

PERSPECTIVE VIEW



PERSPECTIVE VIEW

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

THE LICENSED PROFESSIONAL SEAL AFFIXED TO THIS SHEET
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NOT EXHIBITING THIS SEAL.

ISSUE DATE:	PROJECT NO: 25691.000
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DESIGNED: HKS	ARCHITECT: HKS
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MARK	DATE	DESCRIPTION
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<u>MECHANICAL ENGINEER</u>	<u>ELECTRICAL ENGINEER</u>
ESD GLOBAL	ESD GLOBAL
MIKE YOUNG	REY BERNARDINO
(312) 372-1200	(312) 551-8612
233 South Wacker Drive	233 South Wacker Drive
Suite 5300	Suite 5300
Chicago, Illinois 60606	Chicago, Illinois 60606

CIVIL ENGINEER KIMLEY HORN ANTHONY VERA (925) 398-4840 4637 Chabot Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street Dallas, Texas 75201
--	---

ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
--	---

TELECOM ENGINEER	SECURITY ENGINEER
ESD GLOBAL	GUIDEPOST
TODD GRIMES	JON JOLIBOIS
(312) 372-1200	(415) 616-8822
233 South Wacker Drive	315 Montgomery Street
Suite 5300	10th Floor
Chicago, Illinois 60606	San Francisco, California

PROJECT:	BUILDING A SHELL
TITLE:	ARCHITECTURAL ELEVATION
DRAWING:	

DRAWING:		A608	
E1	SCALE:	AGILE No:	

PROJECT:	BUILDING A SHELL
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TITLE: ARCHITECTURAL ELEVATION

DRAWING:

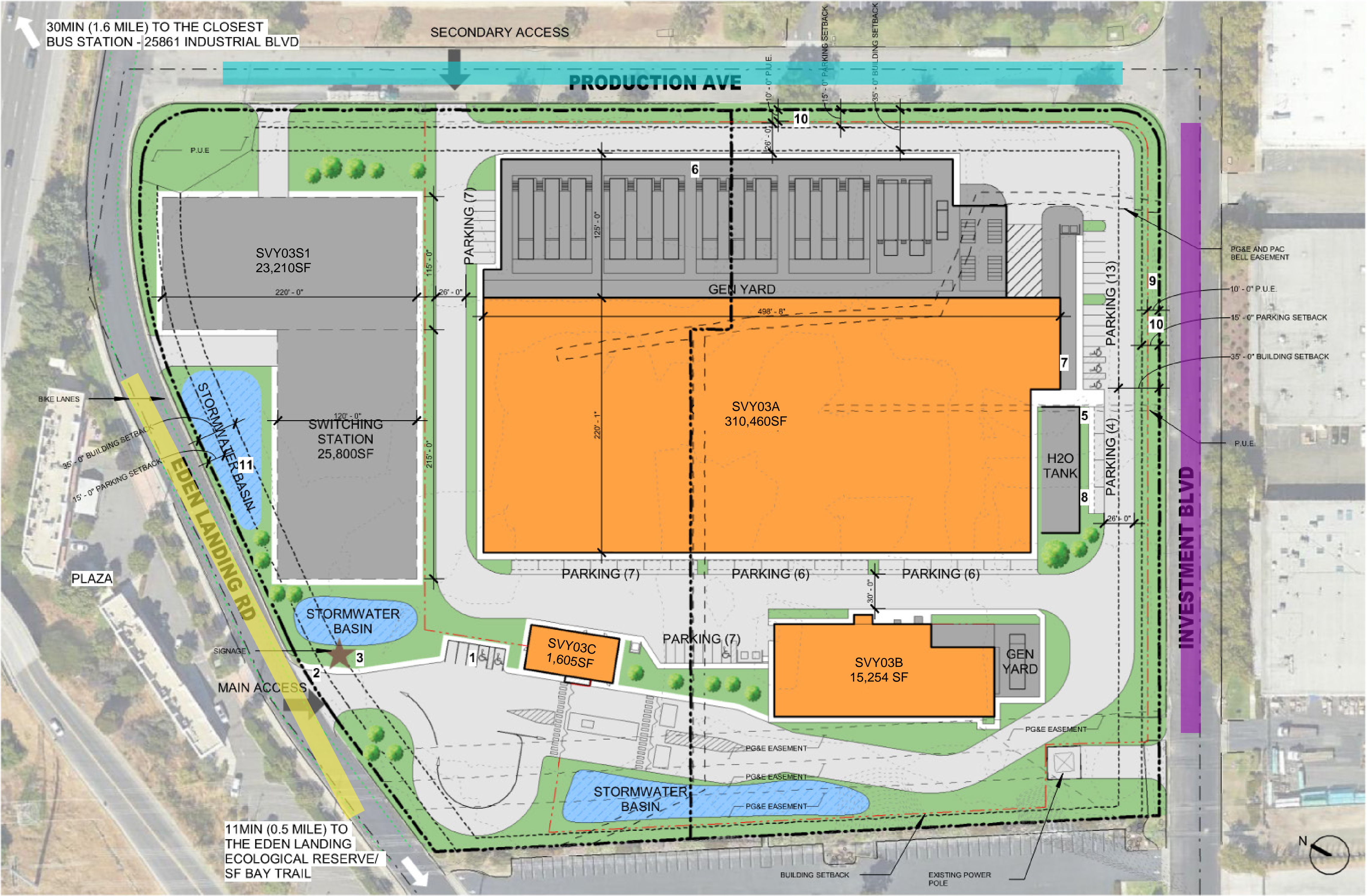
A608

SITE PLAN



EDEN LANDING RD

PRODUCTION AVE



INVESTMENT BLVD

FAR: 0.67
REQUIRED PARKING: 182 Spaces
PARKING PROVIDED: 64 Spaces
% LANDSCAPE: 33%

SVY03 STACK HAYWARD DATA CENTER

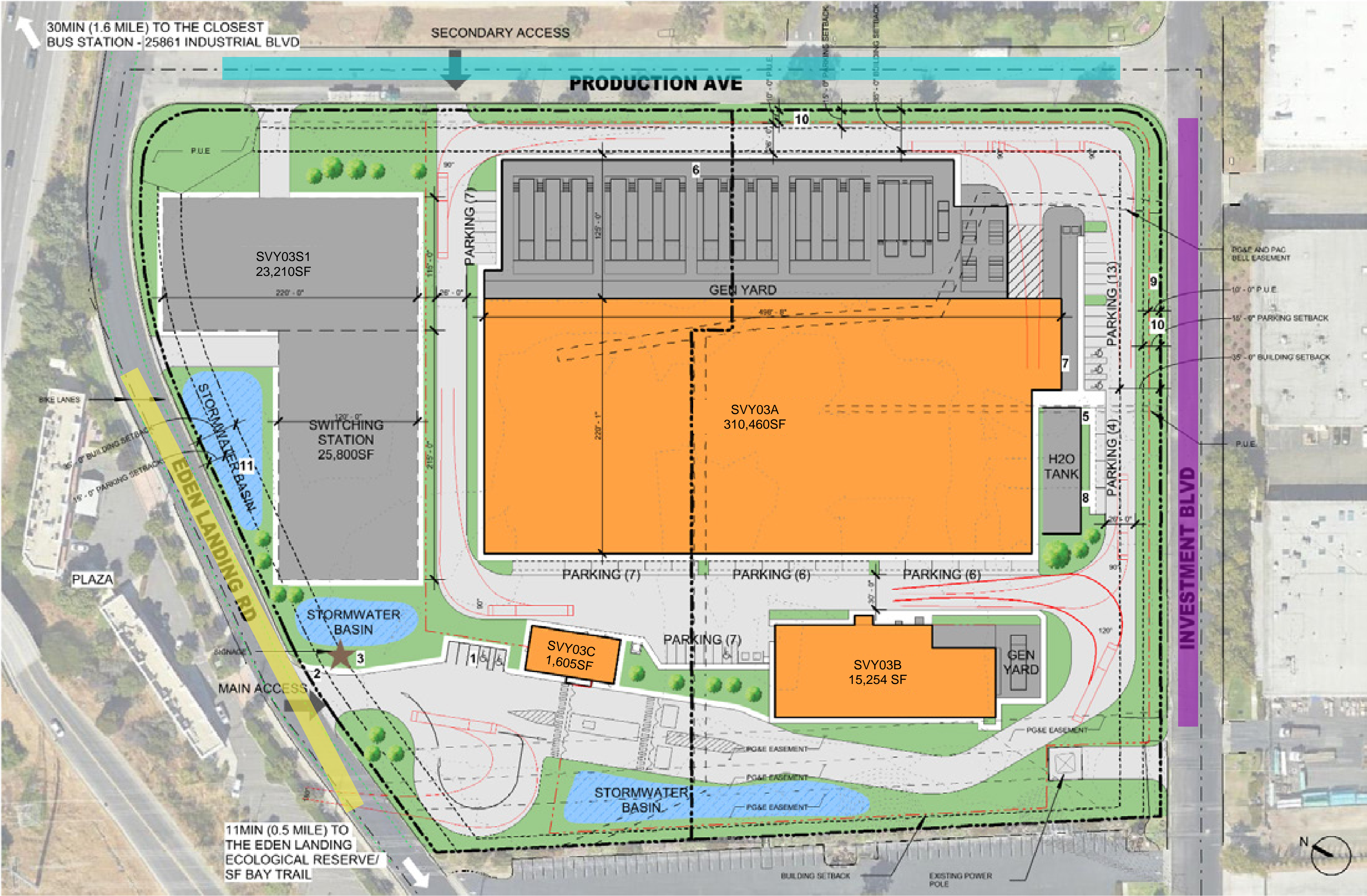
SITE PLAN - WB67 TURNING



PRODUCTION AVE



EDEN LANDING RD



INVESTMENT BLVD

PRECEDENCE - STACK PROJECTS



MATERIALS: METAL PANELS
GLAZING: TINTED
COLORS: LIGHT GREY, WHITE



MATERIALS: METAL PANELS, CONC PANELS
GLAZING: SPANDREL, TINTED
COLORS: SILVER, WHITE, DARK ACCENTS



MATERIALS: METAL PANELS
GLAZING: SPANDREL, TINTED
COLORS: GREY, BLUE, DARK ACCENTS



MATERIALS: METAL PANELS, CONC PANELS
GLAZING: SPANDREL, TINTED
COLORS: SILVER, BEIGE, BROWN ACCENTS

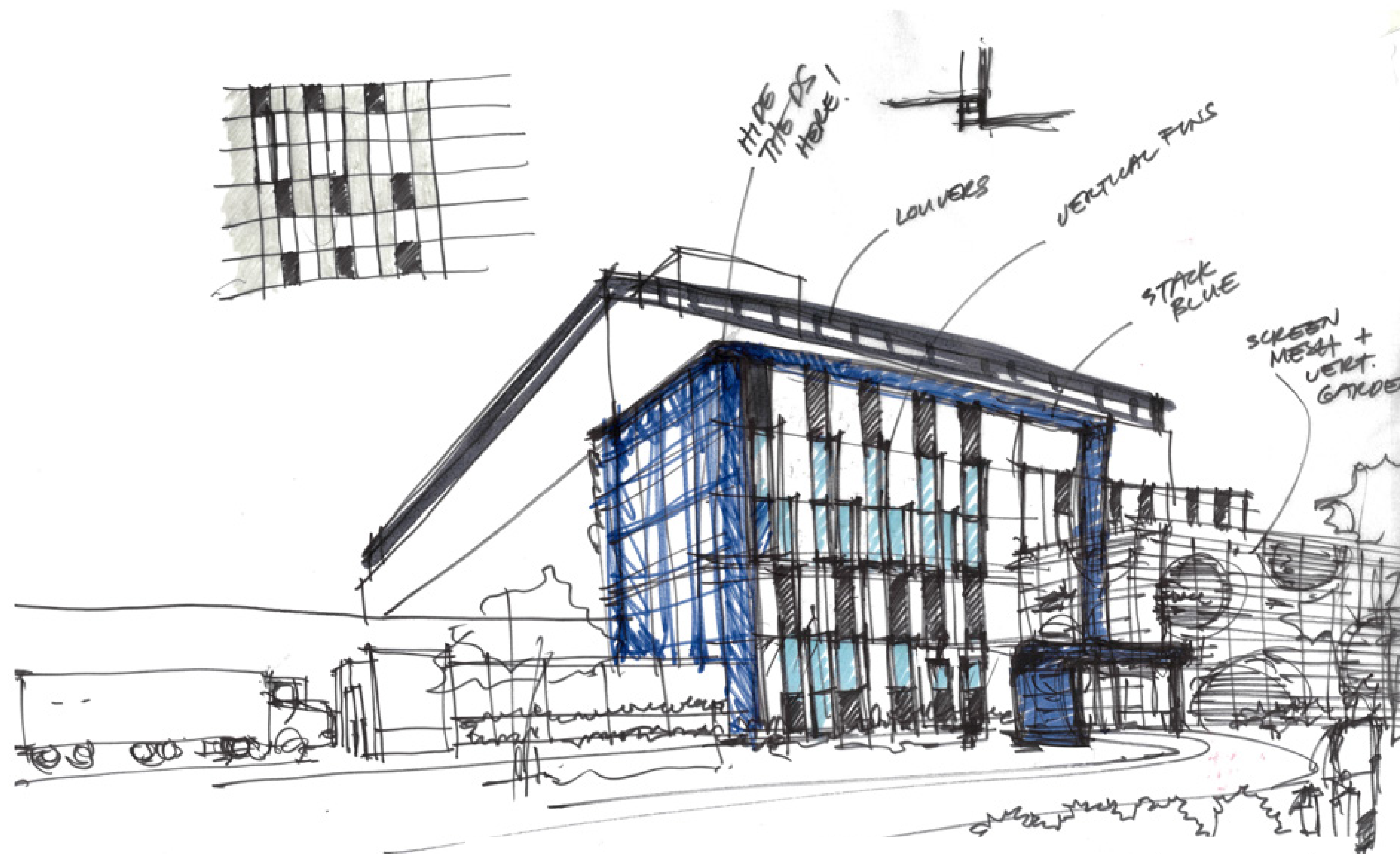


MATERIALS: METAL PANELS
GLAZING: TINTED
COLORS: GROWN, LIGHT GREY, WHITE



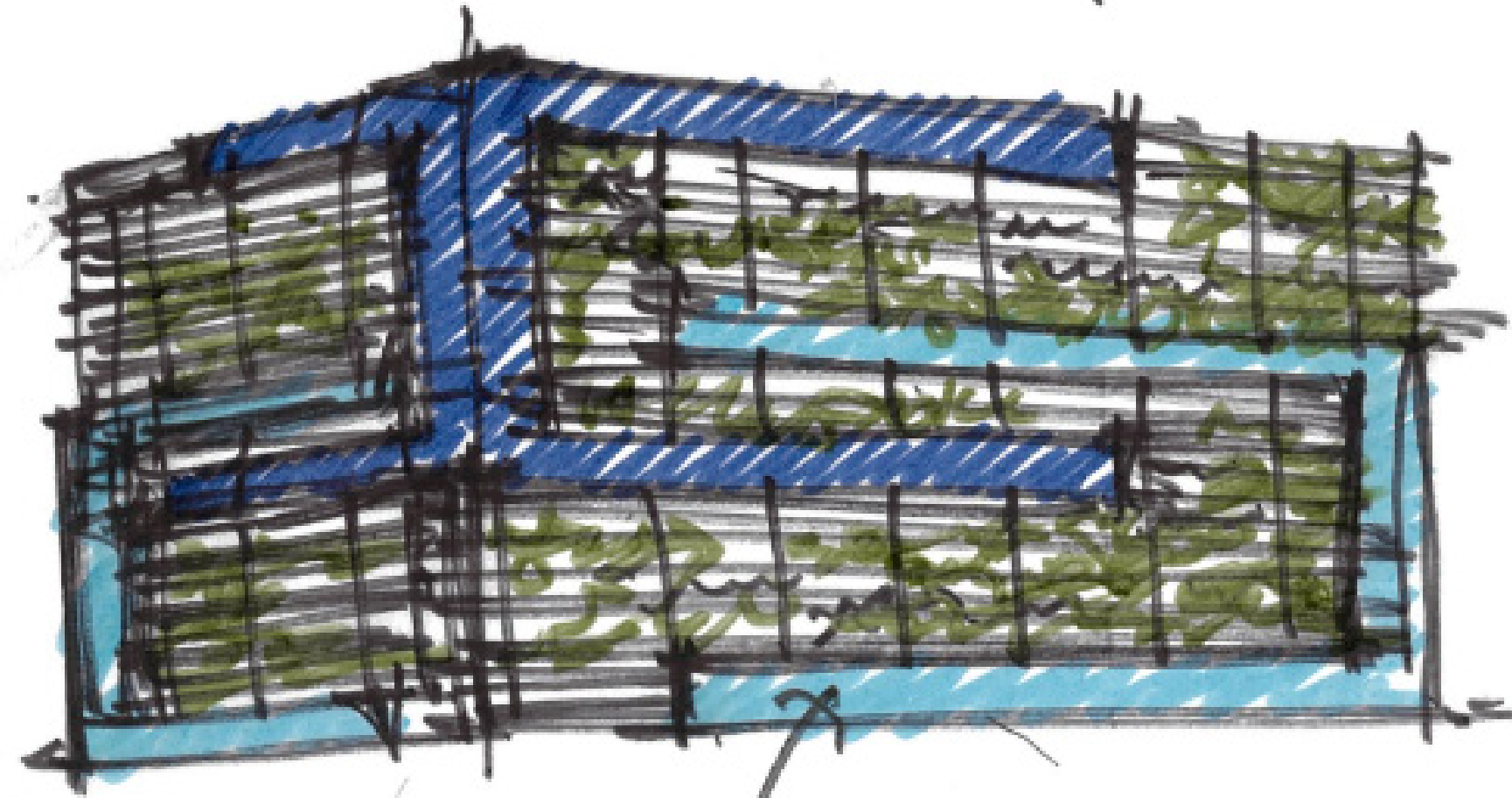
MATERIALS: METAL PANELS
GLAZING: SPANDREL, TINTED
COLORS: GOLD, SILVER

CONCEPT SKETCHES

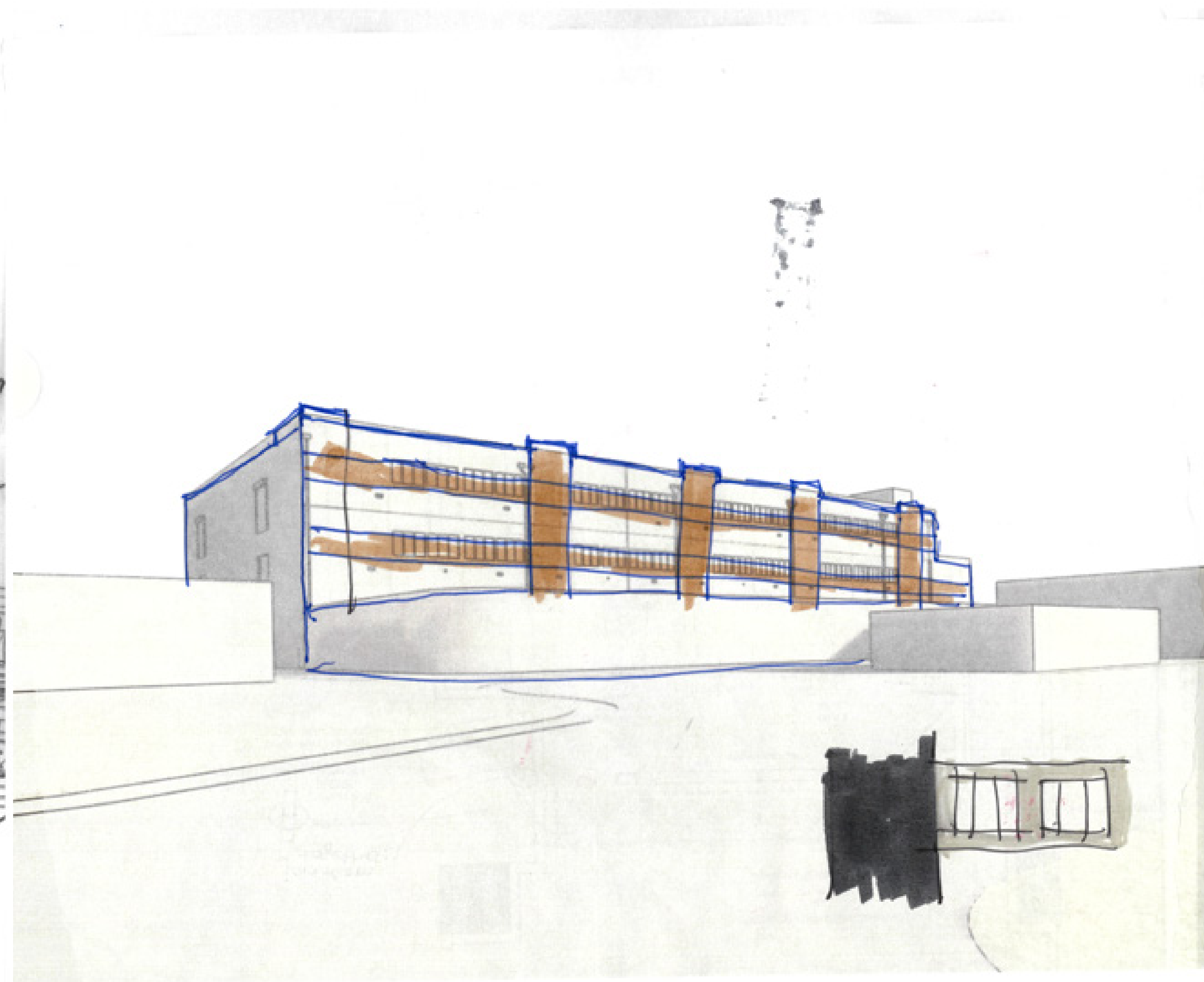


- ACCENTUATE AND FRAME OFFICE VOLUME
- REINTERPRET SCREEN WALL INTO FEATURE WALL
- IDENTIFY AND CREATE ENTRY PORTAL
- ARTICULATE WALL WITH PATTERN AND GLAZING

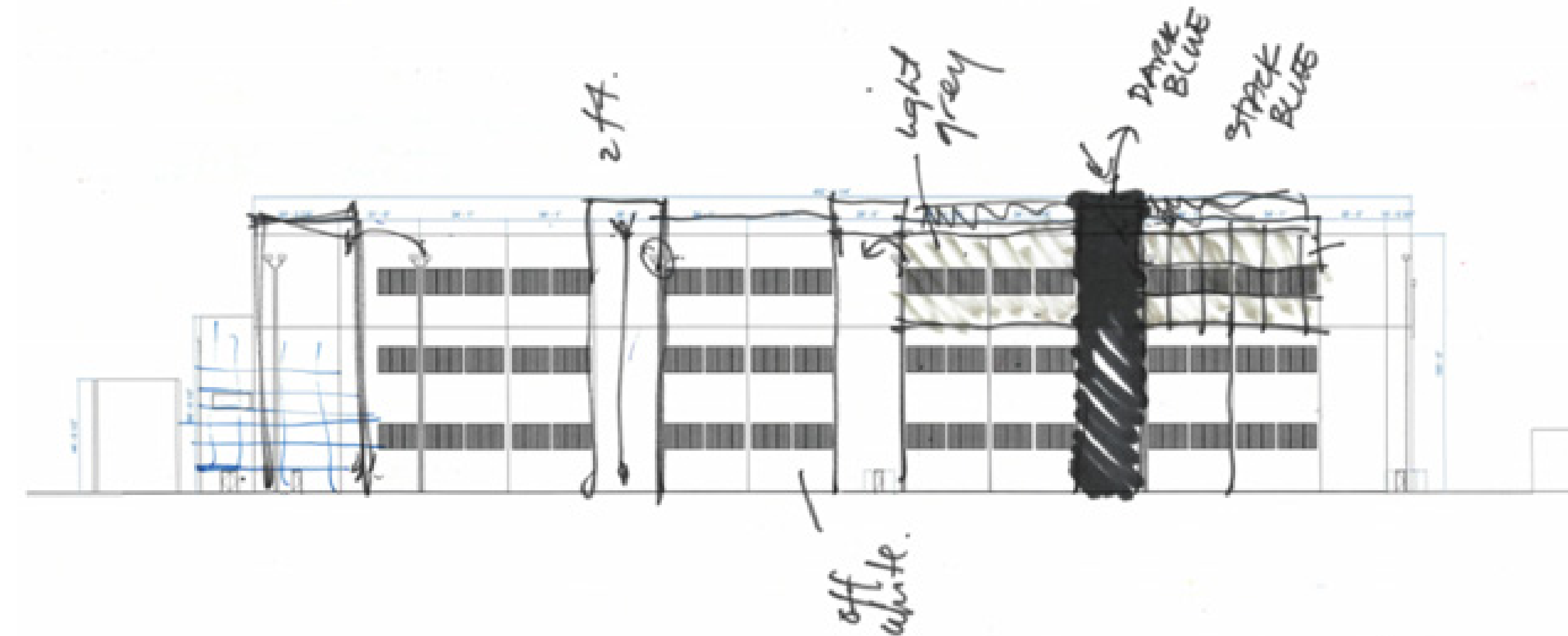
WATER TOWER
FENCE
PERF. METAL SCREEN
+ VERT. GARDEN



STACK LOGO



- ARTICULATE DATA HALL WALL WITH METAL PANELS
- ACCENTUATE HORIZONTAL LOUVERS
- CREATE AND ARTICULATE PATTERN TO CREATE COHESIVE DESIGN LANGUAGE



CONCEPT STUDY - ENTRANCE VIEW



COLOR CONSIDERATIONS



LIGHT BLUE LIGHT GREY LIGHT GREY

MATERIAL CONSIDERATIONS



PERFORATED
SCREEN



ARCHITECTURAL
LOUVERS



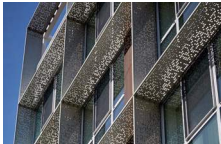
CONCRETE
PANEL



METAL PANEL

HAYWARD DESIGN GUIDELINES:

- 1 Incorporate architectural features such as awnings, canopies, trellises, and/or other treatments such as vertical architectural features or unique building colors or materials to clearly identify primary building entries.
- 2 Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.
- 3 Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, etc.



CONCEPT STUDY - DATA HALL VIEW



COLOR CONSIDERATIONS



LIGHT BLUE DARK GREY LIGHT GREY

MATERIAL CONSIDERATIONS



PERFORATED
SCREEN



ARCHITECTURAL
LOUVERS



CONCRETE
PANEL



METAL PANEL

HAYWARD DESIGN GUIDELINES:

4 Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height. In general, building wall planes visible from public street should not continue for more than 50 feet without a change in building wall plane direction of 2 feet for more



5 Articulation and detailing continue on side elevation through use of windows, awnings, and other detailing



6 Provide screening for mechanical and electrical equipment as an integral part of roof structure design.



CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE A:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF HAYWARD, IN THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

Parcel One-A:
Parcel 1 of Parcel Map No. 660, filed January 8, 1971, in Book 64, Page 100 of Maps, Alameda County Records.
Parcel One-B:
Being a portion of Production Avenue as dedicated, accepted, and shown on that certain map of Tract 2898 Eden Landing Industrial Park filed June 30, 1967, in Book 55 of Maps at Page 25, Alameda County Records, more particularly described as follows:
Beginning at a point lying on the Westerly line of said Production Avenue, said point being the Northwestern terminus of that certain course shown as North 31°37'51" West 744.11 feet on said map;
Thence along said Westerly line of Production Avenue the following four (4) courses, last said line being coincident with the general Northerly line of Parcel 1, as shown on Parcel Map 660, filed January 8, 1971, in Book 64 of Parcel Maps at Page 100, Alameda County Records;
1. South 67°43'45" West 40.00 feet;
2. North 62°21'43" West 63.60 feet;
3. North 30°56'51" West 16.37 feet to the Westerly boundary of said Tract 2898;
4. North 01°43'39" East 29.23 feet along last said line to the Southerly line of Eden Landing Road as described in the Relinquishment of Highway Right of Way in the County of Alameda, Road 04-ALA-92-3.4-4.5 Request No. 31413 recorded January 25, 1968 on Reel 2114 at Image 872, Official Records of said County;
5. Thence North 61°31'18" East 8.94 feet along last said line to the beginning of a curve concave Southerly and having a radius of 49.50 feet;
6. Thence Easterly and Southeasterly 75.03 feet along said curve through a central angle of 86°50'51" to the prolongation of said Westerly line of Production Avenue;
7. Thence South 31°37'51" East 52.05 feet along last said line to the Point of Beginning;
As vacated by the City of Hayward in Resolution No. 19-041 recorded March 12, 2019 Instrument No. 2019044285, of Alameda County Records.
APN: 461-0085-052-01

Parcel Two:
Parcel 2 of Parcel Map No. 660, filed January 8, 1971, in Book 64, Page 100 of Maps, Alameda County Records.
APN: 461-0085-016-00

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE B, SECTION II:

Numbers correspond with survey-related Schedule B exception items contained in the above referenced Title Commitment.

7. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: December 19, 1910
Recording No.: Book 1844 of Deeds, Page 278
Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660
Filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

8. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: March 5, 1958
Recording No.: Book 8611, Page 323, of Official Records
Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660,
Filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

9. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: March 5, 1958
Recording No.: Book 8611, Page 325, of Official Records
Affects: Portion of Parcels One and Two, and as shown on Parcel Map 660,
Filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

10. A waiver of any claims for damages by reason of the location, construction, landscaping or maintenance of a contiguous freeway, highway or roadway, as contained in the Document Records November 27,1963, Book/Reel 1055, Page/Image 981, Official Records.
(BENEFITS THE SUBJECT PROPERTY - AREA DESCRIBED IS WITHIN THE CURRENT DEDICATED RIGHT-OF-WAY OF EDEN LANDING ROAD)

11. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Transmission and Distribution of Electricity
Recording Date: May 22, 1967
Recording No.: Reel 1967, Image 510, of Official Records
Affects: Portion of Parcel Two, and as shown on Parcel Map 660,
Filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

12. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document

Recording Date: June 30, 1967
Recording No.: Reel 1991, Image 793, of Official Records

Modification(s) of said covenants, conditions and restrictions

Recording Date: March 30, 1973
Recording No.: Reel 3378, Image 850, of Official Records

Modification(s) of said covenants, conditions and restrictions

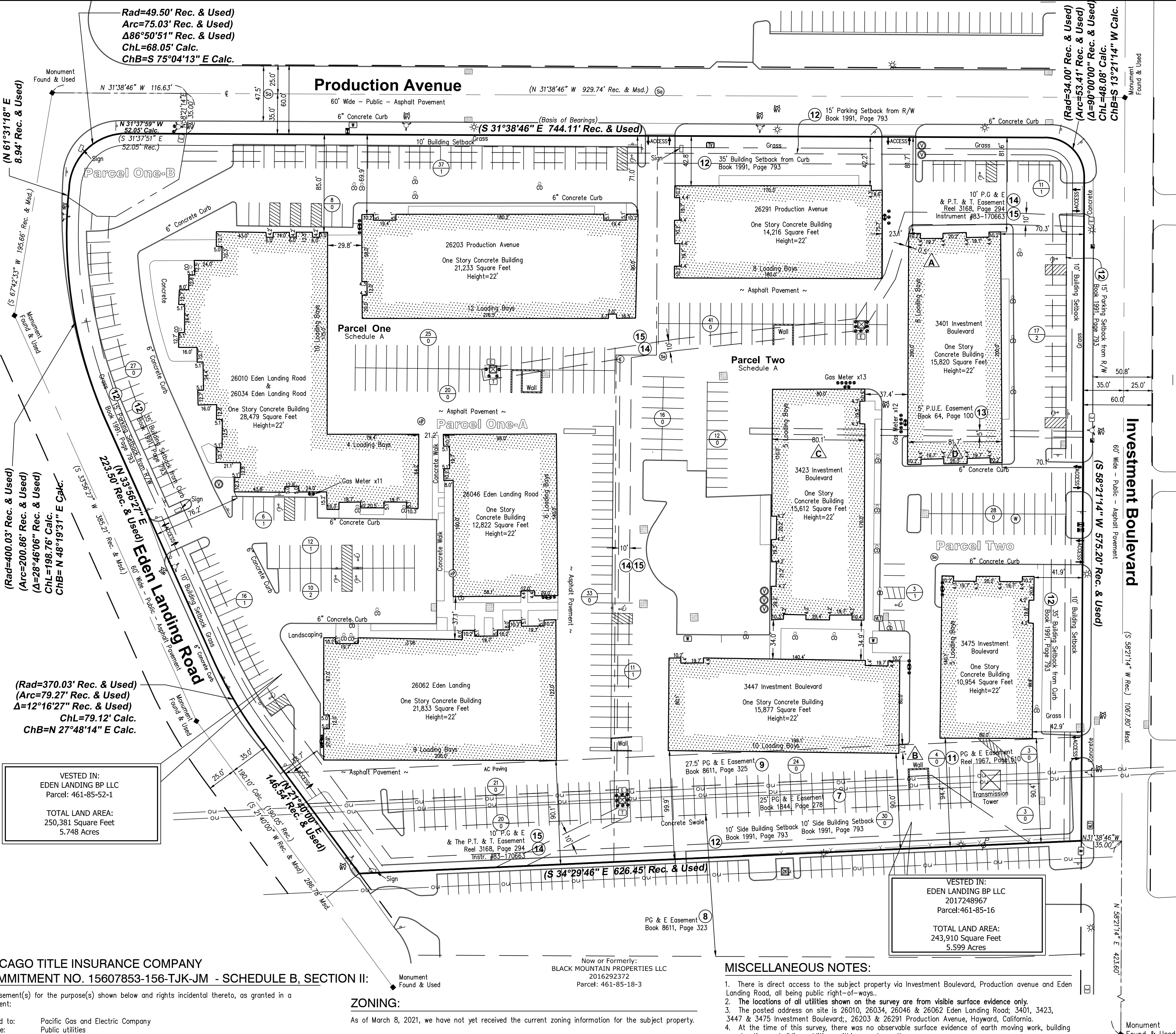
Recording Date: May 18, 1973
Recording No.: Reel 3420, Image 499, of Official Records

(Affects Parcels One and Two)
(AFFECTS THE SUBJECT PROPERTY AS TO BUILDING AND PARKING SETBACKS - PLOTTED AND SHOWN HEREON)

13. Easement(s) for the purpose(s) shown below and rights incidental thereto as delineated or as offered for dedication, on the map of said tract/plot;

Purpose: Public utilities
Affects: Portion of Parcels One and Two, as shown on Parcel Map 660,
Filed January 8, 1971, Parcel Map Book 64, Page 100, of Official Records.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

Rad=49.50' Rec. & Used)
Arc=75.03' Rec. & Used)
Δ86°50'51" Rec. & Used)
ChL=68.05' Calc.
ChB=S 75°04'13" E Calc.



CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 15607853-156-TJK-JM - SCHEDULE B, SECTION II:

14. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Gas and Electric Company
Purpose: Public utilities
Recording Date: July 8, 1971
Recording No.: Reel 2894, Image 770, of Official Records
Affects: Portion of Parcels One and Two

and Recording Date: June 28, 1972
Recording No.: Reel 3168, Image 294, of Official Records

Notice of Location Recorded by Pacific Gas and Electric Company and Recorded April 27, 1972, Reel 3117, Image 962, Official Records.

The terms and provisions contained in the Document Entitled "Relocation Agreement" Recorded June 20, 1997, as Instrument No. 97-154100, of Official Records.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

15. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: The Pacific Telephone & Telegraph Company
Purpose: Public utilities
Recording Date: September 15, 1983
Recording No.: 83-170663, of Official Records
Affects: Portion of Parcels One and Two, whose exact location cannot be determined of record.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

ZONING:

As of March 8, 2021, we have not yet received the current zoning information for the subject property.

FLOOD ZONE:

By scaled map location and graphic plotting only, the subject property appears to lie entirely in Zone X-Unshaded (Areas determined to be outside the 0.2% annual chance floodplain) according to the Flood Insurance Rate Map for the County of Alameda, State of California, Community Panel No. 06001C0288G Effective Date August 3, 2009.

BASIS OF BEARING:

The basis for all bearings shown hereon is the centerline of Production Avenue, known as being South 31°38'46" East, per an ALTA/ACSM Survey by Kier & Wright dated August of 2000.

PARKING:

441 Parking Spaces
13 Handicapped Spaces
454 Total Parking Spaces
Subject property includes 73 Loading Bays

TOTAL LAND AREA:

494,291 Square Feet
11.347 Acres

MISCELLANEOUS NOTES:

- There is direct access to the subject property via Investment Boulevard, Production avenue and Eden Landing Road, all being public right-of-ways.
- The locations of all utilities shown on the survey are from visible surface evidence only.
- The posted address on site is 26010, 26034, 26046 & 26062 Eden Landing Road; 3401, 3423, 3447 & 3475 Investment Boulevard; 26203 & 26291 Production Avenue, Hayward, California.
- At the time of this survey, there was no observable surface evidence of earth moving work, building construction or building additions within recent months.
- At the time of this survey, there was no observable evidence of the subject property being used as a solid waste dump, sump or sanitary landfill.
- At the time of this survey, there was no observable evidence of any recent changes in street right-of-way lines either completed or proposed, and available from the controlling jurisdiction.
- At the time of this survey, there was no observable evidence of any recent street or sidewalk construction or repairs.
- At the time of the survey, no party walls were observed.
- Rectified orthophotography, photogrammetric mapping, airborne/mobile laser scanning and other similar products were not used as the basis for showing the location of any features within this survey.
- The Property surveyed and shown hereon is the same property described in Schedule A of Chicago Title Company (issuing agent for Chicago Title Insurance Company) Preliminary Report No. 15607853-156-TJK-JM, Effective Date: February 18, 2021.

SURVEYOR'S OBSERVATIONS:

- Subject's Building appears to lie a maximum distance of 0.5 feet over the 10' P.G. & E. and P.T. & T. Easements recorded in Reel 3168, Page 294, and in Instrument #83-170663 of Alameda County Records.
- Subject's Building appears to lie a maximum distance of 7.1 feet over the 27.5' P.G. & E. Easement recorded in Book 8611, Page 325 of Alameda County Records.
- Subject's Building appears to lie a maximum distance of 80.1 feet over the 5' P.U.E. Easement, recorded in Book 64, Page 100 of Alameda County Records.
- Subject's Building appears to lie a maximum distance of 81.7 feet over the 5' P.U.E. Easement, recorded in Book 64, Page 100 of Alameda County Records.

CERTIFICATION:

To: CIP Real Estate and its successors and assigns; Eden Landing BP, LLC, a Delaware limited liability company, and its successors and assigns; Wells Fargo Bank, National Association, and its successors and assigns; Chicago Title Company and Chicago Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 13, 15, 16, and 17 of Table A thereof. The field work was completed on February 19, 2021.

Date of Plat or Map: March 8, 2021.

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Professional Land Surveyors Act of the request of CIP Real Estate on February 8, 2021.

By: S. Craig Davis, PLS
Licensed Land Surveyor No. 6262
within the State of California
For and on behalf of Millman Surveying, Inc.

REVISION HISTORY

BY:	DATE:	COMMENT:
PWC	03/09/2021	Clerical Comments
PWC	04/05/2021	Client Comments
PWC	04/09/2021	Client Comments

millman
National Land Services

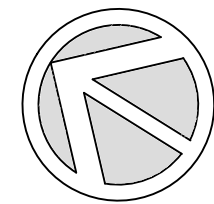
Transforming the Industry
Surveying
Zoning
Environmental
Real Support - Title Review
Millman Surveying, Inc.
Corporate Headquarters
4111 Bradley Circle NW
Canton, OH 44718
Phone: 800-520-1010
Fax: 330-342-0834
www.millmanland.com
landsurveyors@millmanland.com

ALTA/NSPS LAND TITLE
SURVEY PREPARED FOR:

CIP Real Estate

19762 MacArthur Boulevard
Suite 300
Irvine, California 92612

26010, 26034, 26046 & 26062 Eden
Landing Road; 3401, 3423, 3447 &
3475
Investment Boulevard; 26203 &
26291 Production Avenue
City of Hayward
County of Alameda
State of California



NORTH

GRAPHIC SCALE

0 50' 100'
1 INCH = 50 FT.

PRELIMINARY

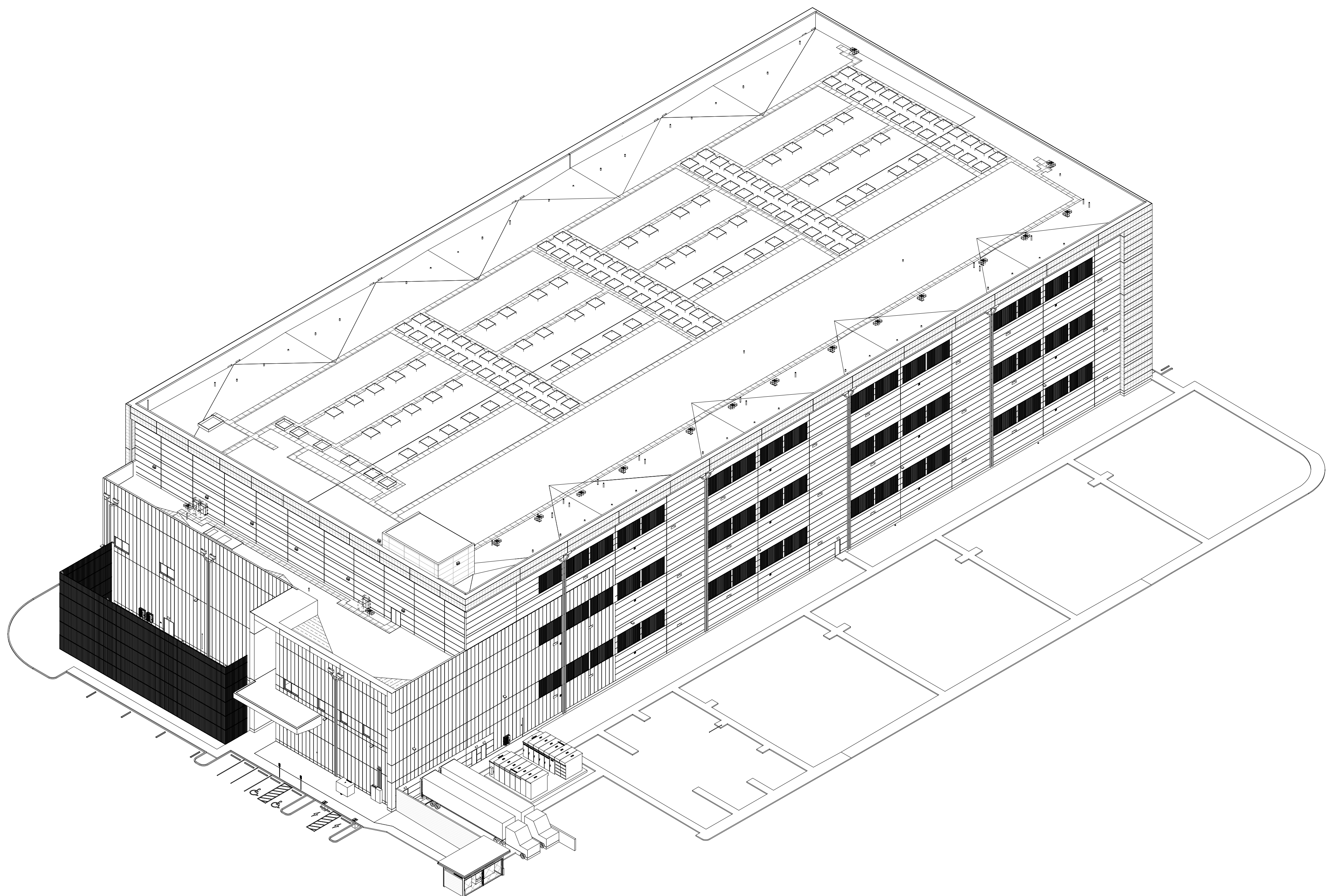
FOR REVIEW ONLY

Surveyor's Seal

Sheet No. 1 of 1

MSI Project No. 49336
Prior MSI Project No. 41841

PC: ERF
PM: PWC Drafter: KHD



BUILDING A

BUILDING DATA

STRUCTURAL TYPE	FLEX WAREHOUSE AND COMMERCIAL OFFICE
	COMPUTER DATA CENTER AND RELATED OFFICE AREA
SCOPE OF WORK	NEW COLD DARK AND WET SHELL, TO HAVE SUBSEQUENT PHASED INTERIOR BUILD OUT
NOTES OF OCCUPANCY	STORAGE ROOMS ARE TO CONTAIN COMPUTER AND MECHANICAL EQUIPMENT SPARE PARTS AND COMPONENTS, STORAGE ROOMS ARE NOT INTENDED TO STORE ANY HAZARDOUS MATERIALS SUCH AS FLAMMABLE COMBUSTIBLE LIQUIDS OR CORROSIVE / TOXIC MATERIALS
	THE PRIMARY PURPOSE OF THIS PROJECT IS TO HOUSE COMPUTER EQUIPMENT AND ITS SUPPORTING INFRASTRUCTURE. THE DATA HALL WILL BE OCCUPIED ONLY DURING PERIODIC MAINTENANCE AND SERVICE WORK

PROJECT ADDRESS			
26062 EDEN LANDING ROAD HAYWARD, CA 94545			
PROJECT DELIVERY PACKAGE			
SEAL/SIGNATURE			
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ISSUE DATE:	PROJECT NO: 25691.000		
DESIGNED: HK5	ARCHITECT: HK5		
MARK	DATE	DESCRIPTION	
CONFIDENTIAL INFORMATION THIS DRAWING/DRAWING AND ALL DESIGNS, DETAILS, INVENTIONS OR DEVELOPMENTS COVERED OR DERIVED THEREBY ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF THE OWNER (OR ITS AFFILIATES), WHICH RESERVE ALL RIGHTS IN THIS DRAWING/DRAWING. COPYING, REPRODUCTION, DUPLICATION, OR DISTRIBUTION TO A THIRD PARTY, IN WHOLE OR IN PART, IS FORBIDDEN UNLESS EXPRESSLY AUTHORIZED IN WRITING.			
MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606		
CIVIL ENGINEER KIMLEY-HORN ANTHONY VERA (920) 398-4840 4537 Chabot Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HK5 CLINT NASH (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201		
ARCHITECT HK5 DUTCH WICKES (214) 969-5599 One Dallas Center 350 N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606		
TELECOM ENGINEER ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104		
PROJECT: BUILDING A SHELL			
TITLE: PROJECT COVER SHEET			
DRAWING: G000.CS			
E1	SCALE:	AGILE No:	REV:

ARCHITECTURAL LEGEND

VICINITY MAP

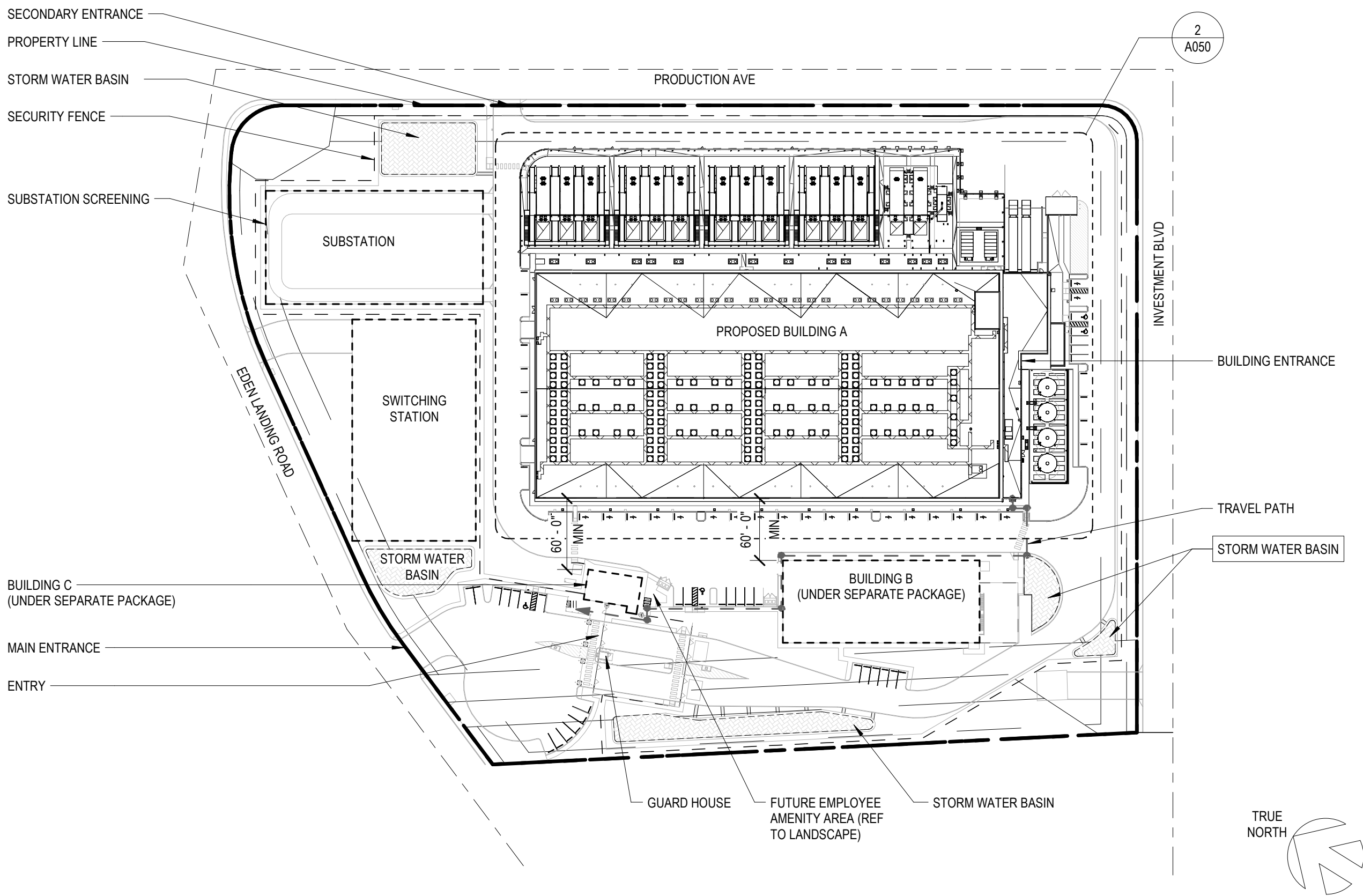


£	BRITISH POUND (CURRENCY)	ELAST	ELASTOMERIC	LAV	LAVATORY	RCP	REFLECTED CEILING PLAN	WI	WITH
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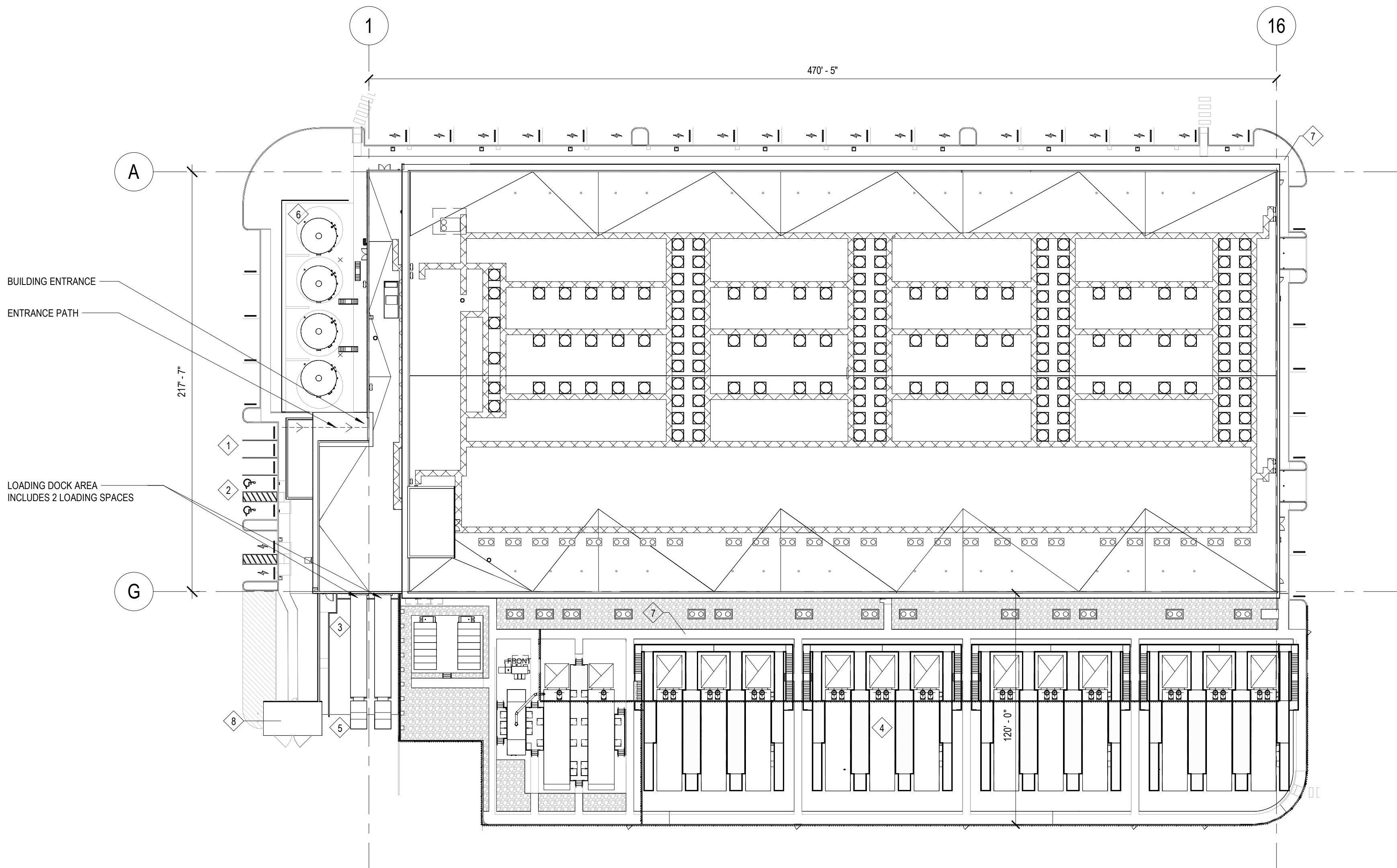
HAZARDOUS MATERIALS					
BBU: WMMW TrendPower					
Cell: Samsung SDI INR18650-20					
Electrolyte Chemical	CAS	Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)
Ethylene Carbonate	96-49-1	145.5	248	Combustible - Class IIIB	0.11
Propylene Carbonate	108-32-7	135.5	242	Combustible - Class IIIB	
Diethyl Carbonate	15-58-8	25	126-128	Flammable - Class IC	
Ethyl Propionate	105-37-3	12	99	Flammable - Class IB	
BBU: WMMW Panasonic					
Cell: Panasonic UR18650RX					
Electrolyte Chemical	CAS	Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)
Ethylene Carbonate	96-49-1	145.5	248	Combustible - Class IIIB	0.15
Diethyl Carbonate	105-58-8	25	126-128	Flammable - Class IC	
BBU: RP LithIon					
Cell: Samsung SDI INR18650-20					
Electrolyte Chemical	CAS	Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)
Ethylene Carbonate	96-49-1	145.5	248	Combustible - Class IIIB	0.132
Propylene Carbonate	108-32-7	135.5	242	Combustible - Class IIIB	
Diethyl Carbonate	15-58-8	25	126-128	Flammable - Class IC	
Ethyl Propionate	105-37-3	12	99	Flammable - Class IB	
BBU: RP Panasonic					
Cell: Panasonic UR18650RX					
Electrolyte Chemical	CAS	Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)
Ethylene Carbonate	96-49-1	145.5	248	Combustible - Class IIIB	0.15
Diethyl Carbonate	105-58-8	25	126-128	Flammable - Class IC	
BBU: RP Electronic					
Cell: Murata US18650VTC4					
Electrolyte Chemical	CAS	Flash Point (°C)	Boiling Point (°C)	Classification	Electrolyte Volume / BBU (gal)
Ethylene Carbonate	623-53-0	23.9	107	Flammable - Class IC	0.09
Dimethyl Carbonate	616-38-6	16	86	Flammable - Class IB	

ACCESSIBILITY NOTES

<p>A. PILE THICKNESS OF SPECIFIED CARPETS DOES NOT EXCEED 1/2".</p> <p>B. FLOOR SURFACES ARE SLOPE RESISTANT.</p> <p>C. ABOVE CHANGES IN LEVEL ALONG ACCESSIBLE ROUTE DOES NOT EXCEED 1/4" IN HEIGHT. CHANGES BETWEEN 1/4" AND 1/2" ARE BEVELED WITH A SLOPE NO STEEPER THAN 1:12. LEVELS CHANGE NOT EXCEEDING 1/4" MAY BE VERTICAL.</p> <p>D. LATCHING AND LOCKING DOORS ARE SPECIFIED TO BE OPERABLE WITH A SINGLE EFFORT BY HANDWARE THAT DOES NOT REQUIRE GRASPING, PINCHING OR TWISTING OF THE WRIST. DOOR OPENING HARDWARE IS SPECIFIED TO BE MOUNTED BETWEEN 34" AND 48" FROM FLOOR FINISH.</p> <p>E. CLOSERS FOR FIRE-RATED DOORS ARE SPECIFIED TO BE POWER-LEVELLED 3" FOR INTERIOR DOORS 3' OR LESS IN WIDTH.</p> <p>F. MAXIMUM PULL OR PUSH EFFORT TO OPERATE NON-FIRED RATED DOORS SHALL NOT EXCEED 85 POUNDS FOR EXTERIOR DOORS. FOR DOORS FOR INTERIORS, MEASURED AT RIGHT ANGLES TO HINGED EDGES AND AT CENTER PLACE OF SLIDING OR FOLDING DOORS. SPECIES CHOSEN ARE TO BE ADJUSTED TO COMPLY.</p> <p>G. ALL DOORS ARE SPECIFIED TO BE NOT LESS THAN 3'-0" IN WIDTH AND NOT LESS THAN 8'-0" IN HEIGHT. DOORS ARE CAPABLE OF OPENING AT LEAST 90 DEGREES AND CLEAR WIDTH SHALL NOT BE LESS THAN 32".</p> <p>H. ALL DOORS ON EACH SIDE OF LEVEL ARE SPECIFIED TO LEVEL AND CLEAR DIMENSIONS OF THE LEVEL AREAS ARE SPECIFIED TO MEET ANSI 117.1-2017, IAC AND ADA CLEARANCE REQUIREMENTS.</p> <p>I. FLOORS OR LANDINGS ARE SPECIFIED TO BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY.</p> <p>J. WHEN AN ELEVATOR 1/4" OR GREATER IS SPECIFIED TO BE USED TO BEVELED WITH A SLOPE NO STEEPER THAN 1:12.</p> <p>K. THE UPPER APPROACH AND THE LOWER TRAIL OF EACH INTERIOR STAIR IS SPECIFIED TO BE MARKED WITH A STRIP OF CONTRASTING COLOR AT LEAST 2" WIDE, PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF EACH STEP. DOWNHILL, THE STRIP IS SPECIFIED TO BE A MATERIAL THAT IS AT LEAST AS SLOPE RESISTANT AS THE OTHER TREAD OF THE STAIR.</p> <p>L. ELECTRICAL RECEPTACLE OUTLETS ARE SPECIFIED TO BE NOT LESS THAN 15' ABOVE THE FLOOR OR WORKING PLATFORM.</p>	<p>MECHANICAL ENGINEER ESL GLOBAL MIKE YOUNG (312) 372-1862 233 South Chicago Drive Suite 5300 Chicago, Illinois 60606</p> <p>CIVIL ENGINEER KIMLEY HORN ANTHONY VERVA (925) 389-4480 4637 Chabot Drive Suite 200, Santa Paul Street, Suite 100 Pleasanton, California 94588</p> <p>ARCHITECT HKHS DAVID WUCKES (415) 969-5559 One Dallas Center 300 N. Saint Paul Street, Suite 100 Dallas, Texas 75201</p> <p>TELECOM ENGINEER ESL GLOBAL TODD GORMIS (312) 372-1200 233 South Chicago Drive Suite 5300 Chicago, Illinois 60606</p> <p>PROJECT: BUILDING A SHELL</p>
<p>M. BOTTOM OF ROOM REFLECTIVE SURFACE IS SPECIFIED TO BE NO HIGHER THAN 4" FROM THE FLOOR.</p> <p>N. TIGHT TISSUE DISPENSERS ARE MOUNTED BETWEEN 7" AND 9" FROM THE FRONT EDGE OF THE TOILET SEAT.</p> <p>O. DISPENSING AND DISPOSAL FIXTURES (TOWEL, SANITARY NAPKINS, WASTE, COIN CLOTS, ETC.) WITH OPERATING PARTS ARE MOUNTED NO HIGHER THAN 48" FROM THE FLOOR.</p> <p>P. THE HEIGHT OF THE WATER CLOSET (TO TOP OF SEAT) IS SPECIFIED TO BE 17" AND 19".</p> <p>Q. FLUSH CONTROLS ARE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR, ON ONE SIDE OF THE TOILET WITH THE DISTANCE FROM ADJACENT WALL, TOILET PARTITION OR OTHER SURFACE TO BE 18" MINIMUM.</p> <p>R. PROVIDE GRAB BARS IN COMPLIANCE WITH ANSI 117.1 ON EACH SIDE, ON THE INSIDE AND BACK OF WATER CLOSET.</p> <p>S. GRAB BARS TO BE 3" ABOVE AND PARALLEL TO THE FLOOR.</p> <p>T. DIAMETER OF GRAB BARS TO BE: 1 1/4" TO 1 1/2"</p> <p>U. PROVIDE 1:12% CLEARANCE BETWEEN GRAB BARS AND WALL.</p> <p>V. GRAB BARS (INCLUDING CONNECTIONS, FASTENERS, SUPPORT BACKING, ETC.) SHALL SUPPORT A 250 POUND LOAD.</p> <p>W. GRAB BARS SHALL NOT ROTATE WITH THEIR FITTINGS.</p> <p>X. GRAB BARS AND ANY ADJUNCT SURFACE SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.</p> <p>Y. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".</p> <p>Z. PROVIDE A CLEAR FLOOR SPACE 30" X 48" IS PROVIDED (FROM FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH).</p> <p>AA. PROVIDE LAVATORIES REQUIRED TO COMPLY WITH INVERSE SPACE REQUIREMENTS OF ANSI 117.1.</p> <p>AB. FAUCET CONTROLS AND OPERATING MECHANISMS ARE TO BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS. SELF-CLOSING CONTROLS ARE TO REMAIN OPEN FOR AT LEAST 10 SECONDS.</p> <p>AC. HOT WATER AND DRAIN PIPING ABOVE LAVATORIES ARE INSULATED OR OTHERWISE COVERED.</p> <p>AD. THERE SHALL BE NO SHARP OR ABRASIVE CONDITIONS ABOVE LAVATORIES.</p>	<p>ELECTRICAL ENGINEER ESL GLOBAL REY BERNARDINO (312) 372-1862 233 South Chicago Drive Suite 5300 Chicago, Illinois 60606</p> <p>STRUCTURAL ENGINEER HKS CLINT MASH (925) 389-4480 One Dallas Center 300 N. Saint Paul Street, Suite 100 Dallas, Texas 75201</p> <p>FIRE PROTECTION ENGINEER ESL GLOBAL MICHAEL PARAS (312) 372-1200 233 South Chicago Drive Suite 5300, chicago Illinois 60606</p> <p>SECURITY ENGINEER GUIDESTOP JOHN KIRBY (415) 681-8822 315 Montgomery Street Suite 200 San Francisco, California 94104</p> <p>TITLE: ARCHITECTURAL SYMBOLS, ABBREVIATIONS, PROJECT DATA & KEY PLAN</p> <p>DRAWING: A001</p> <p>SCALE: AGILE No.: REV:</p>



1 ARCHITECTURAL CAMPUS PLAN
1" = 100'-0"



NOTES:
1. EQUIPMENT YARD STRUCTURAL FRAMING NOT SHOWN FOR CLARITY.
SEE STRUCTURAL DRAWINGS.

2 ARCHITECTURAL SITE PLAN
1" = 40'-0"

GENERAL NOTES - SITE PLAN

- 1 THESE ARE ARCHITECTURAL DRAWINGS ONLY AND ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FROM VARIOUS DISCIPLINES AS LISTED ON THE DRAWING INDEX.
- 2 ALL DEMOLITION OF EXISTING BUILDING SITE ELEMENTS ARE TO BE WITH IN A SEPARATE CONTRACT AND DRAWINGS (NOT INCLUDED HERE) PRIOR TO THE EXECUTION OF THE INDICATED NEW CONSTRUCTION AND SITEWORK.
- 3 OTHER BUILDINGS INDICATED ON SITE ARE FOR LOCATION REFERENCE PURPOSES ONLY. N.I.C.O. BUILDING GENERATOR PADS AND UPPER GENERATOR ACCESS STAIRS AND PLATFORM ARE NOT IN THIS CONTRACT.
- 4 BUILDING GENERATOR PADS AND UPPER GENERATOR ACCESS STAIRS AND PLATFORM ARE NOT IN THIS CONTRACT.
- 5 REFER TO CIVIL DRAWINGS FOR GRADING, MATERIALS SIGNAGE, CURBS, WHEELSTOPS AND STRIPING AT PARKING AREAS, PARKING LAYOUT AND STALLS TO BE FOUND IN CIVIL DRAWINGS. ADA AND STANDARD STALLS TO BE INSTALLED TO MEET ALL ADOPTED CODES.
- 6 SIDEWALK CONSTRUCTION AND DETAILS TO BE FOUND IN CIVIL DRAWINGS.
- 7 ALL LANDSCAPE AND PLANTING INFORMATION TO BE FOUND ON LANDSCAPE.
- 8 LOADING DOCK AREA ELEVATION OF PAVED LOADING DOCK IS 4'-0" BELOW SLAB HEIGHT AT FOUNDATION FACE TO ALLOW FOR EASE OF ACCESS.
- 9 ENSURE SMOOTH TRANSITION WHERE NEW ROADWAY PAVING OR SIDEWALK CONNECTS TO EXISTING WITH 1/4" MAXIMUM CHANGE IN LEVEL.
- 10 CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL LIGHTING, PLUMBING, MECHANICAL AND FIRE PROTECTION ELEMENTS.

OVERALL SITE PLAN NOTES

1. NEW PARKING STALLS
2. ADA PARKING
3. LOADING DOCK
4. GENERATOR YARD
5. CONCRETE DRIVE AND RAMP AT LOADING DOCK
6. WATER TANKS. REFER MECHANICAL DRAWINGS
7. 5'-0" SIDEWALK, TYP. UNO
8. 12'-6" YARD & 11'-0" YARD DUMPSTER WITH CHAINLINK FENCE TRASH ENCLOSURE. REFER CORE & SHELL PACKAGE.

SITE PLAN LEGEND

---	PROPERTY LINE
---	FENCE
CRUSHED ROCKS AREAS	CRUSHED ROCKS AREAS
STORM WATER BASIN	STORM WATER BASIN

KEYPLAN

OVERALL

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

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ISSUE DATE: PROJECT NO: 25993.000

DESIGNED: HKHS ARCHITECT: HKHS

MARK DATE DESCRIPTION

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MECHANICAL ENGINEER ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	ELECTRICAL ENGINEER ESD GLOBAL REY BERNARDINO (312) 351-8612 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
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CIVIL ENGINEER KIMLEY-HORN ANTHONY VERA (920) 398-4940 4637 Chadok Drive Suite 300 Pleasanton, California 94588	STRUCTURAL ENGINEER HKHS CLINT NASH (214) 969-5099 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas, Texas 75201
--	--

ARCHITECT HKHS DUTCH WICKES (214) 969-5599 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas, Texas 75201	FIRE PROTECTION ENGINEER ESD GLOBAL MICHAEL PARAS (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
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TELECOM ENGINEER ESD GLOBAL TODD GRIMES (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	SECURITY ENGINEER GUIDEPOST JON JOLIBOIS (415) 616-8822 315 Montgomery Street 10th Floor San Francisco, California 94104
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PARKING - BUILDING A

PARKING SCHEDULE : REFER CS PACKAGE

PROJECT: BUILDING A TI

TITLE: ARCHITECTURAL SITE PLAN

DRAWING:

A050

E1

SCALE: As indicated

AGILE No:

REV:



1	LOCATE VISITOR PARKING TO BE CLEARLY IDENTIFIABLE AND PROVIDE EASE OF ACCESS TO THE PRIMARY ENTRY OF A BUILDING.
2	CONNECT SITE TO SURROUNDING AMENITIES SUCH AS SIDEWALKS, TRAILS, OR OTHER OPPORTUNITIES TO ENHANCE AREA CONNECTIVITY.
3	HIGHLIGHT SITE ENTRANCES THROUGH DRIVEWAY ENTRY TREATMENTS SUCH AS UNIQUE PAVING TREATMENTS, ACCENT LANDSCAPING, AND SIGNAGE THAT INFORM VISITORS OF ITS LOCATION AND ENHANCES THE OVERALL PROJECT DESIGN.
4	LOCATE EMPLOYEE OUTDOOR AREAS ADJACENT TO INDOOR BREAK AREAS
5	PLACE BICYCLE RACKS AND/OR BICYCLE LOCKERS ADJACENT TO BUILDING ENTRIES WHERE THEY ARE CLEARLY VISIBLE IN ORDER TO ENHANCE SAFETY AND SECURITY.
6	PLACE MECHANICAL/UTILITY EQUIPMENT INSIDE OF A BUILDING OR SCREEN WITH LANDSCAPING, OR OTHER MATERIALS CONSISTENT WITH BUILDING DESIGN. IN INSTANCES WHERE MECHANICAL/UTILITY EQUIPMENT CANNOT BE LOCATED WITHIN BUILDINGS OR ADEQUATELY SCREENED, TREAT IT WITH ART.
7	IN GENERAL, BUILDING WALL PLACES VISIBLE FROM PUBLIC STREET SHOULD NOT CONTINUE FOR MORE THAN 90 FEET WITHOUT A CHANGE IN BUILDING WALL PLANE DIRECTION OF 2 FEET OR MORE
8	PORTIONS OF BUILDING FACING A PUBLIC STREET SHALL HAVE ONE OR MORE LANDSCAPED AREAS WITH A MINIMUM FIVE FOOT-WIDE LANDSCAPED AREA ALONG A MINIMUM 50 PERCENT OF THE BUILDING FACE
9	A MINIMUM OF 10' WIDE LANDSCAPED AREA IN FRONT OF WALLS ABUTTING A PUBLIC STREET
10	PROVIDE A 10' WIDE LANDSCAPED AREA IN FRONT OF WALLS ABUTTING A PUBLIC STREET
11	WHERE APPROPRIATE, UTILIZE RETENTION PONDS TO LESSEN RUNOFF

SITE ADDRESS	26062 EDEN LANDING ROAD HAYWARD, CA 94545
APNs	461-0085-016-00 461-0085-052-01 461-0085-018-03
SITE AREA	11.485 AC / 500,287 SF
GENERAL PLAN DESIGNATION	IC (INDUSTRIAL TECHNOLOGY AND INNOVATION CORRIDOR)
ZONING DISTRICT	IP (INDUSTRIAL PARK)
PARKING SPACES	SPACES: 59 ADA: 5
BIKE PARKING	SHORT TERM: 1 RACK LONG TERM LOCKER: 3 LOCKERS
OPEN SPACE	68,945 SF
LOT COVERAGE	500,287 SF
FAR	0.76
LANDSCAPING AREA	165,557 SF

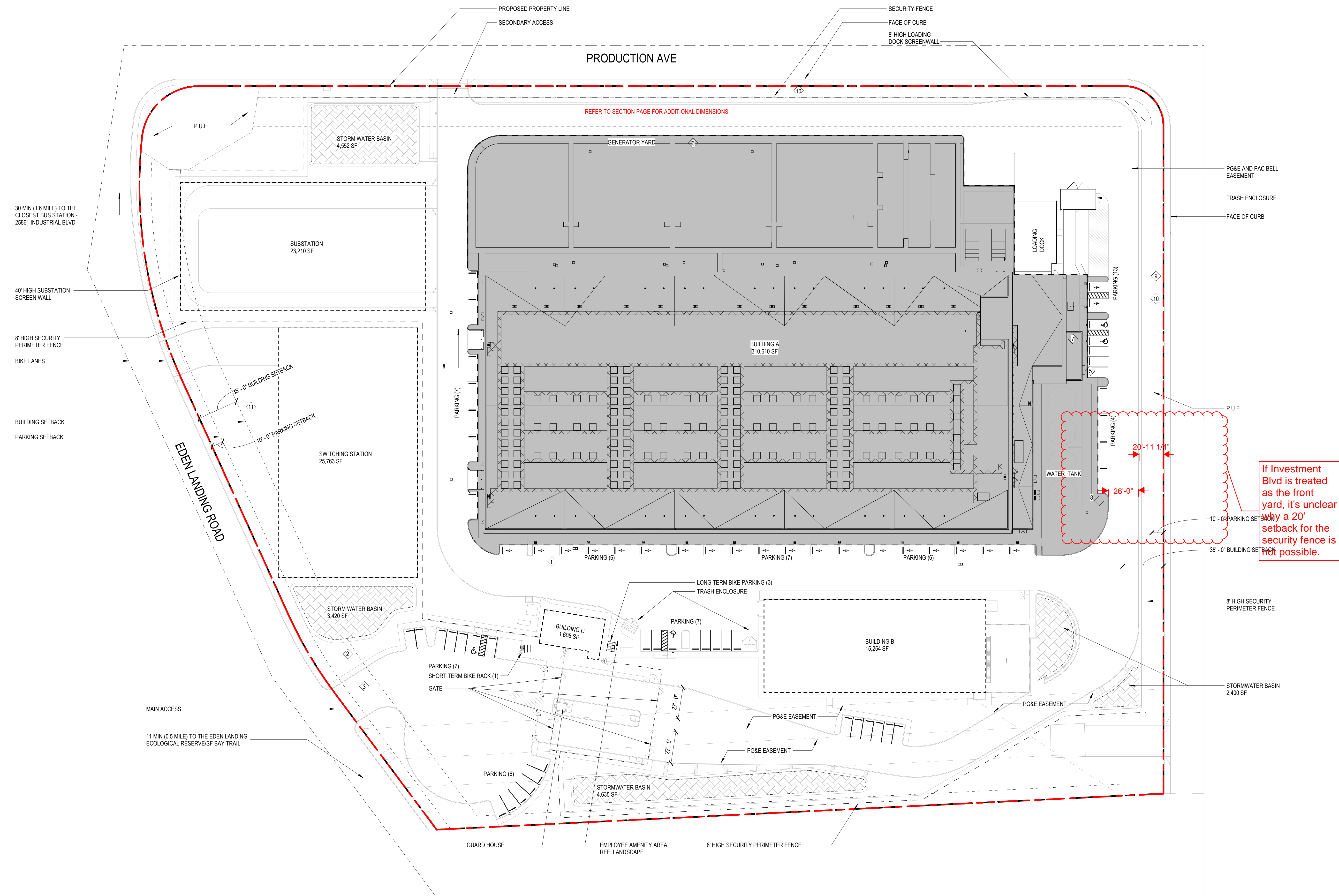
BUILDING A	GROSS FLOOR AREA: HEIGHT:	365 610 SF 100' (T.O. PARAPET)
BUILDING B	GROSS FLOOR AREA: HEIGHT:	15,254 SF 26'
BUILDING C	GROSS FLOOR AREA: HEIGHT:	1,605 SF 18'
GUARD HOUSE	GROSS FLOOR AREA: HEIGHT:	59 SF 8'-11 7/16"

	<p>___ # of employees x ___ lbs. of trash generated per employee/week ÷ 150 = ___ CY/week</p>
BUILDING A	<p>ENCLOSURE: 25' x 12' x 12'-6" (WxDxH) INTERNAL CLEAR TRASH: 6 CU BIN RECYCLABLES: 6 CU BIN ORGANICS: 3 CU BIN</p>
BUILDING B	<p>ENCLOSURE: 11'-6" X 6' X 10'-8" (WxDxH) INTERNAL CLEAR TRASH: 96 GAL CART RECYCLABLES: 96 GAL CART ORGANICS: 96 GAL CART</p>
BUILDING C	<p>ENCLOSURE: TRASH: 96 GAL CART RECYCLABLES: 96 GAL CART ORGANICS: 96 GAL CART</p>

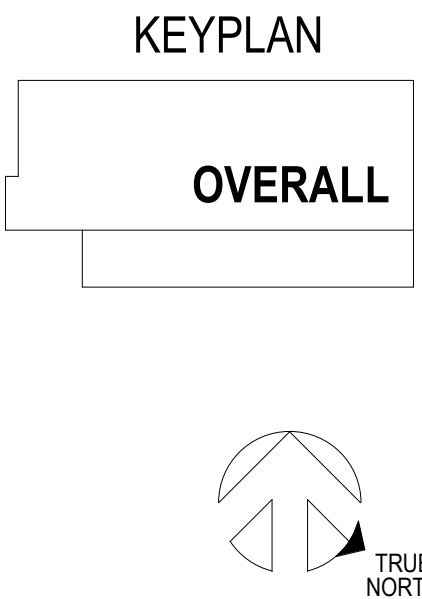
<u>MECHANICAL ENGINEER</u> ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606	<u>ELECTRICAL ENGINEER</u> ESD GLOBAL REY BERNARDINO (312) 551-8612 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
--	--

<u>ARCHITECT</u>	<u>FIRE PROTECTION ENGINEER</u>
HKS	ESD GLOBAL
DUTCH WICKES	MICHAEL PARAS
(214) 969-5599	(312) 372-1200
One Dallas Center	233 South Wacker Drive
350 N. Saint Paul Street, Suite 100	Suite 5300 Chicago,
Dallas, Texas 75201	Illinois 60606

E1	SCALE: As indicated	AGILE No:	REV
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If Investment Blvd is treated as the front yard, it's unclear why a 20' setback for the security fence is not possible.



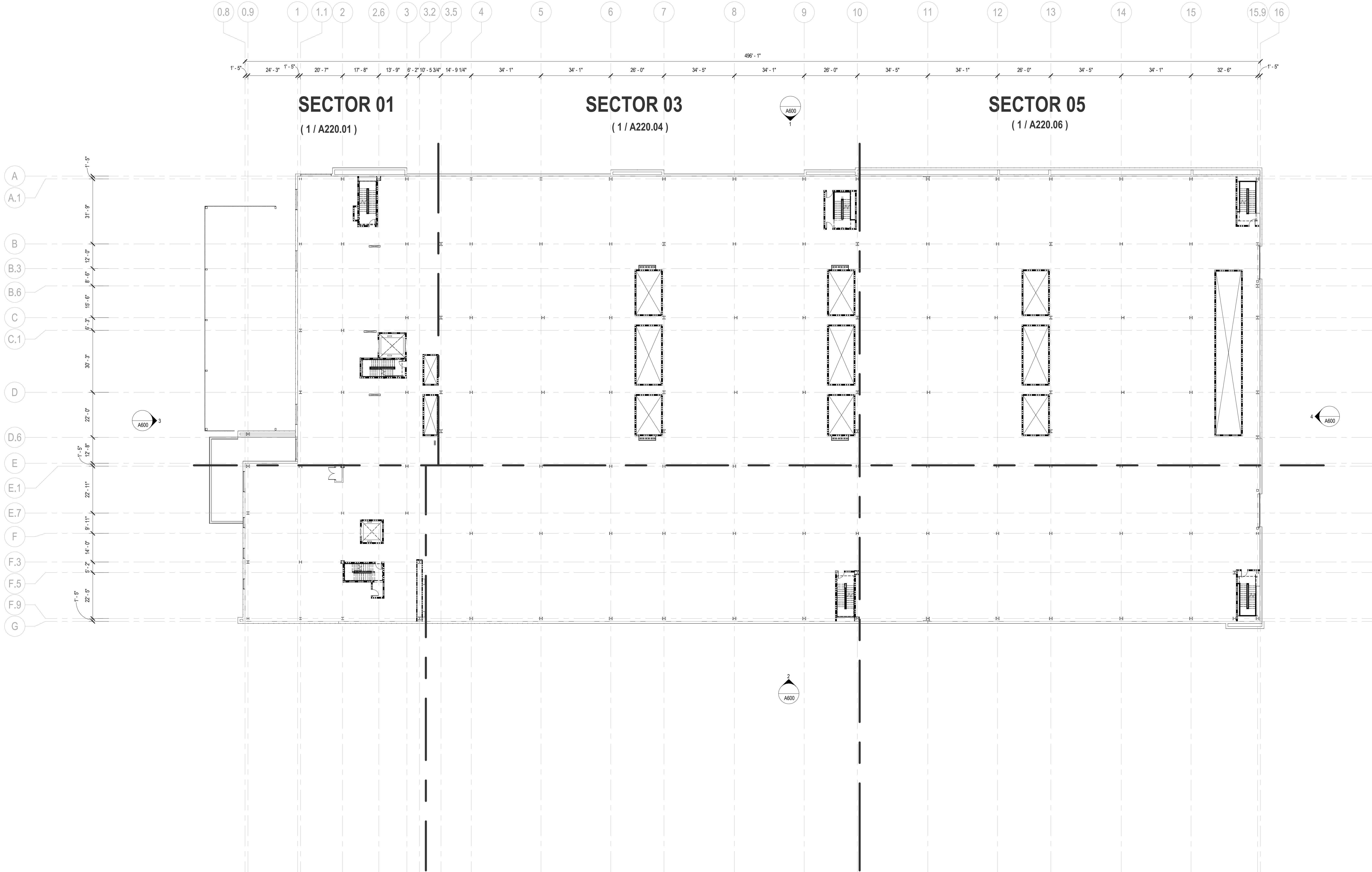
A210.00	
SCALE:	AGILE No:

AHJ GALLERY WATER DAM AT DOOR OPENINGS: 1/2" HIGH ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL. ACTUATED BY SYSTEM TO FORCE THE DROP BAR DOWN AGAINST THE THRESHOLD FORCING THE DROP BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 6" ABOVE THE FLOOR DRAINING ENCLOSURE. ANY WATER THAT WILL BE DISCHARGED THROUGH THE GRANS AND TO ADJACENT ROOMS.

ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK. SEE DETAILS ON A736.

GENERAL CODE REQUIREMENTS AND INSTALLATION NOTES:

- ALL COVER OVER CABLE CLAMPING DEVICES DURING PERMANENT INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF BUILDING ENVELOPE.
- REFERENCE LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB FLOOR DRAINS AND EXTENT
- ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED



1
A220.00
1" = 20'-0"

ARCHITECTURAL LEVEL 02 OVERALL CORE & SHELL FLOOR PLAN

GENERAL NOTES - FLOOR PLAN

- ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR PFE.
- DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN WHERE PROVIDED. UNO.
- REFER TO CIVIL ENGINEERING PLANS FOR FULL EXTENT OF SITE WORK BEYOND SCOPE SHOWN IN ARCHITECTURAL, STRUCTURAL, AND MEP ENGINEERING DRAWINGS.
- EXTERIOR WALLS ARE TO BE TYPE E01, UNO.
- REFER TO A700 SERIES FOR INTERIOR & EXTERIOR WALL ASSEMBLIES AND STANDARD INFORMATION.
- INTERIOR PARTITIONS ARE TO BE TYPE ABE, UNO.
- ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE. UNO.
- CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
- REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD (W/IF) PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT / ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

GENERAL NOTES - FLOOR PLAN

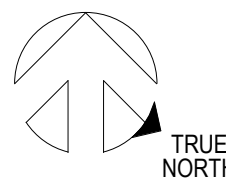
- COORDINATE AND PROVIDE ADEQUATE BLOCKING FOR ALL ITEMS ATTACHED OR MOUNTED TO PARTITIONS.
- EQUIPMENT ITEMS SHOWN FOR REFERENCE ONLY. COORDINATE FINAL LOCATIONS AND CONFIGURATIONS WITH MEP REQUIREMENTS AND DRAWINGS. REFER TO ENGINEERING DRAWINGS FOR FULL EXTENT OF WORK.
- PROVIDE STAINLESS STEEL CORNER GUARDS AT EACH OUTSIDE CORNER IN ALL CORRIDOR LOCATIONS.
- USE MOISTURE AND MOISTURE RESISTANT SUBSTRATE AND TILE BACKING PANELS AT ALL WET AND TILE LOCATIONS, RESPECTIVELY. LOCATIONS INCLUDE JANITOR CLOSETS, SHOWER ROOM WALLS AND CEILINGS, BEHIND ALL SINKS, TOILETS, URINALS, AND DRINKING FOUNTAIN LOCATIONS.

GENERAL NOTES - FLOOR PLAN

- DAHU GALLERY WATER DAM AT DOOR OPENINGS: 12" HIGH ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1 1/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT INTO ADJACENT ROOMS.
- ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK. SEE DETAILS ON A706.
- GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE BUILDING ENVELOPE.
- REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS
- ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.

KEYPLAN

OVERALL



PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

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ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKIS ARCHITECT: HKIS

MARK DATE DESCRIPTION

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MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

KIMLEY-HORN
ANTHONY VERA
(920) 398-4940
4637 Chabot Drive
Suite 300
Pleasanton, California 94588

ARCHITECT

HKIS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

TELECOM ENGINEER

ESD GLOBAL
TODD GRAMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ARCHITECT

ESD GLOBAL
MICHAEL PARAS
(312) 372-1200
233 South Wacker Drive
Suite 5300 Chicago,
Illinois 60606

SECURITY ENGINEER

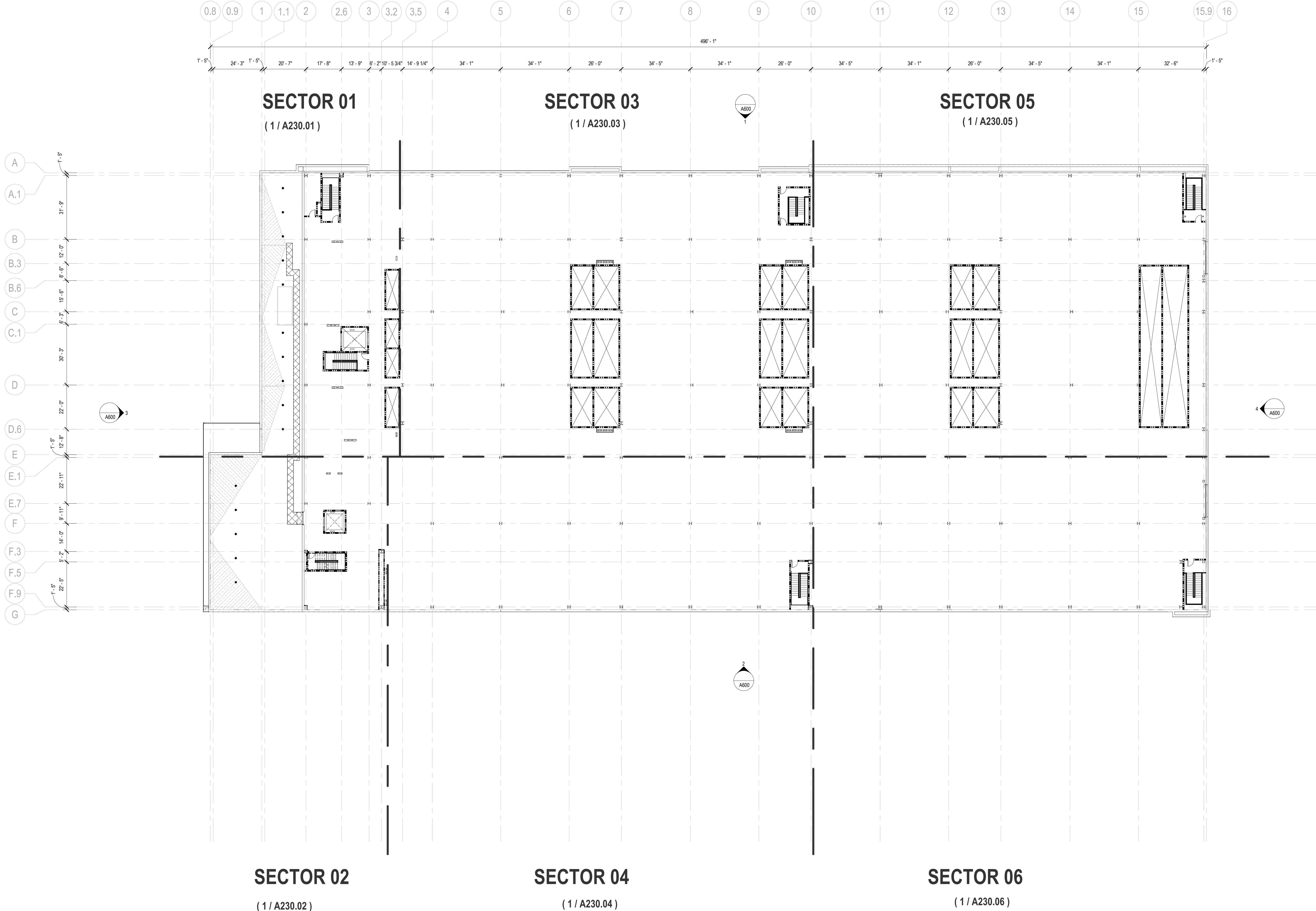
GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL LEVEL 02 CORE & SHELL
OVERALL FLOOR PLAN

DRAWING: A220.00

E1 SCALE: 1" = 20'-0" AGILE No: REV:



1
A230.00
1" = 20'-0"

ARCHITECTURAL LEVEL 03 OVERALL CORE & SHELL FLOOR PLAN

GENERAL NOTES - FLOOR PLAN

- ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR PFE.
- DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN WHERE PROVIDED. UNO.
- REFER TO CIVIL ENGINEERING PLANS FOR FULL EXTENT OF SITE WORK BEYOND SCOPE SHOWN IN ARCHITECTURAL, STRUCTURAL, AND MEP ENGINEERING DRAWINGS.
- EXTERIOR WALLS ARE TO BE TYPE E01, UNO.
- REFER TO A700 SERIES FOR INTERIOR & EXTERIOR WALL ASSEMBLIES AND STANDARD INFORMATION.
- INTERIOR PARTITIONS ARE TO BE TYPE AB, UNO.
- ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE. UNO.
- CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
- REFER TO SHEET A001 FOR GENERAL SYMBOLS AND LEGENDS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD (W/IF) PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT / ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.

GENERAL NOTES - FLOOR PLAN

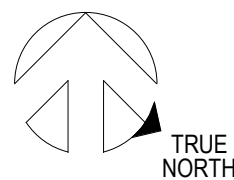
- COORDINATE AND PROVIDE ADEQUATE BLOCKING FOR ALL ITEMS ATTACHED OR MOUNTED TO PARTITIONS.
- EQUIPMENT ITEMS SHOWN FOR REFERENCE ONLY. COORDINATE FINAL LOCATIONS AND CONFIGURATIONS WITH MEP REQUIREMENTS AND DRAWINGS. REFER TO ENGINEERING DRAWINGS FOR FULL EXTENT OF WORK.
- PROVIDE STAINLESS STEEL CORNER GUARDS AT EACH OUTSIDE CORNER IN ALL CORRIDOR LOCATIONS.
- USE MOISTURE AND MOISTURE RESISTANT SUBSTRATE AND TILE BACKING PANELS AT ALL WET AND TILE LOCATIONS, RESPECTIVELY. LOCATIONS INCLUDE JANITOR CLOSETS, SHOWER ROOM WALLS AND CEILINGS, BEHIND ALL SINKS, TOILETS, URINALS, AND DRINKING FOUNTAIN LOCATIONS.

GENERAL NOTES - FLOOR PLAN

- DAHU GALLERY WATER DAM AT DOOR OPENINGS: 12" HIGH ALUMINUM SADDLE THRESHOLD SET IN SEALANT, AND AUTOMATIC DOOR BOTTOMS WITH A DROP-BAR NEOPRENE SEAL, ACTUATED BY A PLUNGER THAT CONTACTS THE JAMB AS THE DOOR IS CLOSING, FORCING THE DROP-BAR SEAL DOWN AGAINST THE THRESHOLD. THIS SYSTEM WILL BE COMBINED WITH THE WATERPROOF WALL BASE DESIGN TO CREATE A WATER DAM THAT EXTENDS A MINIMUM OF 1' 11/4" ABOVE THE HEIGHT OF THE FLOOR DRAINS, ENSURING THAT WATER WILL BE DISCHARGED THROUGH THE DRAINS AND NOT INTO ADJACENT ROOMS.
- ALL EXTERIOR DOORS SHOULD BE THERMALLY INSULATED WITH FRAMES INCLUDING A THERMAL BREAK. SEE DETAILS ON A706.
- GENERAL CONTRACTOR TO FURNISH AND INSTALL TEMPORARY METAL PLATE COVERS OVER CABLE BUS OPENINGS DURING PHASED INSTALLATION IN ORDER TO MAINTAIN INTEGRITY OF THE BUILDING ENVELOPE.
- REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS
- ALL FLOOR OPENINGS NOT ENCLOSED WITH A FIRE RATED ASSEMBLY TO HAVE REMOVABLE FIRE RATED CAPS INSTALLED.

KEYPLAN

OVERALL



PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

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ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKIS ARCHITECT: HKIS

MARK DATE DESCRIPTION

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MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

KIMLEY-HORN
ANTHONY VERA
(920) 398-4940
4637 Chadok Drive
Suite 300
Pleasanton, California 94588

ARCHITECT

HKIS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

TELECOM ENGINEER

ESD GLOBAL
TODD GRAMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ARCHITECT

ESD GLOBAL
MICHAEL PARAS
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

SECURITY ENGINEER

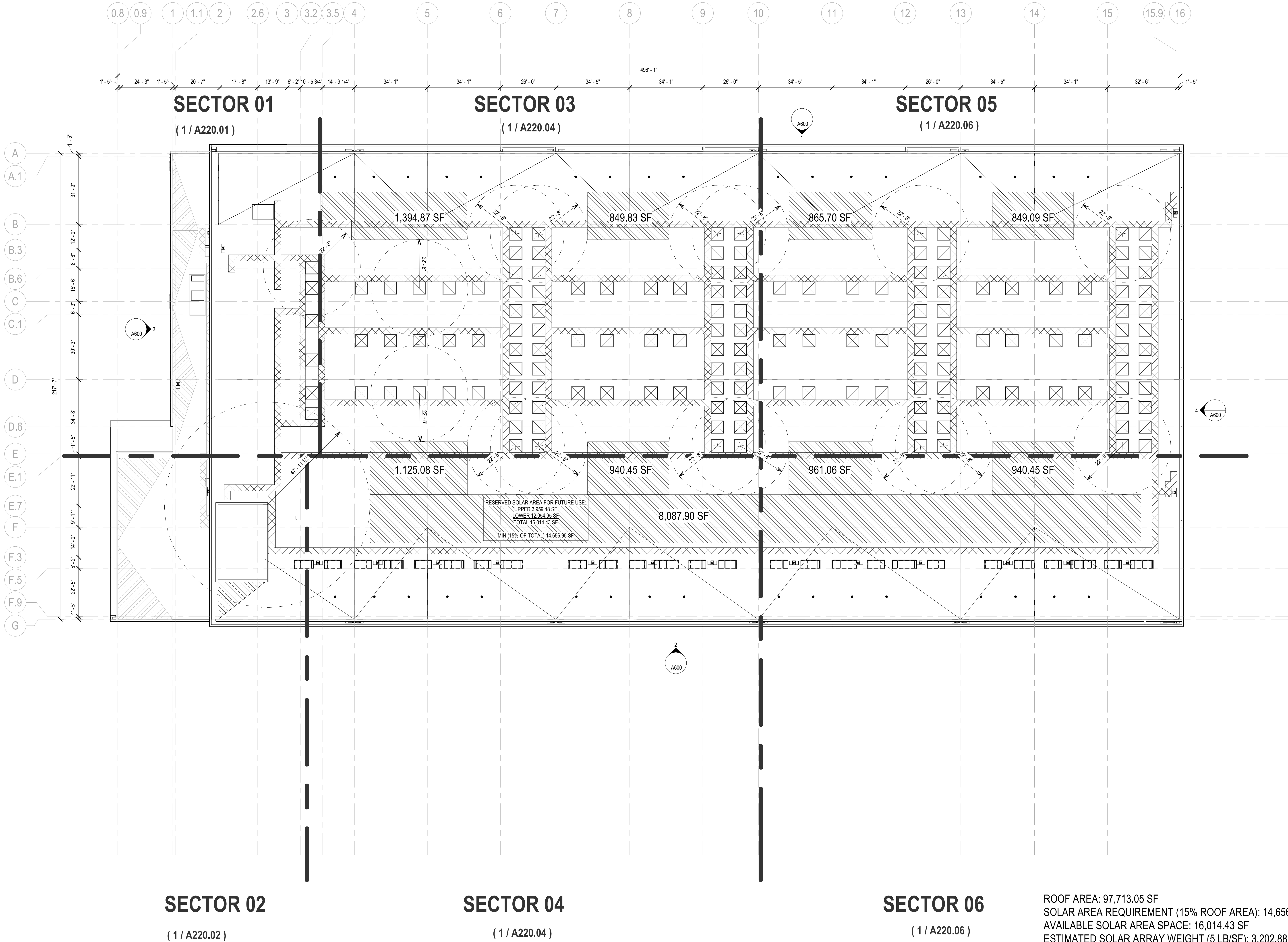
GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL LEVEL 03 CORE & SHELL
OVERALL FLOOR PLAN

DRAWING: A230.00

E1 SCALE: 1" = 20'-0" AGILE No: REV:



SECTOR 06
(1 / A220.06)

ROOF AREA: 97,713.05 SF
SOLAR AREA REQUIREMENT (15% ROOF AREA): 14,656.95 SF
AVAILABLE SOLAR AREA SPACE: 16,014.43 SF
ESTIMATED SOLAR ARRAY WEIGHT (5 LB/SF): 3,202.88 LB

1 ARCHITECTURAL ROOF & PENTHOUSE OVERALL FLOOR PLAN
A290.00 1" = 20'-0"

LEGEND ROOF PLAN

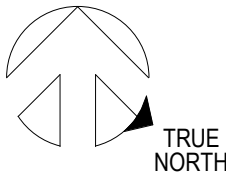
- WALKWAY PAD
- TAPERED ROOF INSULATION
- RESERVED SOLAR AREA FOR FUTURE USE

ROOF PLAN NOTES

- ALL ROOF TO BE KEPT SINGLE PLY ROOFING MEMBRANE WITH MINIMUM R20 INSULATION.
- HATCHING INDICATES AREAS WHERE THE ROOF SURFACE SLOPE IS ACHIEVED WITH TAPERED INSULATION. THE ROOF SURFACE SLOPE IN AREAS WITHOUT HATCHING IS ACHIEVED WITH SLOPING STRUCTURE.
- PROVIDE WALKWAYS PROTECTION TO MAJOR MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT AS REQUIRED TO PROVIDE SERVICE ACCESS. WALKWAYS PROTECTION IS INDICATED AS A GENERAL LAYOUT AND MAY NOT SHOW ALL FINAL LOCATIONS OF ALL EQUIPMENT.
- TAPERED INSULATION SHALL PROVIDE A MINIMUM OF 1/4" - INCH PER FOOT OF SLOPE TO ROOF DRAINS, UNLESS NOTED OTHERWISE.
- ALL ROOF CURBS TO BE A MINIMUM OF 6" ABOVE ROOFING LEVELS. PROVIDE TAPERED INSULATION ROOF SADDLES AT ROOF CURBS TO PROVIDE DRAINAGE AROUND CURB.
- SEE STRUCTURAL DRAWINGS FOR FRAMING AROUND ROOF PENETRATIONS.
- ALL ROOF TOP MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT SHOWN FOR INFORMATION ONLY COORDINATION THE SIZE AND LOCATION OF ROOF.
- PENETRATIONS FOR MECHANICAL AND ELECTRICAL EQUIPMENT, REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR PENETRATIONS NOT SHOWN ON THIS DRAWING.
- FLASH DRAINS, CURBS, VENTS AND STACKS PER MANUFACTURER'S RECOMMENDATIONS IF DETAIL NOT SHOWN ON DRAWINGS.
- NO ROOF PENETRATIONS ALLOWED WITHIN 4'-0" EACH SIDE OF FOREWALL. SEE CODE PLAN FOR FIRE WALL LOCATIONS.
- REFER TO SHEET A732, A733 FOR TYPICAL ROOF DETAILS.

KEYPLAN

OVERALL



PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

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DESIGNED: HKS ARCHITECT: HKS

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MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

KIMLEY-HORN
ANTHONY VERA
(920) 398-4940
4637 Chabot Drive
Suite 300
Pleasanton, California 94588

ARCHITECT

HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

TELECOM ENGINEER

ESD GLOBAL
TODD GRIMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

SECURITY ENGINEER

GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT:

BUILDING A SHELL

TITLE:

ARCHITECTURAL ROOF & PENTHOUSE CORE & SHELL OVERALL PLAN

DRAWING:

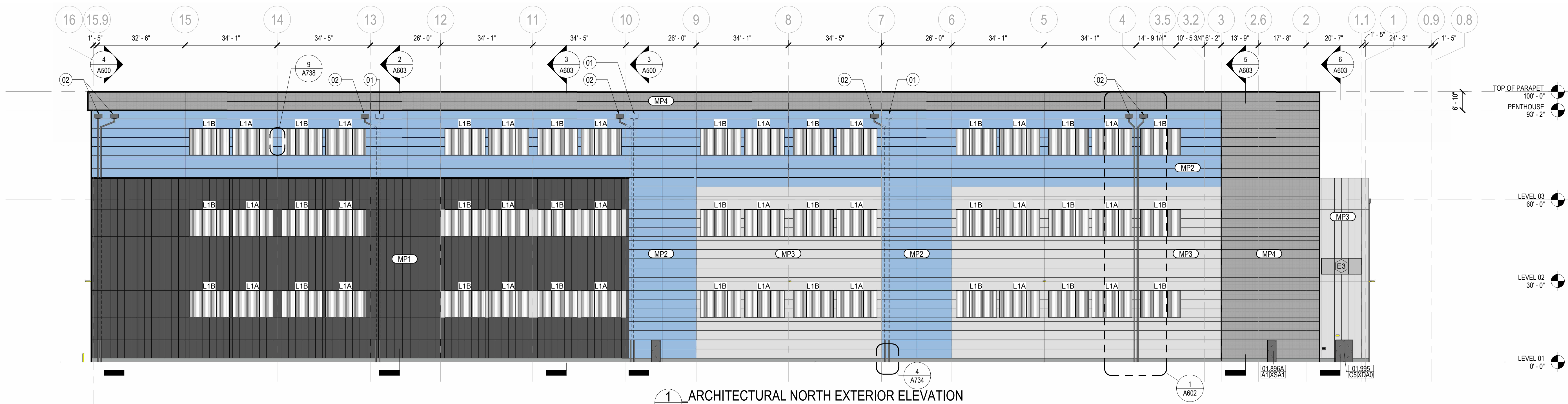
A290.00

E1 SCALE:

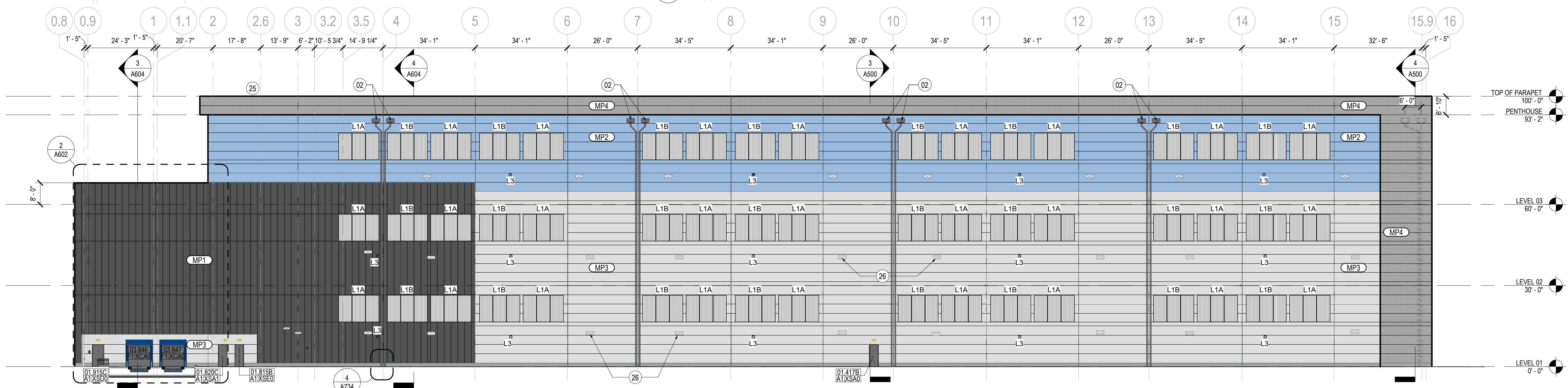
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AGILE No:

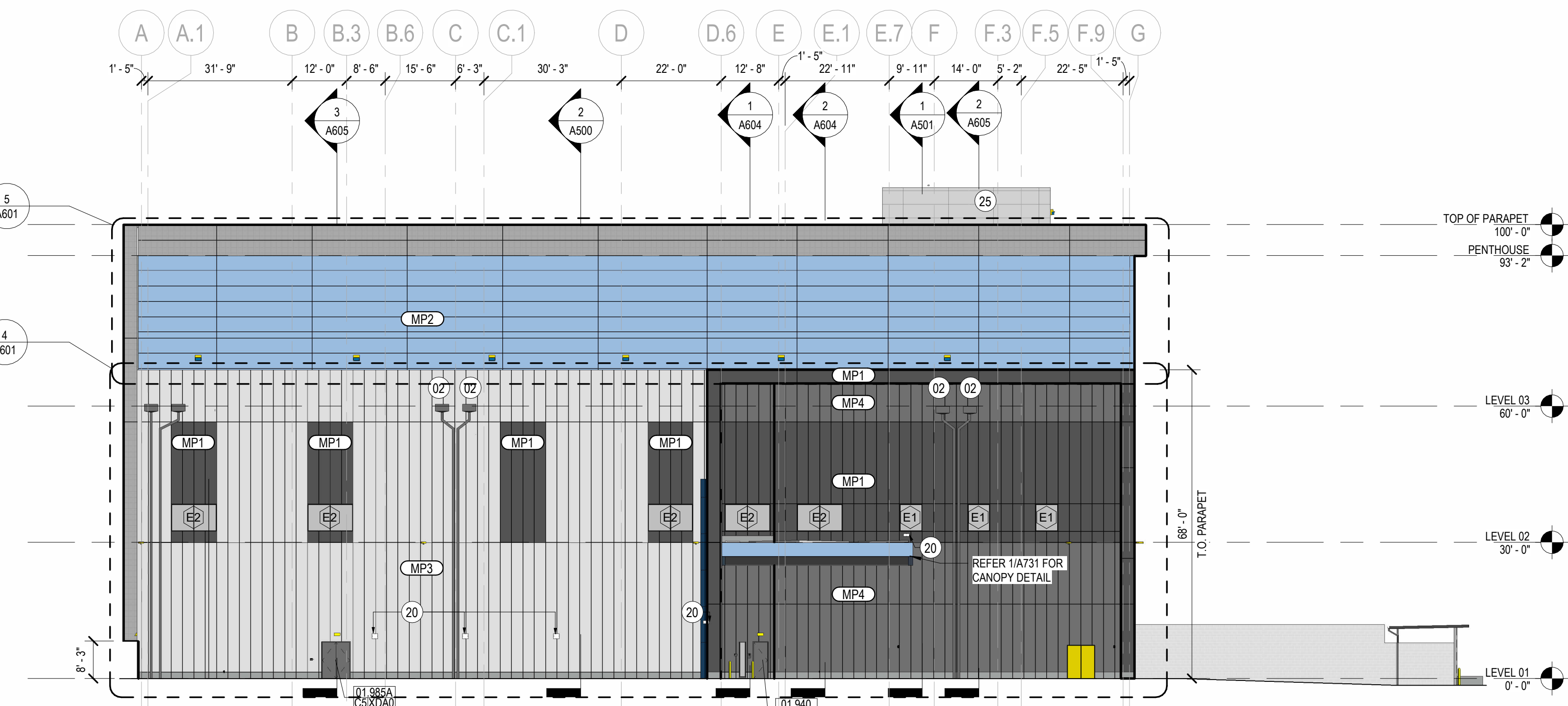
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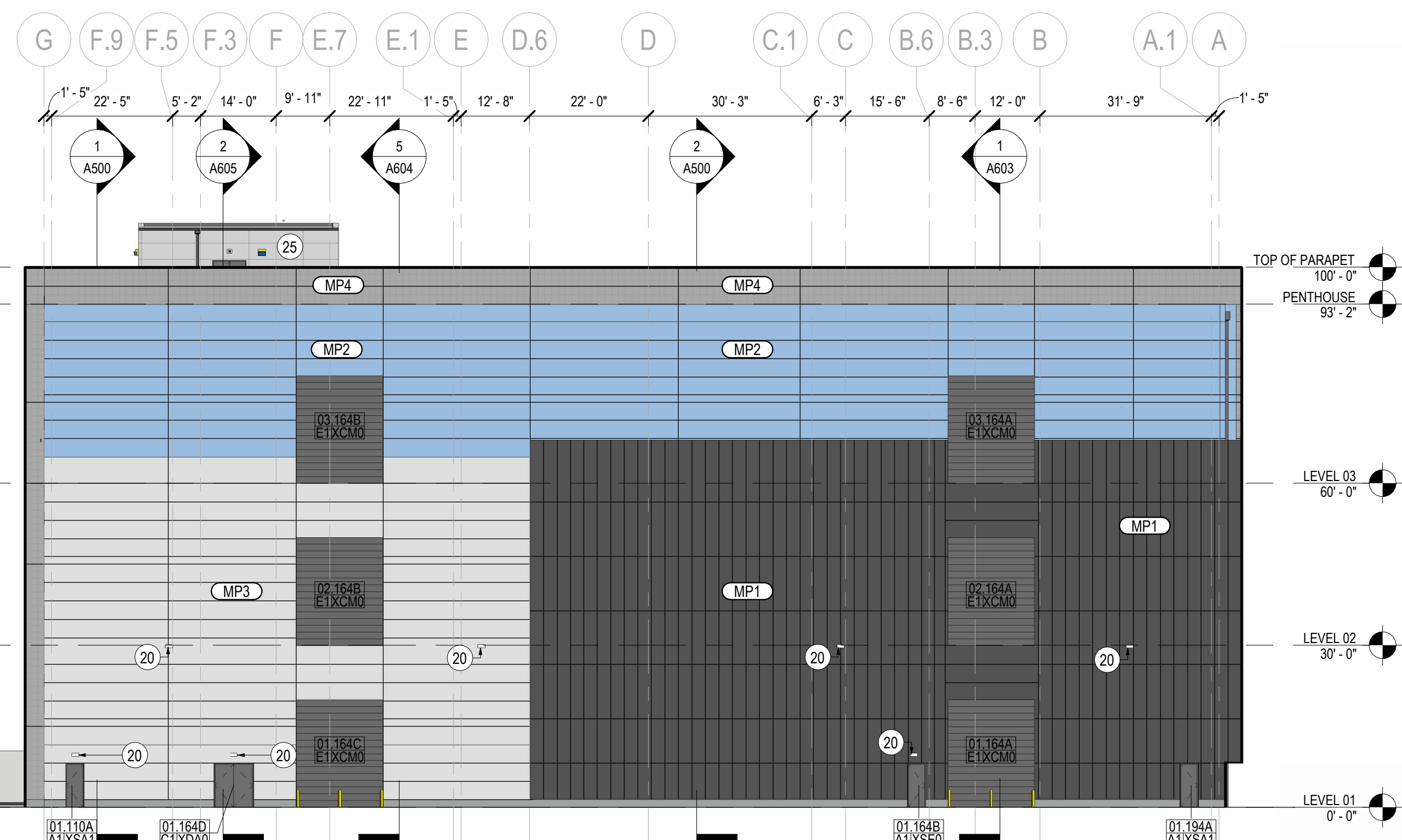
1 ARCHITECTURAL NORTH EXTERIOR ELEVATION
1" = 20'-0"



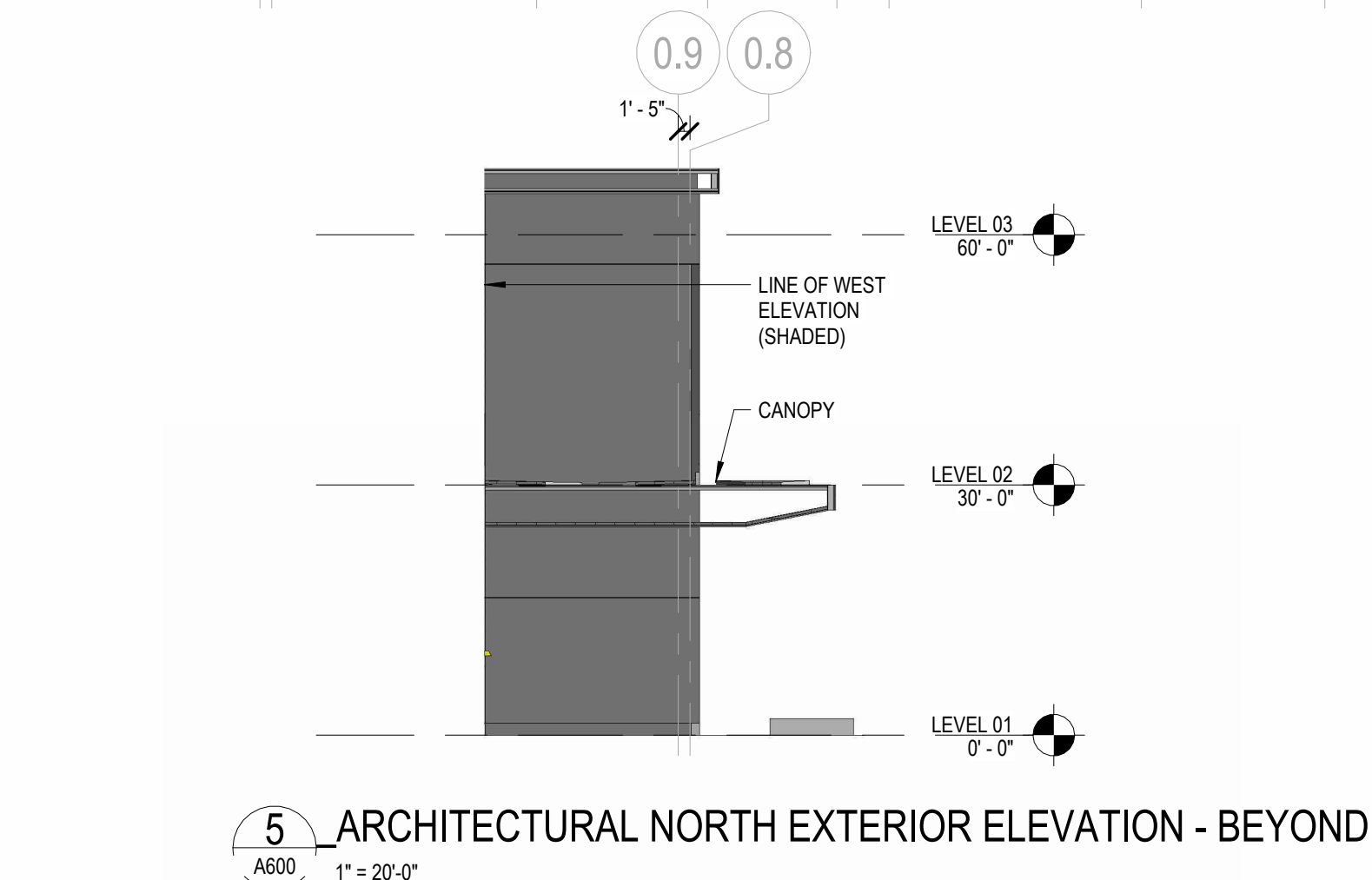
2 ARCHITECTURAL SOUTH EXTERIOR ELEVATION
1" = 20'-0"



3 ARCHITECTURAL WEST EXTERIOR ELEVATION
1" = 20'-0"



4 ARCHITECTURAL EAST EXTERIOR ELEVATION
1" = 20'-0"

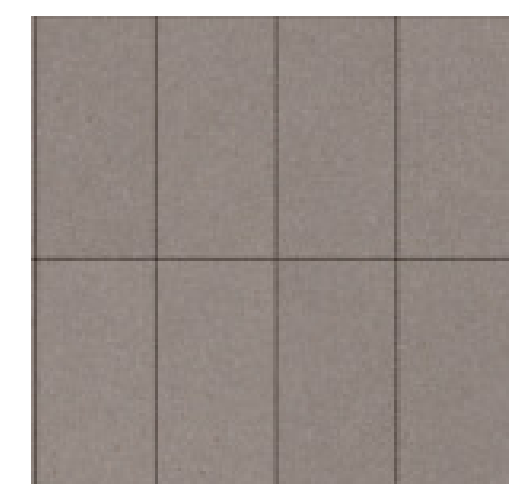


5 ARCHITECTURAL NORTH EXTERIOR ELEVATION - BEYOND
1" = 20'-0"

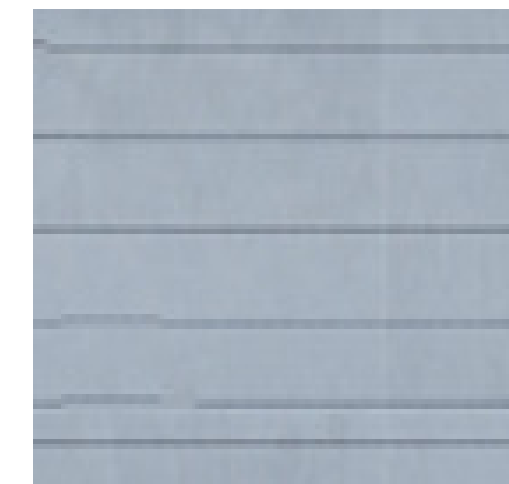
EXTERIOR FINISH LEGEND:

MP1	BOD: CENTRIA FORMA WALL DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL DARK BRONZE
MP2	BOD: CENTRIA FORMA WALL DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 200 DEEP BLUE SEA
MP3	BOD: CENTRIA FORMA WALL WHITE COLOR SMOOTH EXTERIOR TEXTURE 179 REGAL WHITE
MP4	BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL MEDIUM GRAY
MP5	BOD: CENTRIA PARADIGM METAL PANEL 9918 DOVE GRAY; 9989 PLATINUM SUNDACNE AM COATING; 9989 PLATINUM SUNDANCE MICA COATING

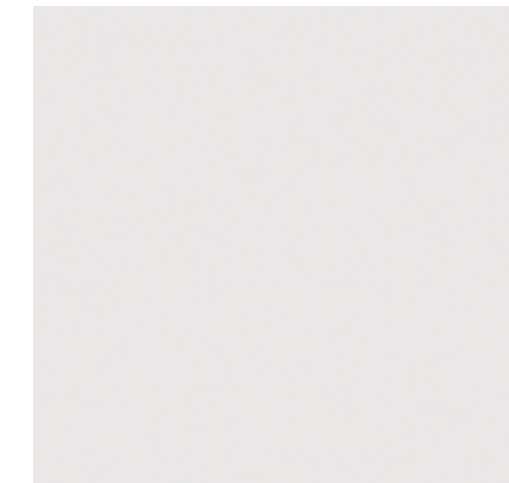
EXTERIOR FINISH LEGEND



MP1



MP2



MP3



MP4

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

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MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

KIMLEY-HORN
ANTHONY VERA
(920) 398-4840
4537 Chabot Drive
Suite 300
Pleasanton, California 94588

ARCHITECT

HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

TELECOM ENGINEER

ESD GLOBAL
TODD GRIMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

SECURITY ENGINEER

GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT:

BUILDING A SHELL

TITLE:

ARCHITECTURAL EXTERIOR ELEVATIONS

DRAWING:

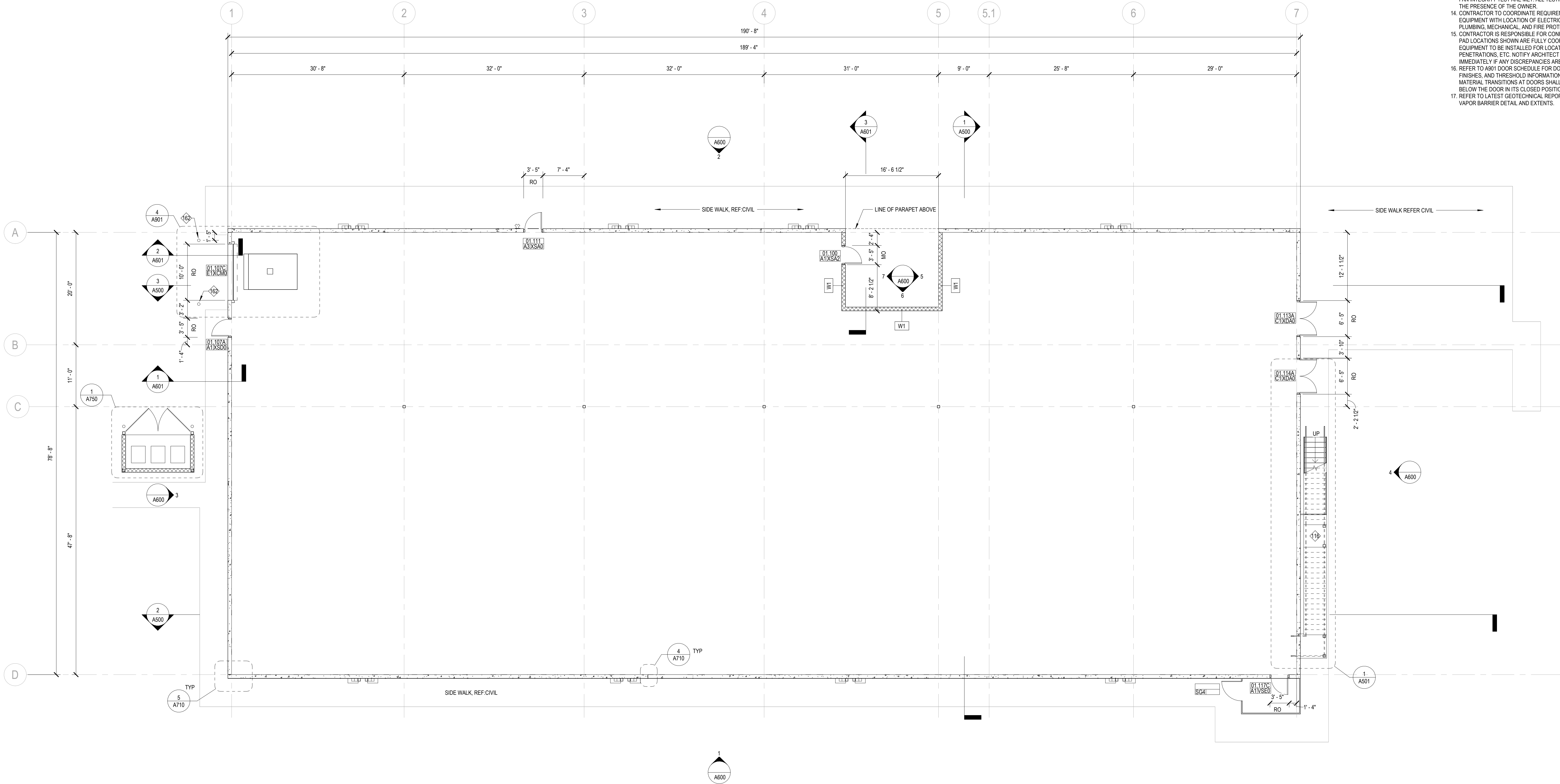
A600

E1

SCALE: As indicated

AGILE No:

REV:



1 ARCHITECTURAL CS LEVEL 01 OVERALL PLAN
A210 1/8" = 1'-0"

FLOOR PLAN LEGEND

	1HR FIRE BARRIER
	2HR FIRE BARRIER
	BRACKET MOUNTED PORTABLE FIRE EXTINGUISHER
	CARD READER
	DOOR NUMBER
	DOOR HARDWARE SET NUMBER
	DOOR ELEVATION
	STANDARD LOCKER SYSTEM

SHEET KEYNOTE LEGEND

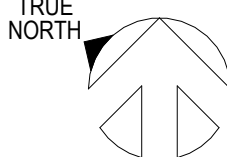
KEY	KEYNOTE TEXT
116	STEEL STAIR AND ACCESS PLATFORMS ARE BY DELEGATED DESIGN. REFER TO EXTERIOR STAIR AND EQUIPMENT ACCESS PLATFORM GENERAL NOTES ON THIS SHEET
162	TYP. NON REMOVABLE BOLLARD, SEE DETAIL 11/A750

GENERAL NOTES - FLOOR PLAN

1. ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL (0'-0" = CIVIL FINISH FLOOR ELEVATION, SEE CIVIL OR F.F.E.
2. WHERE ENLARGED PLANS ARE PROVIDED, DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN, UNLESS OTHERWISE INDICATED.
3. ALL STRUCTURAL STEEL EXPOSED TO VIEW WILL CONFORM TO A.E.S.S. SPECIFICATIONS.
4. REFER TO A710 FOR EXTERIOR WALL, ROOF AND FLOOR ASSEMBLIES.
5. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
6. CONTRACTOR MUST VERIFY (IN FIELD (W/F) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
7. LOCATE DOOR FRAMES 6" FROM FACE OF INSIDE CORNER OF PARTITION UNLESS OTHERWISE DIMENSIONED, OR AS REQUIRED TO COORDINATE WITH BUILDING INFRASTRUCTURE.
8. 15 MIL VAPOR BARRIER TO BE PLACED UNDER THE BUILDING SLAB ON GRADE.
9. REFER TO SHEET A750 FOR SITE DETAILS.
10. ALL FIBER AND CABLE PENETRATIONS THROUGH RATED WALLS TO HAVE APPROVED ASSEMBLIES. VERIFY WITH AWS DE.
11. PURCHASE AND INSTALL ADHERED 48" TALL STAINLESS STEEL CORNER GUARDS ABOVE THE WALL BASE, TIGHT TO THE WALL, AT ALL OUTSIDE CORNERS.
12. PROVIDE ROOF DAVITS FOR FUTURE MAINTENANCE TIE-OFF. G.C. SHALL COORDINATE EXACT INSTALL DIMENSIONS IN FIELD TO ENSURE DAVIT IS 8" ABOVE THE ROOF SURFACE AND PROPERLY FLASHED.
13. CONTRACTOR IS RESPONSIBLE FOR PROVIDING WALL, DOOR, AND FIRE/SMOKE STOPPING CONSTRUCTION THROUGHOUT THE BUILDING, WHICH MEETS THE REQUIREMENTS OF THE UL LISTED ASSEMBLIES SPECIFIED. UPON COMPLETION OF THIS CONSTRUCTION, THE FIRE PROTECTION CONTRACTOR WILL PROVIDE FAN INTEGRITY TESTING IN COMPLIANCE WITH NFPA-2001 AND THE REQUIREMENTS SET FORTH IN THE FIRE SUPPRESSION DRAWINGS & OWNER'S NETWORK STANDARDS. SHOULD A SPACE NOT MEET THE REQUIREMENTS OF THE TESTING, THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER, SHALL PROVIDE FOR ANY MODIFICATIONS REQUIRED IN THE CONSTRUCTION (WHICH MEET THE SPECIFICATIONS FOR THE PROJECT) TO ENSURE THE REQUIREMENTS OF THE FAN INTEGRITY TEST ARE MET. ALL TESTING SHALL BE DONE IN THE PRESENCE OF THE OWNER.
14. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
15. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT THE PAD LOCATIONS SHOWN ARE FULLY COORDINATED WITH THE EQUIPMENT TO BE INSTALLED FOR LOCATION, SIZE, PENETRATIONS, ETC. NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
16. REFER TO A501 DOOR SCHEDULE FOR DOOR & FRAME FINISHES, AND THRESHOLD INFORMATION. ALL THRESHOLDS & MATERIAL TRANSITIONS AT DOORS SHALL BE CENTERED BELOW THE DOOR IN ITS CLOSED POSITION.
17. REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS.

KEYPLAN

OVERALL



PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

SEAL/SIGNATURE

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MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

KIMLEY-HORN
ANTHONY VERA
(925) 398-4840
4637 Chabot Drive
Suite 300
Pleasanton, California 94588

ARCHITECT

HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

TELECOM ENGINEER

ESD GLOBAL
TODD GRAMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER

ESD GLOBAL
REY BERNARDINO
(312) 551-8612
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

STRUCTURAL ENGINEER

HKS
CLINT NASH
(214) 969-5599
One Dallas Center
350 N. Saint Paul Street, Suite 100
Dallas, Texas 75201

FIRE PROTECTION ENGINEER

ESD GLOBAL
MICHAEL PARAS
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

SECURITY ENGINEER

GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT:

BUILDING B SHELL

TITLE:

ARCHITECTURAL CORE & SHELL OVERALL FLOOR PLAN

DRAWING:

A210

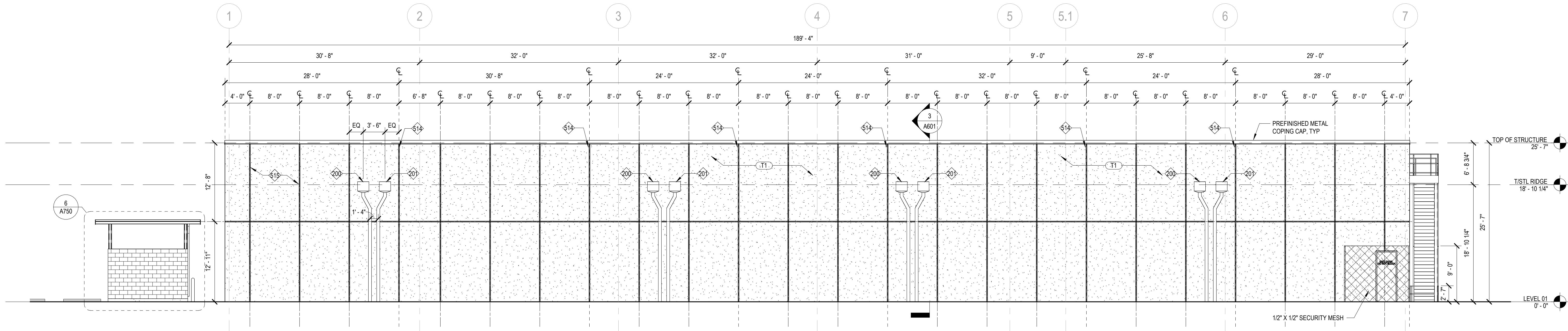
E1

SCALE: As indicated

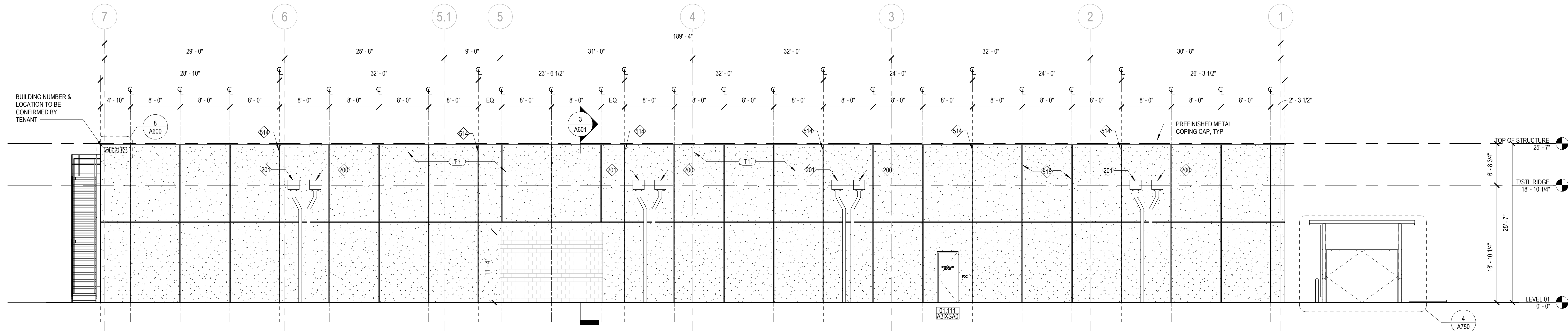
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REV:

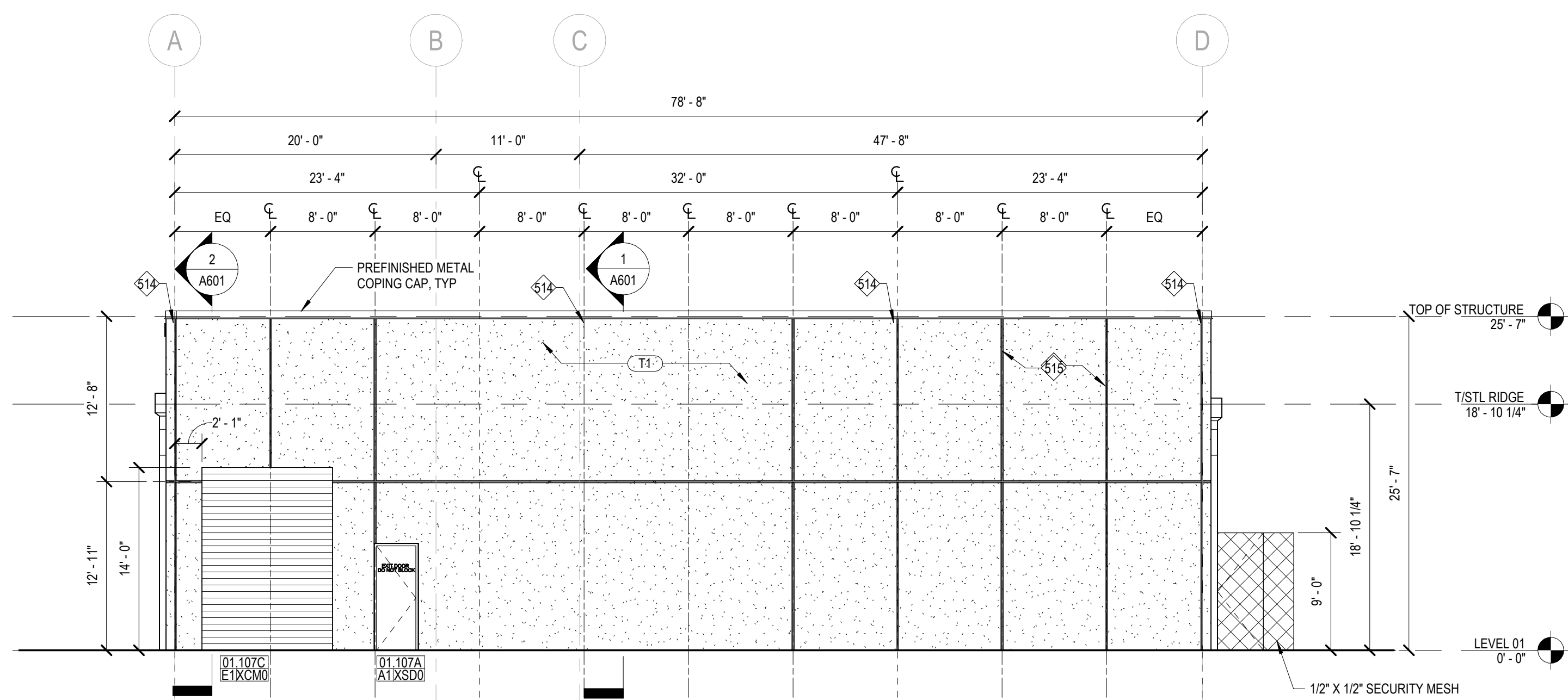
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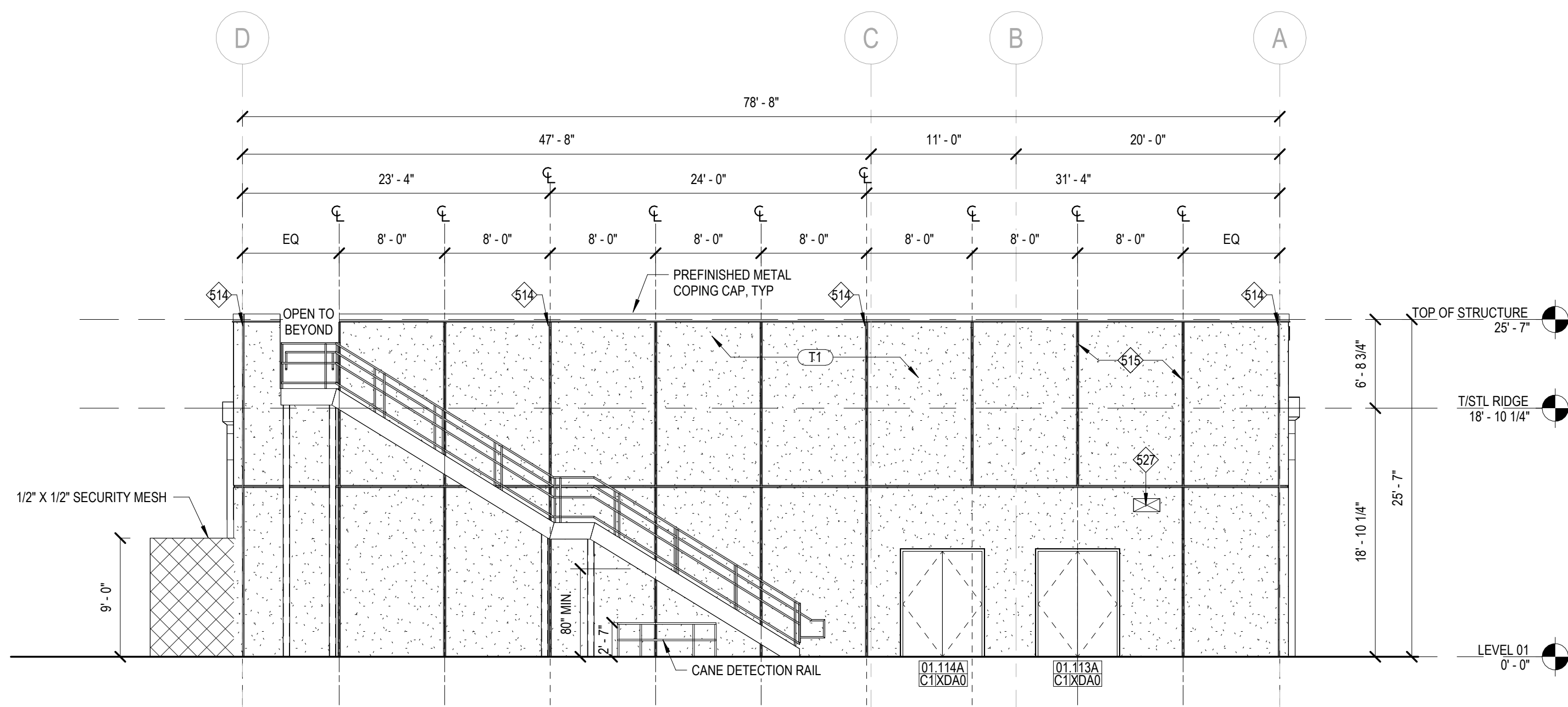
1 ARCHITECTURAL CS SOUTH ELEVATION
A600 1/8" = 1'-0"



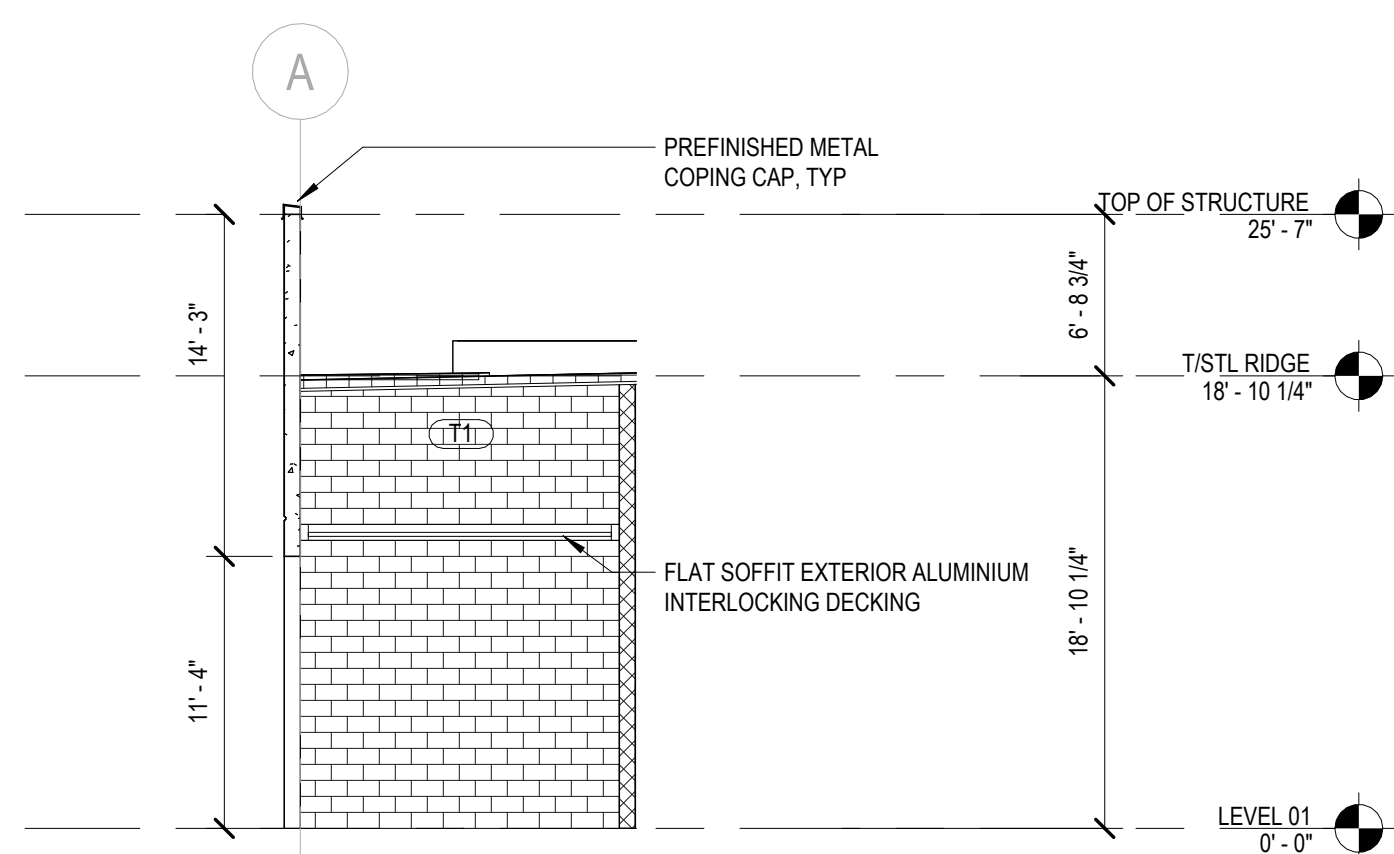
2 ARCHITECTURAL CS NORTH ELEVATION
A600 1/8" = 1'-0"



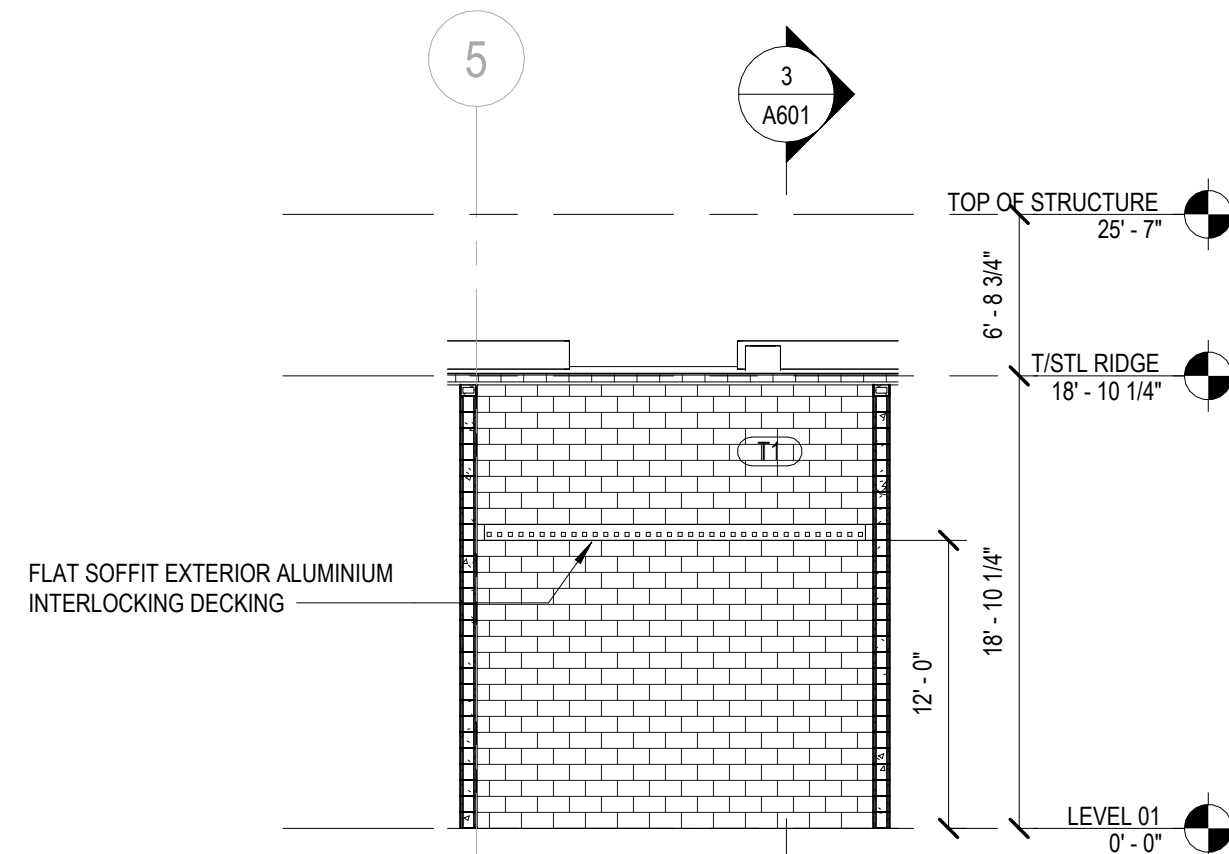
3 ARCHITECTURAL CS WEST ELEVATION
A600 1/8" = 1'-0"



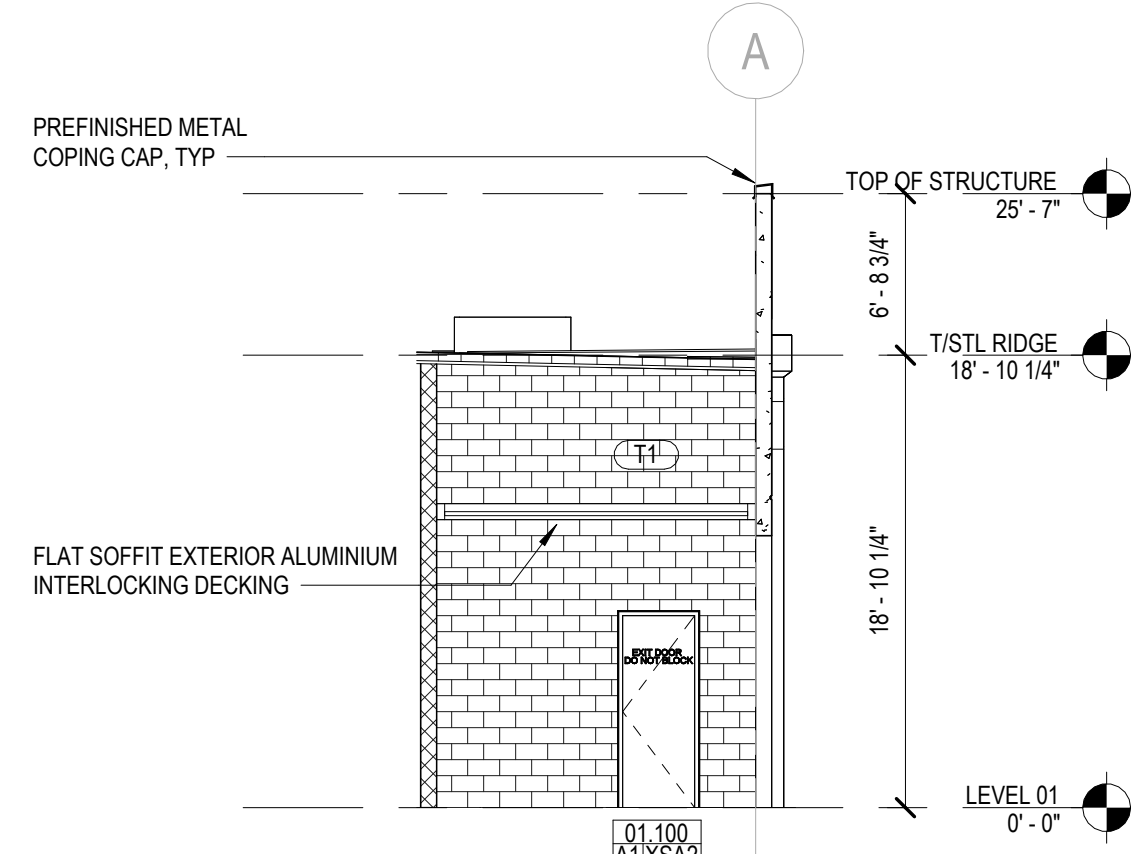
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A600 1/8" = 1'-0"



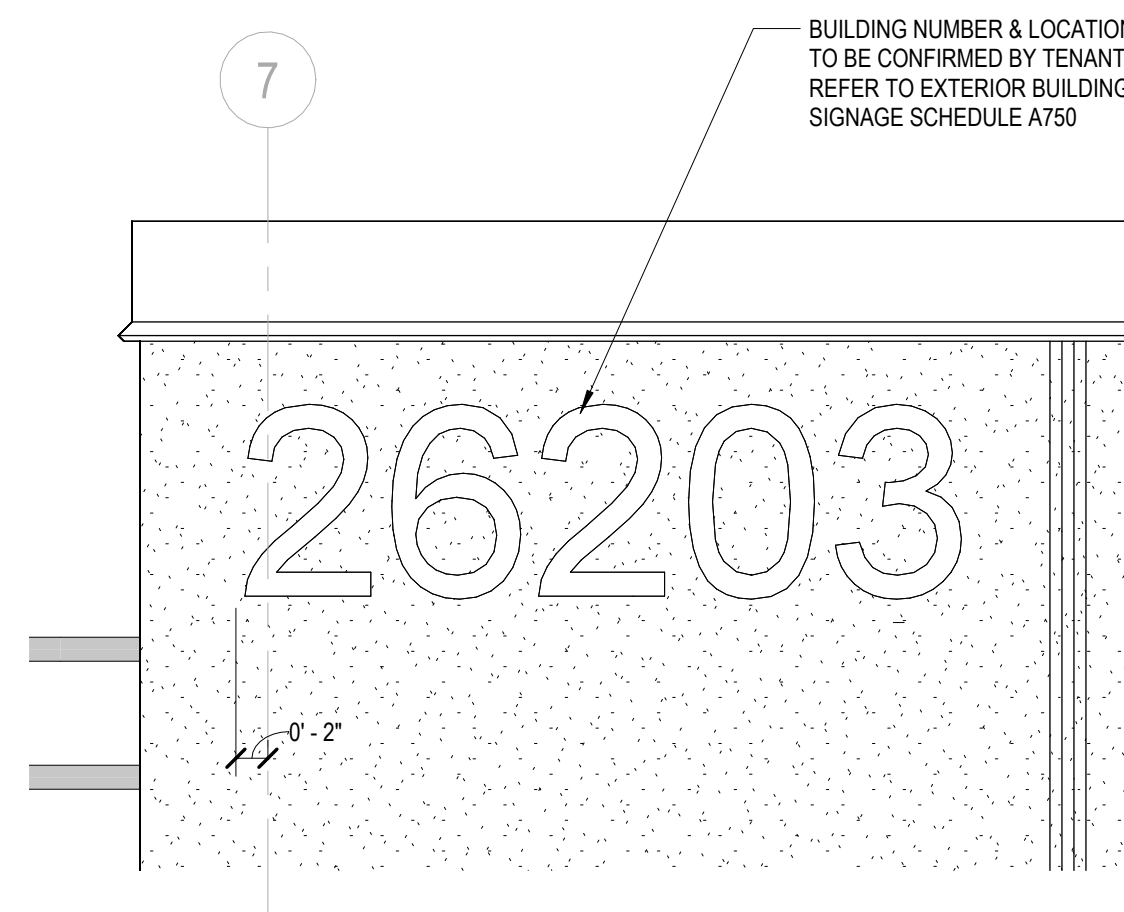
5 ENTRY VESTIBULE WEST ELEVATION
A600 1/8" = 1'-0"



6 ENTRY VESTIBULE NORTH ELEVATION
A600 1/8" = 1'-0"



7 ENTRY VESTIBULE EAST ELEVATION
A600 1/8" = 1'-0"



8 EXTERIOR SIGNAGE DETAIL
A600 1" = 1'-0"

GENERAL NOTES

1. ARCHITECTURAL ELEVATIONS ARE BASED ON MAIN FLOOR LEVEL 0'-0" = CIVIL FINISH FLOOR ELEVATION. SEE CIVIL FOR FFE.
2. ALL STRUCTURAL STEEL EXPOSED TO VIEW WILL CONFORM TO A.E.S.S. SPECIFICATIONS.
3. REFER TO A710 FOR EXTERIOR WALL, ROOF ASSEMBLIES.
4. EXTERIOR WALLS ARE TILT-UP WALL ASSEMBLIES AND FOR ROUGH OPENING DIMENSIONS OF LOUVERS AND HOLLOW METAL DOOR/WINDOWS, REFER A601.
5. CONTRACTOR TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS.
6. CONTRACTOR MUST VERIFY IN FIELD (VFI) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
7. EXTERIOR CONCRETE WALLS ARE TO RECEIVE TEXTURED PAINT OR CONCRETE SEALER TO MATCH EXISTING CAMPUS BUILDINGS.
8. REFER TO PANEL JOINT DETAILS SHEET A710.

SHEET KEYNOTE LEGEND

KEY	KEYNOTE TEXT
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOUT ON EXTERIOR FACE OF BUILDING
201	OVERFLOW THROUGH WALL SCUPPER. LOCATE 1 FOOT TO SIDE OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE
514	CONCRETE PANEL CONTROL JOINT TYP. REF. 4/A710
515	CONCRETE PANEL REVEAL TYP. REF. 6/A710
527	WALL CUTOUTS TO BE COORDINATED WITH MEP.

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

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ISSUE DATE: PROJECT NO: 25691.000

DESIGNED: HKS ARCHITECT: HKS

MARK DATE DESCRIPTION

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MECHANICAL ENGINEER
ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER
ESD GLOBAL
REY BERNARDINO
(312) 551-5512
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER
HKS
KIMLY HORN
ANTHONY VERA
(925) 398-4840
4537 Chabot Center
Suite 300
Pleasanton, California 94588

STRUCTURAL ENGINEER
HKS
CLINT NASH
(214) 969-5599
One Dallas Center
Suite 5300
Dallas, Texas 75201

ARCHITECT
HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
Suite 5300
Dallas, Texas 75201

FIRE PROTECTION ENGINEER
ESD GLOBAL
MICHAEL PARAS
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

TELECOM ENGINEER
ESD GLOBAL
TODD GRAMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

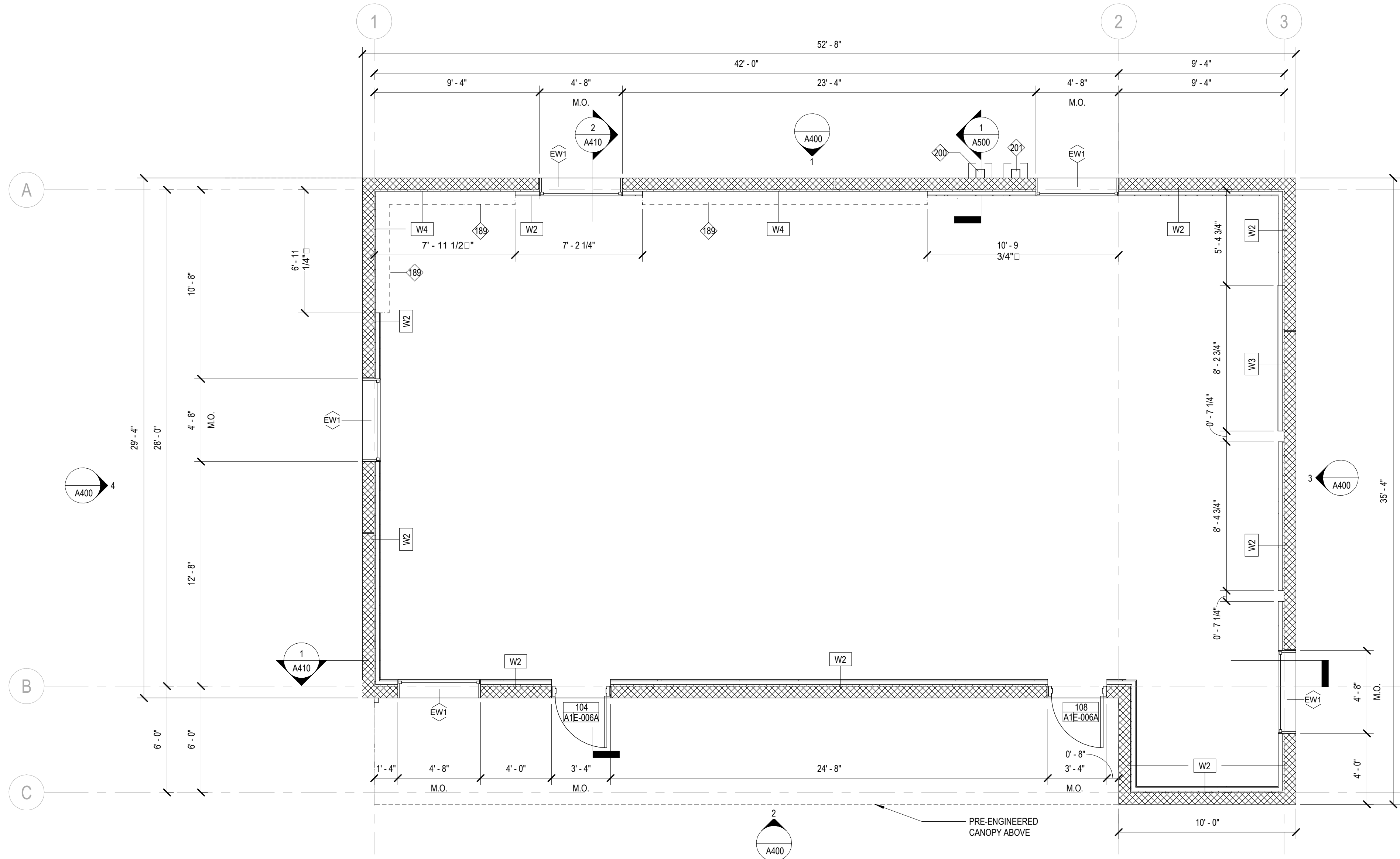
SECURITY ENGINEER
GUIDEPOST
JON LOUBOS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING B SHELL
TITLE: ARCHITECTURAL EXTERIOR ELEVATIONS
DRAWING: A600
E1 SCALE: As indicated ASILE No: REV: 0

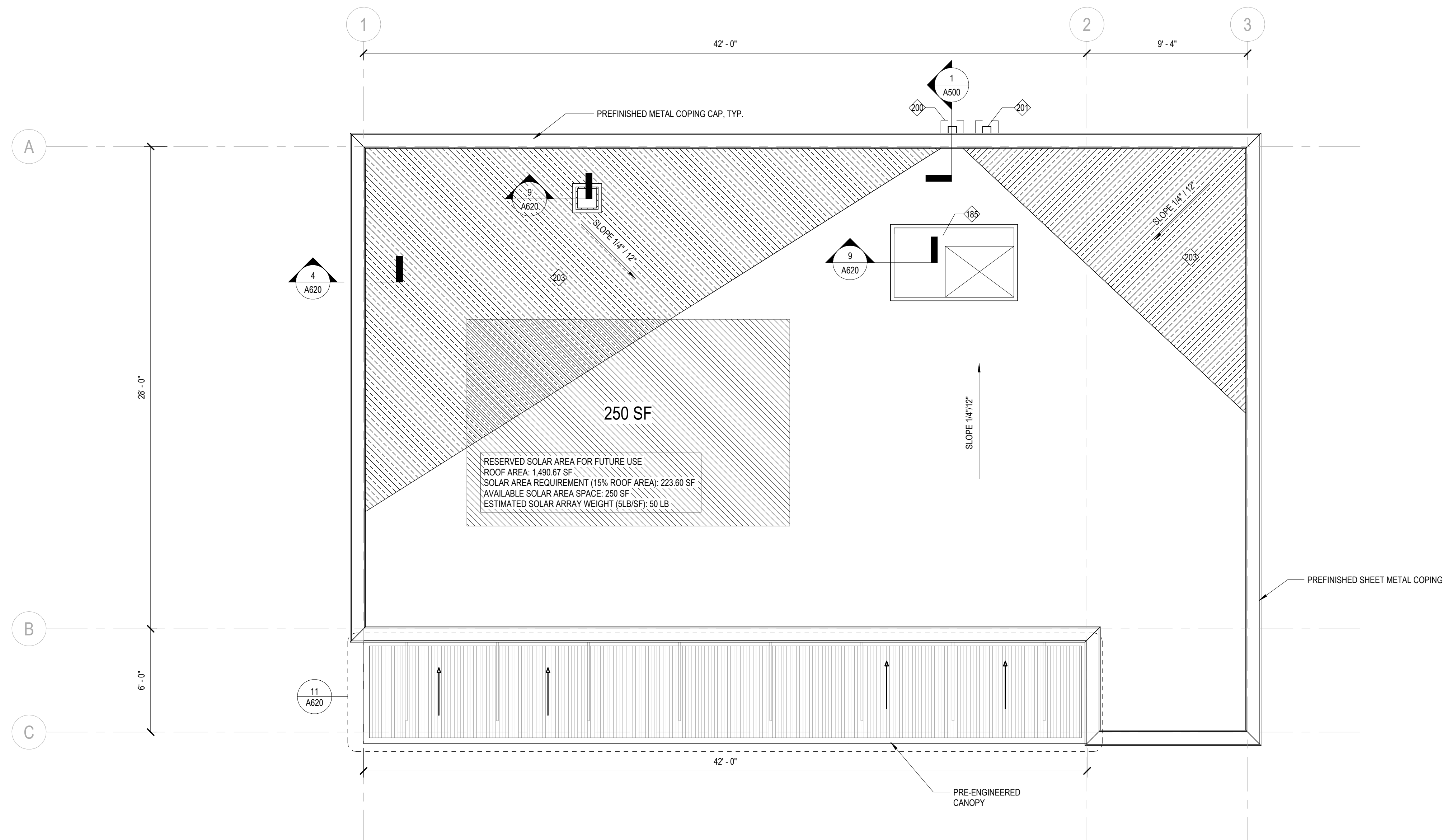
EXTERIOR FINISH LEGEND

T1	TYPICAL OFF-WHITE FIELD COLOR EXTERIOR TEXTURE ACRYLIC COATING
SW 7043 'WORDLY GRAY'	

T1 SW 7043 'WORDLY GRAY'



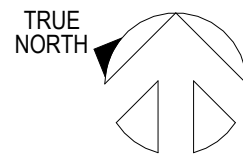
1 ARCHITECTURAL FLOOR PLAN
A200 1/4" = 1'-0"



2 ARCHITECTURAL ROOF PLAN
A200 1/4" = 1'-0"

GENERAL NOTES - FLOOR PLAN

- REFER TO GENERAL NOTES ON A001
- REFER TO A010 FOR FIRE RATING AND LIFE SAFETY INFORMATION
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE, UOI
- REFER TO A000 FOR EXTERIOR WALL ASSEMBLIES
- REFER TO A000 FOR ROOF & FLOOR ASSEMBLIES
- ALL SPOT ELEVATIONS ARE TO TOP OF ROOFING MEMBRANE OR TOP OF PARAPET COPING UOI
- CONTRACTORS TO COORDINATE REQUIREMENTS OF EQUIPMENT WITH LOCATION OF ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, AND FIRE PROTECTION ELEMENTS
- CONTRACTOR TO VERIFY IN FIELD ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
- 'PT01' IS TYPICAL PAINT FINISH FOR ALL SPACES. 'P3' TO BE APPLIED UNLESS OTHERWISE NOTED ON PLANS FOLLOW FINISH SCHEDULE PER FINISH LEGEND
- REFER TO LATEST GEOTECHNICAL REPORT FOR UNDER-SLAB VAPOR BARRIER DETAIL AND EXTENTS.



KEYNOTE LEGEND

Key Value	Keynote Text
185	PREMANUFACTURED CURB FOR FUTURE EQUIPMENT. RE-MECHANICAL FOR DIMENSIONS AND LOCATIONS. GC TO COORDINATE FINAL OPENINGS WITH EQUIPMENT MANUFACTURER. PROVIDE CURB CAPS FOR ALL EQUIPMENT NOT INSTALLED DURING INITIAL BUILD-OUT PHASE.
189	FURRING WALL TO BE CONSTRUCTED IN T1 PHASE
200	THRU-WALL SCUPPER TO CONDUCTOR HEAD AND DOWNSPOUT ON EXTERIOR FACE OF BUILDING
201	OVERFLOW THROUGH WALL SCUPPER. LOCATE 1 FOOT TO SIDE OF CONDUCTOR HEAD AND 2 INCHES ABOVE INVERT OF MAIN THROUGH WALL SCUPPER DRAINAGE
203	CRICKET GRAPHICALLY INDICATED TO PROPERLY SLOPE STORM WATER TO THRU-WALL SCUPPERS AND GENERALLY CREATE EQUAL STORM WATER DISTRIBUTION TO THE ROOF SCUPPERS

FLOOR PLAN LEGEND

1HR FIRE BARRIER	1HR FIRE BARRIER
DOOR NUMBER	DOOR NUMBER
DOOR HARDWARE SET NUMBER	DOOR HARDWARE SET NUMBER
DOOR ELEVATION	DOOR ELEVATION
PARTITION TAG	PARTITION TAG
WINDOW TAG	WINDOW TAG
CMU	CMU

GENERAL NOTES - ROOF PLAN

- CONTRACTOR MUST VERIFY IN FIELD (VIF) ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION, AND NOTIFY THE ARCHITECT/ENGINEER IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES.
- REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF WORK.
- ROOF CURBS FOR EQUIPMENT SHALL BE FURNISHED WITH WEATHERPROOF CAPS.
- COORDINATE ALL REQUIRED ROOF SCOPE w/ MEP TRADES, INCLUDING BUT NOT LIMITED TO PLUMBING, VENTS, POWER, CONDUITS, ETC.
- ALL PENETRATIONS (PIPING, VENTS, ETC.) CREATED IN THE ROOF SHALL BE DETAILED IN ACCORDANCE w/ THE ROOFING MANUFACTURER'S RECOMMENDATIONS & STANDARD DETAILS. SHALL BE CONSISTENT w/ THE WARRANTY OF THE ROOFING ASSEMBLY, AND SHALL NOT REDUCE OR VOID THE WARRANTY IN ANY MANNER.
- PROVIDE ROOF DAVITS FOR FUTURE MAINTENANCE TIE-OFF. G.C. SHALL COORDINATE EXACT INSTALL DIMENSIONS IN FIELD TO ENSURE DAVIT IS 8" ABOVE THE ROOF SURFACE AND PROPERLY FLASHED.

ROOF PLAN LEGEND

TAPERED ROOF INSULATION	TAPERED ROOF INSULATION
RESERVED SOLAR AREA FOR FUTURE USE	RESERVED SOLAR AREA FOR FUTURE USE

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

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MECHANICAL ENGINEER
ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER
HKS
KIMLEY HORN
ANTHONY VERA
(920) 398-4840
4637 Chabot Drive
Suite 300
Pleasanton, California 94588

ARCHITECT
HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
Dallas, Texas 75201

TELECOM ENGINEER
ESD GLOBAL
TODD GRAMES
(312) 372-1200
233 South Wacker Drive
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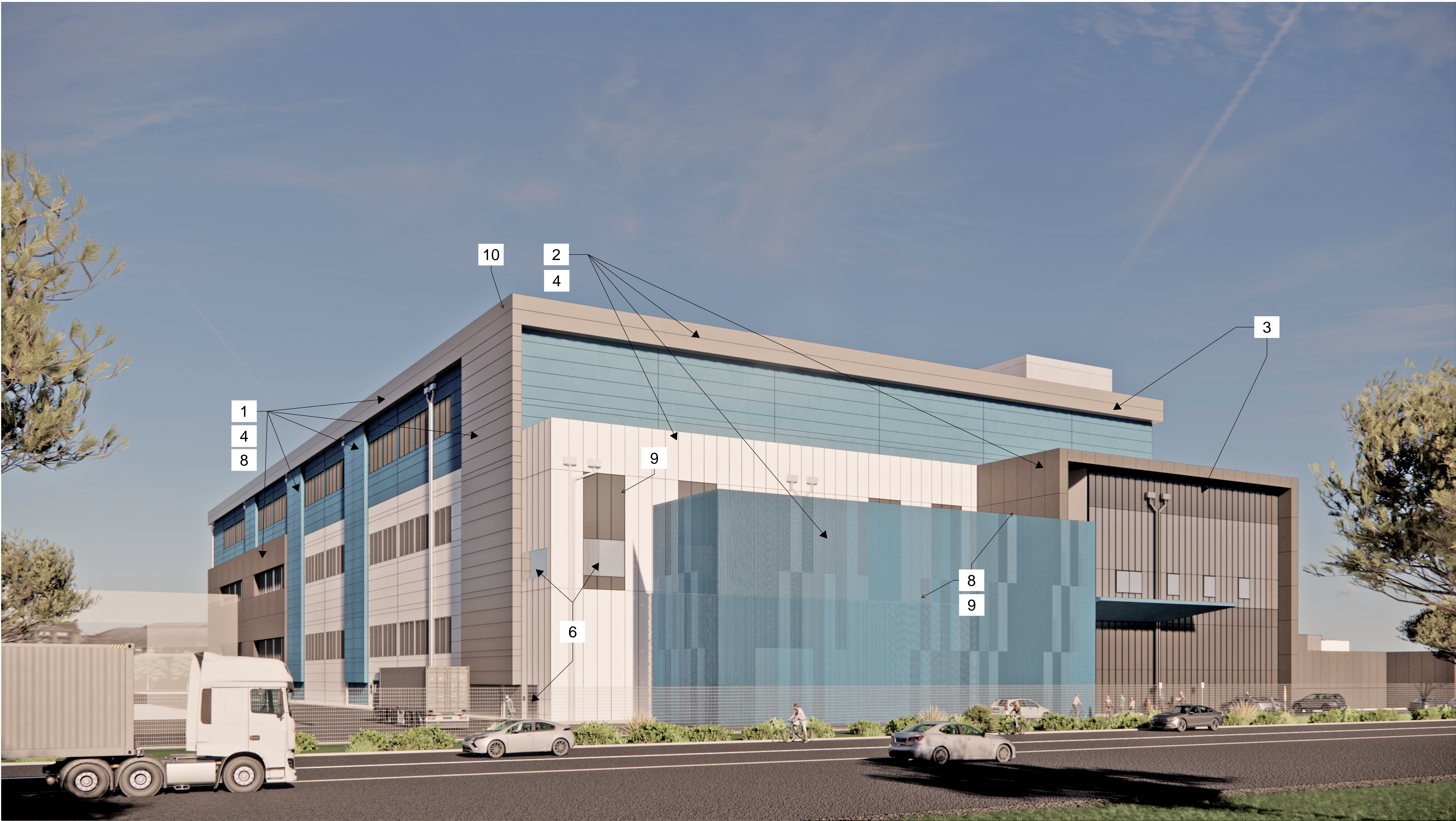
SECURITY ENGINEER
GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING C SHELL

TITLE: ARCHITECTURAL CORE & SHELL OVERALL FLOOR PLAN

DRAWING: A200

E1



HAYWARD INDUSTRIAL DESIGN GUIDELINES - BUILDING DESIGN

MASSING & ARTICULATION

1. Desirable massing on street facing building elevations includes variation in wall plane, variation in wall height, and roofs located at different levels in order to minimize the overall appearance of the elevation. In general, building wall planes visible from a public street should not continue for more than 50-feet without a change in building wall plane direction of 2-feet or more.
2. Design massing elements to be properly scaled and in proportion to one another in order to provide a balance between horizontal and vertical emphasis.
3. Organize street facing building massing so as to emphasize interior uses of a building, such as the primary entry, building corners, or office space, through the use of varying roof height, windows, variation in materials, and other design treatments.

4. Provide articulation and detailing on all elevations of a building and include elements such as recesses, columns, score lines, reveals, trellises, windows, lighting, or other features to create shadow patterns and depth on building elevations. Reuse of existing buildings may also include wall art or sculptural art elements.
5. Minimize blank wall planes on all elevations through the use of wall plane variation, trim or reveals, entry and window openings, and/or varying colors and materials.

WINDOWS & DOORS

6. Use window and door type, proportion, and colors and materials to complement the overall architectural style of the building.
7. Place windows on building elevations, such as clerestory windows, to allow for natural daylighting to occur within interior work areas and to break up massing and add articulation to a building.

COLORS AND MATERIALS

8. Select building colors and materials to reinforce building design, detailing, and architectural form in order to achieve harmony and continuity of the overall design.
9. Utilize accent colors for trim, windows, doors, and other key architectural elements, such as primary building entries, to add visual interest to a building.
10. Apply materials in a manner that corresponds to variation in building massing. Wrap outside corners to avoid a tacked-on appearance

11. Use durable and high quality materials on building exteriors, especially in areas near ground level.



HAYWARD INDUSTRIAL DESIGN GUIDELINES - BUILDING DESIGN

MASSING & ARTICULATION

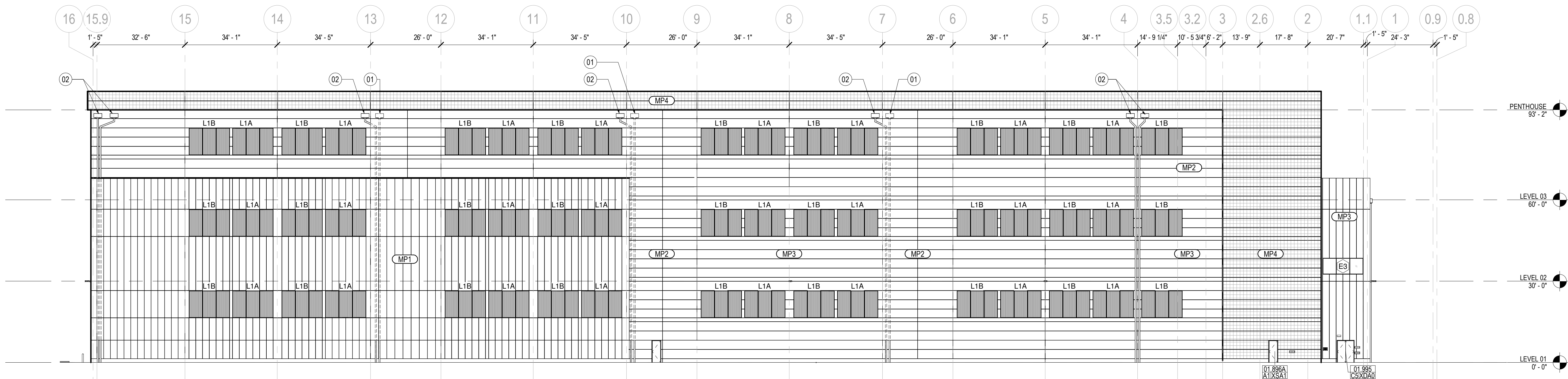
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WINDOWS & DOORS

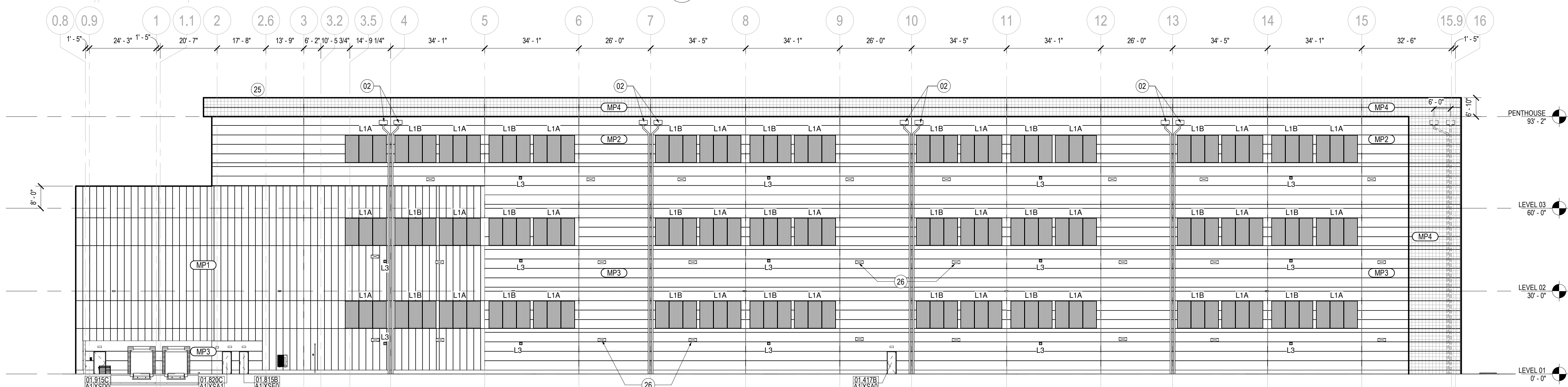
6. Use window and door type, proportion, and colors and materials to complement the overall architectural style of the building.
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COLORS AND MATERIALS

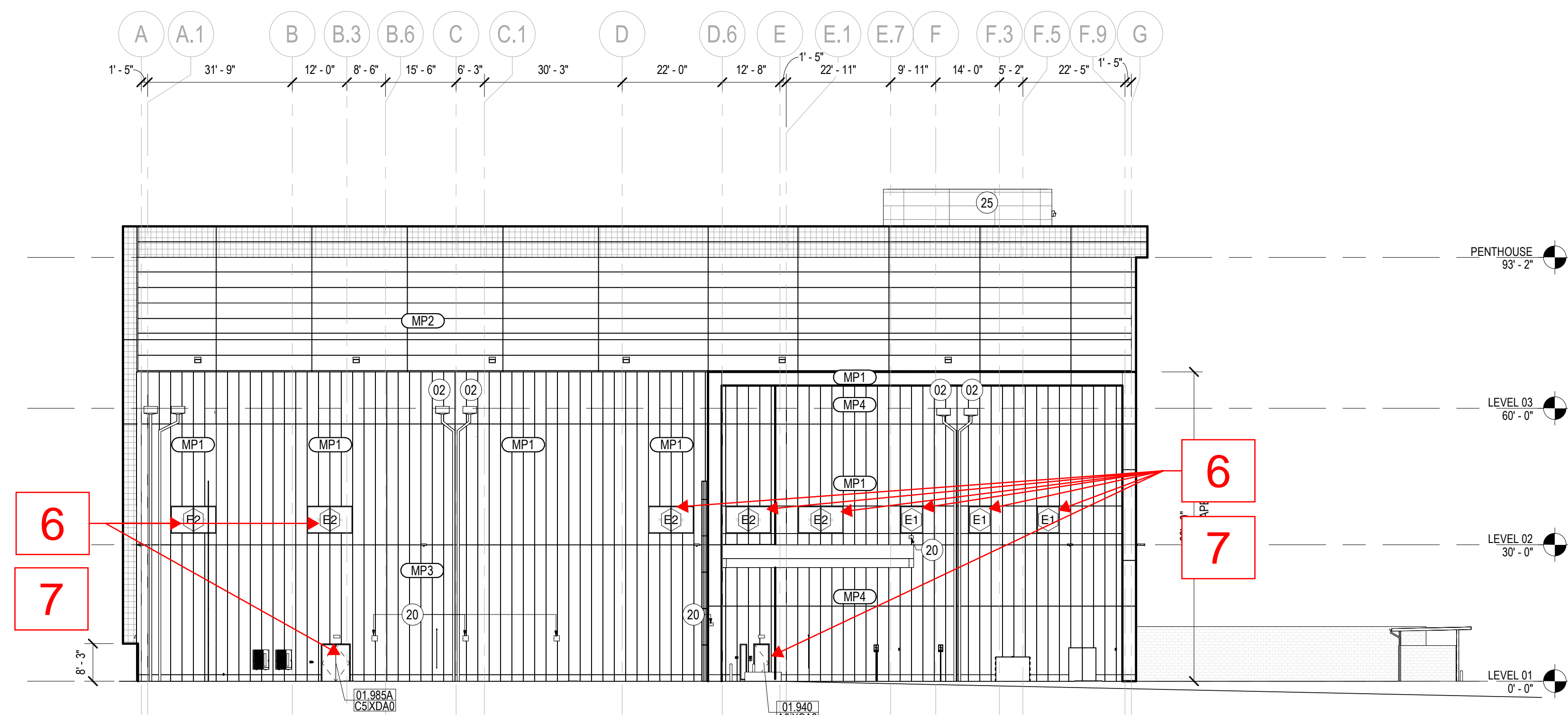
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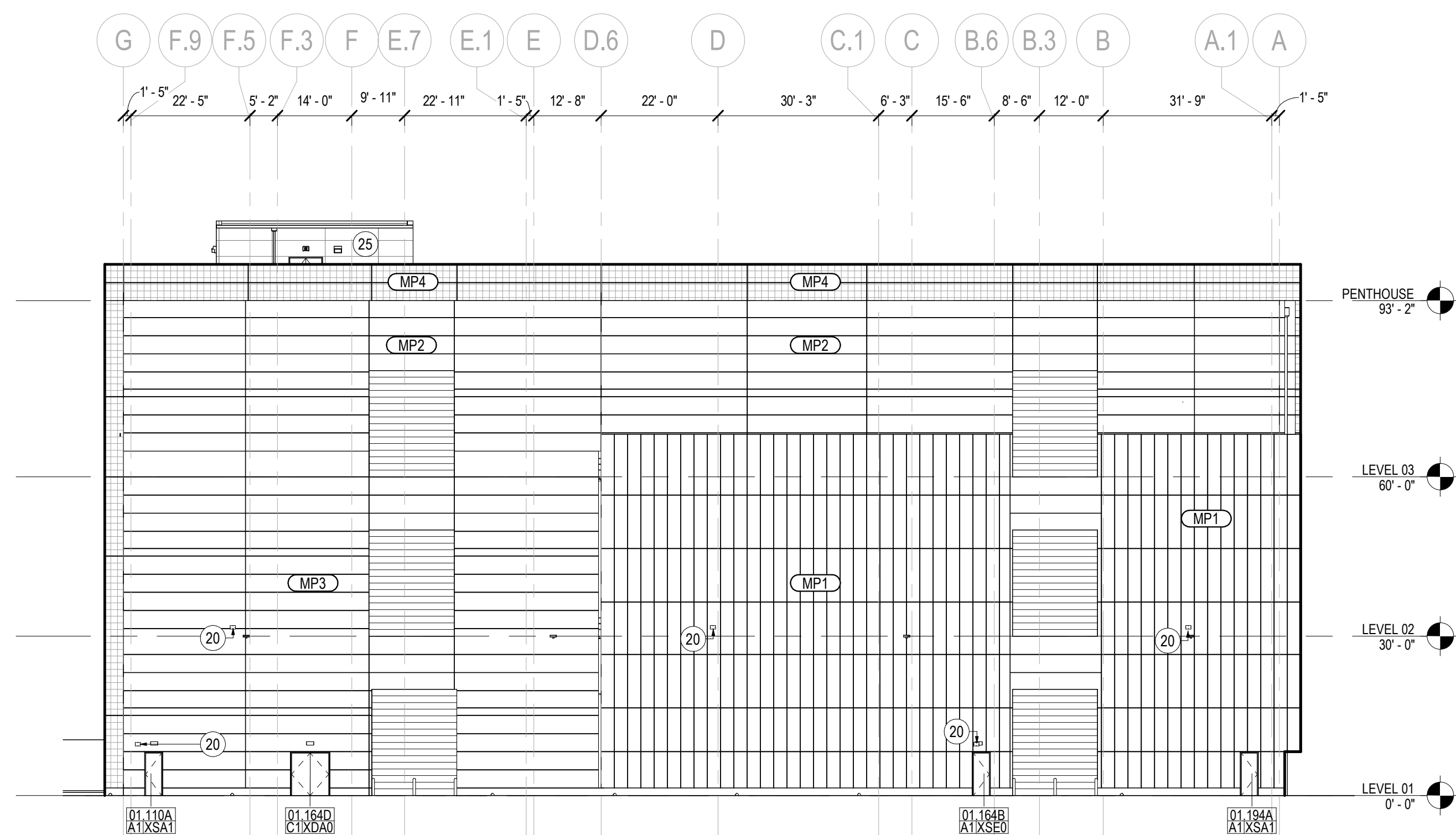
1 ARCHITECTURAL NORTH EXTERIOR ELEVATION
A600 1" = 20'-0"



2 ARCHITECTURAL SOUTH EXTERIOR ELEVATION
A600 1" = 20'-0"



3 ARCHITECTURAL WEST EXTERIOR ELEVATION
A600 1" = 20'-0"



4 ARCHITECTURAL EAST EXTERIOR ELEVATION
A600 1" = 20'-0"

SHEET NOTES - EXTERIOR ELEVATIONS

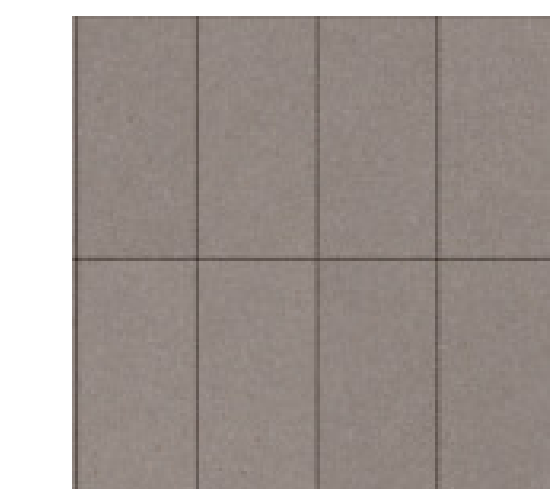
#	NOTE
01	THROUGH WALL SCUPPER AND DOWN BEHIND METAL PANEL. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS PREFINISHED TO MATCH ADJACENT LOUVER COLOR. TYP.
02	THROUGH WALL SCUPPER AND DOWN SPOUT. OFFSET DOWNSPOUT TO CENTER ON GRID BETWEEN LOUVERS BELOW. PREFINISHED TO MATCH ADJACENT WALL COLOR. TYP.
03	DOCK SEAL. TYP.
06	WINDOW TYPE E1; RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
07	WINDOW TYPE E3; RE: WINDOW SCHEDULE. MULLION FINISH AND COLOR TO MATCH EXTERIOR LOUVER FINISH.
08	EXTERIOR DOORS TO BE PAINTED TO MATCH COLOR OF WALL IN WHICH THEY OCCUR TYP.
09	METAL PANEL. SYSTEM REVEALS TYP.
12	BUILDING ENTRY STOREFRONT DOOR AND GLAZING.
13	LINE OF SCREEN WALL (DASHED), REFER TO PROVIDED ELEVATIONS FOR ADDITIONAL INFORMATION.
18	6" HIGH STEEL LETTERS, PIN MOUNTED TO TILT UP PANEL. PAINTED TO MATCH EPT3
20	WALL PACK EXTERIOR LIGHT FIXTURE. CENTER OVER DOOR OR OVER LOUVERS OR WITHIN PANEL. WHERE APPLICABLE. RE: ELECTRICAL DRAWINGS
25	METAL PANEL. TYPE 5 (TO BE DETERMINED).
26	WALL CUTOUTS TO BE COORDINATED WITH MEP.

11

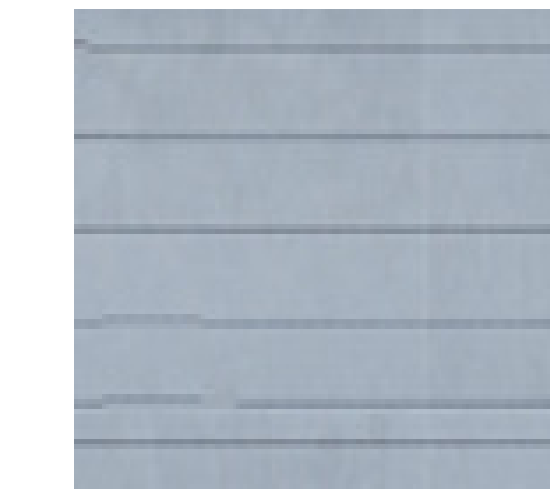
EXTERIOR FINISH LEGEND:

MP1	BOD: CENTRIA FORMA WALL DARK BRONZE COLOR SMOOTH EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL DARK BRONZE
MP2	BOD: CENTRIA FORMA WALL DEEP BLUE COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 200 DEEP BLUE SEA
MP3	BOD: CENTRIA FORMA WALL WHITE COLOR SMOOTH EXTERIOR TEXTURE 179 REGAL WHITE
MP4	BOD: CENTRIA FORMA WALL MEDIUM GRAY COLOR EMBOSSED EXTERIOR TEXTURE FLUOROFINISH COATING 9960 XL MEDIUM GRAY
MP5	BOD: CENTRIA PARADIGM METAL PANEL 9918 DOVE GRAY; 9989 PLATINUM SUNDACNE AM COATING; 9989 PLATINUM SUNDANCE MICA COATING

EXTERIOR FINISH LEGEND



MP1



MP2



MP3



MP4

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

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MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

HKS
KIMLEY-HORN
ANTHONY VERA
(920) 398-4840
4637 Chabot Drive
Suite 300
Pleasanton, California 94588

ARCHITECT

HKS
DUTCH WICKES
(214) 969-5599
350 N. Saint Paul Street, Suite 100
Suite 5300 Chicago,
Dallas, Texas 75201

TELECOM ENGINEER

ESD GLOBAL
GUIDEPOST
TODD GRIMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

SECURITY ENGINEER

GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL EXTERIOR ELEVATIONS

DRAWING:

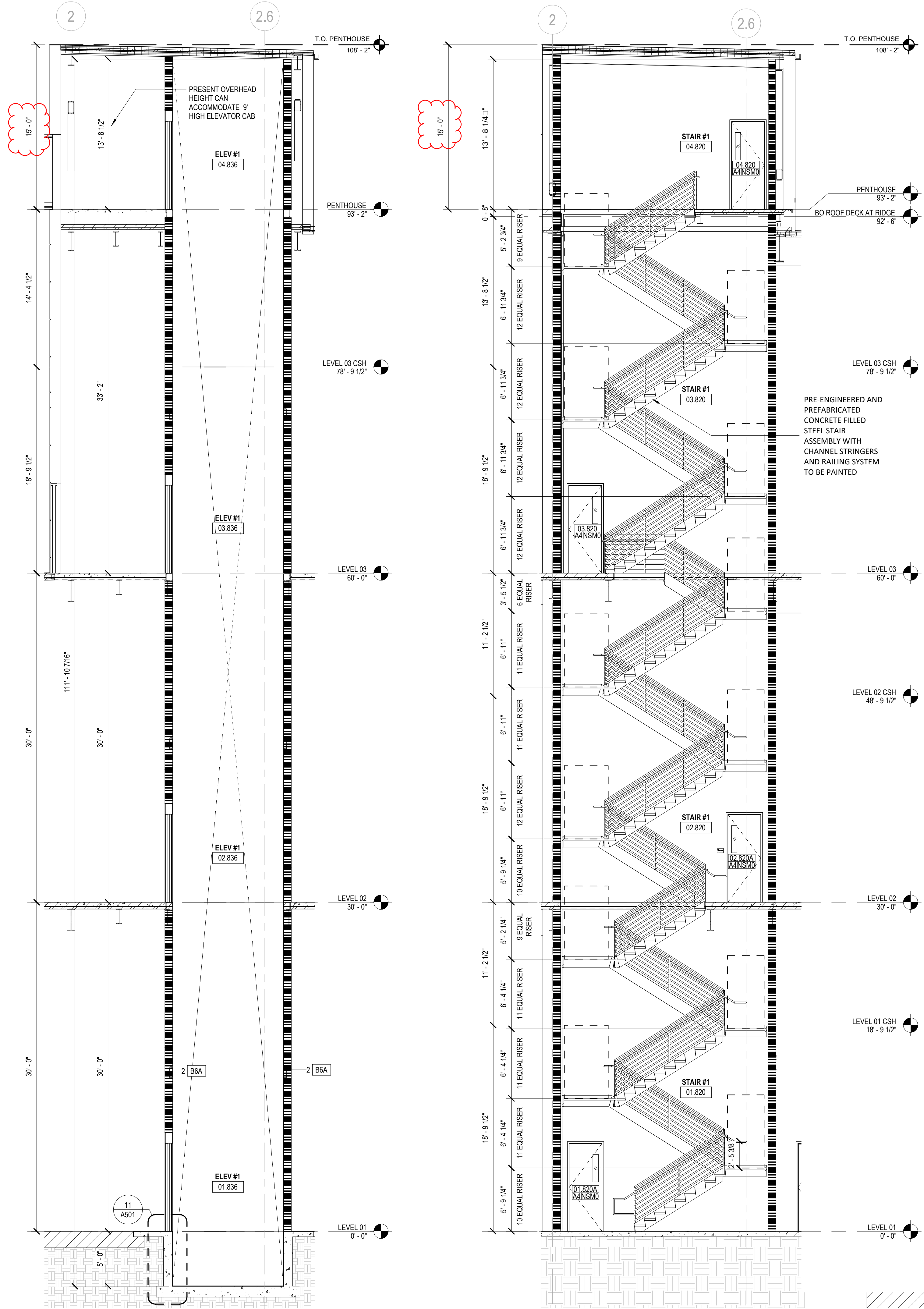
A600

E1

SCALE: As indicated

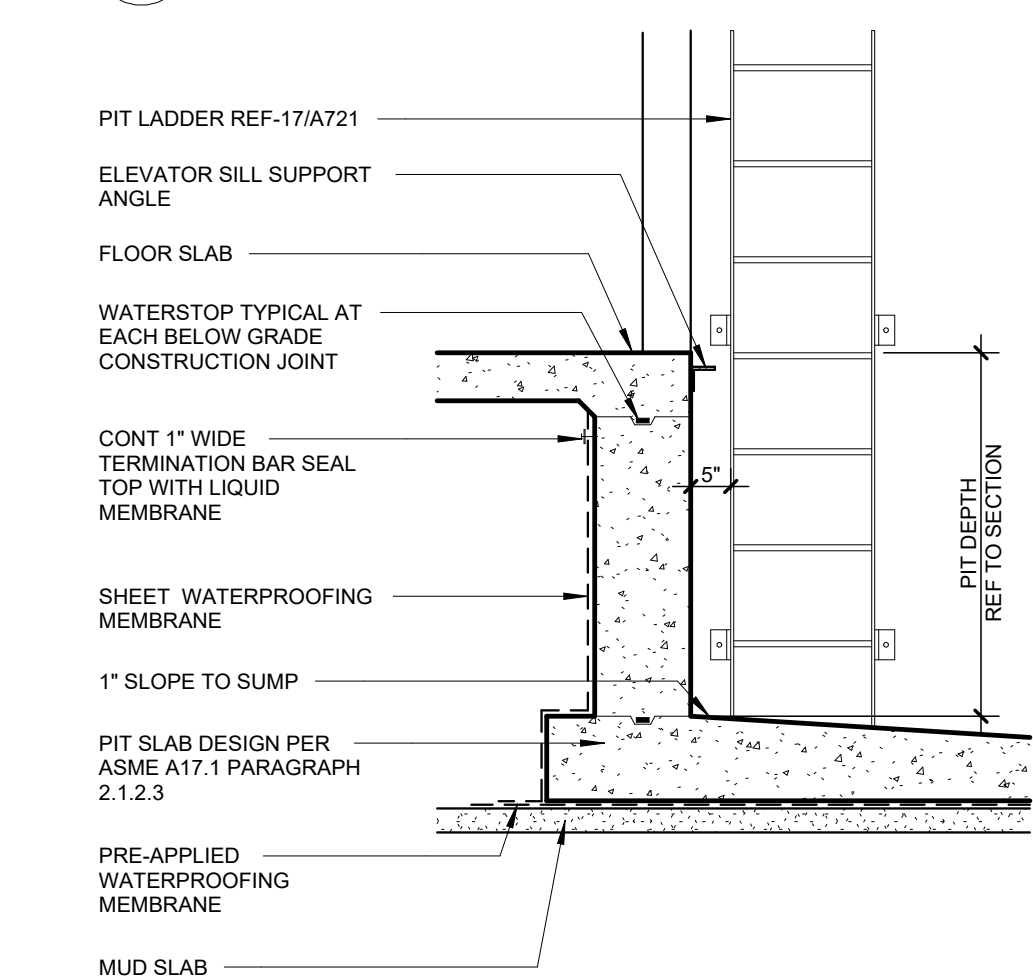
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REV:

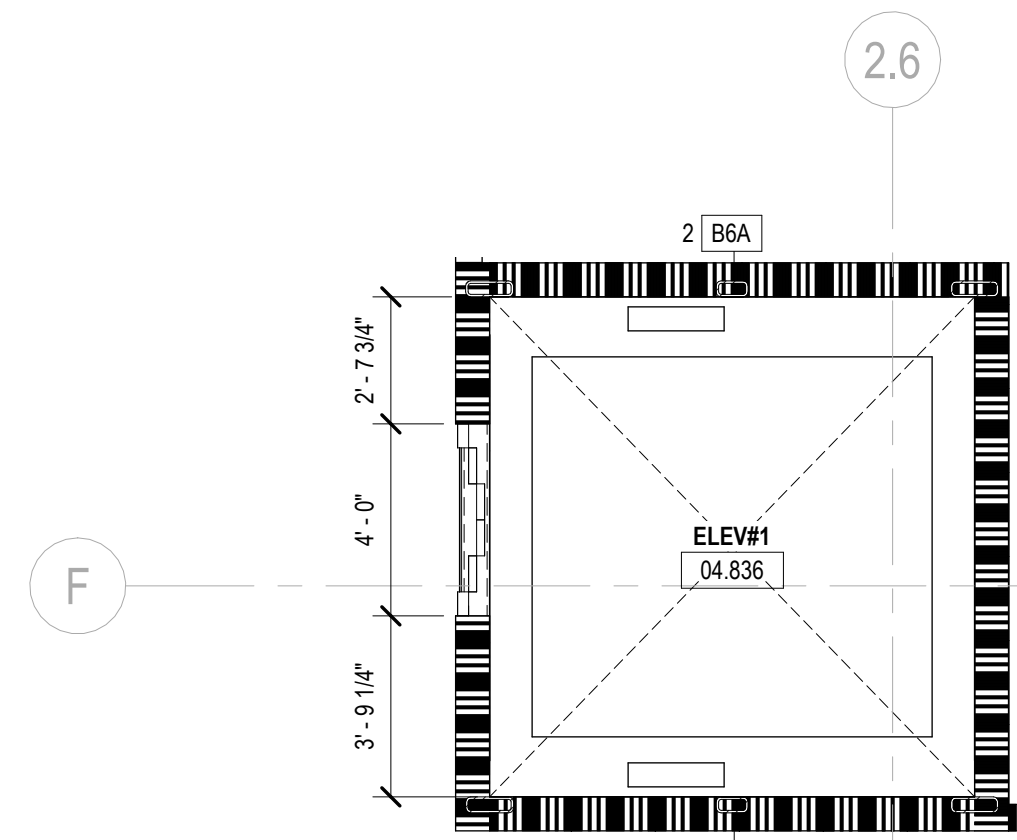


1 SECTION - ELEVATOR #1
A501 3/16" = 1'-0"

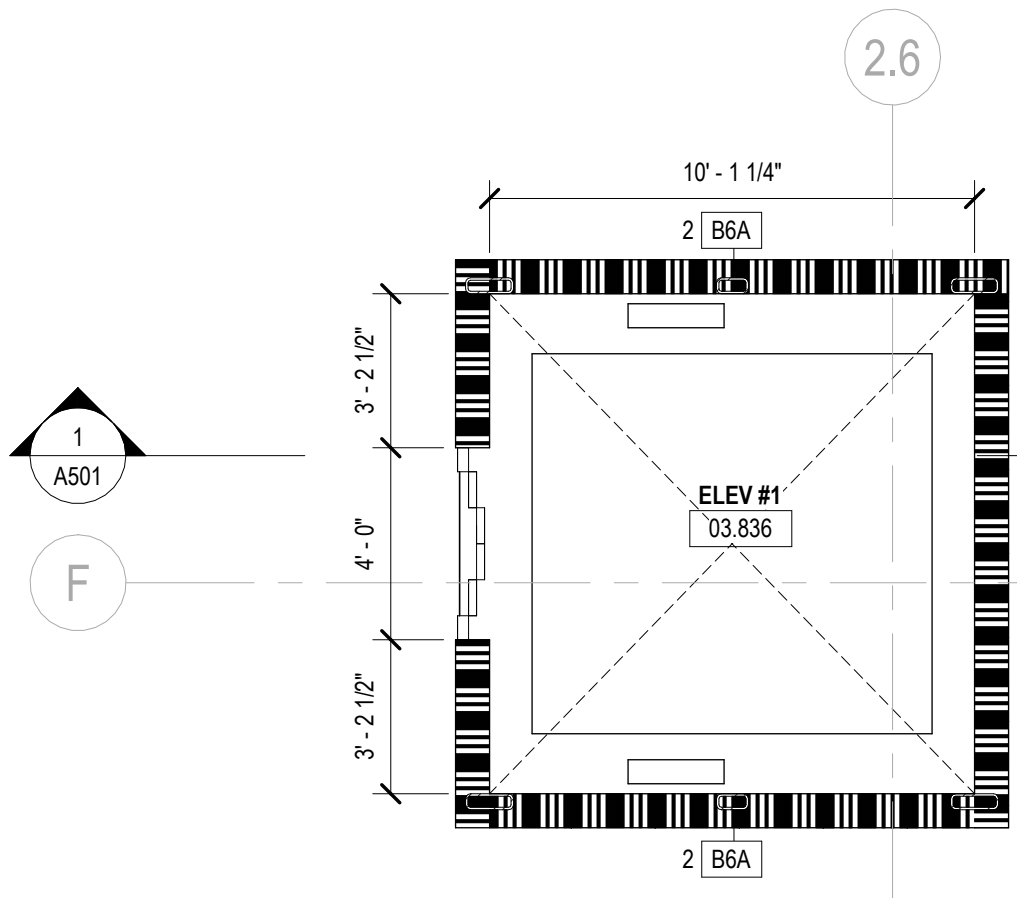
2 SECTION - STAIR #1
A501 3/16" = 1'-0"



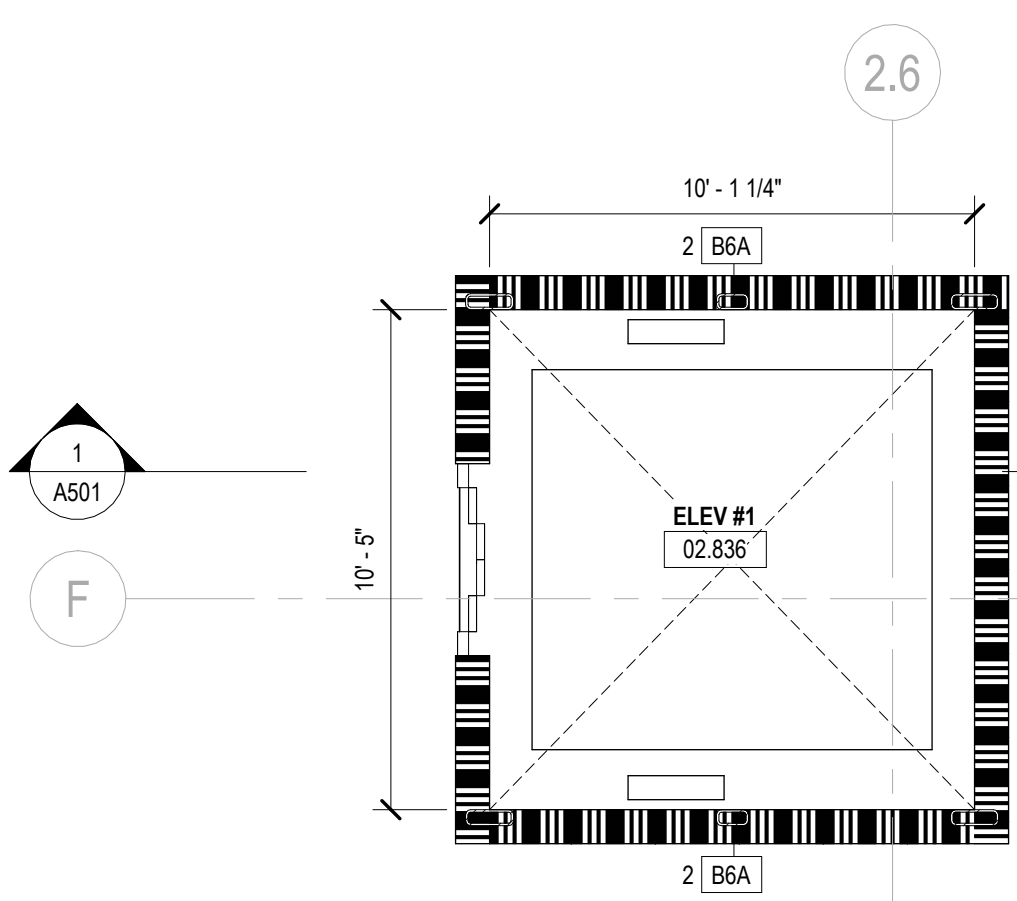
11 PIT SECTION WITH SHEET WATERPROOFING
A501 1/2" = 1'-0"



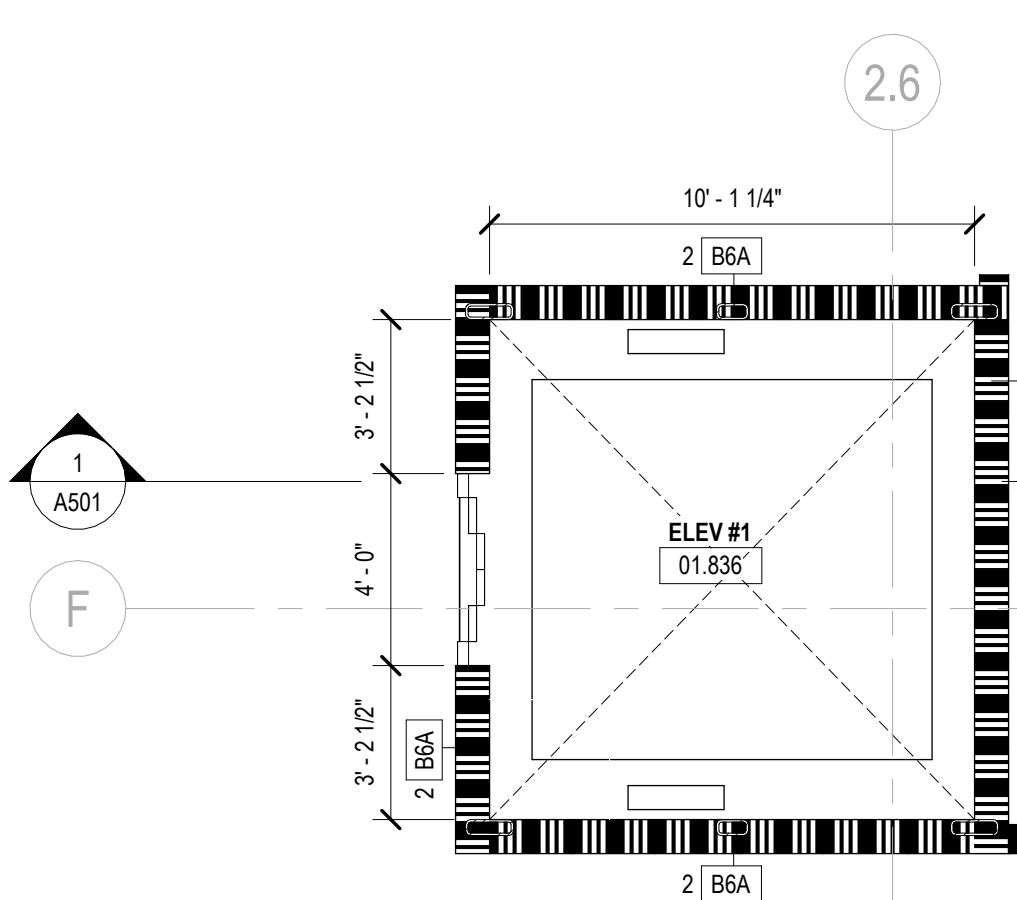
3 ENLARGED PLAN - ELEVATOR #1 - PENTHOUSE
A501 1/4" = 1'-0"



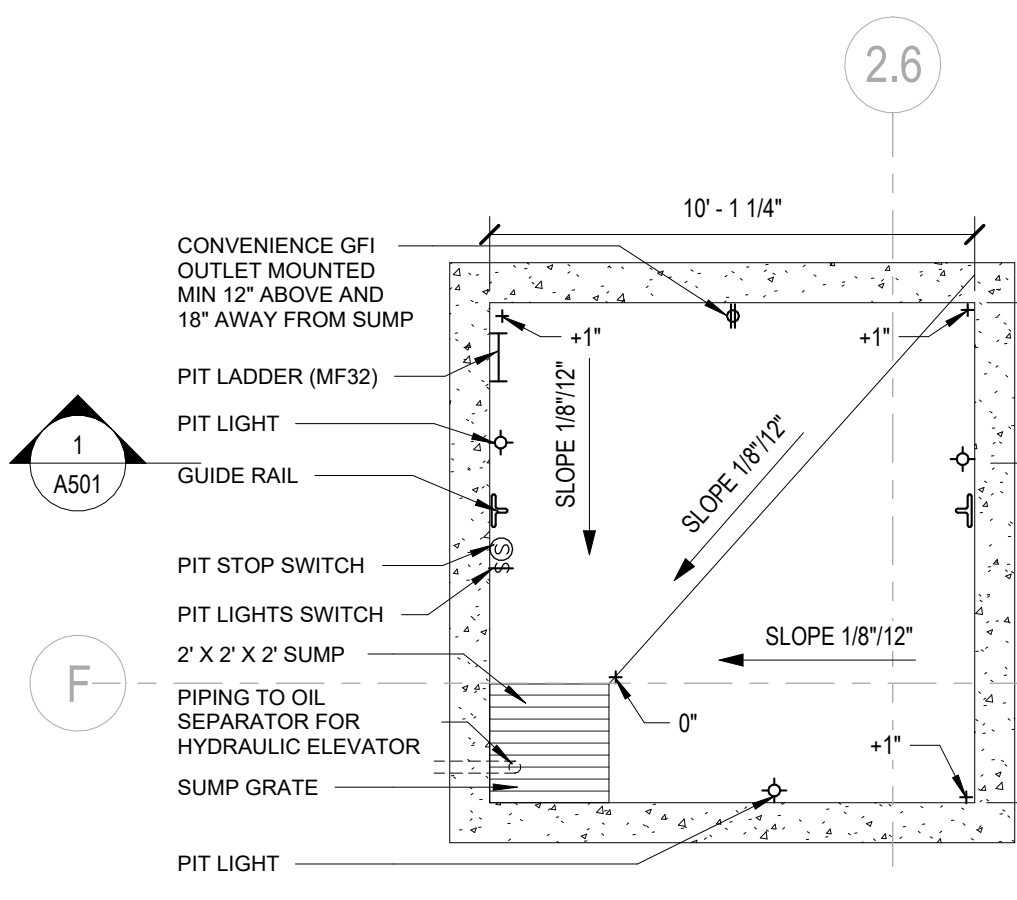
5 ENLARGED PLAN - ELEVATOR #1 - LEVEL 03
A501 1/4" = 1'-0"



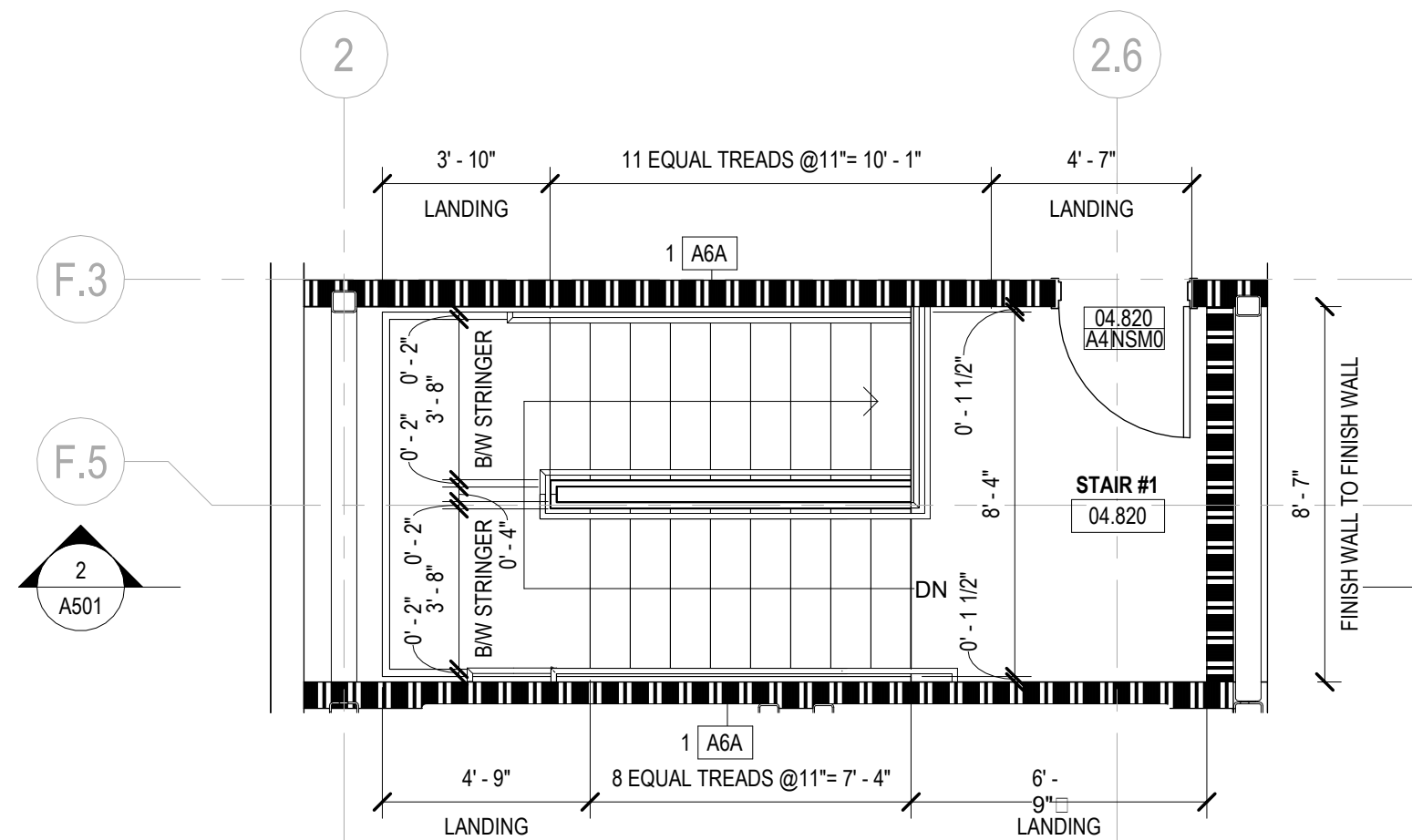
7 ENLARGED PLAN - ELEVATOR #1 - LEVEL 02
A501 1/4" = 1'-0"



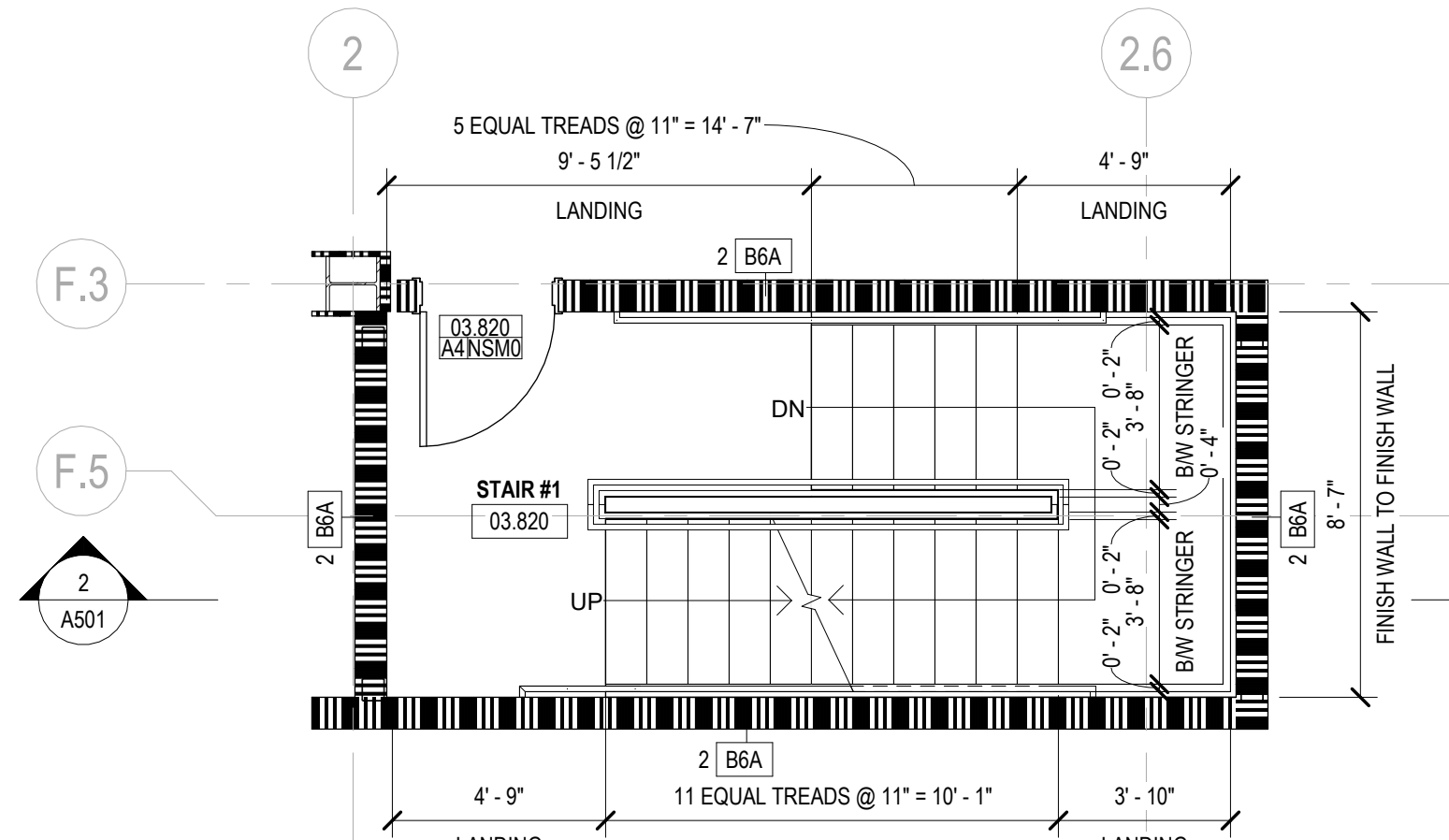
9 ENLARGED PLAN - ELEVATOR #1 - LEVEL 01
A501 1/4" = 1'-0"



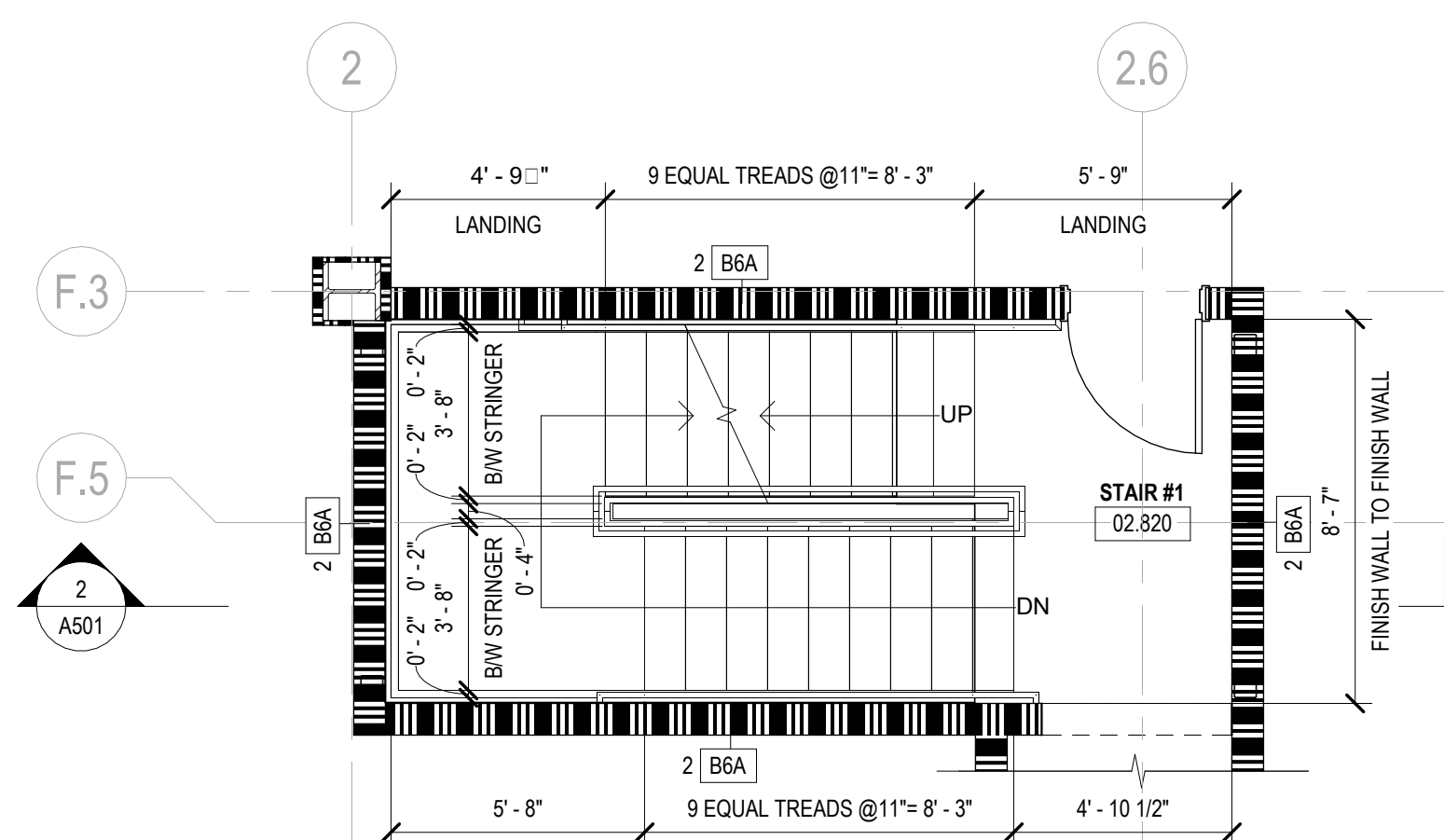
12 ENLARGED PLAN - ELEVATOR #1 - PIT PLAN
A501 1/4" = 1'-0"



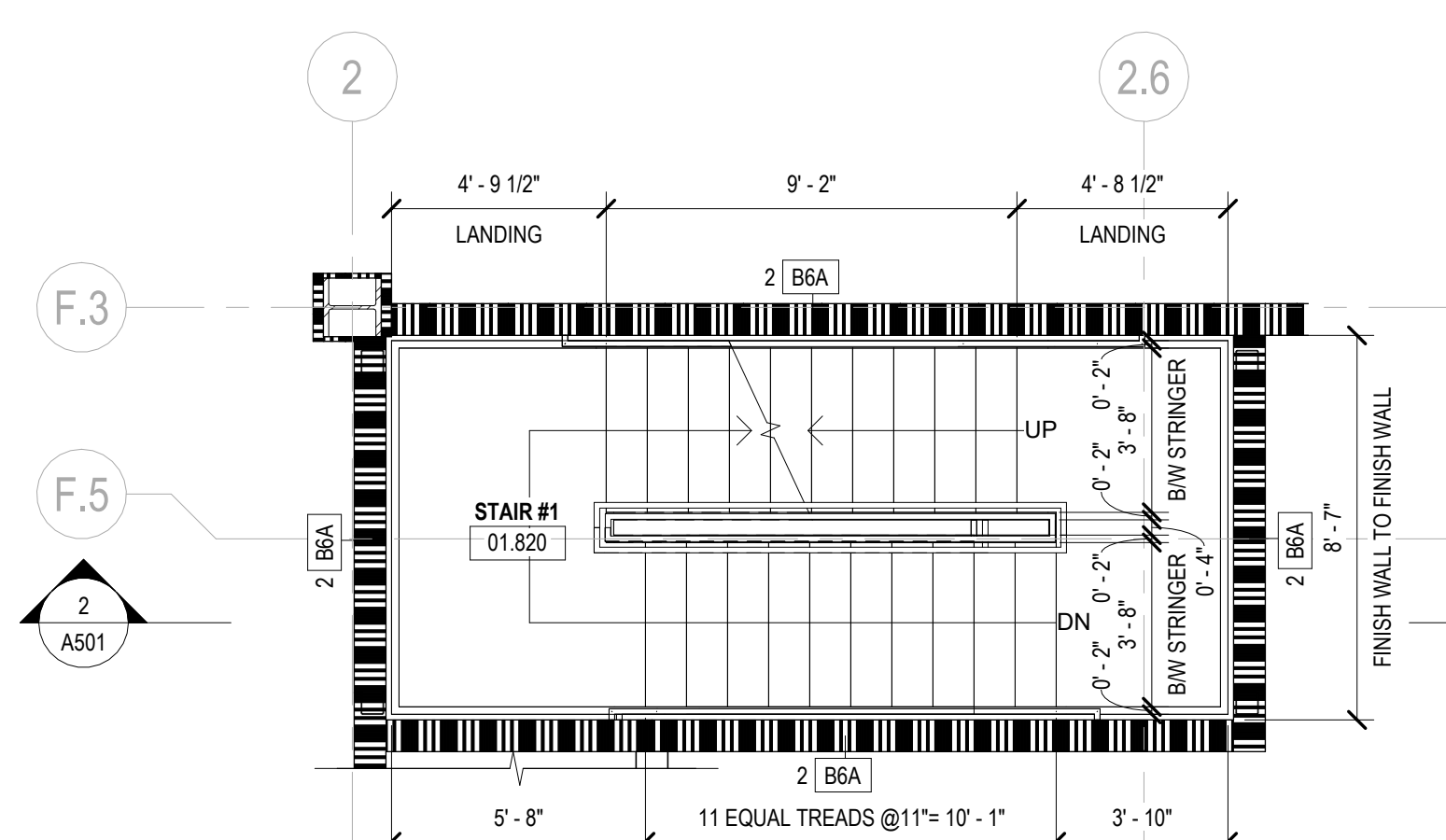
4 ENLARGED PLAN - STAIR #1 - PENTHOUSE
A501 1/4" = 1'-0"



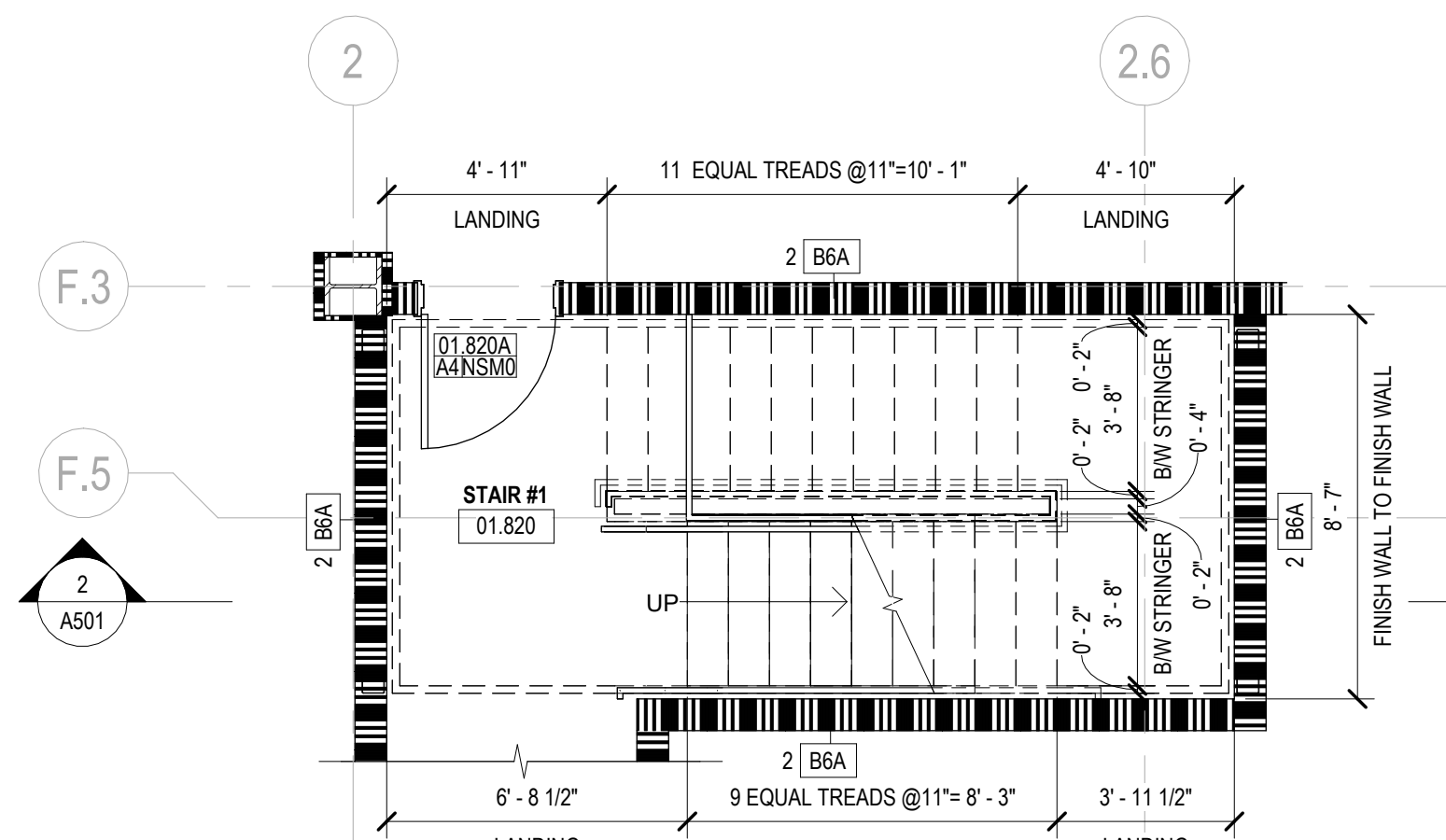
6 ENLARGED PLAN - STAIR #1 - LEVEL 03
A501 1/4" = 1'-0"



8 ENLARGED PLAN - STAIR #1 - LEVEL 02
A501 1/4" = 1'-0"



10 ENLARGED PLAN - STAIR #1 - TYPICAL CSH
A501 1/4" = 1'-0"



13 ENLARGED PLAN - STAIR #1 - LEVEL 01
A501 1/4" = 1'-0"

CONFIDENTIAL

PROJECT ADDRESS

26062 EDEN LANDING ROAD
HAYWARD, CA 94545

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MECHANICAL ENGINEER
ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER
ESD GLOBAL
ADAM BRENDAMOUR
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER
HKS
KIMLEY-HORN
ANTHONY VERA
(822) 398-4840
4637 Chabot Drive
Suite 300
Pleasanton, California 94588

STRUCTURAL ENGINEER
HKS
CLINT NASH
(214) 969-5599
One Dallas Center
Suite 5300 Chicago
Dallas, Texas 75201

ARCHITECT
HKS
DUTCH WICKES
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Dallas, Texas 75201

FIRE PROTECTION ENGINEER
ESD GLOBAL
MICHAEL PARAS
(312) 372-1200
233 South Wacker Drive
Suite 5300 Chicago
Illinois 60606

TELECOM ENGINEER
ESD GLOBAL
TODD GRAMES
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

SECURITY ENGINEER
GUIDEPOST
JON JOLIBOIS
(415) 616-8822
315 Montgomery Street
10th Floor
San Francisco, California 94104

PROJECT: BUILDING A SHELL

TITLE: ARCHITECTURAL ELEVATOR & STAIR PLANS & SECTIONS

DRAWING: A501

SCALE: As indicated

AGILE No:

REV: C

SVY03A

TOTAL FOOTPRINT		
BUILDING A	105,750	SF
GEN YARD	55,150	SF
TOTAL	160,900	SF

GFA		
LEVEL 01	105,750	SF
LEVEL 02	105,750	SF
LEVEL 03	98,960	SF
TOTAL	310,460	SF
GEN YARD	55,150	SF
TOTAL(DH + GEN. YARD)	365,610	SF

ROOMS
DATA HALL + DAHU
ELECTRIC ROOMS
OFFICE/LOBBY
STORAGE
STAIRS +LIFT WELL+SHAFTS

SVY03B

TOTAL FOOTPRINT		
BUILDING B	15,254	SF

GFA		
BUILDING C	15,254	SF

SVY03C

TOTAL FOOTPRINT		
BUILDING C	1,605	SF

GFA		
BUILDING C	1,605	SF

SITE

Landscaped Area	165,557	SF
Total Open Space	68,945	SF
Substation SVY03S1 Area	23,210	SF
Switching Station	25,800	SF
Lot Coverage	500,287	SF

Parking Requirements		
	57	Spaces
	6	ADA
Total	63	Spaces

Bike Requirements		
Long Term	3	EA
Short Term	2	EA
Total	5	Total

SVY03A AREA BREAKDOWN

LEVEL 01	LEVEL 02	LEVEL 03	PENTHOUSE	TOTAL	
69,278	65,809	62,519	0	197,606	SF
16,776	16,776	16,772	0	50,324	SF
13,100	14,379	7,261	0	34,740	SF
2,423	1,070	1,183	0	4,676	SF
4,148	7,691	11,215	884	23,938	SF
105,725	105,725	98,950	884	311,284	