

TENANT IMPROVEMENT

3166 DIABLO AVE. HARWARD, CA 94545

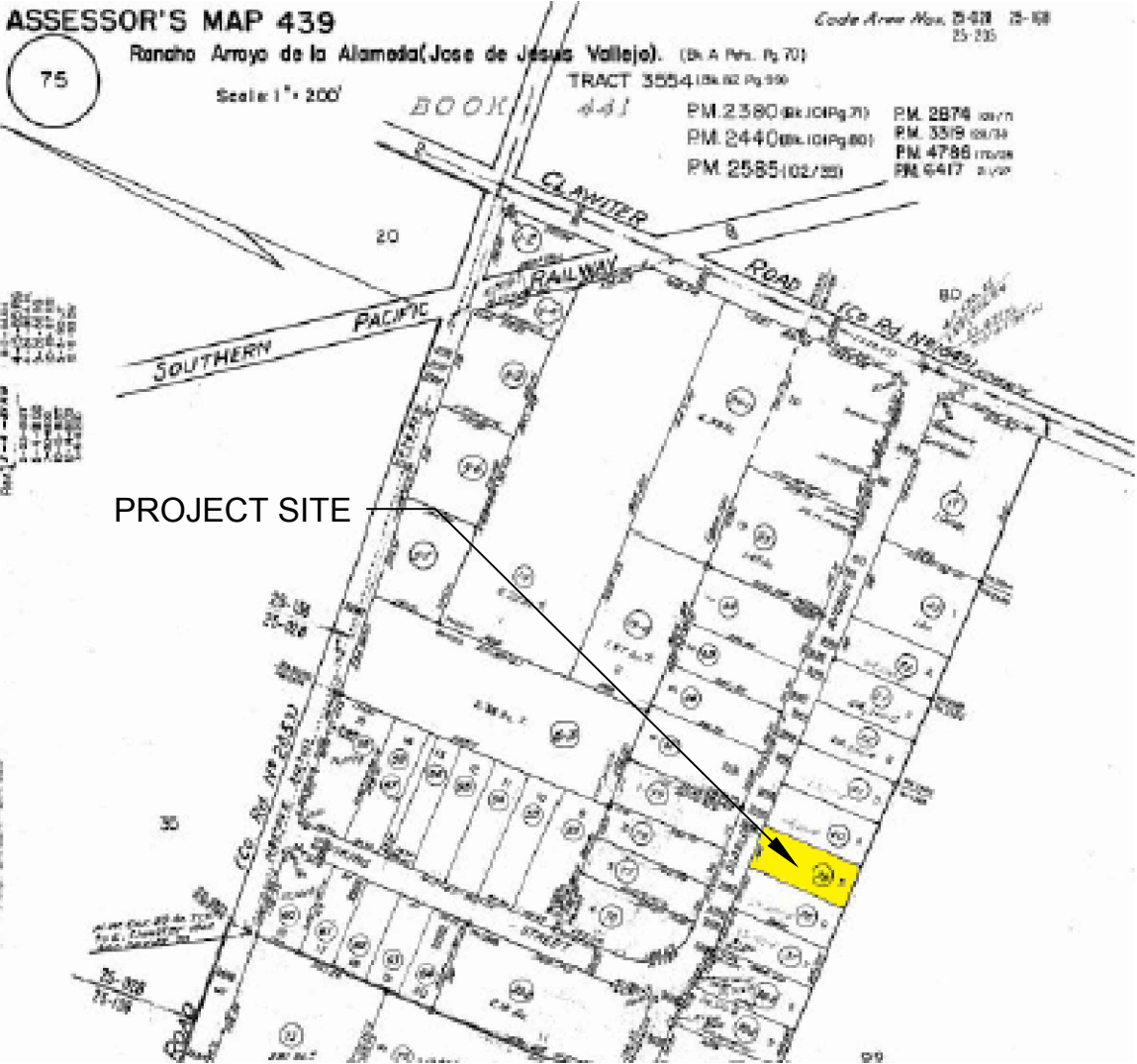
PROPOSED OCCUPANT LOAD CALCULATION

GROSS FLOOR AREA 8100 SF  
OCCUPANCY GROUPS - "B", "F1", "S1", "U"  
OCCUPANT LOAD FACTOR FOR GROUP "B" IS 100 GROSS (TABLE 1004.1.2)  
OCCUPANT LOAD FACTOR FOR GROUP "F1" IS 300 GROSS (TABLE 1004.1.2)  
OCCUPANT LOAD FACTOR FOR GROUP "S1" IS 300 GROSS (TABLE 1004.1.2)  
OCCUPANT LOAD FACTOR FOR GROUP "U" IS 300 GROSS (TABLE 1004.1.2)  
"B" OCCUPANCY AREA - 1078 SF, OCCUPANT LOAD 1078/100 = 11  
"F1" OCCUPANCY AREA - 1519 SF, OCCUPANT LOAD 5017/300 = 17  
"U" OCCUPANCY AREA - 222 SF, OCCUPANT LOAD 222/300 = 1  
TOTAL NUMBER OF OCCUPANTS = 34  
NUMBER OF REQUIRED FOR "B", "F1" AND "S1" "U" GROUPS EXITS (34<49) = 1  
NUMBER OF PROPOSED EXITS = 2

MINIMUM PLUMBING FACILITIES

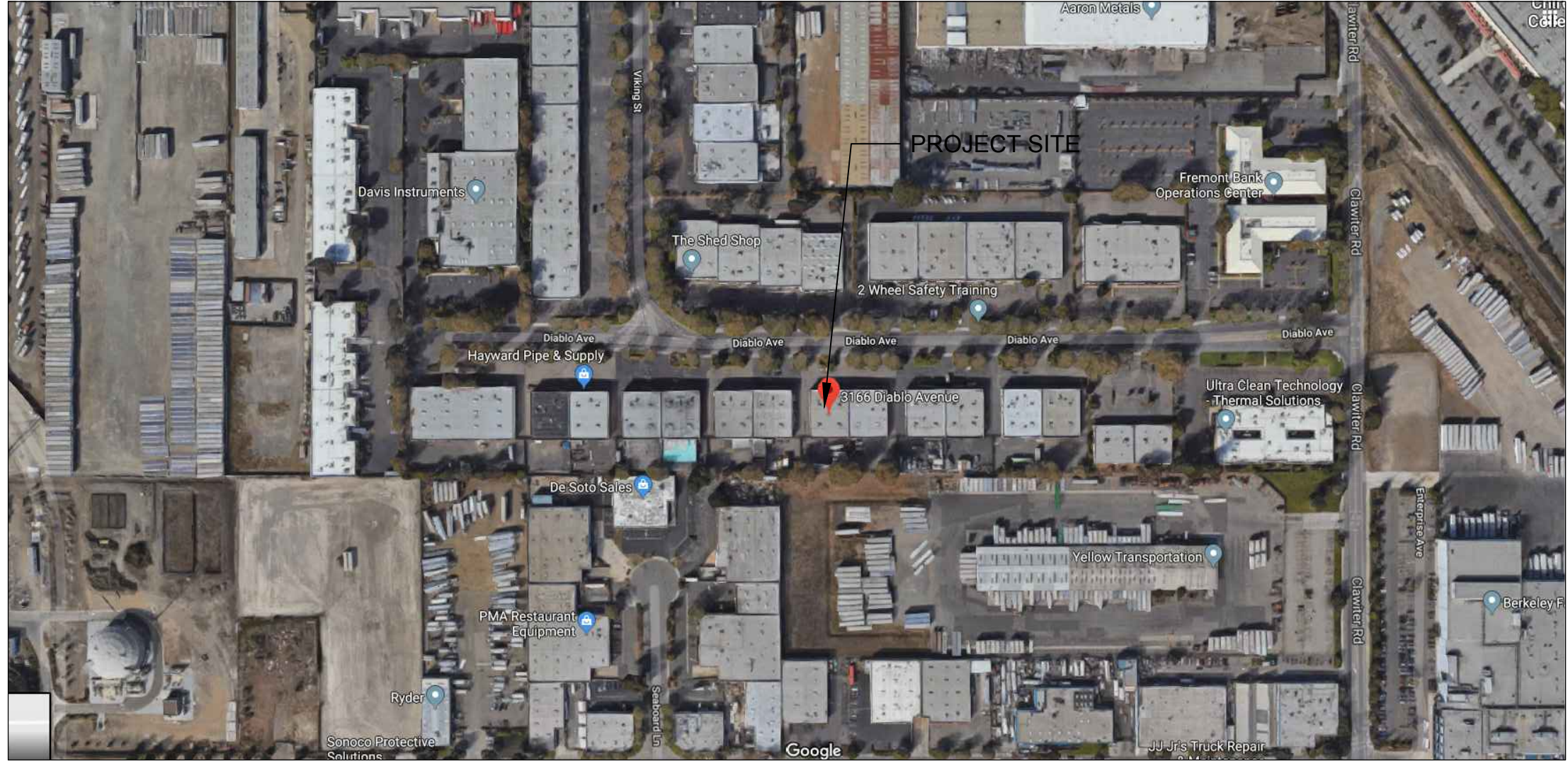
"B" OCCUPANCY - 1 : 1-50  
"F1" OCCUPANCY - 1 : 1-100  
"S1" OCCUPANCY - 1 : 1-100  
TOTAL REQUIRED WATER CLOSETS WATER CLOSETS NUMBERS - 1  
TOTAL REQUIRED WATER CLOSETS WATER CLOSETS NUMBERS - 2

ENGINEER PATH OF TRAVEL STATEMENT  
- A COMMON BARRIER FREE ACCESSIBLE ROUTE FROM THE PUBLIC SIDEWALK AND FROM THE NEAREST DISABLED PARKING SPACES THROUGH THE PRIMARY ENTRANCE OF THE BUILDING TO THE SPECIFIC AREA OF ALTERATION OR ADDITIONAND INTO THE ACCESSIBLE TOILETS SERVING THE ALTERATION OR ADDITION  
- AT LEAST 48" WIDE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2 BEVELED AT 1:2 MAX  
SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL  
- THE PATH OF TRAVEL SURFACE IS SLIPRESISTANT, STABLE, FIRM AND SMOOTH.  
- PASSING SPACES AT LEAST 60"x60" ARE LOCATED NOT MORE THAN 200' APART.  
- CONTINUOUS GRADIENTS HAVE 60" LEVEL AREAS NOT MORE THAN 400' APART  
- CROSS SLOPE DOES NOT EXCEED 2%  
- SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED AS A RAMP.  
- MAINTAIN PATH OF TRAVEL FREE OF OVERHUNGING OBSTRUCTIONS TO 80" MIN, PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL OR EDGE AND 27" ABOVE FINISH GRADE.



ASSESSOR MAP

FIRE NOTES:  
1. FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 501.4  
2. PPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1  
3. AN APPROVED KEY BOX, LISTED IN ACCORDANCE WITH UL1037 SHALL BE PROVIDED AS REQUIRED BY FIRE CODE 506. THE LOCATION OF EACH KEY BOX SHALL BE DETERMINED BY THE FIRE INSPECTOR.



VICINITY MAP

4. PROVIDE AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM AS SET FORTH BY BUILDING CODE 903 AND FIRE CODE 903. PLANS SHALL BE SUBMITTED TO THE SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.  
5. THE MEANS OF EGRESS, AND EXIT DISCHARGE, SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENCITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL. BUILDING CODE 1006.2  
6. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MIN AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. BUILDING CODE 1006.3  
7. EXITS, EXIT ACCESS DOORS AND PATHS OF EGRESS TRAVEL THAT IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS SHALL BE MARKED BY AN APPROVED EXIT SIGN THAT IS READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.  
8. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS AS REQUIRED BY FIRE CODE 906.  
9. OPERATIONAL PERMITS SHALL BE OBTAINED FOR PLANT EXTRACTION SYSTEM. CODE 105.6.50.  
10. OPERATIONAL PERMITS SHALL BE OBTAINED FOR FLAMMABLE LIQUIDS TO STORE, HANDLE OR USE CLASS I LIQUIDS IN EXCESS OF 5 GAL IN A BUILDING OR IN EXCESS OF GALLONS OUTSIDE. CODE 105.6.17.  
11. "NO SMOKING" SIGNS SHALL BE POSTED AT ENTRANCES TO ROOMS AND IN AREAS CONTAINING FLAMMABLE GASESIN

ACCORDANCE WITH SECTION 5003.7.1 PER CFC5803.1.4.2 SIGNS.  
12. ANY BUILDING THAT HAS FLAMMABLE OR COMBUSTIBLE GAS FOR EXTRACTION PROCESS SHALL HAVE AN APPROPRIABLE PLACARD EXTERNALLY PLACED ON THE BUILDING, ON THE ADDRESS SITE, AND AT ANY ACCESS POINT WITHIN THE BUILDING WHERE THE EXTRACTION PROCESS OCCURS.  
13. WET LOCATIONS: GROW ROOMS WILL BE CONSIDERED DAMP/WET LOCATIONS AS THEY ARE SUBJECT TO WASH DOWN AND ARE SUBJECTED TO THE HIGH HUMIDITY. INDOOR WET LOCATION WIRING METHODS SHALL MEET THE REQUIREMENTS OF THE CEC ARTICLE 303.3(D) WHEN HUMIDITY IS LEFT UNCONTROLLED >50%.  
14. CIRCUIT INTERRUPTERS: GROUND FAULT CIRCUIT INTERRUPTERS ARE REQUIRED FOR PERSONNEL PROTECTION IN THE WET LOCATIONS.

SCOPE OF WORK

TENANT IMPROVEMENT OF EXISTING 8100 SQ/FT WAREHOUSE TO GROWING AND STORAGES

PROJECT DATA

ADDRESS: 3166 DIABOLO AVENUE, HARWARD, CA 94545  
OWNER: ANCILE DEVELOPMENT HOLDING LLC 249 SHIPLEY ST #1, SAN FRANCISCO, CA 94107  
TENANT: HIDDEN FARMS INC

LEGAL DESCRIPTION

ASSESSOR PARCEL NUMBER (APN) 439-75-39  
TRACT 3554  
LOT 39  
ZONING I  
OCCUPANCY GROUPS "B", "F1", "S1"

TYPE OF CONSTRUCTION TYPE III

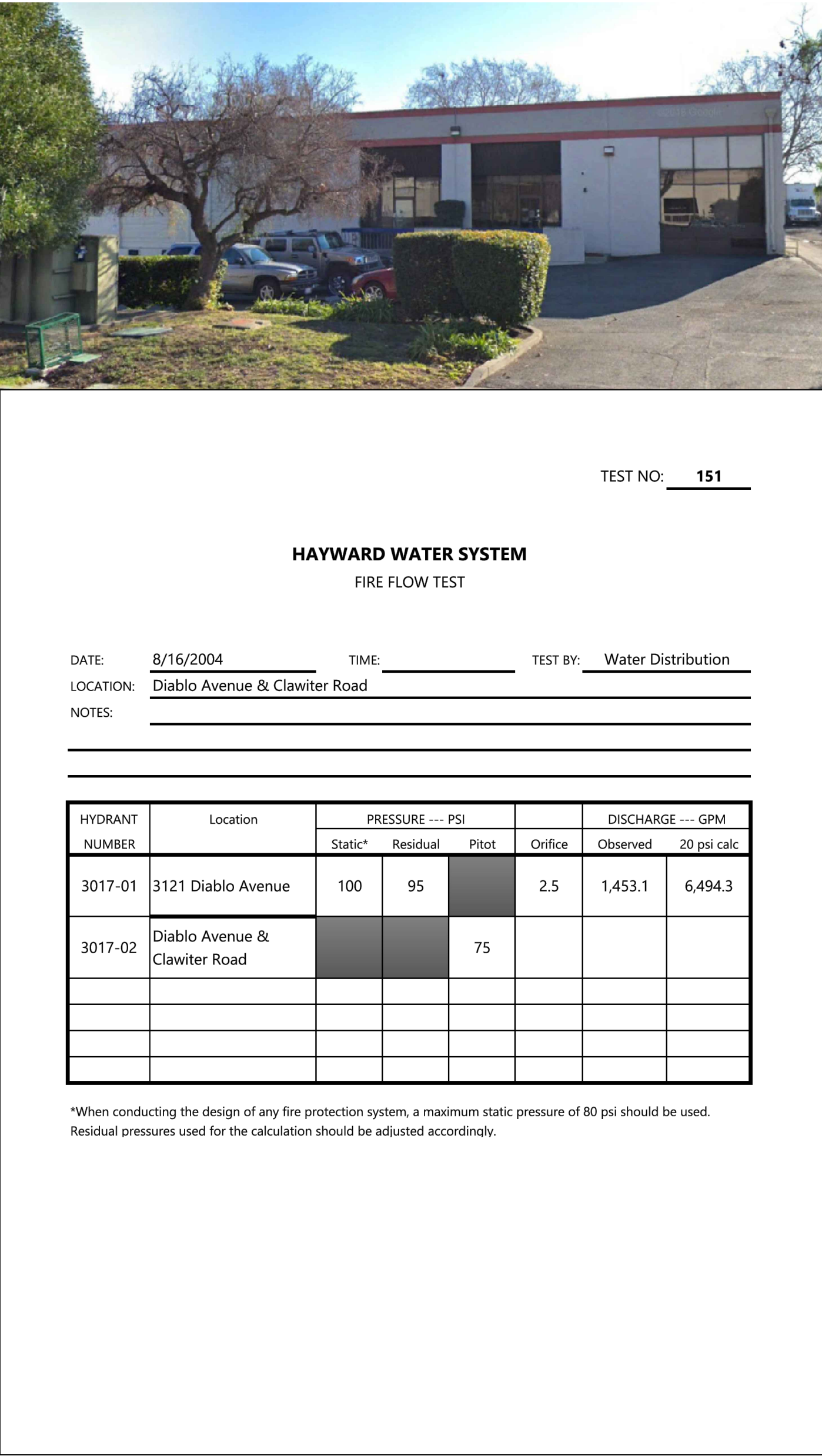
AREA SUMMARY

LOT AREA 24200 SQ FT  
BUILDING SQUARE FOOTAGE 8100 SQ FT

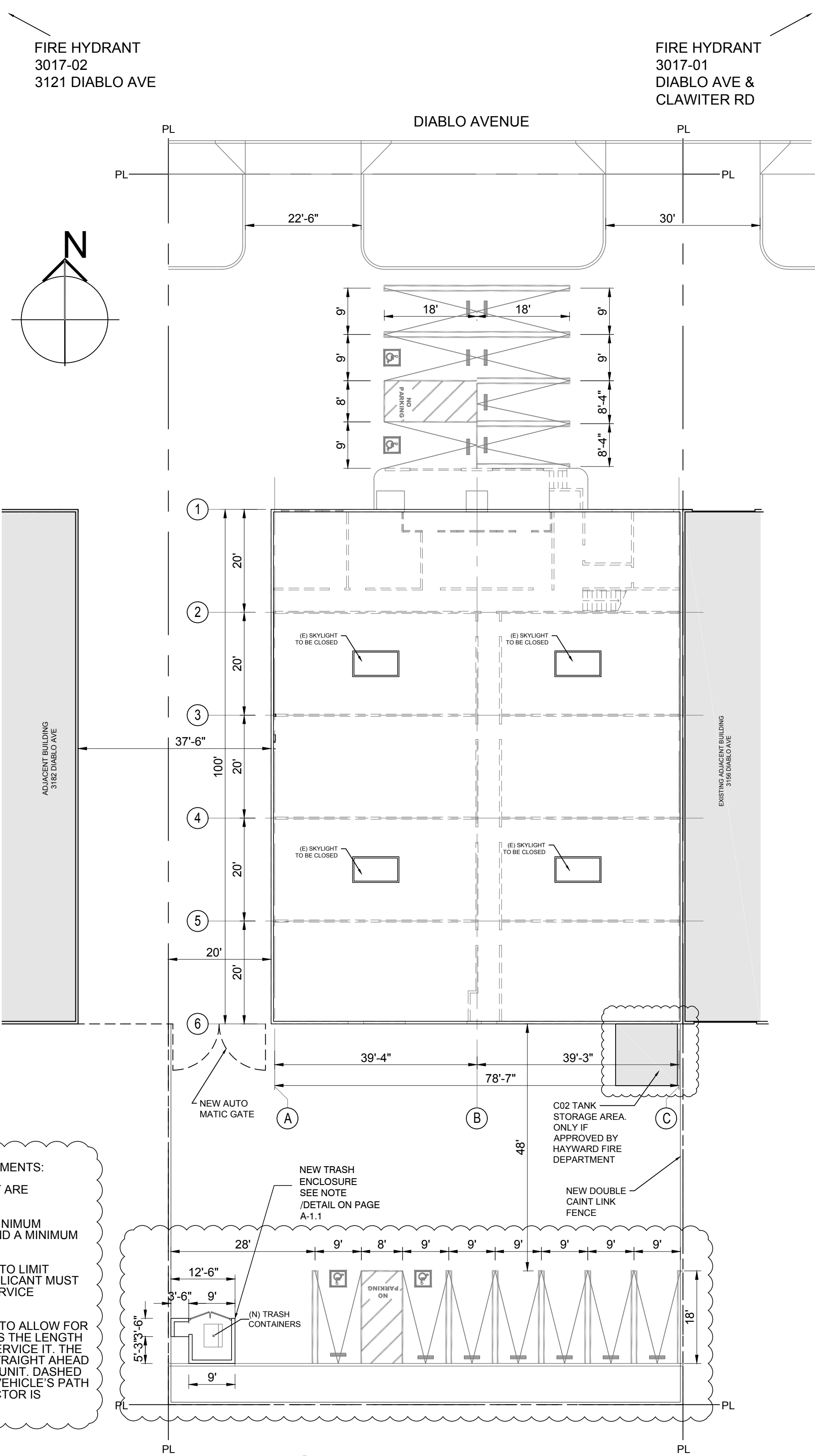
NUMBER OF PARKING SPACES

EXISTING PARKING PROVIDED 14  
(E) ACCESSIBLE PARKING 4  
(E) STANDARD PARKING 10

EXISTING FIRE SPRINKLER SYSEM YES



COLLECTION VEHICLE ACCESS REQUIREMENTS:  
a. SERVICE EACH CONTAINER, AND EXIT ARE REQUIRED.  
b. COLLECTION VEHICLES REQUIRE A MINIMUM VERTICAL CLEARANCE OF 14 FEET AND A MINIMUM WIDTH OF 12 FEET.  
c. IF GATES WITH LOCKS ARE PLANNED TO LIMIT ACCESS TO THE PROPERTY, THE APPLICANT MUST PROVIDE KEYS OR CARDS TO THE SERVICE PROVIDER.  
d. COMPACTORS MUST BE POSITIONED TO ALLOW FOR A BACKUP DISTANCE OF THREE TIMES THE LENGTH OF THE COMPACTOR IN ORDER TO SERVICE IT. THE BACK-UP DISTANCE MUST EXTEND STRAIGHT AHEAD FROM THE END OF THE COMPACTOR UNIT. DASHED LINES INDICATING THE COLLECTION VEHICLE'S PATH OF TRAVEL TO SERVICE THE COMPACTOR IS REQUIRED.



SITE PLAN

NO CHANGES

SHEET INDEX

A-0.0 TITLE/SITE PLAN  
A-0.1 GENERAL NOTES  
A-0.2 GENERAL NOTES  
A-0.3 TYPICAL ACCESSIBILITY DETAILS (1)  
A-0.4 TYPICAL ACCESSIBILITY DETAILS (2)  
A-0.5 TYPICAL ACCESSIBILITY DETAILS (3)  
A-0.6 CALGREEN NON-RESIDENTIAL (1)  
A-0.7 CALGREEN NON-RESIDENTIAL (2)  
A-0.8 CALGREEN NON-RESIDENTIAL (3)  
A-1.0 EXISTING PLANS  
A-1.1 PROPOSED PLANS  
A-1.2 PROPOSED RCP  
A-1.3 ELEVATIONS / SECTION

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all field measurements and conditions. No field measurements shall be made immediately after any construction. All dimensions and quantities shall be verified by the contractor. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.

3166 DIABLO AVENUE HAYWARD CA 94545

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REVISION DATE  
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PRODUCTION DATE  
SEP. 2018  
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TITLE /  
SITE PLAN  
SHEET NUMBER  
1 of 9



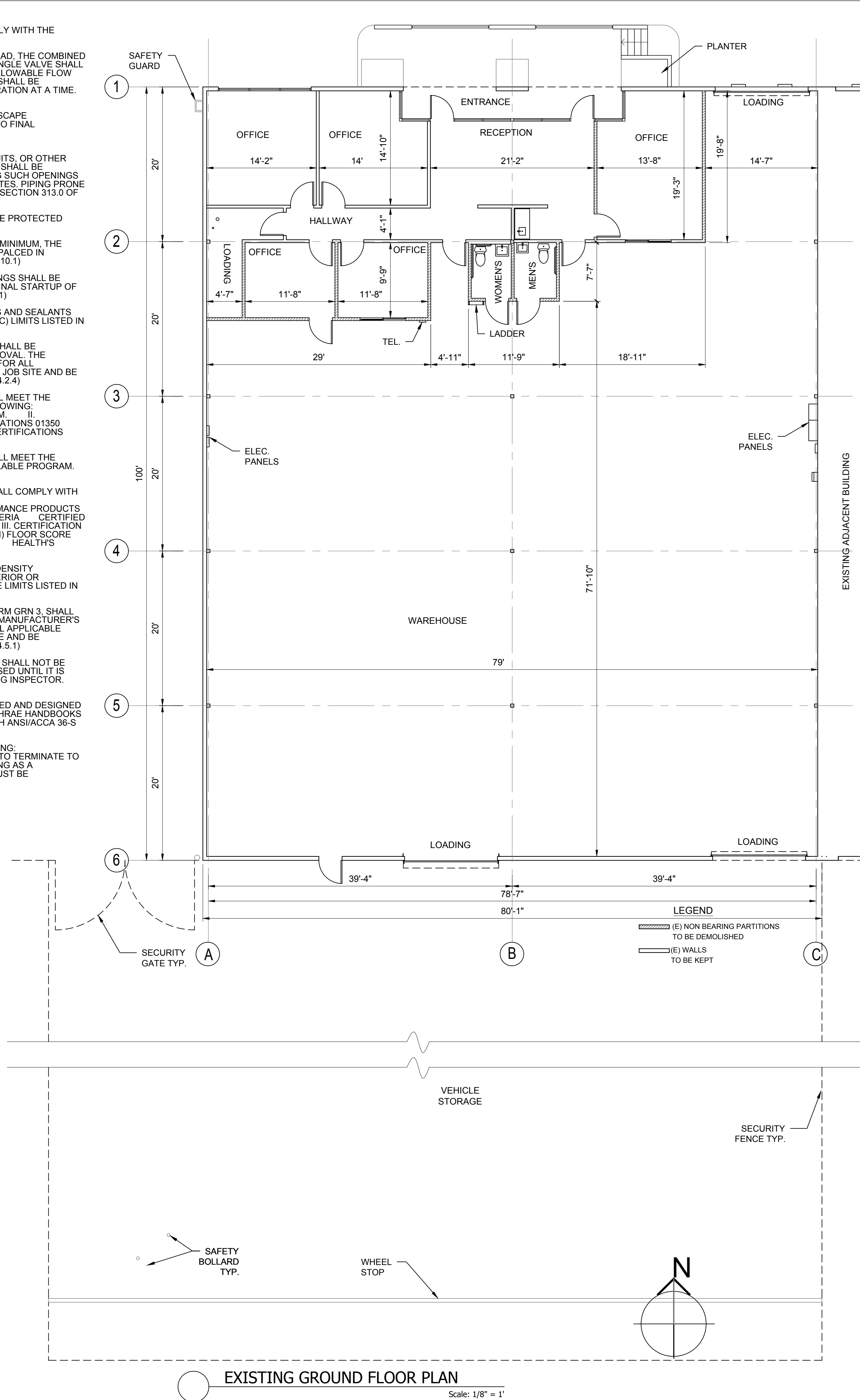
- NOTES
1. THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES IN TABLE 4.303.2
  2. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED THE FLOW RATES SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME. (CALGREEN 4.303.2)
  3. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. (STATE ASSEMBLY BILL NO. 1881)
  4. ANNULAR SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES. PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.0 OF THE LOS ANGELES PLUMBING CODE. (4.406.1)
  5. MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE. (4.407.4)
  6. AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PALCED IN BUILDING AT THE TIME OF FINAL INSPECTION. FORM GRN 6 (4.410.1)
  7. ALL DUCT AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. (4.504.1)
  8. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4.504.3 (4.504.2.1-4.504.2.3)
  9. THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.2.4)
  10. ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING REQUIREMENTS OF ONE OF THE FOLLOWING:  
i. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM  
ii. CALIFORNIA DEPARTMENT OF PUGLIC HEALTH'S SPECIFICATIONS 01350  
iii. NSF/ANSI 140 AT THE GOLD LEVEL  
iv. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD
  11. ALL NEW CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. (4.504.3.1)
  12. 50% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OF THE FOLLOWING:  
i. VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATA BASE  
ii. PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM  
iii. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM  
iv. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350 (CALGREEN 4.504.4)
  13. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5. (4.504.5)
  14. THE FORMALDEHYDE EMISSION VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILALE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.5.1)
  15. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR. (4.505.3)
  16. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004. (CALGREEN 4.507.2)
  17. BATHROOM EXHAUST FANS MUST COMPLY WITH THE FOLLOWING:  
i. FANS SHALL BE ENERGY STAR COMPILANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING  
ii. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

**SETBACK CERTIFICATION REQUIREMENT:**

1. A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE OB FILE PRIOR TO THE FIRST INSPECTION. (BMC 9-1-1-110.3.1.1)

**GENERAL NOTES :**

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2013 EDITION OF THE CBC, CRC, CMC, CPC AND CEC AS ADOPTED AND AMDENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION
2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION
3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN
4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-1-3392.3)
5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST
6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON THE SITE (BMC 9-1-1-3305)
7. THE FINISH GRADE SHALL SLOPE A MIN OF 5% OR 6" TO A POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2% (CRC R401.3)
8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2% (CRC R403.1.7.3)



**PART III: BUILDING CODE**

**A. GENERAL REQUIREMENTS**

**3. NOTES:**

- a. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- b. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,156) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- c. PLUMBING FIXTURE ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- d. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- e. BATHTUBS WITH A SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE FLOOR (R307.2).
- f. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- g. PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (R308).
- i. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)
- l. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.

- m. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY. UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
- n. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- o. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELS OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- p. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

**ELOYAN**  
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Lafayette, CA 94546  
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www.eloyan.com

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all field measurements. Eloyan Architects shall not be responsible for any errors or omissions in these drawings. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.

3166 DIABLO AVENUE HAYWARD CA 94545

**CUP**

NO	REVISION	DATE

PRODUCTION DATE:  
SEP. 2018

**A-1.0**  
EXISTING  
PLANS

SHEET 1 of 9



#### STORM WATER MANAGEMENT:

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON THE SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER.
3. NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
4. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY THER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON ITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
5. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
6. SEDIMENTS AND OTHER MATERIALS MAY NOT

MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

BE RACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY.

7. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
8. ANY SLOPES WITH DISTURBED SOILS OR DENUED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

9. SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY WIND, RAIN, RUNOFF AND VEHICLE TRACKING.

#### NOTES

EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES/54 LUX INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702 EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90MIN. IN CASE OF PRIMARY POWER LOSS. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.1.9-1010.1.9.12. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS: AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS

CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1028.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. EXTERIOR LANDINGS AS REQUIRED BY SECTION 1010.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MIN. AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMLY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION

SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. AN APPROVED SEISMIC GAS SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING (PER ADDITION 170, 158) (INCLUDES COMMERCIAL ORDINANCES AND TI WORK OVER \$10,000). SEPARATE PLUMBING PERMIT IS REQUIRED. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.11 AND SECTION 803.1.

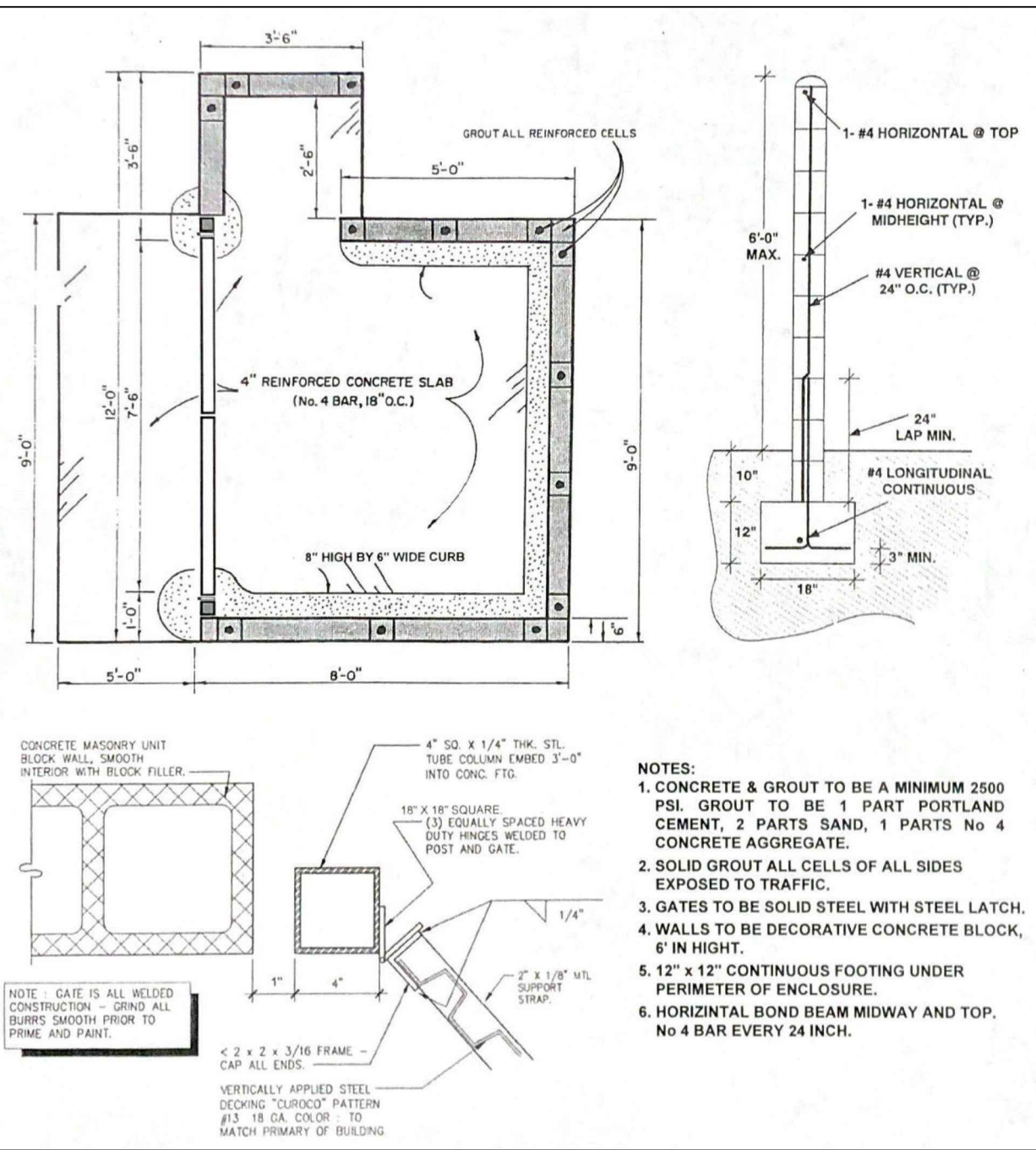
FIRE RATED ASSEMBLIES SHALL BE PER TABLE 721.1(1), GENERIC ASSEMBLIES OF GYPSUM HANDBOCK, OR HAVE LARR APPROVAL OR ICC APPROVAL.

THE FOLLOWING NONSTRUCTURAL PRODUCTS SHALL COMPLY WITH AN APPROVED ICC EVALUATION REPORT OF LA CITY RESEARCH REPORT.

TRESHHOLDS AT DOORWAYS SHALL NOT EXCEED 0.50" IN HEIGHT. 0.75" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS.

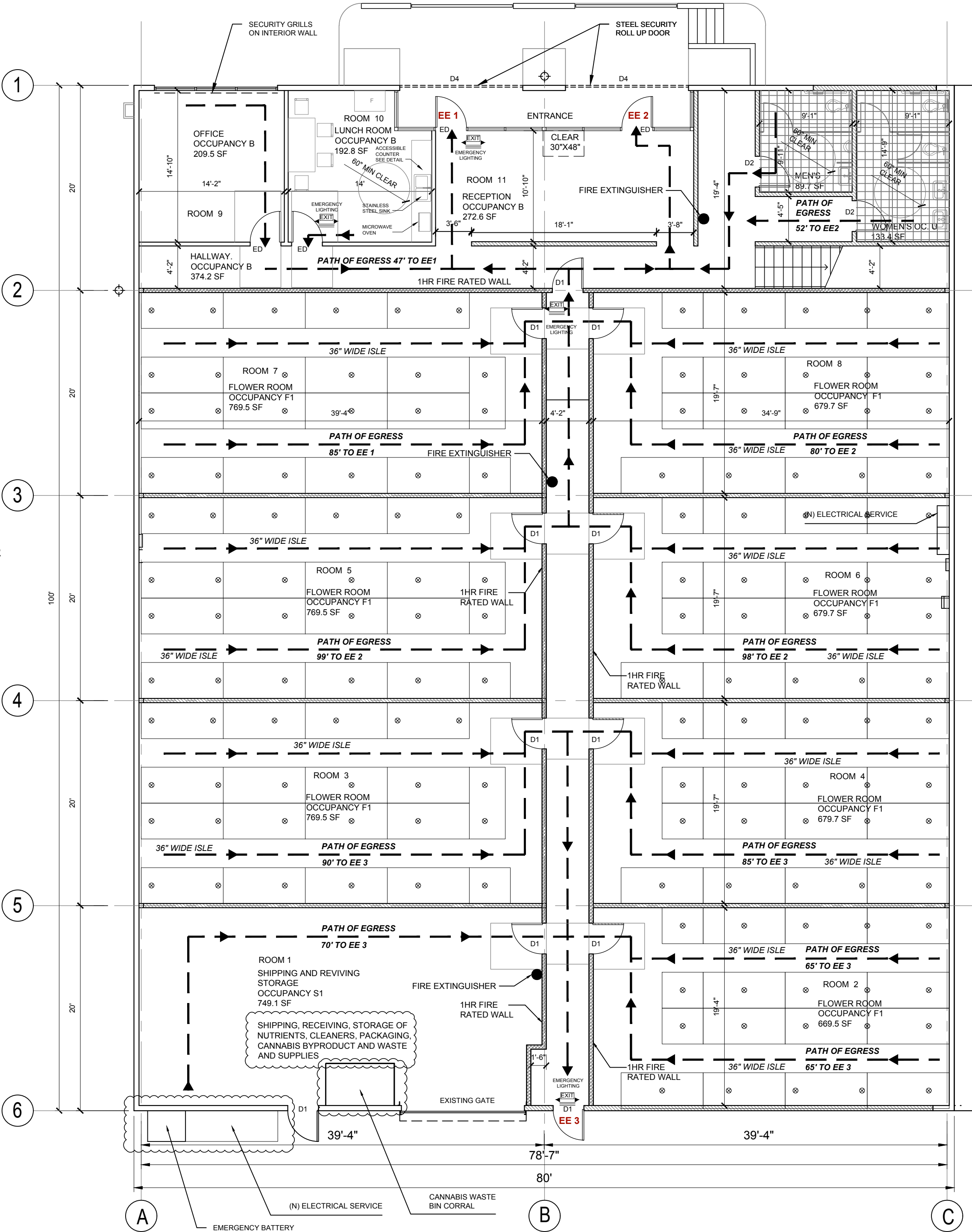
#### TRASH ENCLOSURE REQUIREMENTS:

- 8" CMU WALLS, FENCING, OR OTHER MATERIALS APPROVED BY THE PLANNING DIVISION.
- 6" WIDE CURB OR BUMPER MUST BE INCLUDED ALONG THE INTERIOR PERIMETER OF THE ENCLOSURE AND EXTENDING AT LEAST THREE FEET LONG BETWEEN THE BINS FOR TRASH, RECYCLABLES, AND ORGANICS.
- ALL NEW TRASH ENCLOSURES MUST INCLUDE A SEPARATE SPACE FOR ORGANICS CONTAINERS.
- A MINIMUM SPACE OF 12 INCHES BETWEEN EACH BIN AND THE WALLS OF THE ENCLOSURE IS REQUIRED TO ALLOW FOR MANEUVERING OF THE BINS.
- GATES SHOULD HINGE FROM THE CORNERS OF THE ENCLOSURE TO ALLOW FOR MAXIMUM ACCESSIBILITY TO THE CONTAINERS.
- ENCLOSURES MUST BE CONSTRUCTED ON A FLAT AREA WITH NO MORE THAN A 2% GRADE. TRASH ENCLOSURES SHALL HAVE THE SLAB FLOOR DESIGNED TO PREVENT RUN-ON OF SURFACE WATER AND RUN-OFF OF POLLUTANTS.
- A SOLID ROOF OVER THE ENCLOSURE IS REQUIRED.
- INTERNAL HEIGHT CLEARANCE WITHIN THE ENCLOSURE MUST BE MORE THAN THE SUM OF THE HEIGHT AND DEPTH (LISTED ON PAGE 2 OF THIS DOCUMENT) OF THE BIN THAT WILL BE USED TO ALLOW SUFFICIENT SPACE TO OPEN THE LID WHILE INSIDE THE ENCLOSURE. FOR EXAMPLE, AN ENCLOSURE FOR A 4 CUBIC YARD BIN MUST HAVE AN INTERNAL HEIGHT CLEARANCE OF 10.5 FEET (5.5 FEET + 5 FEET).
- SIGNAGE INDICATING "TRASH ONLY", "RECYCLABLES ONLY", AND "ORGANICS ONLY" AT THE APPROPRIATE LOCATIONS IS REQUIRED.
- A CONCRETE PAD EXTENDING 20' FROM THE TRASH ENCLOSURE TO ACCOMMODATE THE TRUCK WEIGHT IS RECOMMENDED.
- A DRAIN INLET CONNECTED TO THE SANITARY SEWER LINE MAY BE REQUIRED, PRIOR TO DESIGNING A DRAIN TO THE SANITARY SEWER, PLEASE CONTACT WATER POLLUTION SOURCE CONTROL AT (510) 881-7900. UNLESS AUTHORIZED BY WATER POLLUTION SOURCE CONTROL, TRASH ENCLOSURES SHALL NOT HAVE HOT/COLD WATER UTILITIES PROVIDED.
- TRASH ENCLOSURES MAY NEED TO BE MODIFIED IF WHEN NEW TENANTS OR BUSINESSES ARE IDENTIFIED. IN ORDER TO ACCOMMODATE ANY INCREASES IN THE ANTICIPATED WASTE STREAM, ENCLOSURES MAY NEED TO BE MODIFIED. EXISTING ENCLOSURES MAY NEED TO BE MODIFIED TO MINIMIZE THE NEED FOR FUTURE MODIFICATIONS. ORIGINAL CONSTRUCTION SHOULD ANTICIPATE BOTH NEAR- AND LONG-TERM POSSIBLE BUSINESS TYPES OR OCCUPANTS.
- A TRASH ENCLOSURE SHALL BE SITED NO FURTHER THAN 100 FEET FROM THE BUSINESS(ES) IT IS DESIGNED TO SERVE, UNLESS THE SITE TOPOGRAPHY IS SUCH THAT ADHERING TO THIS STANDARD WOULD INTERFERE WITH THE COLLECTION OF TRASH, RECYCLABLES AND ORGANICS, AS ESTABLISHED IN THE CITY'S ZONING ORDINANCE.



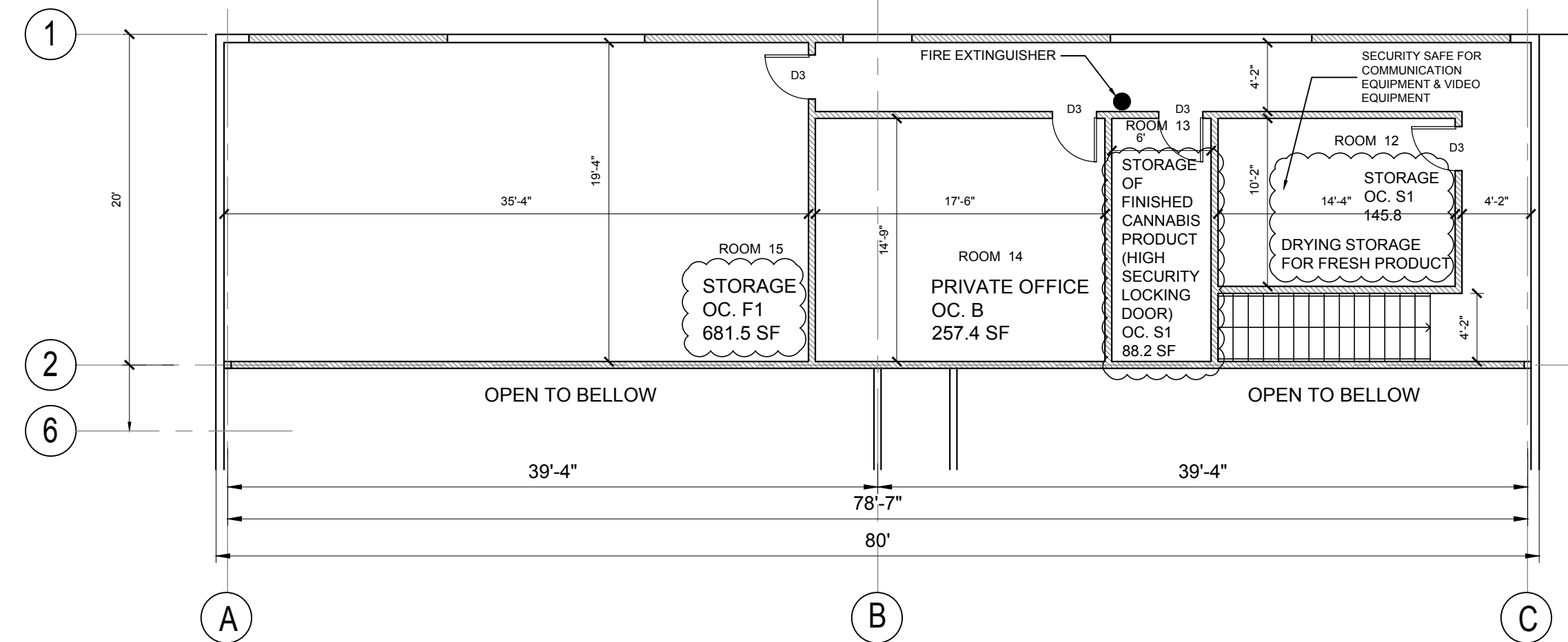
#### TRASH ENCLOSURE

Not to scale



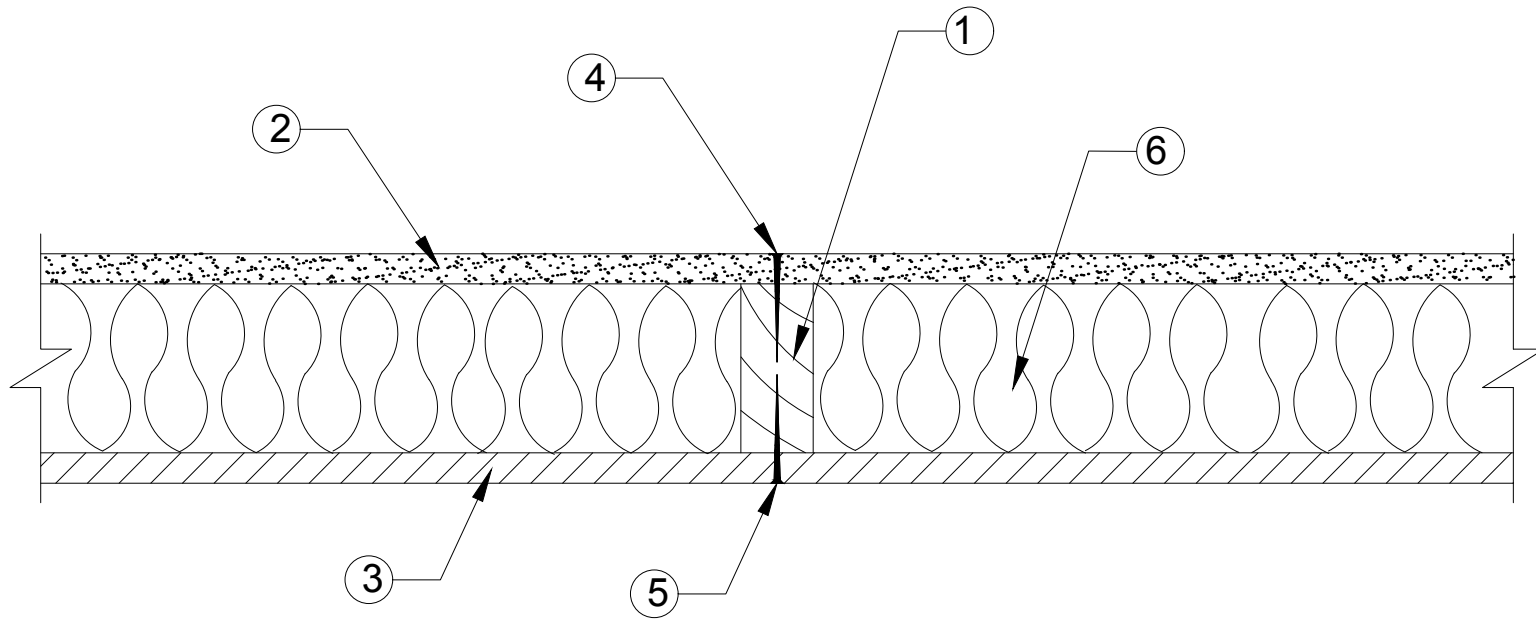
#### PROPOSED GROUND FLOOR PLAN

Scale: 1/8" = 1'





WS4-1.2 One-Hour Fire-Resistive Wood-Frame Wall Assembly  
2x4 Wood Stud Wall - 100% Design Load - ASTM E 119 / NFPA 251

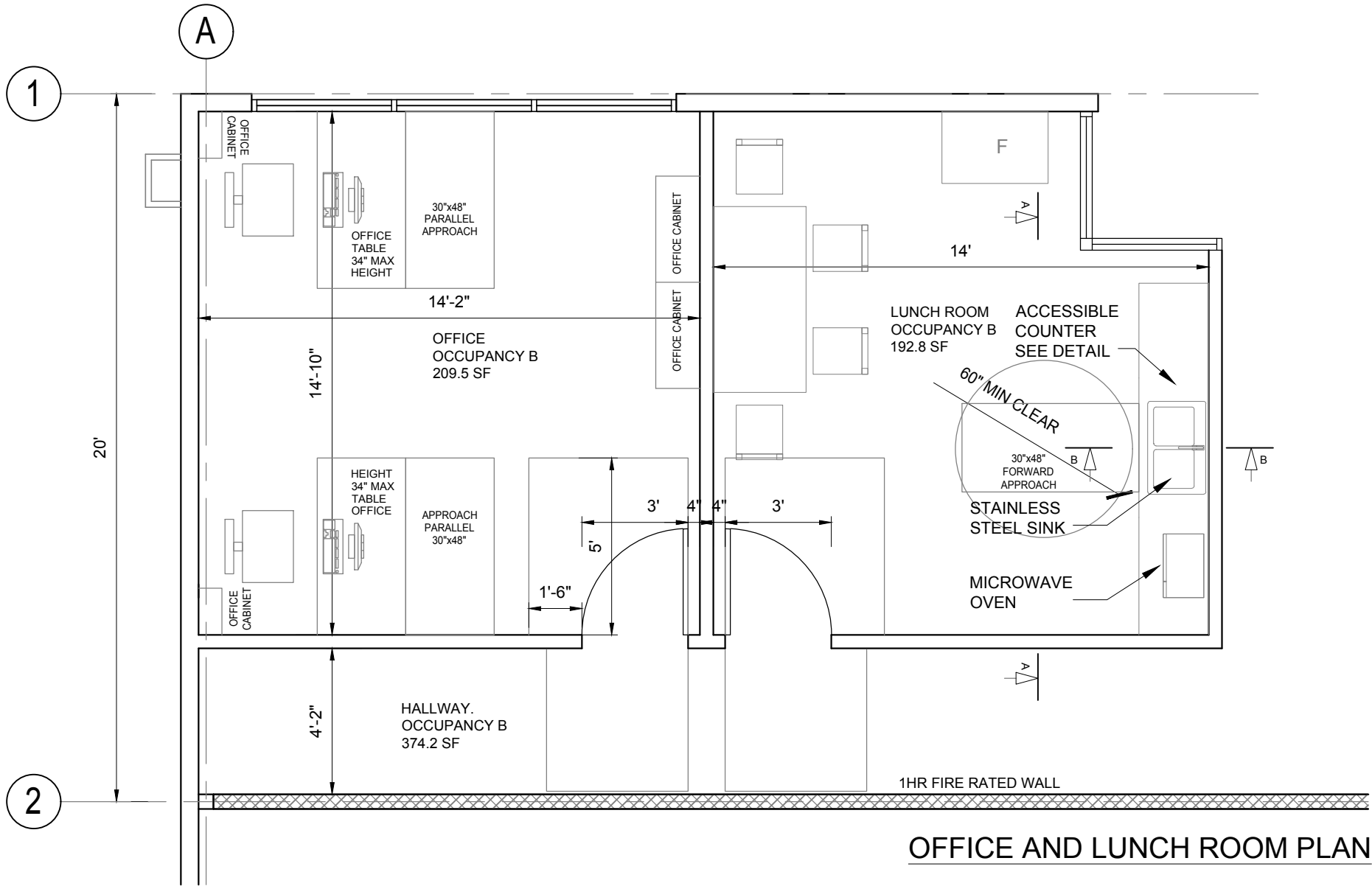


1. Framing - Nominal 2x4 wood studs, spaced 16 in. o.c., double top plates, single bottom plate
  2. Sheathing - 5/8 in. Type X gypsum wallboard, 4 ft. wide, applied horizontally, unblocked. Horizontal application of wallboard represents the direction of least fire resistance as opposed to vertical application.
  3. Sheathing - 3/8 in. wood structural panels, plywood (oriented stand board), applied vertically, horizontal joints blocked
  4. Fasteners - 2-1/4 in. Type S drywall screws, spaced 12 in. o.c.
  5. Panel Fasteners - 6d common nails (bright) - 12 in. o.c. in the field, 6 in. o.c. panel edges
  6. Insulation - 3-1/2 in. thick mineral wool insulation (2.5 pcf, nominal)
  7. Joints and Fasteners Heads - Wallboard joints covered with paper tape and joint compound, fastener heads covered with joint compound
- Tests conducted at the Fire Test Laboratory of National Gypsum Research Center  
Test No: WP-1261 (Fire Endurance & Hose Stream) November 1, 2000  
WP-1246 (Hose Stream) March 9, 2000  
Third Party Witness: Intertek Testing Services  
Report J20-006170.2

This assembly was tested at 100% design load, calculated in accordance with the 1997 National Design Specification for Wood Construction. The authority having jurisdiction should be consulted to assure acceptance of this report.

ONE-HOUR FIRE-RESISTIVE WOOD-FRAME CEILING ASSEMBLY

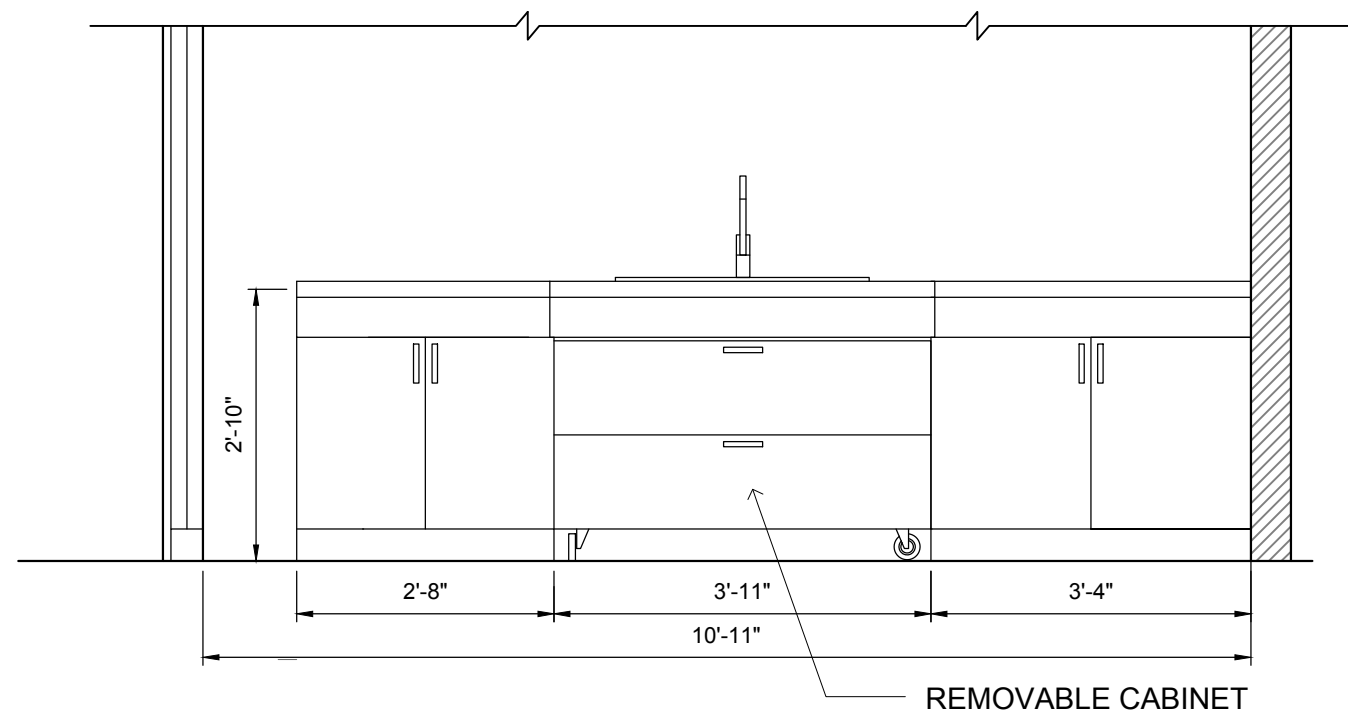
1 Hour Fire-Rated Construction	Dimensional Lumber	Test Number	Acoustical Performance	Reference
Construction Detail cig. wt. 5 11"	Description • two layers 5/8" Sheetrock Firecode Core gypsum panels, - 2 x 10 wood joists 24" o.c. - face layer joints finished - floor: 1/2" plywood with extending glue Also for roof-ceilings, including trusses	GA-FC-5406 and RC-2601	STC Test Number	Index B-57



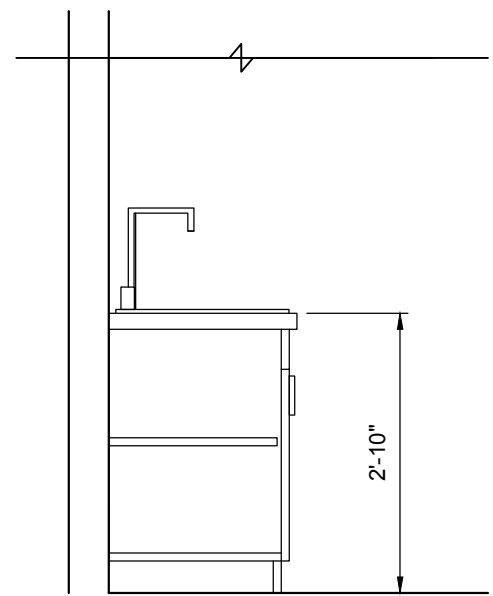
RESTROOM SIGN



TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NONABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4' (1210.2.1) WALLS WITHIN 2 FEET OF THE FRONT AND SIDES OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE OF PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER SMOOTH, HARD NON-ABSORBENT SURFACE TO A HEIGHT OF 4 FEET, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE. (1210.2.2)



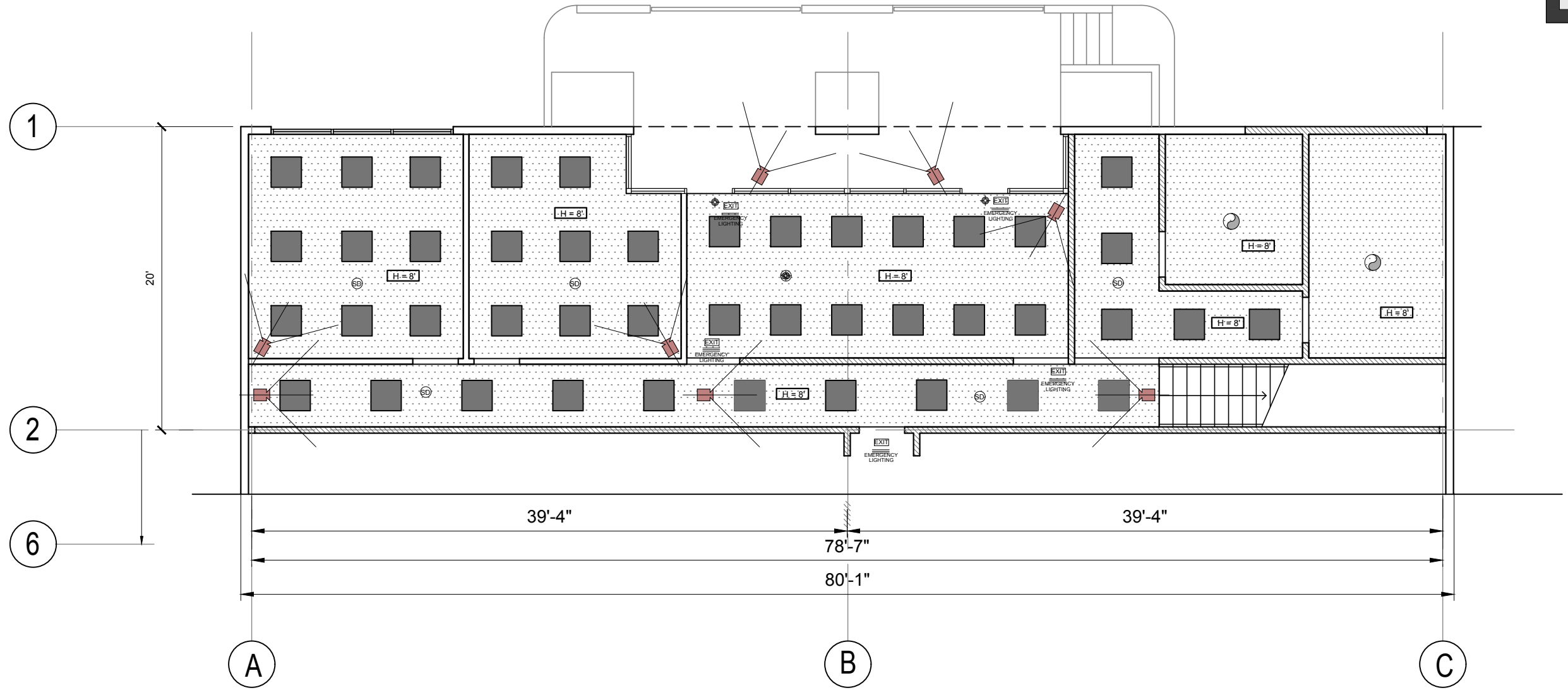
LUNCH ROOM ELEVATION A-A



LUNCH ROOM ELEVATION B-B

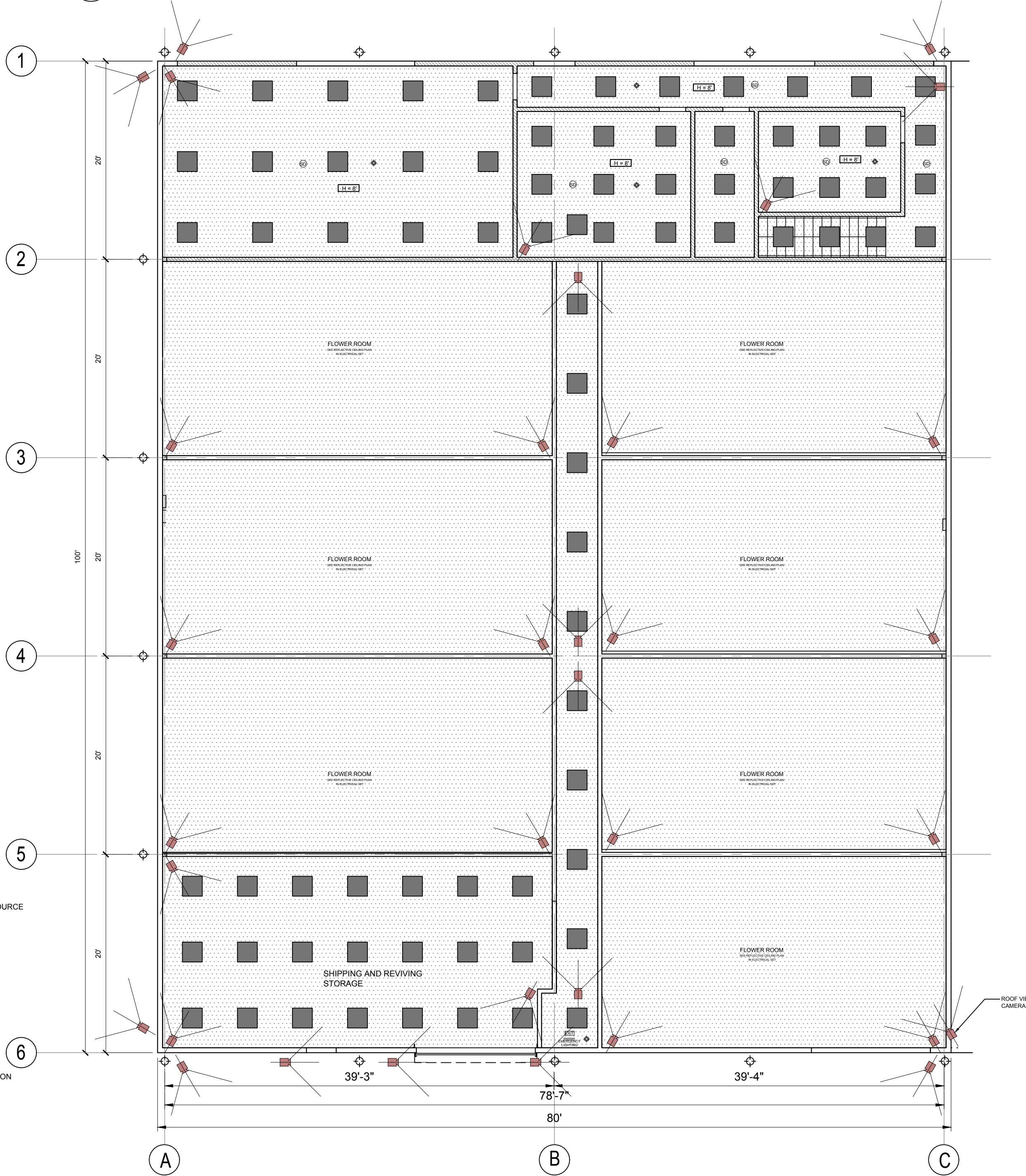
LEGEND

- SURFACE MOUNTED HUNG SOURCE
- CEILING HEIGHT
- GYPSUM BOARD
- SMOKE DETECTOR
- EXHAUST FAN
- EMERGENCY EXIT SIGN WITH 90MIN BATTERY BACKUP
- EMERGENCY EGRESS ILLUMINATION WITH 90MIN BATTERY BACKUP
- LID LIGHTING (EXTERIOR)
- CAMERA (VISION DIRECTION)



PROPOSED FIRST FLOOR REFLECTIVE CEILING PLAN

Scale: 1/8" = 1'



PROPOSED SECOND FLOOR REFLECTIVE CEILING PLAN

Scale: 1/8" = 1'

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all notations and dimensions. Any variations from the dimensions and notations shall be the responsibility of the Contractor. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.

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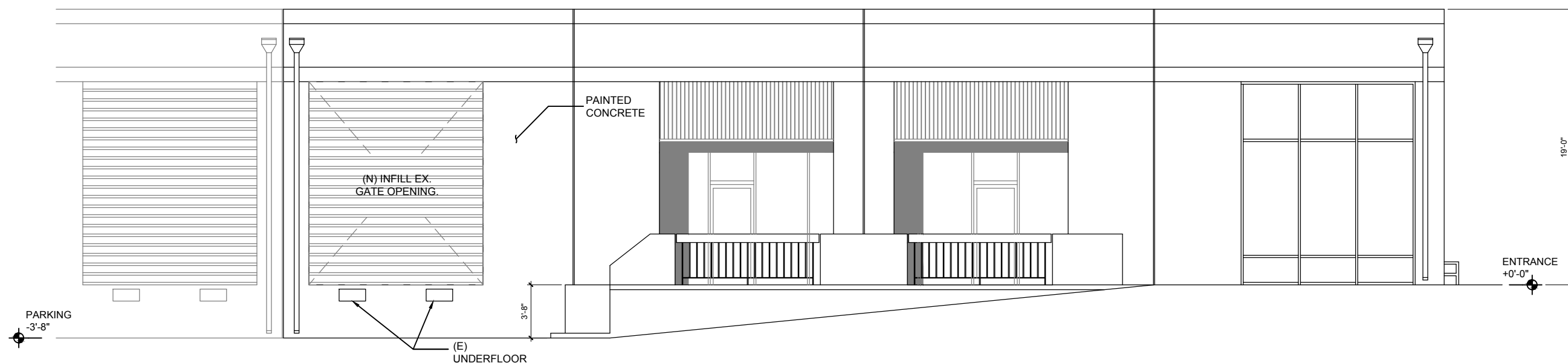
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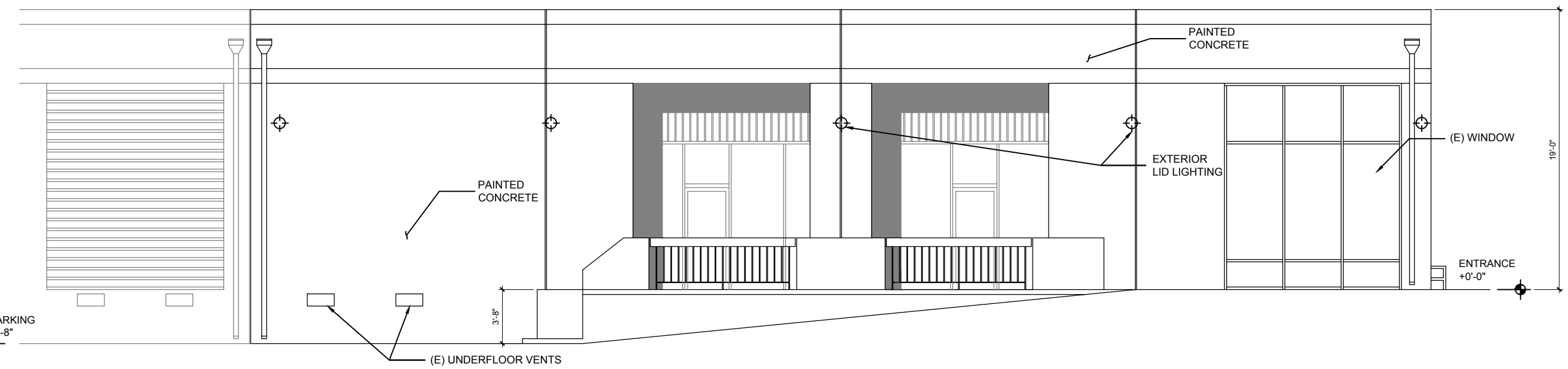
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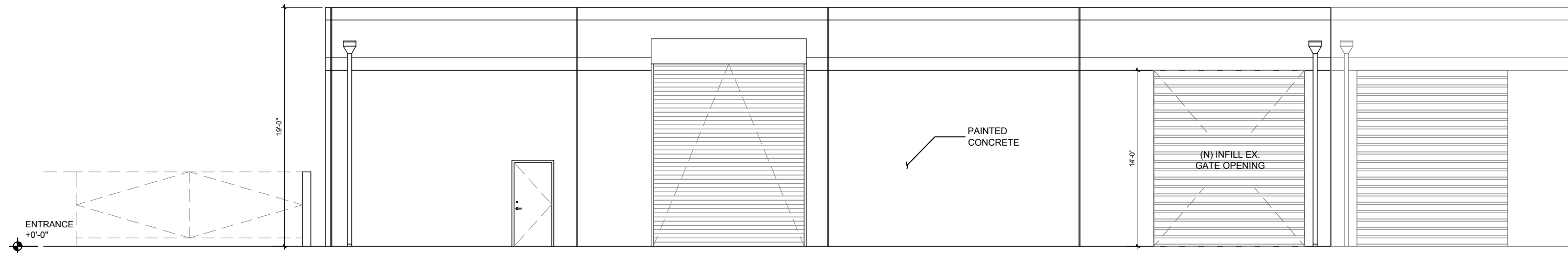
PROPOSED  
REFLECTIVE  
CEILING  
PLANS



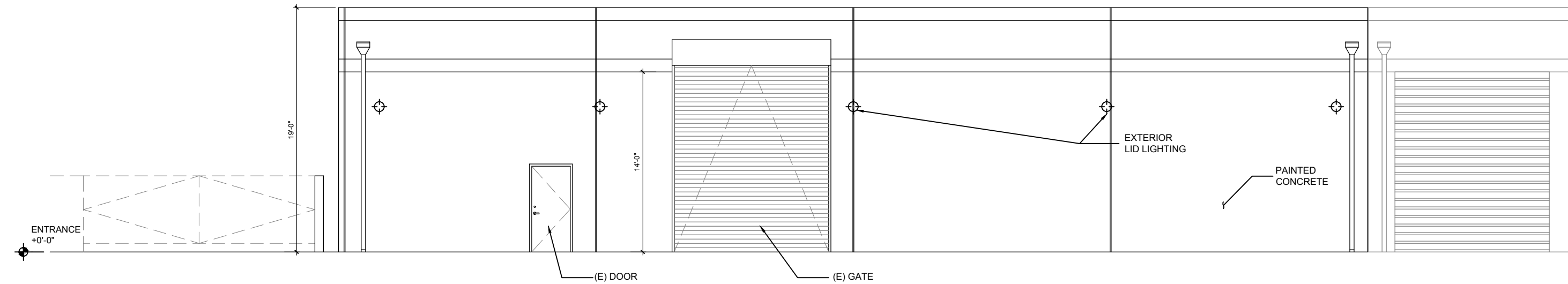
EXISTING NORTH ELEVATION  
Scale: 1/8" = 1'



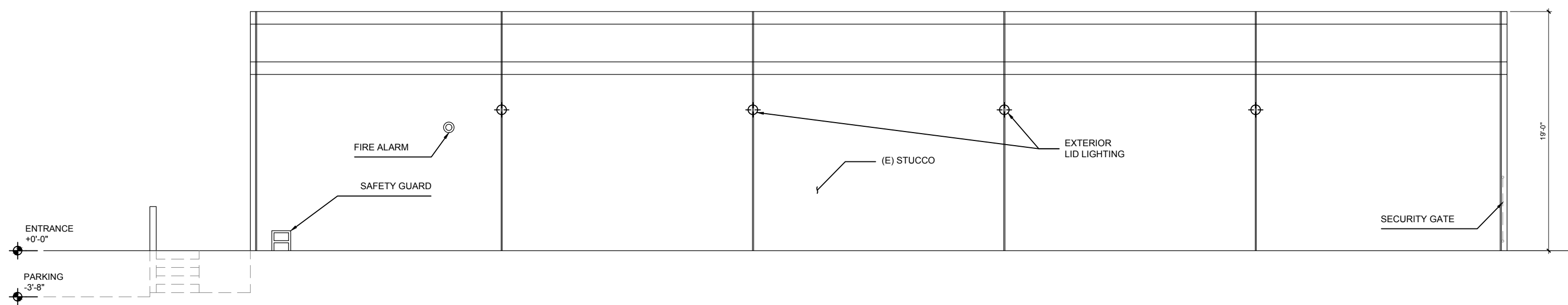
PROPOSED NORTH ELEVATION  
Scale: 1/8" = 1'



EXISTING SOUTH ELEVATION  
Scale: 1/8" = 1'

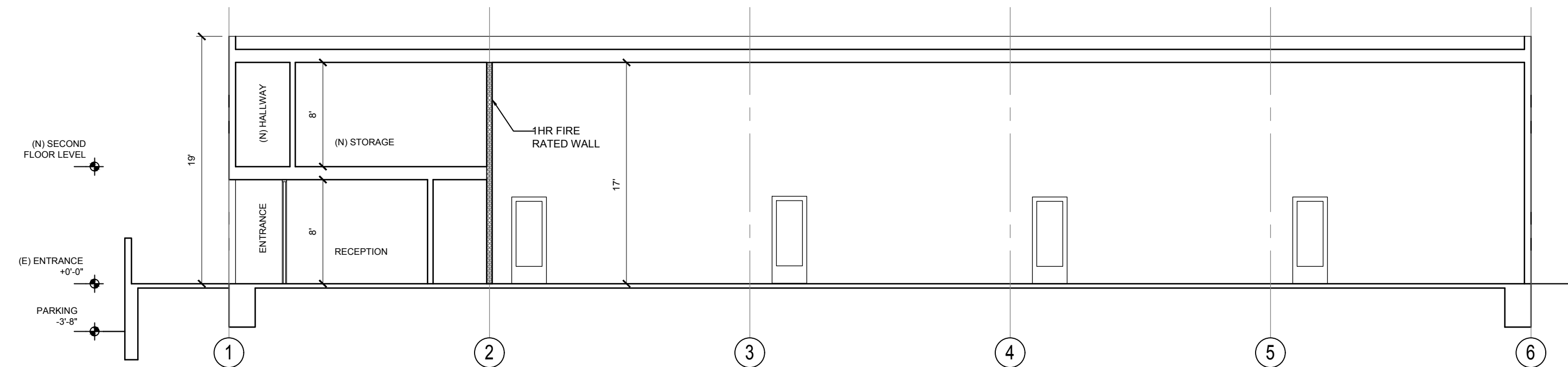


PROPOSED SOUTH ELEVATION  
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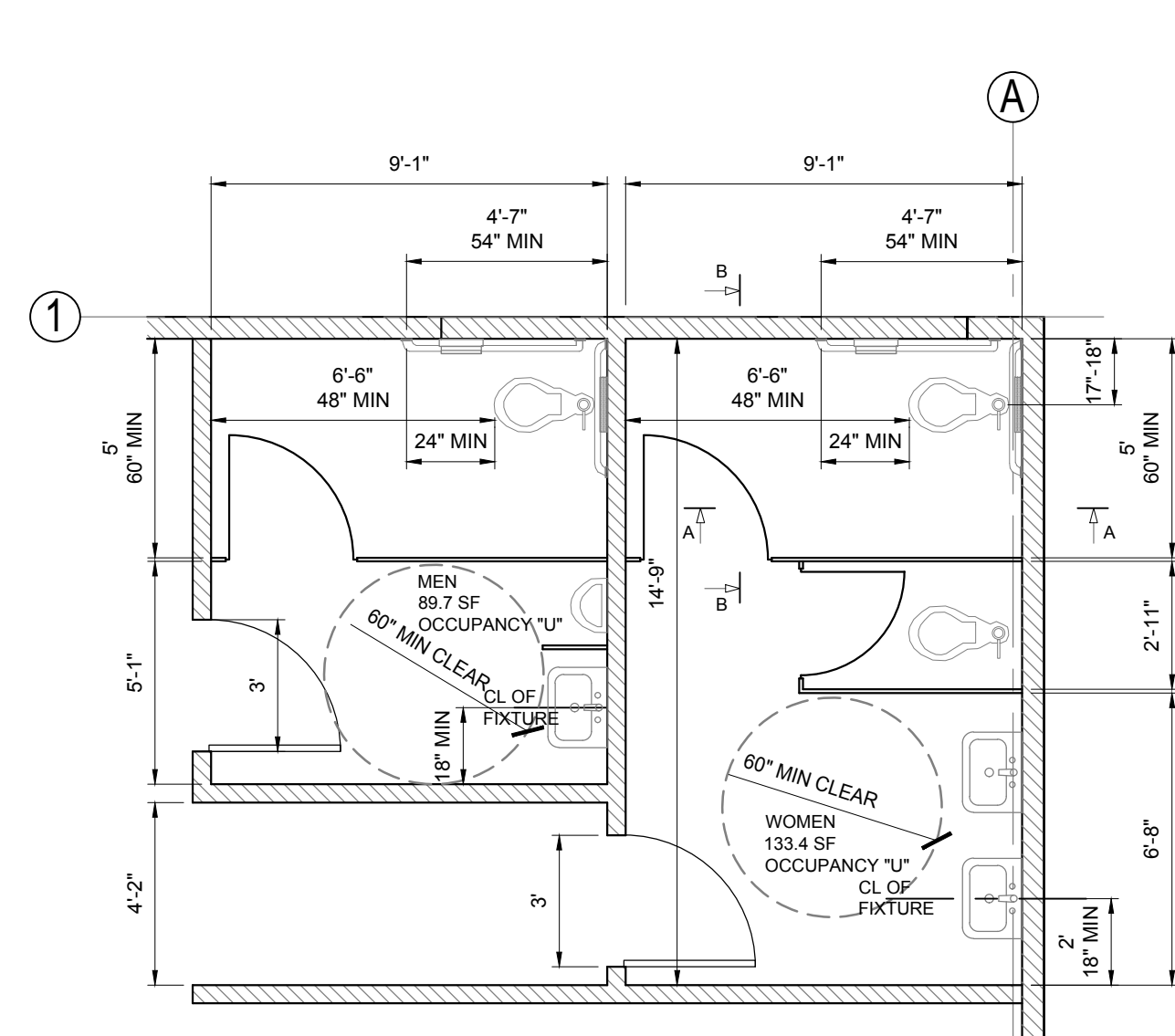


EXISTING WEST ELEVATION  
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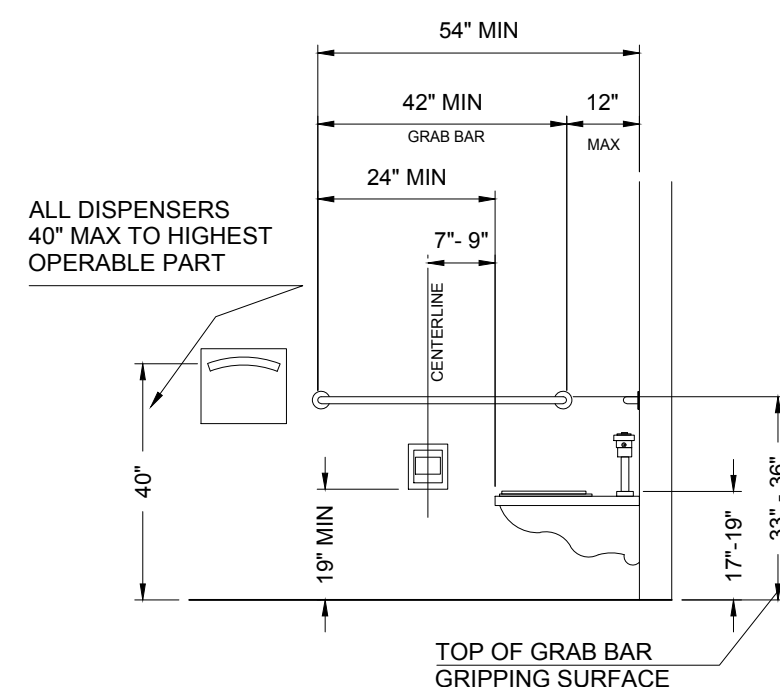
**NO CHANGES**



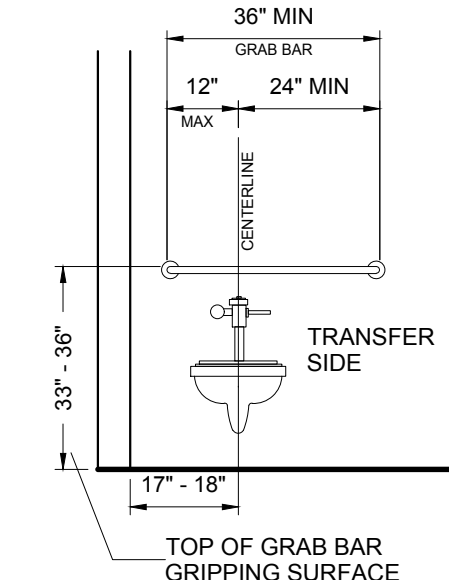
SECTION 1  
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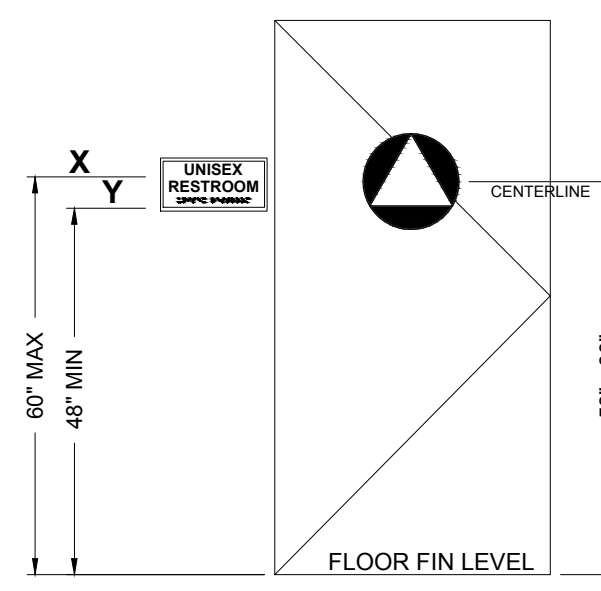
RESTROOM PLAN



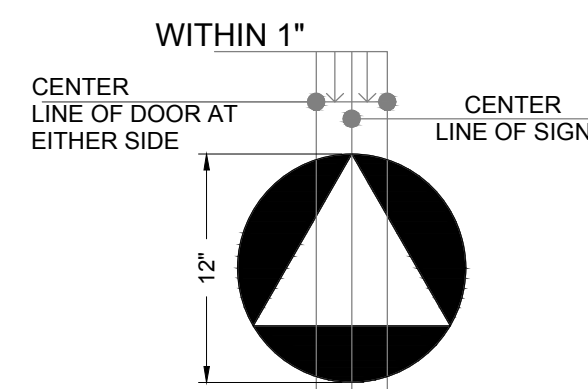
RESTROOM ELEVATION A-A



RESTROOM ELEVATION B-B



RESTROOM SIGNAGE LOCATION



RESTROOM SIGNAGE LOCATION

**CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN):**

- STORM WATER DRAINAGE AND RETENTION SEC. 4.106.2. SHOW HOW THE PROJECT WILL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION THROUGH USE OF RETENTION BASINS, FILTERING BY A BARRIER SYSTEM, OR COMPLIANCE WITH THE STORM AFTER MANAGEMENT ORDINANCES.
- SURFACE DRAINAGE SEC. 4.106.3. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINING SYSTEM WILL MANAGE WATER FLOWS AND KEEP SURFACE WATER FROM ENTERING BUILDINGS THROUGH THE USE OF SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, OR WATER RETENTION GARDENS.
- OUTDOOR WATER USE SEC. 4.304. WEATHER OR SOIL MOISTURE BASED AUTOMATIC IRRIGATION CONTROLLERS FOR LANDSCAPE IRRIGATION SYSTEMS SHALL AUTOMATICALLY ADJUST IN RESPONSE TO WEATHER CONDITIONS. WEATHER BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH COMMUNICATES WITH THE CONTROLLER.
- JOINTS AND OPENINGS SEC. 4.406.1. OPENINGS IN THE BUILDING ENVELOPE SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SHALL BE SEALED IN ACCORDANCE WITH CALIFORNIA ENERGY CODE REQUIREMENTS. ANULAR SPACES OR OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A MILAR APPROVED METHOD TO PREVENT THE PASSAGE OF RODENTS.
- BUILDING MAINTENANCE AND OPERATION SEC. 4.410. BUILDING MANUAL: AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC OR OTHER APPROVED MEDIA SHALL BE PLACE IN THE BUILDING THAT CONTAINS THE INFORMATION SPECIFIED IN CALGREEN SEC. 4.410.
- COVERING DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT SEC. 4.504.1. COVERING OF OPENINGS DURING CONSTRUCTION: ALL DUCTS AND AIR DISTRIBUTION OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL DURING STORAGE ON THE SITE AND BY THE TIME OF ROUGH INSTALLATION THROUGH FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.
- FINISH MATERIAL POLLUTANT CONTROL SEC. 4.504.2. FINISH MATERIAL POLLUTANT CONTROL: THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE VOC CONTENT LIMITS SET FORTH IN CALGREEN SECTIONS 4.504.2 THROUGH 4.504.5: ADHESIVES, SEALANTS AND COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR.
- MOISTURE CONTROL OF CONCRETE SLAB FOUNDATIONS EC. 4.504.2. SHOW THE CAPILLARY BREAK INSTALLED FOR CONCRETE SLAB FOUNDATIONS.
- MOISTURE CONTENT OF BUILDING MATERIALS SEC. 4.505.3. MOISTURE CONTENT OF MATERIALS REQUIREMENT: BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION WHICH IS VISIBLY WET OR HAS HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.
- WHOLE HOUSE EXHAUST FAN SEC. 4.507.1. WHOLE HOUSE FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF THAT HAVE A MIN. INSULATION VALUE OF R-4.2
- HEATING AND AIR CONDITION DESIGN SEC. 4.507.2. SYSTEMS SHALL BE SIZED, DESIGNED, AND SPECIFIED ACCORDING TO ACCA, ASHRAE OR EQUIVALENT DESIGN SOFTWARE OR METHODS.

**SETBACK CERTIFICATION REQUIREMENT:**

A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE OB FILE PRIOR TO THE FIRST INSPECTION. (BMC 9-1-1-110.3.1.1)

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL COMPLY WITH THE 2013 EDITION OF THE CBC, CRC, CMC, CPC AND CEC AS ADOPTED AND AMDENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION.
- SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION
- ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN
- A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-1-3392.3)
- WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
- TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON THE SITE (BMC 9-1-1-3305)
- THE FINISH GRADE SHALL SLOPE A MIN OF 5% OR 6" TO A POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2% (CRC R401.3)
- THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2% (CRC R403.1.7.3)

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**CUP**

NO	REVISION	DATE

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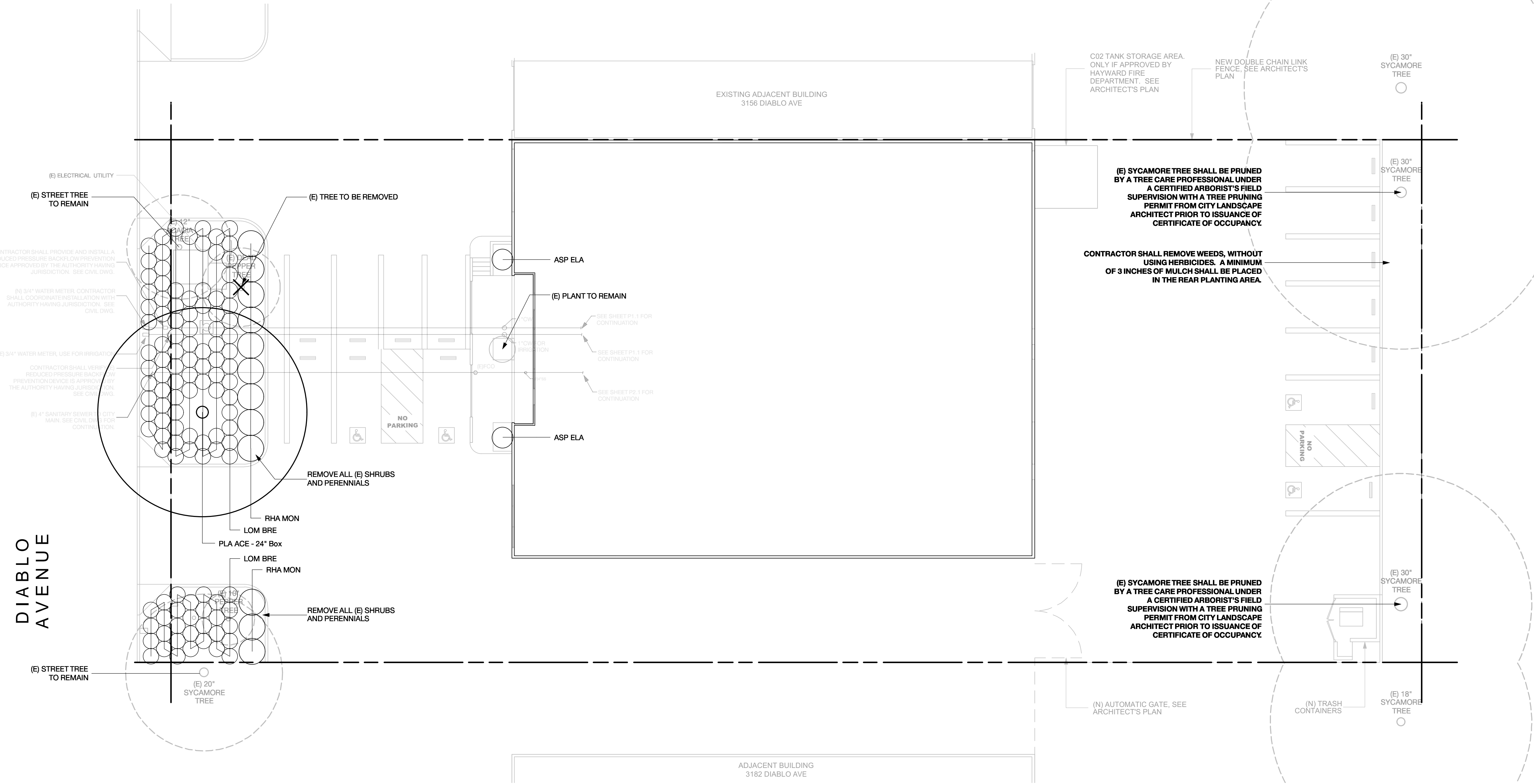
SEP. 2018

**A-1.3**

**ELEVATIONS / SECTION**

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all scaled dimensions. The Architect shall not be responsible for any modifications or any variations from the dimensions and quantities shown on these drawings. The Contractor shall be responsible for the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.





## PLANTING NOTES

PLANT SYMBOLS REPRESENT A 3-5 YEAR GROWTH PROJECTION.

PLANTING SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED FOREMAN. THE PLANT COUNT IS FOR THE CONVENIENCE OF THE CONTRACTOR. IN THE EVENT OF A DISCREPANCY, THE PLAN WILL GOVERN.

CONTRACTOR SHALL COORDINATE ALL PLANTING WITH UTILITY LOCATIONS NOT SHOWN ON THE PLANS. ANY CONFLICTS BETWEEN LOCATIONS OF PROPOSED SITE UTILITIES OR LIGHTING SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

ALL EXISTING TREES SHALL REMAIN AND PROTECTED IN PLACE, UNLESS DESIGNATED TO BE REMOVED OR TRANSPLANTED

REMOVE ALL EXISTING WEEDS, BROOM AND BRAMBLE BY THE ROOTS, AND DISPOSE OF AWAY FROM THE SITE.

PLANTING AREAS SHALL BE FREE OF ALL DELETERIOUS MATERIALS AND WEEDS PRIOR TO PLANTING. PLANTING AREAS TO BE TILLED SO THAT THE SOIL IS LOOSE AND NOT COMPACTED TO A MINIMUM DEPTH OF 8"

A SOIL TEST SHALL BE PERFORMED ON THE EXISTING SOIL AND IMPORT SOIL TO DETERMINE THE FINAL AMENDMENT AND FERTILIZER FORMULA. THE SOILS REPORT SHALL CONTAIN THE FOLLOWING INFORMATION:

SOIL PERMEABILITY RATE IN INCHES PER HOUR  
SOIL TEXTURE TEST  
CATION EXCHANGE CAPACITY  
SOIL FERTILITY (including tests for nitrogen, potassium, phosphorous, pH, organic matter and electrical conductivity)  
RECOMMENDATIONS TO THE PLANTING AREA SOIL

PLANTING AREAS; AMEND PER THE RECOMMENDATIONS OF THE SOILS REPORT.

TOPSOIL TO BE 'GENERAL LANDSCAPE' AS PRODUCED BY AMERICAN SOIL & STONE PRODUCTS (PH# 415-456-1381). COMPOST TO BE FROM SONOMA COMPOST. GENERAL PURPOSE BACKFILL MIX FOR SHRUBS AND TREES TO BE 15% TOPSOIL, 75% NATIVE SOIL. 10% COMPOST. EXCESSIVELY ROCKY AND HEAVY CLAY SOILS ARE TO BE REMOVED FROM SITE.

SPREAD 2" OF COMPOST OVER PREPARED SOIL AREA AT A RATE OF 6 CU YDS PER 1000 SQ FT, PRIOR TO MULCHING. MULCH WITH A 3" LAYER OF ORGANIC RECYCLED CHIPPED WOOD (DARK BROWN COLOR). HOLD 6" AWAY FROM STEM OR TRUNK.

STAKE OR GUY TREES PER DETAIL.

THE CONTRACTOR SHALL GUARANTEE TREES FOR A PERIOD OF 1 YEAR.

THE CONTRACTOR SHALL GUARANTEE PLANTED STOCK FOR A 90-DAY MAINTENANCE PERIOD AFTER FINAL ACCEPTANCE BY THE OWNER.

PROVIDE JUTE NETTING ON ALL SLOPES THAT ARE EQUAL TO OR STEEPER THAN 3:1.

AFTER INITIAL INSTALLATION, ALL PLANTINGS SHALL BE MAINTAINED IN A REASONABLY WEED-FREE AND LITTER-FREE CONDITION, INCLUDING REPLACEMENT WHERE NECESSARY AS DETERMINED BY THE PLANNING DIRECTOR. REQUIRED STREET, PARKING LOT, AND BUFFER TREES SHALL NOT BE SEVERELY PRUNED, TOPPED, OR POLLARDED (CUT BACK TO THE TRUNK).

## TREE PROTECTION NOTES

1: TREE BRANCHES THAT WILL INTERFERE WITH CONSTRUCTION EQUIPMENT SHALL BE PROPERLY PRUNED PRIOR TO BEGINNING CONSTRUCTION. PRUNING SHALL BE AS APPROVED BY THE CITY AND SHALL COMPLY WITH CITY APPROVED PRACTICES.

2: A PROTECTIVE FENCE SHALL BE PLACED AT THE DRIPLINE OF THE EXISTING TREES DURING THE ENTIRE CONSTRUCTION PERIOD. NO WORK SHALL OCCUR WITHIN THE DRIPLINE EXCEPT UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST APPROVED BY THE CITY.

3: SOIL COMPACTION AND GRADING SHALL BE AVOIDED UNDER THE DRIPLINE OF THE TREES. MAINTAIN A POSITIVE DRAINAGE AWAY FROM TREE TRUNK. IRRIGATION SHALL BE AVOIDED UNDER NATIVE OAK TREES.

4: NO STORAGE OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN 25 FEET OF THE DRIPLINE OF THE TREES.

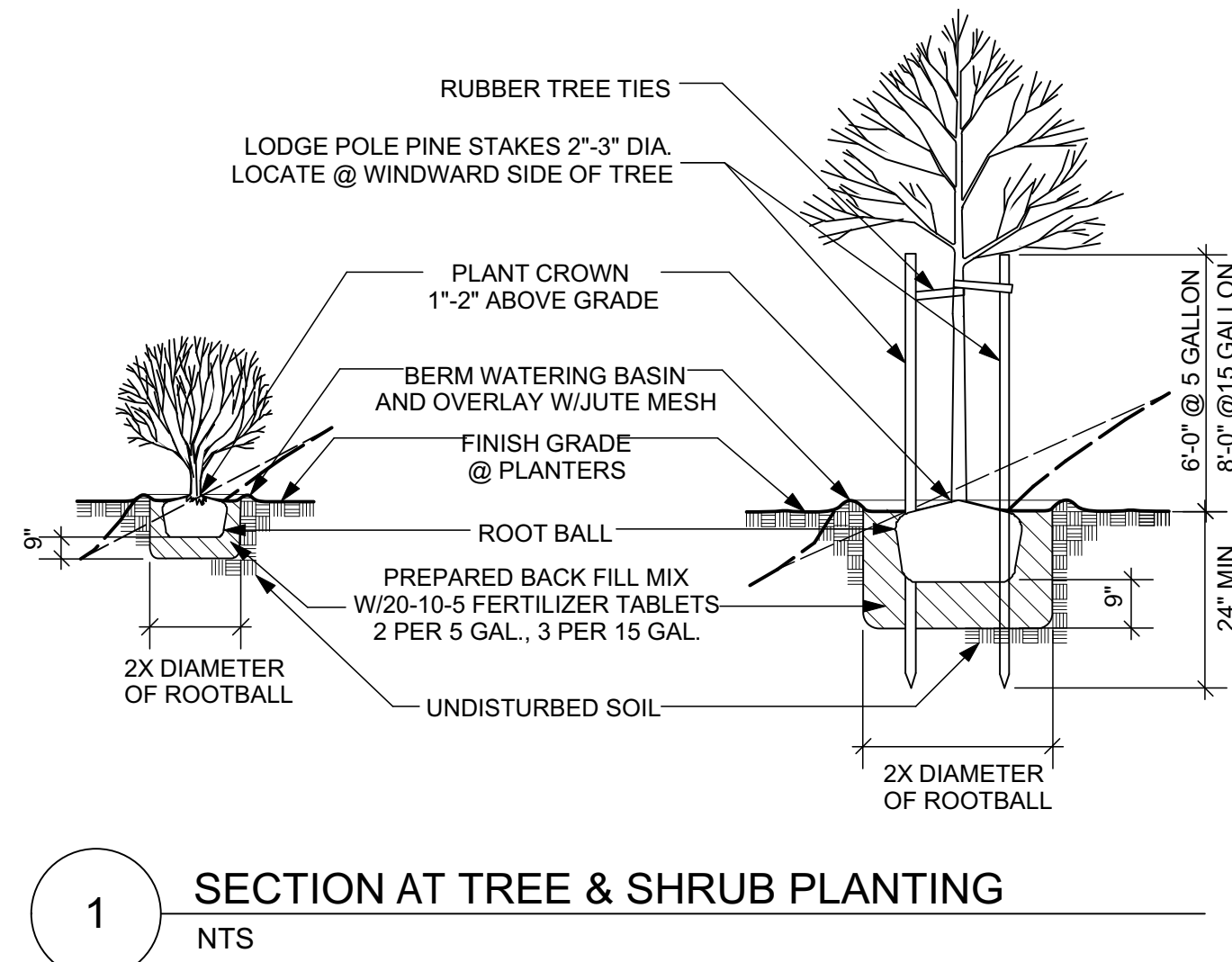
5: ALL ROOTS 1" OR LARGER THAT MUST BE SEVERED SHALL BE CUT MANUALLY TO PRODUCE A CLEAN CUT AND TREATED WITH A TREE SEALANT. BORING, RATHER THAN TRENCHING SHALL BE REQUIRED WHERE IT IS UNAVOIDABLE FOR PIPING TO CROSS THROUGH THE DRIPLINE OF A TREE.

6: CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING COMPARABLE REPLACEMENT TREES FOR ANY EXISTING TREES THAT ARE FOUND BY THE CITY TO BE IRREPARABLY DAMAGED DUE TO CONSTRUCTION ACTIVITY.

## PLANTING LEGEND

Symbol	Latin Name	Common Name	Quantity	Size	Mature Size	Spacing	Water Use Rating	Native Plant
<b>Trees</b>								
PLA ACE - 24" Box	Platanus acerifolia 'Columbia'	Columbia London Plane Tree	1	24" Box	80' x 40'	As Shown on Plan	M	Yes(Y) or No(N)
<b>Shrubs</b>								
RHA MON	Rhaphiolepis indica 'Monto'	Indian Princess® Indian Hawthorn	12	5 gal.	3' x 5'	5'-0" O.C.	L	N
<b>Perennials</b>								
ASP ELA	Aspidistra elatior	Cast Iron Plant	2	5 Gal.	3' x 4'	4'-0" O.C.	L	N
LOM BRE	Lomandra longifolia 'Breeze'	'Breeze' Dwarf Mat Rush	115	1 Gal.	3' x 3'	3'-0" O.C.	L	N

PLANT MATURE SIZE IS BASED ON 'LANDSCAPE PLANTS FOR CALIFORNIA GARDENS' BY ROBERT PERRY. PLANT SPACING SHALL NOT BE LESS THAN THE MINIMUM SPREAD AT MATURITY



## 3166 DIABLO AVENUE

3166 DIABLO AVENUE  
HAYWARD, CA, 94545

APN: 439-75-39

05/17/19 CUP SUBMITTAL

DATE ISSUES & REVISIONS NO.

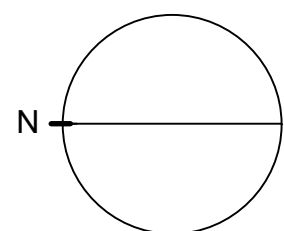


"I have complied with the criteria of City of Hayward Bay-Friendly Water Efficient Landscape Ordinance and applied them for the efficient use of water in the landscape and irrigation design plan."

PROJECT# 1912 DRAWN BY: JM

ORIGINAL DRAWING SIZE: 24" X 36"

SCALE: 1" = 10' - 0"



## PLANTING PLAN

SHEET #

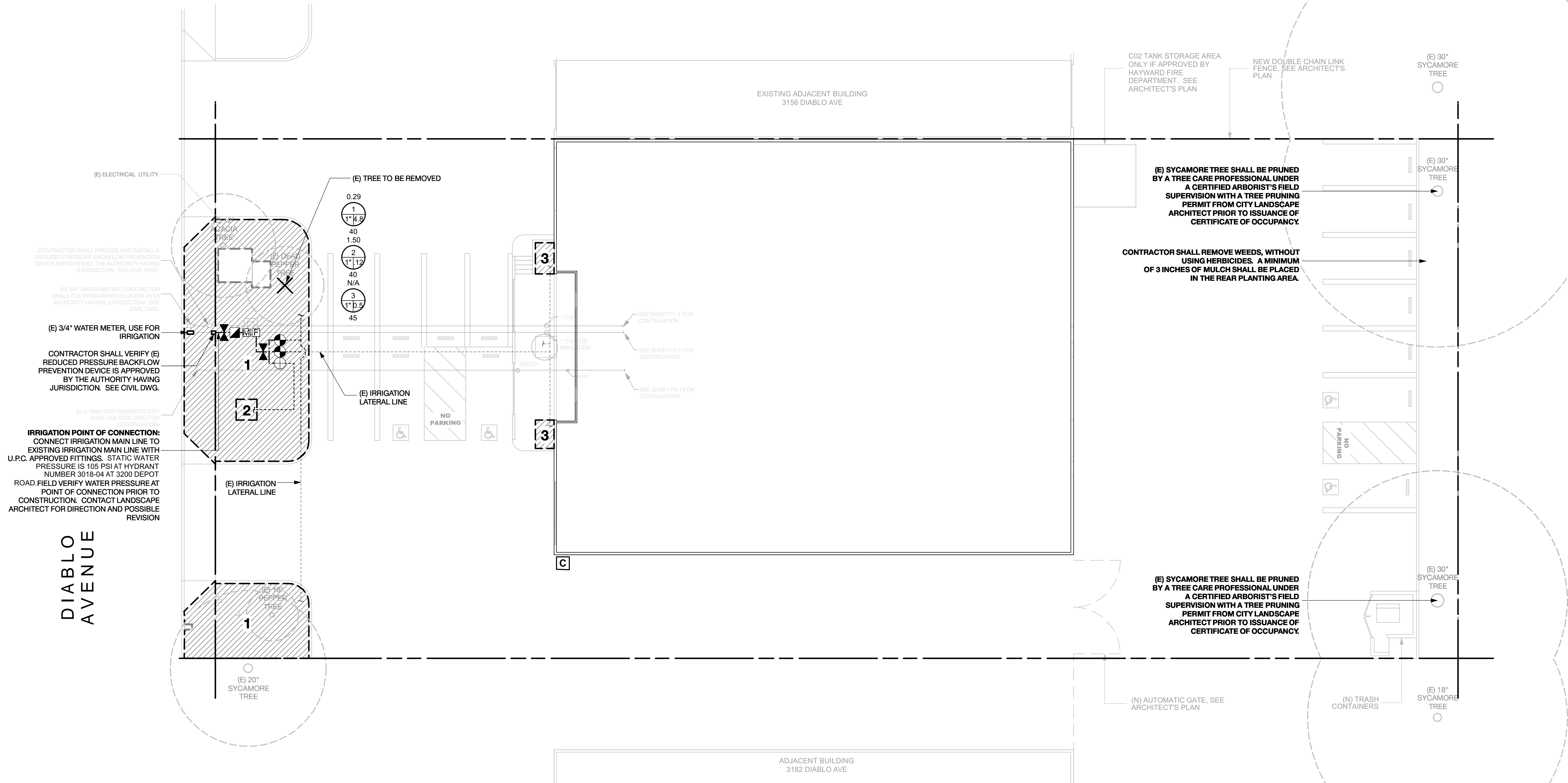
# L-1.0

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**3166 DIABLO AVENUE**

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HAYWARD, CA, 94545

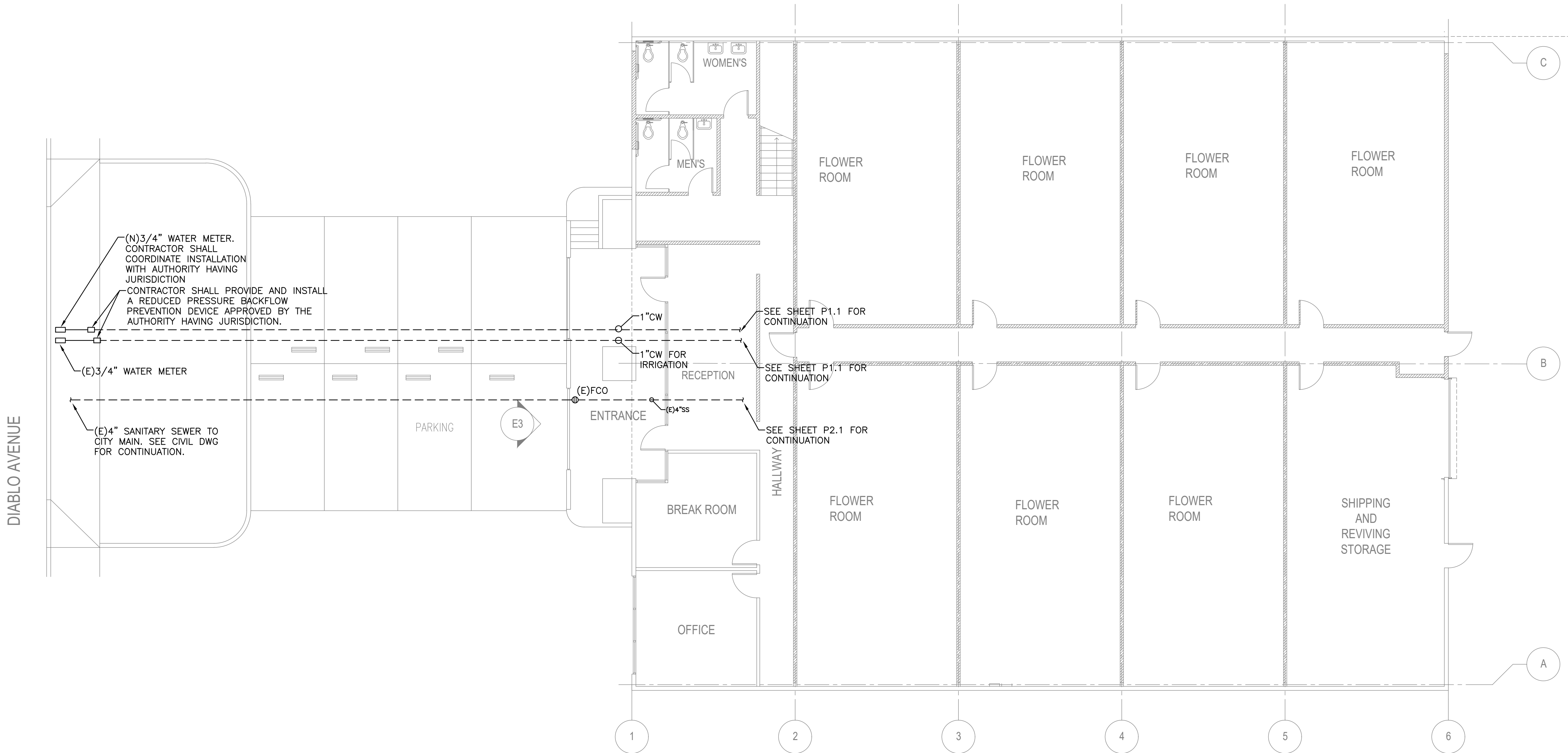
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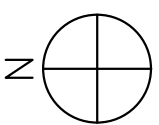




PLUMBING SITE PLAN

3/16"=1'-0"

1



ISSUED	DATE
PERMIT SET	10.01.18

PROJECT TITLE  
3166 DIABLO

3166 DIABLO AVENUE  
HAYWARD, CA 94545

PROJ. NO.	
DATE	--.--
DRWN BY	M.L.H.
CHK'D BY	M.H.
SCALE	AS NOTED

SHEET DESCRIPTION  
PLUMBING

SITE PLAN

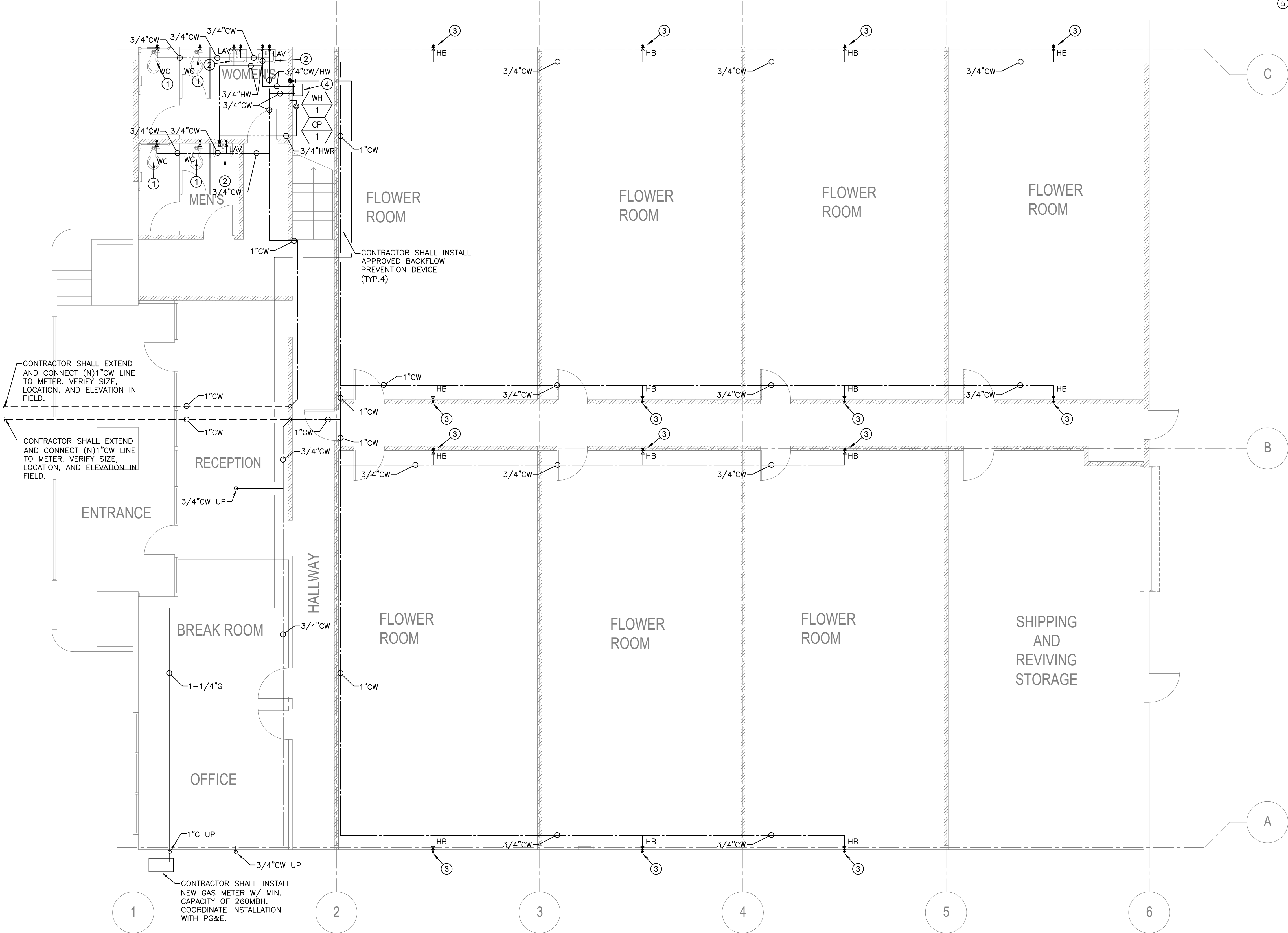
SHEET NO.

P1.0



SHEET NOTES :

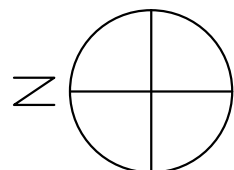
- ① PROVIDE & CONNECT 1/2"CW, 4"S, AND 2"V TO WATER CLOSET
- ② PROVIDE & CONNECT 1/2"CW/HW, 2"S, AND 1-1/2"V TO LAVATORY
- ③ PROVIDE & CONNECT 1/2"CW TO HOSE BIBB
- ④ PROVIDE & CONNECT 3/4"CW/HW, 1-1/4"G WITH SHUT-OFF VALVE TO WATER HEATER
- ⑤ POINT OF CONNECTION. VERIFY LOCATION, SIZE & ELEVATION IN FIELD.



PLUMBING CW/HW/GAS 1ST FLOOR PLAN

3/16"=1'-0"

1



ISSUED	DATE
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HAYWARD, CA 94545

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CHK'D BY	M.H.
SCALE	AS NOTED

SHEET DESCRIPTION  
PLUMBING

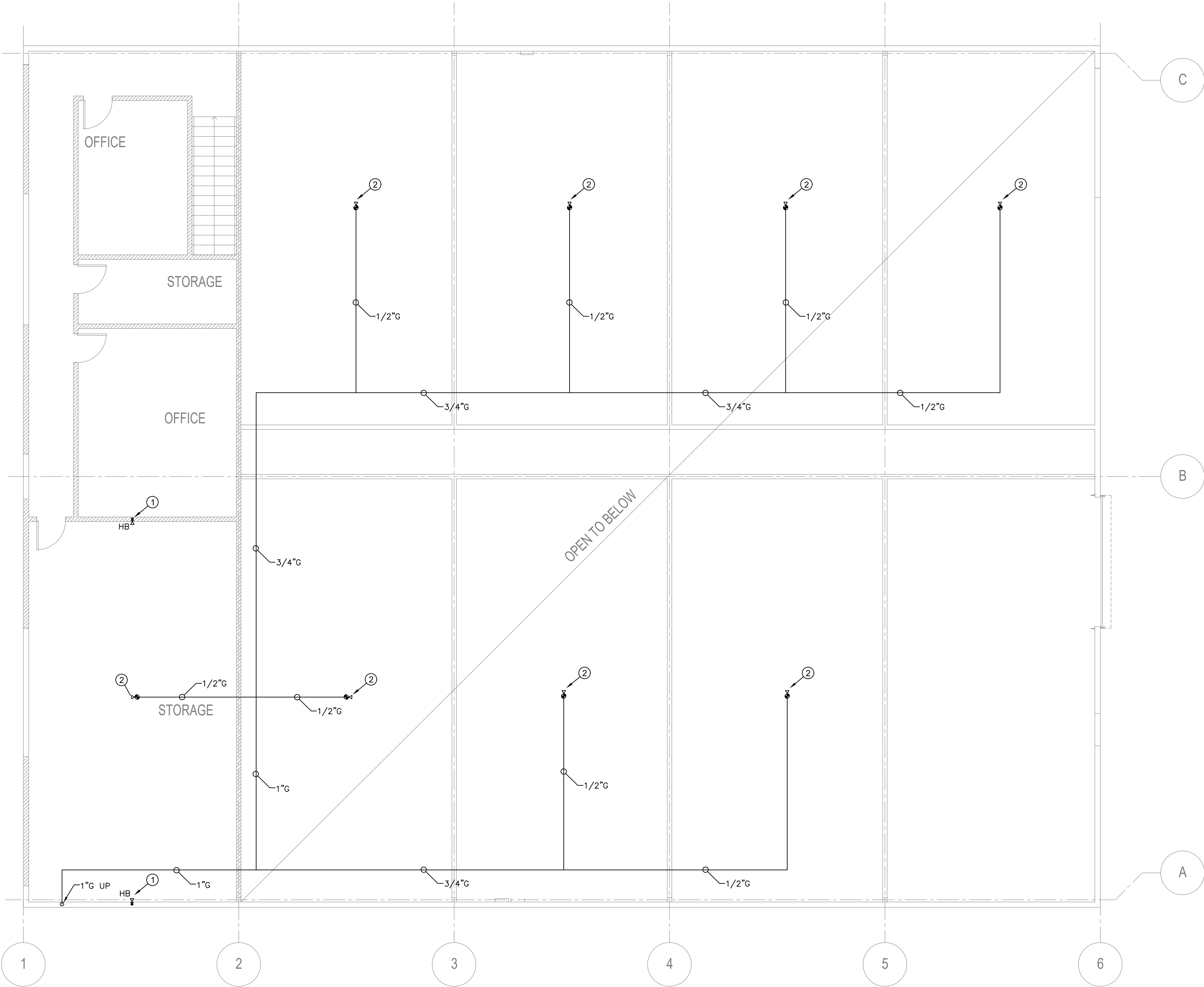
CW/HW/GAS 1ST FLOOR  
PLAN

SHEET NO.

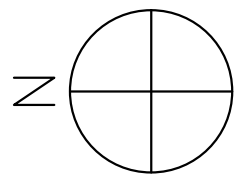
P1.1



- SHEET NOTES :
- ① PROVIDE & CONNECT 1/2"CW TO HOSE BIBB
  - ② PROVIDE & CONNECT 1/2"G WITH SHUT-OFF VALVE FOR FUTURE USE



PLUMBING CW/HW/GAS 2ND FLOOR PLAN    3/16"=1'-0"    1



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SHEET DESCRIPTION  
PLUMBING

CW/HW/GAS 2ND FLOOR  
PLAN

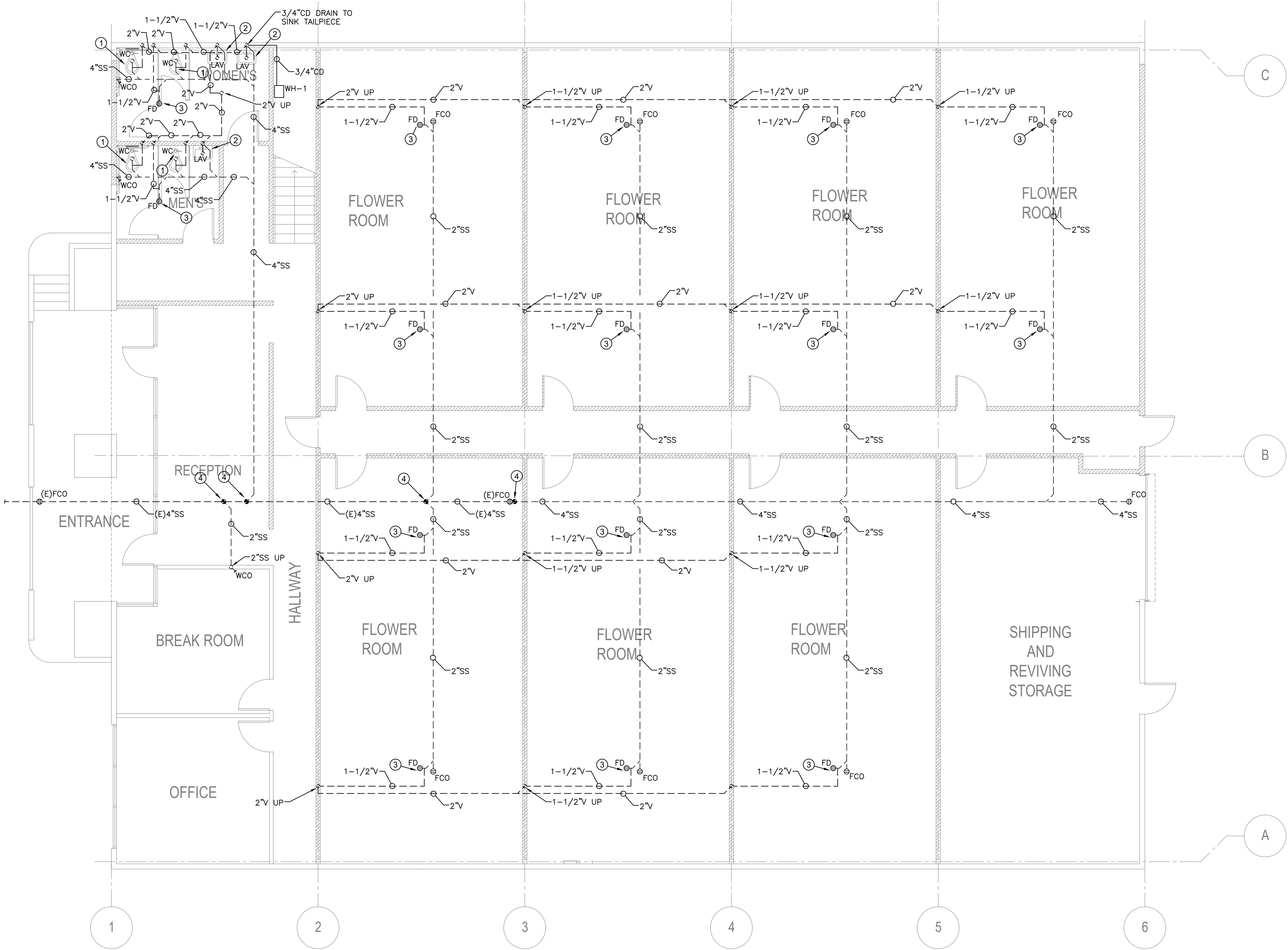
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P1.2



SHEET NOTES :

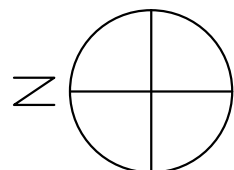
- 1 PROVIDE & CONNECT 1/2"CW, 4"S, AND 2"V TO WATER CLOSET
- 2 PROVIDE & CONNECT 1/2"CW/HW, 2"S, AND 1-1/2"V TO LAVATORY
- 3 PROVIDE & CONNECT 2"S, 1-1/2"V TO FLOOR DRAIN, 1/2"CW TO TRAP PRIMER
- 4 POINT OF CONNECTION. VERIFY LOCATION, SIZE & ELEVATION IN FIELD.



PLUMBING SEWER/WASTE/VENT 1ST FLOOR PLAN

3/16"=1'-0"

1



ISSUED  
PERMIT SET

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PROJECT TITLE  
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3166 DIABLO AVENUE  
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DATE  
DRWN BY  
CHK'D BY  
SCALE

SHEET DESCRIPTION  
PLUMBING

SEWER/WASTE/VENT 1ST  
FLOOR PLAN

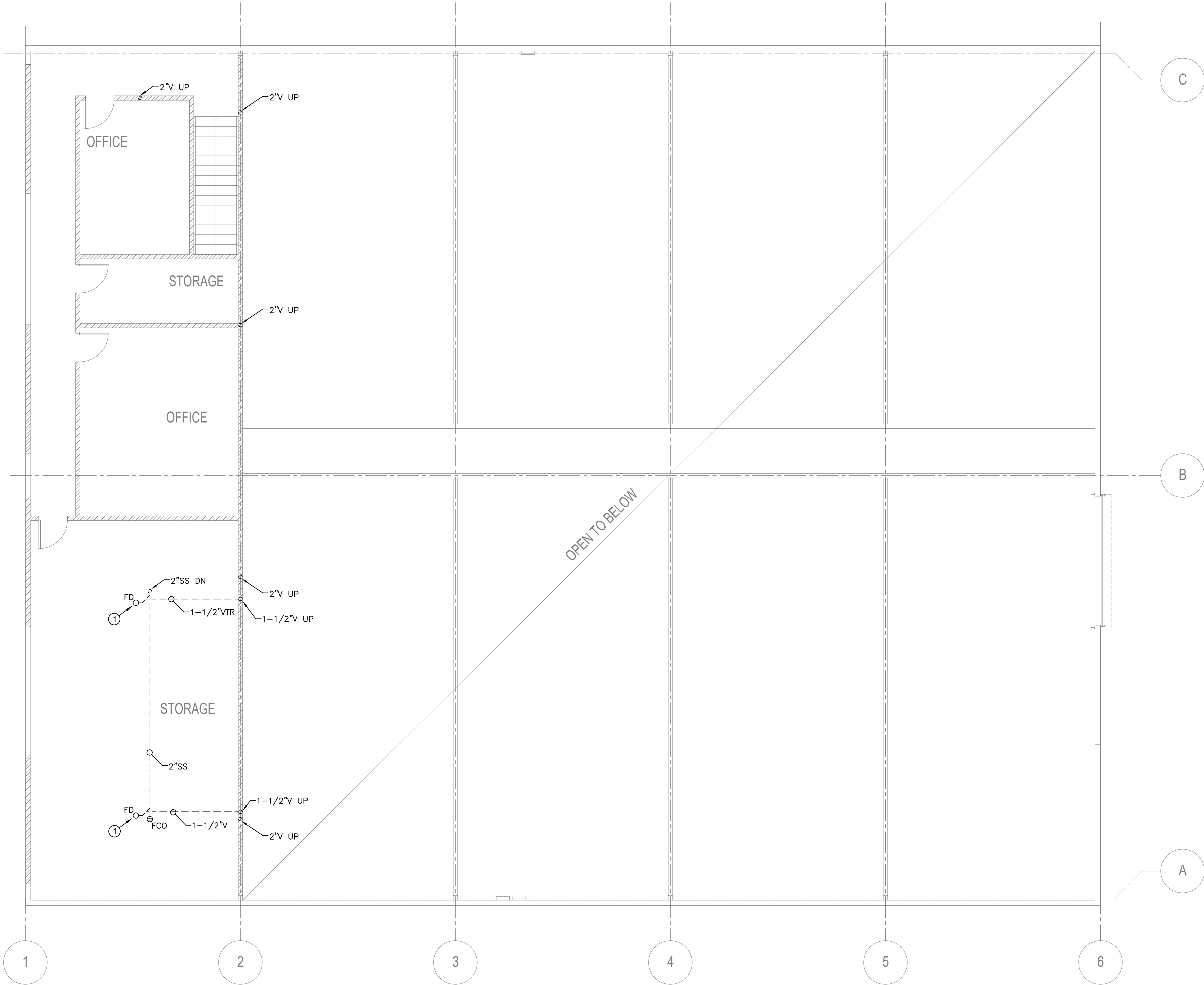
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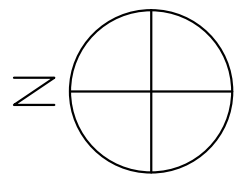


SHEET NOTES :

① PROVIDE & CONNECT 2"S, 1-1/2"V TO FLOOR DRAIN, 1/2"CW TO TRAP PRIMER



PLUMBING SEWER/WASTE/VENT 2ND FLOOR PLAN 3/16"=1'-0" 1



ISSUED DATE  
PERMIT SET 10.01.18

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SCALE AS NOTED

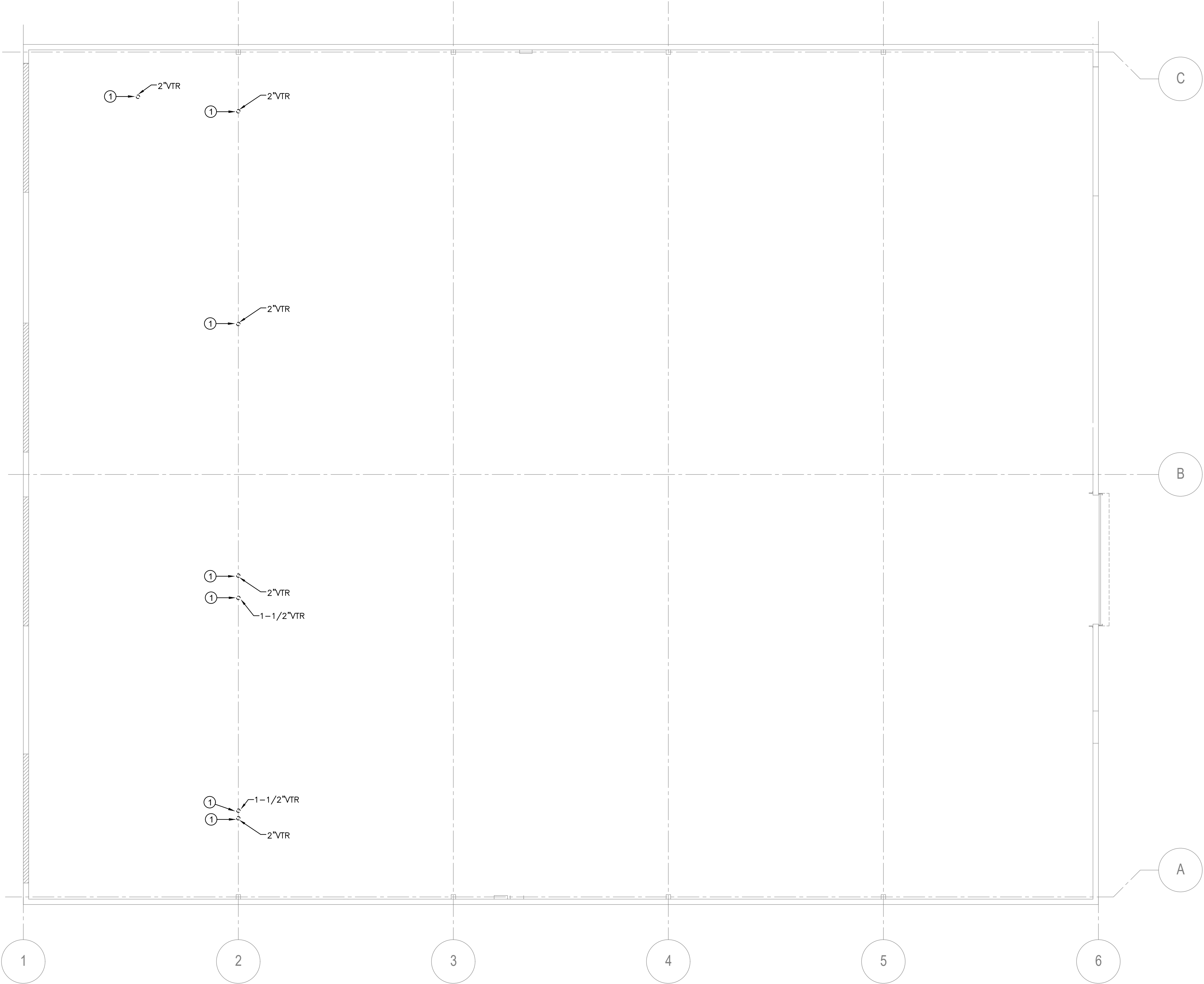
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PLUMBING

SEWER/WASTE/VENT 2ND  
FLOOR PLAN

SHEET NO.

P2.2

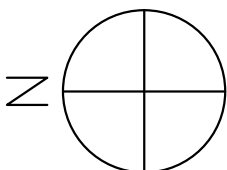




**SHEET NOTES :**

- ① PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 10 FEET FROM, OR NOT LESS THAN 3 FEET ABOVE, AN OPERABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT, OR NOT LESS THAN 3 FEET FROM A LOT LINE.

PLUMBING SEWER/WASTE/VENT ROOF PLAN 3/16"=1'-0" 1



ISSUED	DATE
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DATE	--.--
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CHK'D BY	M.H.
SCALE	AS NOTED

SHEET DESCRIPTION  
PLUMBING

SEWER/WASTE/VENT  
ROOF PLAN

SHEET NO.  
P2.3