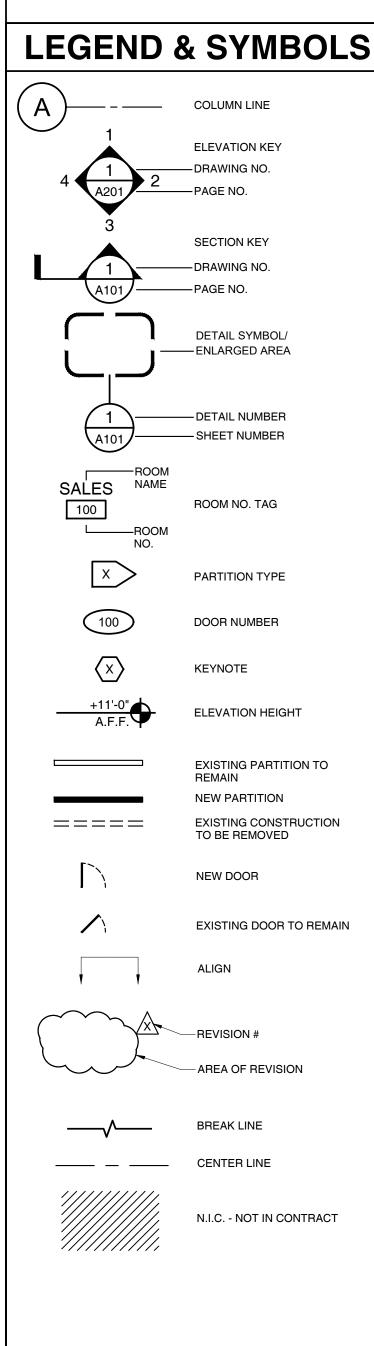
ATTACHMENT III

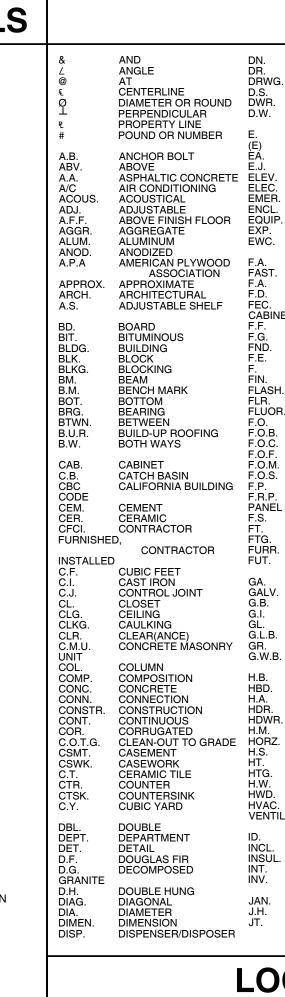


ARCHITECTURAL PLAN SET

COMMERCIAL CANNABIS BUSINESS MEDICAL & ADULT-USE RETAIL & DELIVERY SALES

JIVA LIFE, LLC | 436 CLEMENTINA STREET [STE 303] SAN FRANCISCO, CA 94103 | JIVA@JIVALIFE.ORG | 732-801-6300





ABBREVIATIONS

LAM. LAV. L.B. LOC. L.V.L. LUMBEF L.W.

MAS MAT

MAX

DOOR DRAWING DOWNSPOU DRAWER DISH WASHER FAST EXISTING EACH EXPANSION JOINT

DRWG D.S. DWR.

ENCL. EQUIP. EXP.

FLASH. FLR.

FLUOR.

F.R.P.

PANEL

FTG. FURR. FUT.

GALV.

G.L.B.

GR. G.W.B.

H.B.

HDR. HDWR H.M.

HTG.

HWD. HVAC.

INSUL.

JAN.

EWC

D.W.

LECTRIC(ÁL) MERGENCY NCLOSURE JUIPMEN XPOSED/EXPANSION FIRE ALARM ASTEN(ER

ELEVATION, ELEVATOR

FLAT BAR FLOOR DRAIN FIRE EXTINGUISHER INISH FLOOR NISH GRADE FIRE EXTINGUISHER BERGLASS

FLASHING LOOR(INC LUORÈSCÉNT FACE OF FACE OF BLOCK FACE OF CONCRETE FACE OF FINISH

FACE OF MASONRY FACE OF STUD FIREPLACE FIBERGLASS REINF FULL SIZE

OOT/FEE FURRED(ING FUTURE GAUGE/GAGI

GALVANIZED GRAB BAR GALVANIZED IRON LASS/GLAZING GLUE-LAM BEAM GRADE(ING) GYPSUM WALLBOARD

HOSE BIB HARDBOAR HOLLOW CORE HEADER ARDWARE HOLLOW METAL HORIZONTAL HEAVY SHEET HEIGHT

HEATING HOT WATER HARDWOOD HEATING/ VENTILATING/ AIR CONDITIONING INSIDE DIAMETER

INCLUDE(D) (ING) INSULATĖ(Ď) (INĠ) VTERIOR NVERT JANITOR JOIST HANGER

JOINT

MACHINE BOLT MEDICINE CABINET M.B M.C M.H. MAN HOLE MECHANICAL MEMBRANE MECH. MEMB. MEZZ. MEZZANINE MFR MIN. MANUFACTURE(ER) MINIMUM MIR. MISC. MLDG. MIRROR MISCELLANEOUS MOLDING/MOULDING M.O. MTD. MET. MASONRY OPENING MOUNTED NORTH N.I.C. NOM. N.T.S.

OFOI.

OHMS

O.H.W.S.

SCREW

SCREW OPNG. OPP.

P.A.F.

PCF.

P.D. P.G. PERF PLF FOOT

PLAS. PLYWD.

PSF FOO

PSI

INCH P.T.

PAR

RAD

REG. REF. REINF. REQ'D.

P.V.C.

NATURA NOT IN CONTRACT NOMINAL NOT TO SCALE ON CENTER(S) OUTSIDE DIÀMETER OWNER FURNISHED. OFCI.

LENGTH LAMINATE LAVATORY LAG BOLT

LOCATE(ION)

LIGHTWFIGH

MATERIAL(S) MAXIMUM

MASONRY

LAMINATED VENEER

CONTRACTOR INSTALLED OWNER FURNISHED. OWNER INSTALLED T.A. OVER HANC OVALHEAD MACHINE OVALHEAD WOOD OPENING

OPPOSITE POWDER ACTUATED FASTENER P.B. PANIC BAR PART. TBD. PARTICLE BOARD POUNDS PER CUBIC

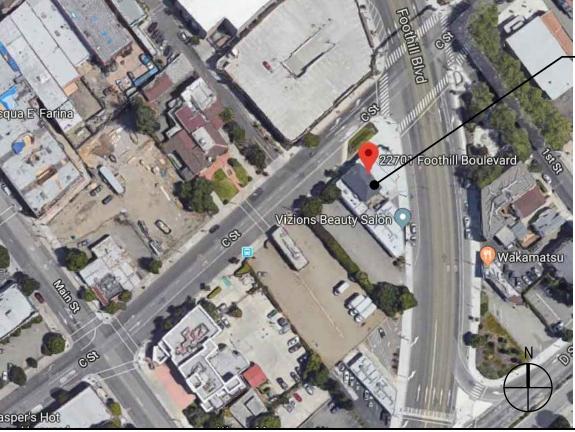
POWDER DRIVEN PAINT GRADE PERFORATE POUNDS PER LINEAR

PLAS. LAM. PLASTIC LAMINATE PLASTER PLYWOOD PAIR POUNDS PER SQUARE POUNDS PER SQUARE

> PRESSURE TREATED PARTITION POLYVINYL CHLORIDE W.H.

RETURN AIR RADIUS ROOF DRAIN REFRIGERATOR REINFORCED REQUIRED

LOCATION AERIAL MAP



ROJECT LOCATION

22701 FOOTHILL BLVD & 1055 C STREET HAYWARD, CA 94541

PROJECT TEAM

PROPERTY OWNER/ LANDLORD:

THE OROSCO GROUP 10 HARRIS COURT, SUITE B-1 MONTEREY, CALIFORNIA 93940 ph: (831) 649-0220 Email: MNOHR@OROSCOGROUP.COM Contact: MATT NOHR

BUSINESS OWNER/ PRINCIPAL:

JIVA LIFE LLC (To Be Transferred to Jiva HWD LLC) 436 CLEMENTINA STREET (STE 303) SAN FRANCISCO, CALIFORNIA 94103 ph: (731) 801-6300 Email: RAJ@JIVALIFE.ORG Contact: RAJ J. POTTABATHNI

WINDOW WATER HEATER WOODWORK WITHOUT WATERPROOF(ING) WATER RESISTAN WOOD SCREW WAINSCOT WELDED WIRE MESH

REQUIREMEN

ROUGH OPENING RIGHT OF WAY

RAIN WATER LEADER

SOLID BLOCKING

TORM DRAIN

SQUARE FOOT

SHELF/SHELVING

SIMILAR STAINLESS STEE

SEE STRUCTURA

SHEET METAL SCREW

SHEET METAI

STANDARD STAGGERED

STRUCTURAL SUSPENDED

SYMMETRY(ICAL)

TOP OF CURB

THICK(NESS)

TOP OF WALL TYPICAL

UNDERWRITER'S

UNLESS OTHERWISE

WEST/WIDTH/WIDE

VERIFY IN FIELD

WATER CLOSET

UNLESS NOTED

URINAL

NOOD

WFIGH

THRESHOLD

TO BE DETERMINED

TEMPERED TYPICAL EDGE NAILING

TONGUE & GROOVE

STORAGE

SYSTEM

SQUARE

STEEL

TAIN GRADE

SHOWER SHEET SHEATHING

SOLID CORE

SCHEDULE

FCTION

SERVICE

RESILIENT

RESAWN RUBBER

REDWOOD

ROOM

RESIL. REV.

RM. R.O. R.O.W.

R.S. RUB. RWD. R.W.L.

SCHED.

S.A. SECT. SERV.

SHWR. SHT. SHT'G.

S.M.S.

STD. STAG.

STOR.

STRUCT SUSP.

SYM. SYS.

TEMP

T & G

T.W.

THRESH.

LABORATORY

OTHERWISE

U.O.N.

NOTED

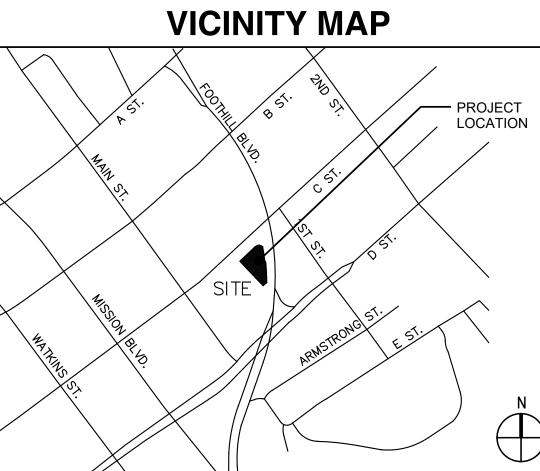
V.I.F.

W.P. W.R.

W.S.

WSCT. WT.

W.W.M.



PROJECT INFORMATION

0.46 AC

90%

HAYWARD, CA 94541

M (MERCANTILE)

428-0066-(056-00) (058-01

CC-C: CENTRAL CITY COMMERCIA

0'-4' SETBACK

L DESIGNATION

06001C0287G

± 5,036 SF

NO

YES

NOT

ADDRESS: PARCEL# APN

ACREAGE:

ZONING:

OCCUPANCY GROUP:

MAXIMUM LOT COVERAGE:

SETBACKS: SIDE SETBACK (C STREET)

FRONT SETBACK (FOOTHILL BLVD) HISTORIC RESOURCES

HAZARDS: FLOOD ZONE: HAZARD FLOOD PANEL:

BUILDING SQUARE FOOTAGES:

SEISMIC LANDSLIDE HAZARD: SEISMIC LIQUEFACTION HAZARD: WITHIN FAULT ZONE:

BUII DING #1

BUILDING #1:	
FIRST FLOOR:	
SALES FLOOR	± 1,448 SF
BACK OF HOUSE	± 750 SF
TO BE REMOVED	± 1,059 SF
*SECOND FLOOR (TO BE ABANDONED) NON-HABITABLE ATTIC	± 1,298 SF
ADDITION:	± 338 SF
TOTAL TO REMAIN:	<u>± 2,536 SF</u>
BUILDING #2 (TO REMAIN):	± 2,500 SF

TOTAL BUILDING FOOTPRINT ON LOT:

OCCUPANCY DATA

USE	AREA	LOAD FACTOR	OCCUPANTS
SALES FLOOR (MERCANTILE)	1,786 SF	1/60 GROSS	30
BACK OF HOUSE (STOR./MECH/EQUIP	750 SF	1/300 GROSS	3
TOTAL	2,536 SF		33

PARKING:

PARKING REQUIREMENT: NON-RESIDENTIAL USES: 2 MIN. PLUS 2 STALLS PER EVERY 1,000 SF ABOVE FIRST 5,000 SF: \pm 5,036 SF (BUILDING #1 + BUILDING #2) TOTAL REQUIRED:

PARKING PROVIDED: STANDARD SPACES (9' X 19') ACCESSIBLE SPACE (VAN) COMPACT SPACES (8' X 15') TOTAL	17 01 02 (< 30%) <u>20</u>
BICYCLE RACK SPACES (2'x6') 2 SHORT TERM BICYCLE SPACES 2 LONG TERM BICYCLE SPACES	04

SHEET INDEX

NO. DRAWING TITLE 22701 FOOTHILL BLVD & 1055 C STREET, ARCHITECTURAL A001 COVER SHEET A100 EXISTING CONDITIONS / DEMOLITION SITE PLAN A103 EXISTING CONDITIONS PHOTOS - EXTERIOR **EXISTING CONDITIONS PHOTOS - INTERIOR** A104 A110 SITE PLAN A200 **GROUND FLOOR PLAN - DEMOLITION** A201 **GROUND FLOOR PLAN - PROPOSED** A301 **EXTERIOR ELEVATIONS - DEMOLITION** A302 **EXTERIOR ELEVATIONS - DEMOLITION** A401 **EXTERIOR ELEVATIONS - PROPOSED** A402 **EXTERIOR ELEVATIONS - PROPOSED** A410 RENDERINGS A411 RENDERINGS 4' ENCROACHMENT ZONE 0.2 PCT ANNUAL CHANCE FLOOD

SCOPE OF WORK

- EXISTING SIGN POSTS TO REMAIN, SIGNS TO BE UPDATED
- 2. ALL EXISTING DIRECTIONAL & INFORMATIONAL SIGNS THROUGH THE SITE TO BE REPLACED
- 3. ALL EXISTING PLANTERS, LANDSCAPING AND TREES TO REMAIN U.O.N.
- . EXISTING ONE-WAY PARKING LOT TO BE SLURRY COATED AND MODIFIED TO PROVIDE TWO-WAY TRAFFIC CIRCULATION WITH 90° PARKING. NEW PARKING LOT LAYOUT WILL PROVIDE AN ENTRY AND EXIT FROM AND TO C STREET AND FOOTHILL BLVD.
- DEMOLISH APPROXIMATELY 1,059 SF OF EXISTING BUILDING#1 TO ACCOMMODATE TWO-WAY DRIVEWAY AND PARKING LAYOUT.
- 5. DEMOLISH EXISTING 995 SF NON-CONFORMING COVERED PATIO AREA TO ACCOMMODATE NEW WORK AND LANDSCAPING.
- 7. NEW COVERED TRASH ENCLOSURE PER CITY STANDARDS
- 3. NEW PARKING LAYOUT INCLUDING VAN ACCESSIBLE PARKING STALL AND AISLE PER ADA AND CITY STANDARDS.
- 9. NEW CONCRETE STAIRS, ADA RAMP, AND HARDSCAPE PER CITY STANDARDS.
- 0.BUILDING #1 INTERIOR REMODEL AT FIRST FLOOR SHALL CONSIST OF: 10.1. REMOVE REAR 1-STORY PORTION OF BUILDING #1, APPROX. 1,059 SF.
- 10.2. REMOVE EXISTING INTERIOR STAIRS AND CONVERT SECOND FLOOR TO MECHANICAL YARD (APPROX. 1,298 SF) NON-HABITABLE ATTIC 10.3. NEW 338 SF ADDITION AT FIRST FLOOR 10.4. NEW UNI-SEX ADA RESTROOM
- 10.5. NEW SECURITY CAMERA SYSTEM

CONDITIONS OF APPROVAL

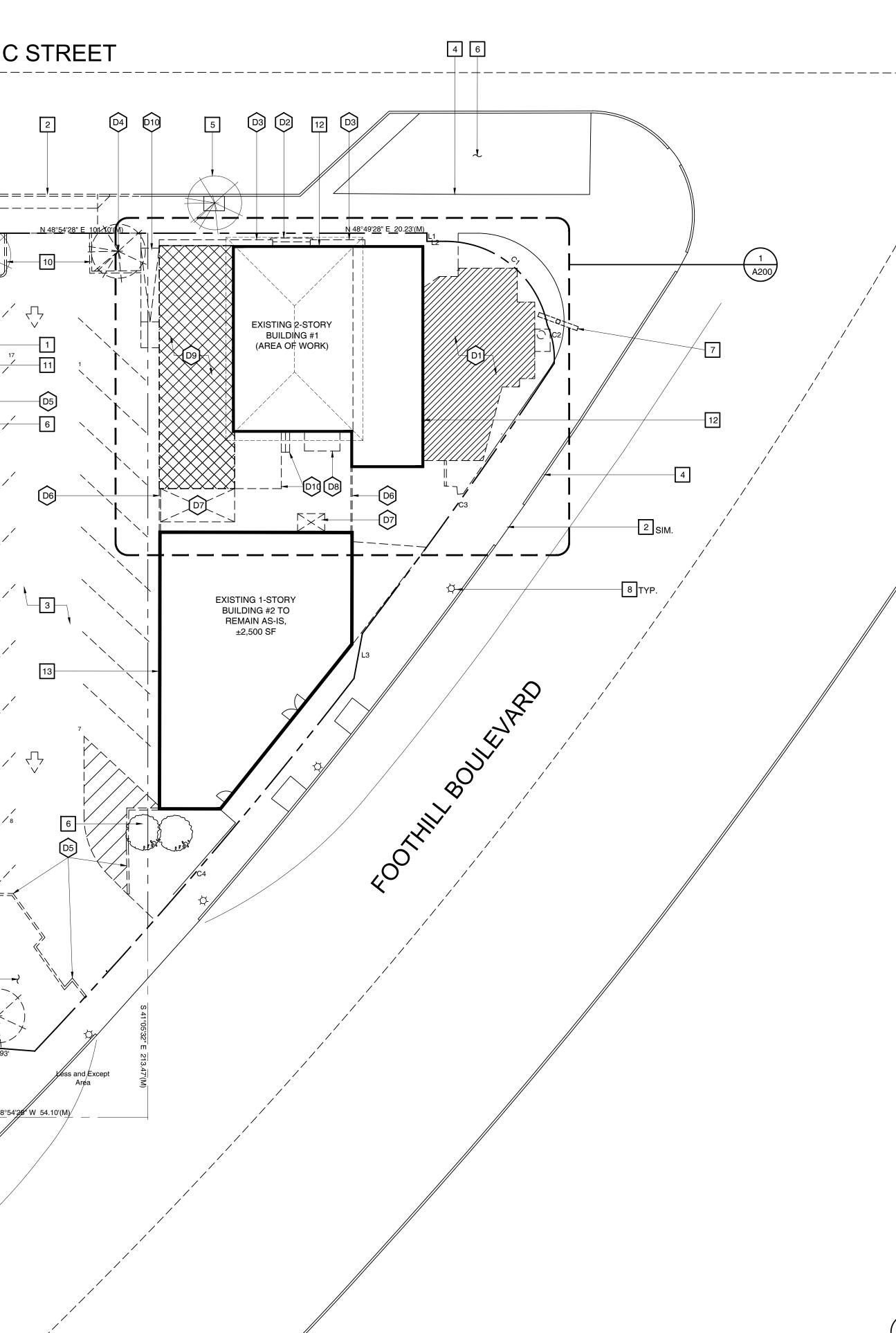
PUBLIC WORKS DEPARTMENT - TRANSPORTATION DIVISION APPLICANT SHALL SUBMIT ON-SITE AND OFF-SITE SIGNING AND STRIPING PLANS. THE OFF-SITE SIGNING AND STRIPING SHALL INCLUDE THE MINIMUM LIMITS OF C STREET FROM THE MID-BLOCK CROSSWALK TO THE BULB-OUT JUST WEST OF FOOTHILL BOULEVARD AND DICTATE AN UPGRADE TO THE MID-BLOCK CROSSWALK TO STAGGERED CONTINENTAL STRIPING ACCOMPANIED BY PEDESTRIAN WARNING SIGNS AND ANY INDICATIONS AS TO MARKING A RIGHT TURN ONLY LANE INTO THE DRIVEWAY.

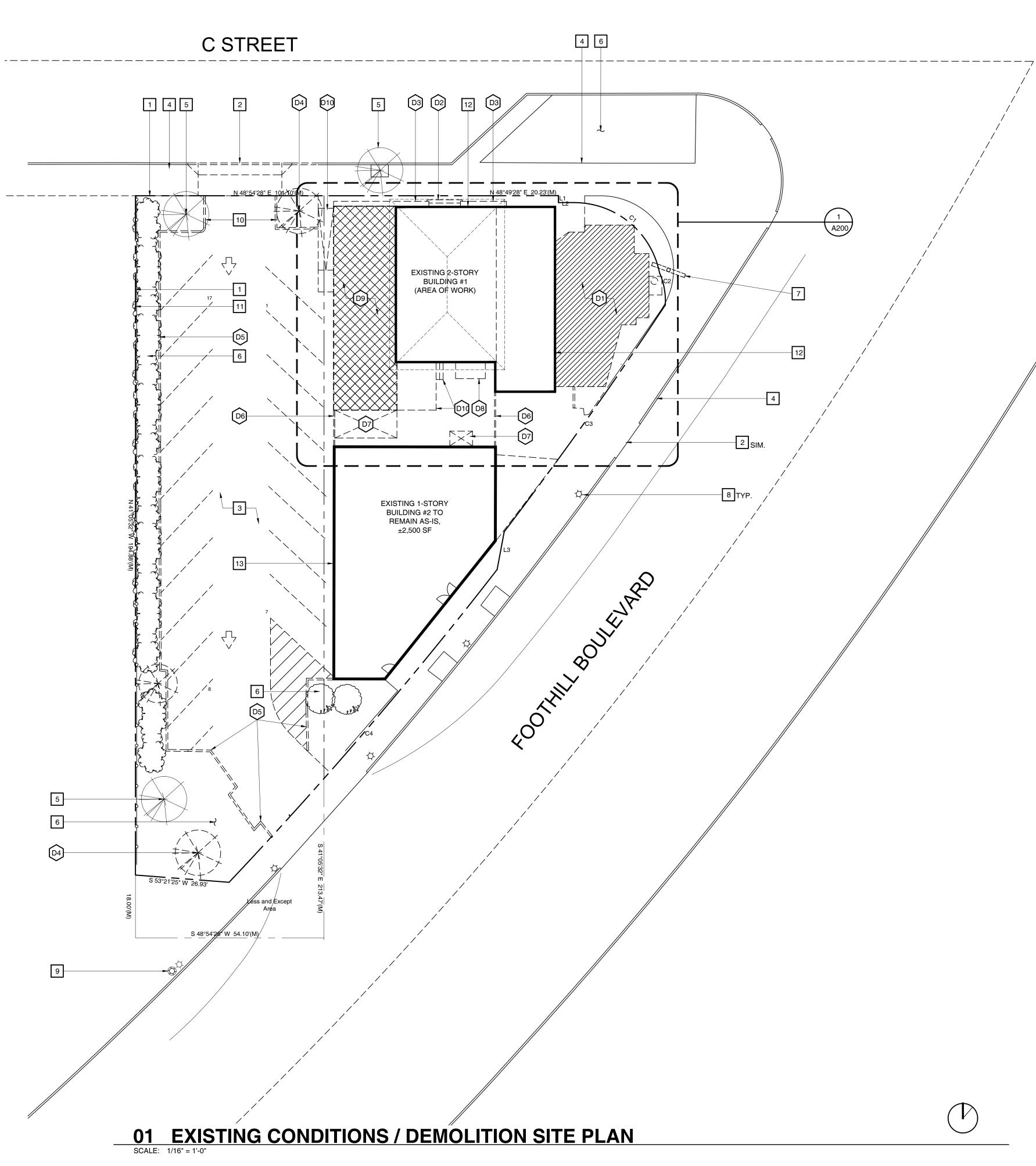
SUBMITTALS / REVISIONS			
	PLANNING DEPT		
04.14.20	SUBMITTAL		

DRAWING TITLE/ NO.

COVER SHEET







						AL A
PRC	OPERTY	BEARIN	IGS			
LINE	BEARING	DISTANCE				
L1	S 41° 10'32" E	2.00'			ן מ	
L2	N 48°49'28" E	4.43'				- j
L3	S 30°32'08" E	11.02'			U U	HAYWARI (058-01)
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CORD BEARING	ј й	
C1	25.00'	34.45'	31.79'	N 88°18'04" E		EET 056-00
02	20.00'	9.46'	9.37'	S 51°11'44" E	U 7	
C3	1195.00'	79.79'	79.78'	S 05°42'04" E		STRI 0066-(c
24	1200.00'	118.22'	118.18'	S 00°29'45" E	ן מ	
DEN	NOLITIO		IOTES			& 1055 APN:
THE DEMOI ONLY.	LITION KEY NOTES TH	AT FOLLOW APPLY	TO THE DRAWING(S) ON THIS SHEET		BLVD
D2 REMO D3 REMO D4 REMO D5 REMO NEW V D6 REMO D7 REMO	OVE AND LEGALLY DISF WN DASHED), INCLUDII MBLIES (I.E. POSTS, DO OVE AND LEGALLY DISF OVE AND LEGALLY DISF OVE EXISTING TREE TO OVE AND LEGALLY DISF OVE AND LEGALLY DISF OVE AND LEGALLY DISF	NG BUT NOT LIMITE DORS, WINDOWS, E POSE OF EXISTING POSE OF PLANTER DACCOMMODATE N POSE OF EXISTING POSE OF EXISTING	ED TO FOUNDATION, ELECTRICAL, ETC). CONCRETE STEPS BOXES NEW WORK & CONCRETE CURB T WOOD/CHAIN-LINK I STORAGE SHED	WALL AND ROOF		FOOTHILL
D9 REMO ENTIR	OVE AND LEGALLY DISP OVE AND LEGALLY DISP RETY (SHOWN CROSS I AND ROOF ASSEMBLI	POSE OF EXISTING HATCHED), INCLUD	PORTION OF EXISTI			
D10 REMO	OVE AND LEGALLY DISP	POSE OF (E) CONCI	RETE RAMP, STAIRS	AND LANDING.		
KEY	ED NOT	ES			SUBMITTA	LS / REVISIONS
	ING PROPERTY LINE				04.14.20	PLANNING DEF SUBMITTAL
	ING CONCRETE DRIVE				<u><u><u></u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u></u>	CODIVITTAL
4	ING CONCRETE CURB	, GUITER & SIDEW	ALK IN PUBLIC RIGH			
5 EXIST	ING TREE TO REMAIN					
6 EXIST	ING LANDSCAPED ARE	EA TO REMAIN, NO	WORK.			
7 EXIST	ING MONUMENT SIGN	TO REMAIN - REFU	RBISH UNDER SEP F	PERMIT		
8 INDICA	ATES EXISTING STREE	T LAMP TO REMAIN	J		DRAWING	TITLE/ NO.
	ING FIRE HYDRANT TO) REMAIN				
	ING CONCRETE CURB					
	ING FENCING TO REM	AIN				
						CONDITIONS /

- 12 NOT USED
- 13 INDICATES EXISTING 1-STORY BUILDING EXTERIOR WALL, NO WORK.
- 14 INDICATES EXISTING 2-STORY BUILDING EXTERIOR WALL, ROOF PROFILE AND EXTERIOR WALL AT SECOND STORY SHOWN DASHED.



PLANNING DEPT







02 EXISTING FOOTHILL BLVD DRIVEWAY APRON





EXISTING BUILDING #1 05 AND ADJACENT PARKING STRUCTURE SCALE: NTS 06 EXISTING BUILDING #1 SCALE: NTS





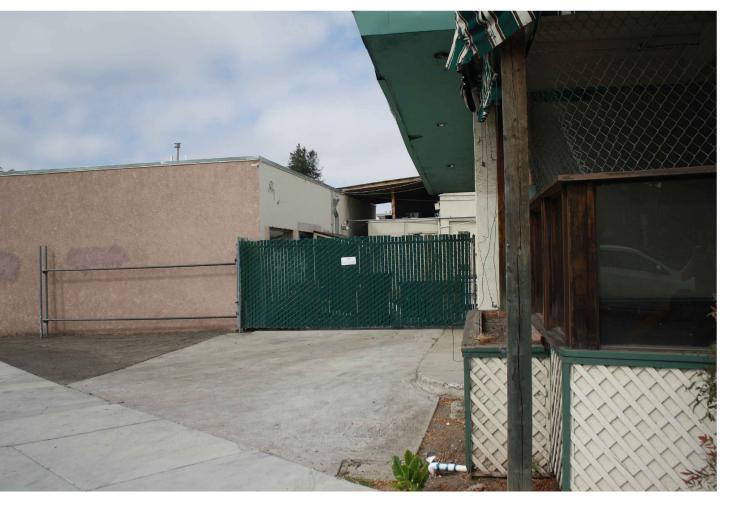
EXISTING BUILDING #108FROM 'C' STREETSCALE:NTS



03 EXISTING BUILDING #2

O9EXISTING BUILDING #1
'C' STREET DRIVEWAY APRONSCALE: NTS





LIFORNIA 94541

CAL

VARD

ΗA

Ш

STRE

CANNABIS BI

22701 FOOTHIL

COMMERCIAL

RETAIL

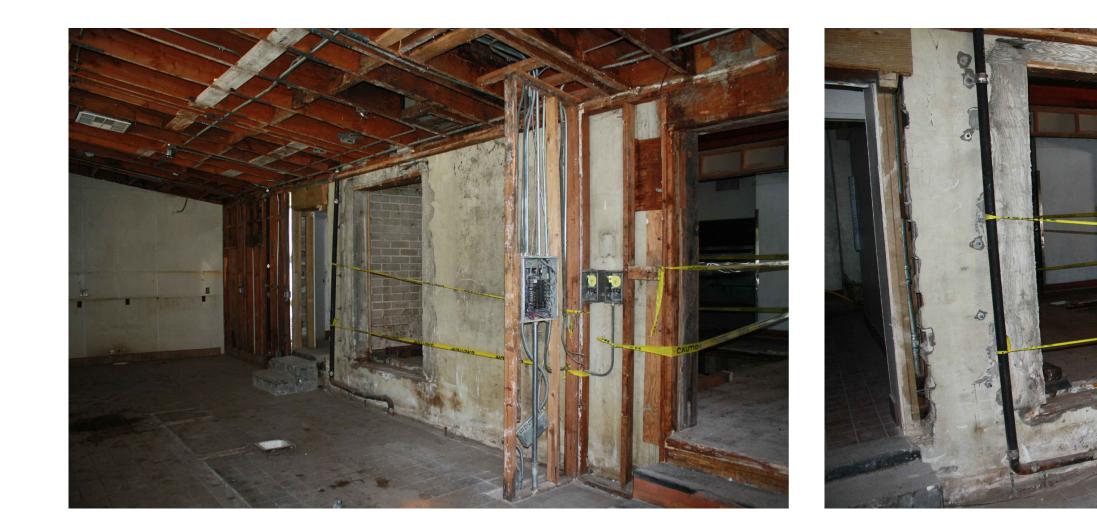
USINESS

SUBMITTALS / REVISIONS PLANNING DEPT 04.14.20 SUBMITTAL DRAWING TITLE/ NO EXISTING CONDITIONS PHOTOS



01 EXISTING OUTDOOR PATIO SCALE: NTS





05 INTERIOR EXISTING CONDITION SCALE: NTS

06 INTERIOR EXISTING CONDITION SCALE: NTS





09 INTERIOR EXISTING CONDITION SCALE: NTS

10 INTERIOR EXISTING CONDITION SCALE: NTS



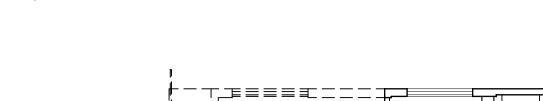


03EXISTING OUTDOOR PATIO
INTERIORSCALE:NTS





07 INTERIOR EXISTING CONDITION SCALE: NTS



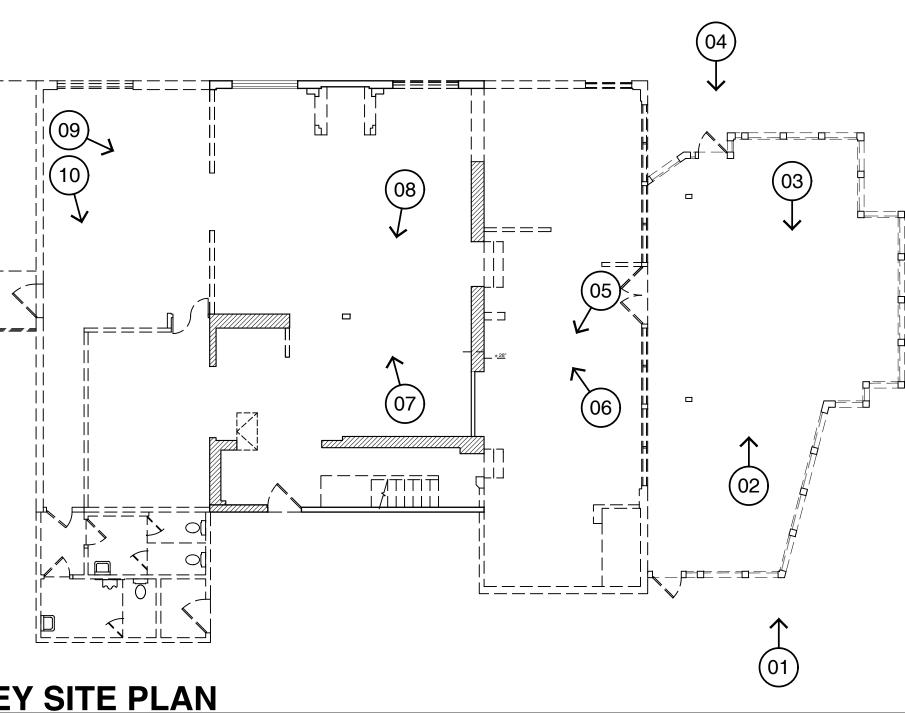


PHOTO KEY SITE PLAN SCALE: 1/32" = 1'-0"





08 INTERIOR EXISTING CONDITION SCALE: NTS

STOREFRONT FORNIA 94541 CALII RETAIL VARD, **SSEINESS** ΗA Ш STREI \mathbf{O} CANNABIS F 22701 FOOTHILL COMMERCIAL

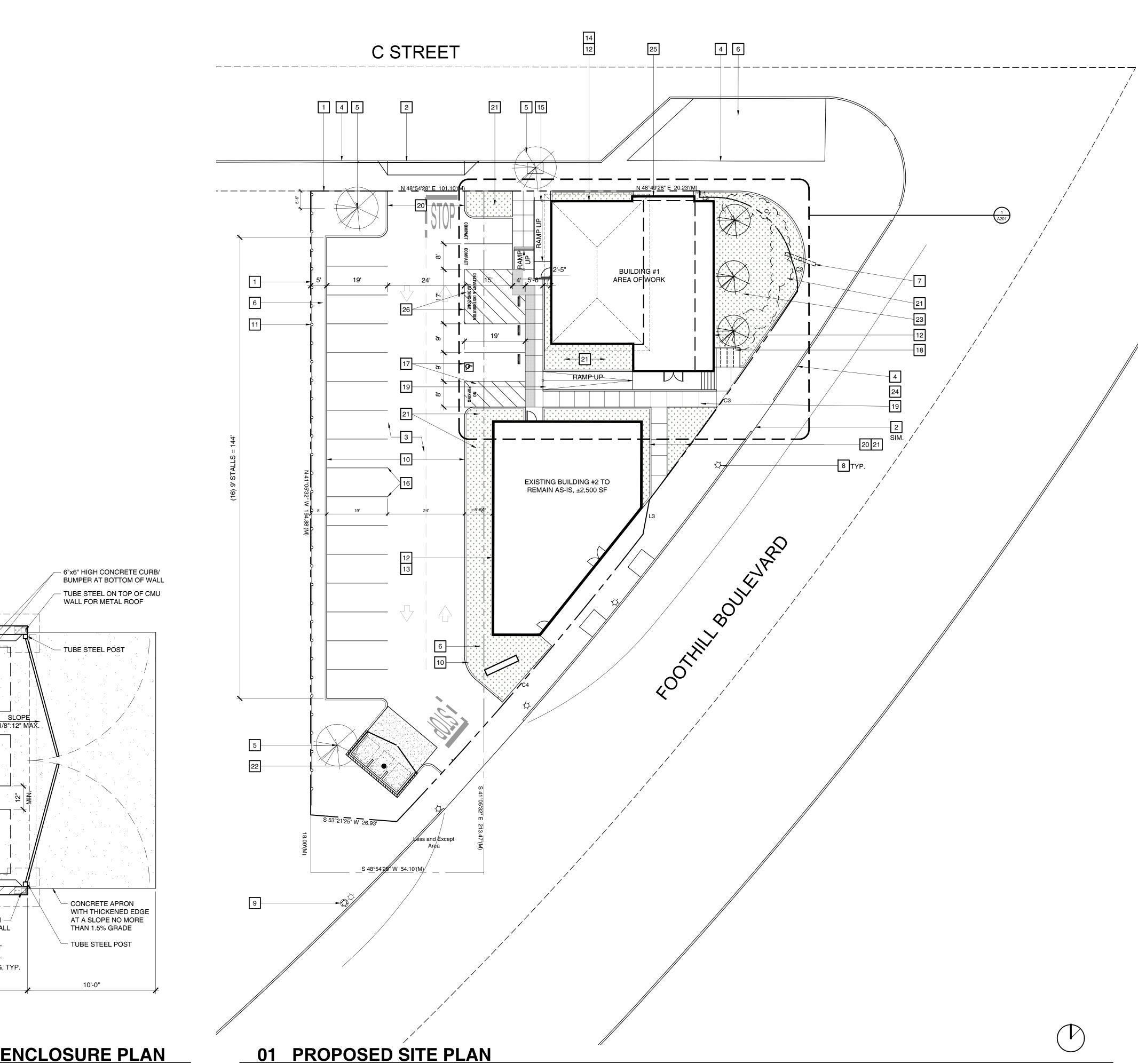
SUBMITTALS / REVISIONS PLANNING DEPT 04.14.20 SUBMITTAL

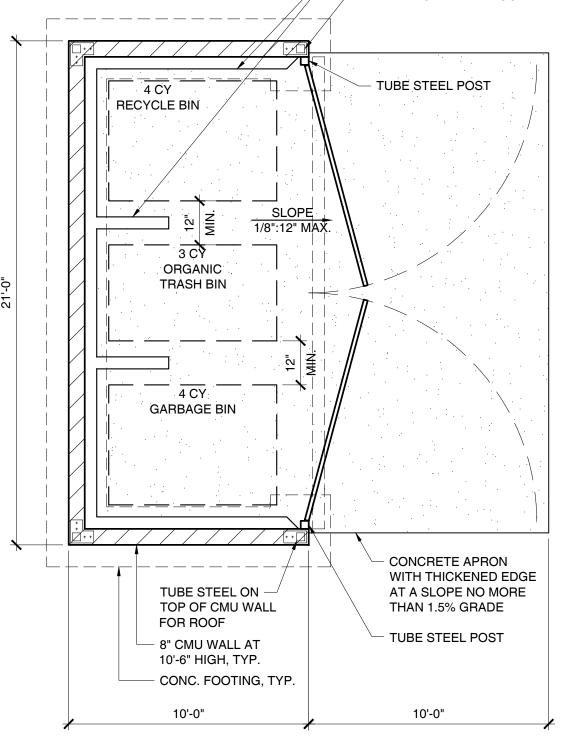
DRAWING TITLE/ NO.

EXISTING CONDITIONS BUILDING #1 INTERIOR

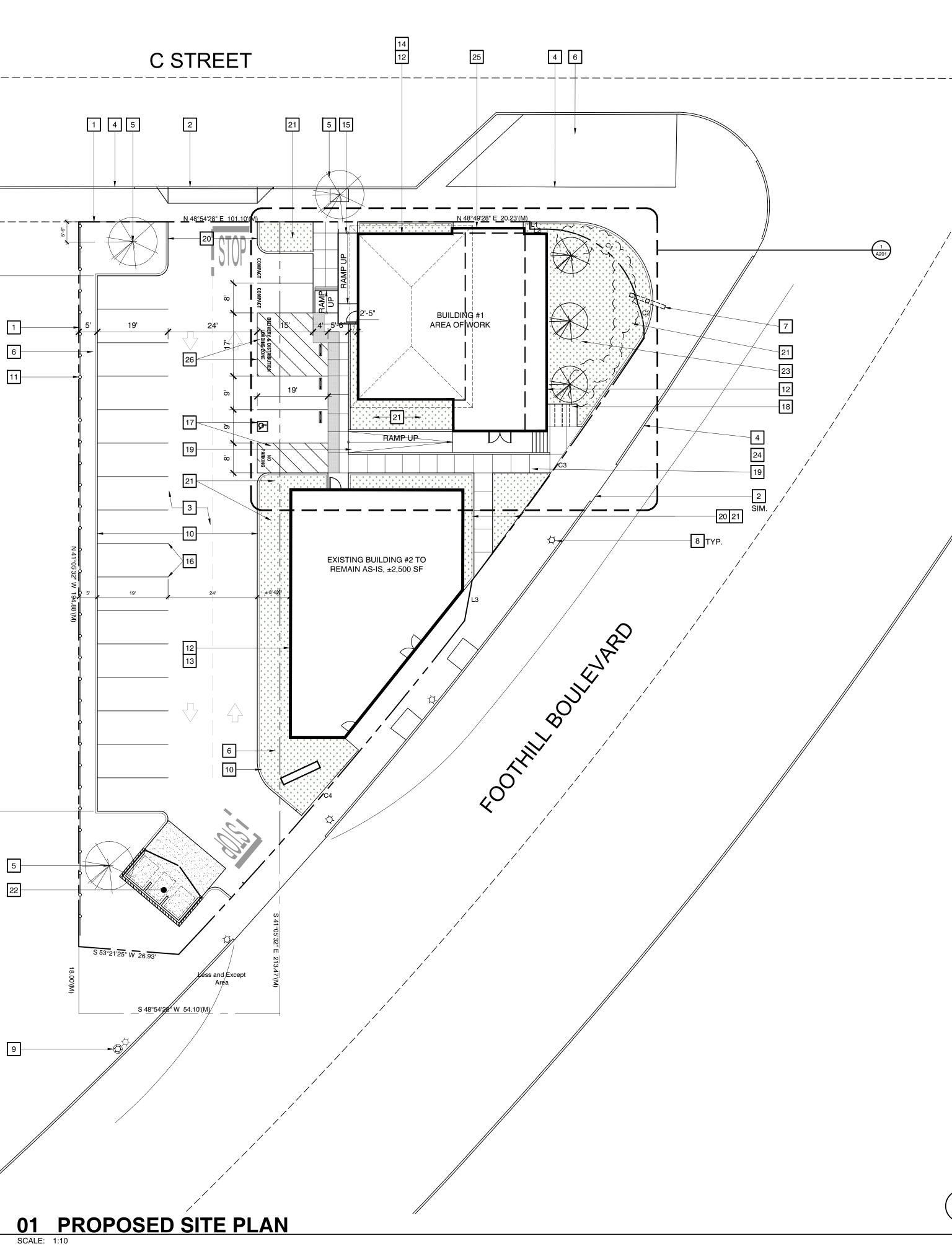


 (\mathcal{P})









STOREFRONT	-IFORNIA 94541

CALIFORNIA

WARD,

НАҮ

Ļ,

ш

STREI

C

RETAIL

BUSINESS

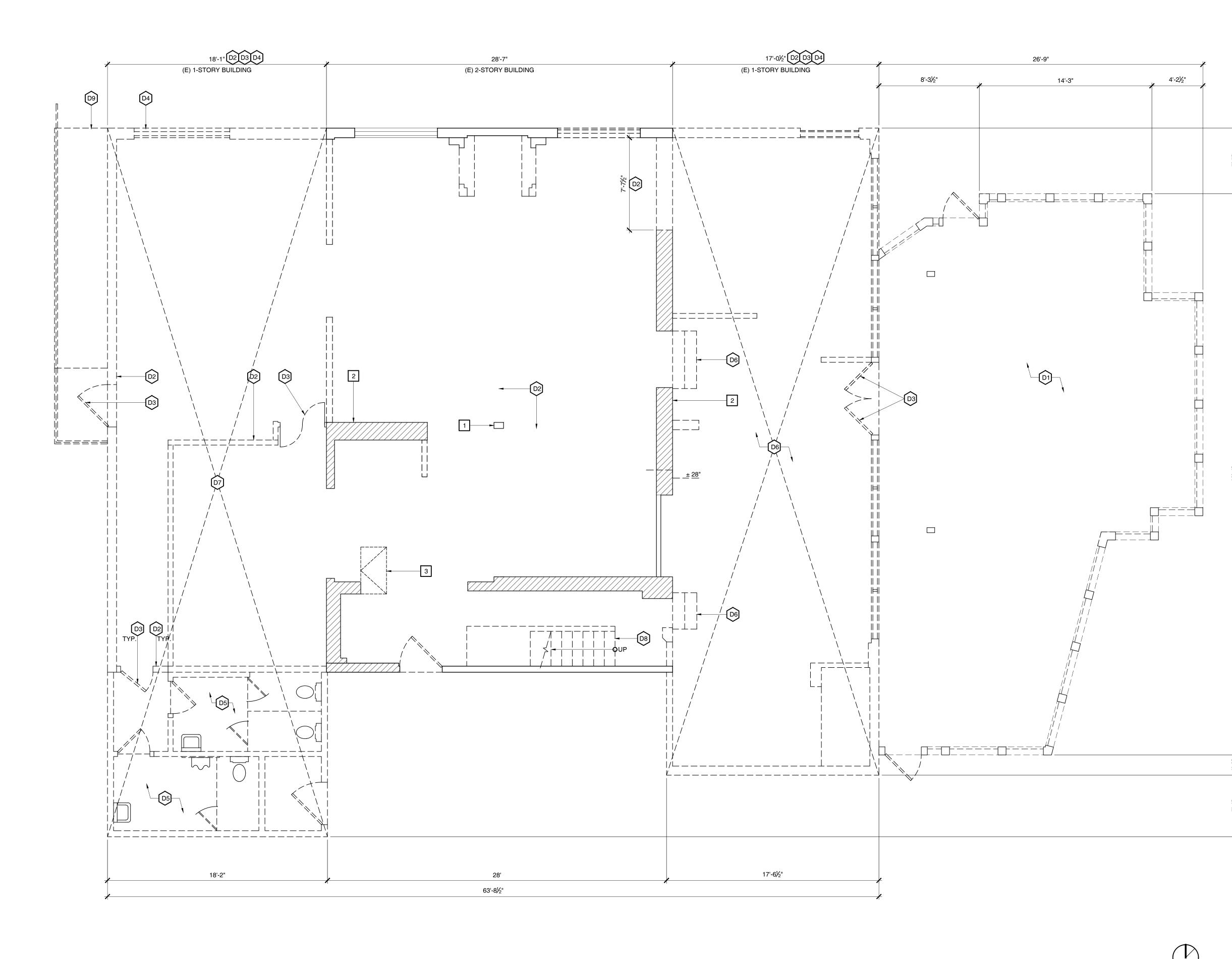
LINE	BEARING	DISTANCE		
L1	S 41° 10'32" E	2.00'		
L2	N 48°49'28" E	4.43'		
L3	S 30°32'08" E	11.02'		
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CORD BEARING
C1	25.00'	34.45'	31.79'	N 88°18'04" E
C2	20.00'	9.46'	9.37'	S 51°11'44" E
C3	1195.00'	79.79'	79.78'	S 05°42'04" E
C4	1200.00'	118.22'	118.18'	S 00°29'45" E

KEYED NOTES

			1055 (APN: 4
K	EYED NOTES	CANNAR	& 1 0
1	EXISTING PROPERTY LINE		BLVD
2	EXISTING CONCRETE DRIVEWAY APPROACH TO REMAIN		BL'
3	EXISTING AC PAVEMENT TO REMAIN	C	
4	EXISTING CONCRETE CURB, GUTTER & SIDEWALK IN PUBLIC RIGHT OF WAY	_	! <u>루</u>
5	EXISTING TREE TO REMAIN		DT D
6	EXISTING LANDSCAPED AREA TO REMAIN, NO WORK.		FOOTI
7	EXISTING MONUMENT SIGN TO REMAIN - REFURBISH UNDER SEP PERMIT		
8	INDICATES EXISTING STREET LAMP TO REMAIN		22701
9	EXISTING FIRE HYDRANT TO REMAIN		22
10	NEW 6" HIGH CONCRETE CURB	<u></u>	
11	EXISTING FENCING TO REMAIN	C	
12	INDICATES EXISTING BUILDING EXTERIOR WALL		
13	EXISTING 1-STORY BUILDING TO REMAIN, NO WORK.		
14	EXISTING 2-STORY BUILDING AREA OF IMPROVEMENT, ROOF STRUCTURE SHOWN DASHED.		
15	NEW CONCRETE RAMP AND LANDING	SUBMITTA	LS / REVISIONS
16	NEW WHITE STALL STRIPING PER CITY STDS	04 14 00	PLANNING DEPT SUBMITTAL
17	NEW VAN ACCESSIBLE PARKING STALL & ACCESS AISLE PER CBC REQMTS	04.14.20	SUBMITTAL
18	NEW BIKE PARKING PER CITY STDS		
19	NEW ACCESSIBLE CONCRETE RAMP/ WALKWAY		
20	NEW 6"h CONCRETE CURB		
21	INDICATES NEW LANDSCAPE AREA - SEE 'CONCEPTUAL PLANTING PLAN'		
22	NEW SECURED CMU TRASH ENCLOSURE PER CITY STDS, SEE DETAIL 02/A110		
23	NEW SMALL TREES IN GRID	DRAWING	
24	NEW CONCRETE STAIRS		$\mathbf{H} = \mathbf{L} / \mathbf{H} \mathbf{O}.$
25	NEW 1-STORY BUILDING FOOTPRINT		
26	NEW DISTRIBUTION/ DELIVERY LOADING ZONE		



PROPOSED SITE PLAN



EXISTING GROUND FLOOR PLAN - DEMOLITION SCALE: 1/4" = 1'-0"



DEMOLITION KEY NOTES

THE DEMOLITION KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY.

D1 REMOVE AND LEGALLY DISPOSE OF EXISTING COVERED PATIO IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO FOUNDATION, WALL AND ROOF ASSEMBLIES (I.E. POSTS, DOORS, WINDOWS, ELECTRICAL, ETC).

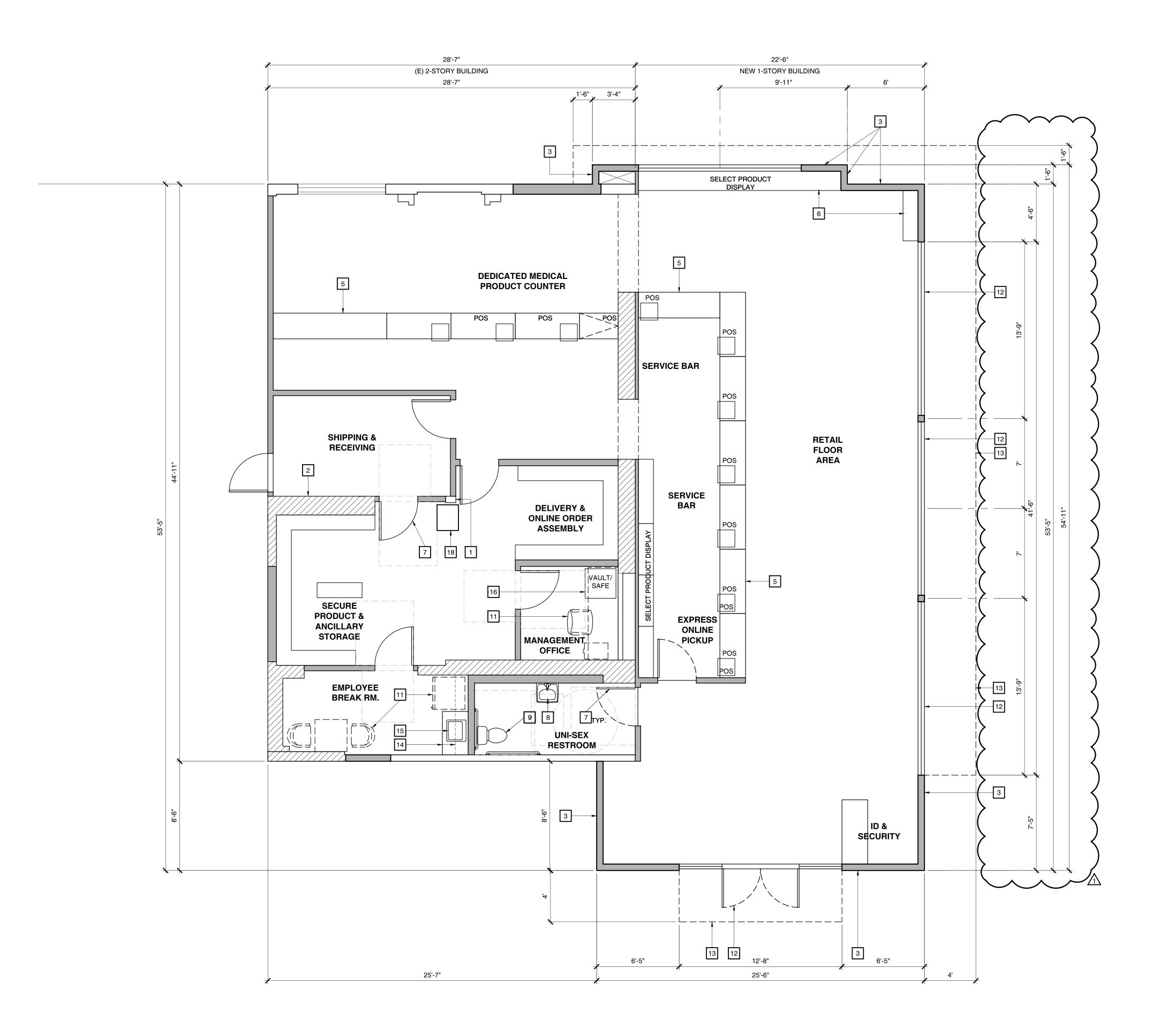
- D2 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL, OR PORTION OF WALL INDICATED, INCLUDING BUT NOT LIMITED TO GYP. BD, STUDS, ELECTRICAL, WIRING, BASE AND TRIM TO ACCOMMODATE NEW WORK. PATCH AND PAINT ALL AREAS AFFECTED BY NEW WORK. TYPICAL AS SHOWN.
- D3 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR, DOOR FRAME, COMPANION HARDWARE AND WALL ANCHORS TO ACCOMMODATE NEW WORK/DOOR, SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- REMOVE AND LEGALLY DISPOSE OF EXISTING EXTERIOR WINDOW INCLUDING BUT NOT LIMITED TO GLAZING, WINDOW FRAME AND WALL ANCHORS. TYP. AS SHOWN.
 REMOVE AND LEGALLY DISPOSE OF TOILET PARTITIONS, PLUMBING FIXTURES AND ASSOCIATED PLUMBING IN THIS ROOM (I.E. SINK, WATER CLOSET, ETC). ALL PIPING NOT BEING REUSED IS TO BE REMOVED AND CAPPED AT NEAREST SOURCE.
- NOT BEING REUSED IS TO BE REMOVED AND CAPPED AT NEAREST SOURCE. D6 REMOVE AND LEGALLY DISPOSE OF EXISTING FOUNDATION, WALL AND ROOF ASSEMBLIES AS REQUIRED (I.E. POSTS, DOORS, WINDOWS, ELECTRICAL, ETC) TO ACCOMMODATE NEW RAISED FLOOR ASSEMBLY.
- D7 REMOVE AND LEGALLY DISPOSE OF EXISTING FOUNDATION, WALL AND ROOF ASSEMBLIES AS REQUIRED (I.E. DOORS, WINDOWS, ELECTRICAL, ETC) TO ACCOMMODATE NEW WORK.
- B8 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS IN ITS ENTIRETY TO ACCOMMODATE NEW WORK.
- D9 REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE RAMP AND LANDING.

KEYED NOTES

- 1 EXISTING STEEL COLUMN TO REMAIN
- 2 EXISTING MASONRY WALL TO REMAIN, TYPICAL AS SHOWN
- EXISTING UNDER FLOOR ACCESS
- EXISTING EXTERIOR LANDING AND RAMP TO REMAIN

LEGEND	SUBMITTA	LS / REVISIONS
EXISTING MASONRY WALL TO REMAIN INTACT.	04.14.20	PLANNING DEP SUBMITTAL
EXISTING WOOD STUD FRAMED WALL TO REMAIN INTACT		
\equiv \equiv \equiv \equiv \equiv EXISTING WALL TO BE REMOVED		
EXISTING DOOR AND/OR WINDOW TO REMAIN INTACT		
	DRAWING	TITLE/ NO.
NO WORK IN THIS AREA, U.O.N.		



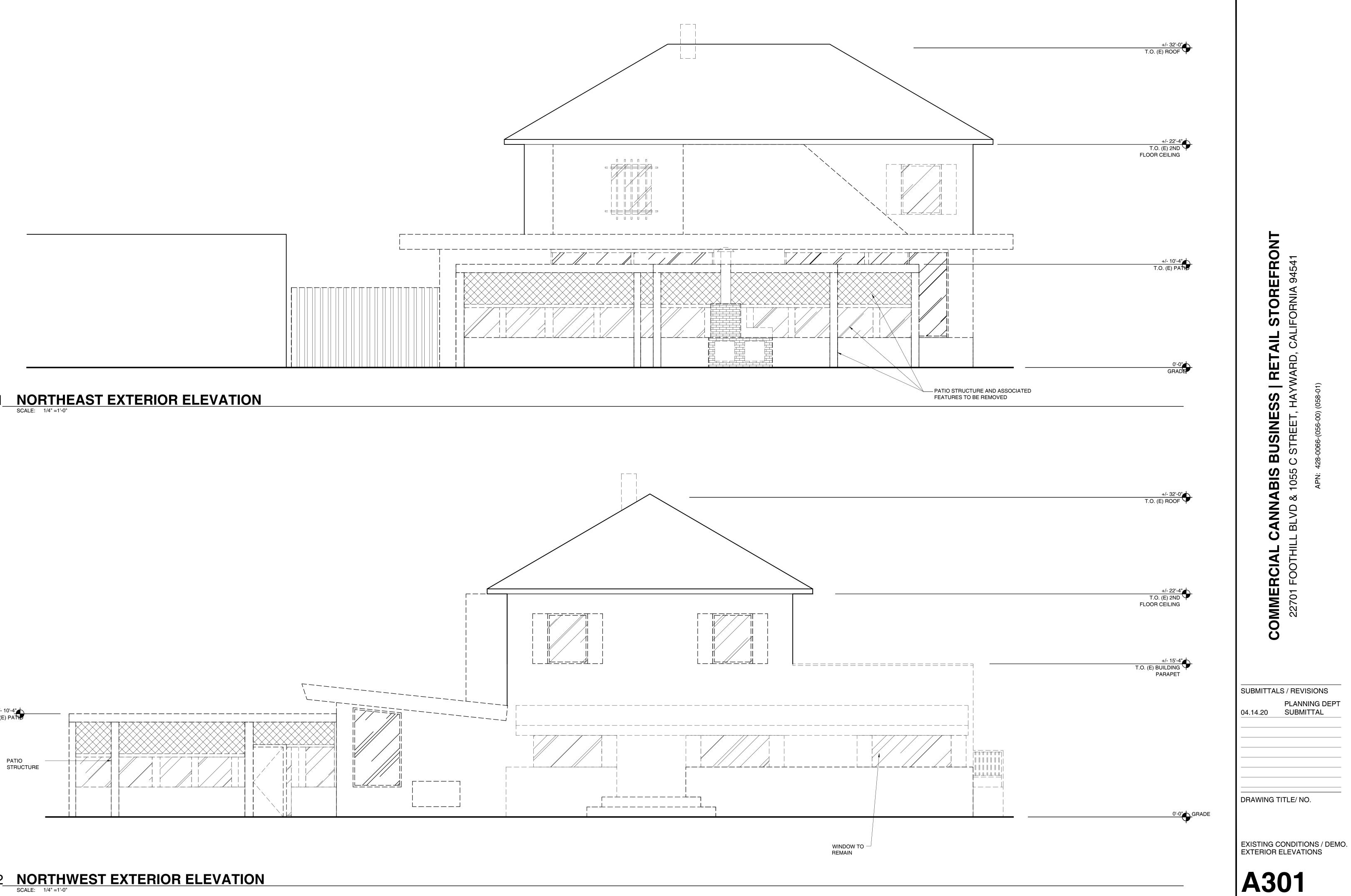


PROPOSED FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

 \bigcirc

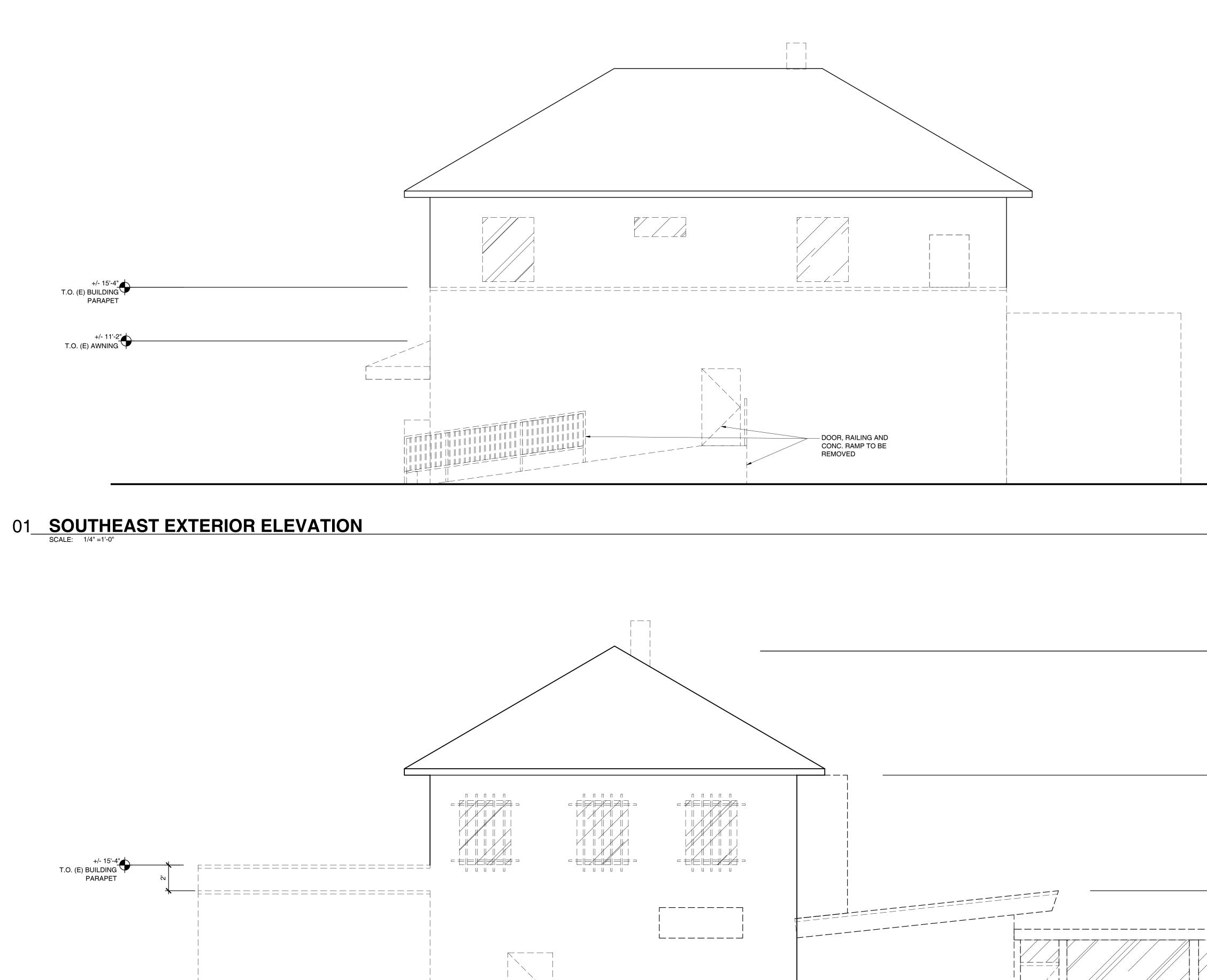
KEYED NOTES I EXISTING STEEL COLUMN TO REMAIN EXISTING MASONRY WALL TO REMAIN, TYPICAL AS SHOWN NEW WOOD SLAT RAINSCREEN WALL MOTUSE NEW TRANSACTION COUNTER, TYPICAL AS SHOWN. NEW DISPLAY COUNTER/ MILLWORK NEW DOOR NEW WALL MOUNTED SINK NEW WATER CLOSET AND GRAB BARS BY CODE ACCESSIBILITY LIFT AS REQUIRED BY CODE II PURNITURE SHOWN FOR REFERENCE ONLY II NEW STOREFRONT DOOR(S) AND/OR WINDOW SYSTEM. PROVIDE FROSTE RIGHT OF WAY FIELD OF VIEW. II NEW METAL AWNING ABOVE INEW METAL AWNING ABOVE INEW METAL AWNING ABOVE INEW METAL AWNING ABOVE INEW STAINLESS STEEL SINK IF REFRIGERATOR SPACE, SHOWN FOR REFERENCE. IP POINT OF SALE (POS) IS SECURED CANNABIS WASTE RECEPTACLE	COMMERCIAL CANNABIS BUSINESS RETAIL STOREFRONT 22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541 APN: 428-0066-058-00 (058-01)
LEGEND	SUBMITTALS / REVISIONS
EXISTING MASONRY WALL TO REMAIN INTACT.	PLANNING DEPT 04.14.20 SUBMITTAL PLANNING
EXISTING WOOD STUD FRAMED WALL TO REMAIN INTACT	<u>1</u> 08.10.20 RE-SUBMITTAL #1
	Ст
NEW WOOD STUD FRAMED WALL	
NEW DOOR	DRAWING TITLE/ NO.
	PROPOSED FIRST FLOOR PLAN

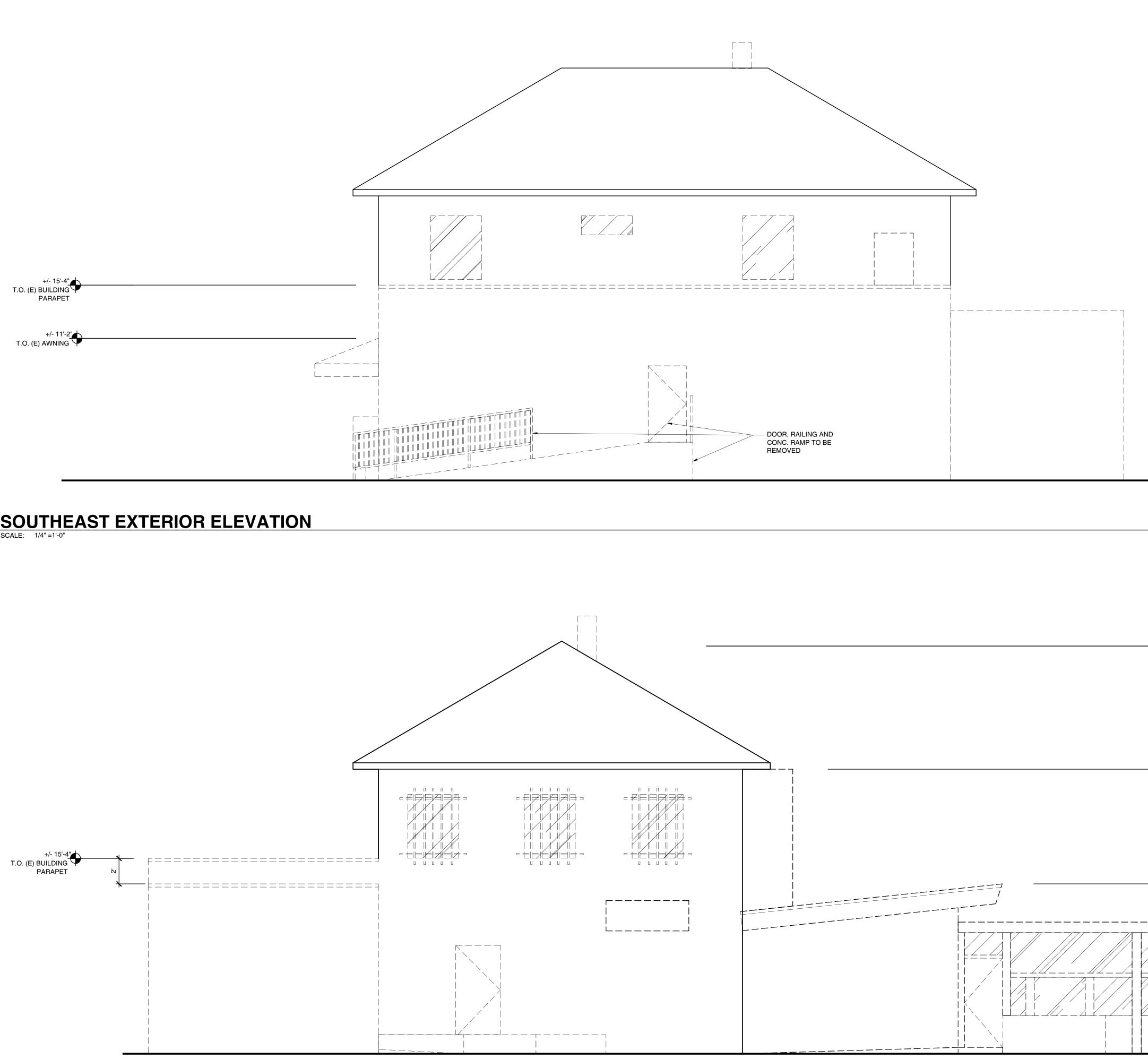
A201





02 NORTHWEST EXTERIOR ELEVATION SCALE: 1/4" =1'-0"

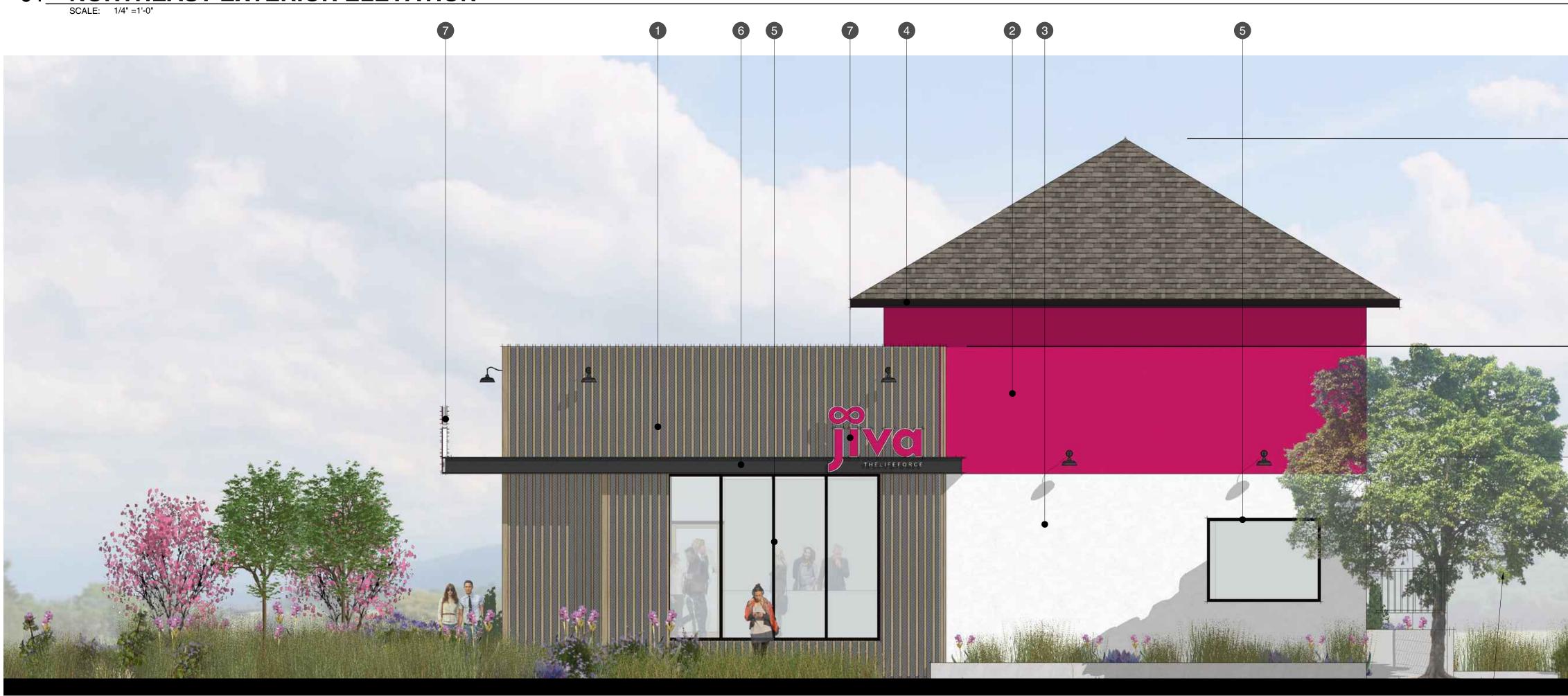




	۲
0'-0" GRADE	COMMERCIAL CANNABIS BUSINESS RETAIL STOREFRONT 22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541 APN: 428-0066-(056-00) (058-01)
t/- 32-0° T.O. (E) ROOF +/- 22-4 ↓- T.O. (E) 2ND FLOOR CEILING	MMERCIAL CANNABIS BUS 22701 FOOTHILL BLVD & 1055 C STH APN: 428-0066
+/- 13'-4" T.O. (E) BUILDING ADDITION +/- 10'-4" T.O. (E) PANY T.O. (E) PANY BRICK PATIO STRUCTURE	SUBMITTALS / REVISIONS PLANNING DEPT 04.14.20 SUBMITTAL
	DRAWING TITLE/ NO. EXISTING CONDITIONS / DEMO. EXTERIOR ELEVATIONS



01 NORTHEAST EXTERIOR ELEVATION SCALE: 1/4" =1'-0"







WARD, НАҮ Ľ, Ш STREI C 1055 ∞ ND VD FOOTHIL

CALIFORNIA 94541

RETAIL

SSEINESS

CANNABIS

Ы

22701

SUBMITTALS / REVISIONS PLANNING DEPT 04.14.20 SUBMITTAL PLANNING 108.10.20 RE-SUBMITTAL #1

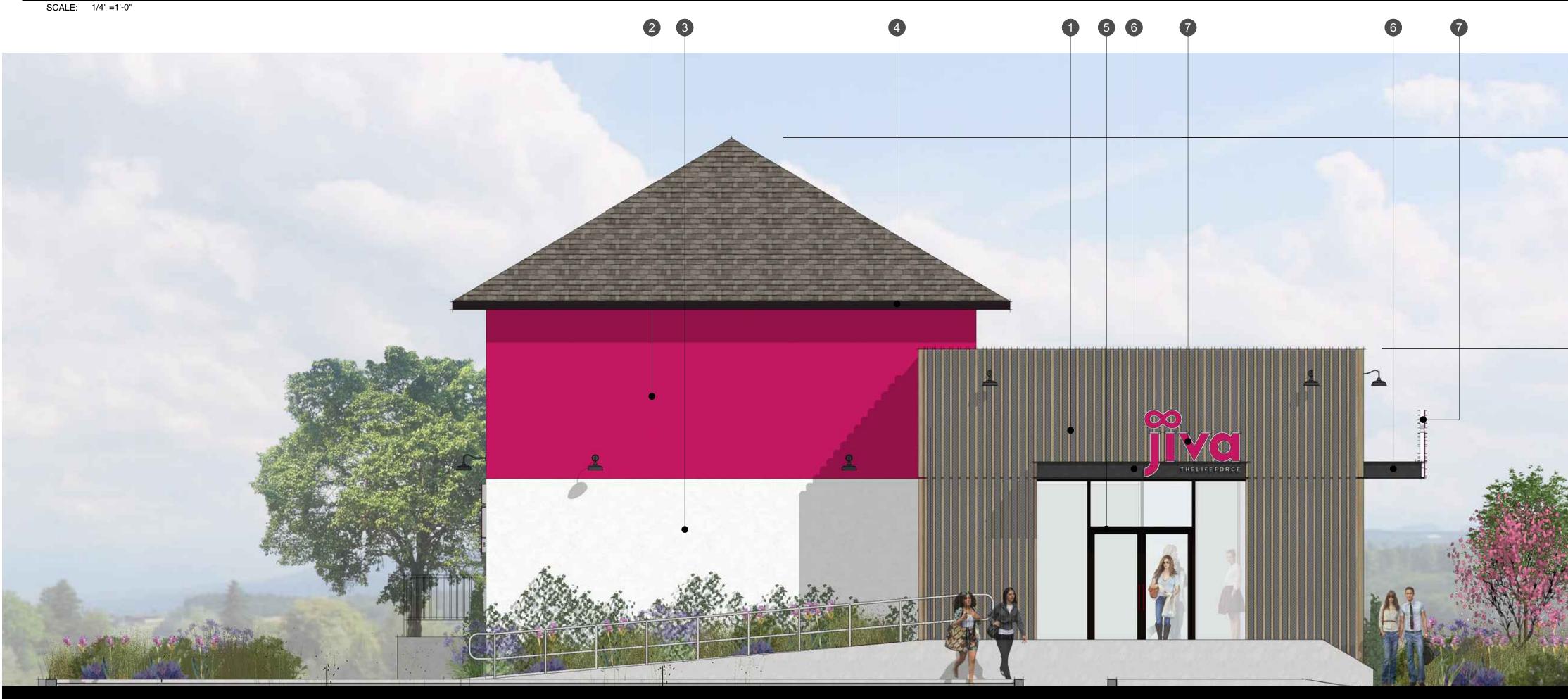
DRAWING TITLE/ NO.

PROPOSED EXTERIOR ELEVATIONS





01 SOUTHEAST EXTERIOR ELEVATION







COMMERCIAL CANNABIS BUSINESS | RETAIL STOREFRONT 22701 FOOTHILL BLVD & 1055 C STREET, HAYWARD, CALIFORNIA 94541

SUBMITTALS / REVISIONS PLANNING DEPT 04.14.20 SUBMITTAL PLANNING 08.10.20 RE-SUBMITTAL #1

DRAWING TITLE/ NO.

PROPOSED EXTERIOR ELEVATIONS







STOREFRONT **CALIFORNIA 94541** CANNABIS BUSINESS | RETAIL L BLVD & 1055 C STREET, HAYWARD, CAL COMMERCIAL CI 22701 FOOTHILL E

SUBMITTALS / REVISIONS PLANNING DEPT 04.14.20 SUBMITTAL PLANNING

DRAWING TITLE/ NO.

PERSPECTIVE RENDERINGS





STOREFRONT

RETAIL

CALIFORNIA 94541

WARD,

НАУ

CANNABIS BUSINESS L BLVD & 1055 C STREET, HAY

COMMERCIAL CA 22701 FOOTHILL E

SUBMITTALS / REVISIONS PLANNING DEPT 04.14.20 SUBMITTAL PLANNING

DRAWING TITLE/ NO.

PERSPECTIVE RENDERINGS

