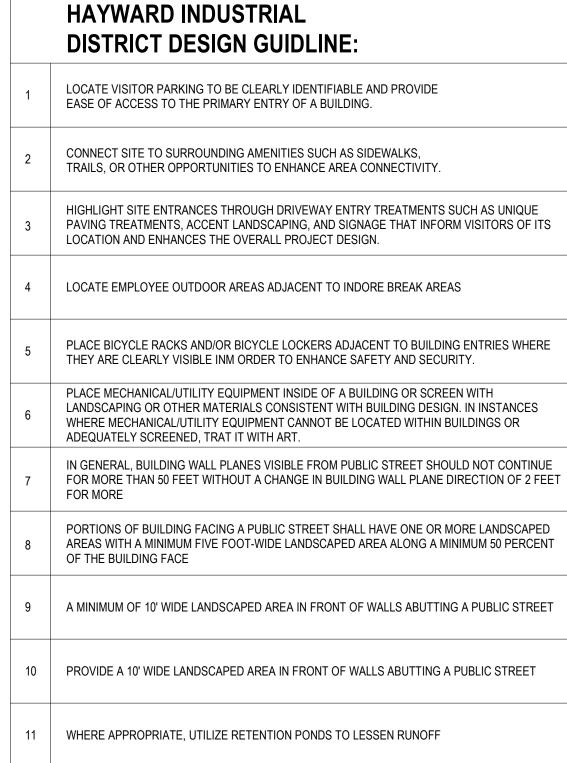
### **PARKING - BUILDING A**

PARKING SCHEDULE : REFER CS PACKAGE

		OVE	RALL	
	DJECT ADDRE		NDING	ROAD
	AYWAR			
PRC	DJECT DELIVE	RY PACKAGE		
SE	AL/SIGNATUR	E		
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### **PROJECT SITE INFORMATION**

SITE ADDRESS	26062 EDEN LANDING ROAD HAYWARD, CA 94545
APNs	461-0085-016-00 461-0085-052-01 461-0085-018-03
SITE AREA	11.485 AC / 500,287 SF
GENERAL PLAN DESIGNATION	IC (INDUSTRIAL TECHNOLOGY AND INNOVATION CORRIDOR)
ZONING DISTRICT	IP (INDUSTRIAL PARK)
PARKING SPACES	SPACES: 59 ADA: 5
BIKE PARKING	SHORT TERM: 1 RACK LONG TERM LOCKER: 3 LOCKERS
OPEN SPACE	68,945 SF
LOT COVERAGE	500,287 SF
FAR	0.76
LANDSCAPING AREA	165,557 SF

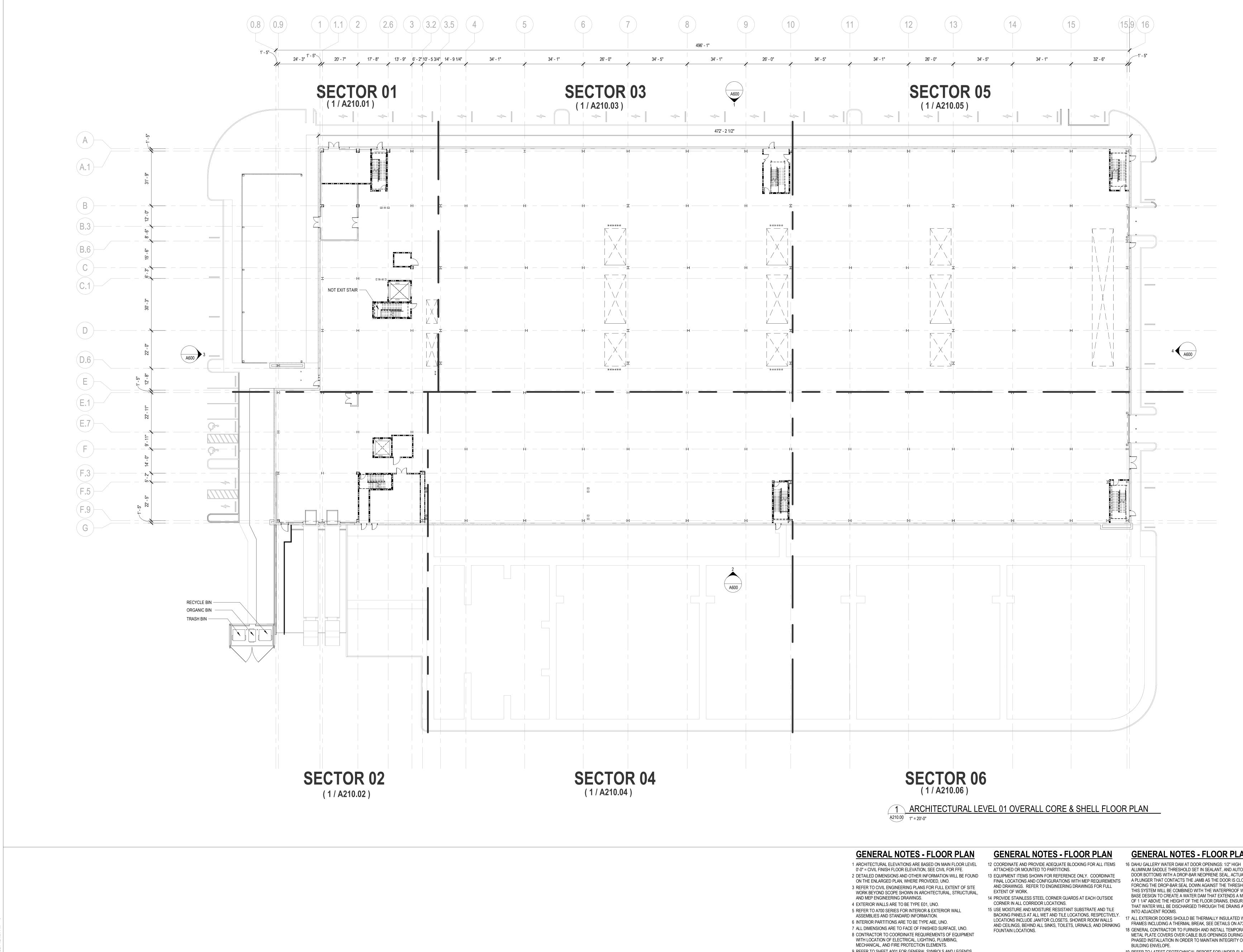
### PROPOSED BUILDING INFORMATION

BUILDING A	GROSS FLOOR AREA: HEIGHT:	365,610 SF 100' (T.O. PARAPET)
BUILDING B	GROSS FLOOR AREA: HEIGHT:	15,254 SF 26'
BUILDING C	GROSS FLOOR AREA: HEIGHT:	1,605 SF 18'
GUARD HOUSE	GROSS FLOOR AREA: HEIGHT:	59 SF 8'-11 7/16"

### TRASH CONTAINER CAPACITY CALCULATION:

	# of employees x lbs. of trash generated per employee/week ÷ 150 = CY/week
BUILDING A	ENCLOSURE: 25' x 12' x 12'-6" (WxDxH) INTERNAL CLEAR TRASH: 6 CU BIN RECYCLABLES: 6 CU BIN ORGANICS: 3 CU BIN
BUILDING B	ENCLOSURE: 11'-6" X 6' X 10'-8" (WxDxH) INTERNAL CLEAR TRASH: 96 GAL CART RECYCLABLES: 96 GAL CART ORGANICS: 96 GAL CART
BUILDING C	ENCLOSURE: TRASH: 96 GAL CART RECYCLABLES: 96 GAL CART ORGANICS: 96 GAL CART

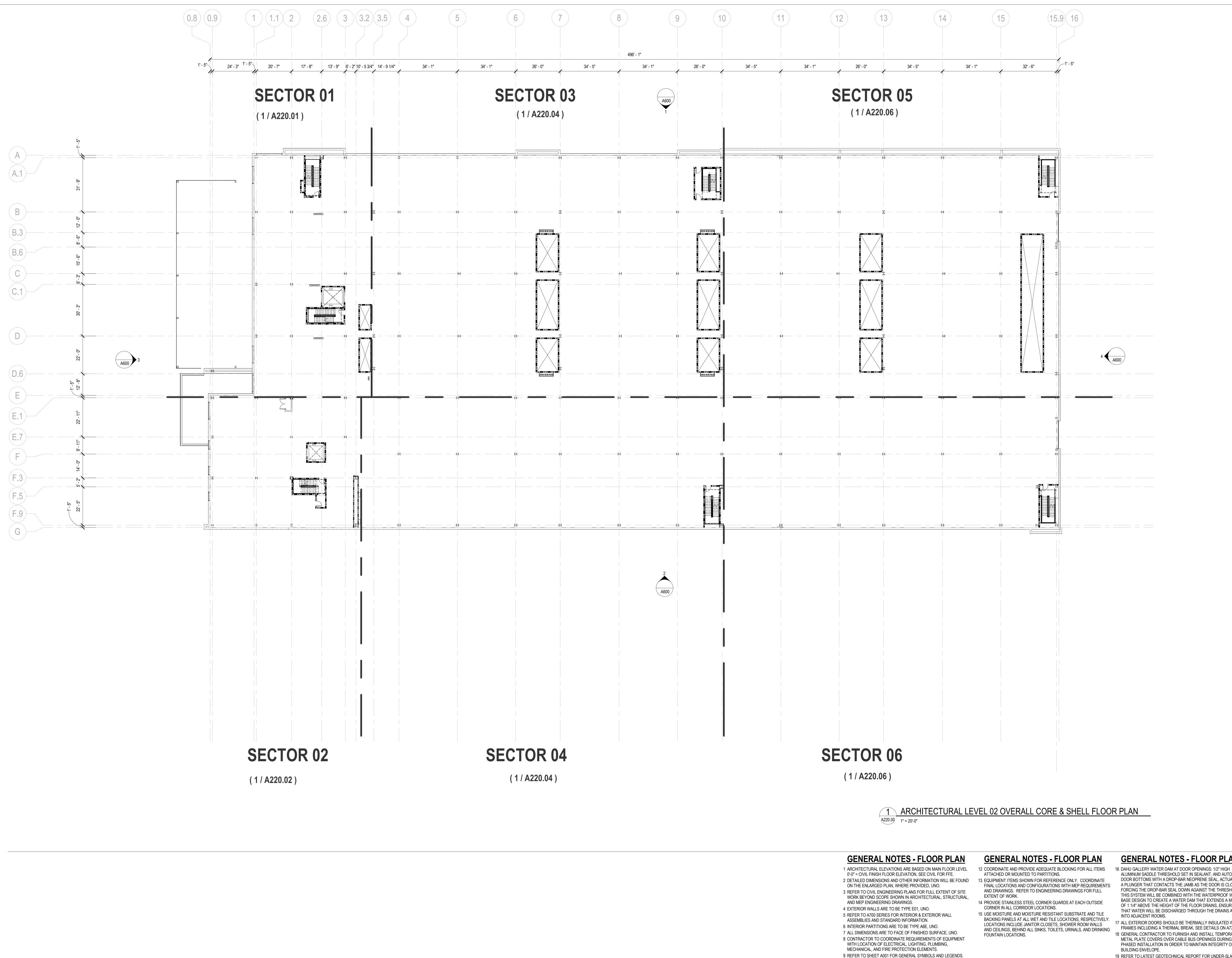
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TODD (312) 3	LOBAL GRIMES 72-1200 uth Wacker Dri	ve	GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Si	reet
Suite 5	300 o, Illinois 60606		10th Floor San Francisco, Cali	
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E1	SCALE: As indicated		<b>J4</b> _E No:	REV:



- 9 REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.
- 10 CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD (VIF) PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT / ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- 11 LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

- ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1 1/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT
- 17 ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK, SEE DETAILS ON A736. 18 GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE
- 19 REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS 20 ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED
- ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.

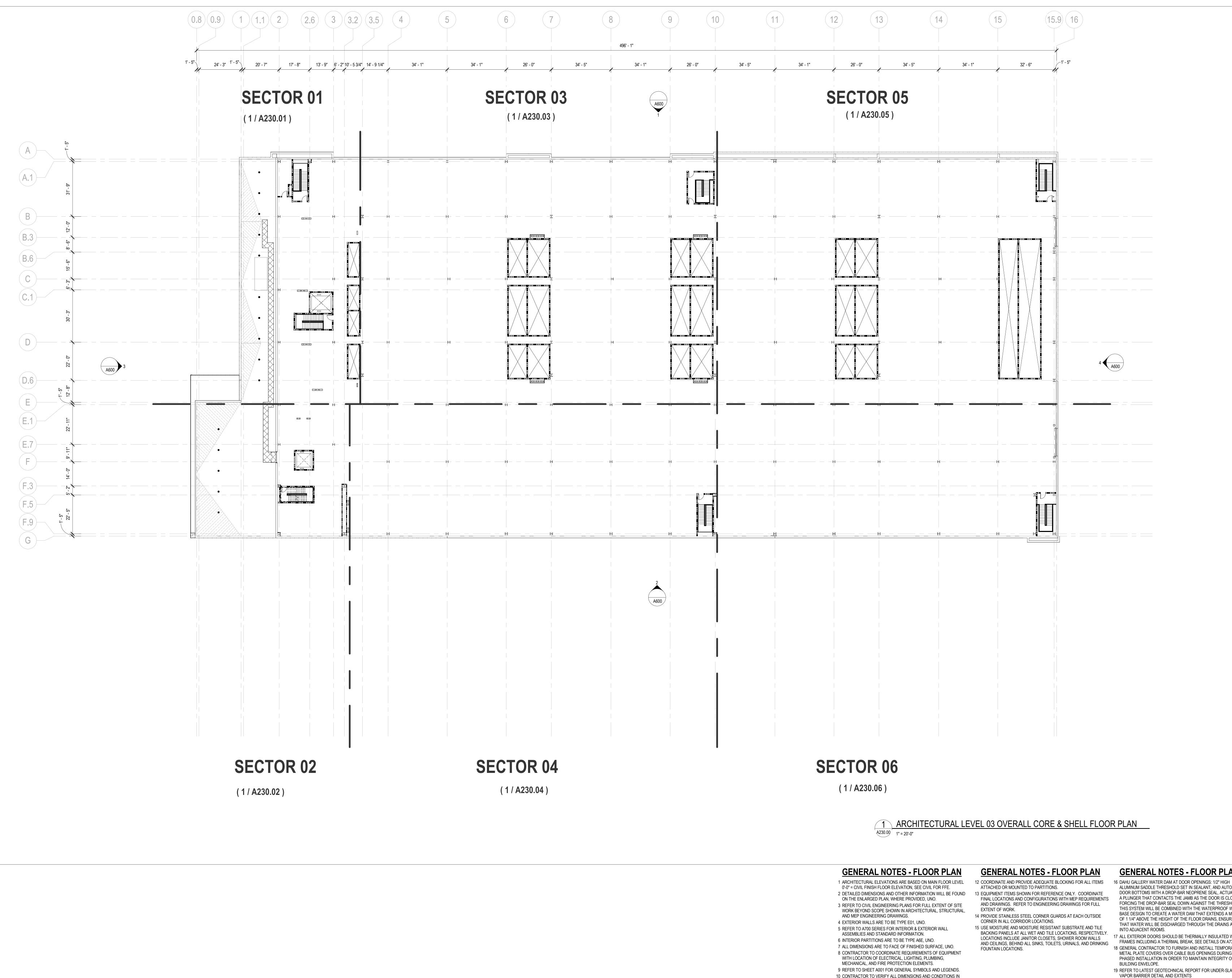
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- 10 CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN
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- 11 LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

- ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1 1/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT
- 17 ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK, SEE DETAILS ON A736. 18 GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE
- 19 REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS
- 20 ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.

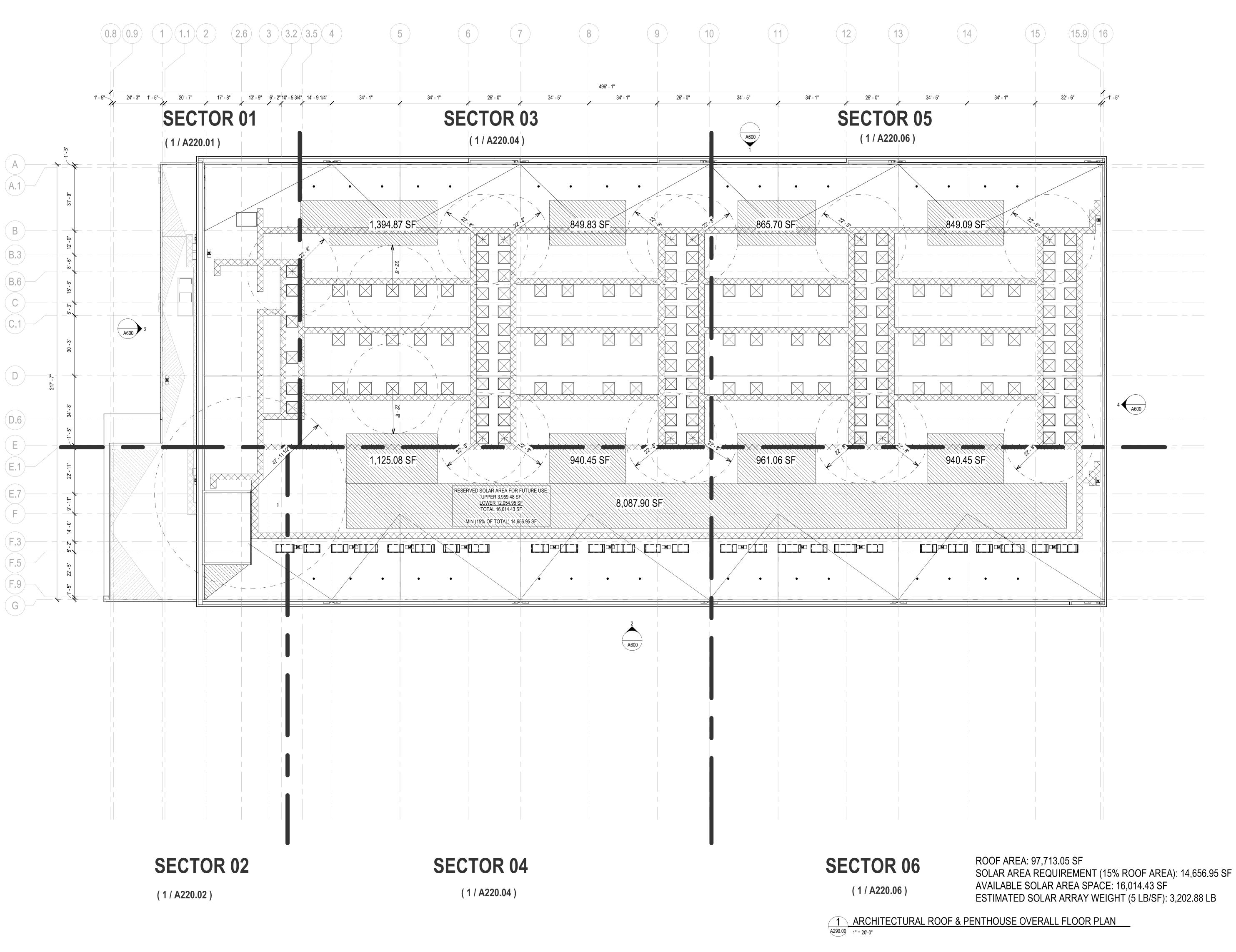
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MIKE YOUNG (312) 372-1200 233 South Wacker Drive	REY BERNARDINO (312) 551-8612 233 South Wacker Drive
Suite 5300 Chicago, Illinois 60606 <u>CIVIL ENGINEER</u>	Suite 5300 Chicago, Illinois 60606 STRUCTURAL ENGINEER
KIMLEY HORN ANTHONY VERA (925) 398-4840	HKS CLINT NASH (214) 969-5599
4637 Chabot Drive Suite 300 Pleasanton, California 94588	One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201
ARCHITECT HKS	FIRE PROTECTION ENGINEER ESD GLOBAL
DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100	MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 chicago,
Dallas, Texas 75201 TELECOM ENGINEER	Suite 5500 chicago, Illinois 60606 SECURITY ENGINEER
ESD GLOBAL TODD GRIMES (312) 372-1200	GUIDEPOST JON JOLIBOIS (415) 616-8822
233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	315 Montgomery Street 10th Floor San Francisco, California 94104
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MECH		ELECTRICAL ENGINEER
MIKE (312) 233 S	YOUNG 372-1200 outh Wacker Drive	REY BERNARDINO (312) 551-8612 233 South Wacker Drive
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### LEGEND ROOF PLAN

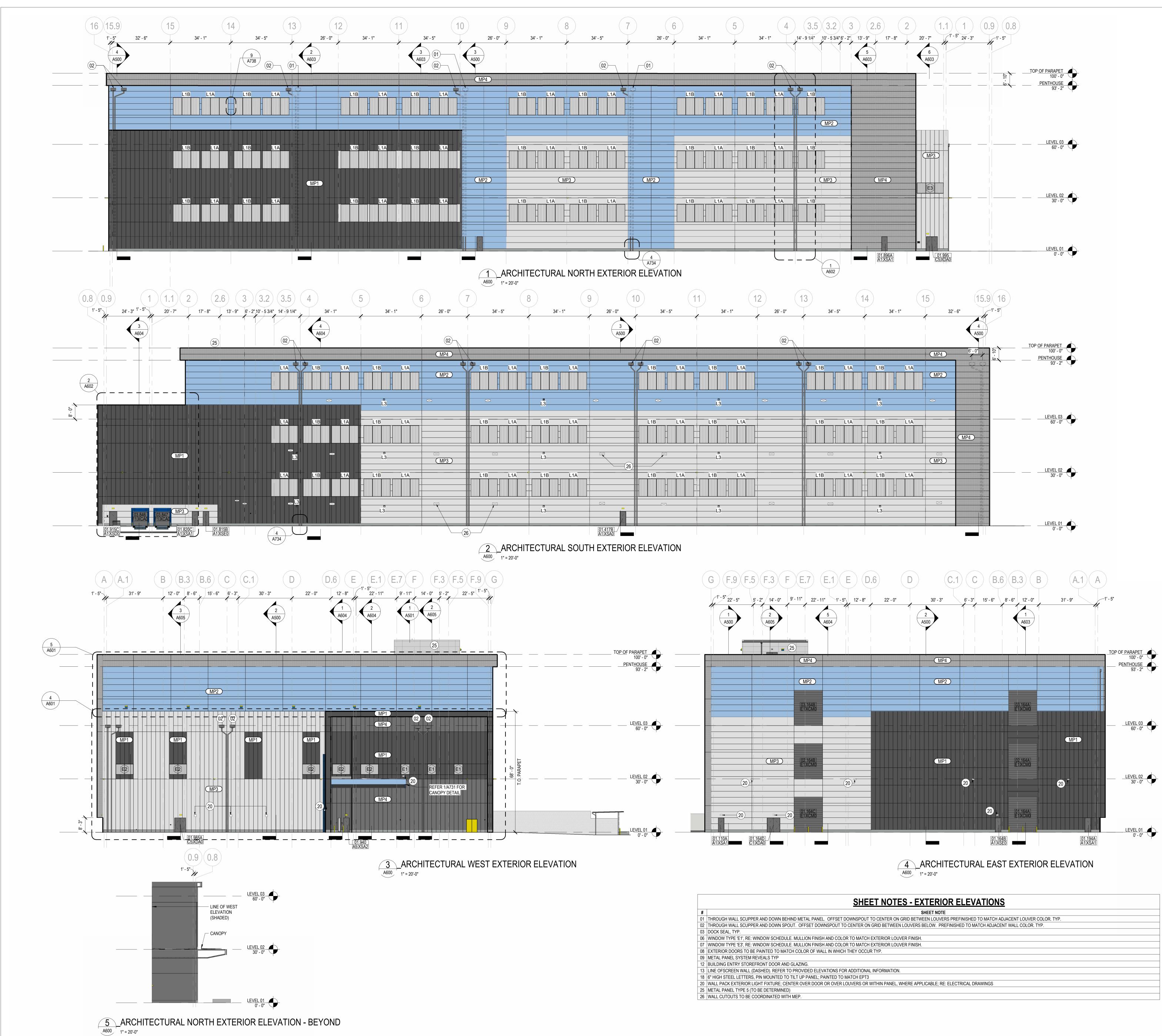
WALKWAY PAD TAPERED ROOF INSULATION

RESERVED SOLAR AREA FOR FUTURE USE

### **ROOF PLAN NOTES**

1.	ALL ROOF TO BE KEPT SINGLE PLY ROOFING MEMBRANE WITH MINIMUM R20 INSULATION.
2.	HATCHING INDICATES AREAS WHERE THE ROOF SURFACE SLOPE IS ACHIEVED WITH TAPERED
	INSULATION. THE ROOF SURFACE SLOPE IN AREAS WITHOUT HATCHING IS ACHIEVED WITH
	SLOPING STRUCTURE.
3.	PROVIDE WALKWAYS PROTECTION TO MAJOR MECHANICAL, ELECTRICAL AND PLUMBING
	EQUIPMENT AS REQUIRED TO PROVIDE SERVICE ACCESS. WALKWAYS PROTECTION IS
	INDICATED AS A GENERAL LAYOUT AND MAY NOT SHOW ALL FINAL LOCATIONS OF ALL
	EQUIPMENT.
4.	TAPERED INSULATION SHALL PROVIDE A MINIMUM OF 1/4" - INCH PER FOOT OF SLOPE TO
	ROOF DRAINS, UNLESS NOTED OTHERWISE.
5	ALL ROOF CURBS TO BE A MINIMUM OF 8" ABOVE ROOFING LEVELS, PROVIDE TAPERED
0.	INSULATION ROOF SADDLES AT ROOF CURBS TO PROVIDE DRAINAGE AROUND CURB.
6	SEE STRCTURAL DRAWINGS FOR FRAMING AROUND ROOF PENETRATIONS.
	ALL ROOF TOP MECHANICAL, ELECTRICAL AND /OR PLUMBING EQUIPMENT SHOWN FOR
7.	INFORMATION ONLY.COORDINATION THE SIZE AND LOCATION OF ROOF.
Q	PENETRATION ONET. COORDINATION THE SIZE AND ECCATION OF ROOT.
0.	ELECTRICAL DRAWINGS FOR PENETRATIONS NOT SHOWN ON THIS DRAWING.
0	
9.	FLASH DRAINS, CURBS, VENTS AND STACKS PER MANUFACTURER'S RECOMMENDATIONS IF
40	DETAIL NOT SHOWN ON DRAWINGS.
10	. NO ROOF PENETRATIONS ALLOWED WITHIN 4'-0" EACH SIDE OF FOREWALL. SEE CODE PLAN
	FOR FIRE WALL LOCATIONS.
11	. REFER TO SHEET A732, A733 FOR TYPICAL ROOF DETAILS.

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### DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 200 DEEP BLUE SEA MP3 BOD: CENTRIA FORMA WALL WHITE COLOR SMOOTH EXTERIOR TEXTURE

**EXTERIOR FINISH LEGEND:** 

COATING

MP1 BOD: CENTRIA FORMA WALL

9960 XL DARK BRONZE

MP2 | BOD: CENTRIA FORMA WALL

DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH

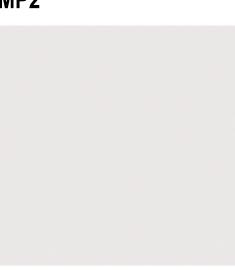
179 REGAL WHITE MP4 BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL MEDIUM GRAY MP5 BOD: CENTRIA PARADIGM METAL PANEL 9918 DOVE GRAY; 9989 PLATINUM SUNDACNE AM COATING; 9989 PLATINUM SUNDANCE MICA COATING

### **EXTERIOR FINISH LEGEND**



MP1

MP2



### MP3



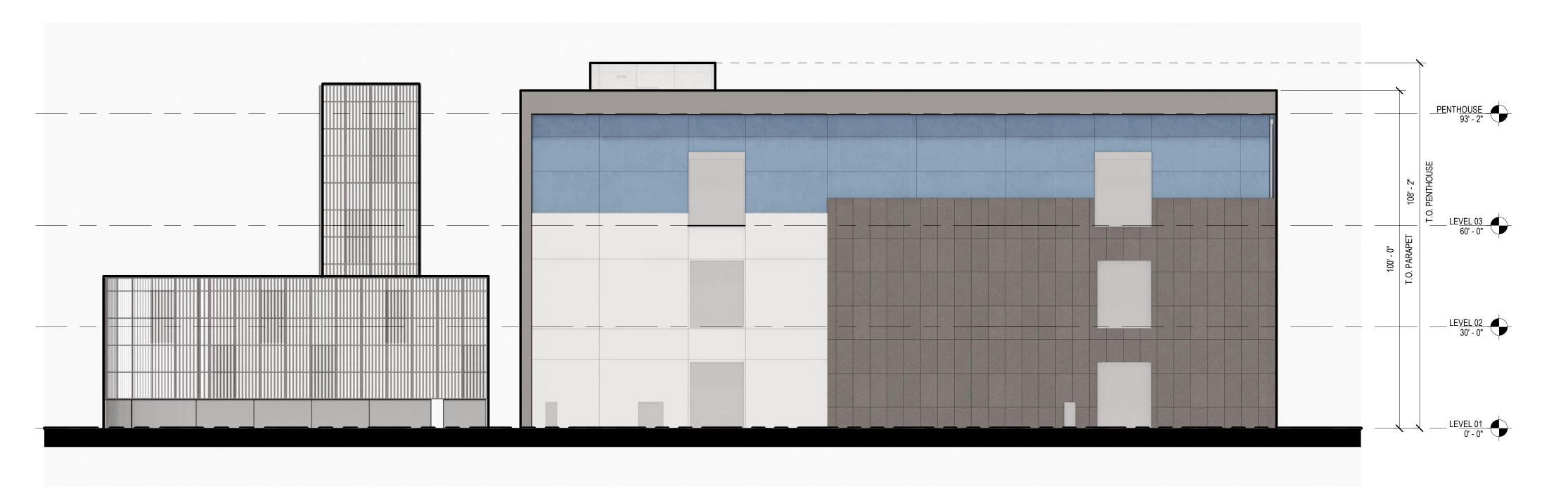
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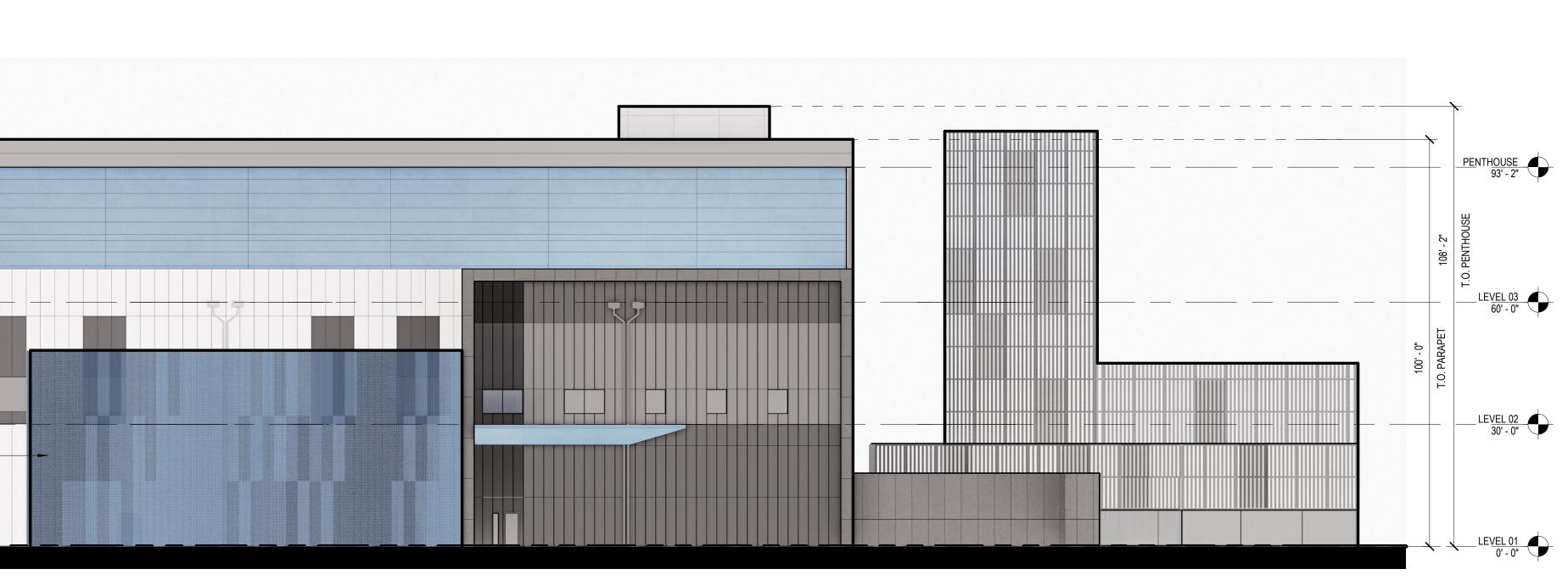
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	PERFORATED METAL - SCREEN	
_		







ARCHITECTURAL WEST EXTERIOR ELEVATION

2 ARCHITECTURAL EAST EXTERIOR ELEVATION A610 1" = 20'-0"



### EXTERIOR GLAZING (GL):

GL-01	PVB LAMINATED GLASS COLOR: FROSTED/TINTED

### METAL PANEL (MP):



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EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL DARK BRONZE DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 200 DEEP BLUE SEA

DARK BRONZE COLOR SMOOTH

MP-03

WHITE COLOR SMOOTH EXTERIOR TEXTURE 179 REGAL WHITE

MP-04 Statistica and

MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL MEDIUM GRAY

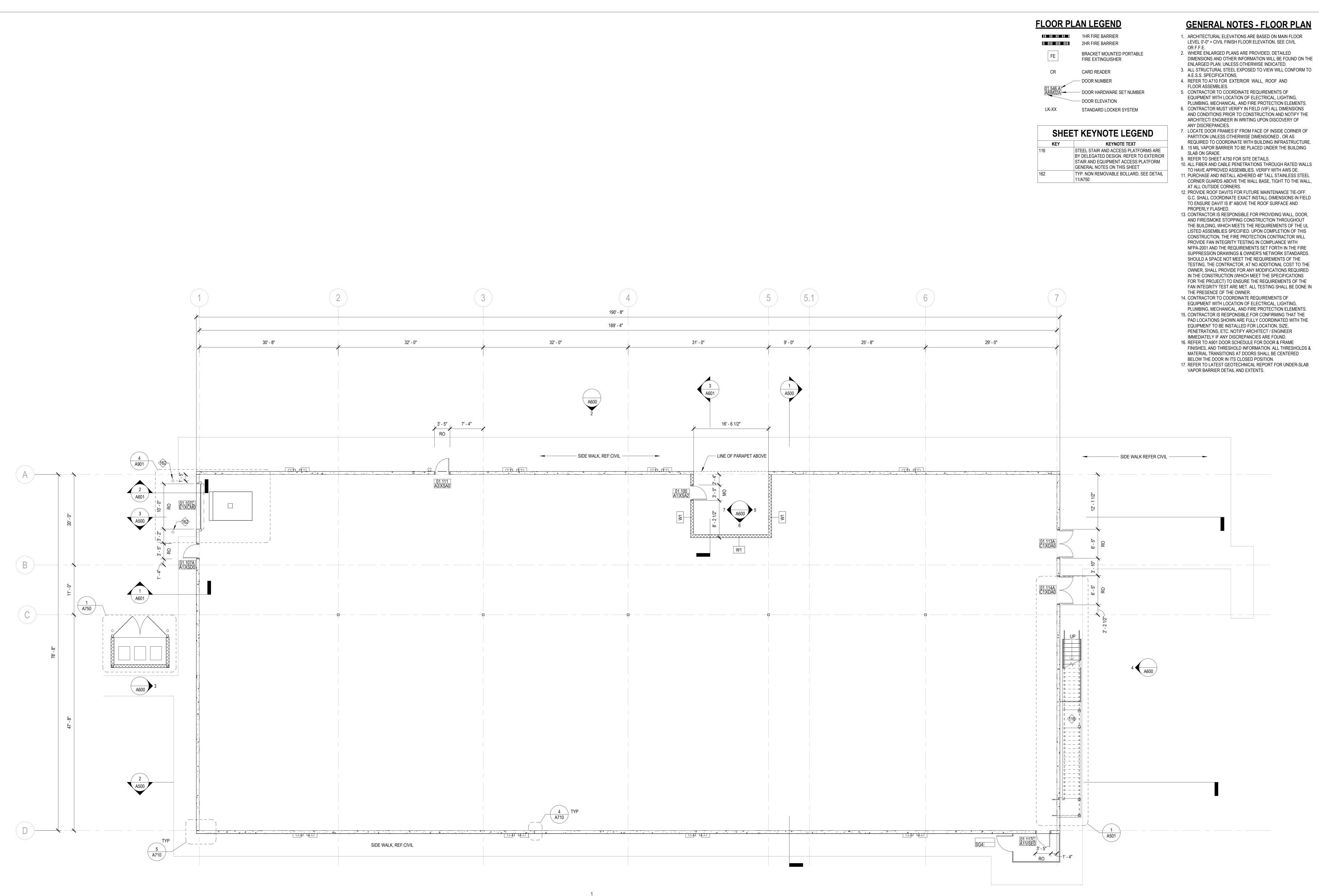
### PERFORATED METAL SCREEN



A METAL SCREEN STANDALONE STRUCTURE

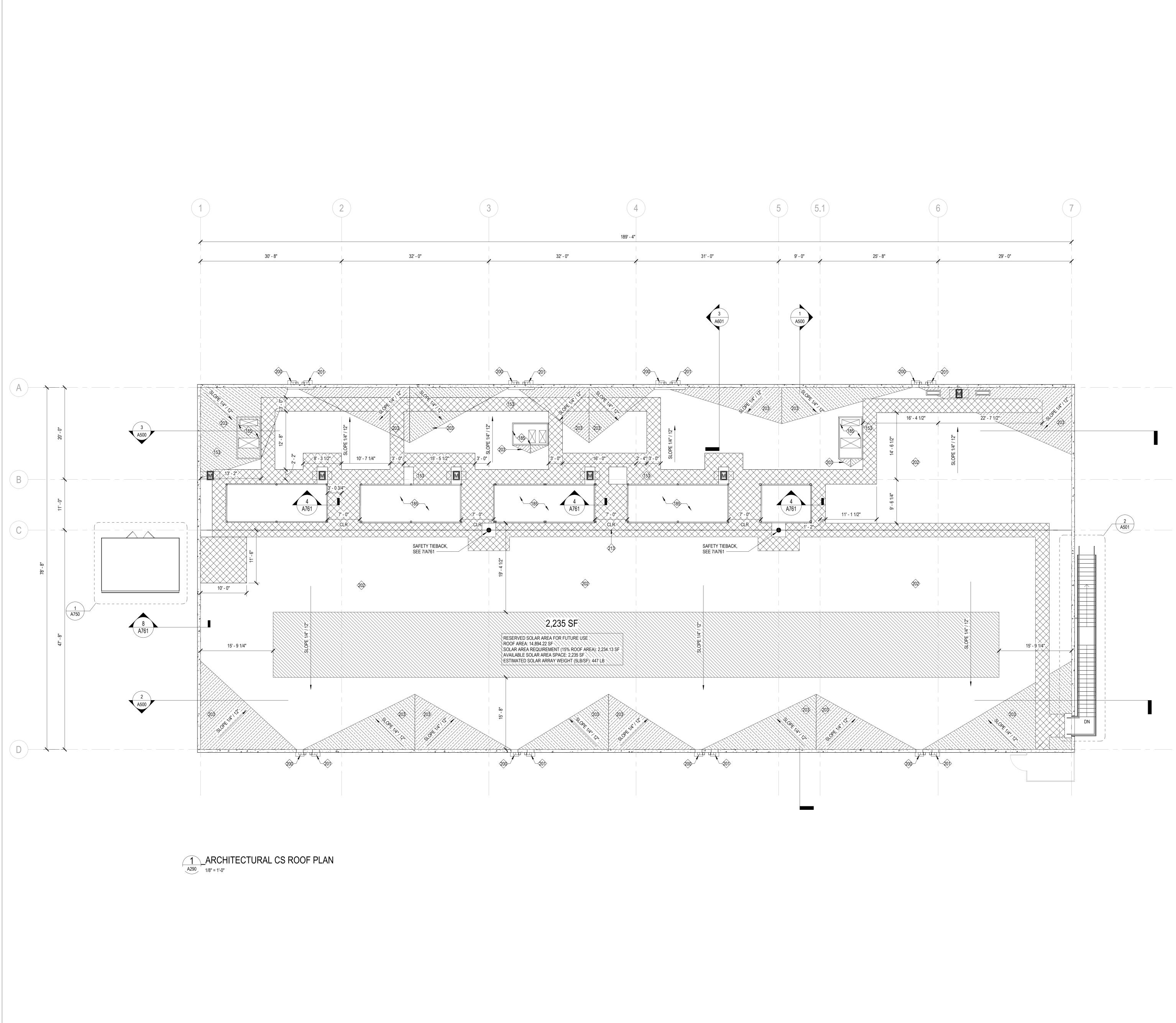
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PROJECT DELIVERY PACKAGE				
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CONSIDERED PREPARED BY T PROFESSIONAL EXPRESSL RESPONSIBILITY FOR SUCH PLA NOT EXHIBITIN ISSUE DATE: PF	AL AND ITEMS SHOWN ON THIS NSTRUMENTS OR OTHER IG THIS SEAL SHALL NOT BE HIS PROFESSIONAL, AND THIS Y DISCLAIMS ANY AND ALL AN, DRAWINGS OR DOCUMENTS NG THIS SEAL. ROJECT NO: 25691.000			
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MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300	ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 551-8612 233 South Wacker Drive Suite 5300			
Chicago, Illinois 60606Chicago, Illinois 60606CIVIL ENGINEER KIMLEY HORNSTRUCTURAL ENGINEER HKSANTHONY VERACLINT NASH (214) 969-55994637 Chabot DriveOne Dallas Center 350 N. Saint Paul Street, Suite 100				
Suite 300350 N. Saint Paul Street, Suite 100Pleasanton, California 94588Dallas, Texas 75201ARCHITECT HKSFIRE PROTECTION ENGINEER ESD GLOBALDUTCH WICKES (214) 969-5599MICHAEL PARAS (312) 372-1200One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201Suite 5300 chicago, Illinois 60606TELECOM ENGINEERSECURITY ENGINEER				
ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606 PROJECT: BUILDING	GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104			
BUILDING A SHELL TITLE: ARCHITECTURAL EXTERIOR ELEVATION DRAWING: A610				
	LE No:			

ARCHITECTURAL CS LEVEL 01 OVERALL PLAN



A600

KEYF OVER					
TRUE NORTH					
PROJECT ADDRESS					
26062 EDEN LAN HAYWARD, CA S	94545				
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MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive	ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 551-8612 233 South Wacker Drive				
Suite 5300 Chicago, Illinois 60606 <u>CIVIL ENGINEER</u>	Suite 5300 Chicago, Illinois 60606 <u>STRUCTURAL ENGINEER</u>				
KIMLEY HORN ANTHONY VERA (925) 398-4840 4637 Chabot Drive Suite 300	HKS CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100				
Pleasanton, California 94588 <u>ARCHITECT</u> HKS	Dallas, Texas 75201 FIRE PROTECTION ENGINEER ESD GLOBAL				
DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas Texas 75201	MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606				
Dallas, Texas 75201 <u>TELECOM ENGINEER</u> ESD GLOBAL TODD GRIMES	Chicago, Illinois 60606 <u>SECURITY ENGINEER</u> GUIDEPOST JON JOLIBOIS				
(312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	(415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104				
PROJECT: BUILDING B SHELL TITLE: ARCHITECTURAL CORE & SHELL OVERALL FLOOR					
PL DRAWING:	AN				
	LE No: REV:				



- A. CONTRACTOR MUST VERIFY IN FIELD (VIF) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION, AND NOTIFY THE ARCHITECT/ ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- B. REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF WORK.
- WUKK.
  C. ROOF CURBS FOR EQUIPMENT SHALL BE FURNISHED WITH WEATHERPROOF CAPS.
  D. COORDINATE ALL REQUIRED ROOF SCOPE w/ MEP TRADES, INCLUDING BUT NOT LIMITED TO PLUMBING, VENTS, POWER CONDUITS, ETC.
- E. ALL PENETRATIONS (PIPING, VENTS, ETC.) CREATED IN THE ROOF SHALL BE DETAILED IN ACCORDANCE w/ THE ROOFING MANUFACTURER'S RECOMMENDATIONS & STANDARD DETAILS, SHALL BE CONSISTENT w/ THE WARRANTY OF THE ROOFING ASSEMBLY, AND SHALL NOT REDUCE OR VOID THE
- WARRANTY IN ANY MANNER. F. PROVIDE ROOF DAVITS FOR FUTURE MAINTENANCE TIE-OFF. G.C. SHALL COORDINATE EXACT INSTALL DIMENSIONS IN FIELD TO ENSURE DAVIT IS 8" ABOVE THE ROOF SURFACE AND PROPERLY FLASHED.

# SHEET KEYNOTE LEGEND

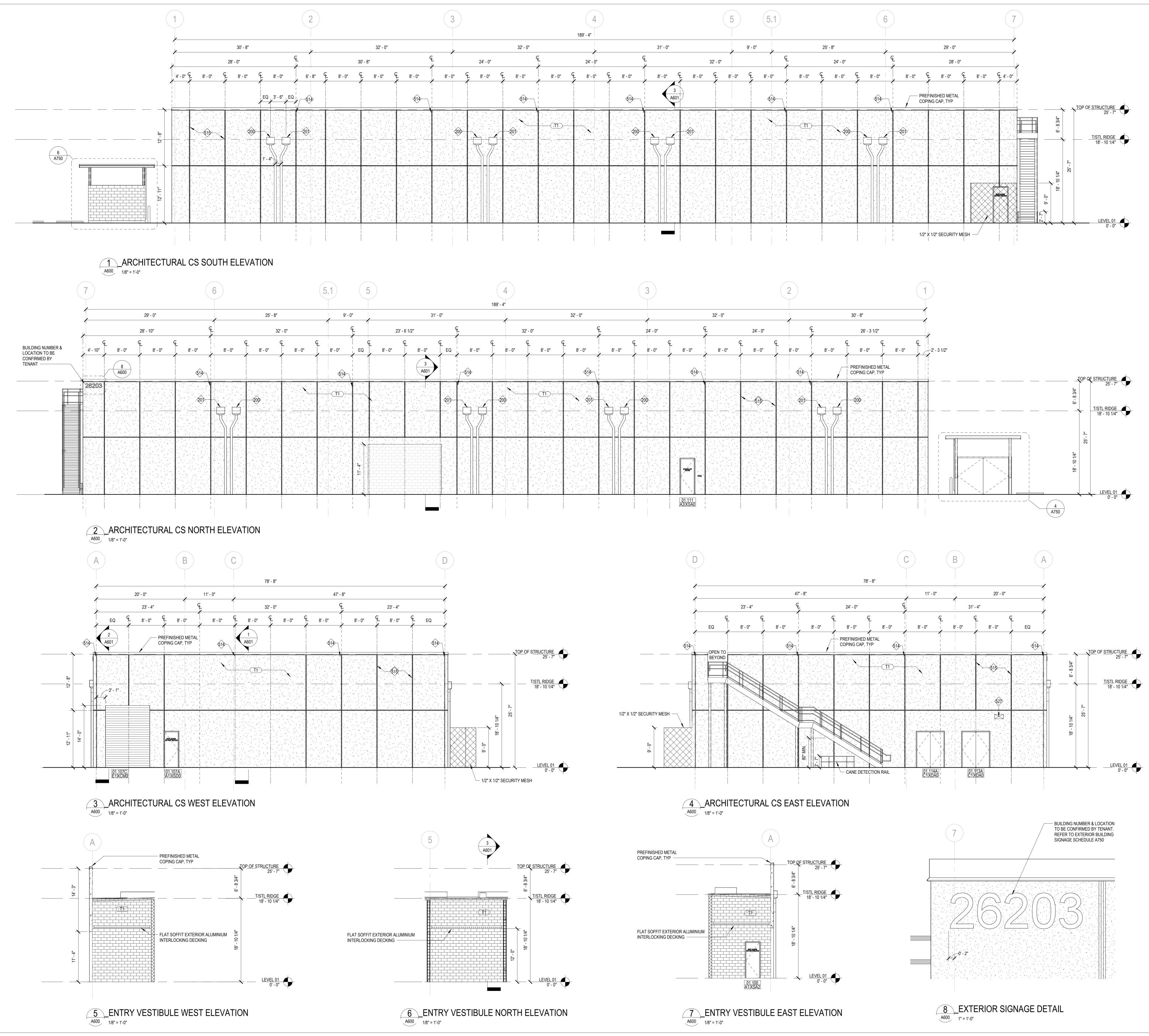
KEY	KEYNOTE TEXT			
153	PROVIDE ROOF PROTECTION WALKWAYS PADS 3' WIDE TYP, U PROVIDE SADDLES WITH TAPERED INSULATION WHERE SHOW HATCHED. SEE TYPICAL DETAIL ON SHEET 3/A710.			
185	PREMANUFACTURED CURB FOR FUTURE EQUIPMENT; RE:MECHANICAL FOR DIMENSIONS AND LOCATIONS, GC TO COORDINATE FINAL OPENINGS WITH EQUIPMENT MANUFACTURER; PROVIDE CURB CAPS FOR ALL EQUIPMENT INSTALLED DURING INITIAL BUILD-OUT PHASE.			
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPO ON EXTERIOR FACE OF BUILDING			
201	OVERFLOW THROUGH WALL SCUPPER. LOCATE 1 FOOT TO SI OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE			
202	SINGLE PLY ROOFING MEMBRANE ON COVER BOARD, OVER F POLYISO INSUL. OVER COVER BOARD ON STRL. MTL. DECK.FL AND SEAL ALL ROOF PENETRATIONS WATER TIGHT. RE: A710 TYPICAL ROOF DETAILS. PENETRATIONS SHOULD HAVE MININ 12" CLEARANCE ON ALL SIDES FROM WALLS, CURBS AND OTH PENETRATIONS			
203	CRICKET GRAPHICALLY INDICATED TO PROPERLY SLOPE STO WATER TO THRU-WALL SCUPPERS AND GENERALLY CREATE EQUAL STORM WATER DISTRIBUTION TO THE ROOF SCUPPER			
213	SLOPED ROOF RIDGE LINE.			

### ROOF PLAN LEGEND

TAPERED ROOF INSULATION
 RESERVED SOLAR AREA FOR

ERVED SOLAR AREA FOR FUTURE USE

	KEYPLAN OVERALL
	TRUE NORTH
20 ASH OR UM ER	
RM S	
	26062 EDEN LANDING ROAD HAYWARD, CA 94545 PROJECT DELIVERY PACKAGE
	SEAL/SIGNATURE
	THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THIS PROFESSIONAL, AND THIS PROFESSIONAL EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL.
	ISSUE DATE:     PROJECT NO: 25691.000       DESIGNED: HKS     ARCHITECT: HKS       MARK     DATE       DESCRIPTION
	CONFIDENTIAL INFORMATION. THIS DRAWING/DOCUMENT AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING/DOCUMENT. COPYING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED IN WRITING.
	MECHANICAL ENGINEER ESD GLOBALELECTRICAL ENGINEER ESD GLOBALMIKE YOUNG (312) 372-1200REY BERNARDINO (312) 551-8612233 South Wacker Drive Suite 5300233 South Wacker Drive Suite 5300Chicago, Illinois 60606Chicago, Illinois 60606CIVIL ENGINEER KIMLEY HORN (925) 398-4840STRUCTURAL ENGINEER HKS (214) 969-55994637 Chabot Drive Suite 300One Dallas Center Store, Suite 300
	Pleasanton, California 94588Dallas, Texas 75201ARCHITECT HKSFIRE PROTECTION ENGINEER ESD GLOBALDUTCH WICKES (214) 969-5599MICHAEL PARAS (312) 372-1200One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201Suite 5300 Chicago, Illinois 60606TELECOM ENGINEER ESD GLOBAL TODD GRIMESSECURITY ENGINEER GUIDEPOST JON JOLIBOIS
	(312) 372-1200(415) 616-8822233 South Wacker Drive315 Montgomery StreetSuite 530010th FloorChicago, Illinois 60606San Francisco, California 94104PROJECT:BUILDING B SHELL
	TITLE: ARCHITECTURAL ROOF OVERALL PLAN
	DRAWING: A290
	E I   As indicated   0



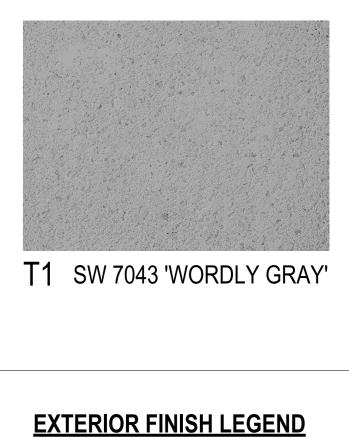
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### **GENERAL NOTES**

- . ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION, SEE CIVIL FOR FFE 2. ALL STRUCTURAL STEEL EXPOSED TO VIEW WILL CONFORM TO A.E.S.S. SPECIFICATIONS.
- 3. REFER TO A710 FOR EXTERIOR WALL, ROOF ASSEMBLIES. 4. EXTERIOR WALLS ARE TILT-UP WALL ASSEMBLIES UNO 5. FOR ROUGH OPENING DIMENSIONS OF LOUVERS AND
- HOLLOW METAL DOOR/ WINDOWS, REFER A901. 6. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING,
- PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS. 7. CONTRACTOR MUST VERIFY IN FIELD (VIF) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT/ ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- 8. EXTERIOR CONCRETE WALLS ARE TO RECEIVE TEXTURED PAINT OR CONCRETE SEALER TO MATCH EXISTING CAMPUS BUILDINGS.
- 9. REFER TO PANEL JOINT DETAILS SHEET A710.

### SHEET KEYNOTE LEGEND **KEYNOTE TEXT**

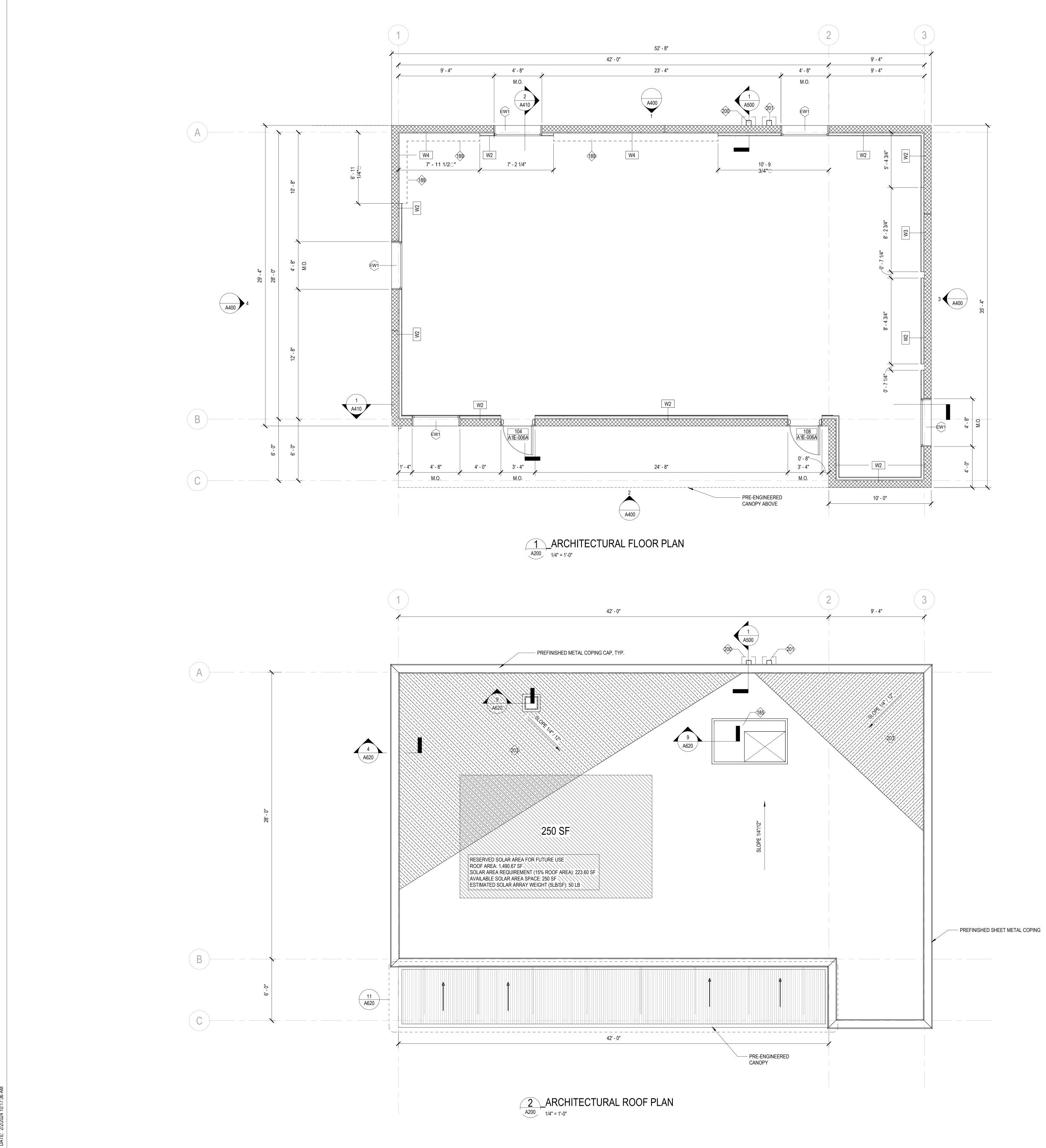
KEY	KEYNOTE TEXT
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOUT ON EXTERIOR FACE OF BUILDING
201	OVERFLOW THROUGH WALL SCUPPER. LOCATE 1 FOOT T SIDE OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVER MAIN THROUGH WALL SCUPPER DRAINAGE
514	CONCRETE PANEL CONTROL JOINT TYP, REF. 4/A710
515	CONCRETE PANEL REVEAL TYP, REF. 6/A710
527	WALL CUTOUTS TO BE COORDINATED WITH MEP.



T1 TYPICAL OFF-WHITE FIELD COLOR EXTERIOR TEXTURE ACRYLIC COATING

SW 7043 'WORDLY GRAY'

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- REFER TO GENERAL NOTES ON A001
   REFER TO A010 FOR FIRE RATING AND LIFE SAFETY INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE, UOI
   REFER TO A600 FOR EXTERIOR WALL ASSEMBLIES
   REFER TO A600 FOR ROOF & FLOOR ASSEMBLIES
- 6. ALL SPOT ELEVATIONS ARE TO TOP OF ROOFING MEMBRANE OR TOP OF PARAPET COPING UOI.
- 7. CONTRACTORS TO COORDINATE REQUIREMETS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING,
- PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS. 8. CONTRACTOR TO VERIFY IN FIELD ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
- 9. 'PT01' IS TYPICAL PAINT FINISH FOR ALL SPACES. 'P3' TO BE
- APPLIED UNLESS OTHERWISE NOTED ON PLANS FOLLOW FINISH SHEDULE PER FINISH LEGEND 10. REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS.

	KEYNOTE LEGEND
Key Value	Keynote Text
185	PREMANUFACTURED CURB FOR FUTURE EQUIPMENT; RE:MECHANICAL FOR DIMENSIONS AND LOCATIONS, GC TO COORDINATE FINAL OPENINGS WITH EQUIPMENT MANUFACTURER; PROVIDE CURB CAPS FOR ALL EQUIPMENT NOT INSTALLED DURING INITIAL BUILD-OUT PHASE.
189	FURRING WALL TO BE CONSTRUCTED IN TI PHASE
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOU ON EXTERIOR FACE OF BUILDING
201	OVERFLOW THROUGH WALL SCUPPER. LOCATE 1 FOOT TO SID OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE
203	CRICKET GRAPHICALLY INDICATED TO PROPERLY SLOPE STORM WATER TO THRU-WALL SCUPPERS AND GENERALLY CREATE EQUAL STORM WATER DISTRIBUTION TO THE ROOF

### FLOOR PLAN LEGEND

SCUPPERS

	1HR FIRE BARRIER
01.546.A	- DOOR NUMBER
	- DOOR HARDWARE SET NUMBER
	- DOOR ELEVATION
1 A6B	PARTITION TAG
E1	WINDOW TAG
	СМИ

### **GENERAL NOTES - ROOF PLAN**

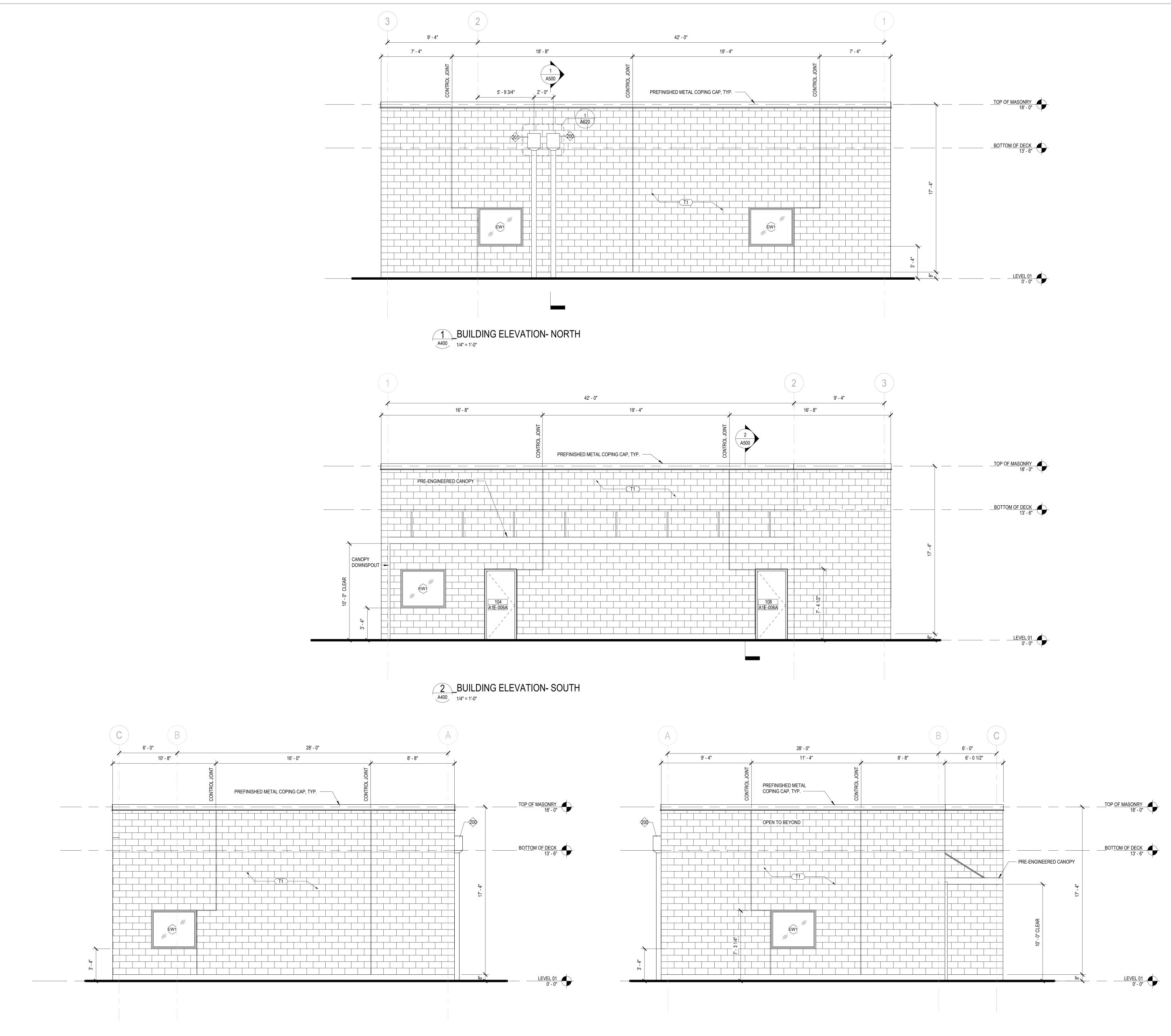
- A. CONTRACTOR MUST VERIFY IN FIELD (VIF) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION, AND NOTIFY THE ARCHITECT/ ENGINEER IN WRITING UPON DISCOVERY OF
- ANY DISCREPANCIES. B. REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF WORK.
- C. ROOF CURBS FOR EQUIPMENT SHALL BE FURNISHED WITH WEATHERPROOF CAPS. D. COORDINATE ALL REQUIRED ROOF SCOPE w/ MEP TRADES, INCLUDING BUT NOT LIMITED TO PLUMBING, VENTS, POWER CONDUITS, ETC.
- E. ALL PENETRATIONS (PIPING, VENTS, ETC.) CREATED IN THE ROOF SHALL BE DETAILED IN ACCORDANCE w/ THE ROOFING MANUFACTURER'S RECOMMENDATIONS & STANDARD DETAILS, SHALL BE CONSISTENT w/ THE WARRANTY OF THE ROOFING ASSEMBLY, AND SHALL NOT REDUCE OR VOID THE
- WARRANTY IN ANY MANNER. F. PROVIDE ROOF DAVITS FOR FUTURE MAINTENANCE TIE-OFF. G.C. SHALL COORDINATE EXACT INSTALL DIMENSIONS IN FIELD TO ENSURE DAVIT IS 8" ABOVE THE ROOF SURFACE AND PROPERLY FLASHED.

### <u>ROOF PLAN LEGEND</u>

TAPERED ROOF INSULATION 

RESERVED SOLAR AREA FOR FUTURE USE

_					
			RUE DRTH		
JT DE					
	PRC	JECT ADDRES	SS		
				NDING ROAD	
		AYWAR	D, CA S	14040	
	PRC	JECT DELIVE	RY PACKAGE		
	SE	AL/SIGNATURE			
	THE	LICENSED PR	OFESSIONAL	SEAL AFFIXED TO THIS SHEET	
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THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING/DOCUMENT. COPYING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD					
		Party, in Who Expre	OLE OR IN PA	RT, IS FORBIDDEN UNLESS DRIZED IN WRITING.	
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	KIMLE	<u>Engineer</u> Ey horn Ony vera		STRUCTURAL ENGINEER HKS CLINT NASH	
	(925) 4637 Suite	398-4840 Chabot Drive 300		(214) 969-5599 One Dallas Center 350N. Saint Paul Street, Suite 100	
	Please <u>ARC</u> H	anton, California	94588	Dallas, Texas 75201 FIRE PROTECTION ENGINEER	
	(214)	H WICKES 969-5599 Dallas Center		ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive	
	350N. Dallas	Saint Paul Stre , Texas 75201		Suite 5300 Chicago, Illinois 60606	
	ESD (	COM ENGINEE GLOBAL O GRIMES	R	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (115) 616 8822	
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BUILDING ELEVATION- EAST

4 BUILDING ELEVATION- WEST

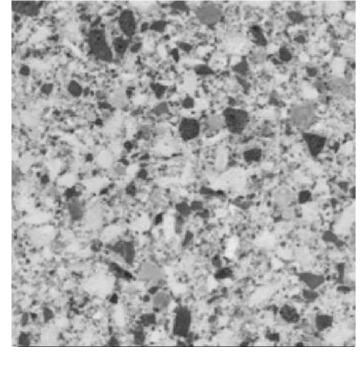
### **GENERAL NOTES**

1. CHAMFER ALL EXPOSED CONCRETE EDGES. 2. LINE OF FOOTINGS / FOUNDATIONS SHOWN (DASHED) ARE FOR REFERENCE ONLY. REFER TO STRUCTURAL FOR FOOTING / FOUNDATION ELEVATIONS, SIZES AND DETAILS. 3. ALL EXPOSED METAL TO BE PAINTED, UON, TYP.

KEYNOTE LEGEND Key Value Keynote Text

THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOL ON EXTERIOR FACE OF BUILDING OVERFLOW THROUGH WALL SCUPPER. LOCATE 1 FOOT TO SID OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE

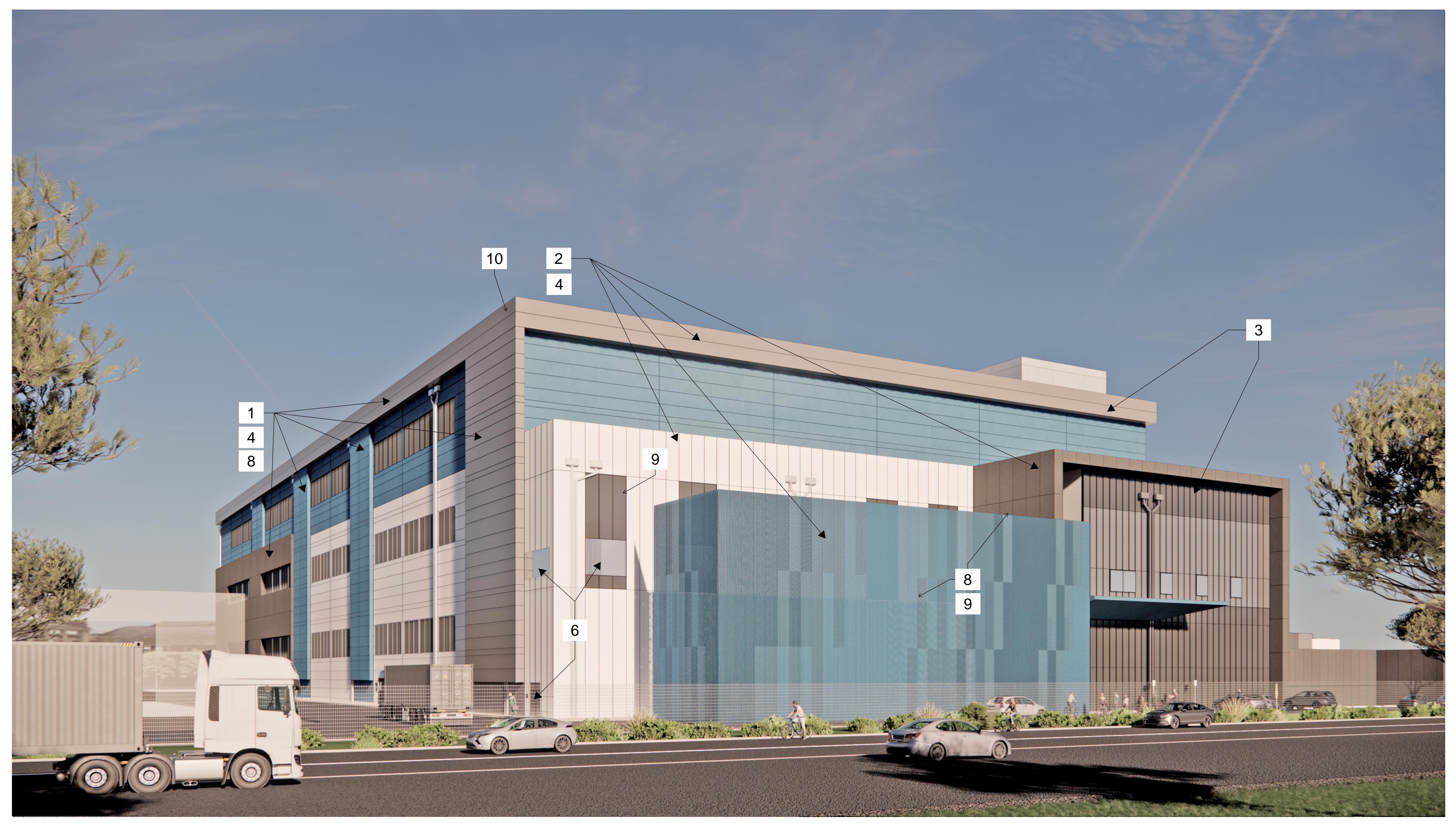
T1 TRENDSTONE GROUND FACE CMU - 'OREO CREAM'



### <u>LEGEND</u>

T1	GROUND FACE STRUCTURAL CMU WITH CLEAR ACRYLIC SEALANT TRENDSTONE - OREO CREAM MIDWEST
	GLASS
EW1	WINDOW
L2	LOUVER

-						
_						
	AYWARI		NDING ROAD 94545			
PRC	DJECT DELIVER	RY PACKAG	E			
SE	SEAL/SIGNATURE					
	AL/SIGNATURE	<u> </u>				
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# HAYWARD INDUSTRIAL DESIGN GUIDELINES -BUILDING DESIGN

### **MASSING & ARTICULATION**

1. Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height, and roofs located at different levels in order to minimize the overall appearance of the elevation. In general, building wall planes visible from a public street should not continue for more than 50-feet without a change in building wall plane direction of 2-feet or more.

Design massing elements to be properly scaled and in proportion to one another in order to provide a balance between horizontal and vertical emphasis.

3. Organize street facing building massing so as to emphasize interior uses of a building, such as the primary entry, building corners, or office space, through the use of varying roof height, windows, variation in materials, and other design treatments. 4. Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, or other features to create shadow patterns and depth on building elevations. Reuse of existing buildings may also include wall art or sculptural art elements.

 Minimize blank wall planes on all elevations through the use of wall plane variation, trim or reveals, entry and window openings, and/or varying colors and materials.

### WINDOWS & DOORS

 Use window and door type, proportion, and colors and materials to complement the overall architectural style of the building.

7. Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.

### **COLORS AND MATERIALS**

8. Select building colors and materials to reinforce building design, detailing, and architectural form in order to achieve harmony and continuity of the overall design.

9. Utilize accent colors for trim, windows, doors, and other key architectural elements, such as primary building entries, to add visual interest to a building.

10. Apply materials in a manner that corresponds to variation in building massing. Wrap outside corners to avoid a tacked-on appearance

 Use durable and high quality materials on building exteriors, especially in areas near ground level.



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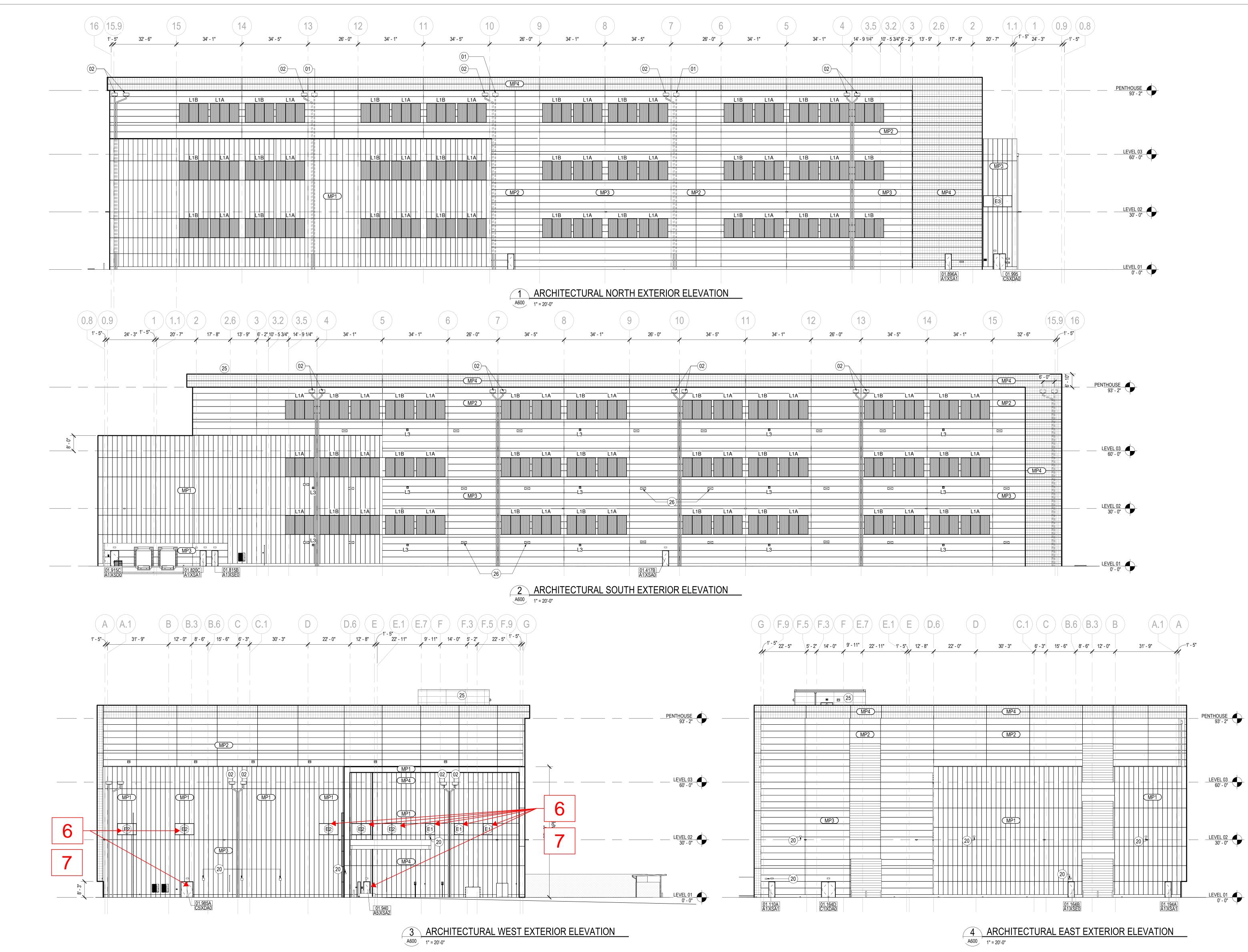
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### **SHEET NOTES - EXTERIOR ELEVATIONS** SHEET NOTE 01 THROUGH WALL SCUPPER AND DOWN BEHIND METAL PANEL. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS PREFINISHED TO MATCH ADJACENT LOUVER COLOR. TYP. 02 THROUGH WALL SCUPPER AND DOWN SPOUT. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS BELOW. PREFINISHED TO MATCH ADJACENT WALL COLOR. TYP. 03 DOCK SEAL, TYP. 06 WINDOW TYPE 'E1', RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH. 07 WINDOW TYPE 'E3', RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH. 08 EXTERIOR DOORS TO BE PAINTED TO MATCH COLOR OF WALL IN WHICH THEY OCCUR TYP. 09 METAL PANEL SYSTEM REVEALS TYP 12 BUILDING ENTRY STOREFRONT DOOR AND GLAZING. 13 LINE OFSCREEN WALL (DASHED). REFER TO PROVIDED ELEVATIONS FOR ADDITIONAL INFORMATION. 18 6" HIGH STEEL LETTERS, PIN MOUNTED TO TILT UP PANEL; PAINTED TO MATCH EPT3 20 WALL PACK EXTERIOR LIGHT FIXTURE; CENTER OVER DOOR OR OVER LOUVERS OR WITHIN PANEL, WHERE APPLICABLE; RE: ELECTRICAL DRAWINGS 25 METAL PANEL TYPE 5 (TO BE DETERMINED) 26 WALL CUTOUTS TO BE COORDINATED WITH MEP.

# 11 **EXTERIOR FINISH LEGEND:** MP1 BOD: CENTRIA FORMA WALL DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL DARK BRONZE MP2 BOD: CENTRIA FORMA WALL DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING

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	200 DEEP BLUE SEA
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	179 REGAL WHITE
MP4	BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING
	9960 XL MEDIUM GRAY
MP5	BOD: CENTRIA PARADIGM METAL PAN 9918 DOVE GRAY; 9989 PLATINUM SUNDACNE AM COATING; 9989 PLATINUM SUNDANCE MICA COATING

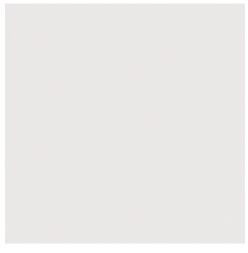
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MP1



MP2

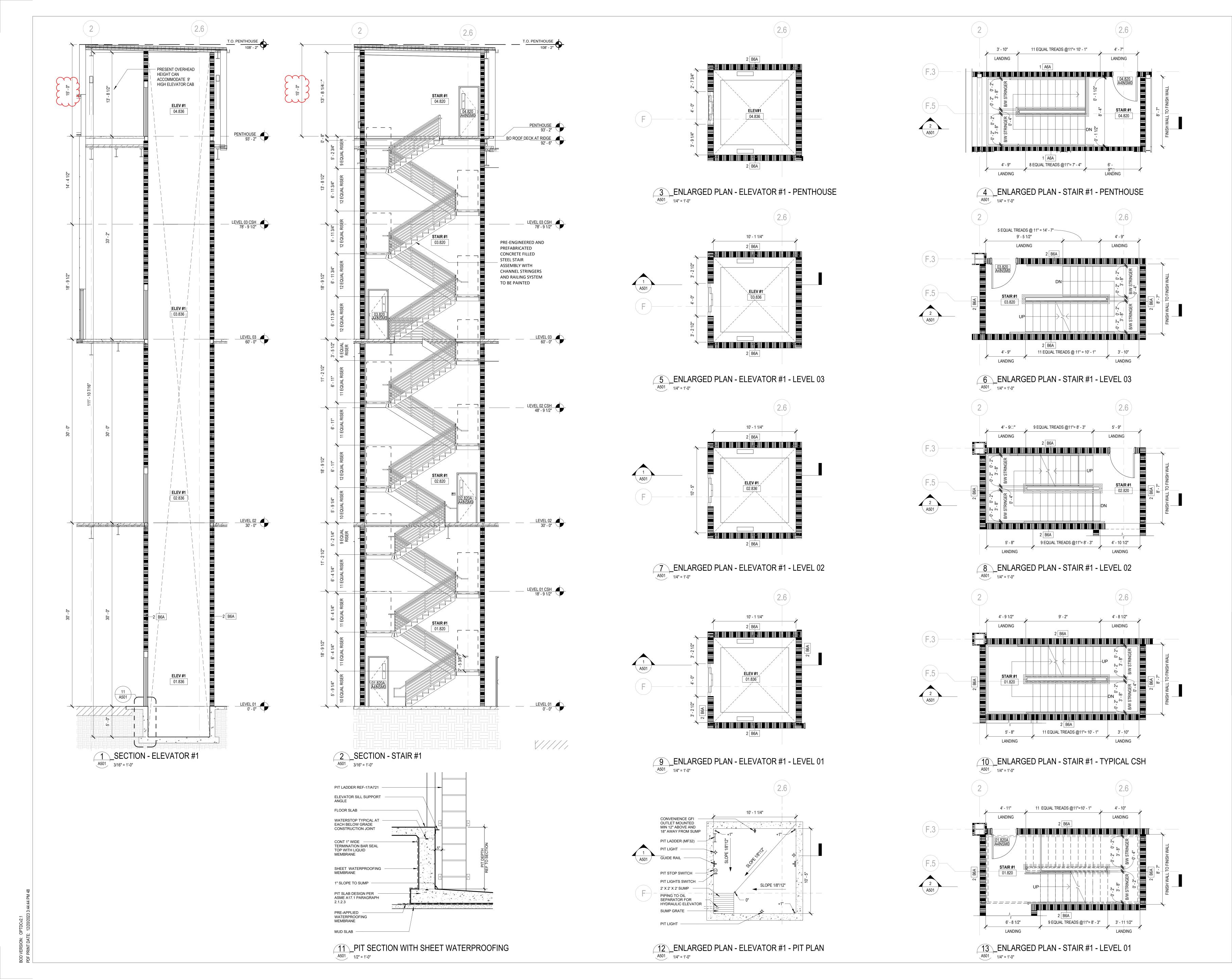


### MP3



MP4

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Chicago, Illinois 60606 <u>CIVIL ENGINEER</u> KIMLEY HORN ANTHONY VERA (925) 398-4840 4632 Chabat Drive	Chicago, Illinois 60606 <u>STRUCTURAL ENGINEER</u> HKS CLINT NASH (214) 969-5599 One Degles Contes					
4637 Chabot Drive       One Dallas Center         Suite 300       350 N. Saint Paul Street, Suite 100         Pleasanton, California 94588       Dallas, Texas 75201         ARCHITECT       FIRE PROTECTION ENGINEER         HKS       ESD GLOBAL         DUTCH WICKES       MICHAEL PARAS						
(214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201 <u>TELECOM ENGINEER</u>	(312) 372-1200 233 South Wacker Drive Suite 5300 chicago, Illinois 60606 <u>SECURITY ENGINEER</u>					
ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104					
PROJECT: BUILDING TITLE: ARCHITECTURAL ELEV	A SHELL ATOR & STAIR PLANS &					
DRAWING: A5	LE No: REV:					
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### SVY03A

TOTAL FOOTPRINT			
BUILDING A	105,750	SF	
GEN YARD	55,150	SF	
TOTAL	160,900	SF	

GFA		
LEVEL 01	105,750	SF
LEVEL 02	105,750	SF
LEVEL 03	98,960	SF
TOTAL	310,460	SF
GEN YARD	55,150	SF
TOTAL(DH + GEN. YARD)	365,610	SF

ROOMS
DATA HALL + DAHU
ELECTRIC ROOMS
OFFICE/LOBBY
STORAGE
STAIRS +LIFT WELL+SHAFTS

### SVY03B

TOTAL FOOTPRINT			
BUILDING B 15,254 SF			

GFA		
BUILDING C	15,254	SF

### SVY03C

TOTAL FOOTPRINT			
BUILDING C	1,605	SF	

GFA				
BUILDING C	1,605	SF		

### SITE

Landscaped Area	165,557	SF
Total Open Space	68,945	SF
Substation SVY03S1 Area	23,210	SF
Switching Station	25,800	SF
Lot Coverage	500,287	SF

Parking Requirements		
	57	Spaces
	6	ADA
Tota	63	Spaces

Bike Requirements		
Long Term	3	EA
Short Term	2	EA
Total	5	Total

	SVY03A AREA BI	REAKDOWN			
LEVEL 01	LEVEL 02	LEVEL 03	PENTHOUSE	TOTAL	
69,278	65,809	62,519	0	197,606	SF
16,776	16,776	16,772	0	50,324	SF
13,100	14,379	7,261	0	34,740	SF
2,423	1,070	1,183	0	4,676	SF
4,148	7,691	11,215	884	23,938	SF
105,725	105,725	98,950	884	311,284	