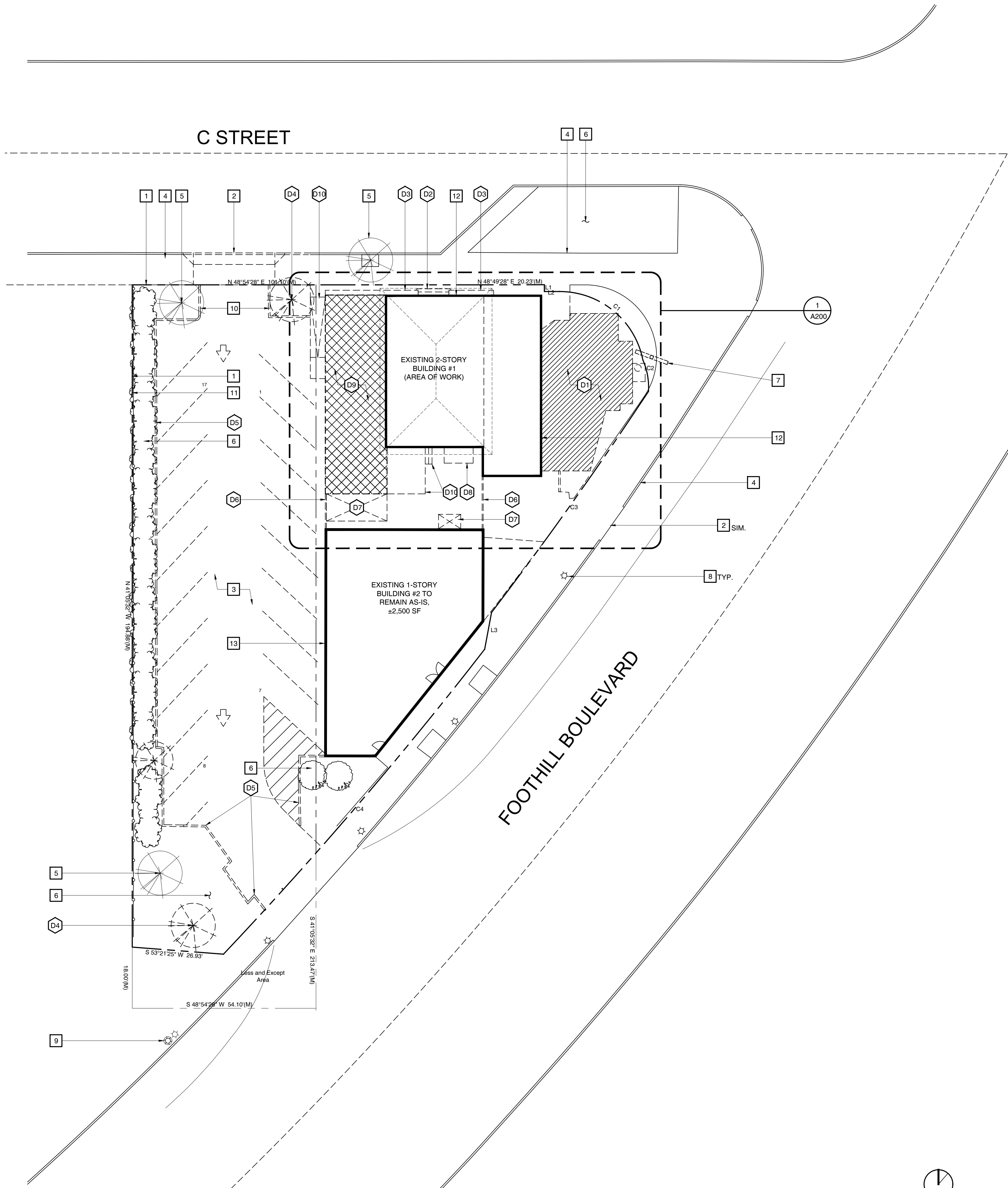




ARCHITECTURAL PLAN SET

COMMERCIAL CANNABIS BUSINESS
MEDICAL & ADULT-USE RETAIL & DELIVERY SALES



01 EXISTING CONDITIONS / DEMOLITION SITE PLAN

SCALE: 1/16" = 1'-0"

PROPERTY BEARINGS

LINE	BEARING	DISTANCE		
L1	S 41° 10'32" E	2.00'		
L2	N 48°49'28" E	4.43'		
L3	S 30°32'08" E	11.02'		

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CORD BEARING
C1	25.00'	34.45'	31.79'	N 88°18'04" E
C2	20.00'	9.46'	9.37'	S 51°11'44" E
C3	1195.00'	79.79'	79.78'	S 05°42'04" E
C4	1200.00'	118.22'	118.18'	S 00°29'45" E

DEMOLITION KEY NOTES

- THE DEMOLITION KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY.
- D1 REMOVE AND LEGALLY DISPOSE OF EXISTING COVERED PATIO IN ITS ENTIRETY (SHOWN DASHED), INCLUDING BUT NOT LIMITED TO FOUNDATION, WALL AND ROOF ASSEMBLIES (I.E. POSTS, DOORS, WINDOWS, ELECTRICAL, ETC.).
 - D2 REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE STEPS
 - D3 REMOVE AND LEGALLY DISPOSE OF PLANTER BOXES
 - D4 REMOVE EXISTING TREE TO ACCOMMODATE NEW WORK
 - D5 REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE CURB TO ACCOMMODATE NEW WORK
 - D6 REMOVE AND LEGALLY DISPOSE OF EXISTING WOOD/CHAIN-LINK FENCING
 - D7 REMOVE AND LEGALLY DISPOSE OF EXISTING STORAGE SHED
 - D8 REMOVE AND LEGALLY DISPOSE OF EXISTING AWNING ABOVE.
 - D9 REMOVE AND LEGALLY DISPOSE OF EXISTING PORTION OF EXISTING BUILDING IN ITS ENTIRETY (SHOWN CROSS HATCHED), INCLUDING BUT NOT LIMITED TO FOUNDATION WALL AND ROOF ASSEMBLIES, ETC. PREP AREA FOR NEW WORK.
 - D10 REMOVE AND LEGALLY DISPOSE OF (E) CONCRETE RAMP, STAIRS AND LANDING.

KEYED NOTES

- 1 EXISTING PROPERTY LINE
- 2 EXISTING CONCRETE DRIVEWAY APPROACH TO REMAIN
- 3 EXISTING AC PAVEMENT TO REMAIN
- 4 EXISTING CONCRETE CURB, GUTTER & SIDEWALK IN PUBLIC RIGHT OF WAY
- 5 EXISTING TREE TO REMAIN
- 6 EXISTING LANDSCAPED AREA TO REMAIN. NO WORK.
- 7 EXISTING MONUMENT SIGN TO REMAIN - REFURBISH UNDER SEP PERMIT
- 8 INDICATES EXISTING STREET LAMP TO REMAIN
- 9 EXISTING FIRE HYDRANT TO REMAIN
- 10 EXISTING CONCRETE CURB
- 11 EXISTING FENCING TO REMAIN
- 12 NOT USED
- 13 INDICATES EXISTING 1-STORY BUILDING EXTERIOR WALL, NO WORK.
- 14 INDICATES EXISTING 2-STORY BUILDING EXTERIOR WALL, ROOF PROFILE AND EXTERIOR WALL AT SECOND STORY SHOWN DASHED.

SUBMITTALS / REVISIONS	
04.14.20	PLANNING DEPT SUBMITTAL

DRAWING TITLE/ NO.

EXISTING CONDITIONS /
DEMOLITION SITE PLAN

A100

COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT
22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541

APN: 428-0066-(056-00) (058-01)



01 EXISTING PARKING LOT
SCALE: NTS



02 EXISTING FOOTHILL BLVD DRIVEWAY APRON
SCALE: NTS



03 EXISTING BUILDING #2
SCALE: NTS



04 EXISTING BUILDING #1
SCALE: NTS



05 EXISTING BUILDING #1 AND ADJACENT PARKING STRUCTURE
SCALE: NTS



06 EXISTING BUILDING #1
SCALE: NTS



07 EXISTING BUILDING #1 CLOSEUP
SCALE: NTS



08 EXISTING BUILDING #1 FROM 'C' STREET
SCALE: NTS



09 EXISTING BUILDING #1 'C' STREET DRIVEWAY APRON
SCALE: NTS



10 EXISTING BUILDING REAR ENTRY AND PARKING LOT
SCALE: NTS

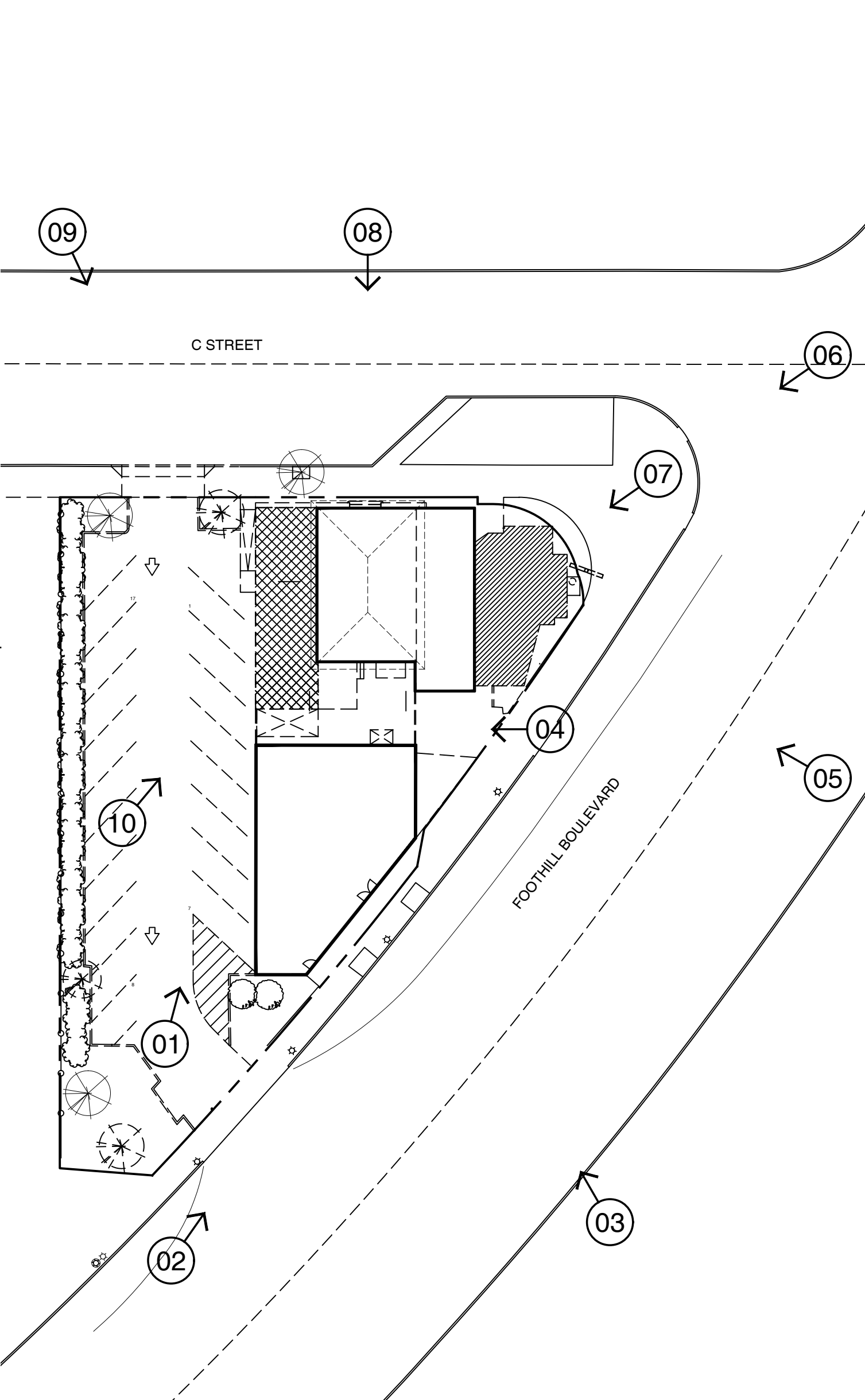


PHOTO KEY SITE PLAN
SCALE: 1/32" = 1'-0"

COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT
22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541

APN: 428-0066-(056-00) (058-01)

SUBMITTALS / REVISIONS
PLANNING DEPT
04.14.20 SUBMITTAL

DRAWING TITLE/ NO.

EXISTING CONDITIONS
PHOTOS

A103



01 EXISTING OUTDOOR PATIO ENTRY
SCALE: NTS



02 EXISTING OUTDOOR PATIO INTERIOR
SCALE: NTS



03 EXISTING OUTDOOR PATIO INTERIOR
SCALE: NTS



04 EXISTING OUTDOOR PATIO ENTRY
SCALE: NTS



05 INTERIOR EXISTING CONDITION
SCALE: NTS



06 INTERIOR EXISTING CONDITION
SCALE: NTS



07 INTERIOR EXISTING CONDITION
SCALE: NTS



08 INTERIOR EXISTING CONDITION
SCALE: NTS



09 INTERIOR EXISTING CONDITION
SCALE: NTS



10 INTERIOR EXISTING CONDITION
SCALE: NTS

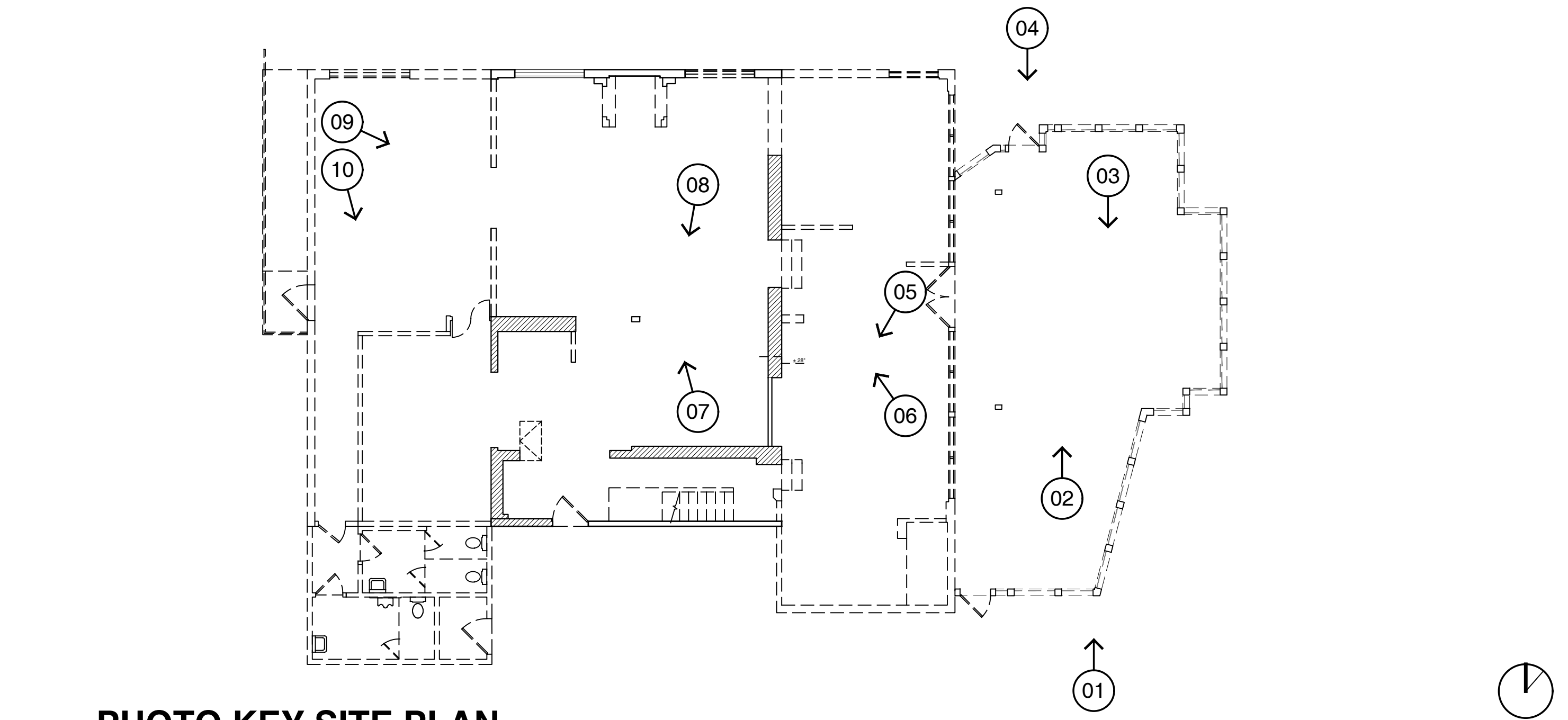


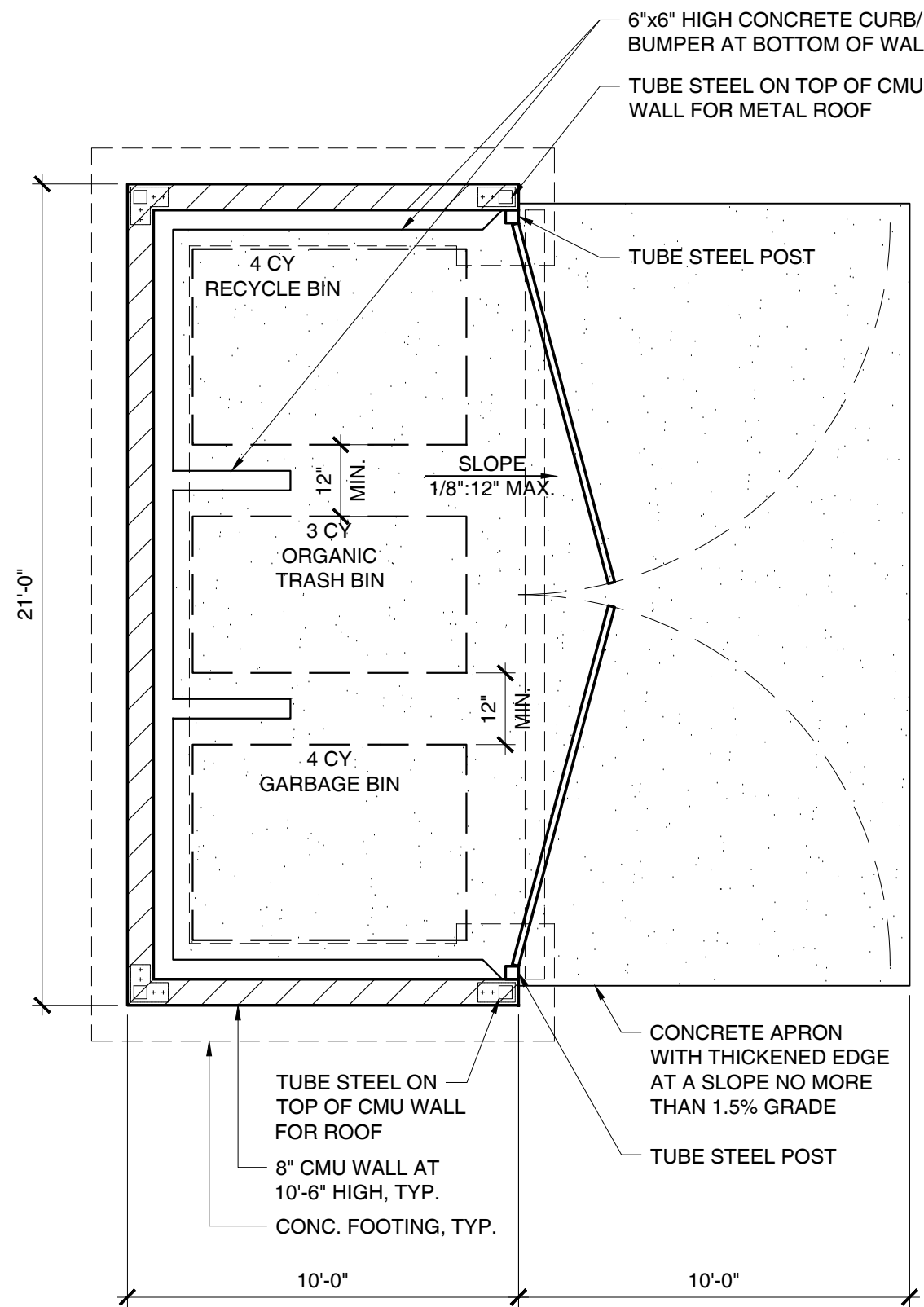
PHOTO KEY SITE PLAN
SCALE: 1/32" = 1'-0"

COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT
22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541

APN: 428-0066-(056-00) (058-01)

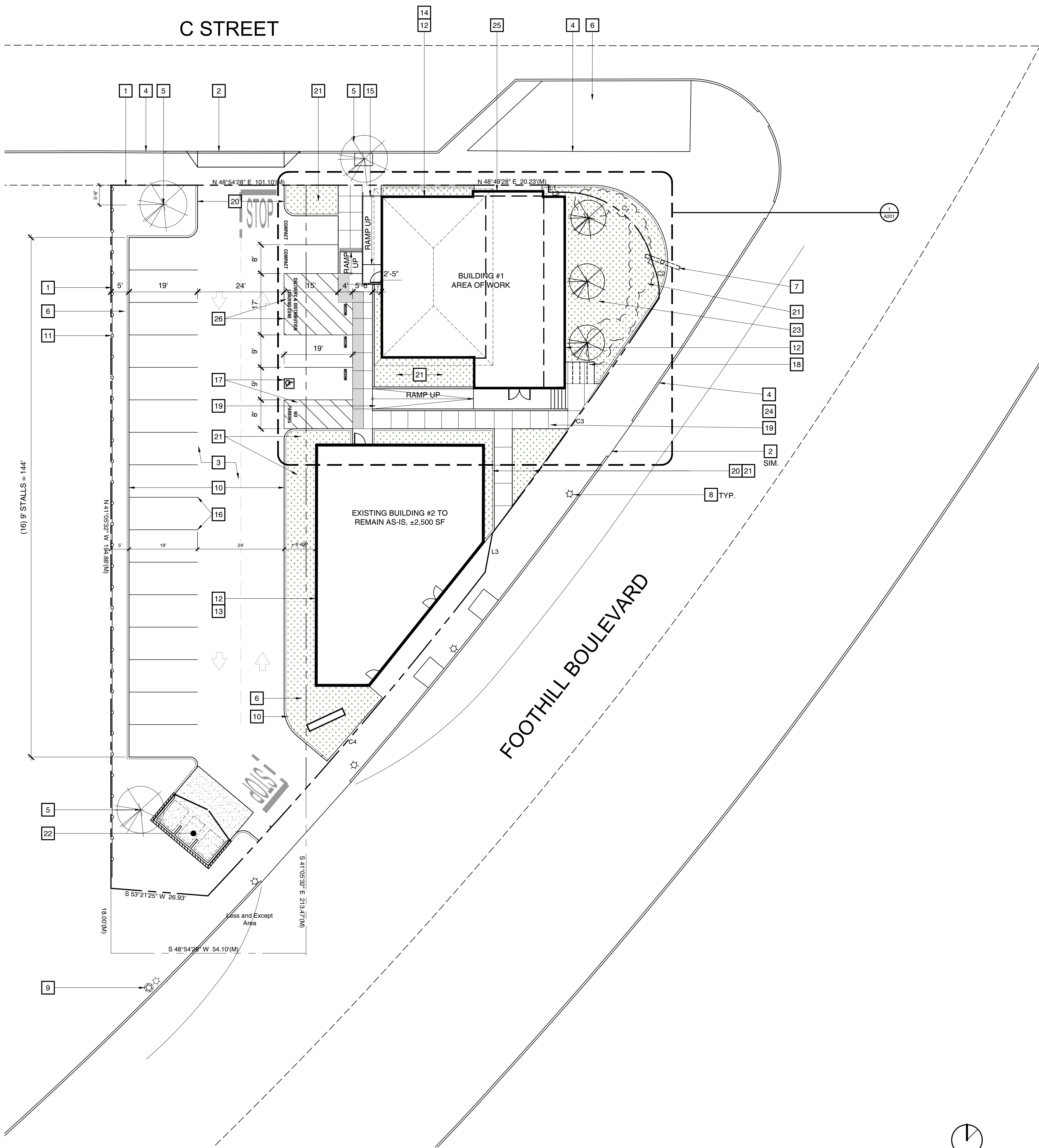
SUBMITTALS / REVISIONS
PLANNING DEPT
04.14.20 SUBMITTAL
DRAWING TITLE/ NO.
EXISTING CONDITIONS
BUILDING #1 INTERIOR

A104



02 TRASH ENCLOSURE PLAN

SCALE: 1/4"=1'-0"



01 PROPOSED SITE PLAN

SCALE: 1:10

PROPERTY BEARINGS				
LINE	BEARING	DISTANCE		
L1	S 41° 10'32" E	2.00'		
L2	N 48°49'28" E	4.43'		
L3	S 30°32'08" E	11.02'		
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CORD BEARING
C1	25.00'	34.45'	31.79'	N 88°18'04" E
C2	20.00'	9.46'	9.37'	S 51°11'44" E
C3	1195.00'	79.79'	79.78'	S 05°42'04" E
C4	1200.00'	118.22'	118.18'	S 00°29'45" E

- KEYED NOTES**
- 1 EXISTING PROPERTY LINE
 - 2 EXISTING CONCRETE DRIVEWAY APPROACH TO REMAIN
 - 3 EXISTING AC PAVEMENT TO REMAIN
 - 4 EXISTING CONCRETE CURB, GUTTER & SIDEWALK IN PUBLIC RIGHT OF WAY
 - 5 EXISTING TREE TO REMAIN
 - 6 EXISTING LANDSCAPED AREA TO REMAIN, NO WORK.
 - 7 EXISTING MONUMENT SIGN TO REMAIN - REFURBISH UNDER SEP PERMIT
 - 8 INDICATES EXISTING STREET LAMP TO REMAIN
 - 9 EXISTING FIRE HYDRANT TO REMAIN
 - 10 NEW 6" HIGH CONCRETE CURB
 - 11 EXISTING FENCING TO REMAIN
 - 12 INDICATES EXISTING BUILDING EXTERIOR WALL
 - 13 EXISTING 1-STORY BUILDING TO REMAIN, NO WORK.
 - 14 EXISTING 2-STORY BUILDING AREA OF IMPROVEMENT, ROOF STRUCTURE SHOWN DASHED.
 - 15 NEW CONCRETE RAMP AND LANDING
 - 16 NEW WHITE STALL STRIPING PER CITY STDs
 - 17 NEW VAN ACCESSIBLE PARKING STALL & ACCESS AISLE PER CBC REQMTs
 - 18 NEW BIKE PARKING PER CITY STDs
 - 19 NEW ACCESSIBLE CONCRETE RAMP/ WALKWAY
 - 20 NEW 6" HIGH CONCRETE CURB
 - 21 [Pattern] INDICATES NEW LANDSCAPE AREA - SEE 'CONCEPTUAL PLANTING PLAN'
 - 22 NEW SECURED CMU TRASH ENCLOSURE PER CITY STDs, SEE DETAIL 02/A110
 - 23 NEW SMALL TREES IN GRID
 - 24 NEW CONCRETE STAIRS
 - 25 NEW 1-STORY BUILDING FOOTPRINT
 - 26 NEW DISTRIBUTION/ DELIVERY LOADING ZONE

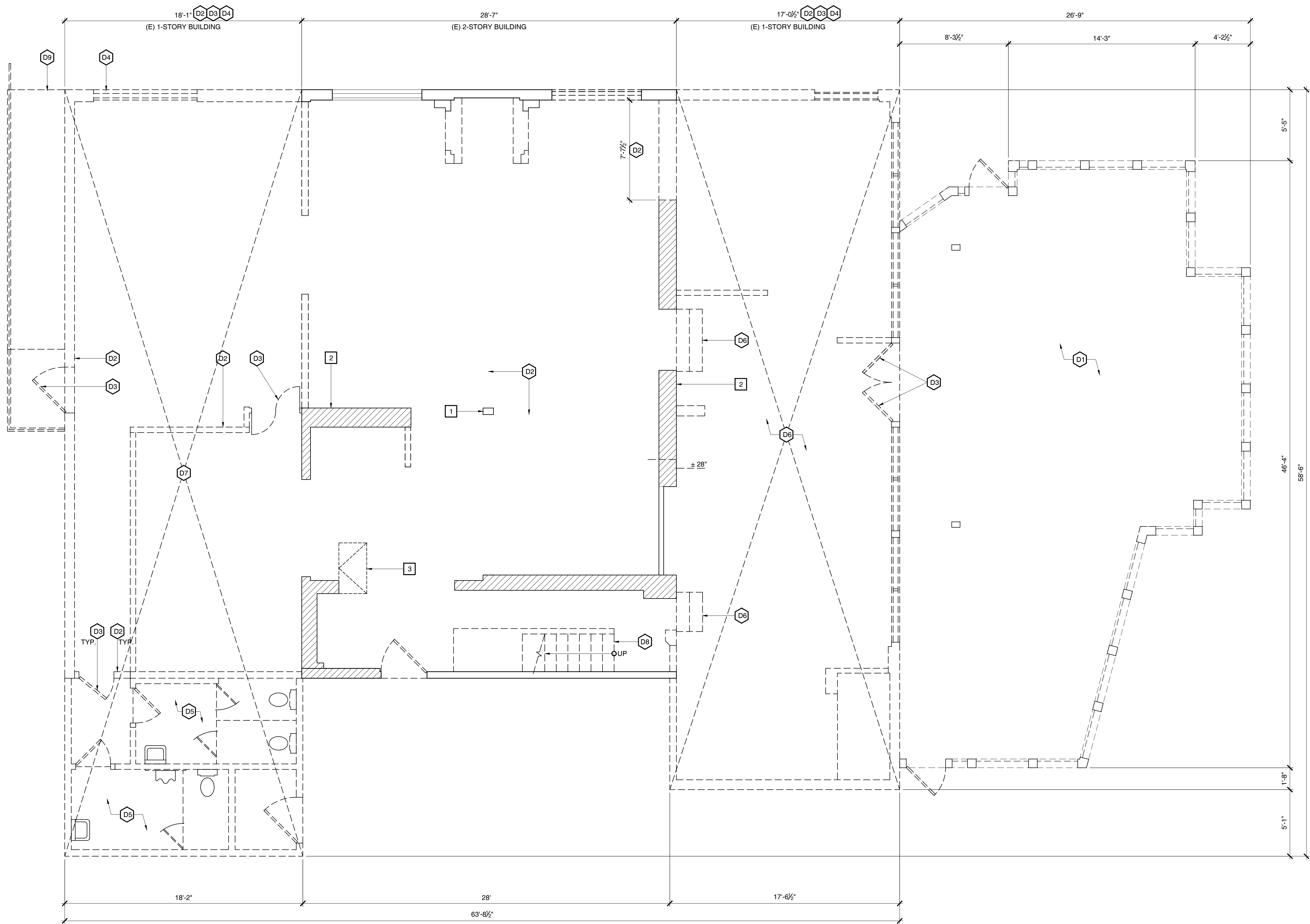
SUBMITTALS / REVISIONS	
04.14.20	PLANNING DEPT SUBMITTAL
DRAWING TITLE/ NO.	

PROPOSED SITE PLAN

A110

COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT
22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541

APN: 428-0066-(056-00) (058-01)



EXISTING GROUND FLOOR PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"

DEMOLITION KEY NOTES

THE DEMOLITION KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY.

D1 REMOVE AND LEGALLY DISPOSE OF EXISTING COVERED PATIO IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO FOUNDATION, WALL AND ROOF ASSEMBLIES (I.E. POSTS, DOORS, WINDOWS, ELECTRICAL, ETC.).

D2 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL, OR PORTION OF WALL INDICATED, INCLUDING BUT NOT LIMITED TO GYP. BD, STUDS, ELECTRICAL, WIRING, BASE AND TRIM TO ACCOMMODATE NEW WORK. PATCH AND PAINT ALL AREAS AFFECTED BY NEW WORK. TYPICAL AS SHOWN.

D3 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR, DOOR FRAME, COMPANION HARDWARE AND WALL ANCHORS TO ACCOMMODATE NEW WORK/DOOR, SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.

D4 REMOVE AND LEGALLY DISPOSE OF EXISTING EXTERIOR WINDOW INCLUDING BUT NOT LIMITED TO GLAZING, WINDOW FRAME AND WALL ANCHORS. TYP. AS SHOWN.

D5 REMOVE AND LEGALLY DISPOSE OF TOILET PARTITIONS, PLUMBING FIXTURES AND ASSOCIATED PLUMBING IN THIS ROOM (I.E. SINK, WATER CLOSET, ETC.). ALL PIPING NOT BEING REUSED IS TO BE REMOVED AND CAPPED AT NEAREST SOURCE.

D6 REMOVE AND LEGALLY DISPOSE OF EXISTING FOUNDATION, WALL AND ROOF ASSEMBLIES AS REQUIRED (I.E. POSTS, DOORS, WINDOWS, ELECTRICAL, ETC.) TO ACCOMMODATE NEW RAISED FLOOR ASSEMBLY.

D7 REMOVE AND LEGALLY DISPOSE OF EXISTING FOUNDATION, WALL AND ROOF ASSEMBLIES AS REQUIRED (I.E. DOORS, WINDOWS, ELECTRICAL, ETC.) TO ACCOMMODATE NEW WORK.

D8 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS IN ITS ENTIRETY TO ACCOMMODATE NEW WORK.

D9 REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE RAMP AND LANDING.

KEYED NOTES

1 EXISTING STEEL COLUMN TO REMAIN

2 EXISTING MASONRY WALL TO REMAIN, TYPICAL AS SHOWN

3 EXISTING UNDER FLOOR ACCESS

4 EXISTING EXTERIOR LANDING AND RAMP TO REMAIN

LEGEND

EXISTING MASONRY WALL TO REMAIN INTACT.

EXISTING WOOD STUD FRAMED WALL TO REMAIN INTACT

EXISTING WALL TO BE REMOVED

EXISTING DOOR AND/OR WINDOW TO REMAIN INTACT

EXISTING DOOR AND/OR WINDOW TO BE DEMOLISHED

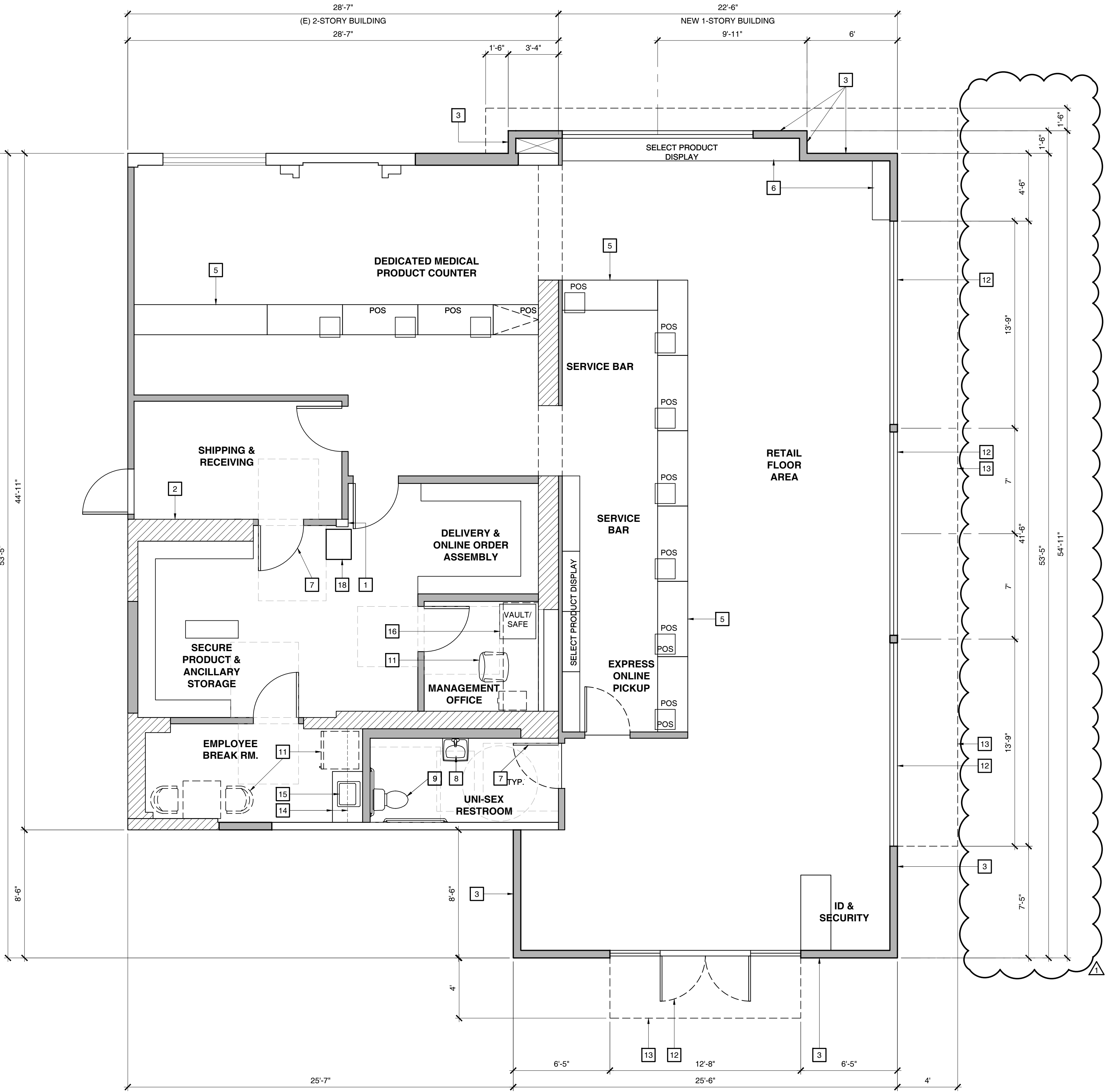
NO WORK IN THIS AREA, U.O.N.

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SUBMITTALS / REVISIONS	
	PLANNING DEPT
04.14.20	SUBMITTAL
DRAWING TITLE/ NO.	
DEMOLITION FIRST FLOOR PLAN	

A200



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



KEYED NOTES

- 1 EXISTING STEEL COLUMN TO REMAIN
- 2 EXISTING MASONRY WALL TO REMAIN, TYPICAL AS SHOWN
- 3 NEW WOOD SLAT RAINSCREEN WALL
- 4 NOT USED
- 5 NEW TRANSACTION COUNTER, TYPICAL AS SHOWN.
- 6 NEW DISPLAY COUNTER/ MILLWORK
- 7 NEW DOOR
- 8 NEW WALL MOUNTED SINK
- 9 NEW WATER CLOSET AND GRAB BARS BY CODE
- 10 ACCESSIBILITY LIFT AS REQUIRED BY CODE
- 11 FURNITURE SHOWN FOR REFERENCE ONLY
- 12 NEW STOREFRONT DOOR(S) AND/OR WINDOW SYSTEM. PROVIDE FROSTED FILM TO GLAZING AS REQUIRED TO BLOCK MERCHANDISE VISIBILITY FROM PUBLIC RIGHT OF WAY FIELD OF VIEW.
- 13 NEW METAL AWNING ABOVE
- 14 NEW UPPER AND LOWER CASEWORK
- 15 NEW STAINLESS STEEL SINK
- 16 REFRIGERATOR SPACE, SHOWN FOR REFERENCE.
- 17 POINT OF SALE (POS)
- 18 SECURED CANNABIS WASTE RECEPTACLE

LEGEND

- EXISTING MASONRY WALL TO REMAIN INTACT.
- EXISTING WOOD STUD FRAMED WALL TO REMAIN INTACT
- EXISTING DOOR AND/OR WINDOW TO REMAIN INTACT
- NEW WOOD STUD FRAMED WALL
- NEW DOOR
- NEW WINDOW

COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT

22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541

APN: 429-0066-(056-00) (058-01)

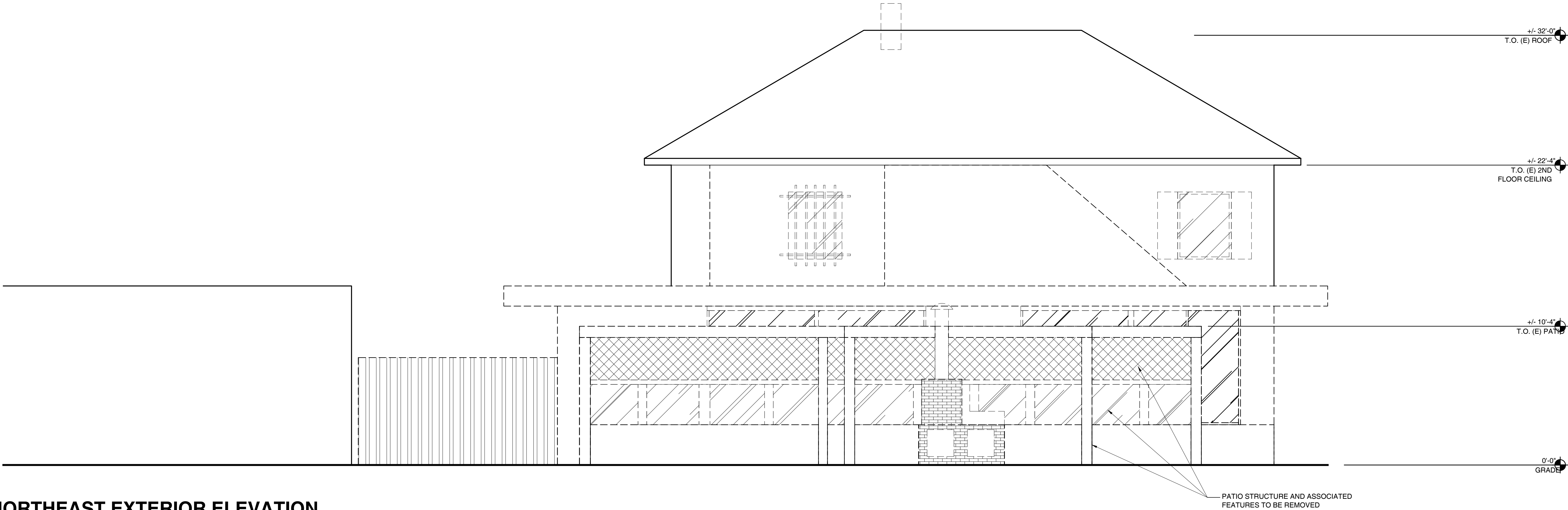
SUBMITTALS / REVISIONS
PLANNING DEPT
04.14.20 SUBMITTAL

PLANNING
08.10.20 RE-SUBMITTAL #1

DRAWING TITLE/ NO.

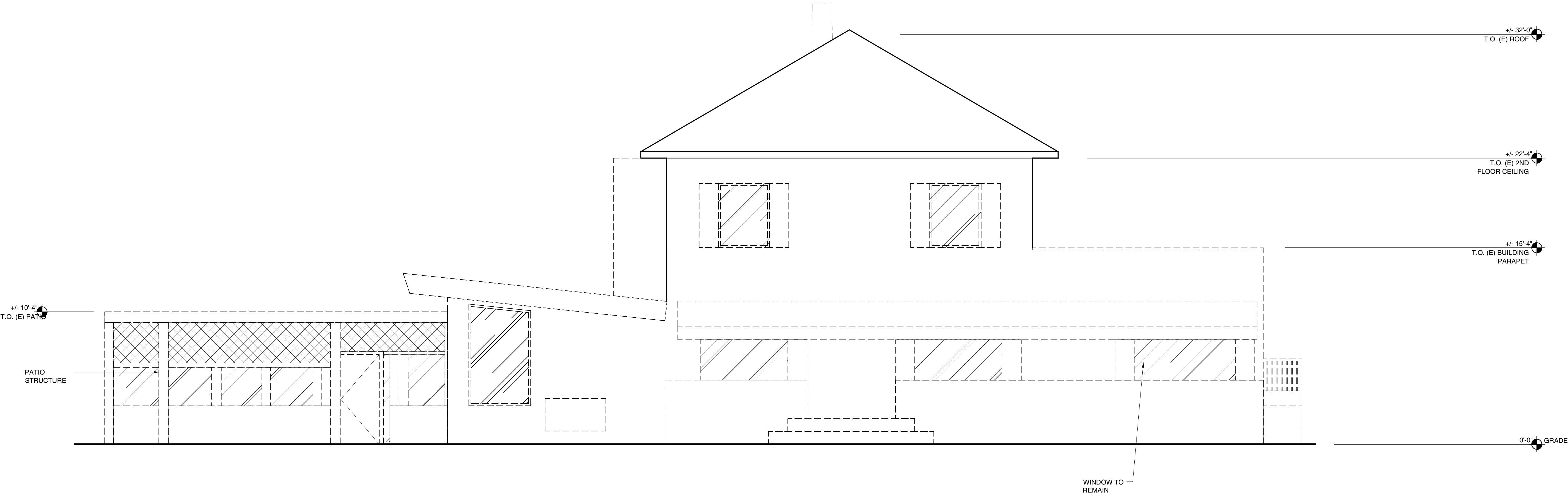
PROPOSED
FIRST FLOOR PLAN

A201



01 **NORTHEAST EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



02 **NORTHWEST EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"

COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT

22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541

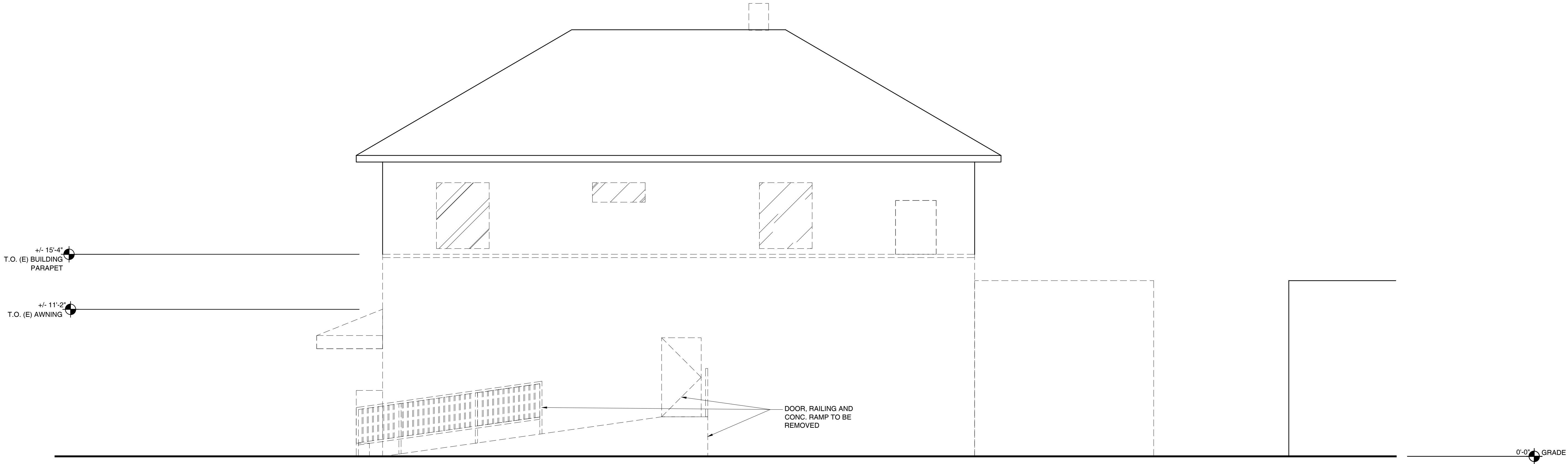
APN: 428-0066-(056-00) (058-01)

SUBMITTALS / REVISIONS	
04.14.20	PLANNING DEPT SUBMITTAL

DRAWING TITLE/ NO.

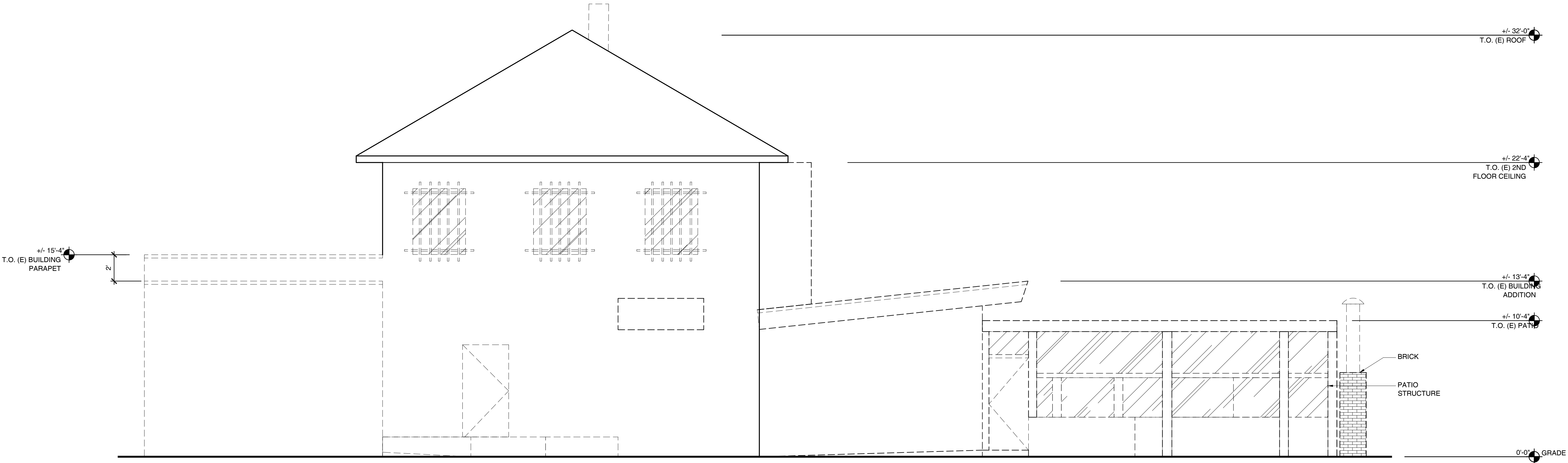
EXISTING CONDITIONS / DEMO.
EXTERIOR ELEVATIONS

A301



01 **SOUTHEAST EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



02 **SOUTHWEST EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"

COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT
22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541

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SUBMITTALS / REVISIONS
PLANNING DEPT
04.14.20 SUBMITTAL

DRAWING TITLE/ NO.

EXISTING CONDITIONS / DEMO.
EXTERIOR ELEVATIONS

A302



01 NORTHEAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



02 NORTHWEST EXTERIOR ELEVATION

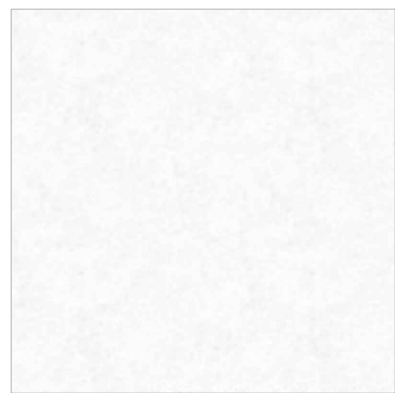
SCALE: 1/4" = 1'-0"



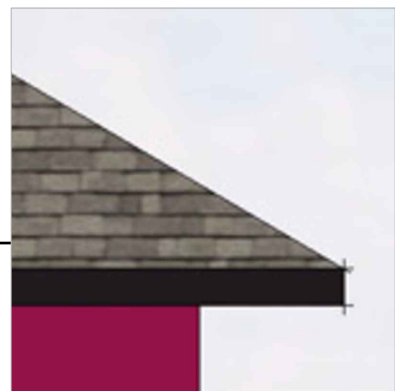
1 ALUMINUM BATTEN SYSTEM
MFR: AWNEX
2"x2" VERTICAL PROFILE
COLOR: WOOD GRAIN, KNOTWOOD BATTEN



2 CEMENT PLASTER
COLOR: SW 6843 'HOT'



3 CEMENT PLASTER
COLOR: SW 7566 'WESTHIGHLAND WHITE'



4 TRIM
COLOR: MATCH ANODIZED BRONZE



5 DOOR, WINDOW & EXT. LIGHTING
COLOR: ANODIZED ALUM. DARK BRONZE, TEMPERED GLASS



6 ALUMINUM CANOPY SYSTEM
COLOR: CHARCOAL



7 SIGNAGE
(UNDER SEPARATE PERMIT)
INTERNALLY ILLUMINATED CHANNEL LETTERS
SIGN ATTACHED TO METAL AWNING, 5' DEEP

MATERIALS + COLOR PALETTE

COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT

22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541

APN: 428-0066-(056-00) (058-01)

SUBMITTALS / REVISIONS

PLANNING DEPT
04.14.20 SUBMITTAL

PLANNING
08.10.20 RE-SUBMITTAL #1

DRAWING TITLE/ NO.

PROPOSED
EXTERIOR ELEVATIONS

A401



01 **SOUTHEAST EXTERIOR ELEVATION**

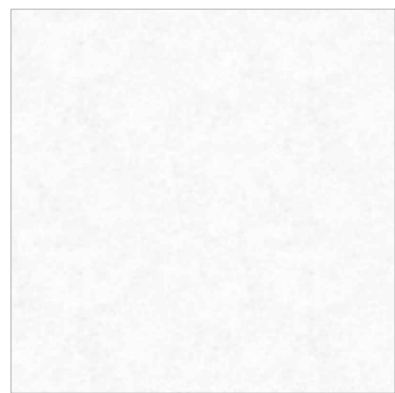
SCALE: 1/4" = 1'-0"



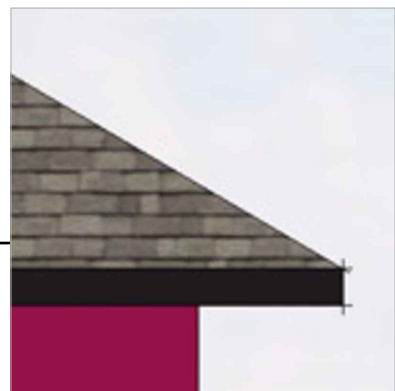
1 ALUMINUM BATTEN SYSTEM
MFR: AWNEX
2"x 2" VERTICAL PROFILE
COLOR: WOOD GRAIN, KNOTWOOD BATTEN



2 CEMENT PLASTER
COLOR: SW 6843 'HOT'



3 CEMENT PLASTER
COLOR: SW 7566 'WESTHIGHLAND WHITE'



4 TRIM
COLOR: MATCH ANODIZED BRONZE



5 DOOR, WINDOW & EXT. LIGHTING
COLOR: ANODIZED ALUM. DARK BRONZE, TEMPERED GLASS



6 ALUMINUM CANOPY SYSTEM
COLOR: CHARCOAL



7 SIGNAGE (UNDER SEPARATE PERMIT)
INTERNALLY ILLUMINATED CHANNEL LETTERS
SIGN ATTACHED TO METAL AWNING, 5' DEEP

MATERIALS + COLOR PALETTE

COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT
22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541

APN: 428-0066-(056-00) (058-01)

SUBMITTALS / REVISIONS	
PLANNING DEPT	
04.14.20	SUBMITTAL
PLANNING	
08.10.20	RE-SUBMITTAL #1

DRAWING TITLE/ NO.

PROPOSED EXTERIOR ELEVATIONS

A402

02 **SOUTHWEST EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"





COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT

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APN: 428-0066-(056-00) (058-01)

SUBMITTALS / REVISIONS	
PLANNING DEPT	
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PLANNING	
08.10.20	RE-SUBMITTAL #1

DRAWING TITLE/ NO.

PERSPECTIVE RENDERINGS



COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT

22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541

APN: 428-0066-(056-00) (058-01)

SUBMITTALS / REVISIONS	
PLANNING DEPT	SUBMITTAL
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PLANNING	
08.10.20	RE-SUBMITTAL #1

DRAWING TITLE/ NO.

PERSPECTIVE RENDERINGS

A411